

GENERAL NOTES

- OWNER/DEVELOPER:
EQUILIBRIUM PROPERTIES
220 EAST 6TH STREET
TUCSON, ARIZONA 85705
- THE EXISTING ZONING IS C-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS GENERAL MANUFACTURING. THE PROPOSED USE IS SHOPPING CENTER AND IS NOT SUBJECT TO ANY USE SPECIFIC STANDARDS.
- THE GROSS SITE AREA IS 24,693 SQUARE FEET, OR 0.57 ACRES.
- THE TOTAL BUILDING GFA IS 10,916 SF.
- THE TOTAL ON-SITE DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 16,363 SF. THE TOTAL OFF-SITE DISTURBED AREA IS APPROXIMATELY 442 SF.
- THE ASSESSOR'S PARCEL NUMBER(S) FOR THIS PROJECT IS/ARE 117-09-025, -026, AND -029.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS ARE EXISTING AND PRIVATE AND WILL CONTINUE TO BE OPERATED AND MAINTAINED ON A PRIVATE BASIS. NO NEW SEWERS ARE PROPOSED.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

GENERAL NOTES (cont.)

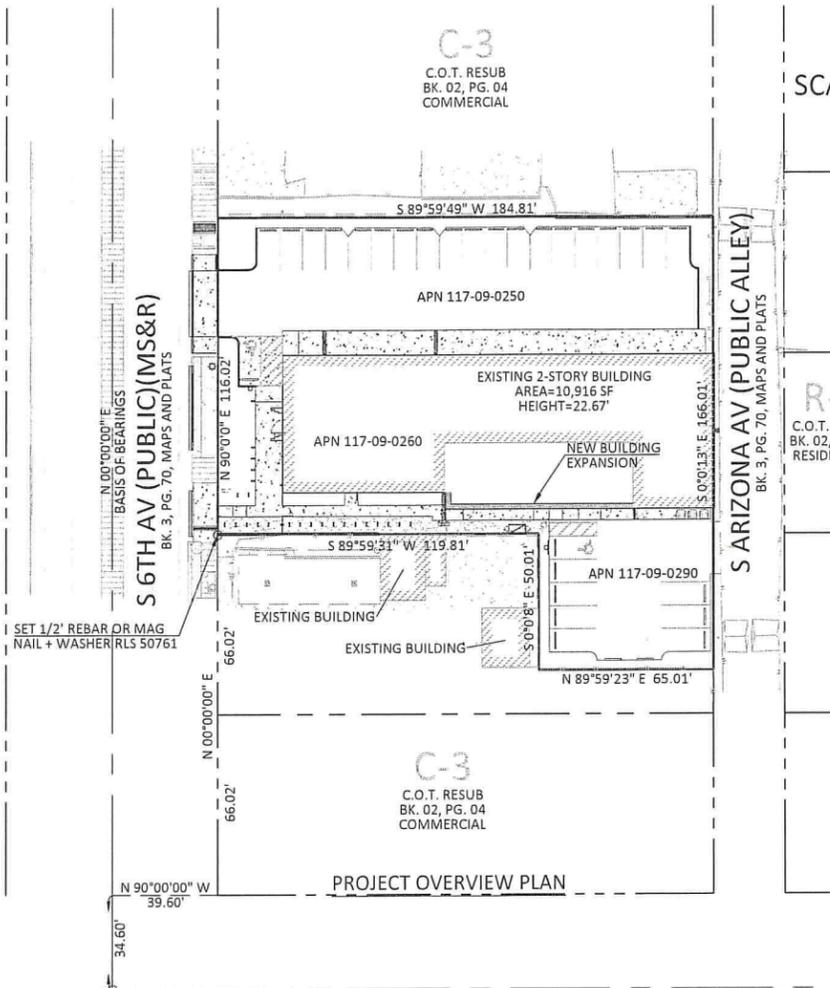
- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-3 ZONING:
RESIDENTIAL DENSITY CALCULATION: N/A
LOT COVERAGE CALCULATION: N/A
MAXIMUM BUILDING HEIGHT = 75'
ACTUAL BUILDING HEIGHT = 22.67'
BUILDING SETBACKS:
NORTH - 0' 50.3' MIN.
EAST - 1.5H=34' 0'
SOUTH - 0' 15.3' MIN.
WEST - 1.5H=34' 24.0' MIN.
- PARKING REQUIREMENTS FOR COMMERCIAL USE GROUP:
MOTOR VEHICLE: 1 SPACE PER 300 SF OF GFA
NOTE: EXCESS BICYCLE PARKING WILL BE PROVIDED SO THAT THE TOTAL REQUIRED VEHICULAR PARKING REDUCES BY 20%.
REQUIRED = 10,916/300 = 36 SPACES
TOTAL REQUIRED AFTER 20% REDUCTION = 29 SPACES
TOTAL PROVIDED = 28 SPACES
ACCESSIBLE SPACES REQUIRED = 2 SPACES
ACCESSIBLE SPACES PROVIDED = 2 SPACES
BICYCLE PARKING:
SHORT TERM: 2 SPACES
LONG TERM: 1 SPACE PER 12,000 SF (2 MIN.)
SHORT TERM REQUIRED = 2 SPACES
LONG TERM REQUIRED = 10,916/12,000 = 2 SPACES
EXTRA REQUIRED (SHORT OR LONG) = 8x6 = 48 SPACES
TOTAL REQUIRED (SHORT AND LONG) = 52 SPACES
SHORT TERM PROVIDED (TOTAL) = 48 SPACES
LONG TERM PROVIDED (TOTAL) = 2 SPACES*
LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 0 SPACES
- A FREESTANDING MONUMENT SIGN IS PROVIDED WITHIN THIS DEVELOPMENT. NO SITE LIGHTING IS PROVIDED.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- WASTE STREAM CALCULATION:
PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 21.87 TONS OF SOLID WASTE PER YEAR (EQUATING TO 280 GALLONS PER WEEK). THIS WILL BE ACCOMPLISHED BY TWO 95-GALLON TRASH BINS AND ONE 95-GALLON RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R); UDC SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID); UDC SEC. 5.13, URBAN OVERLAY DISTRICT (UOD).
- SITE EXPANSION CALCULATION:
AREA OF EXISTING PERMITTED BUILDING(S) = 9,280 SF
AREA OF EXISTING UNPERMITTED EXPANSIONS = 1,396 SF
AREA OF EXISTING BUILDING(S) BEING REMOVED = 2,024 SF
AREA OF NEW EXPANSION = 2,264 SF
EXPANSION PERCENTAGE = (1,396+2,264-2,024)/9,280 = +17.6%

DEVELOPMENT PACKAGE for MATTRESS FACTORY



IN THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP
3" = 1 MILE



SCALE: 1"=30'

LEGEND		EXISTING	PROPOSED
SUBJECT PROPERTY BOUNDARY	O		
RIGHT-OF-WAY	(B)		
OTHER PARCEL LINE	R-2		
ROADWAY CENTERLINE	SVT		
ZONE BOUNDARY	R.O.W.		
CONTOUR	R		
SPOT ELEVATION	P		
CURB	C		
ASPHALT	TC		
CONCRETE	FG		
BRICK/PAVERS	LP; HP		
PAINT STRIPE	GB		
FENCE	FFE		
WALL	FOC; BOC		
SIGN			
TRASH OR RECYCLE BIN: 95 GAL			
STREET/SITE LIGHT			
STORM DRAIN MANHOLE			
UNDERGROUND ELECTRIC			
OVERHEAD ELECTRIC			
GAS PIPE			
SEWER PIPE			
WATER PIPE			
POWER POLE			
ELECTRIC PULL BOX			
ELECTRIC METER			
GAS METER			
SEWER MANHOLE			
WATER METER			
BACKFLOW PREVENTER	(BF)		
HOSE BIB			

SHEET INDEX

- | | |
|-------------------------------|------------------------------|
| 1. COVER SHEET | 7. LANDSCAPE PLAN |
| 2. NOTES | 8. IRRIGATION PLAN |
| 3. SITE PLAN | 9. RAINWATER HARVESTING PLAN |
| 4. GRADING + DRAINAGE PLAN | 10. LANDSCAPE DETAILS |
| 5. UTILITIES + EASEMENTS PLAN | 11. IRRIGATION DETAILS |
| 6. DETAILS | |

ARCHITECT
HAIRU
342 EAST MABEL STREET
TUCSON, ARIZONA 85705
ATTN: DALE RUSH
PH: (520) 301-7273
E: dale@ha-ru.co

LANDSCAPE ARCHITECT
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3117 EAST FLOWER STREET
TUCSON, ARIZONA 85716
ATTN: ERIC BARRETT
ATTO: (520) 882-9655
E: erb@arcstudiosinc.com

NO	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER
EQUILIBRIUM PROPERTIES
220 EAST 6TH STREET
TUCSON, ARIZONA 85705
ATTN: VANESSA LANE
PH: (520) 250-8977
E: vanessa@equilibriuminvest.com

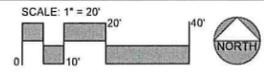
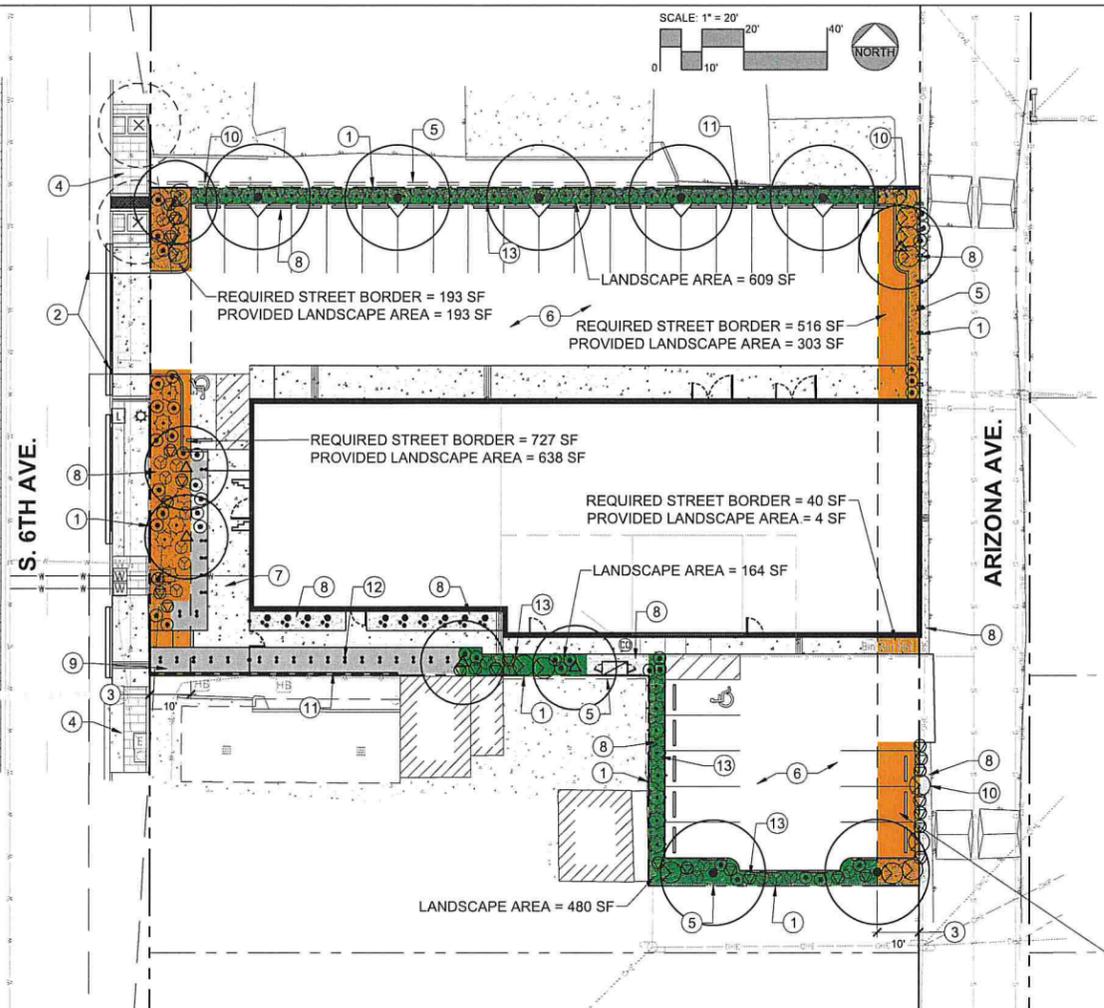
SITE ADDRESS
1021 S 6TH AV
TUCSON, ARIZONA 85712

CYPRESS CIVIL DEVELOPMENT
37624 KEVIN M. HALL
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E: info@cypresscivil.com

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tucson, arizona 85719
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DEVELOPMENT PACKAGE for MATTRESS FACTORY cover sheet





LANDSCAPE LEGEND
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
<i>Chilopsis linearis</i> 'Bubba' semi-seedless desert willow	24" box	6
	1.5" caliper	
<i>Celtis reticulata</i> netleaf hackberry	24" box	7
	1.5" caliper	
Existing tree to remain in place		

Shrubs / Ground Covers	Size	Qty
<i>Ruellia peninsularis</i> desert ruellia	5 gallon	15
<i>Calliandra californica</i> baja fairy duster	5 gallon	25
<i>Berlandiera lyrata</i> chocolate flower	1 gallon	40

Cacti / Succulents	Size	Qty
<i>Asclepias subulata</i> desert milkweed	5 gallon	19
<i>Hesperaloe parviflora</i> braketights yucca	5 gallon	45
<i>Lophocereus schottii</i> totem pole cactus	5 gallon	10

GROUND COVER MATERIAL LEGEND
Furnish and install all material per plans, details, and specs.

Decorative rock 01 - Landscape Areas
type: screened rock
size: 1/2"
color: desert brown
depth: 2"
notes: install in all landscape planting areas as indicated on plans

Decorative rock 02 - Bicycle Parking
type: stabilized decomposed granite
size: 1/4" minus
color: palomino gold
depth: 3"
notes: stabilizer solutions stabilizer® w/ 15lbs of stabilizer® per ton of aggregate

DDO APPLICATION LEGEND

- required street border landscape area
- additional site landscape area in substitution of street border landscape area

- GENERAL LANDSCAPING NOTES:**
- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
 - For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
 - The Landscape Architect is to approve any and all substitutions.
 - Plant list quantities are provided for contractor's convenience only. Plans take precedence.
 - Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
 - Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
 - Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
 - Ground cover and/or decorative rock shall extend under shrubs unless noted.
 - After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
 - Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
 - All earthwork is to be done so that all water drains away from all structures.
 - All underground utilities are to be located before digging.
 - All plant material to be guaranteed for a period of one (1) year after final acceptance.
 - Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
 - In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
 - All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
 - Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
 - Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
 - Landscape areas shall be depressed 6 inches to maximize storm water harvesting in areas shown on landscape and/or grading plans. Water harvesting shall not occur within 10' of building foundation.
 - Final plant locations must be in compliance with all utility setback requirements.
 - Sleeve all pipes and wires under paved areas including streets and sidewalks.
 - Irrigation lines are shown schematically; locate all line in unpaved areas.
 - Locate all lines within the property line when possible.
 - The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
 - The landscape and irrigation shall be installed per the associated specifications.
 - All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
 - Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
 - Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
 - It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
 - The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
 - The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
 - The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
 - The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
 - Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

- # LANDSCAPE KEY NOTES**
- Property line
 - Sight visibility triangle
 - Street landscape border
 - Existing sidewalk
 - Existing wall/fence
 - Pavement - refer to civil
 - Concrete sidewalk - refer to civil
 - Decorative rock 01 - all landscape areas, typ.
 - Decorative rock 02 - stabilized decomposed granite
 - 30" vegetated screen
 - Wall/fence - refer to civil
 - Bicycle parking - refer to civil
 - Additional site landscaping provided to meet street border requirement along Arizona Ave

LANDSCAPE BORDER REQUIREMENTS

North
no landscape border required

East (Arizona Ave)
10' street border @ 90' (area = 900 SF)
landscape area provided - 400 SF
additional site landscape area provided - 1,232 SF
trees required 3
trees provided within street border 2
trees provided outside street border 1
30" vegetated screen

South
no landscape border required

West (6th Ave)
10' street border @ 92' (area = 920 SF)
landscape area provided - 920 SF
trees required 3
trees provided 3
30" vegetated screen

PARKING TREE REQUIREMENTS

Parking spaces provided	27
Trees required	7
Trees provided	7

Refer to specifications for additional information on policies, performances, and products.

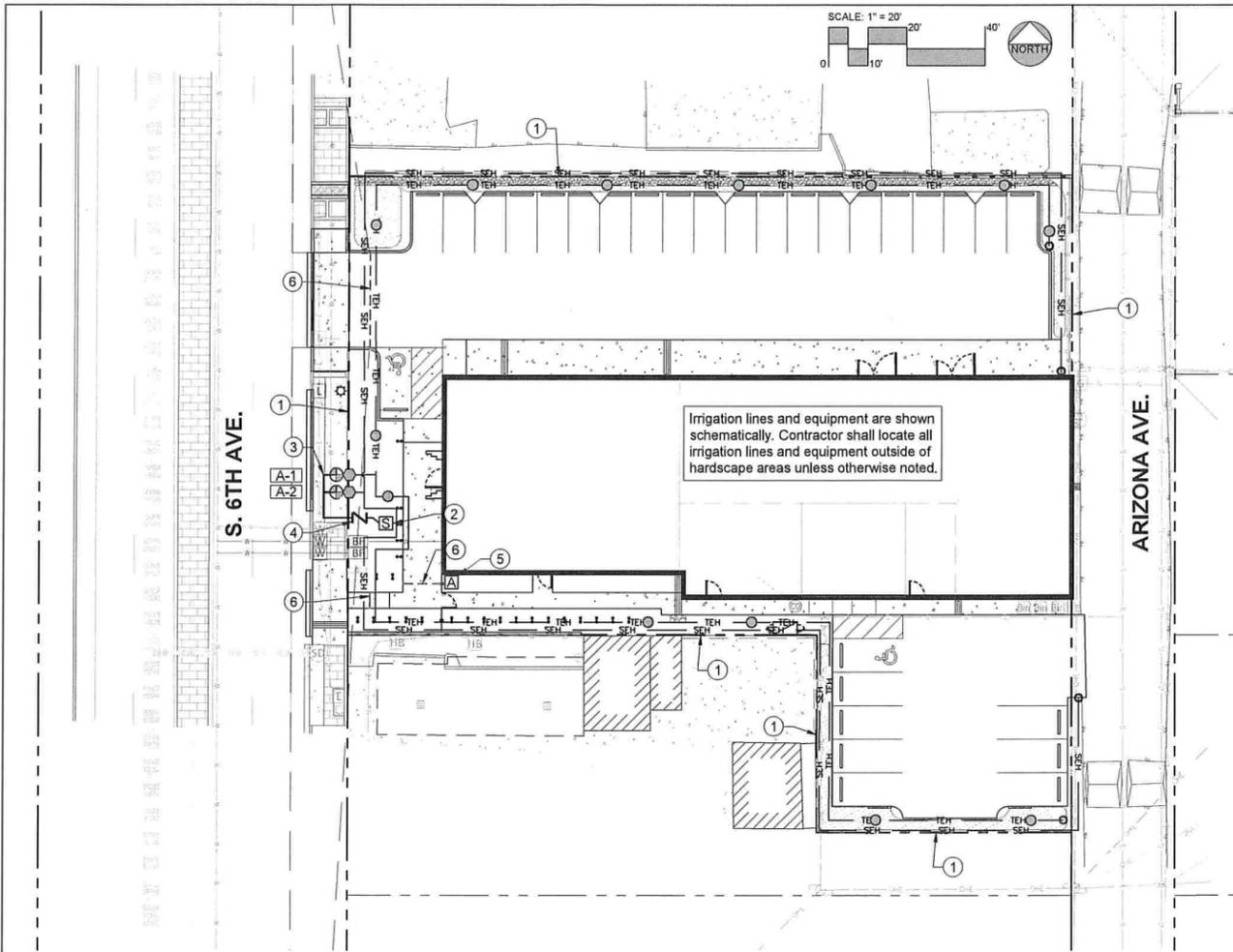
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 1021 S 6TH AVE LLC 220 EAST 6TH ST TUCSON, ARIZONA 85705 ATTN: SOFONIAS ASTAKE PH: (520) 250-8977 EMAIL: sastake@equilibriumvest.com
				SITE ADDRESS 1021 S 6TH AVE TUCSON, ARIZONA 85712

A PORTION OF BLOCK 153 OF "CITY OF TUCSON", PER BOOK 3, PAGE 70, MAPS & PLATS, BEING A PORTION OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for MATTRESS FACTORY landscape plan



DP19-0205



- IRRIGATION LEGEND**
 furnish and install all material per plans, details, and specifications
 irrigation source / point of connection - irrigation meter - 3/4" (refer to civil water plans)
 reduced pressure backflow preventer - watts u009 - 3/4" w/ enclosure
 irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
 irrigation controller - toto evolution series controller w/ smart connect and weather sensor, evo-od-04-sc, evo-ws
 remote control valve & filter - valve - iritrol 700 series, 700-1
 irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
 tree line - sch. 40 pvc - 3/4" unless otherwise shown
 shrub line - sch. 40 pvc - 3/4" unless otherwise shown
 hose end cap
 pressure regulating filter - rain bird - prb-qkchk-100
 multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
 single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

IRRIGATION VALVE SCHEDULE

Valve	Size	Type
A-1	1"	tree
A-2	1"	shrub
A-3		not used
A-4		not used

- VALVE SCHEDULE NOTES:**
- (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
 - Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

EMITTER SCHEDULE

Trees	Type	Outlets	Gph outlet	Gph plant
Chilopsis linearis 'Bubba'	m	5	2.0	10.0
semi-seedless desert willow				
Cellis reticulata	m	5	2.0	10.0
netleaf hackberry				
Shrubs / Ground Covers	Type	Outlets	Gph outlet	Gph plant
Ruellia peninsularis	s/m	2	1.0	2.0
desert ruellia				
Calliandra californica	s/m	2	1.0	2.0
baja fairy duster				
Berlandiera lyrata	s/m	1	1.0	1.0
chocolate flower				
Cacti / Succulents	Type	Outlets	Gph outlet	Gph plant
Asclepias subulata	s/m	1	1.0	1.0
desert milkweed				
Hesperaloe parviflora	s/m	1	1.0	1.0
brakelights yucca				
Lophocereus schoti	s/m	0	0	0
totem pole cactus				

IRRIGATION NOTES:

- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
- The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
- Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
- Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
- If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
- Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
- Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
- Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
- Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
- Contractor shall set additional programs on controller for deep root watering and plant growth from March thru June.
- Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
- Contractor shall have the irrigation functional, prior to start of planting.

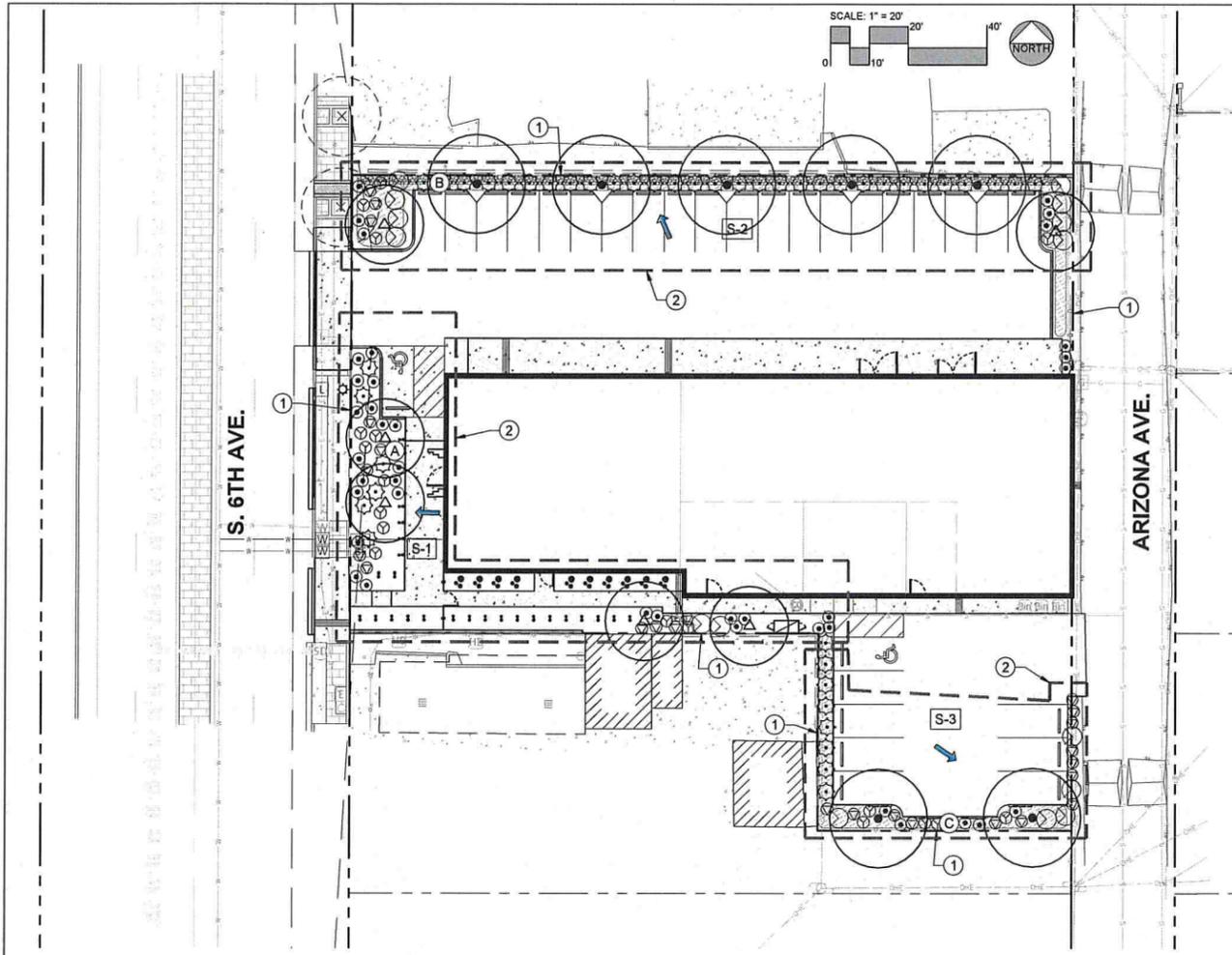
- # IRRIGATION KEY NOTES**
- Property line
 - Irrigation source
 - Irrigation mainline
 - Backflow preventer
 - Irrigation controller
 - Irrigation sleeve - refer to paving & grading plans

Refer to specifications for additional information on policies, performances, and products.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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				ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com
ARC STUDIOS PROJECT NO: 01-19030 				
A PORTION OF BLOCK 153 OF "CITY OF TUCSON", PER BOOK 3, PAGE 70, MAPS & PLATS, BEING A PORTION OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA				SITE ADDRESS 1021 S 6TH AVE TUCSON, ARIZONA 85712
DEVELOPMENT PACKAGE for MATTRESS FACTORY irrigation plan				8 OF 11

DP19-0205





- # RAINWATER HARVESTING KEY NOTES**
- Property line
 - Water harvesting infiltration area (WHIA)

GENERAL WATER HARVESTING NOTES:

- The site is cleared with fixed grades along the north, south, and west sides of the site.
- The general site flow is east to west and south into a collection channel to the south that crosses Tucson Boulevard.
- Water harvesting is proposed along the street landscape borders and parking areas. These areas shall be depressed 6" to retain water prior to outflow per the approved drainage report. Refer to the grading plans and drainage report for all spot grades and site drainage scheme.
- The proposed plant palette is native and drought tolerant to reduce the demand on the potable water supply.
- The estimated demand is 47,761 gallons per year. This amount shall not be exceeded when proper maintenance practices are used. Adjustments to the irrigation system with increased watering from April through June and limited water use during Monsoon and winter will allow the property owner to achieve limited water demand.
- It is the responsibility of the property owner to retain the services of a qualified maintenance company to ensure the irrigation system remains operational and functioning properly limiting the water use.
- The proposed irrigation system utilizes an ET (Evapo-transpiration Rate) controller that will aid in irrigation adjustments throughout the year. The maintenance company shall also set up additional programming for by-monthly timing to provide deep watering during the growing period in order to extend roots and allow the vegetation to become established. Once the vegetation is established, the irrigation system can be re-programmed to limit watering only to the months April through June to ensure vegetation retains growth during the plant material stress periods.
- Maintenance company shall provide monthly reports and identify the irrigation scheduling proposed. This scheduling shall be tracked by owner or property manager to ensure water usage is adjusted throughout the year. With the site being properly managed, the landscape water demand may be reduced by 55% per the estimated water harvesting summary.

WATER HARVESTING PLAN LEGEND

- Flow arrow
- Water harvesting infiltration area (WHIA)

SITE CALCULATIONS

Total site area: 24,693 sf (0.57 acres)
Proposed graded area: 16,363 sf (0.38 acres)

DRAINAGE SUB-AREA WATERSHED TOTALS:

- S-1 1,447 sf (0.03 acres)
- S-2 5,267 sf (0.12 acres)
- S-3 2,180 sf (0.05 acres)

SITE WATER BUDGET

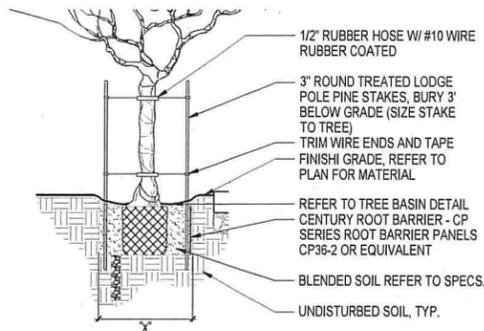
	Individual WHIA A	Individual WHIA B	Individual WHIA C	Total WHIA
PLANT WATER DEMAND				
Individual WHIA Identifier	A	B	C	
Plant water demand category for this WHIA	low	low	low	
Plant canopy area (square feet) for this WHIA. Add the canopies of understory, midstory and overstory plant areas to get total canopy area for each WHIA	489	1,666	980	3,135
Plant water demand per year (vertical feet of water per year per square foot of canopy) for this WHIA	1.7	1.7	1.7	
<i>CALCULATE:</i> Annual plant water demand for this WHIA based on plant canopy area (gallons)	6,218	21,185	12,462	39,865
OVERALL WATER HARVESTING SUPPLY				
WHIA area (square feet)	910	992	665	
WHIA average depth (feet)	0.5	0.5	0.5	
<i>CALCULATE:</i> WHIA capacity (gallons)	3,403	3,710	2,487	
If Passive water harvesting is used:				
Subwatershed Identifier	S-1	S-2	S-3	
Ratio of subwatershed area to plant canopy area needed to meet plant water demand in July through March (use March plant water demand as the indicator month, and effective rainfall in March of 0.41 inches, as shown on Table 3) (no units)	3.85	3.85	3.85	
<i>CALCULATE:</i> Total catchment area ideally needed to meet plant water demand in March (square feet)	1,883	6,414	3,773	
Actual total catchment area designed for this WHIA including the WHIA area itself (square feet)	1,447	5,267	2,680	
<i>CALCULATE:</i> Actual catchment ratio for this WHIA based	2.96	3.16	2.73	
<i>CALCULATE:</i> Actual percent of plant water demand that will be met for this WHIA	49%	53%	45%	
<i>CALCULATE:</i> Percent of plant water demand for this WHIA met using harvested rainwater from passive systems and active systems (as applicable)	49%	53%	45%	
TOTAL SITE INFORMATION				
Percent to total site annual landscape demand met using harvested water				50%
Water harvesting capacity offsetting retention basin size capacity				
Projected annual metered water use for the site if 50% of annual water use is provided by metered irrigation water (gallons) [50% is the allowed metered water use per the Commercial Rainwater Harvesting Ordinance]				19,932

Refer to specifications for additional information on policies, performances, and products.

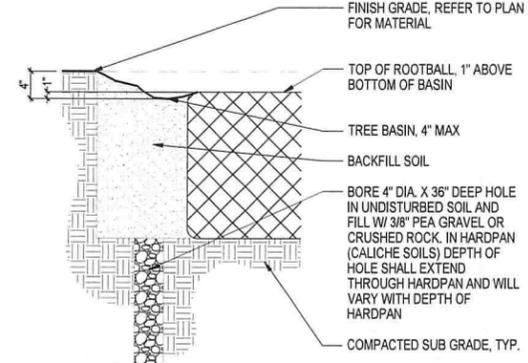
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER EQUILIBRIUM 1021 S 6TH AVE LLC 220 EAST 6TH ST TUCSON, ARIZONA 85705 ATTN: SOFONIAS ASTAKE PH: (520) 250-8977 EMAIL: sastake@equilibriumvest.com
				ARC STUDIOS PROJECT NO: 01-19030 ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com
ARC STUDIOS PROJECT NO: 01-19030 landscape architecture . urban design . environmental services . irrigation design.				
A PORTION OF BLOCK 153 OF "CITY OF TUCSON", PER BOOK 3, PAGE 70, MAPS & PLATS, BEING A PORTION OF SECTION 14, TOWNSHIP 13 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for MATTRESS FACTORY rainwater harvesting plan



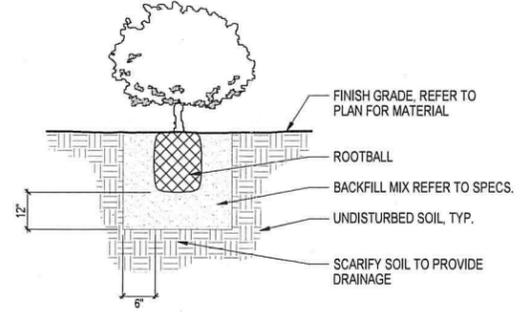
DP19-0205 9 of 11



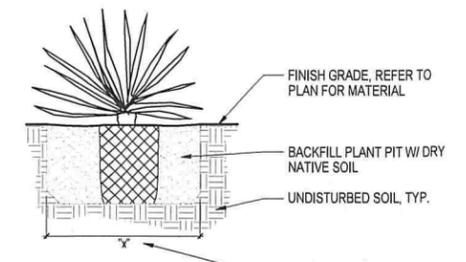
- NOTES:**
1. DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
 2. SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
 3. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 4. DO NOT COVER CROWN WITH SOIL.
 5. ROOT GUARDS SHALL BE PROVIDED ON ALL SIDES WHERE ADJACENT HARDSCAPE IS WITHIN 10' OF THE TREE/PLANT.
 6. REFER TO TREE STAKING DETAIL FOR ADDITIONAL INFORMATION.



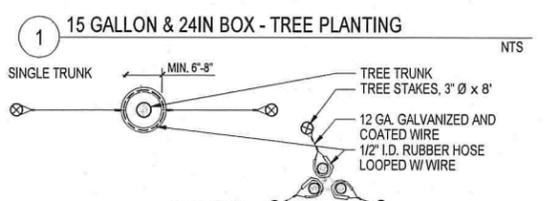
- NOTES:**
1. TREE BASINS NOT TO EXCEED 4" DEPTH.
 2. TOP OF ROOTBALL TO BE EXPOSED TO SURFACE.
 3. BOTTOM OF PLANT PIT EQUAL TO DEPTH OF ROOTBALL.



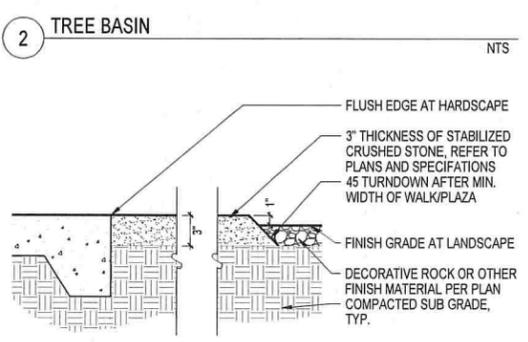
- NOTES:**
1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 2. DO NOT COVER CROWN WITH SOIL.
 3. SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.



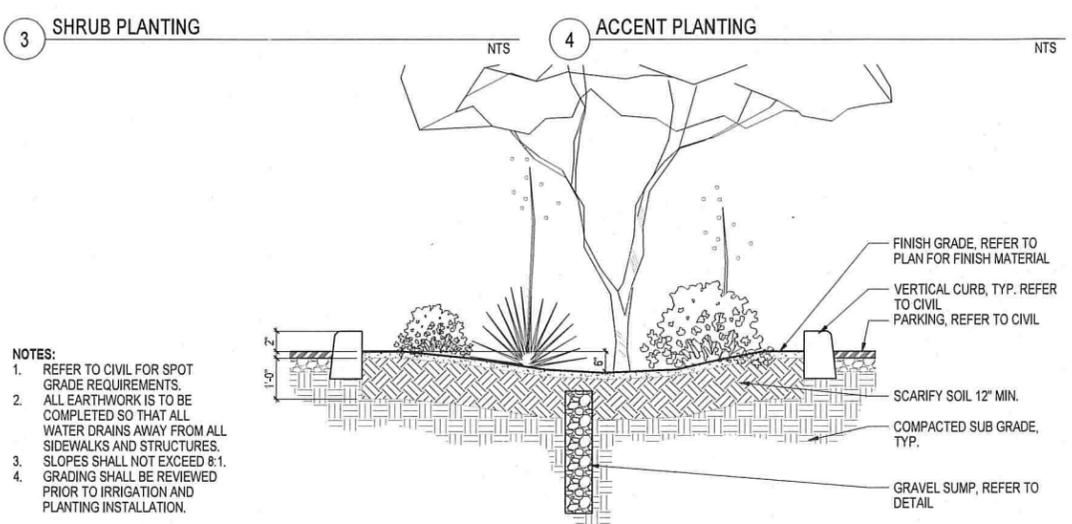
- NOTES:**
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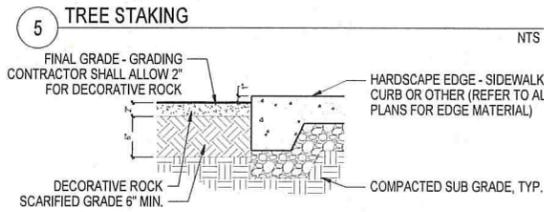
- NOTES:**
1. TREES SHALL ONLY BE STAKED THAT ARE NOT SELF-SUPPORTIVE WITH NURSERY STAKE REMOVED. CONTRACTOR SHALL INCLUDE IN BIDDING TO STAKE ALL TREES AS NECESSARY THROUGH WARRANTY AND MAINTENANCE PERIOD.



- NOTES:**
1. CONTRACTOR SHALL PROVIDE MOCK UP FOR PATH INSTALLATION OF 10' SECTION FOR OWNER REPRESENTATIVE OR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONTINUATION OF WORK.
 2. STABILIZED DG TO BE PREMIXED OFF SITE.
 3. TOTAL DEPTH TO BE 3" MIN. AND COMPACTED IN TWO LIFTS.



- NOTES:**
1. REFER TO CIVIL FOR SPOT GRADE REQUIREMENTS.
 2. ALL EARTHWORK IS TO BE COMPLETED SO THAT ALL WATER DRAINS AWAY FROM ALL SIDEWALKS AND STRUCTURES.
 3. SLOPES SHALL NOT EXCEED 8:1.
 4. GRADING SHALL BE REVIEWED PRIOR TO IRRIGATION AND PLANTING INSTALLATION.



- NOTES:**
1. CONTRACTOR SHALL ALLOW 2" FOR DECORATIVE ROCK.



- NOTES:**
1. CONTRACTOR SHALL PROVIDE MOCK UP FOR PATH INSTALLATION OF 10' SECTION FOR OWNER REPRESENTATIVE OR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONTINUATION OF WORK.
 2. STABILIZED DG TO BE PREMIXED OFF SITE.
 3. TOTAL DEPTH TO BE 3" MIN. AND COMPACTED IN TWO LIFTS.



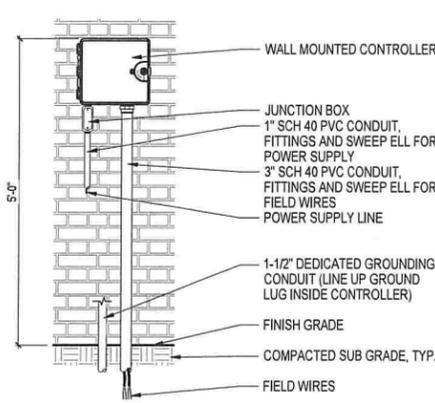
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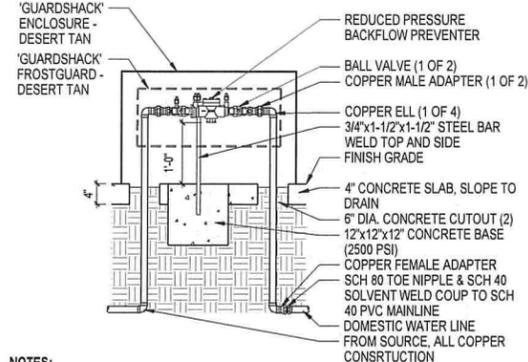
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				SITE ADDRESS 1021 S 6TH AVE TUCSON, ARIZONA 85712
ARC STUDIOS PROJECT NO: 01-19030 ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9055 www.arcstudiosinc.com landscape architecture . urban design . environmental services . irrigation design.				
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DP19-0205
10 of 11



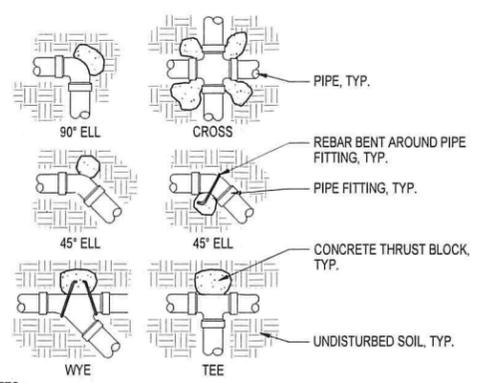
NOTES:

1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



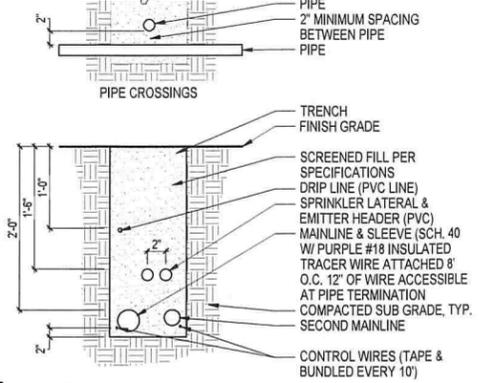
NOTES:

1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)
3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.



NOTES:

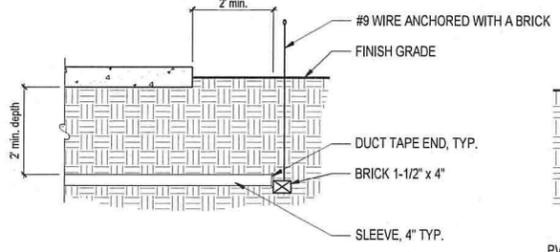
1. SUPPLY LINES 2" IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.
2. 1 CUBIC FOOT OF CONCRETE TO BE USED FOR EACH THRUST BLOCK.
3. WRAP PLASTIC SHEETING AROUND PIPE WHERE IT CONTACTS CONCRETE.



NOTES:

1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.
3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.
4. 4" PIPE & LARGER SHALL BE 30" BELOW FINISH GRADE.

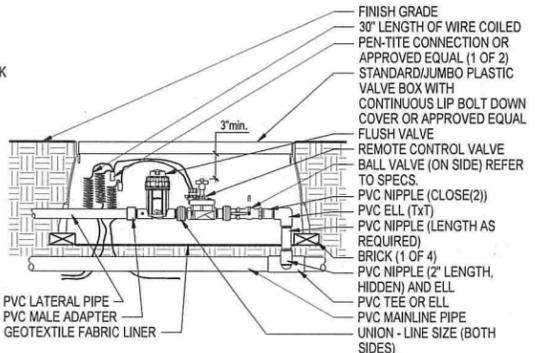
1 WALL MOUNTED CONTROLLER NTS



NOTES:

1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY TAMP BACKFILL SOIL TO 95% PROCTOR.

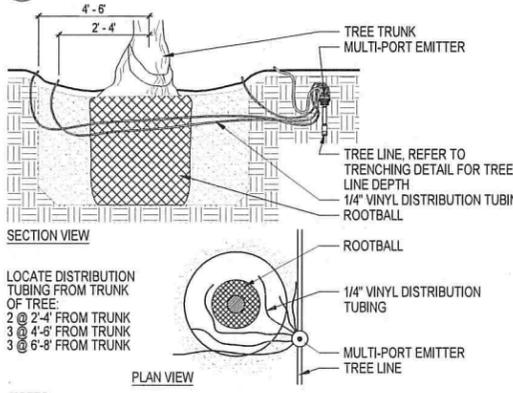
2 REDUCED PRESSURE BACKFLOW PREVENTER NTS



NOTES:

1. PROVIDE DECODERS AS REQUIRED FOR 2-WIRE SYSTEMS
2. GREEN BOXES IN TURF AREAS.
3. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
4. PURPLE BOXES IN RECLAIMED SYSTEMS.

3 MAIN LINE THRUST BLOCK NTS



NOTES:

1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

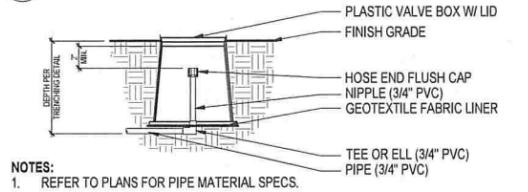
4 IRRIGATION TRENCHING NTS

NOTES:

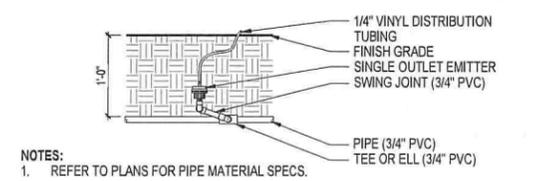
1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC, PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
2. MAIN LINE - SCH. 80 FITTINGS.
3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
4. PRESSURE TESTS, 4 HOURS:
 - MAIN LINE AT 150 PSI
 - LATERALS AND DRIP LINE AT 70 PSI

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

8 PIPE SIZING SCHEDULE NTS



5 SLEEVING NTS

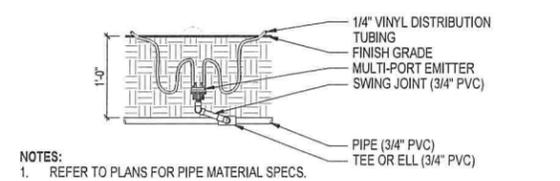


6 REMOTE CONTROL VALVE - DRIP/BUBBLER NTS

7 MULTI-PORT EMITTER DRIP TUBING @ TREE NTS

9 HOSE END CAP NTS

10 SINGLE OUTLET EMITTER NTS



11 MULTI-PORT EMITTER NTS



Refer to specifications for additional information on policies, performances, and products.

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				SITE ADDRESS 1021 S 6TH AVE TUCSON, ARIZONA 85712

39813
ERIC R. BARRETT
9/30/2021

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DEVELOPMENT PACKAGE for MATTRESS FACTORY irrigation details

DP19-0205
11 of 11