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## CITY OF TUCSON COMMUNITY SERVICES DEPARTMENT

June 3, 2009

Ms. Noemi Ghirghi  
HUD Phoenix Office  
US Department of Housing & Urban Development  
1 N. Central Avenue, Suite 600  
Phoenix, AZ 85004

SUBJECT: CDBG-R Program (Cherry Avenue Expansion)

Dear Ms. Ghirghi:

Attached please find the Substantial Plan Amendment for HUD's FY 2008 relating to the City of Tucson's CDBG-R program. The Plan was approved by the Tucson Mayor and Council on June 2, 2009.

We look forward to your review and comment. If you have any questions concerning the enclosed materials, please contact Ronald Koenig of my staff at 520-837-5339. Thank you in advance for your consideration.

Sincerely yours,

A handwritten signature in cursive script that reads "Olga Osterhage".

Olga Osterhage  
Deputy Director

Attachments

**Application for Federal Assistance SF-424**

Version 02

\*1. Type of Submission:

- Preapplication
- Application
- Changed/Corrected Application

\*2. Type of Application

- New
- Continuation
- Revision

\* If Revision, select appropriate letter(s)

\*Other (Specify)  
\_\_\_\_\_

3. Date Received:

4. Applicant Identifier:

AZ-004

5a. Federal Entity Identifier:

\*5b. Federal Award Identifier:

**State Use Only:**

6. Date Received by State:

7. State Application Identifier:

**8. APPLICANT INFORMATION:**

\*a. Legal Name: City of Tucson

\*b. Employer/Taxpayer Identification Number (EIN/TIN):  
86-6000266

\*c. Organizational DUNS:  
072450869

**d. Address:**

\*Street 1: 310 N. Commerce Park Loop

Street 2: \_\_\_\_\_

\*City: Tucson

County: Pima

\*State: Arizona

Province: \_\_\_\_\_

\*Country: USA

\*Zip / Postal Code 85745

**e. Organizational Unit:**

Department Name:  
Community Services Department

Division Name:  
Community Development Division

**f. Name and contact information of person to be contacted on matters involving this application:**

Prefix: Ms. \*First Name: Andrea

Middle Name: \_\_\_\_\_

\*Last Name: Ibanez

Suffix: \_\_\_\_\_

Title: Deputy Director

Organizational Affiliation:  
City of Tucson Community Services Department

\*Telephone Number: 520-791-4171

Fax Number: 520-791-5407

\*Email: andrea.ibanez@tucsonaz.gov

**Application for Federal Assistance SF-424**

Version 02

**\*9. Type of Applicant 1: Select Applicant Type:**

C. City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

\*Other (Specify)

**\*10 Name of Federal Agency:**

**11. Catalog of Federal Domestic Assistance Number:**

14.253 \_\_\_\_\_

CFDA Title:

Community Development Block Grant - R \_\_\_\_\_

**\*12 Funding Opportunity Number:**

\_\_\_\_\_

\*Title:

\_\_\_\_\_

**13. Competition Identification Number:**

\_\_\_\_\_

Title:

\_\_\_\_\_

**14. Areas Affected by Project (Cities, Counties, States, etc.):**

Cities

**\*15. Descriptive Title of Applicant's Project:**

Community Development Block Grant-R project--Cherry Avenue Expansion

<b>Application for Federal Assistance SF-424</b>		Version 02
<b>16. Congressional Districts Of:</b>		
*a. Applicant: AZ-07	*b. Program/Project: AZ-07 & AZ-08	
<b>17. Proposed Project:</b>		
*a. Start Date: 10-1-09	*b. End Date: 10-1-10	
<b>18. Estimated Funding (\$):</b>		
*a. Federal	\$1,657,320	
*b. Applicant	_____	
*c. State	_____	
*d. Local	_____	
*e. Other	_____	
*f. Program Income	_____	
*g. TOTAL	\$1,657,320	
<b>*19. Is Application Subject to Review By State Under Executive Order 12372 Process?</b>		
<input type="checkbox"/> a. This application was made available to the State under the Executive Order 12372 Process for review on _____ <input type="checkbox"/> b. Program is subject to E.O. 12372 but has not been selected by the State for review. <input checked="" type="checkbox"/> c. Program is not covered by E. O. 12372		
<b>*20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes", provide explanation.)</b>		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
21. *By signing this application, I certify (1) to the statements contained in the list of certifications** and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U. S. Code, Title 218, Section 1001) <input checked="" type="checkbox"/> ** I AGREE ** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions		
<b>Authorized Representative:</b>		
Prefix: <u>Ms.</u>	*First Name: <u>Olga</u>	
Middle Name: _____		
*Last Name: <u>Osterhage</u>		
Suffix: _____		
*Title: Deputy Director		
*Telephone Number: 520-791-4171	Fax Number: 520-791-5407	
* Email: olga.osterhage@tucsonaz.gov		
*Signature of Authorized Representative: 		*Date Signed: 5/18/09

**Application for Federal Assistance SF-424**

Version 02

**\*Applicant Federal Debt Delinquency Explanation**

The following should contain an explanation if the Applicant organization is delinquent of any Federal Debt.

# **CDBG-R SUBMISSION TEMPLATE** **& CHECKLIST**

The American Recovery and Reinvestment Act of 2009 ("Recovery Act") was signed into law by President Obama on February 17, 2009. The Recovery Act awards \$1 billion in CDBG Recovery (CDBG-R) funds to be distributed to cities, counties, insular areas and states, of which \$10 million has been reserved by HUD for its administrative costs and \$10 million of which will be awarded to Indian tribes. Recipients of the remaining \$980 million of CDBG-R funds will be the approximately 1,200 jurisdictions that received CDBG funding in Fiscal Year 2008. This template sets forth the suggested format for grantees receiving funds from CDBG-R. A complete submission contains the information requested below, including:

- (1) The CDBG-R Substantial Amendment (template attached below)
- (2) Spreadsheet for Reporting Proposed CDBG-R Activities (see <http://www.hud.gov/recovery>)
- (3) Signed and Dated Certifications (see <http://www.hud.gov/recovery>)
- (4) Signed and Dated SF-424.

Grantees should also attach a completed CDBG-R Substantial Amendment Checklist to ensure completeness and efficiency of review (attached below).

# THE CDBG-R HUD FY 2008 SUBSTANTIAL PLAN

## AMENDMENT

Jurisdiction(s): City of Tucson	CDBG-R Contact Person: Andrea Ibanez
Jurisdiction Web Address: <a href="http://www.tucsonaz.gov/csd">http://www.tucsonaz.gov/csd</a> "what's new" CDBG-R	Address: 310 North Commerce Park Loop PO Box 27210 Tucson, Arizona 85726 Telephone: 520.837.5006 Fax: 520.791.5407 Email: <a href="mailto:Andrea.Ibanez@tucsonaz.gov">Andrea.Ibanez@tucsonaz.gov</a>

### ENSURING RESPONSIBLE SPENDING OF RECOVERY ACT FUNDS

Funding available under the Recovery Act has clear purposes – to stimulate the economy through measures that modernize the Nation’s infrastructure, improve energy efficiency, and expand educational opportunities and access to health care. HUD strongly urges grantees to use CDBG-R funds for hard development costs associated with infrastructure activities that provide basic services to residents or activities that promote energy efficiency and conservation through rehabilitation or retrofitting of existing buildings. While the full range of CDBG activities is available to grantees, the Department strongly suggests that grantees incorporate consideration of the public perception of the intent of the Recovery Act in identifying and selecting projects for CDBG-R funding.

**General Information**

<b>Grantee Name</b>	City of Tucson
<b>Name of Entity or Department Administering Funds</b>	Community Service Department
<b>CDBG-R 2nd Contact Person</b>	Ronald Koenig
<b>Title</b>	Administrator
<b>Address Line 1</b>	310 North Commerce Park Loop
<b>Address Line 2</b>	P O BOX 27210
<b>City, State, Zip Code</b>	Tucson, Arizona 85726
<b>Telephone</b>	520.838.5339
<b>Fax</b>	520.791.2529
<b>Email Address</b>	Ron.koenig@tucsonaz.gov
<b>Authorized Official</b> (if different from Contact Person)	Olga Osterhage
<b>Title</b>	Deputy Director
<b>Address Line 1</b>	310 North Commerce Park Loop
<b>Address Line 2</b>	P O BOX 27210
<b>City, State, Zip Code</b>	Tucson, Arizona 85726
<b>Telephone</b>	520.837.5395
<b>Fax</b>	520.791.2511
<b>Email Address</b>	Olga.Osterhage@tucsonaz.gov
<b>Web Address where this Form is Posted</b>	Http://www.Tucsonaz.gov/csd click on "what's new" look for CDBG-R Substantial Plan Amendment

<b>Amount Grantee is Eligible to Receive*</b>	<b>\$1,657,320</b>
<b>Amount Grantee is Requesting</b>	<b>\$1,657,320</b>

*A. SPREADSHEET FOR REPORTING PROPOSED CDBG-R ACTIVITIES*

Grantees must provide information concerning CDBG-R assisted activities in an electronic spreadsheet provided by HUD. The information that must be reported in the spreadsheet includes activity name, activity description, CDBG-R dollar amount budgeted, eligibility category, national objective citation, additional Recovery Act funds for the activity received from other programs, and total activity budget. An electronic copy of the spreadsheet and the format is available on HUD's recovery website at <http://www.hud.gov/recovery>.



**B. CDBG-R INFORMATION BY ACTIVITY (COMPLETE FOR EACH ACTIVITY)**

- (1) Activity Name: (Grantees should follow the same order that activities are listed in the Spreadsheet for Reporting Proposed CDBG-R Activities – this will allow HUD to easily match activity narratives with the information provided in the spreadsheet.)

Response:

**Activity 1, Administration.** The grantee will expend no more than 10% of the CDBG-R allocation for the administration of the program.

**Activity 2, Construction.** Development of a multipurpose room at the Cherry Avenue Neighborhood and Recreation Center located at 5085 South Cherry Avenue for youth and senior programming (see attachment one titled “Expansion Plan Construction Documents”). Construction will comply with the International Energy Conservation Code, include water harvesting techniques, and utilize high efficiency mechanical systems. Davis Bacon Wage and Section 3 employment opportunity requirements will be applicable. Moreover, the scope of work will include verifiable provisions that material and supplies used in the construction will be “Made in the USA”. None of the CDBG-R funds will be spent on Public Services.

- (2) Activity Narrative:

In addition to the Spreadsheet for Reporting Proposed CDBG-R Activities, grantees must provide a narrative for each activity describing how the use of the grantee’s CDBG-R funds will meet the requirements of Title XII of Division A and Section 1602 of ARRA. The grantee’s narrative must also state how CDBG-R funds will be used in a manner that maximizes job creation and economic benefit in relation to the CDBG-R funds obligated, and will address the Recovery Act, by:

- Preserving and creating jobs and promoting economic recovery;
- Assisting those most impacted by the recession;
- Providing investment needed to increase economic efficiency;
- Investing in transportation, environmental protection, or other infrastructure that will provide long-term economic benefits;
- Minimizing or avoiding reductions in essential services; or
- Fostering energy independence.

Response:

- **The construction portion of the project is projected to create 50 construction jobs lasting approximately one year. The expansion of the center will result in the preservation of existing City employees and add up to 3 new FTEs, subject budget consideration in expanding hours of operation.**
- **The location of the neighborhood facility is in one the most impacted areas of Tucson. Foreclosure rates are high, unemployment in the adjoining census blocks are high and the target neighborhood area, census track 37.01, indicates that 68.15 percentage of households earn under 80 percent of the area median income.**

- The investment of CDBG-R funds in the project will afford the City to provide much need services in a more efficient manner by being able to conduct additional services during the existing hours of operation.
- The long term economic effects of the expansion of the neighborhood center are to be measured by the additional services and usage of the facility. Additional services can be provided to persons and families in great need providing assistance to overcome the current economic hardship by providing opportunities for self help such as foreclosure workshops, credit enhancement services, and additional programming opportunities for youth and seniors.
- The development of the multipurpose room will not only avoid reduction in services to this impacted neighborhood, rather it will afford the City to provide additional services.
- The addition will be built to International Energy Conservation Codes, hence fostering energy independence. It will also include water harvesting techniques which is of great importance in the desert southwest.

- (3) Jobs Created: (Report the number of full- and part-time jobs estimated to be created and retained by the activity (including permanent, construction, and temporary jobs).

Response:

**It is anticipated that the 50 full-time FTE's will be result of construction. It is anticipated that the expansion will support up to 3 additional FTE in the City employees, subject to budget consideration in expanded hours.**

- (4) Additional Activity Information: (A description of how the activity will promote energy conservation, smart growth, green building technologies, or reduced pollution emissions, if applicable.)

Response:

**The multipurpose room addition to the Cherry Avenue facility will be constructed to the International Energy Conservation Code. It will utilize high efficiency mechanical systems and include water harvesting techniques.**

## PROGRAMMATIC USES:

### City of Tucson, Parks & Recreation Department

#### Cherry Avenue Center – Proposed Programs for Building Expansion follows:

**A. Kid Kreation** – This program is designed for participants ages 3 – 5 years old and their parents. The program meets 4 times per week. This program allows participants to learn socialization skills in an environment that will prepare them to attend Kindergarten. A typical program day will include activities that focus on sharing, cooperation and basic learning (colors, alphabet, and shapes). Themes are used to help keep the interest of the participants and to help with program planning. Activities also include active games to promote fitness, arts and crafts to promote fine motor skills as well as creativity, and snack time to promote nutrition. Special activities are held throughout the year. Examples of special events are the Kid Kreation Rodeo, Olympics and Kid Kreation Graduation.

**B. Senior Club** – The Cherry Avenue Senior Club is open to anyone 50 years and older. This program offers a variety of activities that encourage socialization/interaction. Participants can choose from different levels of activities. For less active participants there are table games, potluck luncheons, etc. For more active participants, field trips and fitness programs are available. Additional programming space for seniors will allow for expanded programming as well as the possibility of being selected as a Senior Nutrition site. It will also prevent seniors from being displaced during summer and holiday programs when the majority of the available Center space is being use by over-crowded youth programs. The Cherry Avenue Senior Club encourages friendship and community amongst members.

**C. Teen Programming** – Teens at Cherry Avenue Center participate in a variety of activities that promote, fitness, community service, education and fun. Participants in the “In Betweeners Club” spend a portion of their program working on homework. They also take regular field trips to the Quincie Douglas Library to use computers and other Library resources. Teens participate in a community service project each month in order to show them the importance of being good citizens and in taking pride in their community. Projects include painting picnic tables, covering graffiti and picking up trash in the Cherry Avenue Park. Additional programming space will allow more use of the Center for Teens immediately following school when youth programs occupy the majority of the available space in the facility.

**D. Jr. Leaders Program** – The Jr. Leaders Program allows teens the opportunity to gain valuable experience assisting Tucson Parks and Recreation employees as they lead recreation activities. Participants are mentored by Teen Program staff. They receive training in a variety of different areas including leadership. This training is typically delivered in a classroom setting, which requires participants to travel to other facilities. Additional space for teen programming would allow this important program component to be held at the Cherry Avenue Center.

**e. Neighborhood Events & Meetings** - The Center holds 3 large events each year: *National Night Out*, which invites the neighborhood to socialize with law enforcement and other City staff

to promote safety and crime prevention. Approximately 300 people have attended this event. *The North Pole Celebration* is a holiday function where toys are distributed as a part of the Toys for Tots program. Over 1000 people have attended this event. Finally, the *Cinco De Mayo* celebration attracts about 300 people for a neighborhood celebration. The center also provides meeting space for various neighborhood groups and organizations. The building's expansion would allow more people to attend the events and meetings as well as provide a more adequate facility to accommodate large gatherings.

- (5) Responsible Organization: (Contact information for the organization that will implement the CDBG-R activity, including its name, location, and administrator contact information)

Response:

**The City of Tucson Community Services Department will be the responsible party for the administration of the CDBG-R grant as follows:**

**Ron Koenig, Community Development Administrator  
310 North Commerce Park Loop  
P O Box 27210, Tucson Arizona 85726  
520.837.5339  
Ron.Koenig@tucsonaz.gov/csd**

**The City Parks and Recreation Department in conjunction with the City of Tucson's Operations and Procurement Department will be responsible for the selection and supervision of the construction.**

**Jane Duarte, Parks and Recreation Administrator  
PO BOX 27210  
Tucson, Arizona 85726  
520.837.8034  
Jane.Duarte@tucsonaz.gov/ parks**

**C. PUBLIC COMMENT**

Provide a summary of public comments received to the proposed CDBG-R Substantial Amendment.

**Note:** A Proposed CDBG-R Substantial Amendment must be published via the usual methods and posted on the jurisdiction's website for no less than 7 calendar days for public comment.

Response:

See the attached public hearing notice and website posting. The HUD Fiscal Year 2008 Substantial Plan Amendment was posted on <http://www.tucsonaz.gov/csd> website on May, 22, 2009. Public Comment was accepted from May 22, 2009 through June 1, 2009. A hearing was conducted on Thursday, May 28, 2009 and Mayor and Council approved the Substantial Plan Amendment on June 2, 2009.

The following is a summary of the public comments; complete copies of the comments are included in this document following the check list.

Name/Organization	Date	Summary

Public comments were not received with respect to this project as a result of HUD's request to substitute this project followed the public comment period.

# CDBG-R Substantial Amendment Grantee Checklist

*For the purposes of expediting review, HUD asks that applicants submit the following checklist along with the CDBG-R Substantial Amendment, Spreadsheet for Reporting Proposed CDBG-R Activities, and SF-424.*

## Contents of a CDBG-R Action Plan Substantial Amendment

Jurisdiction(s): City of Tucson Lead Agency Jurisdiction Web Address: http://www.tucsonaz.gov/csd "What's New"	CDBG-R Contact Person: Andrea Ibanez Address: 310 North Commerce park Loop PO Box 27210, Tucson, Arizona Telephone: 520.837.5006 Fax: 520.790.5406 Email: Andrea.Ibanez@tucsonaz.gov
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The elements in the substantial amendment required for the CDBG recovery funds are:

### ***A. SPREADSHEET FOR REPORTING PROPOSED CDBG-R ACTIVITIES***

Does the submission contain a paper copy of the Spreadsheet for Reporting Proposed CDBG-R Activities?

Yes  No  Verification found on page 5

Does the submission include an electronic version of the Spreadsheet for Reporting Proposed CDBG-R Activities sent to the email box CDBG-R@hud.gov?

Yes  No  Date Spreadsheet was emailed: 5

Does the Spreadsheet for Reporting Proposed CDBG-R Activities include, for each activity:

- amount of funds budgeted for each activity, including CDBG-R funds, any additional Recovery Funds used and total activity budget,  
Yes  No  Verification found on page(s) 5
- the Eligibility citation (eligibility regulatory cite or HCDA cite),  
Yes  No  Verification found on page(s) 5
- the CDBG national objective citation,  
Yes  No  Verification found on page(s) 5

**B. CDBG-R INFORMATION BY ACTIVITY**

Does the submission contain information by activity describing how the grantee will use the funds, including:

- a narrative for each activity describing how CDBG-R funds will be used in a manner that maximizes job creation and economic benefit,  
Yes  No  Verification found on page(s) 6
- projected number of jobs created for each activity,  
Yes  No  Verification found on page(s) 6&7
- whether an activity will promote energy efficiency and conservation,  
Yes  No  Verification found on page(s) 7
- the name, location, and contact information for the entity that will carry out the activity,  
Yes  No  Verification found on page(s) 9
- evidence that no more than 10% of the grant amount will be spent on administration and planning,  
Yes  No  Verification found on page (s) 6
- evidence that no more than 15% of the grant amount will be spent on public services,  
Yes  No  Verification found on page (s) 6
- evidence that at least 70% of the grant amount will benefit persons of low and moderate income,  
Yes  No  Verification found on page (s) 6 **(low-mode area benefit)**

**C. PUBLIC COMMENT PERIOD**

Was the proposed action plan amendment published via the jurisdiction’s usual methods and on the Internet for no less than 7 calendar days of public comment?

Yes  No  Verification found on page(s) 10

Is there a summary of citizen comments included in the final amendment?

Yes  No  Verification found on page(s) 10

**D. CERTIFICATIONS**

The following certifications are complete and accurate:

- |   |   |                             |
|---|---|-----------------------------|
| (1) Affirmatively furthering fair housing | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| (2) Anti-displacement and relocation plan | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| (3) Drug-free Workplace                   | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| (4) Anti-lobbying                         | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| (5) Authority of jurisdiction             | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| (6) Consistency with plan                 | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| (7) Section 3                             | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |

- (8) Community development plan Yes  No
- (9) Following a plan Yes  No
- (10) Use of Funds Yes  No
- (11) Excessive Force Yes  No
- (12) Compliance with anti-discrimination laws Yes  No
- (13) Lead-based paint procedures Yes  No
- (14) Compliance with laws Yes  No
- (15) Compliance with ARRA Yes  No
- (16) Project selection Yes  No
- (17) Timeliness of infrastructure investments Yes  No
- (18) Buy American provision Yes  No
- (19) Appropriate use of funds for infrastructure investments Yes  No
- (20) 70% of CDBG-R for LMI Yes  No

Optional Certification

- (21) Urgent Need Yes  No

**D. STATE CERTIFICATIONS**

The following certifications are complete and accurate:

- (1) Affirmatively furthering fair housing Yes  No
- (2) Anti-displacement and relocation plan Yes  No
- (3) Drug-free Workplace Yes  No
- (4) Anti-lobbying Yes  No
- (5) Authority of State Yes  No
- (6) Consistency with plan Yes  No
- (7) Section 3 Yes  No
- (8) Community development plan Yes  No
- (9) Consultation with Local Governments Yes  No
- (10) Use of Funds Yes  No
- (11) Excessive Force Yes  No
- (12) Compliance with anti-discrimination laws Yes  No
- (13) Compliance with laws Yes  No
- (14) Compliance with ARRA Yes  No
- (15) Project selection Yes  No
- (16) Timeliness of infrastructure investments Yes  No
- (17) Buy American provision Yes  No
- (18) Appropriate use of funds for infrastructure investments Yes  No
- (19) 70% of CDBG-R for LMI Yes  No

Optional Certification

- (20) Urgent Need Yes  No

<b>Project Name:</b> Cherry Avenue Expansion					
<b>Description:</b>	<b>IDIS Project #:</b> 1 <b>UOG Code:</b> 040492/00001				
Addition of multipurpose room at Cherry Avenue Neighborhood and Recreation Center					
<b>Location:</b>	<b>Priority Need Category</b>				
5085 S. Cherry Avenue	Select one: Public Facilities ▼				
<b>Explanation:</b>					
<b>Expected Completion Date:</b>					
6/30/2010					
<b>Objective Category</b>					
<input type="radio"/> Decent Housing <input checked="" type="radio"/> Suitable Living Environment <input type="radio"/> Economic Opportunity					
<b>Outcome Categories</b>	<b>Specific Objectives</b>				
<input type="checkbox"/> Availability/Accessibility <input checked="" type="checkbox"/> Affordability <input checked="" type="checkbox"/> Sustainability	1 Improve quality / increase quantity of neighborhood facilities for low-income persons ▼				
	2 ▼				
	3 ▼				
<b>Project-level Accomplishments</b>	11 Public Facilities ▼	<b>Proposed</b>	1	Accompl. Type: ▼	<b>Proposed</b>
		<b>Underway</b>			<b>Underway</b>
		<b>Complete</b>			<b>Complete</b>
	Accompl. Type: ▼	<b>Proposed</b>		Accompl. Type: ▼	<b>Proposed</b>
		<b>Underway</b>			<b>Underway</b>
		<b>Complete</b>			<b>Complete</b>
	Accompl. Type: ▼	<b>Proposed</b>		Accompl. Type: ▼	<b>Proposed</b>
		<b>Underway</b>			<b>Underway</b>
		<b>Complete</b>			<b>Complete</b>
<b>Proposed Outcome</b>	<b>Performance Measure</b>	<b>Actual Outcome</b>			
Enhance Public Facilities	Percentage completed				
03E Neighborhood Facilities 570.201(c) ▼	Matrix Codes ▼				
Matrix Codes ▼	Matrix Codes ▼				
Matrix Codes ▼	Matrix Codes ▼				
<b>Program Year 1</b>	Other ▼	<b>Proposed Amt.</b>	1,491,588	Fund Source: ▼	<b>Proposed Amt.</b>
		<b>Actual Amount</b>			<b>Actual Amount</b>
	Fund Source: ▼	<b>Proposed Amt.</b>		Fund Source: ▼	<b>Proposed Amt.</b>
		<b>Actual Amount</b>			<b>Actual Amount</b>
	Accompl. Type: ▼	<b>Proposed Units</b>		Accompl. Type: ▼	<b>Proposed Units</b>
		<b>Actual Units</b>			<b>Actual Units</b>
	Accompl. Type: ▼	<b>Proposed Units</b>		Accompl. Type: ▼	<b>Proposed Units</b>
		<b>Actual Units</b>			<b>Actual Units</b>

Program Year 2	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
Program Year 3	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
Program Year 4	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
Program Year 5	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	

<b>Project Name:</b> City of Tucson/CSD Admin									
<b>Description:</b>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 30%;"><b>IDIS Project #:</b> 2</td> <td><b>UOG Code:</b> 040492/00001</td> </tr> </table>	<b>IDIS Project #:</b> 2	<b>UOG Code:</b> 040492/00001						
<b>IDIS Project #:</b> 2	<b>UOG Code:</b> 040492/00001								
<b>Location:</b> 310 N. Commerce Park Loop	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 30%;"><b>Priority Need Category</b></td> <td>Select one: <input type="text" value="Planning/Administration"/></td> </tr> <tr> <td colspan="2"><b>Explanation:</b></td> </tr> </table>	<b>Priority Need Category</b>	Select one: <input type="text" value="Planning/Administration"/>	<b>Explanation:</b>					
<b>Priority Need Category</b>	Select one: <input type="text" value="Planning/Administration"/>								
<b>Explanation:</b>									
<b>Expected Completion Date:</b> 6/30/2010	<b>Specific Objectives</b>								
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2"><b>Objective Category</b></td> </tr> <tr> <td><input type="radio"/> Decent Housing</td> <td></td> </tr> <tr> <td><input type="radio"/> Suitable Living Environment</td> <td></td> </tr> <tr> <td><input checked="" type="radio"/> Economic Opportunity</td> <td></td> </tr> </table>		<b>Objective Category</b>		<input type="radio"/> Decent Housing		<input type="radio"/> Suitable Living Environment		<input checked="" type="radio"/> Economic Opportunity	
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<input type="radio"/> Suitable Living Environment									
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<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td colspan="2"><b>Outcome Categories</b></td> </tr> <tr> <td><input type="checkbox"/> Availability/Accessibility</td> <td>1 <input type="text"/></td> </tr> <tr> <td><input type="checkbox"/> Affordability</td> <td>2 <input type="text"/></td> </tr> <tr> <td><input type="checkbox"/> Sustainability</td> <td>3 <input type="text"/></td> </tr> </table>	<b>Outcome Categories</b>		<input type="checkbox"/> Availability/Accessibility	1 <input type="text"/>	<input type="checkbox"/> Affordability	2 <input type="text"/>	<input type="checkbox"/> Sustainability	3 <input type="text"/>	
<b>Outcome Categories</b>									
<input type="checkbox"/> Availability/Accessibility	1 <input type="text"/>								
<input type="checkbox"/> Affordability	2 <input type="text"/>								
<input type="checkbox"/> Sustainability	3 <input type="text"/>								
<b>Project-level Accomplishments</b>	Accompl. Type: <input type="text"/>	<b>Proposed</b>		Accompl. Type: <input type="text"/>	<b>Proposed</b>				
		<b>Underway</b>			<b>Underway</b>				
		<b>Complete</b>			<b>Complete</b>				
	Accompl. Type: <input type="text"/>	<b>Proposed</b>		Accompl. Type: <input type="text"/>	<b>Proposed</b>				
		<b>Underway</b>			<b>Underway</b>				
		<b>Complete</b>			<b>Complete</b>				
	Accompl. Type: <input type="text"/>	<b>Proposed</b>		Accompl. Type: <input type="text"/>	<b>Proposed</b>				
		<b>Underway</b>			<b>Underway</b>				
		<b>Complete</b>			<b>Complete</b>				
<b>Proposed Outcome</b>		<b>Performance Measure</b>		<b>Actual Outcome</b>					
21A General Program Administration 570.206				Matrix Codes					
Matrix Codes				Matrix Codes					
Matrix Codes				Matrix Codes					
<b>Program Year 1</b>	Other	<b>Proposed Amt.</b>	\$165,732		Fund Source:	<b>Proposed Amt.</b>			
		<b>Actual Amount</b>				<b>Actual Amount</b>			
	Fund Source:	<b>Proposed Amt.</b>			Fund Source:	<b>Proposed Amt.</b>			
		<b>Actual Amount</b>				<b>Actual Amount</b>			
	Accompl. Type:	<b>Proposed Units</b>			Accompl. Type:	<b>Proposed Units</b>			
		<b>Actual Units</b>				<b>Actual Units</b>			
	Accompl. Type:	<b>Proposed Units</b>			Accompl. Type:	<b>Proposed Units</b>			
		<b>Actual Units</b>				<b>Actual Units</b>			

Program Year 2	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
Program Year 3	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
Program Year 4	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
Program Year 5	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Fund Source: ▼	Proposed Amt.		Fund Source: ▼	Proposed Amt.	
		Actual Amount			Actual Amount	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	
	Accompl. Type: ▼	Proposed Units		Accompl. Type: ▼	Proposed Units	
		Actual Units			Actual Units	

# CERTIFICATIONS

(1) **Affirmatively furthering fair housing.** The jurisdiction will affirmatively further fair housing, which means that it will conduct an analysis to identify impediments to fair housing choice within the jurisdiction, take appropriate actions to overcome the effects of any impediments identified through that analysis, and maintain records reflecting the analysis and actions in this regard.

(2) **Anti-displacement and relocation plan.** The jurisdiction will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended (42 U.S.C. 4601), and implementing regulations at 49 CFR part 24; and it has in effect and is following a residential anti-displacement and relocation assistance plan required under section 104(d) of the housing and Community Development Act of 1974, as amended, in connection with any activity assisted with funding under CDBG-R.

(3) **Drug Free Workplace.** The jurisdiction will or will continue to provide a drug-free workplace by:

1. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the grantee's workplace and specifying the actions that will be taken against employees for violation of such prohibition;
2. Establishing an ongoing drug-free awareness program to inform employees about –
  - (a) The dangers of drug abuse in the workplace;
  - (b) The grantee's policy of maintaining a drug-free workplace;
  - (c) Any available drug counseling, rehabilitation, and employee assistance programs; and
  - (d) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
3. Making it a requirement that each employee to be engaged in the performance of the grant be given a copy of the statement required by paragraph 1;
4. Notifying the employee in the statement required by paragraph 1 that, as a condition of employment under the grant, the employee will -
  - (a) Abide by the terms of the statement; and
  - (b) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;
5. Notifying the agency in writing, within ten calendar days after receiving notice under subparagraph 4(b) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to every grant officer or other designee on whose grant activity the convicted employee was working, unless the Federal agency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected grant;
6. Taking one of the following actions, within 30 calendar days of receiving notice under subparagraph 4(b), with respect to any employee who is so convicted:
  - (a) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or

(b) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;

7. Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs 1, 2, 3, 4, 5 and 6.

(4) **Anti-lobbying.** To the best of the jurisdiction's knowledge and belief:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement;

2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, it will complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions; and

3. It will require that the language of paragraph 1 and 2 of this anti-lobbying certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

(5) **Authority of Jurisdiction.** The jurisdiction possesses the legal authority to carry out the programs for which it is seeking funding, in accordance with applicable HUD regulations and other program requirements.

(6) **Consistency with Plan.** The housing activities to be undertaken with CDBG-R funds are consistent with its consolidated plan.

(7) **Section 3.** The jurisdiction will comply with section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. 1701u), and implementing regulations at 24 CFR part 135.

(8) **Community development plan.** The jurisdiction certifies that the consolidated housing and community development plan identifies housing and community development needs and specifies both short-term and long-term community development objectives that have been developed in accordance with the primary objective of the statute authorizing the CDBG program.

(9) **Following a plan.** The jurisdiction is following a current consolidated plan that has been approved by HUD.

(10) **Use of funds.** The jurisdiction has developed activities so as to give the maximum feasible priority to activities that will benefit low- and moderate-income families or aid in the prevention of slums or blight. Additional activities may be included that are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community where other financial resources are not available to meet such needs. It has complied with the following criteria:

1. **Maximum Feasible Priority.** With respect to activities expected to be assisted with CDBG-R funds, it certifies that it has developed its Action Plan so as to give maximum feasible priority to activities which benefit low and moderate income families or aid in the prevention or elimination of slums or blight. The Action Plan may also include activities which the grantee certifies are designed to meet other community development needs having a particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community, and other financial resources are not available);

2. **Special Assessments.** The jurisdiction will not attempt to recover any capital costs of public improvements assisted with CDBG-R funds by assessing any amount against properties owned and occupied by persons of low- and moderate-income, including any fee charged or assessment made as a condition of obtaining access to such public improvements. However, if CDBG-R funds are used to pay the proportion of a fee or assessment attributable to the capital costs of public improvements (assisted in part with CDBG-R funds) financed from other revenue sources, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG-R funds. The jurisdiction will not attempt to recover any capital costs of public improvements assisted with CDBG-R funds, unless CDBG-R funds are used to pay the proportion of fee or assessment attributable to the capital costs of public improvements financed from other revenue sources. In this case, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG-R funds. In addition, with respect to properties owned and occupied by moderate-income (but not low-income) families, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG-R funds if the jurisdiction certifies that it lacks CDBG-R or CDBG funds to cover the assessment.

(11) **Excessive Force.** The jurisdiction certifies that it has adopted and is enforcing: (1) a policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and (2) a policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location that is the subject of such non-violent civil rights demonstrations within its jurisdiction.

(12) **Compliance with anti-discrimination laws.** The CDBG-R grant will be conducted and administered in conformity with title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d), the Fair Housing Act (42 U.S.C. 3601-3619), and implementing regulations.

(13) **Compliance with lead-based paint procedures.** The activities concerning lead-based paint will comply with the requirements of part 35, subparts A, B, J, K, and R of this title.

(14) **Compliance with laws.** The jurisdiction will comply with applicable laws.

(15) **Compliance with ARRA.** The jurisdiction will comply with Title XII of Division A of the American Recovery and Reinvestment Act of 2009.

(16) **Project selection.** The jurisdiction will select projects to be funded, by giving priority to projects that can award contracts based on bids within 120 days from the date the funds are made available to the recipient, and that will ensure maximum job creation and economic benefit.

(17) **Timeliness of infrastructure investments.** When the jurisdiction uses CDBG-R funds for infrastructure investments, the grantee will give preference to quick-start and finish activities, including a goal to use at least 50 percent of the funds for activities within 120 days of enactment of the Recovery Act.

(18) **Buy American provision.** The jurisdiction will ensure that all iron, steel and manufactured goods used in construction, alteration, repair, or maintenance of a public building or public work project assisted with CDBG-R funds under the Recovery Act must be produced in the United States unless the Secretary finds that: (1) the requirement is inconsistent with public interest; (2) those goods are not reasonably available or produced in sufficient quantity in the U.S.; (3) or the use of the goods will increase the project cost by more than 25 percent.

(19) **Appropriate use of funds for infrastructure investments.** The Governor, mayor, or other chief executive, as appropriate certifies, that any infrastructure investments have received the full review and vetting required by law and that the chief executive accepts responsibility that the infrastructure investment is an appropriate use of taxpayer dollars. Alternatively, a grantee's chief elected official certifies that infrastructure investments will receive the full review and vetting required by law and that the chief executive accepts responsibility that the infrastructure investment is an appropriate use of taxpayer dollars.

(20) **70% of CDBG-R for LMI.** The aggregate use of CDBG-R funds shall principally benefit persons of low and moderate income in a manner that ensures that at least 70 percent of the grant is expended for activities that benefit such persons over the life of the CDBG-R grant.

  
\_\_\_\_\_  
Signature/Authorized Official

May 18, 2009  
Date

Deputy Director  
Title

OPTIONAL CERTIFICATION

CDBG-R

Submit the following certification only when one or more of the activities in the action plan are designed to meet other community development needs having a particular urgency as specified in 24 CFR 570.208(c):

Where the urgent need is the current economic conditions, the grantee certifies that the activity is alleviating current economic conditions which pose a threat to the economic welfare of the community in which the activity is being carried out, the recipient is unable to finance the activity on its own, and other sources of funding are not available.

  
Signature/Authorized Official

May 18, 2009  
Date

Deputy Director  
Title

# CDBG PROGRAM

WARD

NEIGHBORHOOD

## Brief Project Description:

Cherry Avenue Center  
5085 S. Cherry

Roof replacement - \$11,000

Eligible Per: 570.201© -- public facility

National Objective: 570.208(a)(1)—area benefit

## Area Benefit Data:

This form is to be used when the benefit of a proposed project is available to all residents of an area where at least 51% of the residents are of low or moderate income. Census 2000 data will be used by Community Services staff to make an eligibility determination.

## Service Area or Project Boundaries:

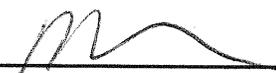
North: Irvington  
Drexel  
South: Campbell Ave  
East: Nogales Hwy  
West: \_\_\_\_\_

Census Tract	Block Group	# of People	# of Low/Mod
CT 37.01	ALL	8042	5481

= **68.15% low/mod = OK**

If project has been identified as providing an area benefit, then no further information regarding clients served need be provided

Certified as meeting a CDBG national objective -- area benefit -- per above project description:

  
\_\_\_\_\_  
Community Services Supervisor

6/3/09  
\_\_\_\_\_  
Date  
B2bareabenefit.doc

# Cherry Avenue Recreation Center

## Additions and Renovations 5085 S. Cherry Avenue, Tucson, Arizona

**CITY of TUCSON**  
Parks and Recreation Department

Southwest Center  
4208 South Santa Rita  
Tucson, Arizona

Tel: (520) 791-5909

Fred Gray, Jr. - Director	Parks and Recreation	Date: _____
Reenie Ochoa, Southwest District Administrator	Parks and Recreation	Date: _____
Wayne Barnett, Southwest District Superintendent	Parks and Recreation	Date: _____
Octavio SantaMaria, Project Manager	Architectural and Engineering Division	Date: _____

### Consultants:

Civil Engineering	Olsson Associates, Inc.	Date	03/25/09
Structural Engineering	TLCP Structural Engineering, Inc.	Mechanical Engineering	P. H. Mechanical Engineering
		Electrical Engineering	R.A. Alcalá and Associates, Inc.

Project Documents are non-proprietary.

The materials and manufacturers mentioned in these documents are for the description of the standard and quality of the products to be used on this project. Contractor may submit for equal products for substitution.

# ARQUITECTURA

196 West Simpson Street Tucson, Arizona 85701-2269 (520) 882-0488 Fax 882-2851 [arquitectura@cox.net](mailto:arquitectura@cox.net)



**GENERAL SITE CALCULATIONS:**

PROPERTY DESCRIPTION: SEE CIVL DRAWINGS  
 PARCEL NUMBER: SEE CIVL DRAWINGS  
 PROJECT ADDRESS: SEE CIVL DRAWINGS  
 LEGAL DESCRIPTION: SEE CIVL DRAWINGS  
 EXISTING USE: RECREATION CENTER  
 PROPOSED USE: ADMINISTRATION AREAS - BUSINESS OFFICES  
 PRIMARY USE: ADMINISTRATION AREAS - BUSINESS OFFICES  
 SECONDARY USE: NONE

**BUILDINGS HEIGHT:**  
 MIXED USE ASSEMBLY AREA A, B / BUSINESS OFFICES  
 ALLOWABLE BUILDING HEIGHTS  
 GROSS FLOOR AREAS  
 ORIGINAL MIXED USE - A-3 / B  
 2009 ADDITION - B  
 TOTAL 3,995 SF  
 3,245 SF

ALLOWABLE W/ FIRE SPRINKLER SYSTEM 80,000 SF. 8,840 SF.

**LOT COVERAGE:**  
 LOT(1) AREA (1035 x 396)  
 GROSS FLOOR AREA  
 X OF LOT COVERAGE  
 F-101 CALCULATION  
 GROSS FLOOR AREAS  
 ACTUAL FAR  
 ALLOWABLE FAR

**PARKING CALCULATIONS:**  
 SEE CIVL DRAWINGS

**OCCUPANCY**

TABLE E 1003.222  
 MINIMUM FLOOR AREA ALLOWED PER OCCUPANT  
 ASSEMBLY WITH SEATING RECLINING - STANDING SPACE 5 NET  
 BUSINESS AREAS WITH AUTOMATIC FIRE SPRINKLER SYSTEM 20  
 ORIGINAL MIXED USE - A-3 / B 1/20 = 270 OCCUPANCY  
 2009 ADDITION B 3/245 SF / 80 = 303 OCCUPANCY  
 TOTAL 8,640 SF. = 303 OCCUPANCY

**EGRESS CALCULATION TABLE 1003.22**

OCCUPANCY - 303  
 MINIMUM WIDTH OF WALKWAY REQUIRED - 303 x 0.2 = 60"  
 WIDTH OF WALKWAY REQUIRED (W/ PANIC HARDWARE) 60"

**CODE CALCULATIONS**

**CODE ANALYSIS SHEET**

City of Tucson  
 Planning and Development Services Department  
 5085 S. Cherry Avenue  
 Tucson, Arizona 85701-2288  
 DATE: 03/25/09

COBIZ ANALYSIS DATA  
 TO FACILITATE PLAN REVIEW, ATTACH COMPLETED COPY TO APPLICATIONS DIVISION

City of Tucson  
 Planning and Development Services Department  
 5085 S. Cherry Avenue  
 Tucson, Arizona 85701-2288  
 DATE: 03/25/09

General Building Summary

Building	Occupancy	Type of Construction	Building Area (sq. ft.)	Building Height (ft.)	Building Area (sq. ft.)	Building Height (ft.)
1	A-3	III	1035	396	1035	396
2	B	III	2009	2009	2009	2009
3	B	III	2009	2009	2009	2009
4	B	III	2009	2009	2009	2009
5	B	III	2009	2009	2009	2009
6	B	III	2009	2009	2009	2009
7	B	III	2009	2009	2009	2009
8	B	III	2009	2009	2009	2009
9	B	III	2009	2009	2009	2009
10	B	III	2009	2009	2009	2009
11	B	III	2009	2009	2009	2009
12	B	III	2009	2009	2009	2009
13	B	III	2009	2009	2009	2009
14	B	III	2009	2009	2009	2009
15	B	III	2009	2009	2009	2009
16	B	III	2009	2009	2009	2009
17	B	III	2009	2009	2009	2009
18	B	III	2009	2009	2009	2009
19	B	III	2009	2009	2009	2009
20	B	III	2009	2009	2009	2009
21	B	III	2009	2009	2009	2009
22	B	III	2009	2009	2009	2009
23	B	III	2009	2009	2009	2009
24	B	III	2009	2009	2009	2009
25	B	III	2009	2009	2009	2009
26	B	III	2009	2009	2009	2009
27	B	III	2009	2009	2009	2009
28	B	III	2009	2009	2009	2009
29	B	III	2009	2009	2009	2009
30	B	III	2009	2009	2009	2009
31	B	III	2009	2009	2009	2009
32	B	III	2009	2009	2009	2009
33	B	III	2009	2009	2009	2009
34	B	III	2009	2009	2009	2009
35	B	III	2009	2009	2009	2009
36	B	III	2009	2009	2009	2009
37	B	III	2009	2009	2009	2009
38	B	III	2009	2009	2009	2009
39	B	III	2009	2009	2009	2009
40	B	III	2009	2009	2009	2009
41	B	III	2009	2009	2009	2009
42	B	III	2009	2009	2009	2009
43	B	III	2009	2009	2009	2009
44	B	III	2009	2009	2009	2009
45	B	III	2009	2009	2009	2009
46	B	III	2009	2009	2009	2009
47	B	III	2009	2009	2009	2009
48	B	III	2009	2009	2009	2009
49	B	III	2009	2009	2009	2009
50	B	III	2009	2009	2009	2009
51	B	III	2009	2009	2009	2009
52	B	III	2009	2009	2009	2009
53	B	III	2009	2009	2009	2009
54	B	III	2009	2009	2009	2009
55	B	III	2009	2009	2009	2009
56	B	III	2009	2009	2009	2009
57	B	III	2009	2009	2009	2009
58	B	III	2009	2009	2009	2009
59	B	III	2009	2009	2009	2009
60	B	III	2009	2009	2009	2009
61	B	III	2009	2009	2009	2009
62	B	III	2009	2009	2009	2009
63	B	III	2009	2009	2009	2009
64	B	III	2009	2009	2009	2009
65	B	III	2009	2009	2009	2009
66	B	III	2009	2009	2009	2009
67	B	III	2009	2009	2009	2009
68	B	III	2009	2009	2009	2009
69	B	III	2009	2009	2009	2009
70	B	III	2009	2009	2009	2009
71	B	III	2009	2009	2009	2009
72	B	III	2009	2009	2009	2009
73	B	III	2009	2009	2009	2009
74	B	III	2009	2009	2009	2009
75	B	III	2009	2009	2009	2009
76	B	III	2009	2009	2009	2009
77	B	III	2009	2009	2009	2009
78	B	III	2009	2009	2009	2009
79	B	III	2009	2009	2009	2009
80	B	III	2009	2009	2009	2009
81	B	III	2009	2009	2009	2009
82	B	III	2009	2009	2009	2009
83	B	III	2009	2009	2009	2009
84	B	III	2009	2009	2009	2009
85	B	III	2009	2009	2009	2009
86	B	III	2009	2009	2009	2009
87	B	III	2009	2009	2009	2009
88	B	III	2009	2009	2009	2009
89	B	III	2009	2009	2009	2009
90	B	III	2009	2009	2009	2009
91	B	III	2009	2009	2009	2009
92	B	III	2009	2009	2009	2009
93	B	III	2009	2009	2009	2009
94	B	III	2009	2009	2009	2009
95	B	III	2009	2009	2009	2009
96	B	III	2009	2009	2009	2009
97	B	III	2009	2009	2009	2009
98	B	III	2009	2009	2009	2009
99	B	III	2009	2009	2009	2009
100	B	III	2009	2009	2009	2009

**ARCHITECTURA**  
 198 W. Shogson Street  
 Tucson, Arizona 85701-2288  
 Tel: (520) 882-9444 (520) 882-2861  
 architects@archa.com

**EXP.** 08/30/11  
 Project: Cherry Avenue Recreation Center Additions and Renovations

**CITY OF TUCSON**  
 Parks and Recreation Department  
 Southwest Center  
 4208 South Santa Rita  
 Tucson, Arizona  
 Tel: (520) 791-5809

**General Information**  
 Sheet: G-2  
 Date: 03/25/09  
 Application Title: 2008-03  
 Sheet Title:

**NOTES AND CALCULATIONS**

1. THE EXISTING ZONING IS R-1

2. GROSS SITE AREA: 4504 AC @ 217,934 SF

3. EXISTING BUILDING AREA: 5,385 SF

4. PROPOSED BUILDING AREAS: 5,993 SF

5. EXISTING USE: RECREATION USE GROUP

6. PROPOSED USE: RECREATION USE GROUP

7. EXISTING HEIGHT: 12'

8. PROPOSED HEIGHT: 12'

9. PROPOSED USE: RECREATION USE GROUP

10. SUBJECTS TO SEC. 3.5.13.2 AND 3.5.13.3 OF THE L.U.C.

11. SHEET FOR AREA: 20,000 SF (MIN)

12. SHEET FOR AREA: 21,734 SF

13. SHEET FOR AREA: 21,734 SF

14. SHEET FOR AREA: 21,734 SF

15. SHEET FOR AREA: 21,734 SF

16. SHEET FOR AREA: 21,734 SF

17. SHEET FOR AREA: 21,734 SF

18. SHEET FOR AREA: 21,734 SF

19. SHEET FOR AREA: 21,734 SF

20. SHEET FOR AREA: 21,734 SF

21. SHEET FOR AREA: 21,734 SF

22. SHEET FOR AREA: 21,734 SF

23. SHEET FOR AREA: 21,734 SF

24. SHEET FOR AREA: 21,734 SF

25. SHEET FOR AREA: 21,734 SF

26. SHEET FOR AREA: 21,734 SF

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28. SHEET FOR AREA: 21,734 SF

29. SHEET FOR AREA: 21,734 SF

30. SHEET FOR AREA: 21,734 SF

31. SHEET FOR AREA: 21,734 SF

32. SHEET FOR AREA: 21,734 SF

33. SHEET FOR AREA: 21,734 SF

34. SHEET FOR AREA: 21,734 SF

35. SHEET FOR AREA: 21,734 SF

36. SHEET FOR AREA: 21,734 SF

37. SHEET FOR AREA: 21,734 SF

38. SHEET FOR AREA: 21,734 SF

39. SHEET FOR AREA: 21,734 SF

40. SHEET FOR AREA: 21,734 SF

41. SHEET FOR AREA: 21,734 SF

42. SHEET FOR AREA: 21,734 SF

43. SHEET FOR AREA: 21,734 SF

44. SHEET FOR AREA: 21,734 SF

1-800-782-5348

THE CITY OF TUCSON, ARIZONA

PLANNING AND ZONING DEPARTMENT

1200 N. GILBERT AVENUE, SUITE 100

TUCSON, ARIZONA 85716

**GRADING NOTES**

1. ALL CONSTRUCTION AND TEST METHODS SHALL BE IN ACCORDANCE WITH PMA PUBLIC WORKS SPECIFICATIONS, THESE MAY BE MODIFIED AND/OR SUPPLEMENTED BY THE REQUIREMENTS OF THESE PLANS.

2. AN APPROVED COPY OF THIS PLAN SHALL BE KEPT AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.

3. THE PLAN IS TO BE USED FOR GRADING CONSTRUCTION ONLY. THE CONTRACTOR SHALL USE OTHER SURVEYING METHODS TO OBTAIN GRADE DATA FOR CONSTRUCTION OF ALL UTILITIES OTHER THAN GRADING.

4. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION PRIOR TO COMMENCING CONSTRUCTION.

5. THE CONTRACTOR IS RESPONSIBLE FOR ALL NEW CONSTRUCTION LAIERS AND GRADE CONTROL.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FINISH, MAINTAIN AND APPLY ALL CONSTRUCTION MATERIALS AND METHODS TO BE USED IN THE CONSTRUCTION OF THE PROJECT.

7. THE CONTRACTOR SHALL OBTAIN ALL PERMITS INCLUDING EROSION PREVENTION PERMITS FROM THE CITY OF TUCSON REGARDING DUST POLLUTION.

8. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPANCY, SAFETY AND HEALTH ADMINISTRATION REGULATIONS.

9. ALL GRADING SHALL BE TO BE ACCORDANCE WITH THE CITY OF TUCSON SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2000).

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF ALL UTILITIES AND STRUCTURES WHICH ARE BEING REMOVED AND/OR DAMAGED DURING CONSTRUCTION. ALL UTILITIES SHALL BE RELOCATED TO WITHIN 0.10 FEET OF FINISH GRADE AS DESIGNATED BY THE ENGINEER.

11. ALL CONCRETE SHALL COMPLY WITH PMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2000).

12. ALL CONCRETE SHALL COMPLY WITH PMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2000).

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15. ALL CONCRETE SHALL COMPLY WITH PMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2000).

**GRADING NOTES**

1. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PRESERVE AND PROTECT EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO: WATER, GAS, FIBER OPTIC, AND OTHER UTILITIES. THESE UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES DAMAGED DURING CONSTRUCTION.

2. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION PRIOR TO COMMENCING CONSTRUCTION.

3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NEW CONSTRUCTION LAIERS AND GRADE CONTROL.

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15. ALL CONCRETE SHALL COMPLY WITH PMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2000).

**BASIS OF BEARING**

THE BASIS OF BEARING IS THE CENTERLINE OF CHERRY AVENUE SAID BEARING BEING N 00°02'22" E.

**BASIS OF ELEVATION**

THE BASIS OF ELEVATION IS GPT 1 AT PAGE 1 THEREOF. SAID BENCHMARK DESCRIBED AS BEING AN 8" DIA. CONCRETE BENCHMARK SET IN THE NORTHWEST CORNER OF BLDG. 1. THE ELEVATION OF THIS BENCHMARK IS 2529.772 FEET ABOVE MEAN SEA LEVEL. NAVD83.

THE BENCHMARK, STANWOLD 2-BURGE CAD GROUND MONUMENT AT THE CORNER OF CHERRY AVENUE AND NAVAJO AVENUE, NORTH AMERICAN VERTICAL DATUM OF 1988.

**BUILDING CODE NOTES**

1. I.B.C. OCCUPANCY CLASS

2. BASE ALLOWANCE FOR CONSTRUCTION

3. FINISH FLOOR ALLOWANCE AREA INCREASE

4. PROPOSED BUILDING AREA

5. OCCUPANT LOADS

6. FIRE SPRINKLERS

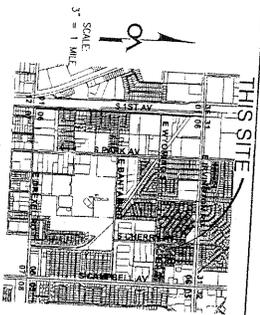
7. FINISH FLOOR ALLOWANCE AREA INCREASE

8. PROPOSED BUILDING AREA

9. OCCUPANT LOADS

10. FIRE SPRINKLERS

CATEGORIES	EXISTING BUILDING 1	PROPOSED ADDITIONS
1. I.B.C. OCCUPANCY CLASS	MIXED USE "A", "B", "C"	MIXED USE "A", "B", "C"
2. BASE ALLOWANCE FOR CONSTRUCTION	THIS 2,500 SQ FT	THIS 2,500 SQ FT
3. FINISH FLOOR ALLOWANCE AREA INCREASE	N/A	N/A
4. PROPOSED BUILDING AREA	5,385 SQ FT	5,993 SQ FT
5. OCCUPANT LOADS	120 PER PERSON	120 PER PERSON
6. FIRE SPRINKLERS	NO	NO



**LOCATION MAP**  
A PORTION OF THE NE 1/4 SECTION 12, T12S, R11E, E6S, AZONA COUNTY, ARIZONA  
SCALE: 1" = 1 MILE

**DEVELOPER/OWNER**  
TUCSON, ARIZONA 85716  
PH: (520) 781-5930

**WORK TO BE DONE**  
THE IMPROVEMENTS AND GRADING CONSIST OF THE FOLLOWING WORK:  
1. IMPROVEMENTS AND GRADING CONSIST OF THE FOLLOWING WORK:  
2. IMPROVEMENTS AND GRADING CONSIST OF THE FOLLOWING WORK:  
3. IMPROVEMENTS AND GRADING CONSIST OF THE FOLLOWING WORK:

**STANDARD SPECIFICATIONS**  
1. STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (2000), PMA COUNTY AND CITY ENGINEERS FOR PUBLIC IMPROVEMENTS (2000).

**STANDARD DETAIL DRAWINGS**  
1. STANDARD DETAIL DRAWINGS FOR PUBLIC IMPROVEMENTS (2000), PMA COUNTY AND CITY ENGINEERS FOR PUBLIC IMPROVEMENTS (2000).

**LEGEND**

PROPERTY LINE

EXISTING SUBDIVISION LOT LINES

EXISTING BOUNDARY

EXISTING CONTOUR LINE

EXISTING ELEVATION

EXISTING BENCHMARK

EXISTING STAKE

EXISTING TYPICAL STAKE W/WH

**SITE ADDRESS**  
5045 SOUTH CHERRY AVENUE  
TUCSON, ARIZONA 85706

**EARTHWORK QUANTITIES**

120 CY

0 CY

120 CY

0 CY

120 CY

0 CY

**REVISIONS**

NO. GATE DESCR

2008

DATE

REVISION DESCRIPTION

NO. GATE DESCR

2008

DATE



3025 West I-19 Road  
Tucson, AZ 85741-2107  
TEL: 520-777-6728  
FAX: 520-777-3872  
www.molssonaz.com



**BOOK**

**PAGE**

**SHEET C-1**

**CHERRY AVE CENTER**

**TUCSON, ARIZONA**

**DATE**

**REVISION DESCRIPTION**

**NO. GATE DESCR**

**2008**

**DATE**

1-800-782-5348



MABA LOMA TOWNHOUSES  
BOOK 21, PAGE 29 MAP  
R-2

SCALE: 1" = 20'  
CONTINENTAL INTERVAL = 1'

**KEYNOTES**  
(AFTER SITE/GRADING KEYNOTE LIST)

- 1) CONCRETE FROM CONCRETE SPRAWK TO EXISTING CONCRETE SPRAWK PER SHEET C-1
- 2) DRINKING FOUNTAIN/WATER WEL PER SHEET C-4
- 3) NEW BKE BACKS PER SHEET C-4
- 4) CONCRETE WALL WITH 42" HIGH HANDRAIL PER SHEET C-4
- 5) NEW CONCRETE FINISH PER SHEET C-4
- 6) EXISTING PAVED AREA TO REMAIN
- 7) EXISTING FLOOR TO REMAIN
- 8) EXISTING CHIL TO REMAIN
- 9) EXISTING TIP REINFORCER TO REMAIN
- 10) CUI FIBRO WALL, PER ARCHITECTURAL PLANS
- 11) LOW STAIN WALL, PER SHEET C-4
- 12) PROTECT A 36" HIGH WOOD RAIL ON BOTH SIDES OF PAVE
- 13) REMOVE EXISTING FLOOR, REINFORCER, SPRAWK, 3 SPOKS MINIMUM FROM 1" BELOW TO BE REINFORCED BY BRICKS REINFORCING

ACCESSIBLE ROUTE: 2% MAXIMUM CROSS SLOPE IN ANY DIRECTION

**NOTES:**

1. SEE SHEET C-3 FOR ALL SITE DEMOLITION WORK.
2. REFER TO THE MECHANICAL ENGINEERS PLANS FOR ALL UTILITY AND MECHANICAL EQUIPMENT TO BE DEMOLISHED/RELOCATED NEAR THE BUILDING ENVELOPE.
3. REFER TO THE ARCHITECT'S PLANS FOR ALL BUILDING AND SITE WALL DEMOLITIONS NEAR THE BUILDING FOOTPRINT.
4. SELECTIVE SITE IMPROVEMENTS WILL BE DETERMINED BY ALTERNATES SELECTED.

2008  
DATE  
DESIGN

SITE PLAN - GRADING PLAN

CHERRY AVE CENTER

TUCSON, ARIZONA

REVISIONS

REV. NO.	DATE	REVISION DESCRIPTION

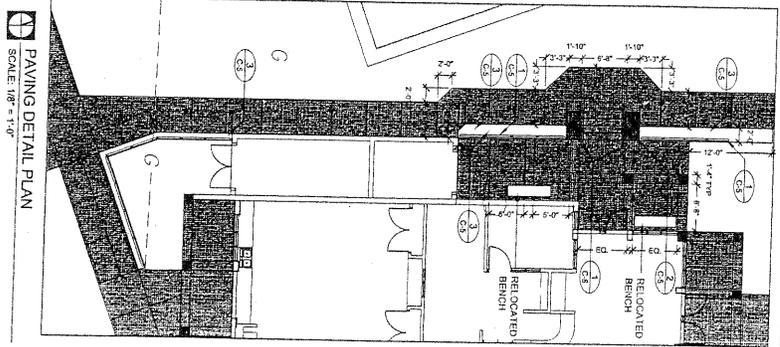
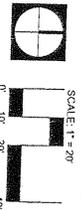
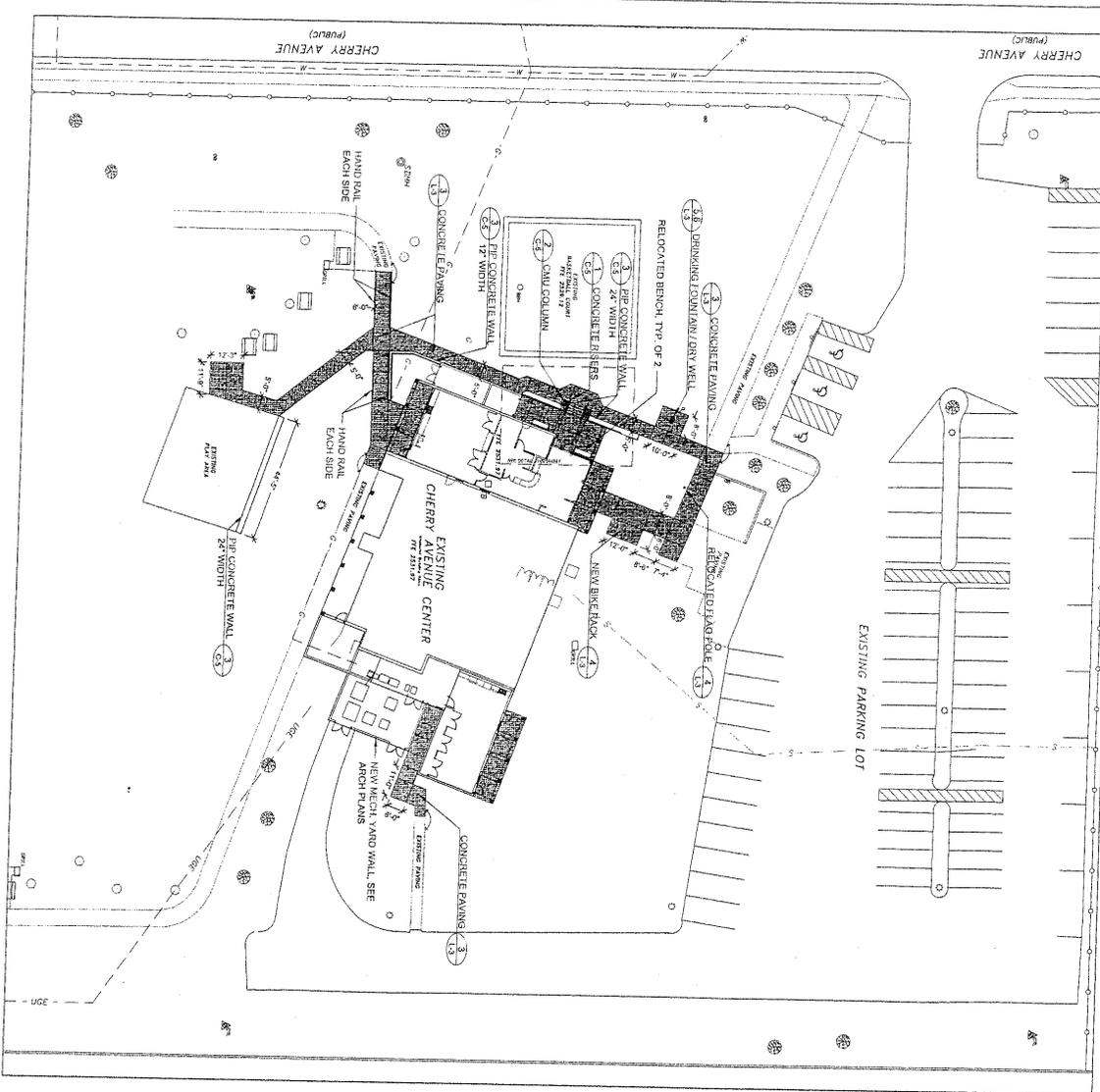
**MOLSSON ASSOCIATES**

3023 West Iva Road  
Tucson, AZ 85741-1107

TEL: 520.777.8728  
FAX: 520.777.5872  
www.molsson.com

BOOK PAGE





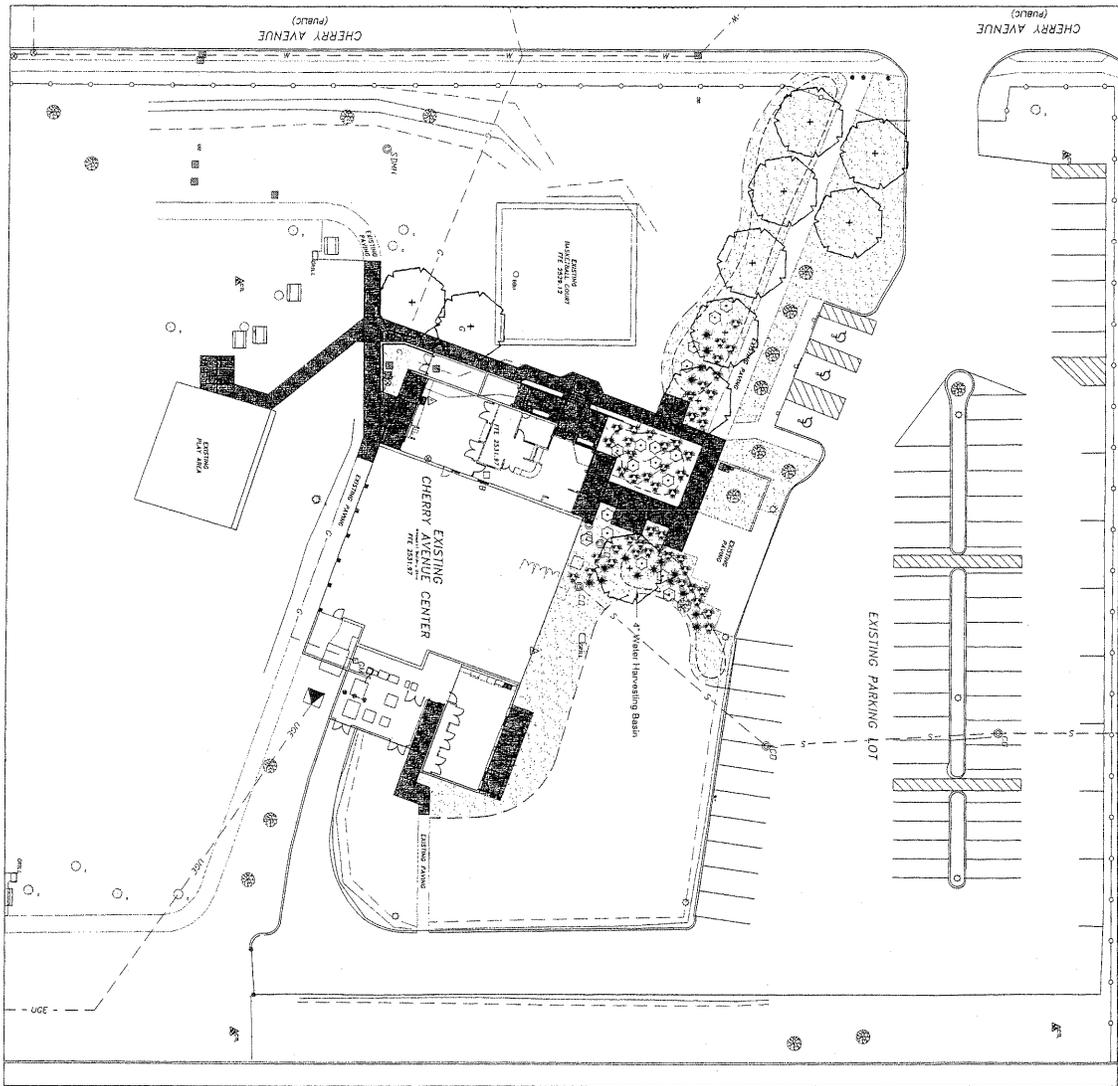
PAVING DETAIL PLAN  
 SCALE: 1/8" = 1'-0"

NOTE: SELECTED NEW CONSTRUCTION WILL BE  
 CONTINGENT ON ALTERNATES SELECTED

PAVING LAYOUT PLAN  CHERRY AVE CENTER	TUCSON, ARIZONA  2008	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV. NO.</th> <th>DATE</th> <th>REVISIONS DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. NO.	DATE	REVISIONS DESCRIPTION													<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCR.</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCR.	REVISIONS												
REV. NO.	DATE	REVISIONS DESCRIPTION																																
NO.	DATE	DESCR.	REVISIONS																															
SHEET C-4 OF		BOOK _____ PAGE _____																																

3225 West Ina Road TEL: 520.777.6728  
 Tucson, AZ 85741-2107 FAX: 520.777.3872  
[www.olsconsulting.com](http://www.olsconsulting.com)





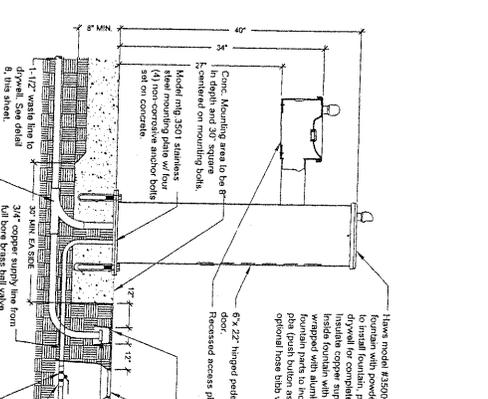
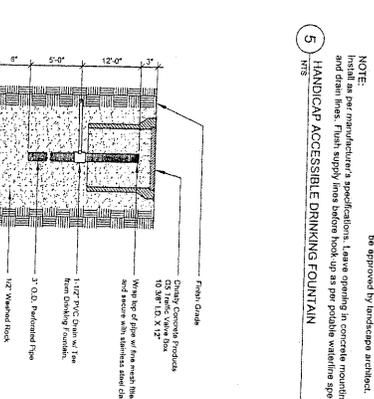
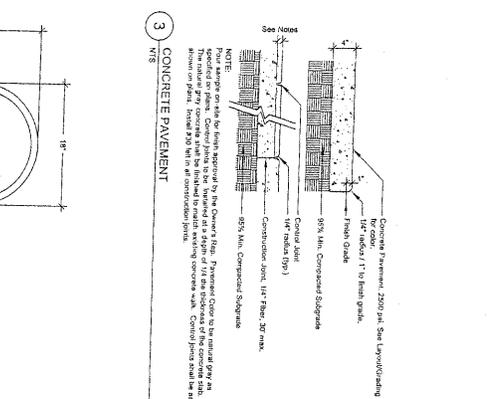
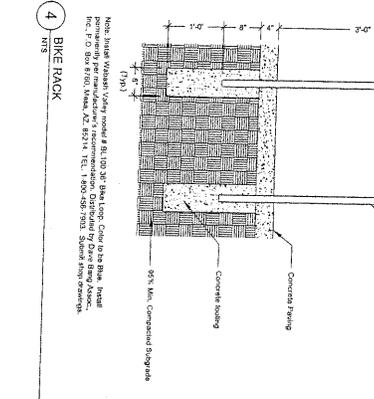
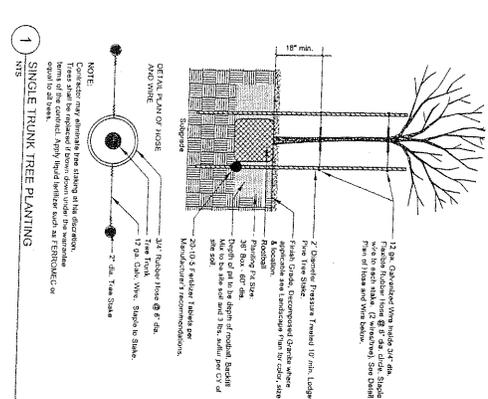
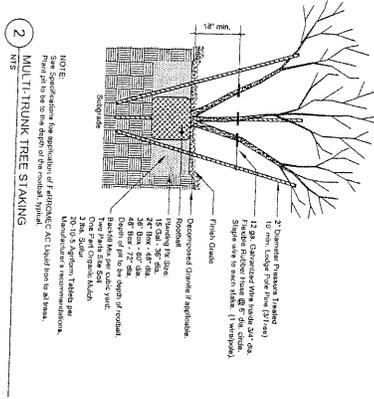
NOTE: ALL NEW PLANTING IS ADD ALTERNATE #4

**PLANT LIST**

Plant Symbol	Botanical Name	Common Name	Size	Descr.	Quantity
+	Ficus sp.	Chinese Filicoid	36" Box	Specimen	10
<b>SPECIALS, CACTI AND ACCENTS:</b>					
□	Buddleia mandariniana	Buddleia	5 Gal.		17
○	Muhlenbergia capillaris	Bluestem	5 Gal.		48
●	Parrya hirsuta	Parrya	5 Gal.		16
■	Neelia macrocarpa	Neelia	5 Gal.		16
■	Barro Grass	Barro Grass	5 Gal.		16
■	Decorated Granite	Decorated Granite	1/4" Max - 2" Depth	"Decorated"	
■	Water Harvesting Basin	Water Harvesting Basin		Note provides a depressed area for rain water harvesting	

TUCSON, ARIZONA 2008	LANDSCAPE PLAN CHERRY AVE CENTER	REV. NO. DATE REVISIONS DESCRIPTION		<b>MOLSSON ASSOCIATES</b> 3028 West Ina Road Tucson, AZ 85741-3107 TEL: 520.777.8728 FAX: 520.777.3512 www.dpcosulting.com
	SHEET L-1 of	NO. DATE DESCR. REVISIONS		

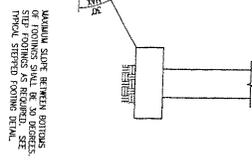




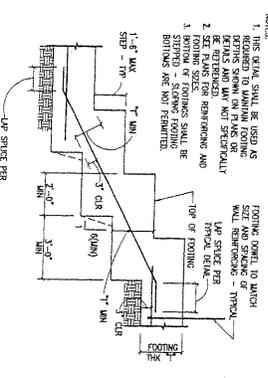




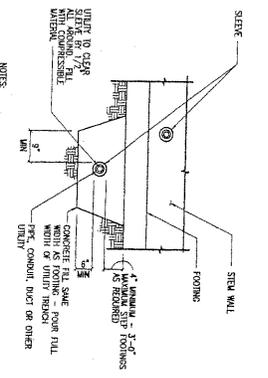




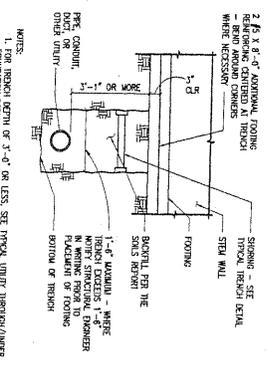
11 MAXIMUM SLOPE BETWEEN ADJACENT FOOTINGS  
TYPICAL DETAIL  
1501.01A



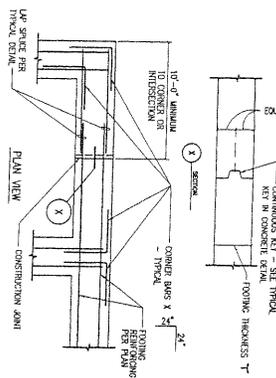
12 TYPICAL STEPPED FOOTING  
TYPICAL DETAIL  
1501.07



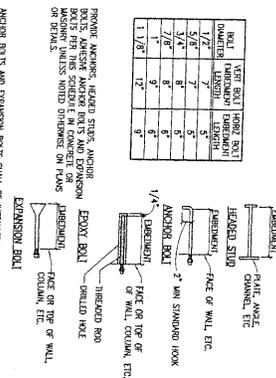
13 UTILITIES THROUGH/UNDER FOUNDATION  
TYPICAL DETAIL  
1501.03



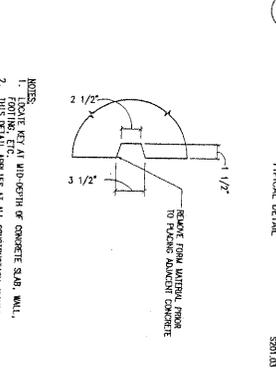
14 UTILITY PASSING BELOW WALL FOOTING IN TRENCH  
TYPICAL DETAIL  
1501.05



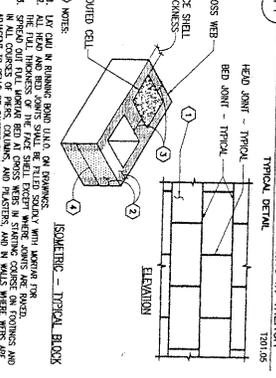
15 TYPICAL CORNER REINFORCING AND CONSTRUCTION JOINTS IN CONCRETE FOOTINGS  
TYPICAL DETAIL  
1501.20



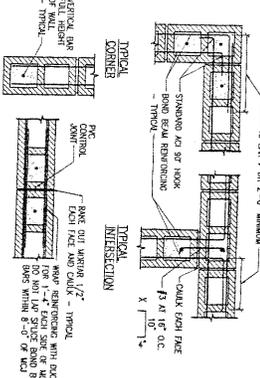
16 TYPICAL EPOXY BOLT HEADED STUD ANCHOR BOLT AND EXPANSION BOLT EMBEDMENT SCHEDULE  
TYPICAL DETAIL  
1501.01A



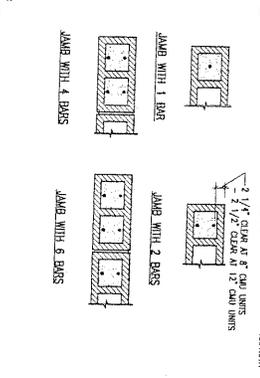
17 TYPICAL KEY IN CONCRETE  
TYPICAL DETAIL  
1501.05



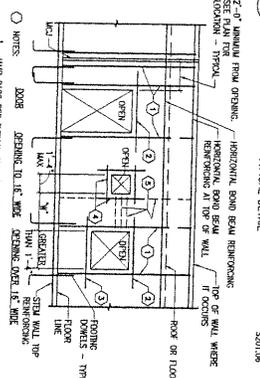
18 MORTAR REQUIRED AT TYPICAL CMU CONSTRUCTION  
TYPICAL DETAIL  
1501.05



19 PLAN VIEW - TYPICAL CMU WALL REINFORCING  
TYPICAL DETAIL  
1501.01A



110 TYPICAL CMU WALL REINFORCING AT OPENINGS  
TYPICAL DETAIL  
1501.05



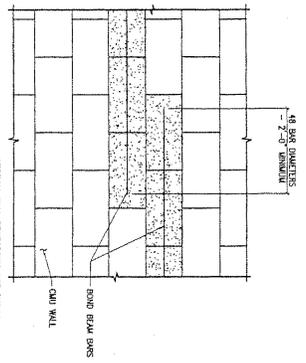
111 ELEVATION OF CMU PIER REINFORCING  
TYPICAL DETAIL  
1501.05

**TLC&P**  
STRUCTURAL INC.  
1000 N. CENTRAL AVENUE, SUITE 100  
TUCSON, ARIZONA 85724  
TEL: (520) 791-1100  
FAX: (520) 791-1101  
WWW.TLC&P.COM

City of Tucson Project No: **C-08-C19**  
Approval Date: **2008-01**  
Date: **03/13/09**  
Project: **Typical Details**  
Sheet: **S1-3**

**Cherry Avenue Recreation Center Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**ARCHITECTURAL**  
161 W. Superior Street  
Tucson, Arizona 85701-0008  
Tel: (520) 882-0488 Fax: (520) 882-2651  
info@architectural.com



111 STEPPED CMU WALL BOND BEAM  
TYPICAL DETAIL 401.11

LINE OF BEARING

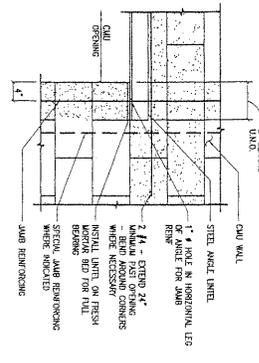
OPENING WITH REINFORCING

OPENING WITH REINFORCING

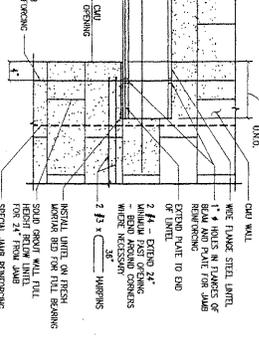
OPENING WIDTH	TY	REINFORCING	STIRRUPS
0' - 3'-4"	1#	2 #4 BOTTOM	1 #4 @ 16"
3'-5" - 4'-4"	2#	2 #4 TOP AND BOTTOM	1 #4 @ 16"
4'-5" - 6'-0"	2#	2 #5 TOP AND BOTTOM	1 #4 @ 16"

- NOTES:
- UNLESS NOTED OTHERWISE OR SHOWN, PROVIDE REINFORCED MASONRY UNITS ACCORDING TO THE SMOKE PENETRATION AND REINFORCING WALLS. SEE SECTION 05100 FOR DETAILS.
  - PROVIDE UNITS ABOVE ALL OPENINGS IN CMU WALLS, INCLUDING ALL WINDOW AND DOOR OPENINGS, TO BE REINFORCED. REINFORCING SHALL BE SET IN TO LOCATE OPENINGS WITHIN 2" OF MASONRY CONTROL JOINTS OR ADJACENT OPENINGS.
  - SEE TYPICAL CMU WALL REINFORCING FOR REINFORCING DETAIL FOR REINFORCING AT SIDES AND BOTTOM OF OPENING.

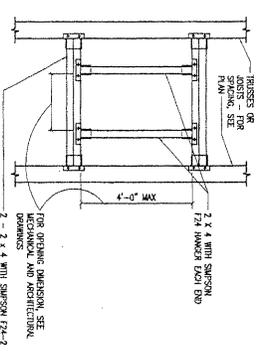
112 REINFORCING FOR NON-SCHEDULED OPENINGS IN CMU WALLS  
TYPICAL DETAIL 1401.14



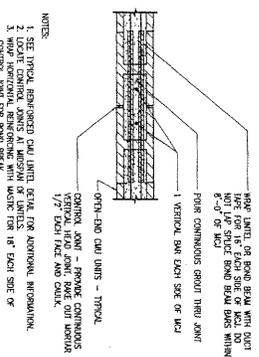
115 TYPICAL STEEL ANGLE LINTEL BEARING  
TYPICAL DETAIL 401.01 R



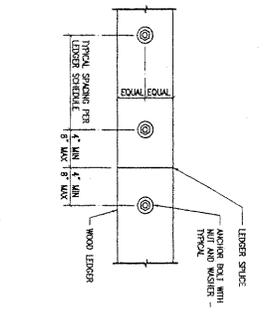
116 TYPICAL WIRE FLANGE STEEL LINTEL BEARING  
TYPICAL DETAIL 402.01 R



113 TYPICAL FRAMING AROUND SMALL OPENING  
TYPICAL DETAIL 601.01



117 ELEVATION - TYPICAL REINFORCED CMU LINTEL  
TYPICAL DETAIL 403.11 R



114 TYPICAL WOOD LEDGER BOLTING  
TYPICAL DETAIL 601.17

1 2 3 4 5

**TLCIP**  
STRUCTURAL INC.

1111 N. CENTRAL AVENUE, SUITE 100  
TUCSON, ARIZONA 85706  
TEL: (520) 791-5111  
FAX: (520) 791-5112

03/13/09  
City of Tucson Project No. C-08-C19  
Architects List Job No. 2008-01

Typical Details  
S1-4

**Cherry Avenue Recreation Center Additions & Renovations**

5085 S. Cherry Avenue  
Tucson, Arizona 85706

CITY OF TUCSON  
Parks and Recreation Department

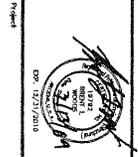
District Southwest Center  
4205 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5111

**ARQUITECTURA 5**

816 W. Buchanan Street  
Tucson, Arizona 85709-3308  
Tel: (520) 882-2348 Fax: (520) 882-2681  
arquit@arquitectura5.com

DATE: 12/21/2008

109



# Cherry Avenue Recreation Center Additions & Renovations

5085 S. Cherry Avenue  
 Tucson, Arizona 85706

**CITY OF TUCSON**  
 Parks and Recreation Department  
 District Southwest Center  
 4208 South Santa Rita  
 Tucson, Arizona

Tel: (520) 791-5111

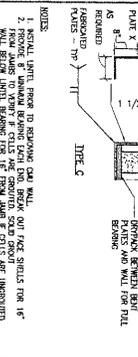
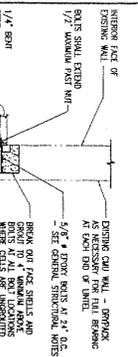
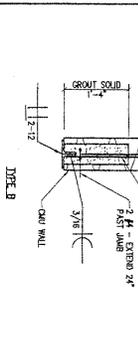
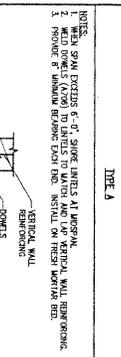
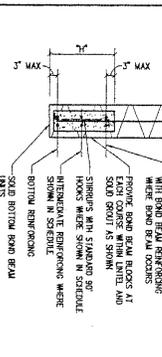
03/13/09  
 C-08-C19  
 2008-01

**Schedules**

S1-5

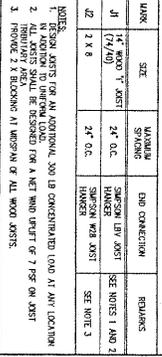
### LINTEL (L/T) SCHEDULE

MARK	TYPE	LINTEL SIZE	REMARKS
L1	A	1/4" - 6"; 2 # BOTTOM	SEE NOTES
L2	B	2 - 1 1/2" x 3 1/2" x 1/4"	SEE NOTES
L3	C	1/4" BEAM FLAT	SEE NOTES
L4	A	H = 32"; 2 # BOTTOM	SEE NOTES
L5	D	W 8 X 30 WITH 1/4" STEEL PLATE	SEE NOTES
L6	E	3 - 1 1/2" x 3 1/2" x 1/4"	SEE NOTES



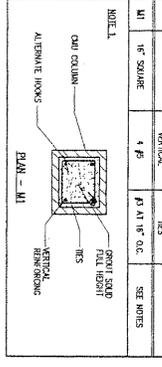
### COLUMN (C) SCHEDULE

MARK	SIZE	BASE CONNECTION	REMARKS
C1	108 x 6 x 6 x 1/16	3/4" x 12" x 1/4" BASE PLATE WITH 4 - 3/4" x 7" BRASS BOLTS	SEE NOTE 1



### FOOTING (F) SCHEDULE

MARK	DIMENSIONS	FOOTING REINFORCING	REMARKS
F1	1'-4" x 12"	2 # CHAIRS	REMARKS
F2	3'-0" SQUARE	4 # EACH WAY	REMARKS
F3	3'-4" x 10"	4 # CHAIRS	REMARKS
F4	5'-0" x 10"	5 # CHAIRS # AT 12" O.C. TRANSVERSE	REMARKS



### JOIST (J) SCHEDULE

MARK	SIZE	SPAN	END CONNECTION	REMARKS
J1	16" WOOD T JOIST (7/4) (J)	24' O.C.	SPONGE LAY JOIST HANGER	SEE NOTES 1 AND 2
J2	2 x 8	24' O.C.	SPONGE W/8 JOIST HANGER	SEE NOTE 3

### BEAM (B) SCHEDULE

MARK	BEAM SIZE	CHAIRS AT MIDSPAN	END CONNECTION	REMARKS
B1	5 1/8" x 28 1/2"	1/2"	SEE DETAILS	REINFORCING
B2	8" x 28"	7/8"	SEE DETAILS	REINFORCING
B3	5 1/8" x 19 1/2"	1"	SEE DETAILS	REINFORCING
B4	12"	---	WELDED CONNECTION	REINFORCING

### LEDGER (L) SCHEDULE

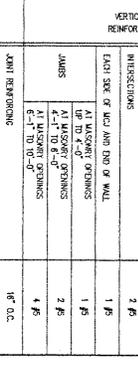
MARK	LEDGER SIZE	CONNECTION	REMARKS
L1	4 x 12	1/4" x 4" STUD BOLTS AT 16" O.C.	SEE NOTES
L2	4 x 12	1/4" x 4" STUD BOLTS AT 16" O.C.	SEE NOTES
L3	4 x 8	1/4" x 4" STUD BOLTS AT 16" O.C.	SEE NOTES
L4	4 x 8	1/4" x 4" STUD BOLTS AT 16" O.C.	SEE NOTES

### MECHANICAL EQUIPMENT WEIGHTS SCHEDULE

MARK	VERTICAL ALL STEEL, WEIGHTS AND LOADERS OF MECHANICAL EQUIPMENT WITH MECHANICAL WEIGHTS AND MOUNTED	REMARKS
A	485 LBS	---
B	385 LBS	---

### MASONRY COLUMN (M) SCHEDULE

MARK	SIZE	REINFORCING	REMARKS
M1	16" SQUARE	4 # AT 16" O.C.	SEE NOTES

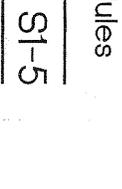
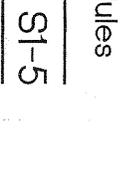
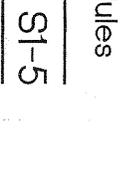
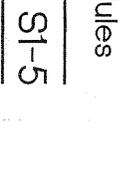
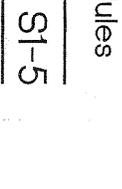
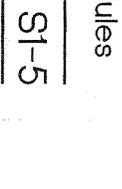
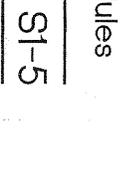
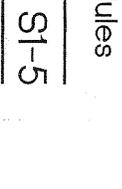
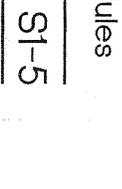
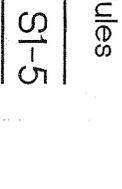
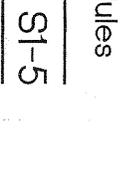
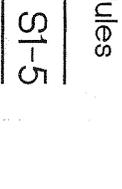
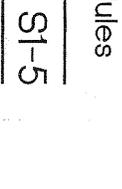
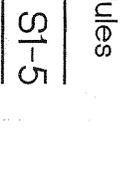
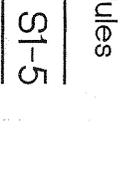
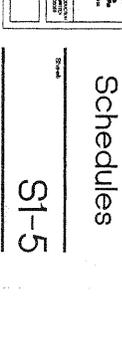
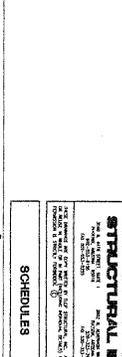
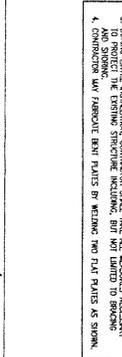
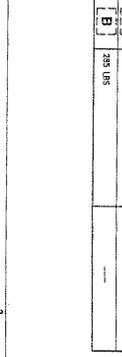


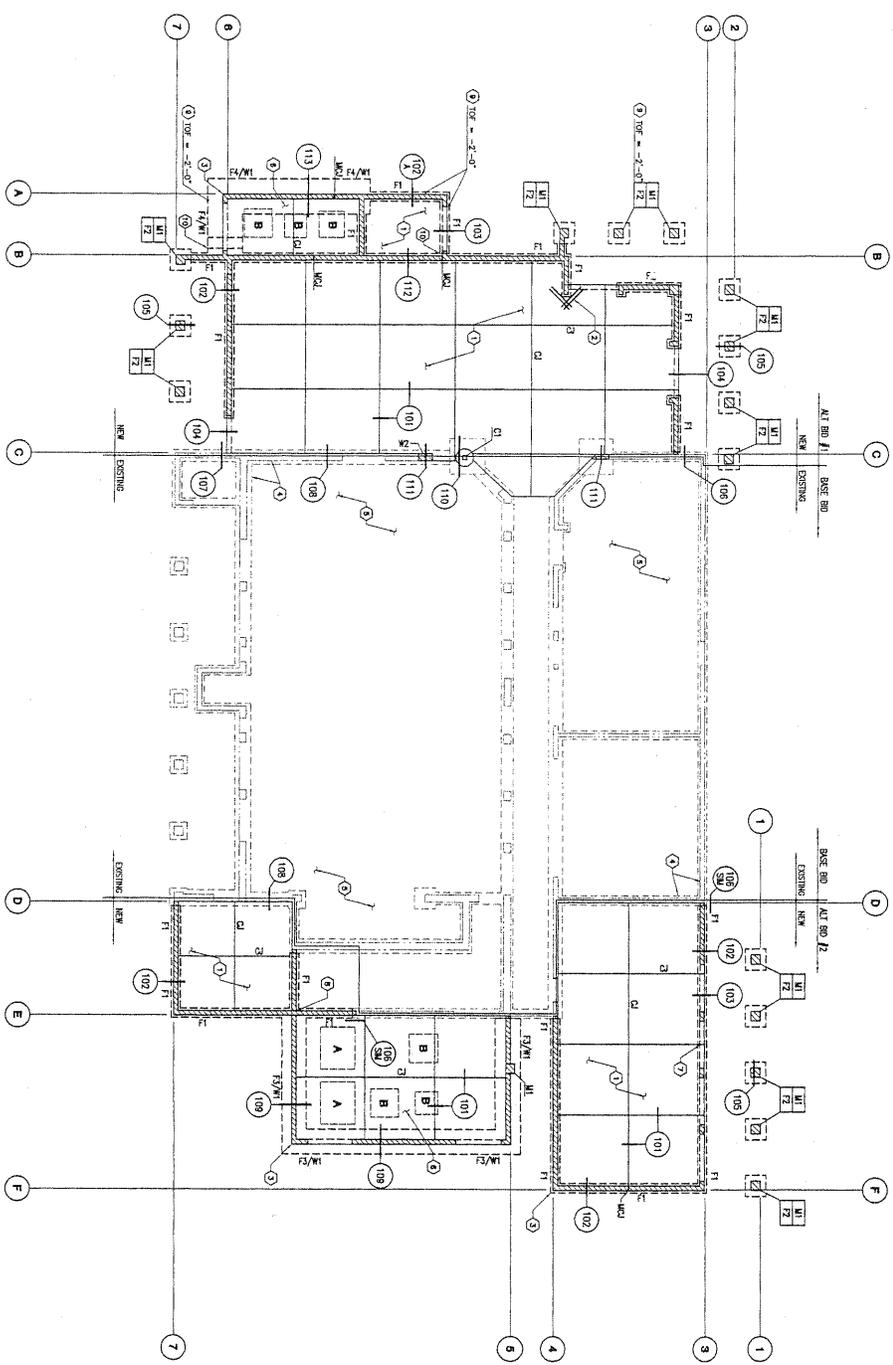
### TYPICAL 8" MASONRY WALL REINFORCING SCHEDULE

LOCATION	REINFORCING	REMARKS
TYPICAL THROUGHOUT	4 # AT 48" O.C.	---
CORNERS	1 #	---
INTERSECTIONS	2 #	---
LEAD SET OF WALL AND END OF WALL	1 #	---
JUNTS	4 # AT 16" O.C.	---
AT WALL/DOOR OPENINGS	2 #	---
4'-1" TO 6'-0"	4 #	---
6'-0" TO 10'-0"	4 #	---
10'-0" TO 14'-0"	4 #	---
14'-0" TO 18'-0"	4 #	---
18'-0" TO 24'-0"	4 #	---
24'-0" TO 30'-0"	4 #	---
30'-0" TO 36'-0"	4 #	---
36'-0" TO 42'-0"	4 #	---
42'-0" TO 48'-0"	4 #	---
48'-0" TO 54'-0"	4 #	---
54'-0" TO 60'-0"	4 #	---
60'-0" TO 66'-0"	4 #	---
66'-0" TO 72'-0"	4 #	---
72'-0" TO 78'-0"	4 #	---
78'-0" TO 84'-0"	4 #	---
84'-0" TO 90'-0"	4 #	---
90'-0" TO 96'-0"	4 #	---
96'-0" TO 102'-0"	4 #	---
102'-0" TO 108'-0"	4 #	---
108'-0" TO 114'-0"	4 #	---
114'-0" TO 120'-0"	4 #	---
120'-0" TO 126'-0"	4 #	---
126'-0" TO 132'-0"	4 #	---
132'-0" TO 138'-0"	4 #	---
138'-0" TO 144'-0"	4 #	---
144'-0" TO 150'-0"	4 #	---
150'-0" TO 156'-0"	4 #	---
156'-0" TO 162'-0"	4 #	---
162'-0" TO 168'-0"	4 #	---
168'-0" TO 174'-0"	4 #	---
174'-0" TO 180'-0"	4 #	---
180'-0" TO 186'-0"	4 #	---
186'-0" TO 192'-0"	4 #	---
192'-0" TO 198'-0"	4 #	---
198'-0" TO 204'-0"	4 #	---
204'-0" TO 210'-0"	4 #	---
210'-0" TO 216'-0"	4 #	---
216'-0" TO 222'-0"	4 #	---
222'-0" TO 228'-0"	4 #	---
228'-0" TO 234'-0"	4 #	---
234'-0" TO 240'-0"	4 #	---
240'-0" TO 246'-0"	4 #	---
246'-0" TO 252'-0"	4 #	---
252'-0" TO 258'-0"	4 #	---
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288'-0" TO 294'-0"	4 #	---
294'-0" TO 300'-0"	4 #	---
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306'-0" TO 312'-0"	4 #	---
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318'-0" TO 324'-0"	4 #	---
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360'-0" TO 366'-0"	4 #	---
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924'-0" TO 930'-0"	4 #	---
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942'-0" TO 948'-0"	4 #	---
948'-0" TO 954'-0"	4 #	---
954'-0" TO 960'-0"	4 #	---
960'-0" TO 966'-0"	4 #	---
966'-0" TO 972'-0"	4 #	---
972'-0" TO 978'-0"	4 #	---
978'-0" TO 984'-0"	4 #	---
984'-0" TO 990'-0"	4 #	---
990'-0" TO 996'-0"	4 #	---
996'-0" TO 1002'-0"	4 #	---

### MASONRY WALL REINFORCING (W) SCHEDULE

MARK	THICKNESS	VERTICAL REINFORCING	HORIZONTAL REINFORCING	REMARKS
W1	8"	4 # AT 24" O.C.	SEE TYPICAL SCHEDULE	---
W2	12"	4 # AT 24" O.C.	SEE TYPICAL SCHEDULE	---





FOUNDATION PLAN

PLAN NOTES:

1. \* CONCRETE SLAB WITH REINFORCING BARS 4" A.B.C.
2. 2" MIN. X 4" DEEPEN IN SLAB AT 8" O.C. - TYPICAL AT RE-ENTRY
3. ALL REINFORCING BARS SHALL BE 3" MIN. DIA. W/ 18" MAX. S.PACING
4. EXISTING CMU WALL AND FOOTING
5. EXISTING CONCRETE SLAB
6. \* CONCRETE SLAB OVER 4" A.B.C.
7. WALL LOCATED IN CENTER OF UNIT NAME
8. CONJ. JOINT, SET TYPICAL DETAILS
9. TOP OF FOOTING ELEVATION BASED ON UNITS ADJACENT GRADE WITHIN 5'-0" OF FOOTING. CONSTRUCTION SHALL VERIFY REFER TO 1'-0" PLAN BELOW UNITS ADJACENT GRADE.
10. STEP FOOTING AS REQUIRED TO MAINTAIN TOP OF FOOTING ELEVATION. SEE TYPICAL DETAILS FOR REINFORCEMENTS.

**TLCBP**  
**STRUCTURAL INC.**  
 1000 N. GILBERT AVENUE  
 TUCSON, ARIZONA 85705  
 TEL: (520) 791-5111  
 FAX: (520) 791-5111

FOUNDATION PLAN - SEE  
 84 SHEETS FOR DETAILS

**CITY OF TUCSON**  
 Parks and Recreation Department  
 District Southwest Center  
 4208 South Santa Rita  
 Tucson, Arizona

Project No. (S20) 791-5111

Drawn: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: 03/13/09  
 City of Tucson Project No. C-08-C19  
 Application File No. 2008-01

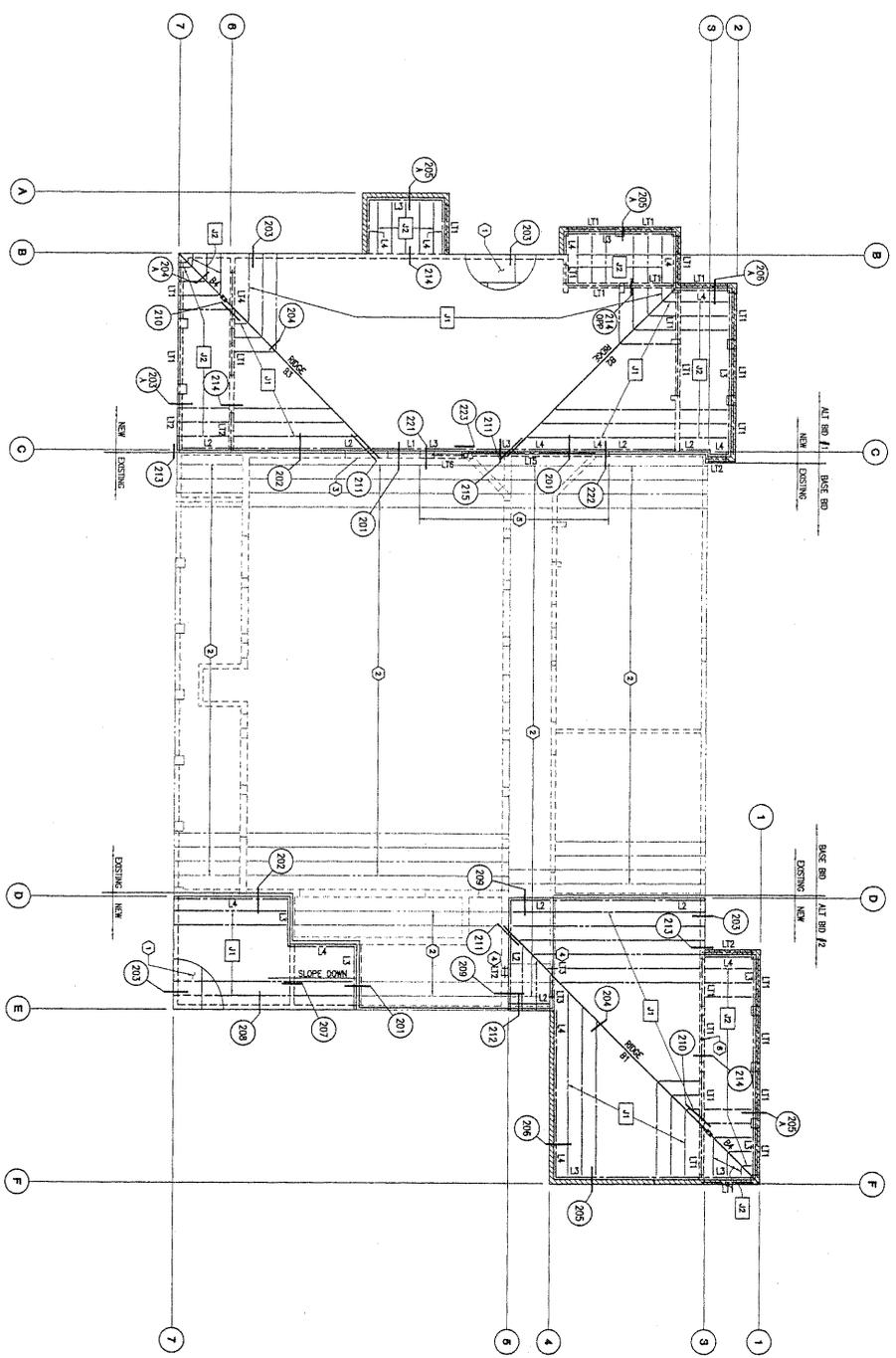
Foundation Plan  
 S2-1

**Cherry Avenue  
 Recreation Center  
 Additions & Renovations**

5085 S. Cherry Avenue  
 Tucson, Arizona 85706

**ARQUITECTURA 8**  
 803 W. SHAWAN STREET  
 TUCSON, ARIZONA 85705-3008  
 TEL: (520) 882-0488 FAX: (520) 882-2855  
 M: (520) 882-2855  
 M: (520) 882-2855

100% COMPLETE  
 03/13/09



**FRAMING PLAN**

**PLAN NOTES.**

- 1) SIZE TIMBER SELECTION, FOR LATH AND ATTACHMENT, SEE GENERAL STRUCTURAL NOTES.
- 2) EXISTING FRAMING.
- 3) NEW OPENING IN CMU WALL AT EXISTING KICKOUT.
- 4) NEW OPENING IN EXISTING CMU WALL FOR DUCT PENETRATION, COORDINATE LOCATION WITH ARCHITECTURAL AND/OR MECHANICAL DRAWINGS.
- 5) REMOVE EXISTING CMU WALL AND LATHS, FILL HOLES IN THIS AREA, REINFORCE WITH NEW CMU WALL, AND LATHS, SHORL EXISTING ROOF AS REQUIRED.
- 6) WALL LOCATED IN CENTER OF LATH, SEE DETAIL T18.

**TLOP**  
**STRUCTURAL INC.**  
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 (520) 791-5111  
 FAX (520) 791-5112  
 WWW.TLOPSTRUCTURAL.COM

FRAMING PLAN - SEE  
 56 SHEETS FOR DETAILS

**S3-1**

**Cherry Avenue  
 Recreation Center  
 Additions & Renovations**

5085 S. Cherry Avenue  
 Tucson, Arizona 85706

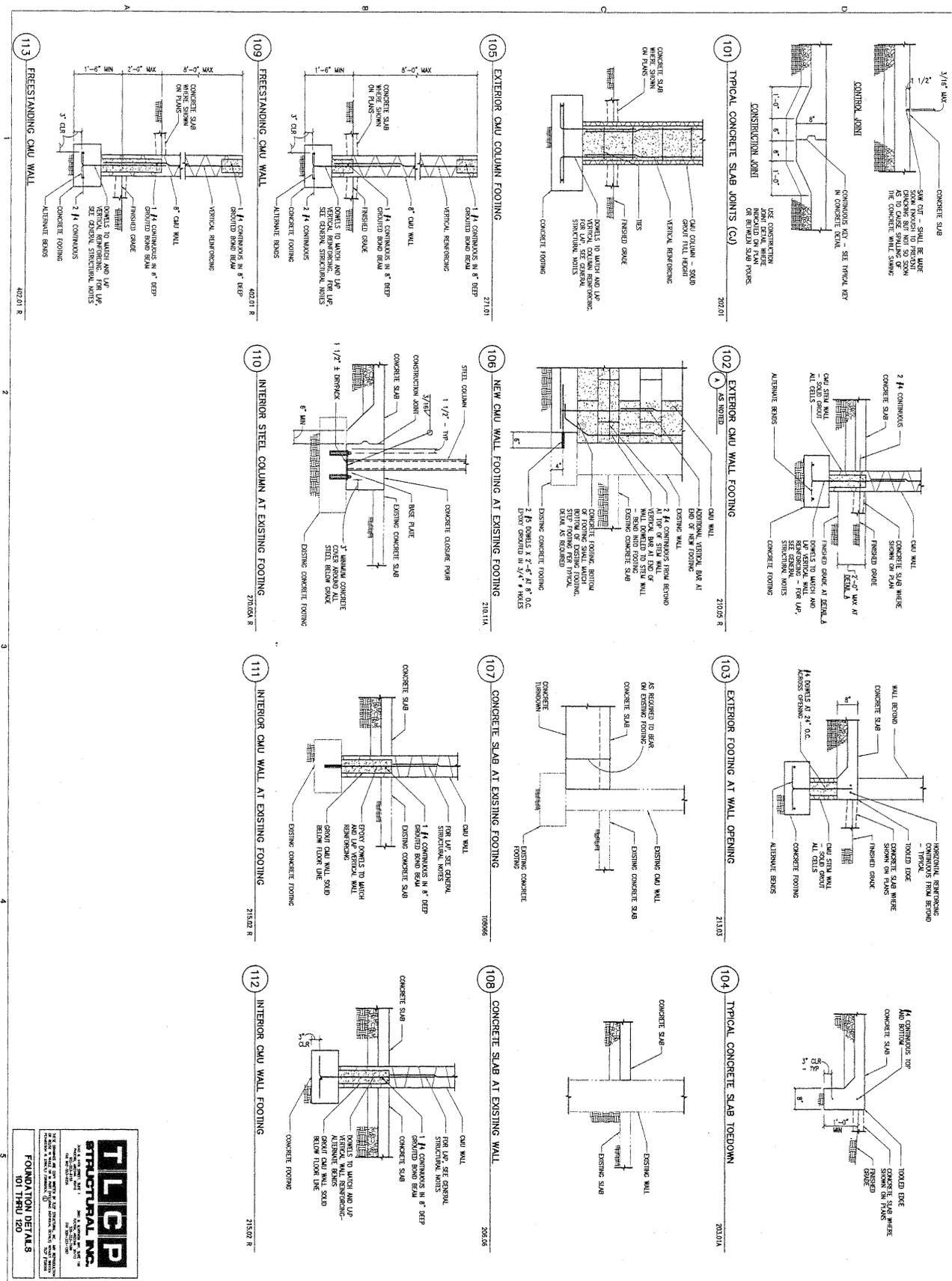


**ARQUITECTURA**  
 908 W. Simpson Street  
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**CITY OF TUCSON**  
 Parks and Recreation Department  
 District Southwest Center  
 4205 South Santa Rita  
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Revision	Date	By	Check
	03/13/09 <td> </td> <td> </td>		

**Framing Plan**



**TLCP**  
**STRUCTURAL INC.**  
 101 THIRD ST  
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**CITY OF TUCSON**  
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**Cherry Avenue  
 Recreation Center  
 Additions & Renovations**  
 5085 S. Cherry Avenue  
 Tucson, Arizona 85706

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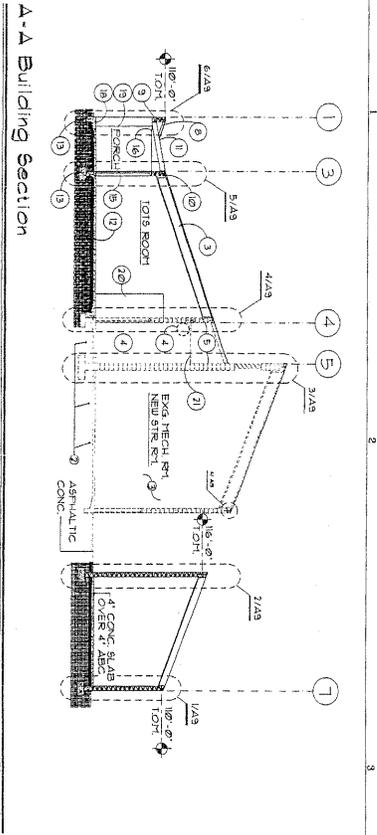




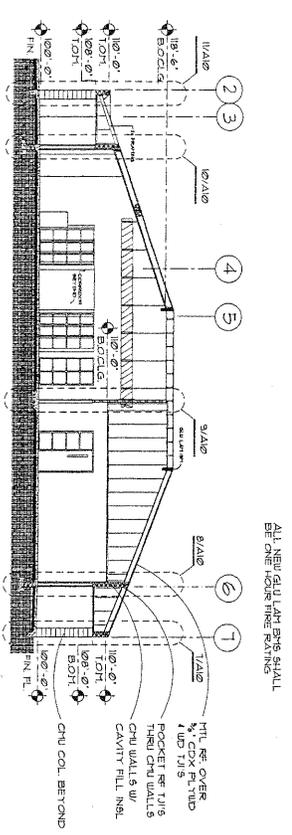




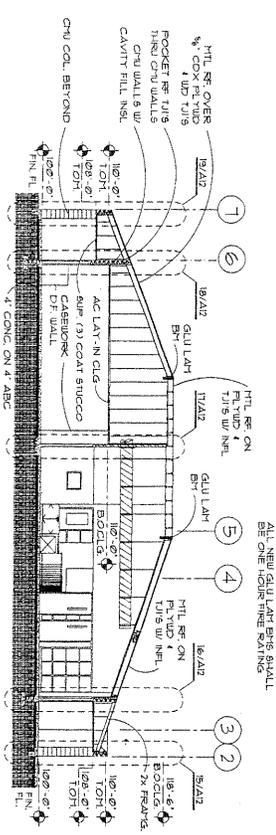




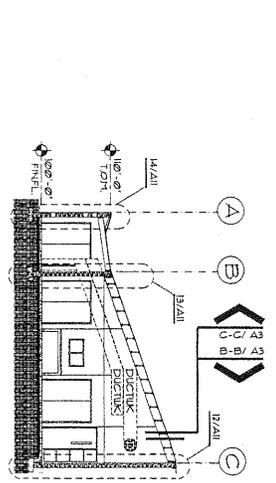
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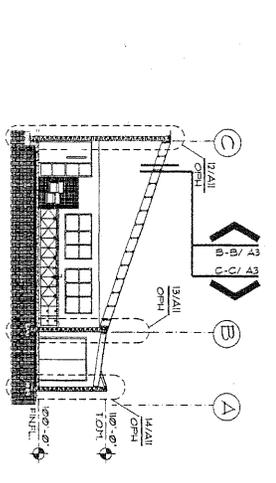
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

**ARCHITECTURA 5**  
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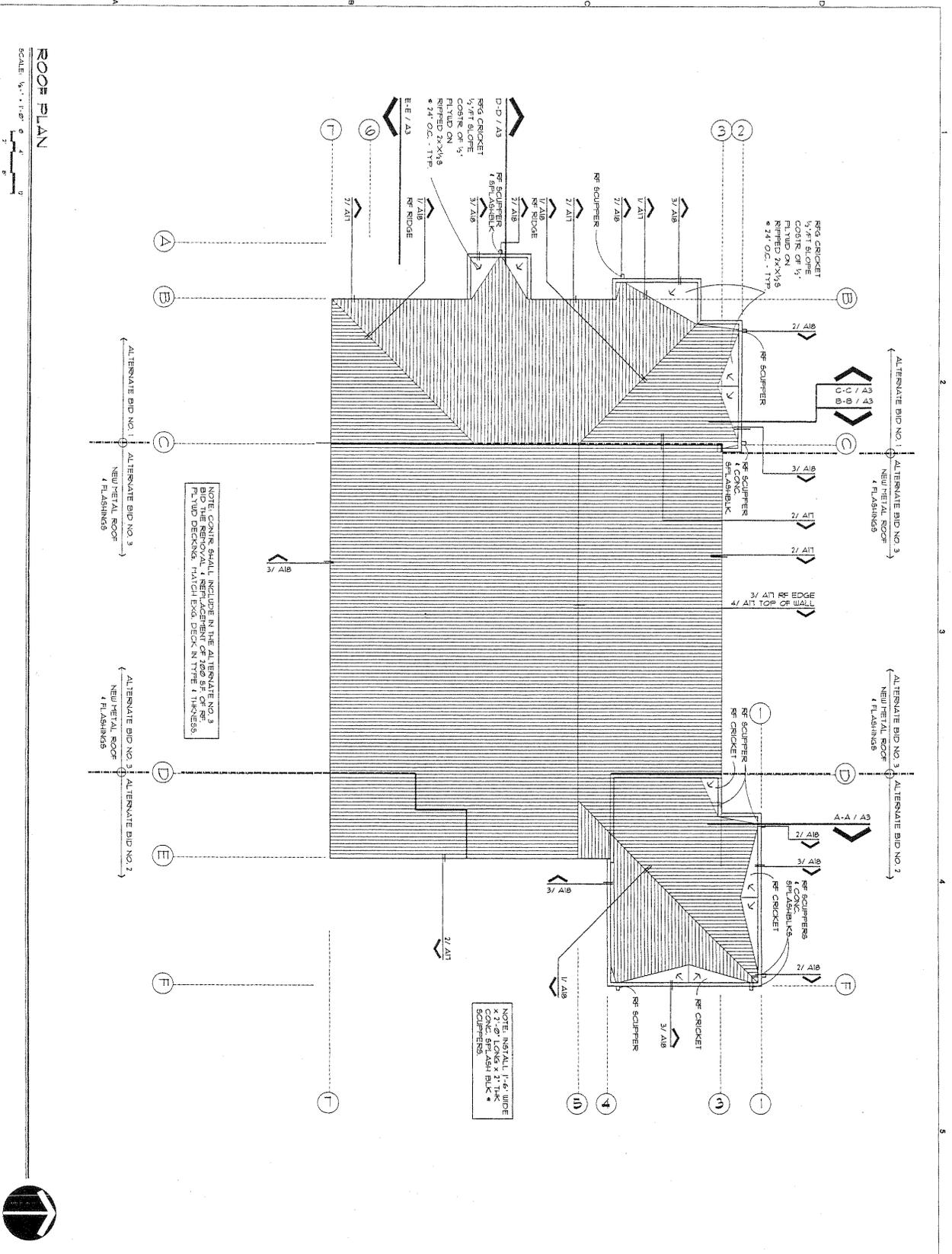
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 Exp: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 06/11/09

**Cherry Avenue  
 Recreation Center  
 Additions & Renovations**  
 5085 S. Cherry Avenue  
 Tucson, Arizona 85706

**CITY OF TUCSON**  
 Parks and Recreation Department  
 Southwest Center  
 4206 South Santa Rita  
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 Tel: (520) 791-5909

Revision: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 03/25/09  
 Architectural ID: 2008-01

Sheet Title: **Building Sections**  
 A-3

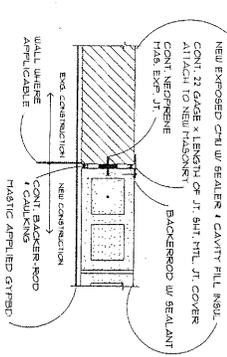


**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

<p><b>ARQUITECTURA 5</b> 14100 N. 24th Ave. Phoenix, AZ 85021 Tel: (602) 944-4444 Fax: (602) 944-4444 www.arquitectura5.com</p>	<p><b>Cherry Avenue Recreation Center Additions &amp; Renovations</b></p> <p>5085 S. Cherry Avenue Tucson, Arizona 85706</p>	<p><b>CITY OF TUCSON</b> Parks and Recreation Department Southwest Center 4208 South Santa Rita Tucson, Arizona Tel: (520) 791-8909</p>	<p><b>EXP.</b> 06/11/09 </p>
<p>Project: _____ Date: _____ Applicant: L&amp;L, Inc. No. 2008-01 03/25/09</p>			
<p>Roof Plan A-4</p>			

**KEYNOTES** FOR BUILDING DEMOLITION SHEET D-1

- CONTR. SHALL DEMOLISH & REMOVE THE FOLLOWING ITEMS AS REQ. FOR NEW CONSTRUCTION WORK. SHALL INCLUDE THE DEMO OF ALL SUPPORTS, ANCHORS, ACCESSORIES, ETC. AS REQ. FOR THE PROPER REPAIRS TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE OR HARM SURFACES.
- UNLESS NOTED OTHERWISE, ALL ITEMS SCHEDULED TO BE DEMOLISHED ARE THE PROPERTY OF THE CITY OF TUCSON. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED MATERIALS. CONTRACTOR SHALL VERIFY WITH THE CITY OF TUCSON REPRESENTATIVE WHICH ITEMS ARE CONTR. SALVAGE.
1. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  2. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  3. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  4. NOT USED.
  5. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  6. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  7. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  8. REMOVE EXG. 4" CONG. SLAB. 1" DR. FR. & CON. WALL AS REQ. FOR NEW CONSTR. WORK INCLUDES THE DEMO. OF THE SIDE CHU WALL EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  9. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  10. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.
  11. REMOVE / DEMOLISH EXG. CONG. SLAB FOR NEW BLDG. SLAB & NEW SILL. COL. FTGS. - SEE SHTS 92-1 & 93-1 FOR DETAIL.

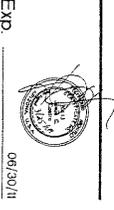


**TYP. WALL EXP. JT.**  
SCALE: NTS

**KEYNOTES** FOR BUILDING SECTIONS & WALL SECTIONS

- CONTRACTOR SHALL PROVIDE & INSTALL THE FOLLOWING ITEMS AS REQUIRED FOR NEW CONSTRUCTION WORK. SHALL INCLUDE ALL SUPPORTS, ANCHORS, ACCESSORIES, ETC. AS REQ. FOR THE PROPER REPAIRS TO THE ATTENTION OF THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL REPAIR ANY DAMAGED OR HARMED SURFACES. REPAIRS SHALL MATCH EXG. COLOR, TEXT, HEIGHT, DEPTH & WIDTH OF ADJACENT SURFACES.
1. REMOVE / DEMOLISH EXG. MECH. EQUIP. THIS WORK INCLUDES ALL SUPPORTS & ANCHORS. ALL DEMO ITEMS NOT SALVAGED SHALL BE TRANSPORTED TO THE CITY STORAGE YARD UNLESS THE CITY REQUIRES SAID ITEMS. WHEN THESE ITEMS BECOME CONTR. SALVAGE & THE CONTR. SHALL PROPERLY REMOVE THEM OFF-SITE CONTR. SHALL FIELD VERIFY THESE ITEMS W/ THE OWNER'S REPRESENTATIVE.
  2. REFER TO COIT RECORD DUGS & MAINTENANCE RECORDS TO VERIFY THE LOCATION OF MECH. & STR. UNDERGROUND EQUIP. FOR TUNNELS.
  3. NEW HTL. RE. OVER 1/2" COX PL. YTD. WD. 1/2" JOIST W/ R-30 BATT INSL.
  4. EXG. MECHANICAL DUCTWORK - CONTR. TO RE-USE WHERE POSSIBLE - SEE MECH. DUGS.
  5. EXG. CENTER SCORE CHU WALLS.
  6. EXG. 1/2" DOOR & FRAME.
  7. EXG. ACOUSTICAL LATH IN CLG. W/ SUSP. GRID.
  8. NEW REG. CONCRETE CORNER OF 1/2" COX PL. YTD. OVER RIPPED 2x4 - SLOPE MIN. 1/4" / FT. USE HTL. RE. W/ BUR UNDERLATHMENT - VERIFY W/ REG. PLANN.
  9. CHU WALL W/ CAVITY FILL INSL. & CONT. 2x ANCHORED TO CHU W/ 1/2" 2B3 & 2x 2x OC. INSTALL CONT. 20 GAGE GALV. SHT. HTL. CAP - OVERLAP 8" W/ SEALANT & JTS.
  10. NEW CHU WALL W/ CAVITY FILL INSL.
  11. NEW HTL. RE. OVER BELT RE. SUBSTRATE 1/2" COX PL. YTD. 12x12 JOIST.
  12. NEW 4" CONG. SLAB OVER 4" ABC & COMPACT SOILS. SEE STR. DUGS FOR REIN. REG.
  13. CONT. NEW CONG. FTG. W/ CHU STEM WALLS. SEE STR. DUGS FOR REIN. REG.
  14. DEMO EXG. SINGLE RE. 4" HTL. PLASTER. INSTALL NEW HTL. RE. W/ BUR SUBSTRATE. 1 NEW SHD. HTL. PLASTER. NOTE: WORK INCLUDES THE REPAIRS OF THE EXG. PL. YTD. SUBSTRATE AS REQ. FOR THE NEW RE. REG. PLANN. SHALL VERIFY THAT EXG. SUBSTRATE IS SUITABLE FOR NEW RE.
  15. NEW HOLLOW METAL DOOR & FRAME.
  16. NEW 2x COAT STUCCO CLG. OVER SUSP. HTL. LATH SYSTEM W/ CONT. 4" WIDE STUCCO VENT & EXT. END OF PORCHES.
  17. CONT. 8" HIN CONG. TOE-IN FTG. & ALL EXT. EDGES OF PORCH SLABS. SEE STR. DUGS FOR REIN. REG.
  18. 4" CONG. SLAB OVER 4" ABC - SLOPE SLAB TO DRAIN AWAY FROM BLDG. SEE STR. DUGS FOR REIN. REG.
  19. HAS COL. BEYOND.
  20. CLOSET WALL BEYOND.
  21. EXG. CLG.
  22. ATTENDANT SHD. NO. 3 - REMOVAL OF THE EXISTING SINGLE RE. 4" PLASTER. REIN. PLACEMENT OF 6# RE. OF EXG. PL. YTD. SUBSTRATE & INSTALLATION OF A SINGLE PL. YTD. W/ NEW HTL. RE. OVER COX PL. YTD. 12x12 JOIST W/ NEW FLASHINGS & RE. PENETRATIONS.
  23. 4" CONG. SLAB OVER 4" ABC W/ CONT. 2" CONG. TOE-IN ATOP OF EXG. CONG. FTG. W/ 5# REIN. DOUBLS SET & 2x 2" OC. ALONG EXG. & NEW JT. - EMBEDDED FIN. 4" INTO EXG. & NEW STEM WALLS. SET INTO EXG. WALLS W/ EPOXY ADHESIVES. INSTALL CONT. 1/2" EXP. JT. ALONG EXG. & NEW.
  24. NEW CHU STEM WALL W/ CONG. FTG. & SILL. REIN. SEE STR. DUGS FOR EXACT DISCREPTION.
  25. EXG. CONG. SLAB & FTGS. REFER TO OWNER'S BLDG. RECORD DRAWINGS.
  26. EXG. CHU WALL. REFER TO OWNER'S BLDG. RECORD DRAWINGS.
  27. NEW 1/2" COX PL. YTD. ON 2x 12S & HANGERS - REFER TO STR. DUGS.
  28. NEW 1/2" COX PL. YTD. ON 2x 12S & HANGERS - REFER TO STR. DUGS.
  29. EXG. CONG. SLAB - REFER TO OWNER RECORD DRAWINGS.
  30. NEW HTL. SHD. WALL CORNER OF 2x4S & 1/2" OC. W/ CONT. TOP & BOT RE. W/ R-19 SOUND BATT INSL. & 1/2" GYPSO REIN. SCHEDULED ON BOTH SIDES - TOP OF WALL IS THE UNDERSIDE OF RE. STR.
  31. NEW CONG. W/ SUSPENSION SYSTEM - REFER TO FINISH SCHEDULE FOR DESCRIPTION.
  32. NEW CONG. THICKENED CONG. FTG. - SEE STR. DUGS.
  33. NEW HTL. WALL, MECH. DUCTWORK & INTO CLOSET SPACE. VERIFY ALL OTED SPACE IN CLOSET DRAWING SHOP. SUBMITTAL. REFER TO MECH. DUGS. WORK INCLUDES SHD. HTL. COLARS & WALL PENETRATIONS.
  34. 4" CONG. SLAB OVER 4" ABC W/ CONT. 2" CONG. TOE-IN ATOP OF EXG. CONG. FTG. W/ 5# REIN. DOUBLS SET & 2x 2" OC. ALONG EXG. & NEW JT. - EMBEDDED FIN. 4" INTO EXG. & NEW STEM WALLS. SET INTO EXG. WALLS W/ EPOXY ADHESIVES. INSTALL CONT. 1/2" EXP. JT. ALONG EXG. & NEW.

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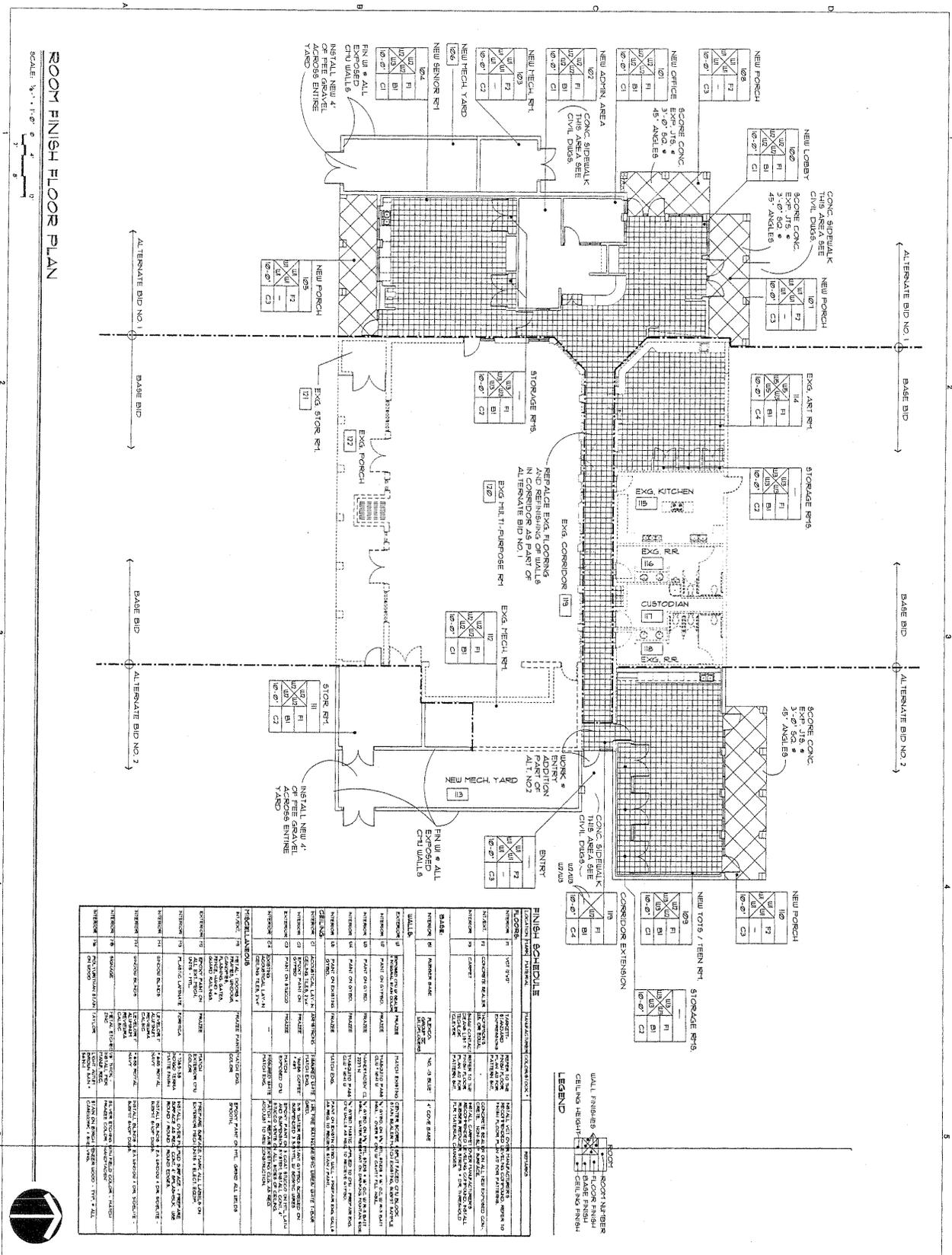
EXP. 06/30/11

**Cherry Avenue  
Recreation Center  
Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**CITY OF TUCSON**  
Parks and Recreation Department  
Southwest Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5509

Approved: L. L. ... 2008-01  
Date: 03/25/09  
Scale: A-5





**ROOM FINISH FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**FINISH SCHEDULE**

NO.	DESCRIPTION	FINISH	REMARKS
1	CONCRETE FLOOR	CONCRETE	AS SHOWN
2	PAINT ON WALLS	PAINT	AS SHOWN
3	PAINT ON CEILING	PAINT	AS SHOWN
4	WOOD FLOORING	WOOD	AS SHOWN
5	CEILING TILES	CEILING	AS SHOWN
6	WALL PANELING	PANELING	AS SHOWN
7	GLASS PARTITIONS	GLASS	AS SHOWN
8	MECHANICAL ROOMS	METAL	AS SHOWN
9	STORAGE ROOMS	CONCRETE	AS SHOWN
10	ENTRY	CONCRETE	AS SHOWN
11	NEW MECH. YARD	CONCRETE	AS SHOWN
12	NEW PORCH	CONCRETE	AS SHOWN
13	NEW LOBBY	CONCRETE	AS SHOWN
14	NEW OFFICE	CONCRETE	AS SHOWN
15	NEW MECH. RT.	CONCRETE	AS SHOWN
16	NEW MECH. RT.	CONCRETE	AS SHOWN
17	NEW MECH. RT.	CONCRETE	AS SHOWN
18	NEW MECH. RT.	CONCRETE	AS SHOWN
19	NEW MECH. RT.	CONCRETE	AS SHOWN
20	NEW MECH. RT.	CONCRETE	AS SHOWN
21	NEW MECH. RT.	CONCRETE	AS SHOWN
22	NEW MECH. RT.	CONCRETE	AS SHOWN
23	NEW MECH. RT.	CONCRETE	AS SHOWN
24	NEW MECH. RT.	CONCRETE	AS SHOWN
25	NEW MECH. RT.	CONCRETE	AS SHOWN
26	NEW MECH. RT.	CONCRETE	AS SHOWN
27	NEW MECH. RT.	CONCRETE	AS SHOWN
28	NEW MECH. RT.	CONCRETE	AS SHOWN
29	NEW MECH. RT.	CONCRETE	AS SHOWN
30	NEW MECH. RT.	CONCRETE	AS SHOWN
31	NEW MECH. RT.	CONCRETE	AS SHOWN
32	NEW MECH. RT.	CONCRETE	AS SHOWN
33	NEW MECH. RT.	CONCRETE	AS SHOWN
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35	NEW MECH. RT.	CONCRETE	AS SHOWN
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38	NEW MECH. RT.	CONCRETE	AS SHOWN
39	NEW MECH. RT.	CONCRETE	AS SHOWN
40	NEW MECH. RT.	CONCRETE	AS SHOWN
41	NEW MECH. RT.	CONCRETE	AS SHOWN
42	NEW MECH. RT.	CONCRETE	AS SHOWN
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44	NEW MECH. RT.	CONCRETE	AS SHOWN
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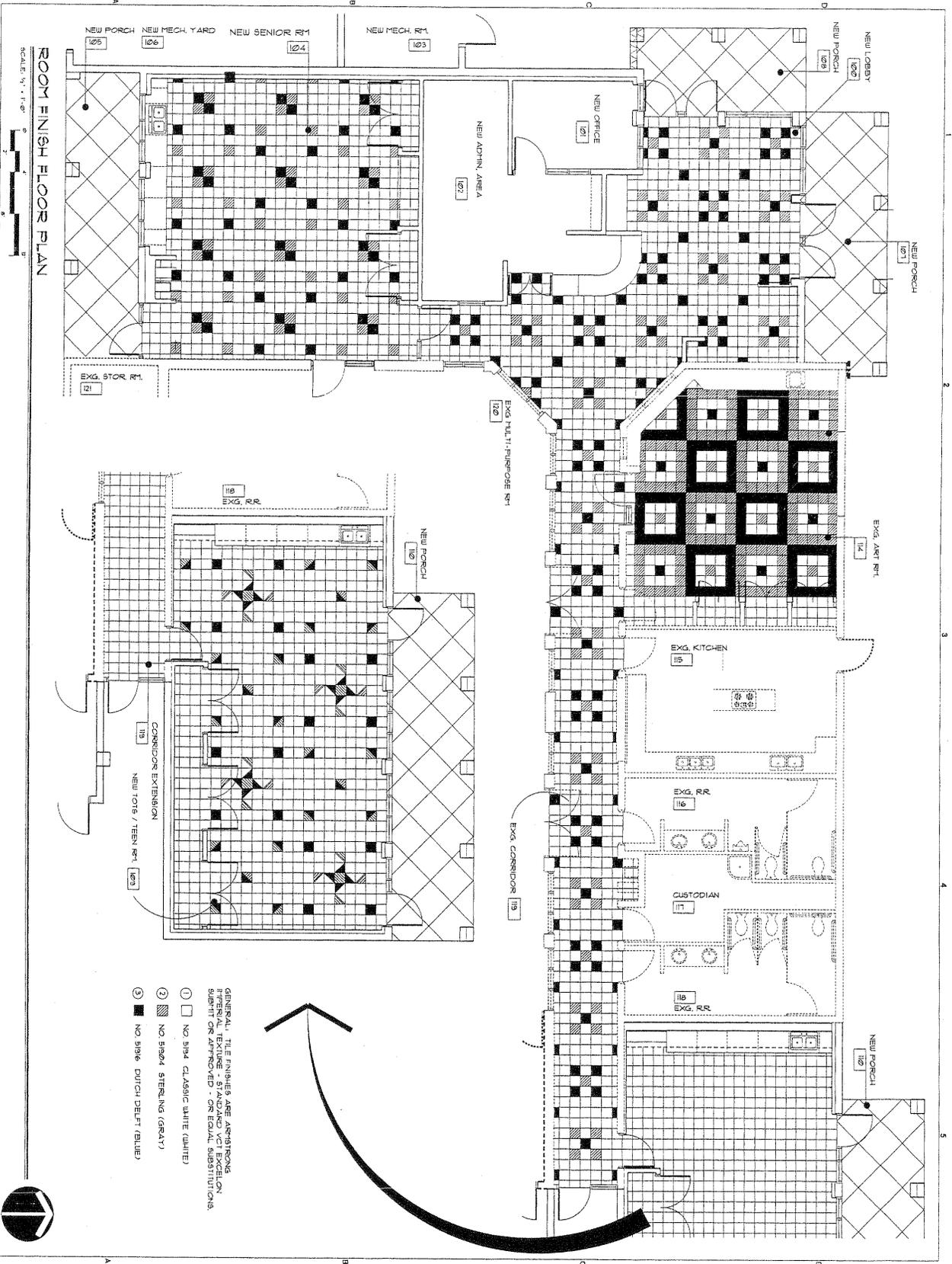
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Exp 06/11/09

**Cherry Avenue Recreation Center Additions & Renovations**  
 5085 S. Cherry Avenue  
 Tucson, Arizona 85706

**CITY OF TUCSON**  
 Parks and Recreation Department  
 Southwest Center  
 4208 South Santa Rita  
 Tucson, Arizona  
 Tel: (520) 791-5909

03/25/09  
 2008-01  
**Room Finish Floor Plan**  
**A-7**



**ROOM FINISH FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- GENERAL: TILE FINISHES ARE ANTI-SLIP  
GENERAL TEXTURE & STANDARD VCT EXCELLEN  
SPEC'N ON APPROVAL - SEE EXIST. SUBSTITUTIONS
- ① NO. 5184 CLASSIC WHITE (WHITE)
  - ② NO. 5180M STERLING (GRAY)
  - ③ NO. 5186 DUTCH DELTA (BLUE)

**CITY OF TUCSON**  
Parks and Recreation Department  
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4208 South Santa Rita  
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Tel: (520) 791-5909

Architect: L&L, Inc. No. 2008-01  
Date: 03/25/09

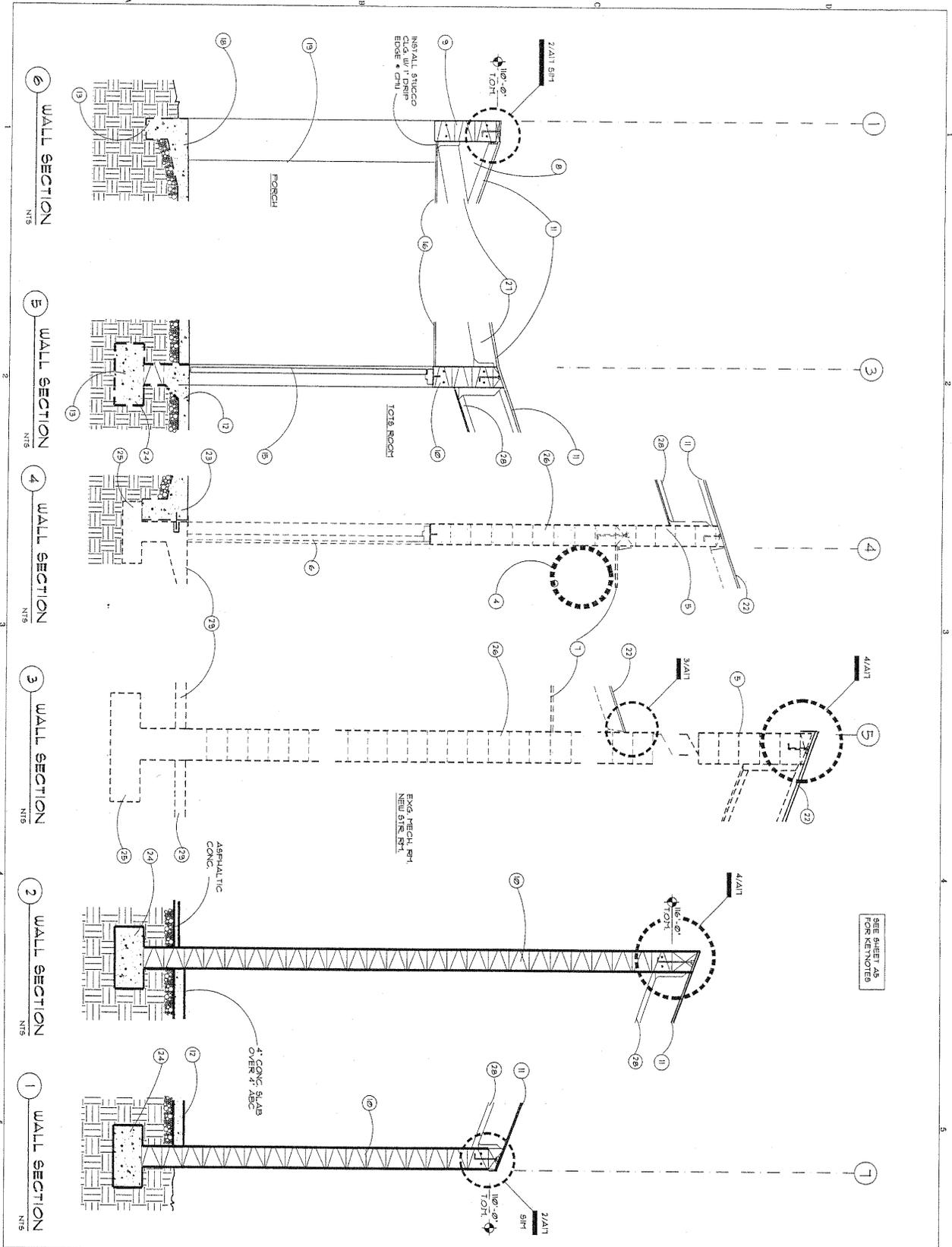
Sheet No. **A-8**  
Floor Pattern  
Floor Plans

**Cherry Avenue  
Recreation Center  
Additions & Renovations**

5085 S. Cherry Avenue  
Tucson, Arizona 85706

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Exp. 06/11/09



SEE SHEET AS  
FOR DETAILS

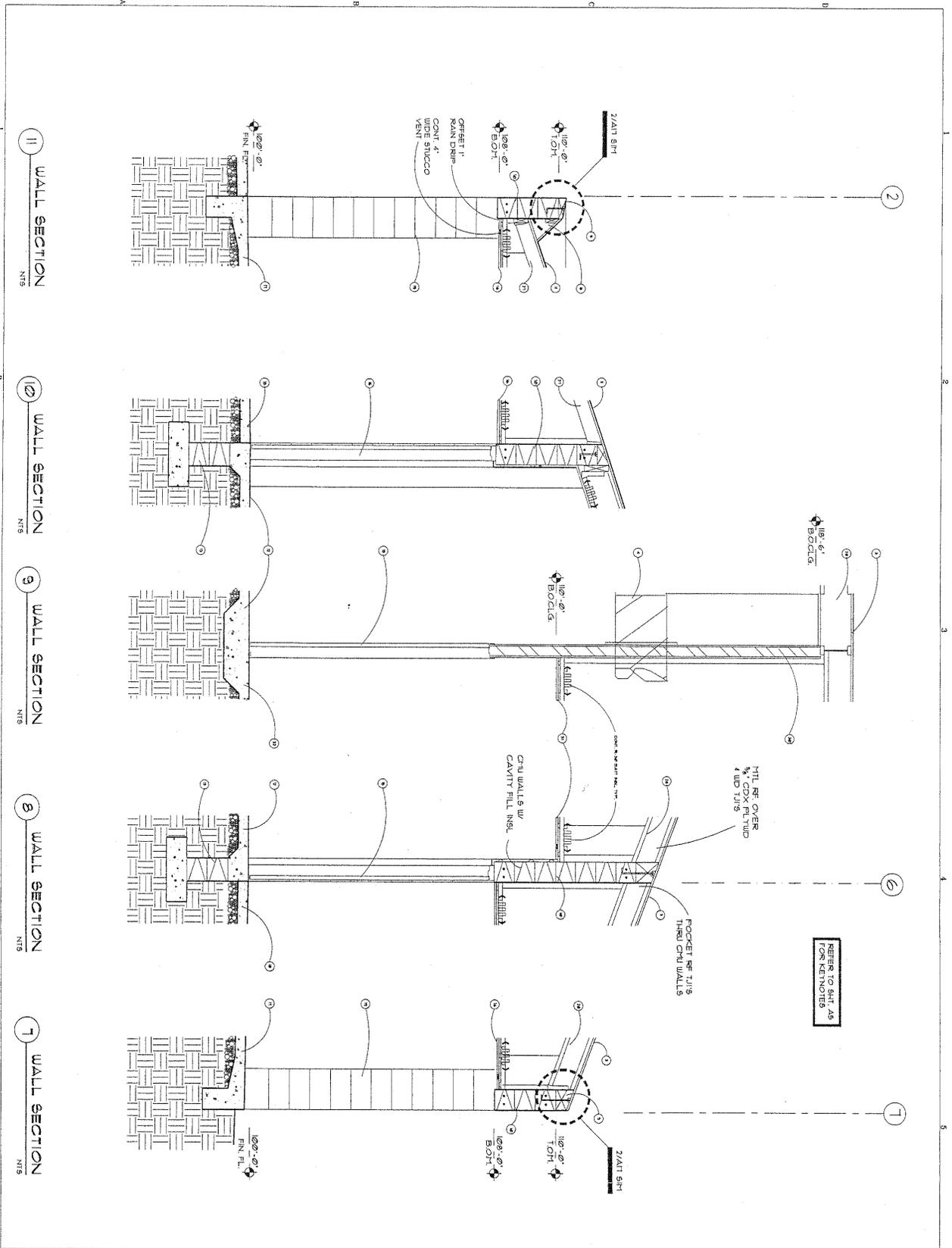
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**Cherry Avenue  
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 Additions & Renovations**  
 5085 S. Cherry Avenue  
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 Tucson, Arizona  
 Tel: (520) 781-5809

Revision: \_\_\_\_\_  
 Date: 03/25/09  
 Architecture: Ed. J. J. 2008-01  
 Sheet Title: Wall Sections  
 Sheet: A-9

Exp: 06/11/09  
 Project: \_\_\_\_\_  
 Date: \_\_\_\_\_



11 WALL SECTION  
NTS

12 WALL SECTION  
NTS

13 WALL SECTION  
NTS

14 WALL SECTION  
NTS

15 WALL SECTION  
NTS

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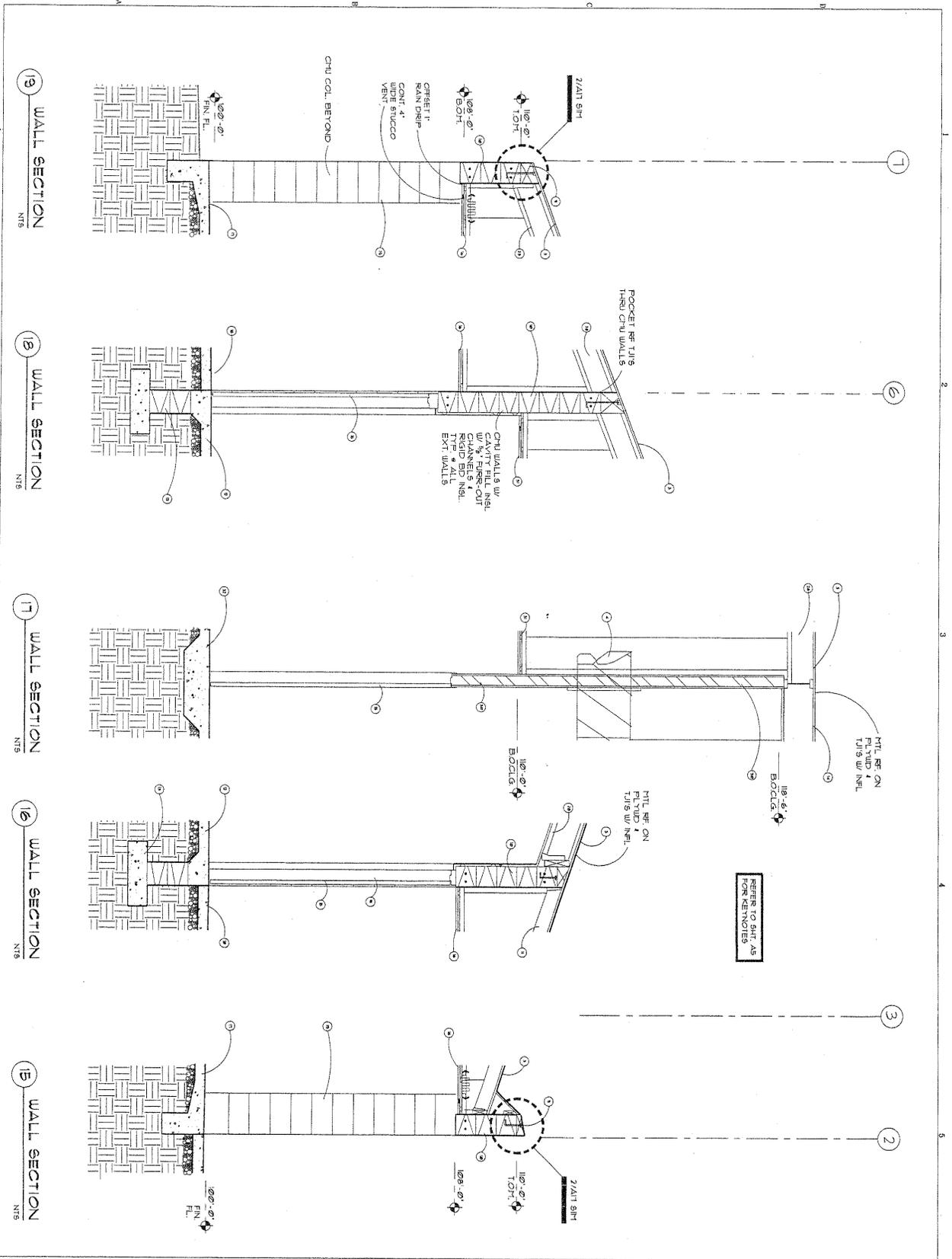
**CITY OF TUCSON**  
Parks and Recreation Department  
Southwest Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5909

**Cherry Avenue  
Recreation Center  
Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**Exp** 08/11/09  
Project

**Wall Sections**  
A-10

DATE: 03/25/09  
Architect: Ltd. No. 2008-01  
Sheet Title: Wall Sections



19 WALL SECTION  
NTS

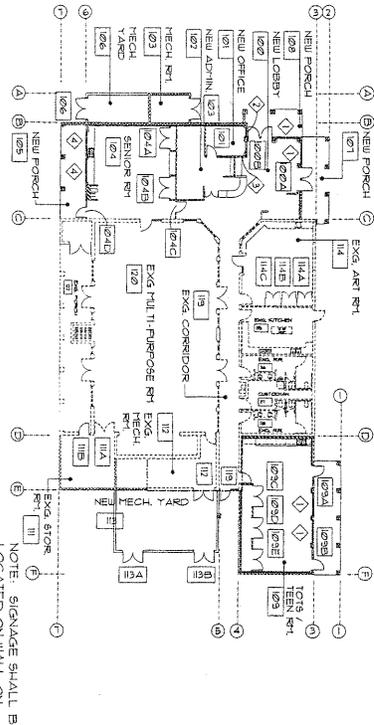
18 WALL SECTION  
NTS

17 WALL SECTION  
NTS

16 WALL SECTION  
NTS

15 WALL SECTION  
NTS

<p>Sheet <b>A-12</b></p>	<p><b>Wall Sections</b></p>	<p>Architecture Ltd. Job No.: 2008-01 Date: 03/25/09</p>	<p><b>CITY of TUCSON</b> Parks and Recreation Department Southwest Center 4208 South Santa Rita Tucson, Arizona Tel: (520) 791-5809</p>	<p><b>Cherry Avenue Recreation Center Additions &amp; Renovations</b></p> <p>5085 S. Cherry Avenue Tucson, Arizona 85706</p>	<p>EXP. 06/11/09 Project</p>	<p>188 W. Simpson Street Tucson, Arizona 85701-3289 Tel (520) 882-0100 Fax (520) 882-2661 architecture@comcast.net</p>	<p><b>ARCHITECTURAL</b></p>
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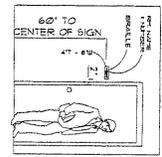


**DOOR AND WINDOW - FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NOTE: SIGNAGE SHALL BE LOCATED ON WALL ON STRIKE SIDE OF DOOR PER ADA REQUIREMENTS. SIGNING SHALL CONTAIN LETTERING & BRAILLE SEE 9/11 A13

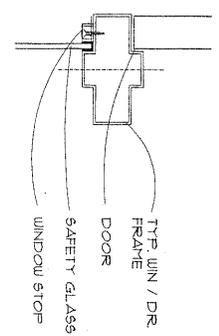
MARK	PAIR/SINGLE	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR TYPE	DOOR MATL.	DOOR FINISH	FRAME MATL.	FRAME FINISH	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	HARDWARE SET	FIRE RATING	REMARKS	SIGNAGE REQ'D
100A	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100B	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100C	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100D	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100E	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100F	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100G	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100H	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100I	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100J	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100K	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100L	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100M	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100N	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100O	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100P	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100Q	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100R	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100S	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100T	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100U	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100V	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100W	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100X	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100Y	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		
100Z	P	3'-0"	7'-0"	1-1/2"	A	HM	HM	HM	HM	D2	D2	D3	D3	0		

**GENERAL METAL SIGN DESIGN**

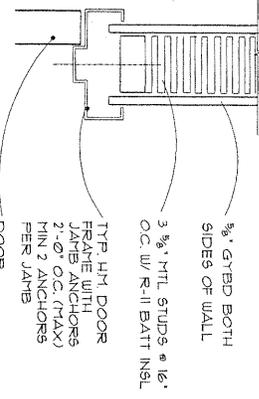


DOOR FRAME SHALL BE FINISHED WITH THE SAME FINISH AS THE DOOR. THE FINISH SHALL BE APPLIED TO THE ENTIRE FRAME INCLUDING THE JAMBS AND SILL. THE FINISH SHALL BE APPLIED TO THE ENTIRE FRAME INCLUDING THE JAMBS AND SILL. THE FINISH SHALL BE APPLIED TO THE ENTIRE FRAME INCLUDING THE JAMBS AND SILL.

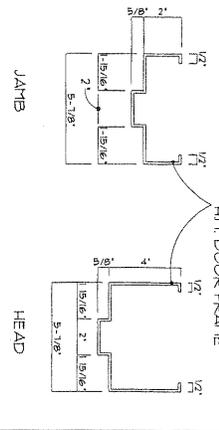
SCALE: 3'-11"-0"



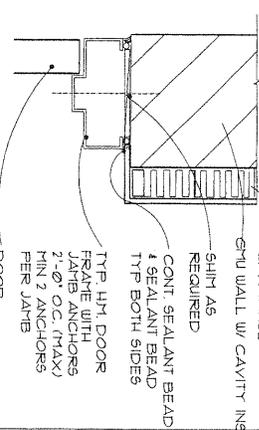
**DOOR/WINDOW MULLION**  
SCALE: 3'-11"-0"



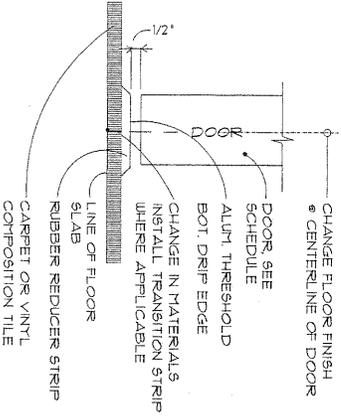
**DOOR JAMB HEAD SIMILAR**  
SCALE: 3'-11"-0"



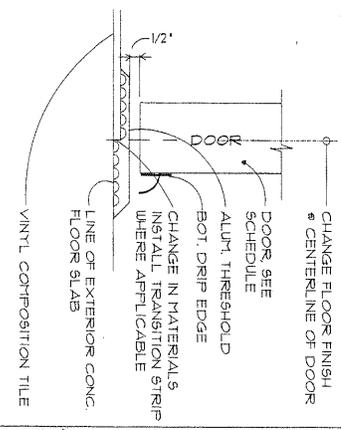
**TYP. DOOR FRAME**  
SCALE: 3'-11"-0"



**DOOR JAMB HEAD SIMILAR**  
SCALE: 3'-11"-0"



**THRESHOLD**  
SCALE: 3'-11"-0"



**THRESHOLD**  
SCALE: 3'-11"-0"

**ARCHITECTURAL**

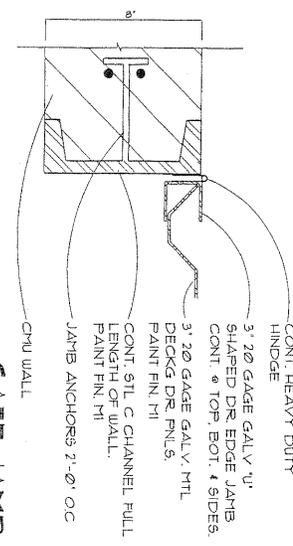
391 N. Greenway Blvd  
Tucson, Arizona 85706-2525  
Tel: (520) 892-0488 Fax: (520) 892-2825  
architect@architect.com

Exp. 06/11/09

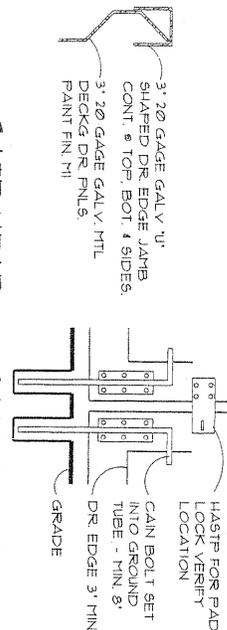
**Cherry Avenue Recreation Center Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**CITY OF TUCSON**  
Parks and Recreation Department  
Southwest Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-8908

03/25/09  
2008-01  
Door Schedule  
A-13



D1 GATE JAMBS  
SCALE: NTS



D2 GATE HEAD  
SCALE: NTS

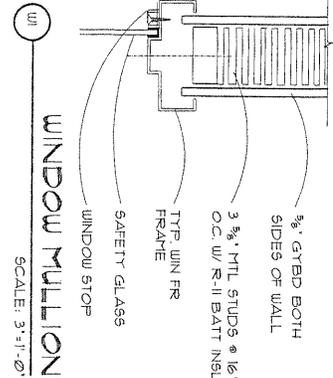
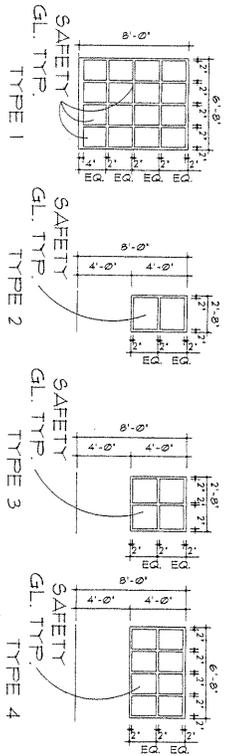
D3 GATE THRESHOLD  
SCALE: NTS

NO.	WIDTH	HEIGHT	W/TYPE	H/TYPE	JAMB	HEAD	SILL	MULLION	BLINDS	REMARKS
1	6'-0"	8'-0"	2	1	H1 MI	W3	W3	W3	•	TRP OF 4 WIN.
2	2'-0"	4'-0"	2	2	H1 MI	W3	W3	W3	•	TRP OF 1 WIN.
3	2'-0"	4'-0"	2	3	H1 MI	W3	W3	W3	•	TRP OF 1 WIN.
4	6'-0"	4'-0"	2	4	H1 MI	W3	W3	W3	•	TRP OF 2 WIN.

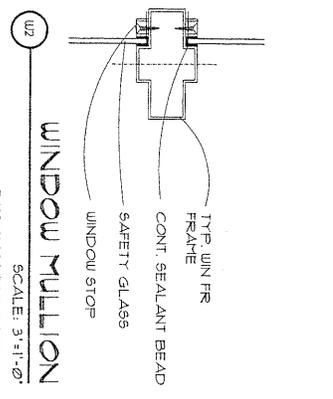
WINDOW SCHEDULE

ALL GLASS SHALL BE 1/4" TINTED SAFETY GLASS - SUBMIT COLOR SAMPLES

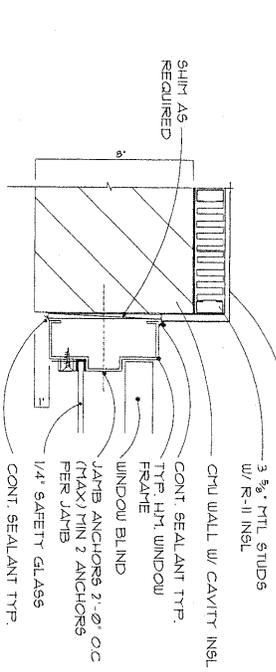
WINDOW TYPES



U1 WINDOW MULLION  
SCALE: 3/4" = 1'-0"

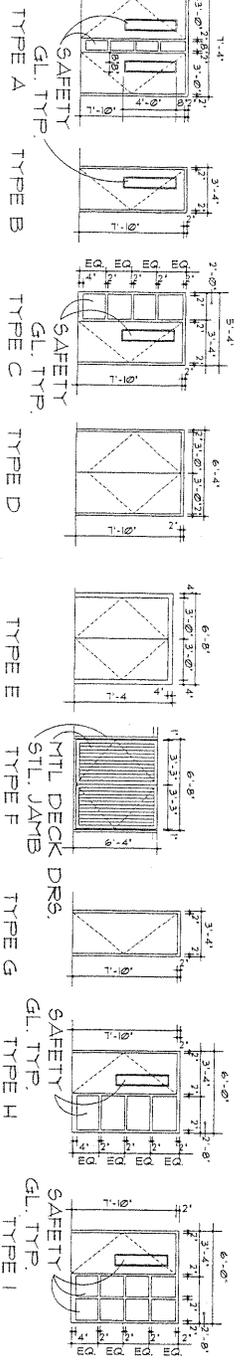


U2 WINDOW MULLION  
SCALE: 3/4" = 1'-0"



U3 WINDOW JAMBS  
SCALE: 3/4" = 1'-0"

WINDOW TYPES



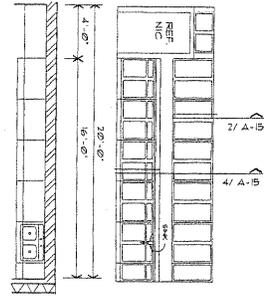
ARQUITECTURA S  
300 W. Simpson Blvd  
Tucson, Arizona 85705-2500  
Tel: (520) 882-0488 Fax: (520) 882-2833  
arquitectura@comcast.net

Exp 06/11/09  
Project

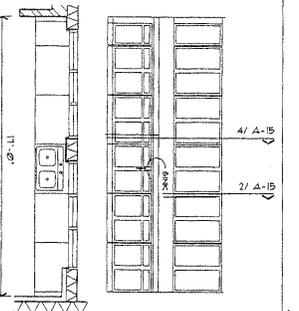
Cherry Avenue Recreation Center Additions & Renovations  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

CITY OF TUCSON Parks and Recreation Department  
Southwest Center 4208 South Santa Rita Tucson, Arizona  
Tel: (520) 791-5900

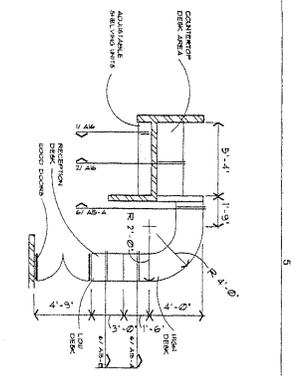
Window Schedule A-14



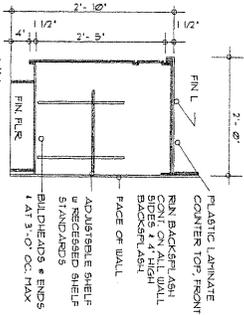
**NEW TENTOTS RM 109**  
**MILLWORK FLOOR PLAN**  
SCALE: NTS



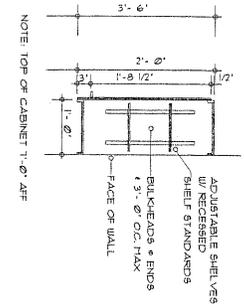
**SENIOR RM 104**  
**MILLWORK FLOOR PLAN**  
SCALE: NTS



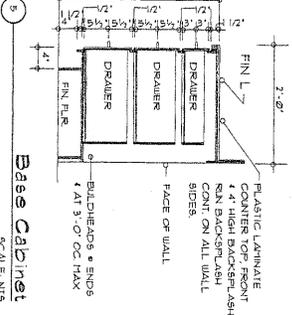
**ADMINISTRATION AREA RM 102**  
**MILLWORK FLOOR PLAN**  
SCALE: NTS



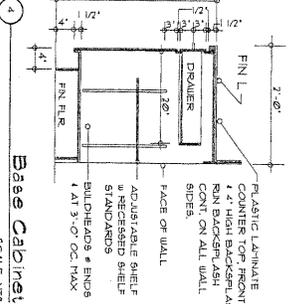
**Base Cabinet**  
SCALE: NTS



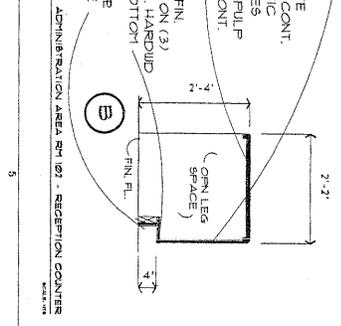
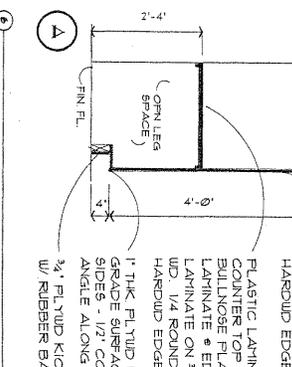
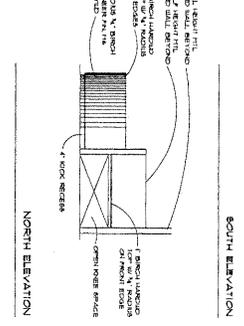
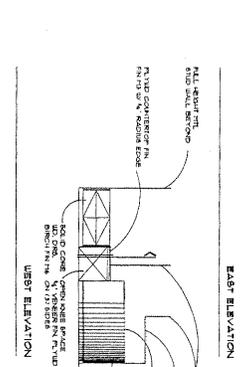
**Wall Cabinet**  
SCALE: NTS



**Base Cabinet**  
SCALE: NTS



**Base Cabinet**  
SCALE: NTS



**ARQUITECTURA**  
188 W. Sherman Street  
Tucson, Arizona 85701-2686  
Tel (520) 882-0480 Fax (520) 882-2851  
architecture@cat.net

**Exp** 06/11/09  
Project: \_\_\_\_\_

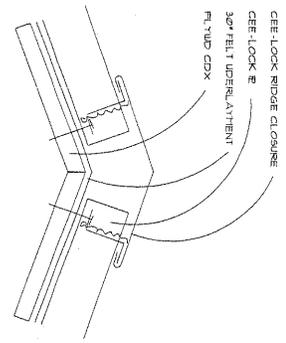
**City of Tucson**  
Parks and Recreation Department  
Southwest Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5909

**Cherry Avenue**  
**Recreation Center**  
**Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

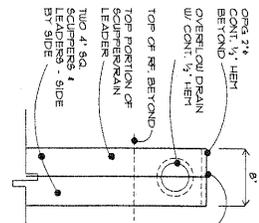
DATE: 03/25/09  
APPROVED: [Signature] 2008-01  
SHEET TITLE: **MILLWORK**  
**A-15**



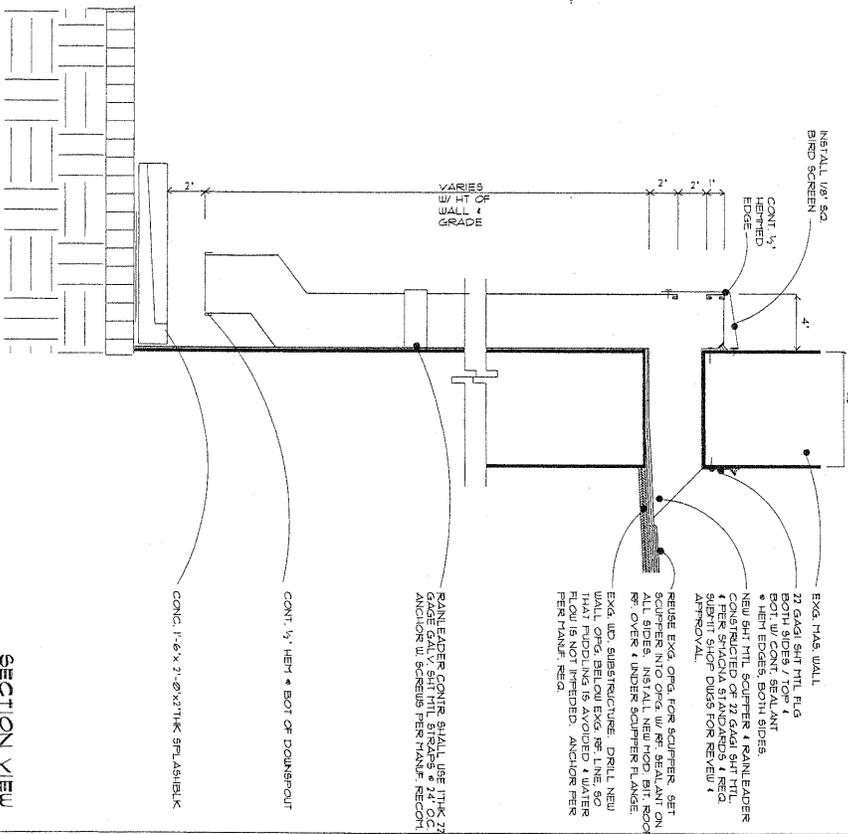




1  
**ROOF RIDGE**  
NTS



**ELEVATION VIEW**



2  
**SECTION VIEW**  
**ROOF SCUPPER & DOWNSPOUT**  
NTS

**ARQUITECTURA**  
180 W. Simpson Street  
Tucson, Arizona 85701  
Tel: (520) 882-3460 Fax: (520) 882-3562  
arquitectura@aznet.net

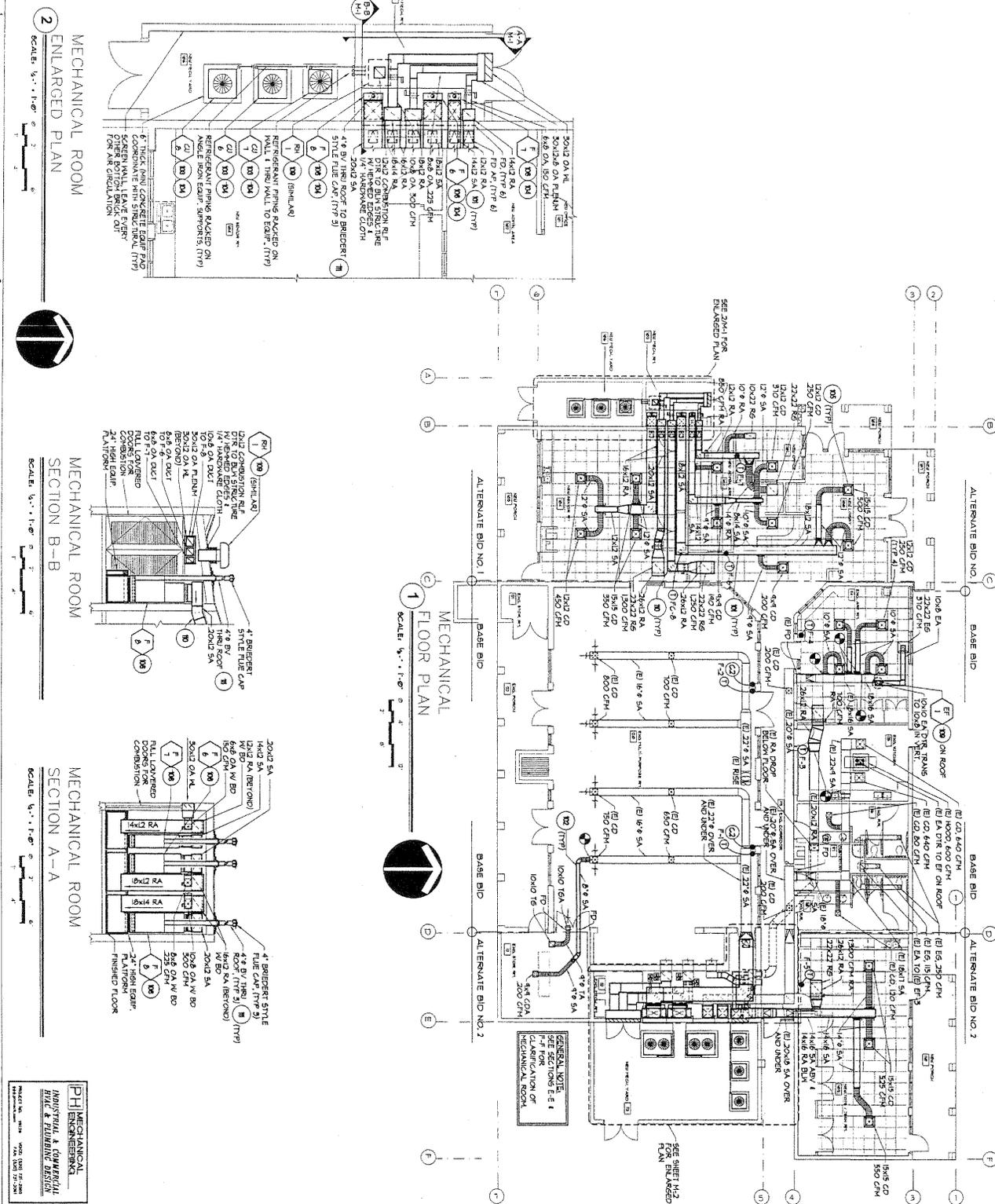
Exp. 06/11/09  
Project

**Cherry Avenue  
Recreation Center  
Additions & Renovations**

5085 S. Cherry Avenue  
Tucson, Arizona 85706

**CITY OF TUCSON**  
Parks and Recreation Department  
Southwest Center  
4400 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5909

Date: 03/25/09  
Architects Ltd. Job No: 2008-01  
Sheet Title: **Roof Details**  
Sheet: **A-18**



**MECHANICAL ROOM ENLARGED PLAN**  
SCALE: 1/4" = 1'-0"

**MECHANICAL ROOM SECTION B-B**  
SCALE: 1/4" = 1'-0"

**MECHANICAL ROOM SECTION A-A**  
SCALE: 1/4" = 1'-0"

**PH MECHANICAL ENGINEERING**  
INDUSTRIAL & COMMERCIAL  
PIPE & PLUMBING DIVISION  
1000 N. GILBERT AVENUE  
SUITE 100  
TUCSON, ARIZONA 85719  
TEL: (520) 791-5111  
FAX: (520) 791-5112

**CITY OF TUCSON**  
Parks and Recreation Department  
Daniel South Head Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5111

**MECHANICAL FLOOR PLAN**  
M-1

Approved: 01/30/09  
2008-01

**Cherry Avenue Recreation Center Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**ARQUITECTURA**  
818 W. Simpson Street  
Tucson, Arizona 85705-3038  
Tel: (520) 882-0488 Fax: (520) 882-2881  
arquitectura@arquitura.com

EXP: 9/20/10





**SPLIT SYSTEM AIR CONDITIONING GAS HEATING UNIT SCHEDULE**

OUTDOOR UNIT	CONDENSING UNIT					COOLING COIL					FURNACE				
	MANUFACTURER MODEL	NOMINAL TONS	ARI SEER	ARI EER	ARI COP	DESIGN CONDITION	TOTAL COOLING MBH	MANUFACTURER MODEL	DISCHARGE TYPE	OUTSIDE AIR CFM	MAX AIR BRN	MAX AIRS HOOP	FAN MOTOR	FILTERS	REMARKS
CU1	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-1	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU2	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-2	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU3	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-3	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU4	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-4	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU5	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-5	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU6	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-6	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU7	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-7	0	15	1/2	185-140	2" PLATED THROUWAY	445
CU8	H20	15	12.5	46.0/36.0	12.8/9	17.4	30	423	F-8	0	15	1/2	185-140	2" PLATED THROUWAY	445

1. SEE OUTSIDE AIR VENTILATION TABLE FOR QUANTITIES. SET THE MINIMUM OUTSIDE AIR CHANGES PER HOUR TO THE MINIMUM OUTSIDE AIR REQUIREMENT.  
 2. BASIS OF DESIGN AT 2500 FT ELEVATION.  
 3. ELECTRIC MOTOR TO PROVIDE SEPARATE ROOF POINT CONNECTIONS TO FAN COIL UNIT AND OUTDOOR UNIT.  
 4. PROVIDE EXHAUST FAN WITH 1" AIR LOCK AND 1" AIR LOCK WITH F-4 ROOF PENETRATION.  
 5. UNIT COMPLETE W/ DISCONNECT, CHAMBER, BIRD SCREEN AND FACTORY CAB.  
 6. PROVIDE CO2 SENSOR AND WIRING FOR DEMAND CONTROL VENTILATION.  
 7. PROVIDE EXHAUST FAN WITH 1" AIR LOCK AND 1" AIR LOCK WITH F-4 ROOF PENETRATION.

**OUTSIDE AIR VENTILATION SCHEDULE PER ASHRAE STANDARD 62.1-2004**

ROOM NAME	AREA FT <sup>2</sup>	PEOPLE	TOTAL P.A. PER PERSON	VENT. UNIT	REMARKS
MULTI-USE	1061	100	15	0.06	666.1
STORAGE	255	NA	NA	0.12	30.3
MULTI-USE	1174	100	15	0.06	946
KITCHEN	284	20	6	0.06	111
CORRIDOR	285	NA	NA	0.12	111
ART CLASSROOM	444	20	10	0.06	88.4
CORRIDOR	115	NA	NA	0.12	10.3
CLASSROOM	664	25	11	0.06	290
MAIN ENTRY	546	20	4	0.06	42
CORRIDOR	195	NA	NA	0.12	8
OFFICE	484	5	3	0.06	41
CLASSROOM	624	35	22	0.06	298

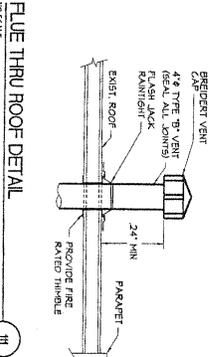
1. BALANCE UNITS O.A. TO CFM AMOUNT SHOWN

**EXHAUST FAN SCHEDULE**

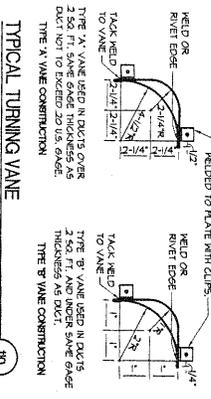
MARK	SERVICES	NAME 1	TYPE	EST. CAP (IN) (W) (H)	WIRING	VENT	FAN	SOLES	HEIGHT	REMARKS
E-1	ART ROOM	EXHAUST FAN	ROOF MOUNTED	30	0.5	1/8"	15A	154	4.4	50

1. BASIS OF DESIGN: 2500 FEET BALANCE.  
 2. UNIT COMPLETE W/ DISCONNECT, CHAMBER, BIRD SCREEN AND FACTORY CAB.  
 3. INTERLOCKING WIRING 1 CONDUIT PER DIVISION 26 SPECIFICATIONS.

**FLUE THRU ROOF DETAIL**



**TYPICAL TURNING VANE**



**PHI MECHANICAL**  
 INDUSTRIAL CONTRACTORS  
 1000 N. GILBERT AVENUE  
 TUCSON, ARIZONA 85710  
 TEL: (520) 791-5111

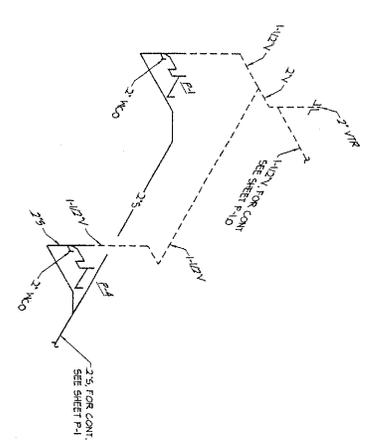
**Mechanical Schedules**  
 M-4  
 01/30/09  
 2008-01

**Cherry Avenue Recreation Center Additions & Renovations**  
 5085 S. Cherry Avenue  
 Tucson, Arizona 85706

**ARQUITECTURA E**  
 96 W. Simpson Street  
 Tucson, Arizona 85701-3008  
 Tel: (520) 882-0488 Fax: (520) 882-2851  
 ar@arquitectura.com





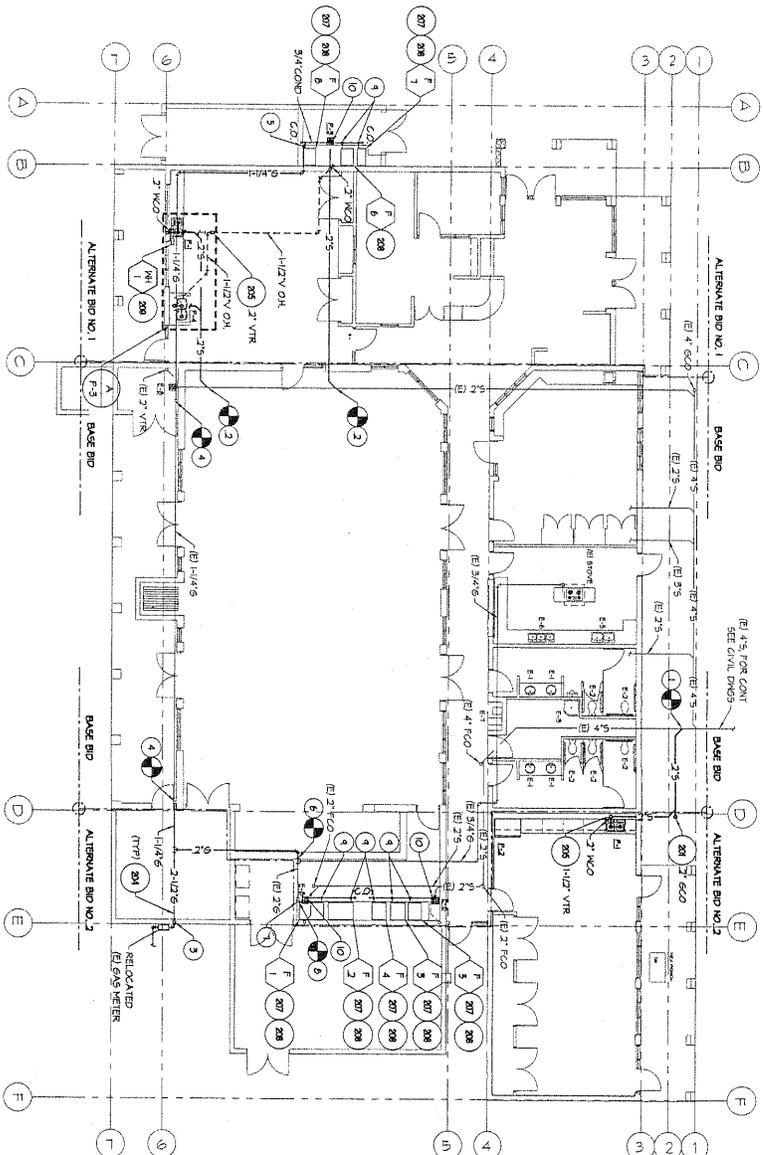


**WASTE AND VENT ISOMETRIC**

NOTE:  
SEE PLUMBING SCHEDULE FOR  
INDIVIDUAL FIXTURE RISER VENT SIZE

**PLUMBING WASTE & GAS FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**REMARKS:**

1. CONN. 2 1/2" TO (E) 4.5
2. 2 1/2" DN IN WALL TO (E) 4.5
3. 2 1/2" DN IN WALL TO (E) 4.5
4. CONN. 1 1/4" TO (E) 1 1/4"
5. H/2V DN ON WALL SEE DIAGRAM FOR ROUTING & SIZING.
6. CONN. 2 1/2" DN TO (E) 2 1/2" DN ON WALL.
7. (E) 2 1/2" DN TO (E) 2 1/2" DN ON WALL.
8. CONN. 3/4" CONN. TO (E) 2 1/2" DN ON WALL.
9. (E) 2 1/2" DN TO (E) 2 1/2" DN ON WALL.
10. (E) 2 1/2" DN TO (E) 2 1/2" DN ON WALL.
11. (E) 2 1/2" DN TO (E) 2 1/2" DN ON WALL.

**P-1**  
MECHANICAL  
INDUSTRIAL & COMMERCIAL  
HVAC & PLUMBING DESIGN

**CITY OF TUCSON**  
Parks and Recreation Department  
District Southwest Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5111

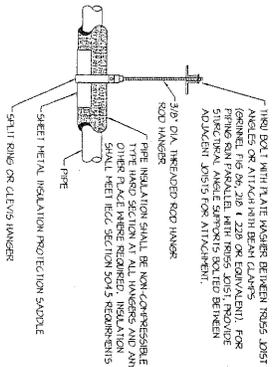
**Cherry Avenue Recreation Center Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**ARQUITECTURA 8**  
381 W. Broadway Street  
Tucson, Arizona 85701-3388  
Tel: (520) 882-0488 Fax: (520) 882-2851  
architect@arquit8.com

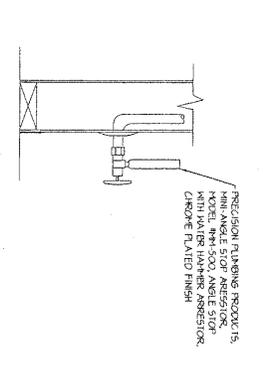
**Plumbing Waste and Gas Floor Plan**  
**P-1**

DATE: 01/30/09  
APPROVED: [Signature]  
PROJECT NO.: 2008-01

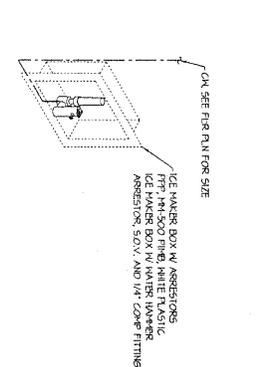




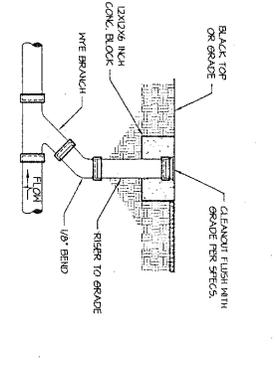
PIPE HANGER DETAIL 204



WATER HAMMER ARRESTOR FOR QUICK CLOSING EQUIPMENT DETAIL 203



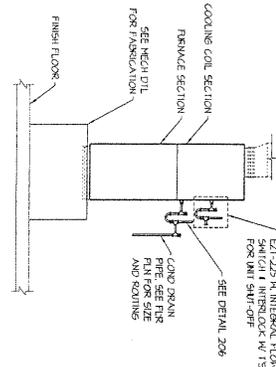
ICE MAKER BOX W/ WATER HAMMER ARRESTOR DETAIL 202



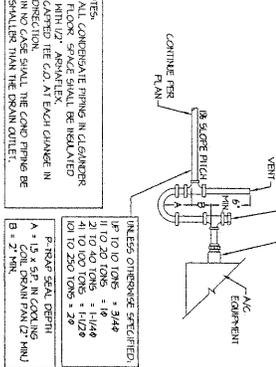
SURFACE CLEANOUT DETAIL 201



VERTICAL MOUNT FAN COIL DETAIL 207



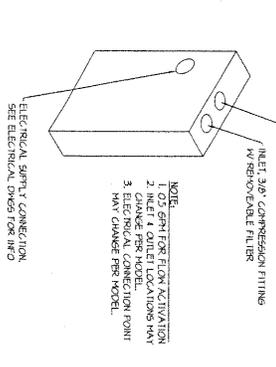
A/C UNIT CONDENSATE DRAIN TRAP DETAIL 206



VENT THRU ROOF DETAIL 205



INSTANTANEOUS WH DETAIL 209



GAS APPLIANCE CONNECTOR DETAIL 208

NOTE: CAPACITY OF APPLIANCE CONNECTOR

SEMI-RIGID RETAIL GAS CAPACITY CONNECTOR (D)	BTU/H
3/8"	20,000
1/2"	41,000
5/8"	45,000
HARD PIPE	200,000
HARD PIPE	400,000

NOTE: CAPACITY FOR LIQUIFIED PETROLEUM GAS (LPG) ARE 1.6 TIMES THE INSTANTANEOUS GAS CAPACITIES SHOWN.

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**Cherry Avenue Recreation Center Additions & Renovations**  
5085 S. Cherry Avenue  
Tucson, Arizona 85706

**CITY OF TUCSON Parks and Recreation Department**  
District Southwest Center  
4208 South Santa Rita  
Tucson, Arizona  
Tel: (520) 791-5111

Revision: \_\_\_\_\_  
Date: 01/30/09  
Approved: [Signature] 2008-01  
Drawn: \_\_\_\_\_  
Scale: \_\_\_\_\_

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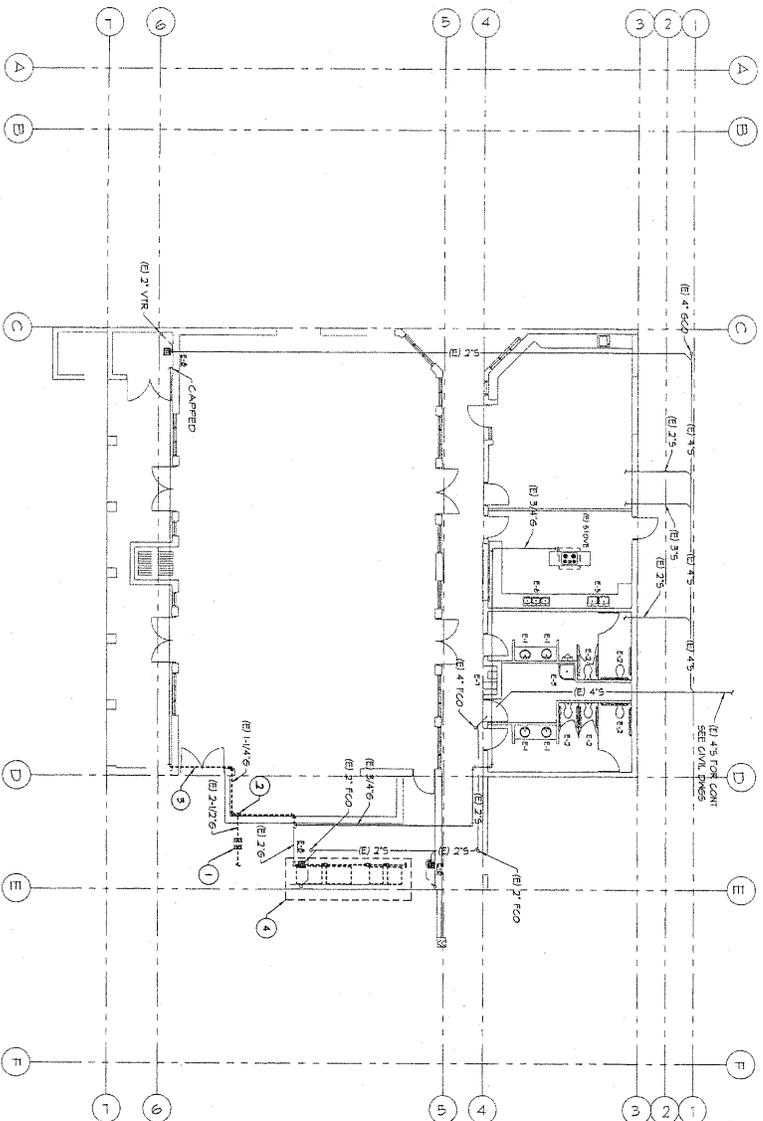
**Plumbing Details P-3**



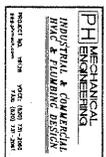


PLUMBING DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



- KEYNOTES:**
1. (R) GAS VENT TO BE REMOVED & RELOCATED. (R) LOUD - 10 FT CH.
  2. REMOVE GAS OIL AS SHOWN.
  3. REMOVE ALL GAS AND COND PIPING AS SHOWN FOR HECH UNITS.
  4. REMOVE ALL GAS AND COND PIPING AS SHOWN FOR HECH UNITS.



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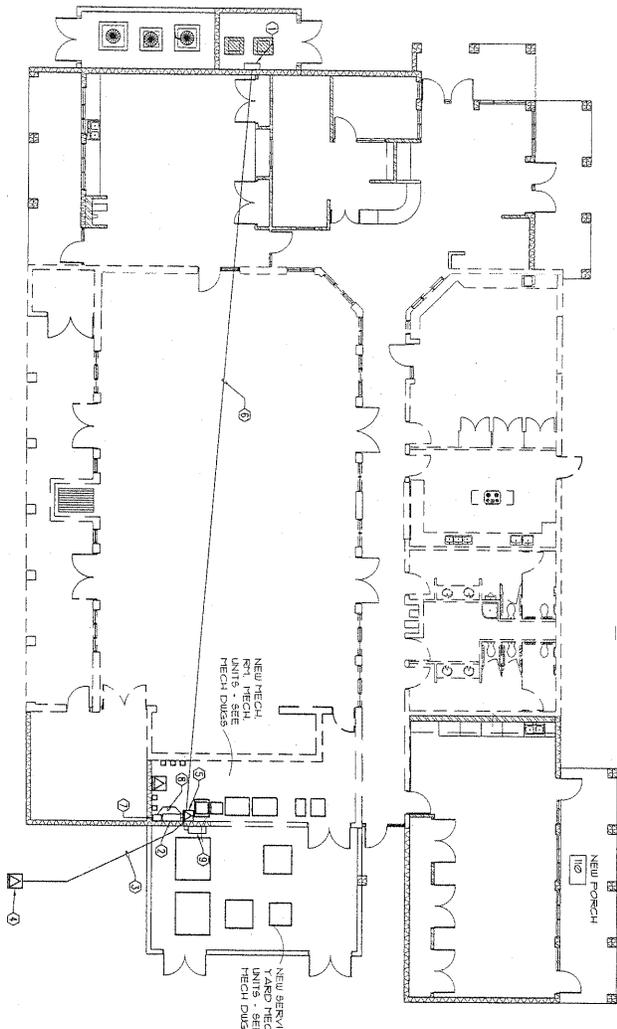
Date: \_\_\_\_\_  
 Drawn by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_  
 Appointed & Lic. exp. No. \_\_\_\_\_  
 2008-01  
 01/30/09  
**Plumbing  
 Demo  
 Floor Plan  
 PD-1**



ELECTRICAL SITE PLAN

SCALE: 1/8" = 1'-0"

1 2 3 4 5



**GENERAL NOTES**

A. COORDINATE LOCATION OF ALL ELECTRICAL EQUIPMENT TO MECHANICAL ROOM AND SERVICE YARD PRIOR TO ANY PUNCH-IN WORK.

- KEY NOTES**
1. NEW 100 AMP, 120/208 3Ø, 4 WIRE PANEL FOR KITCHEN/BBO 1 AREA, LABEL AS PANEL 'X'.
  2. NEW 800 AMP 51.5 SECTION FOR AL 801, 1 AND 2 AND TO REFEED EXISTING 400 AMP DISCONNECT. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  3. (3) NEW 3" PVC CONDUITS EACH WITH (4) 250 KCMIL.
  4. EXISTING 1.5" TRANSFORMER CONTRACTOR TO VERIFY LOCATION PRIOR TO ANY WORK.
  5. NEW 75 KVA STEPTDOWN TRANSFORMER FOR PANEL 'X'. INSTALL ON FLOOR IN NEW MECHANICAL ROOM. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  6. (1) 1 1/2" CONDUIT WITH (9) #2 AND (1) #6 FOR GND. LINE CIRCLED FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  7. NEW 120/208, 100 AMP PANEL, LABEL AS PANEL 'Y' FOR REFEED TO PANEL 'X'. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  8. (1) 1 1/2" CONDUIT WITH (9) #2 AND (1) #6 GND FOR REFEED TO PANEL 'Y'. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
  9. NEW 200A, 480V, 3Ø, 4 WIRE PANEL, LABEL AS 'WZ'. REFER TO SINGLE LINE DIAGRAM FOR ADDITIONAL INFORMATION AND REQUIREMENTS.



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**Cherry Avenue  
Recreation Center  
Additions & Renovations**

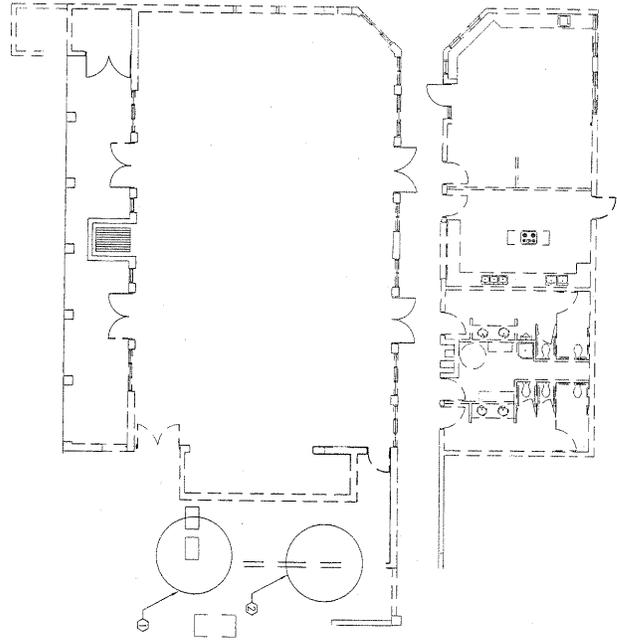
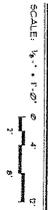
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NO.	DATE	DESCRIPTION
1	11/17/08	NEW BACKGROUND

Approved: 08/12/10/08  
2008-01  
Electrical Site Plan  
E1

ELECTRICAL DEMOLITION PLAN



**GENERAL NOTES**

1. ALL EXISTING LIGHTING, RECEPTACLES, DISCONNECTS, PANELS, AND CONDUITS TO BE DEMOLISHED AND RELOCATED AS NOTED ON THIS PLAN. ALL NEW WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72).
2. ALL DISCONNECTING MEANS FOR EXISTING FAN COILS AND CONDENSING UNITS TO BE RELOCATED AND REIDED WHERE NEW DOUBLE DOWNS ARE SET COMMON LOCATION.

**KEY NOTES**

1. EXISTING DISCONNECTS FOR PANELS T1 AND T2 TO BE RELOCATED BY NEW CONCRETE WALL HEAT TO TRANSFORMER ROOMS NEW OF PANELS T1 AND T2.
2. ALL DISCONNECTING MEANS FOR EXISTING FAN COILS AND CONDENSING UNITS TO BE RELOCATED AND REIDED WHERE NEW DOUBLE DOWNS ARE SET COMMON LOCATION.

**ARQUITECTURA E**

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**RALCALA**

REGISTERED ARCHITECT  
TUCSON, ARIZONA  
PROJECT # 2008-01



**Cherry Avenue  
Recreation Center  
Additions & Renovations**

5085 S. Cherry Avenue  
Tucson, Arizona 85706

**CITY OF TUCSON**

Parks and Recreation Department  
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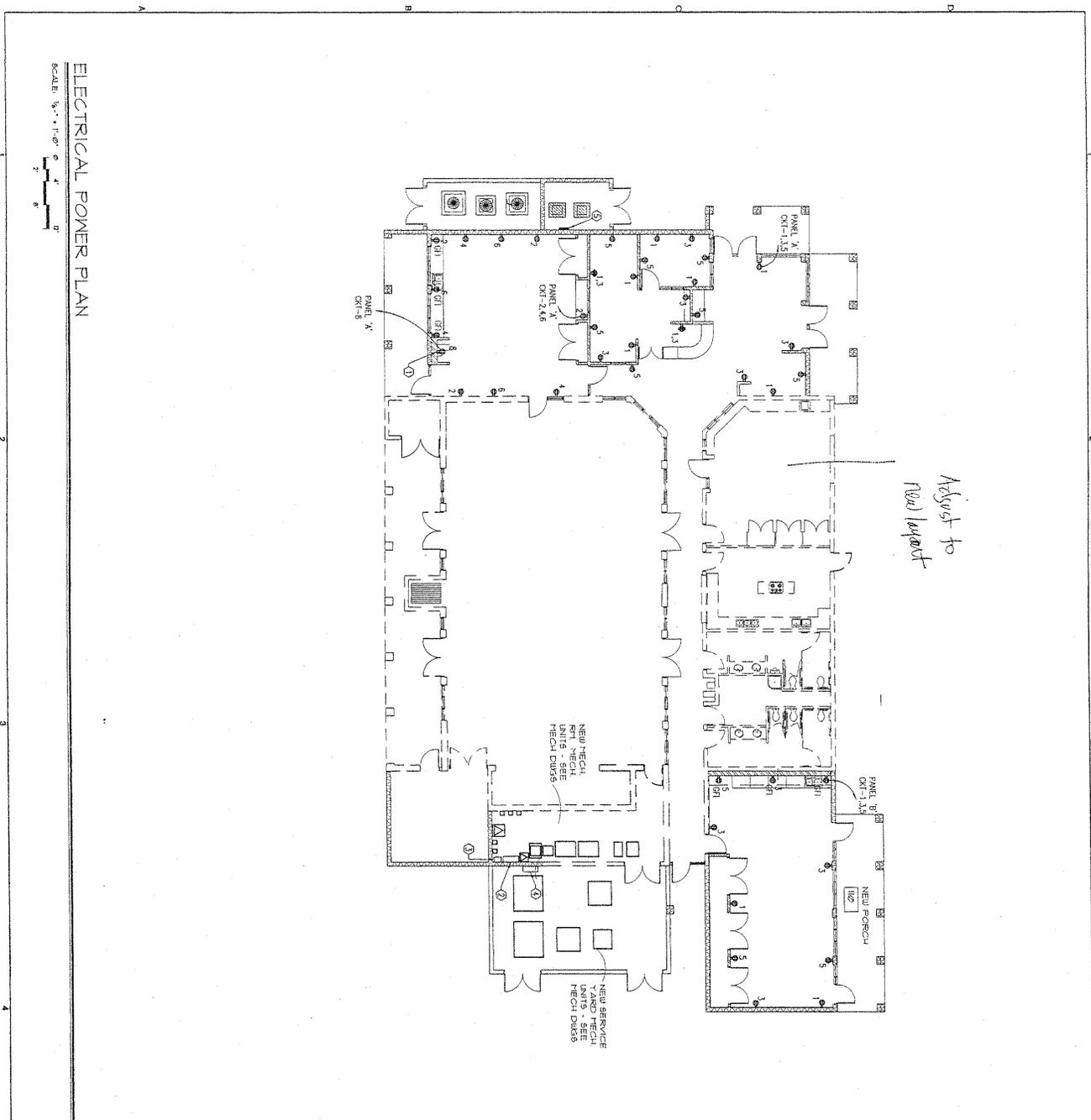
Revision	Date	Description
1	11/19/08	NEW BACKGROUND
2	03/26/09	ARCHITECT CHANGES

08/26/08  
2008-01

**Electrical Demolition Plan**

**E2**





ELECTRICAL POWER PLAN



GENERAL NOTES

- REFER TO SITE PLAN FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- COORDINATE LOCATION OF ALL ELECTRICAL EQUIPMENT TO ANY ROOMS IN WORK.
- BRINKING FOUNTAIN OUTLET: CONTRACTOR TO COORDINATE LOCATION OF OUTLET WITH MECHANICAL CONTRACTOR PRIOR TO ANY ROOMS IN WORK.
- NEW 800 AMP SECS SECTION FOR AIT B01 1 AND 2, AND TO REFEED EXISTING FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 120/208, 100 AMP PANEL, LABEL AS PANEL 'P' FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 200 AMP, 480V, 3 PHASE, 4 WIRE PANEL, LABEL AS PANEL 'Q' FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 100 AMP, 120/208V, 3 PHASE, 4 WIRE PANEL, LABEL AS PANEL 'R' FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

KEY NOTES

- BRINKING FOUNTAIN OUTLET: CONTRACTOR TO COORDINATE LOCATION OF OUTLET WITH MECHANICAL CONTRACTOR PRIOR TO ANY ROOMS IN WORK.
- NEW 800 AMP SECS SECTION FOR AIT B01 1 AND 2, AND TO REFEED EXISTING FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 120/208, 100 AMP PANEL, LABEL AS PANEL 'P' FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 200 AMP, 480V, 3 PHASE, 4 WIRE PANEL, LABEL AS PANEL 'Q' FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW 100 AMP, 120/208V, 3 PHASE, 4 WIRE PANEL, LABEL AS PANEL 'R' FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

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Cherry Avenue  
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Additions & Renovations

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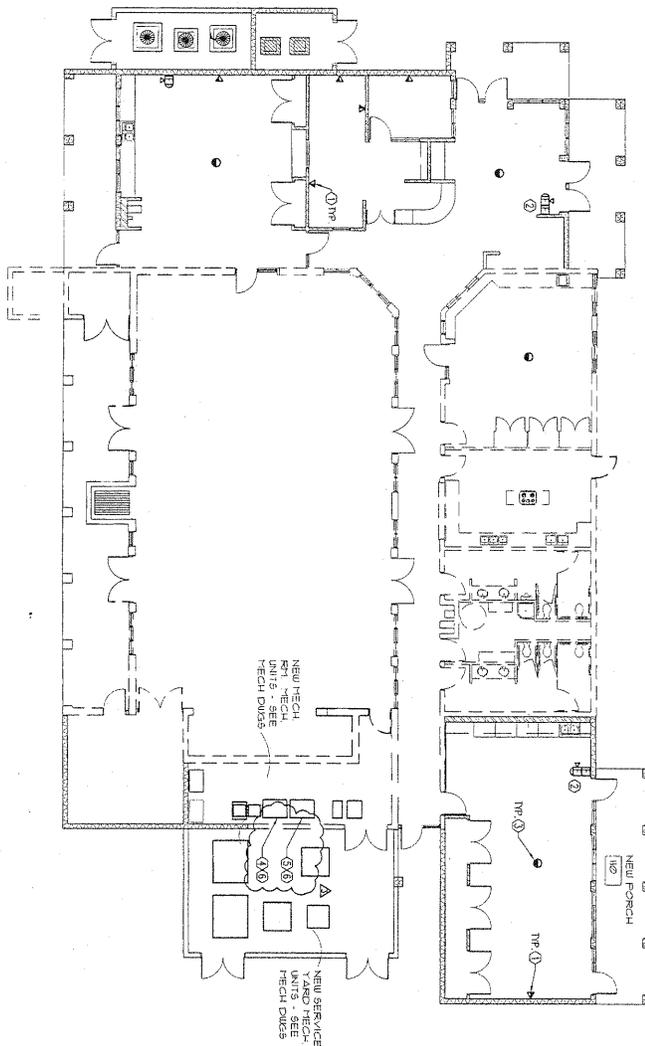
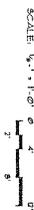
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Revision	Date	Description
1	11/19/08	NEW BOX/BOARD

08/26/08  
2008-01

Electrical Power Plan  
**E4**

ELECTRICAL SPECIAL SYSTEMS PLAN



- KEY NOTES**
- CONTRACTOR TO INSTALL BOX & 18" A.F.C. TO TOP OF BOX. SUB (1) TO CONSULT ABOVE CEILING CONTRACTOR TO COORDINATE INTERCONNECTION WITH EXISTING SYSTEM WITH 1" PERSON IN CHARGE. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO ANY ROUGH-IN WORK.
  - NEW PULL STATION AND ADD/REMOVE DEVICES INSTALLED BY CONTRACTOR. CONTRACTOR TO INTERCONNECT WITH AND LOCATION OF DEVICES WITH OWNER PRIOR TO ANY ROUGH IN WORK.
  - CEILING MOUNTED SMOKE DETECTOR. CONTRACTOR TO PROVIDE AND INSTALL.
  - UNIT FC-1 REFER TO MECHANICAL PLAN SHEET M-2 FOR EXACT LOCATION. CONTRACTOR TO INTERCONNECT WITH DUCT SMOKE DETECTOR. REFER TO PLAN SHEET M-3 FOR LOCATION OF DETECTOR.
  - UNIT FC-2 REFER TO MECHANICAL PLAN SHEET M-2 FOR EXACT SMOKE DETECTOR. REFER TO PLAN SHEET M-3 FOR LOCATION OF DETECTOR.
  - INTERCONNECT DUCT SMOKE DETECTOR WITH FIRE ALARM PANEL. DUCT SMOKE DETECTOR IN OTHER UNITS FC-1 AND FC-2 DUCT SMOKE DETECTOR IN OTHER UNITS.



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REGISTERED ELECTRICAL ENGINEER  
STATE OF ARIZONA  
NO. 12345  
EXPIRES 3/31/2011



**Cherry Avenue  
Recreation Center  
Additions & Renovations**

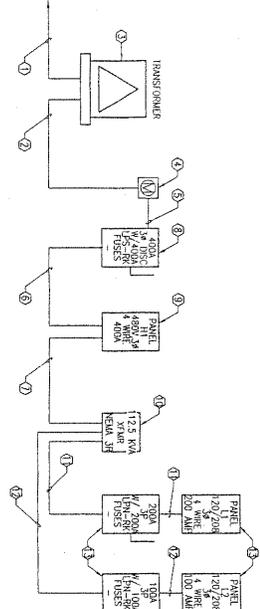
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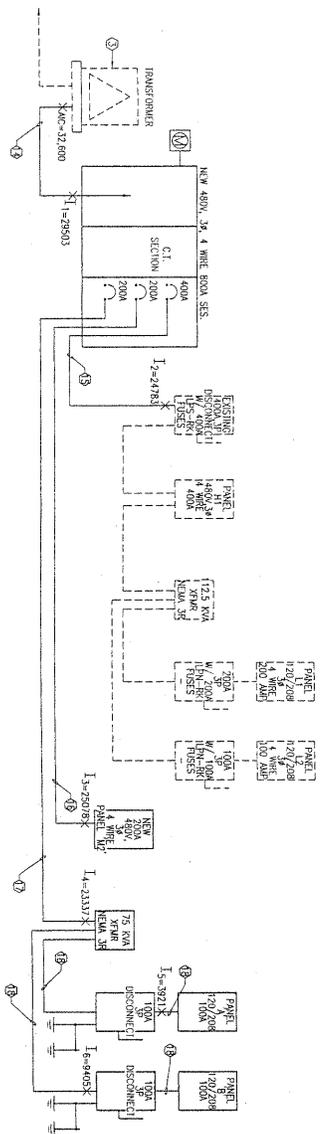
Revised	Date	Description
1	11/19/08	NEW BACKGROUND
2	01/27/09	ARCHITECT CHANGES
3	03/20/09	ARCHITECT CHANGES

Approved For Use: 2008-01  
08/26/08  
Special Systems Plan  
**E5**





EXISTING ELECTRICAL SINGLE LINE



NEW ELECTRICAL SINGLE LINE

FAULT CURRENT CALC

SCALE: N.T.S.

AC = 32,600

$$F_1 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_2 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_3 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_4 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_5 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_6 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_7 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_8 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_9 = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

$$F_{10} = \frac{1,272 \times 29,800 \times 32,600}{400 \times 13,623 \times 2} = 2,823,152$$

LOAD SUMMARY

DESCRIPTION	LOAD
EXISTING PANEL 'H'	214 A
EXISTING PANEL 'L'	171 A
EXISTING PANEL 'L2'	7 A
PANEL 'W'	96 A
PANEL 'X'	51 A
PANEL 'Y'	38 A
TOTAL	589 A

\* THESE PANELS FEED BY PANEL 'H'. TOTAL LOAD ON 'H' IS TOTAL OF 'L', 'L2', AND 'H'.

800 AMP S.E.S. APPROX.

INTERNATIONAL ENERGY CONSERVATION CODE

LUMINAIRE	DESCRIPTION	BALLAST TYPE	LAMP & BALLAST WATTS	FEE LUMINAIRE QUANTITY	LUMINAIRE WATTS
'A'	FLUORESCENT	PHOSPHOR	50W	2	1000
'B'	FLUORESCENT	PHOSPHOR	50W	2	1000

TOTAL AREA = 8816 SQ. FT. / SQ. FT. = 8816 WATTS  
 ASD COMPLETS WITH PANEL 505.5.2 OF 2008 I.E.C.

KEY NOTES

- EXISTING TRANSFORMER FEED FROM T.E.P. TO REMAIN.
- EXISTING PANELS (2) OF (4) #1/0 IN 2" CONDUIT TO BE REMOVED.
- EXISTING T.E.P. TRANSFORMER TO BE REPLACED.
- EXISTING METERS TO BE REMOVED.
- (2) EXISTING 2" CONDUITS EACH WITH (4) #3/0 TO BE REMOVED.
- (2) EXISTING 2" CONDUITS WITH (4) #3/0 + (1) #8 GND TO REMAIN.
- (1) 2" CONDUIT WITH (2) #2/0 + (1) #4 GND TO REMAIN.
- EXISTING 400 AMP DISCONNECT TO REMAIN.
- EXISTING 400 AMP, 277/480V, 3Ø, 4 WIRE PANEL 'H' TO REMAIN.
- EXISTING 480V/208 STEPDOWN TRANSFORMER (125 KW) TO REMAIN.
- (1) 2 1/2" CONDUIT (EXISTING WITH (4) #4/0 + (1) #2 GND) TO REMAIN.
- (1) 1 1/4" CONDUIT (EXISTING WITH (4) #2 + (1) #8 GND) TO REMAIN.
- PANELS 'L', 'L2', DISCONNECTS FOR PANELS 'L' AND 'L2' TO REMAIN.
- NEW 3" CONDUITS EACH WITH (4) 250 MCM TO FEED 800 AMP S.E.S.
- NEW 2" CONDUITS TO FEED EXISTING 400 AMP DISCONNECT IN EXISTING ELECTRICAL ROOM.
- 2" CONDUIT WITH (4) #3/0 + (1) #6 GND TO FEED PANEL 'W' FOR ALL HVAC UNITS INVOLVED IN A.I.T. 801 AND 2.
- 2" CONDUIT WITH (2) #3/0 + (1) #6 GND TO FEED 480V/208/208V STEPDOWN TRANSFORMER.
- (1) 1 1/2" CONDUIT WITH (4) #2 + (1) #8 GND TO FEED 100 AMP PANEL.

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08/26/08  
 2008-01

Electrical Single Line Existing / New

E7



ELECTRICAL SPECIFICATIONS (CONTINUED FROM PREVIOUS SHEET)

11.0 MOTOR CONTROL - GENERAL

- 1. PROVIDE FUSES FOR ALL FUSE HOLDERS. IN ADDITION, PROVIDE FOR EACH FUSE TO PROTECT SPACES, BUT NOT LESS THAN HALF OF EACH TYPE, AND OBTAIN TO OWNER'S REPRESENTATIVE APPROVED EQUAL FUSES.
2. PROVIDE CURRENT LIMITING DEVICES WHERE INDICATED.
3. PROVIDE CURRENT LIMITING DEVICES WHERE INDICATED.
4. ALL FUSES TO BE CHANGED BY THE SERVICE PERSONNEL.

12.0 GROUNDING

- 1. INSTALL MOTOR CONTROL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
3. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

13.0 EQUIPMENT CONNECTIONS

- 1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY CONDUIT, WIRE, DISCONNECTS, AND EQUIPMENT CONNECTIONS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

14.0 IDENTIFICATION

- 1. ALL ELECTRICAL EQUIPMENT SHALL BE IDENTIFIED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL ELECTRICAL EQUIPMENT SHALL BE IDENTIFIED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

15.0 ADJUSTING AND CLEANING

- 1. ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED AND CLEANED AT THE TIME OF INSTALLATION.
2. ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED AND CLEANED AT THE TIME OF INSTALLATION.

16.0 TESTING

- 1. ALL ELECTRICAL EQUIPMENT SHALL BE TESTED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL ELECTRICAL EQUIPMENT SHALL BE TESTED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

17.0 GENERAL CONSTRUCTION NOTES

- 1. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

17.0 GENERAL CONSTRUCTION NOTES (CONTINUED)

- 1. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

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CHERRY AVENUE RECREATION CENTER ADDITIONS & RENOVATIONS
EARTHQUAKE 9/21/2011

Cherry Avenue Recreation Center Additions & Renovations
5085 S. Cherry Avenue
Tucson, Arizona 85706

CITY OF TUCSON Parks and Recreation Department
District Southwest Center
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City of Tucson
08126108
2008-01
Electrical Specifications
E9

