



SPECIAL DISTRICTS APPLICATION

Application Stage: Pre-application Application
Permit Activity Number: T20SA00145 Case Number: RNA-DBR-20-01 Date Accepted: 5/13/2020

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable):
Property Address: 100 South Church Avenue, Tucson, AZ 85701
Pima County Tax Parcel Number/s: 117-20-016H
Current Zoning: OCR-2
Applicable Overlay/ Infill Incentive District Rio Nuevo Area
Special Districts: Main Gate Overlay District Grant Road Overlay District
 Neighborhood Preservation Zone Historic Preservation Zone

Neighborhood Association (if any):
PROJECT TYPE (check all that apply): Change of use to existing building
 New building on vacant land New building on developed land
 New addition to existing building Other

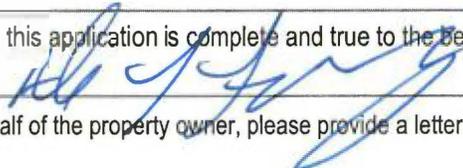
Description of Proposed Use: Law office for Farhang & Medcoff, PLLC
Number of Buildings and Stories/Height of Proposed Structure(s): 1 building 3 stories
Site Area (sq ft): 10,632 Area of Proposed Building (sq ft): 22,471

HISTORIC STATUS

Site is within a: Historic Preservation Zone Please List:
 National Register District Please List:
Site is/includes: A contributing structure Non-contributing structure
 Is adjacent to a contributing structure Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Ali J. Farhang, as manager of the general partner, Gametime Tucson, LLC
ROLE: Property owner Architect Engineer Attorney Developer
 Other: _____
Email: tmedcoff@farhangmedcoff.com PHONE: 520-214-2000
ADDRESS: 4801 East Broadway Boulevard, Suite 311, Tucson AZ 85711
PROPERTY OWNER NAME(S) (If ownership in escrow, please note): 100 South Church, LLP
PHONE: 520-214-2000

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.
SIGNATURE OF OWNER/APPLICANT*  Date 4/21/2020
 *If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization



FARHANG AND MEDCOFF | 100 S CHURCH AVE, TUCSON, AZ, 85701 | 05.05.2020



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APPLICANT NAME: Ali J. Farhang, as manager of the general partner, Gametime Tucson, LLC

ROLE: Property owner Architect Engineer Attorney Developer

Other: _____

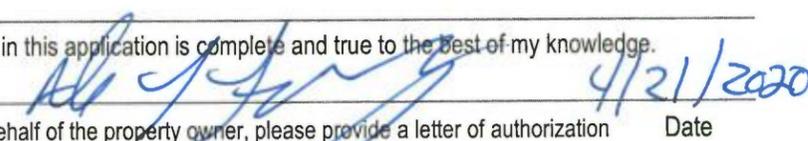
Email: tmedcoff@farhangmedcoff.com PHONE: 520-214-2000

ADDRESS: 4801 East Broadway Boulevard, Suite 311, Tucson AZ 85711

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): 100 South Church, LLP

PHONE: 520-214-2000

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT*  4/21/2020

*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date

PROPOSED CHANGES

- 1 NEW STUCCO FINISH FLUSH WITH ADJACENT WALL
- 2 SEALED STEEL TUBE FACADE
- 3 STUCCO FINISH WITH JOINTS IN A 24"X48" PATTERN AS SHOWN. ALIGN JOINTS WITH TOP OF COLUMN.
- 4 METAL PANEL ON FIRST FLOOR EAST FACADE
- 5 PERFORATED METAL PANEL AT WINDOWS ON FIRST FLOOR EAST FACADE.
- 6 PENETRATION ON FIRST FLOOR EAST FACADE WITH STOREFRONT WINDOW SYSTEM.
- 7 STEEL WALL FURR OUT TO SQUARE OFF CORNER AT NORTH STAIR CORE.
- 8 STEEL WINDOW BOX IN EXISTING OPENINGS ON THIRD FLOOR, REMOVE STUCCO POP OUT SURROUNDS.



EXISTING CONDITION: VIEW FROM INTERSECTION OF CHURCH AVE AND BROADWAY BLVD



ARTIST RENDERING : VIEW FROM INTERSECTION OF CHURCH AVE AND BROADWAY BLVD

5.12.7. RIO NUEVO AREA (RNA) ZONING DESIGN STANDARDS

A | APPLICABILITY

B | PERMITTED USES AND BUILDING HEIGHTS

C | BUILDING DESIGN STANDARDS

- 1 BUILDING HEIGHT SHALL RESPECT THE SCALE OF THE BUILDINGS IN THE DEVELOPMENT ZONE.
- 2 NEW CONSTRUCTION SHALL BE CONSISTENT WITH THE PREVAILING SETBACK
- 3 ALL NEW CONSTRUCTION SHALL PROVIDE SCALE DEFINING ARCHITECTURAL ELEMENTS.
- 4 A MINIMUM OF 50% OF THE GROUND FLOOR LEVEL SHALL PROVIDE VISIBLE ACTIVITY.
- 5 THERE SHOULD BE NO PLANE OF A FACADE LONGER THAN 50' WITHOUT ARCHITECTURAL RELIEF.
- 6 BUILDING FACADE DESIGN SHALL INCLUDE PEDESTRIAN-SCALED AND GLARE CONTROLLED
- 7 EXTERIOR BUILDING AND WINDOW LIGHTING.
- 8 FRONT DOORS SHALL BE VISIBLE FROM THE STREET AND VISUALLY HIGHLIGHTED.
- 9 MODIFICATIONS TO THE EXTERIOR OF HISTORIC BUILDINGS SHALL COMPLEMENT THE OVERALL HISTORIC CONTEXT OF DOWNTOWN.
- 10 BUILDING SHALL BE DESIGNED TO SHIELD ADJACENT BUILDINGS AND PUBLIC RIGHTS OF WAY FROM REFLECTED HEAT AND GLARE.
- 11 VEHICULAR PARKING AREAS SHALL BE DESIGNED TO AVOID CONFLICTS WITH PEDESTRIANS AND BICYCLES.
- 12 ADEQUATE SHADE SHALL BE PROVIDED FOR SIDEWALKS AND PEDESTRIAN PATHWAYS.
- 13 COLORS SHALL CONFORM WITH THE OVERALL COLOR PALETTE AND CONTEXT OF DOWNTOWN.
- 14 NEW BUILDINGS SHALL USE MATERIALS THAT RELATE TO THE TRADITIONAL CONTEXT OF DOWNTOWN.
- 15 PROVIDE A MIXTURE OF RETAIL, OFFICE AND RESIDENTIAL WITHIN EACH BUILDING. PRIMARY PUBLIC ENTRANCES SHALL BE ACCESSED FROM A SIDE WALK ALONG THE STREET.

D | SITE DESIGN STANDARDS

- 1 VEHICULAR CIRCULATION
- 2 PARKING
- 3 PLAZAS AND OPEN SPACE
 - A PLAZAS AND PEDESTRIAN NODES
 - B VIEW SHED CORRIDORS
 - C LINKAGES (PHYSICAL AND VISUAL)



EXISTING CONDITION: VIEW FROM INTERSECTION OF CHURCH AVE AND BROADWAY BLVD



ARTIST RENDERING : VIEW FROM INTERSECTION OF CHURCH AVE AND BROADWAY BLVD

5.12.7. RIO NUEVO AREA (RNA) ZONING DESIGN STANDARDS

A | APPLICABILITY

PROVISIONS ARE MANDATORY FOR PROPOSED DEVELOPMENT IN THE RNA
THIS PROJECT IS IN THE RIO NUEVO AREA.

B | PERMITTED USES AND BUILDING HEIGHTS

UNDERLYING ZONING STANDARDS APPLY INCLUDING PERMITTED LAND USE AND
BUILDING HEIGHTS
NOT APPLICABLE. THE PROJECT IS AN EXISTING BUILDING, NO CHANGE WILL BE
MADE TO THE PARAPET HEIGHT OR USE.



5.12.7. RIO NUEVO AREA (RNA) ZONING DESIGN STANDARDS

C | BUILDING DESIGN STANDARDS

- 1 BUILDING HEIGHT SHALL RESPECT THE SCALE OF THE BUILDINGS IN THE DEVELOPMENT ZONE.
NOT APPLICABLE. THIS PROJECT IS AN EXISTING BUILDING, THERE WILL BE NO CHANGE TO THE PARAPET HEIGHT.
- 2 NEW CONSTRUCTION SHALL BE CONSISTENT WITH THE PREVAILING SETBACK
NOT APPLICABLE. THIS PROJECT IS AN EXISTING BUILDING, THERE WILL BE NO CHANGE TO THE BUILDING FOOTPRINT.
- 3 ALL NEW CONSTRUCTION SHALL PROVIDE SCALE DEFINING ARCHITECTURAL ELEMENTS.
THIS PROJECT PROPOSES PEDESTRIAN SCALE WINDOWS AND CANOPY ON THE FIRST FLOOR
- 4 A MINIMUM OF 50% OF THE GROUND FLOOR LEVEL SHALL PROVIDE VISIBLE ACTIVITY.
THIS PROJECT PROPOSES NEW WINDOWS ON THE FIRST FLOOR THAT WILL ALLOW FOR VISIBLE ACTIVITY WITHIN THE BUILDING.
- 5 THERE SHOULD BE NO PLANE OF A FACADE LONGER THAN 50' WITHOUT ARCHITECTURAL RELIEF.
THIS PROJECT IS AN EXISTING BUILDING THAT DOES NOT HAVE AN UNINTERRUPTED 50' FACADE.
- 6 BUILDING FACADE DESIGN SHALL INCLUDE PEDESTRIAN-SCALED AND GLARE CONTROLLED EXTERIOR BUILDING AND WINDOW LIGHTING.
EXTERIOR LIGHTING IS PROPOSED ON THE EXTERIOR OF THE BUILDING.
- 7 FRONT DOORS SHALL BE VISIBLE FROM THE STREET AND VISUALLY HIGHLIGHTED.
THIS PROJECT HAS AN EXISTING FRONT DOOR THAT IS NOT VISIBLE FROM THE STREET, HOWEVER, A CANOPY IS PROPOSED TO HIGHLIGHT THE ENTRANCE AND PROVIDE SIGNAGE OPPORTUNITIES.
- 8 MODIFICATIONS TO THE EXTERIOR OF HISTORIC BUILDINGS SHALL COMPLEMENT THE OVERALL HISTORIC CONTEXT OF DOWNTOWN.
NOT APPLICABLE. THIS PROJECT IS NOT AN HISTORIC BUILDING.
- 9 BUILDING SHALL BE DESIGNED TO SHIELD ADJACENT BUILDINGS AND PUBLIC RIGHTS OF WAY FROM REFLECTED HEAT AND GLARE.
NOT APPLICABLE. THIS PROJECT IS AN EXISTING BUILDING.
- 10 VEHICULAR PARKING AREAS SHALL BE DESIGNED TO AVOID CONFLICTS WITH PEDESTRIANS AND BICYCLES.
NOT APPLICABLE. THIS PROJECT DOES NOT HAVE ON SITE PARKING.
- 11 ADEQUATE SHADE SHALL BE PROVIDED FOR SIDEWALKS AND PEDESTRIAN PATHWAYS.
THIS PROJECT PROPOSES A STEEL CANOPY THAT WILL SHADE THE BUILDING ENTRANCE AND ADJACENT SIDEWALK.
- 12 COLORS SHALL CONFORM WITH THE OVERALL COLOR PALETTE AND CONTEXT OF DOWNTOWN.
THIS PROJECT PROPOSES A PAINT AND TILE IMPROVEMENT TO THE BUILDING FACADE.
- 13 NEW BUILDINGS SHALL USE MATERIALS THAT RELATE TO THE TRADITIONAL CONTEXT OF DOWNTOWN.
NOT APPLICABLE. THIS PROJECT IS AN EXISTING BUILDING.
- 14 PROVIDE A MIXTURE OF RETAIL, OFFICE AND RESIDENTIAL WITHIN EACH BUILDING.
THIS PROJECT PROPOSES AN ADDITIONAL RETAIL USE TO THE EXISTING OFFICE USE.
- 15 PRIMARY PUBLIC ENTRANCES SHALL BE ACCESSED FROM A SIDE WALK ALONG THE STREET.
THIS PROJECT IS AN EXISTING BUILDING WHICH HAS A PUBLIC ENTRANCE FROM A SIDEWALK ALONG THE STREET.

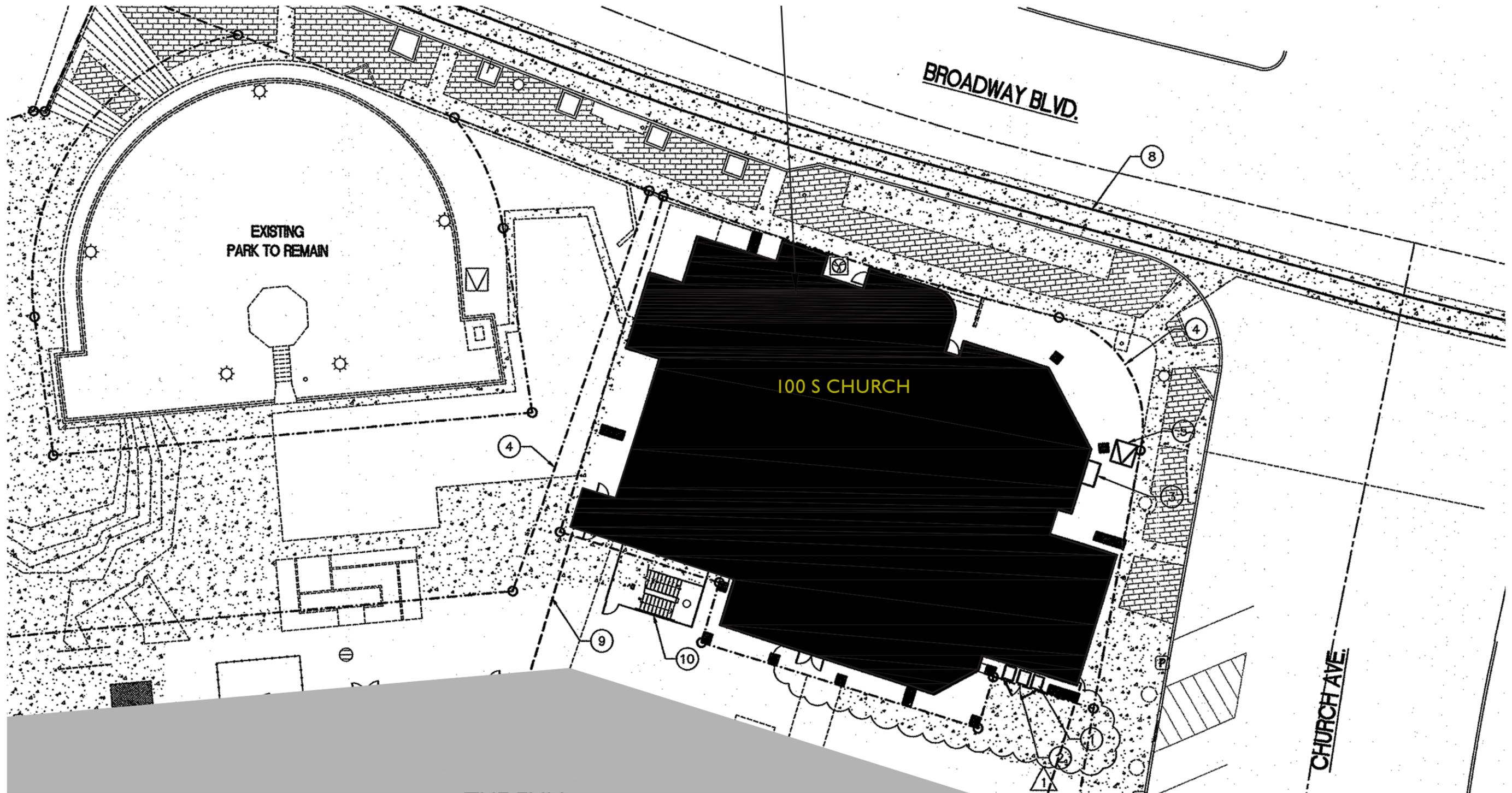


5.12.7. RIO NUEVO AREA (RNA) ZONING DESIGN STANDARDS

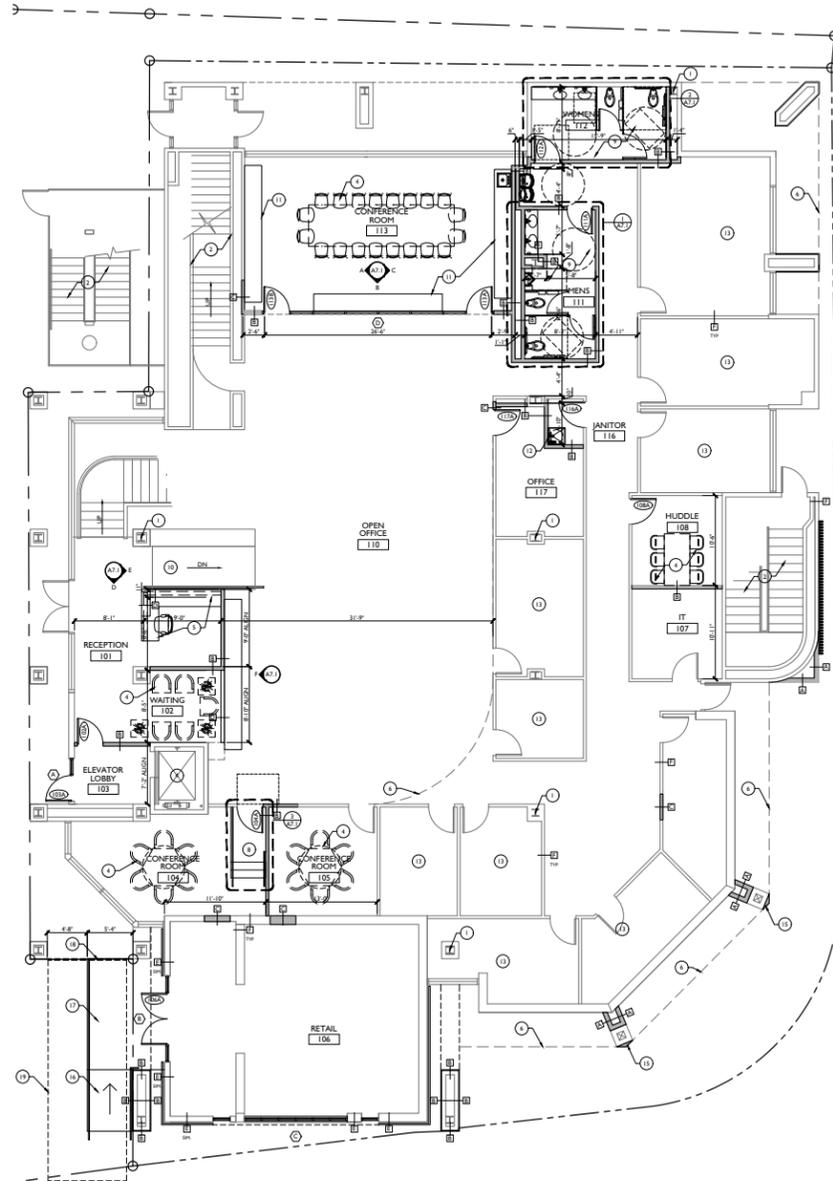
D | SITE DESIGN STANDARDS

- 1 VEHICULAR CIRCULATION
THIS PROJECT HAS NO ON SITE PARKING.
- 2 PARKING
THIS PROJECT HAS NO ON SITE PARKING.
- 3 PLAZAS AND OPEN SPACE
 - 3A PLAZAS AND PEDESTRIAN NODES
THIS PROJECT IS NOT NEW CONSTRUCTION.
 - 3B VIEW SHED CORRIDORS
THIS PROJECT DOES NOT PROPOSE TO CHANGE THE VIEW SHED.
 - 3C LINKAGES (PHYSICAL AND VISUAL)
THIS PROJECT DOES NOT PROPOSE ANY CHANGES TO NEIGHBORHOOD LINKAGES
- 4 STREETScape
 - 4A STREETScape DESIGN POLICY
THIS PROJECT DOES NOT PROPOSE ANY CHANGES TO THE STREETScape
 - 4B 50% OF ALL SIDEWALKS AND PEDESTRIAN PATHWAYS SHALL BE SHADED AT 2:00 PM ON JUNE 21
THIS PROJECT PROPOSES SHADE FOR 50% OF SIDEWALKS.
THE RIGHT OF WAY ADJACENT TO THIS PARCEL IS ~3,430 SF.
THE SHADED PORTION OF THE RIGHT OF WAY WILL BE ~1,726 SF.





FIRST FLOOR PLAN | SCALE: 3/32" = 1'-0"



FLOOR PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. OFFICE FURNITURE. TYP. BY TENANT.
5. BUILT IN RECEPTION DESK. REF. INTERIOR ELEVATIONS AS NOTED.
6. LINE OF SOFFIT ABOVE. SEE RCP.
7. BUILT IN WORK STATION. REF. INTERIOR ELEVATIONS AS NOTED.
8. LANDING AND STAIR. REF. ENLARGED PLAN AS NOTED.
9. ACCESSIBLE RESTROOM. REF. ENLARGED PLAN AS NOTED.
10. EXISTING RAMP TO REMAIN.
11. MILLWORK. REF. INTERIOR ELEVATIONS AS NOTED.
12. HOP SINK AND WATER HEATER. REF. PLUMBING SHEETS.
13. NO WORK, THIS ROOM.
14. STEEL TUBE CANOPY. REF. ELEVATION.
15. FURR OUT EXISTING COLUMN FOR SHARP CORNER WITH STUCCO FINISH TO MATCH EXISTING.
16. RAMP WITH MAX. SLOPE 1:12. REF. DETAIL SHEET A9.2.
17. LANDING WITH GUARD RAIL. REF. DETAIL SHEET A9.2.
18. STEP DOWN TO ADJACENT GRADE. MAX. HEIGHT 7" V.I.F.
19. LINE OF CANOPY ABOVE. REF. ELEVATIONS AND STRUCTURAL WALL TYPE NOTES.

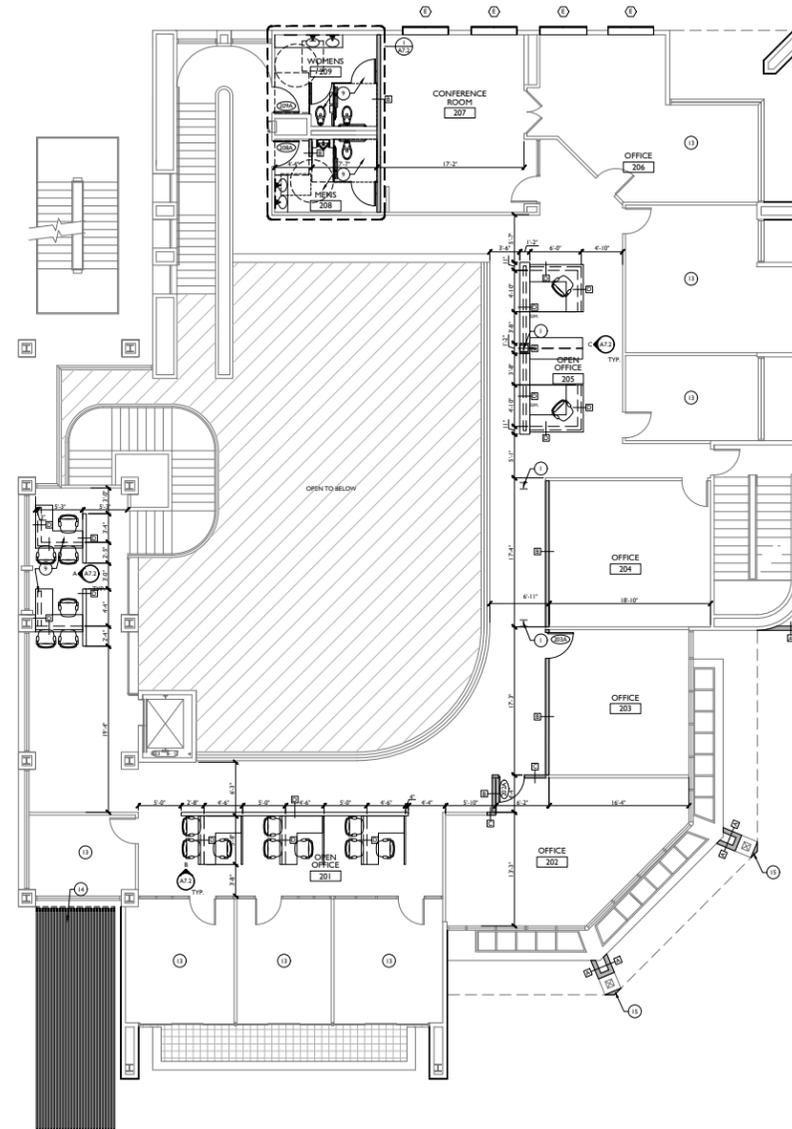
WALL TYPE NOTES:

1. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
2. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE. FRP IF OCCURS.
3. PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
4. SEE ADDITIONAL PARTITION DETAILS ON DETAIL SHEETS.
5. C.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING w/ THE WORK.
6. ALL INTERIOR FRAME WALLS FINISH TO MATCH EXISTING FROM FLOOR TO 6" ABOVE CLG. GRID. U.I.N.O. WITH 5/8" TYPE 'X' GWB. FIRE TAPED BEDDED. COORDINATE GWB INSTALLATION WITH TENANT'S WALL ROUGHING.
7. WALL BACKING PER DETAILS 3 & 4A9.0.

WALL TYPES:

- A. NEW STEEL STUD WALL (TO EXISTING PARAPET HEIGHT) - 6" METAL STUDS @ 16" O.C. REFERENCE STRUCTURAL PLANS, W/ STUCCO FINISH OV. RIGID INSULATION OV. WATER PROOF MEMBRANE OV. PLYWOOD SHEATHING. MATCH EXISTING ADJACENT STUCCO FINISH FOR A FLUSH TRANSITION. PROVIDE STUCCO EXPANSION JOINT AT EXTENTS. REF. ELEVATION FOR TILE EXTENTS.
- B. NEW PARTITION WALL (TO 6" ABOVE CLG.) - 3 5/8" 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. (MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS) WITH SOUND BATT INSULATION FULL DEPTH. TYP. U.I.N.O. REF. DTL. 2, 3 & 9A8.0. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- C. INFILL EXTENT OF OPENING TO MATCH ADJACENT WALL WHERE OCCURS. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- D. PARTIAL HEIGHT WALL (HEIGHT PER INTERIOR ELEVATIONS, A7.0) - 3 5/8" 20 GA METAL STUDS W/ 5/8" GYP. BD. BOTH SIDES. DOUBLE WALL W/ WIDTH AS NOTED AT SIM. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- E. EXISTING WALL - EXISTING WALL TO REMAIN. REPAIR FINISH WHERE NECESSARY AND PROVIDE METAL PANEL FACADE PER ELEVATIONS.
- F. EXISTING WALL - EXISTING WALL TO REMAIN. REPAIR FINISH WHERE NECESSARY OR REPLACE PER FINISH SCHEDULE. TYP.
- G. COLUMN FURR OUT (TO 6" ABOVE CLG.) - WRAP COLUMN AND PROVIDE FURRING CHANNEL AS REQUIRED TO MEET NOTED WIDTH. 5/8" GYP BD BOTH SIDES. TAPE AND TEXTURE TO MATCH EXISTING.

SECOND FLOOR PLAN | SCALE: 3/32" = 1'-0"



FLOOR PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. OFFICE FURNITURE. TYP. BY TENANT.
5. BUILT IN RECEPTION DESK. REF. INTERIOR ELEVATIONS AS NOTED.
6. LINE OF SOFFIT ABOVE. SEE RCP.
7. BUILT IN WORK STATION. REF. INTERIOR ELEVATIONS AS NOTED.
8. LANDING AND STAIR. REF. ENLARGED PLAN AS NOTED.
9. ACCESSIBLE RESTROOM. REF. ENLARGED PLAN AS NOTED.
10. EXISTING RAMP TO REMAIN.
11. MILLWORK. REF. INTERIOR ELEVATIONS AS NOTED.
12. HOP SINK AND WATER HEATER. REF. PLUMBING SHEETS.
13. NO WORK, THIS ROOM.
14. STEEL TUBE CANOPY. REF. ELEVATION.
15. FURR OUT EXISTING COLUMN FOR SHARP CORNER WITH STUCCO FINISH TO MATCH EXISTING.
16. RAMP WITH MAX. SLOPE 1:12. REF. DETAIL SHEET A9.2.
17. LANDING WITH GUARD RAIL. REF. DETAIL SHEET A9.2.
18. STEP DOWN TO ADJACENT GRADE. MAX. HEIGHT 7" V.I.F.
19. LINE OF CANOPY ABOVE. REF. ELEVATIONS AND STRUCTURAL WALL TYPE NOTES.

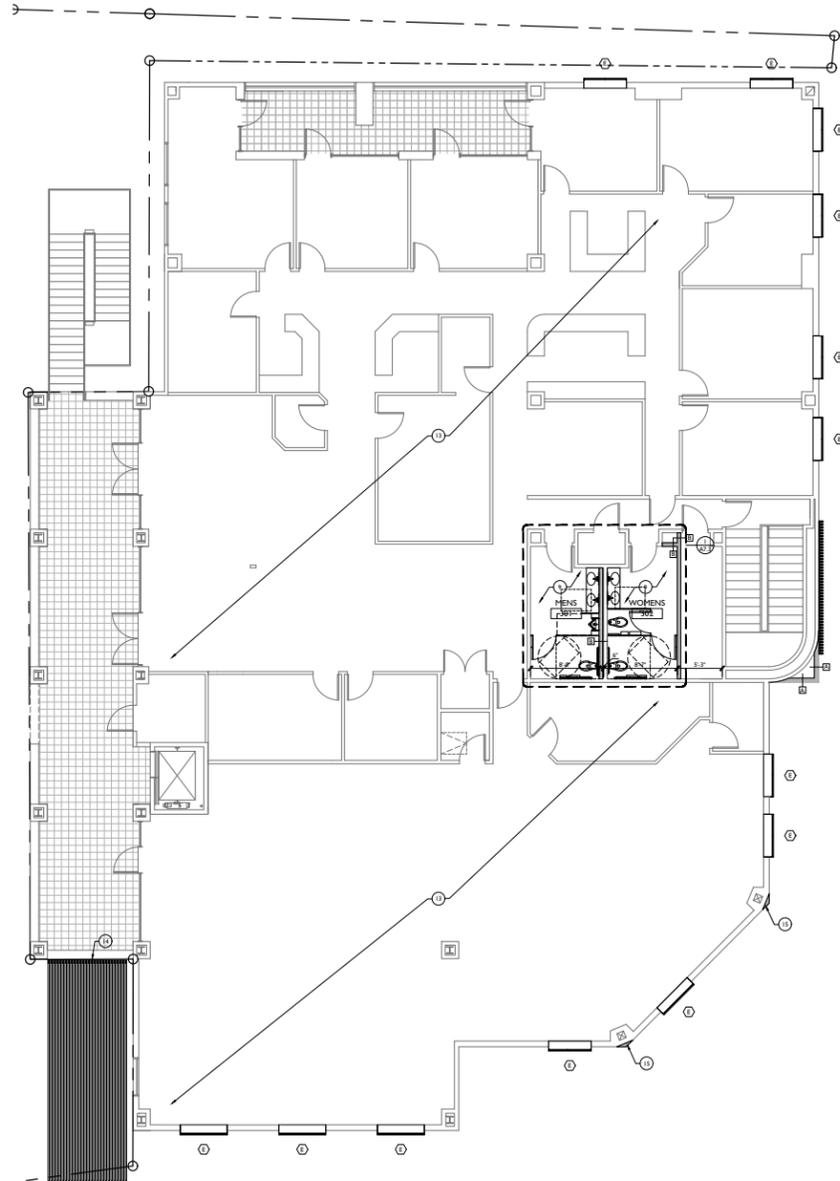
WALL TYPE NOTES:

1. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
2. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE. FRP IF OCCURS.
3. PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
4. SEE ADDITIONAL PARTITION DETAILS ON DETAIL SHEETS.
5. C.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING w/ THE WORK.
6. ALL INTERIOR FRAME WALLS FINISH TO MATCH EXISTING FROM FLOOR TO 6" ABOVE CLG. GRID. U.I.N.O. WITH 5/8" TYPE 'X' GWB. FIRE TAPED BEDDED. COORDINATE GWB INSTALLATION WITH TENANT'S WALL ROUGHING.
7. WALL BACKING PER DETAILS 3 & 4A9.0.

WALL TYPES:

- A. NEW STEEL STUD WALL (TO EXISTING PARAPET HEIGHT) - 6" METAL STUDS @ 16" O.C. REFERENCE STRUCTURAL PLANS, W/ STUCCO FINISH OV. RIGID INSULATION OV. WATER PROOF MEMBRANE OV. PLYWOOD SHEATHING. MATCH EXISTING ADJACENT STUCCO FINISH FOR A FLUSH TRANSITION. PROVIDE STUCCO EXPANSION JOINT AT EXTENTS. REF. ELEVATION FOR TILE EXTENTS.
- B. NEW PARTITION WALL (TO 6" ABOVE CLG.) - 3 5/8" 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. (MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS) WITH SOUND BATT INSULATION FULL DEPTH. TYP. U.I.N.O. REF. DTL. 2, 3 & 9A8.0. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- C. INFILL EXTENT OF OPENING TO MATCH ADJACENT WALL WHERE OCCURS. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- D. PARTIAL HEIGHT WALL (HEIGHT PER INTERIOR ELEVATIONS, A7.0) - 3 5/8" 20 GA METAL STUDS W/ 5/8" GYP. BD. BOTH SIDES. DOUBLE WALL W/ WIDTH AS NOTED AT SIM. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- E. EXISTING WALL - EXISTING WALL TO REMAIN. REPAIR FINISH WHERE NECESSARY AND PROVIDE METAL PANEL FACADE PER ELEVATIONS.
- F. EXISTING WALL - EXISTING WALL TO REMAIN. REPAIR FINISH WHERE NECESSARY OR REPLACE PER FINISH SCHEDULE. TYP.
- G. COLUMN FURR OUT (TO 6" ABOVE CLG.) - WRAP COLUMN AND PROVIDE FURRING CHANNEL AS REQUIRED TO MEET NOTED WIDTH. 5/8" GYP BD BOTH SIDES. TAPE AND TEXTURE TO MATCH EXISTING.

THIRD FLOOR PLAN | SCALE: 3/32" = 1'-0"



FLOOR PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. OFFICE FURNITURE. TYP. BY TENANT.
5. BUILT IN RECEPTION DESK. REF. INTERIOR ELEVATIONS AS NOTED.
6. LINE OF SOFFIT ABOVE. SEE RCP.
7. BUILT IN WORK STATION. REF. INTERIOR ELEVATIONS AS NOTED.
8. LANDING AND STAIR. REF. ENLARGED PLAN AS NOTED.
9. ACCESSIBLE RESTROOM. REF. ENLARGED PLAN AS NOTED.
10. EXISTING RAMP TO REMAIN.
11. MILLWORK. REF. INTERIOR ELEVATIONS AS NOTED.
12. HOP SINK AND WATER HEATER. REF. PLUMBING SHEETS.
13. NO WORK THIS ROOM.
14. STEEL TUBE CANOPY. REF. ELEVATION.
15. FURR OUT EXISTING COLUMN FOR SHARP CORNER WITH STUCCO FINISH TO MATCH EXISTING.
16. RAMP WITH MAX. SLOPE 1:12. REF. DETAIL SHEET A9.2.
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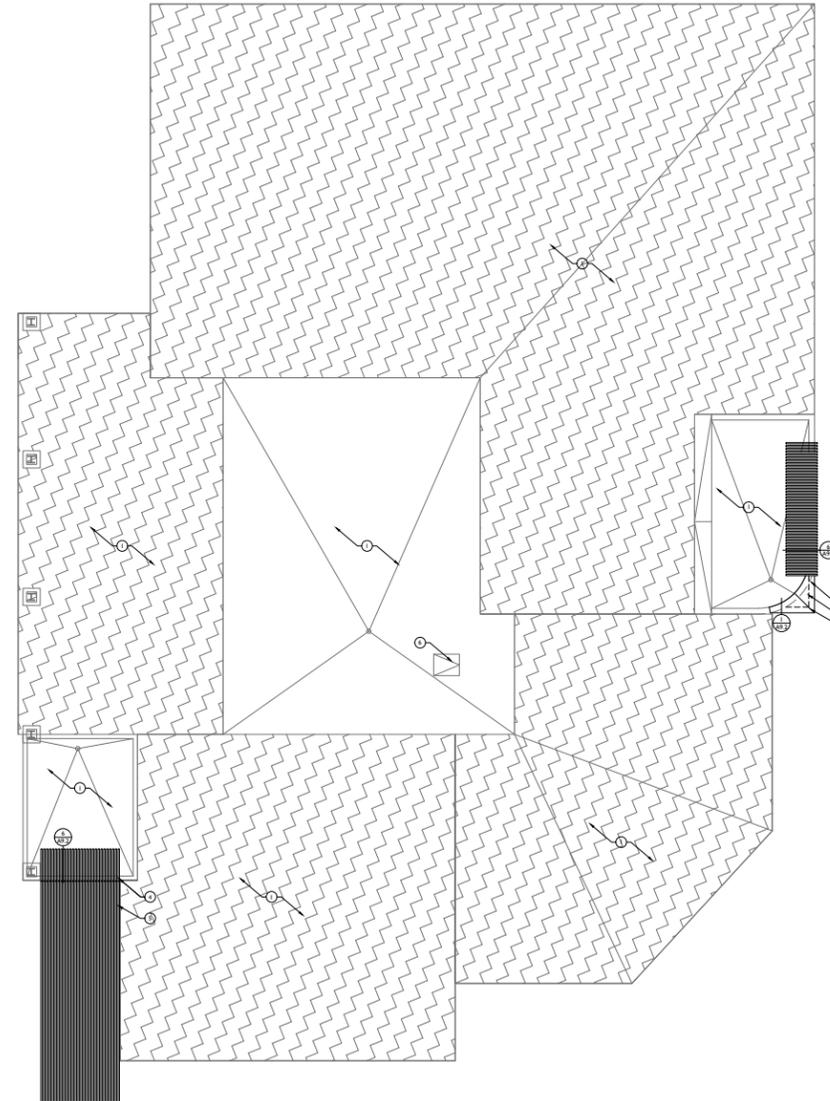
WALL TYPE NOTES:

1. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
2. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE. FRP IF OCCURS.
3. PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
4. SEE ADDITIONAL PARTITION DETAILS ON DETAIL SHEETS.
5. C.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY CONDITIONS, DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING w/ THE WORK.
6. ALL INTERIOR FRAME WALLS FINISH TO MATCH EXISTING FROM FLOOR TO 6" ABOVE CLG. GRID. U.N.O. WITH 5/8" TYPE 'X' GWB. FIRE TAPED BEDED. COORDINATE GWB INSTALLATION WITH TENANT'S WALL ROUGHING.
7. WALL BACKING PER DETAILS 3 & 4A9.0.

WALL TYPES:

- A. NEW STEEL STUD WALL (TO EXISTING PARAPET HEIGHT) - 4" METAL STUDS @ 16" O.C. REFERENCE STRUCTURAL PLANS, W/ STUCCO FINISH OV. RIGID INSULATION OV. WATER PROOF MEMBRANE OV. PLYWOOD SHEATHING. MATCH EXISTING ADJACENT STUCCO FINISH FOR A FLUSH TRANSITION. PROVIDE STUCCO EXPANSION JOINT AT EXTENTS. REF. ELEVATION FOR TILE EXTENTS.
- B. NEW PARTITION WALL (TO 6" ABOVE CLG.) - 3 5/8" 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. (MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS) WITH SOUND BATT INSULATION FULL DEPTH. TYP. U.N.O. REF. DTL. 2, 3 & 4A9.0. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- C. INFILL EXTENT OF OPENING TO MATCH ADJACENT WALL WHERE OCCURS. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- D. PARTIAL HEIGHT WALL (HEIGHT PER INTERIOR ELEVATIONS, A7.0) - 3 5/8" 20 GA. METAL STUDS W/ 5/8" GYP. BD. BOTH SIDES. DOUBLE WALL W/ WIDTH AS NOTED AT SIM. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- E. EXISTING WALL - EXISTING WALL TO REMAIN. REPAIR FINISH WHERE NECESSARY AND PROVIDE METAL PANEL FACADE PER ELEVATIONS.
- F. EXISTING WALL - EXISTING WALL TO REMAIN. REPAIR FINISH WHERE NECESSARY OR REPLACE PER FINISH SCHEDULE. TYP.
- G. COLUMN FURR OUT (TO 6" ABOVE CLG.) - WRAP COLUMN AND PROVIDE FURRING CHANNEL AS REQUIRED TO MEET NOTED WIDTH. 5/8" GYP. BD. BOTH SIDES. TAPE AND TEXTURE TO MATCH EXISTING.

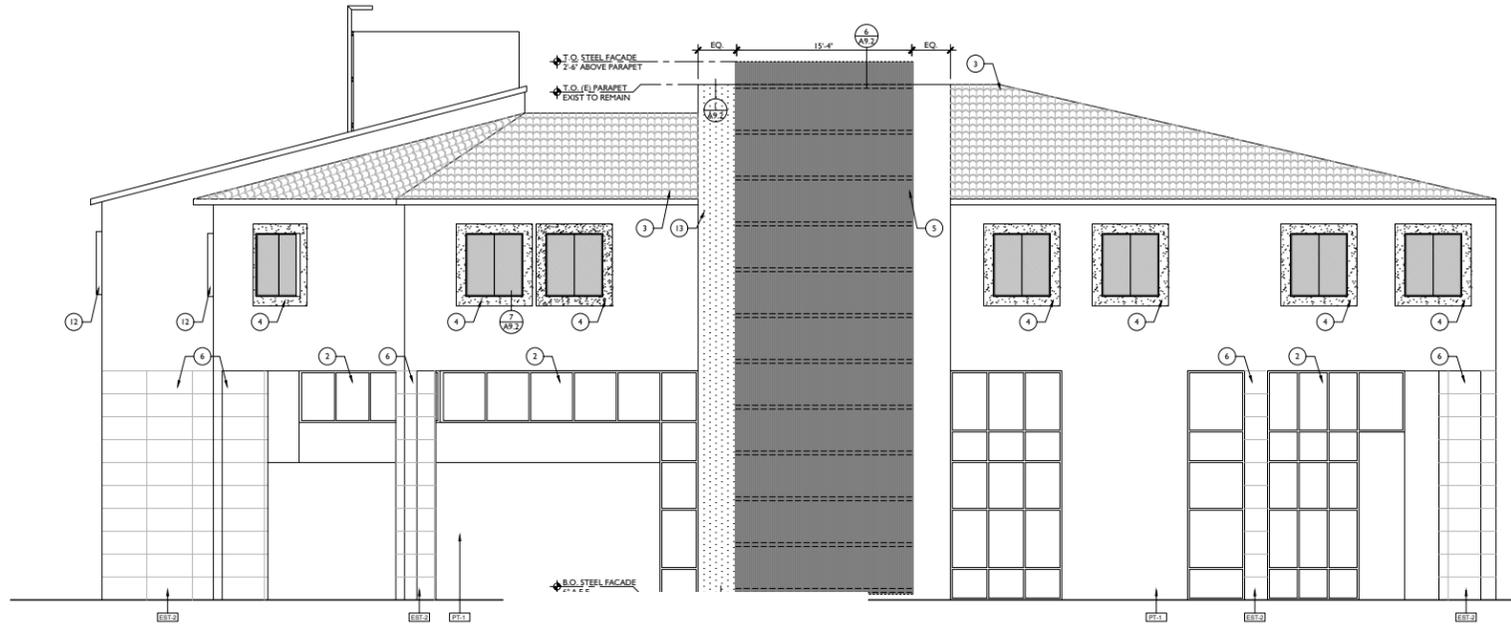
ROOF PLAN | SCALE: 3/32" = 1'-0"



ROOF PLAN KEYNOTES: ②

1. EXISTING ROOF TO REMAIN.
2. PARAPET CAP EXTEND TO EXISTING PARAPET WALL AS REQUIRED. REF. NOTED DETAIL.
3. METAL STUD WALL BELOW. REF. FLOOR PLAN.
4. STEEL FACADE ELEMENT. REF. ELEVATION, STRUCTURAL SHEETS AND NOTED DETAIL.
5. STEEL CANOPY ELEMENT BELOW. REF. ELEVATION AND STRUCTURAL SHEETS.
6. EXISTING ROOF HATCH TO REMAIN.

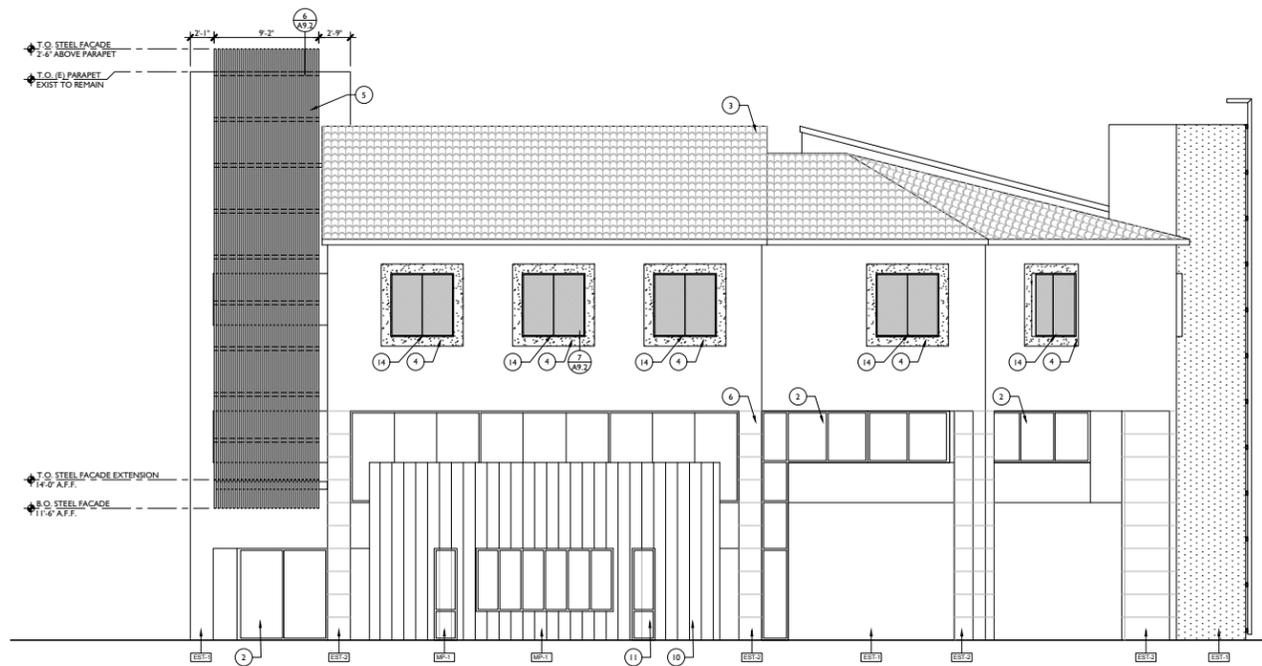
NORTH ELEVATION | SCALE: 1/8" = 1'-0"

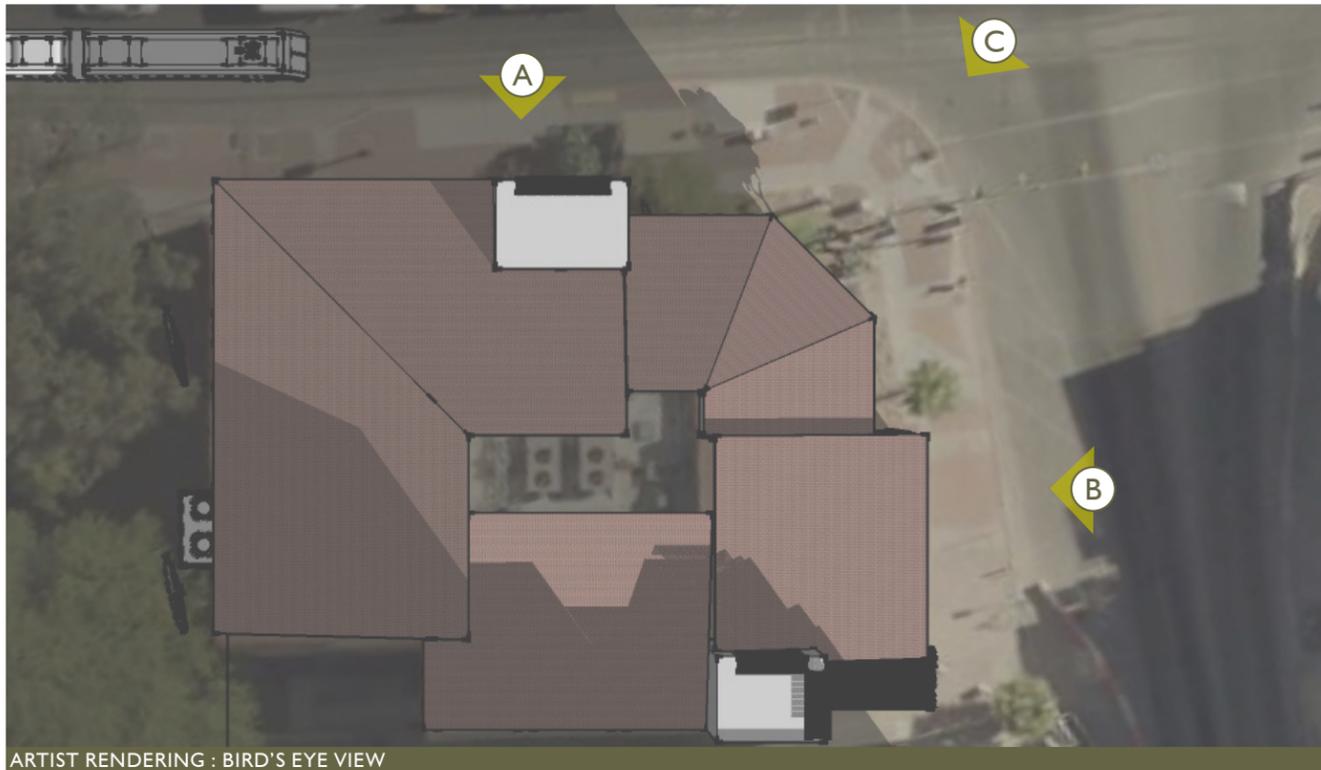


ELEVATION KEYNOTES:

1. EXISTING STUCCO FINISH TO REMAIN. PAINT AS NOTED. REF. FINISH SCHEDULE.
 2. EXISTING WINDOW SYSTEM TO REMAIN. CLEAN, PATCH AND REPAIR AS REQUIRED.
 3. EXISTING ROOF TO REMAIN. PATCH AND REPAIR AS REQUIRED.
 4. REMOVE STUCCO POP OUT AND PROVIDE NEW STUCCO FINISH FLUSH WITH ADJACENT WALL. MATCH ADJACENT TEXTURE AND FINISH. PAINT PER FINISH SCHEDULE.
 5. SEALED STEEL TUBE FACADE. REF. NOTED DETAIL AND FINISH SCHEDULE. TUBE STEEL SUPPORTS BEHIND AT 4'-0" O.C. MAX. COORDINATE WITH EXISTING OPENINGS AS REQUIRED.
 6. EST-2. PROVIDE JOINTS IN A 24"X48" PATTERN AS SHOWN. ALIGN JOINTS WITH TOP OF COLUMN.
 7. BUILDING SIGNAGE APPROX. LOCATION. VERIFY LOCATION WITH OWNER PRIOR TO ROUGH-IN. SIGNAGE BY SEPARATE PERMIT.
 8. EXTERIOR LIGHT FIXTURE. REF. ELECTRICAL PLANS.
 9. PAINTED SHEET METAL PARAPET CAP. PAINT TO MATCH EXTERIOR WALL.
 10. METAL PANEL FACADE. REF. NOTED DETAILS AND FINISH SCHEDULE.
 11. PERFORATED METAL PANEL FACADE AT WINDOW. REF. NOTED DETAILS AND FINISH SCHEDULE.
 12. PROVIDE WINDOW SYSTEM. REF. FLOOR PLAN AND WINDOW SCHEDULE.
 13. STEEL WALL FURR OUT. REF. STRUCTURAL PLAN. PROVIDE STUCCO FINISH TO MATCH EXISTING ADJACENT STUCCO.
 14. NEW WINDOW IN EXISTING OPENING. REF. FLOOR PLAN AND WINDOW SCHEDULE.
- NOTE:
1. REFERENCE MATERIAL FINISHES KEY ON SHEET A8.0. VERIFY ALL FINISHES AND LOCATIONS WITH OWNER PRIOR TO ORDER OR INSTALLATION.

EAST ELEVATION | SCALE: 1/8" = 1'-0"





ARTIST RENDERING : BIRD'S EYE VIEW



A | ARTIST'S RENDERING : VIEW FROM BROADWAY



B | ARTIST'S RENDERING : VIEW FROM CHURCH



C | ARTIST RENDERING : VIEW FROM INTERSECTION OF CHURCH AND BROADWAY

MATERIAL FINISH KEY

MARK	MATERIAL	MANUFACT.	DESCRIPTION	PROVIDED BY	INSTALLED BY
EST-1	PAINTED STUCCO FINISH	DUNN EDWARDS OR EQUAL	REFINISH STUCCO FOR SMOOTH FINISH AS REQUIRED. PAINT COLOR: MILK GLASS - EXTERIOR PAINT COLOR	GC	GC
EST-2	PAINTED STUCCO FINISH	DUNN EDWARDS OR EQUAL	SAND STUCCO FINISH WITH JOINT REVEAL PER ELEVATIONS. PAINT COLOR: MILK GLASS - EXTERIOR PAINT COLOR	GC	GC
STL-1	STEEL	--	CLEAR SEAL STEEL MEMBERS, REF. STRUCTURAL PLANS. PROVIDE US COATING MULTIGRIP7000XP VOC PER MANUFACTURER RECOMMENDATIONS	GC	GC
MP-1	METAL PANEL	AEP SPAN OR APPROVED EQ.	SAGE GREEN PRESTIGE SERIES 12" NO REVEAL FLUSH PANEL. PROVIDE PERFORATED PANELS WITH PATTERN #6 AT WINDOWS. REF. BUIDLING ELEVATION	GC	GC

NOTE: VERIFY ALL FINISHES, LOCATIONS AND QUANTITIES WITH OWNER PRIOR TO ORDERING.

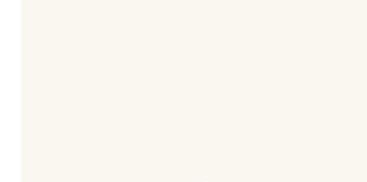
T = TENANT; GC = GENERAL CONTRACTOR

KEY TO ABBREVIATIONS

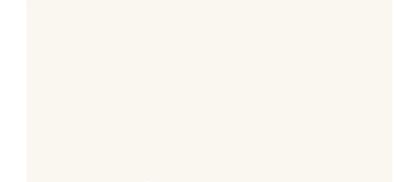
ME = MATCH EXISTING	AL = ALUMINUM	PM = PRESSED METAL	WD = SOLID CORE WOOD
STL = STEEL	FR = FRAME	WG = WIRE GLASS	ST = STAIN WOOD FINISH
SS = STAINLESS STEEL	GL = GLASS	G = GALVANIZED	CRI = CARPET
HM = HOLLOW METAL	P = PAINT	MG = MIRROR GLASS	WLD = WELDED HOLLOW METAL
SC = SOLID CORE	T = TEMPERED GLASS	NR = NOT RATED	PLY = PLYWOOD
FL = FULL LOUVER	SG = SAFETY GLASS	BK = BLACK	V.I.F. = VERIFY IN FIELD
HC = HOLLOW CORE	KD = KNOCK DOWN	E = EXISTING	T.B.D. = TO BE DETERMINED
SHT. LINUM. = SHEET LINOLEUM	FRL = FRAMELESS	CLG = CLEAR GLASS	O.T.S. = OPEN TO STRUCTURE
A.F.F. = ABOVE FINISH FLOOR	N.I.C. = NOT IN CONTRACT	REF. = REFERENCE	TYP. = TYPICAL

PROPOSED MATERIAL IMAGES

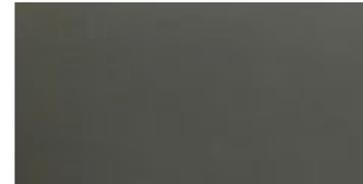
EST-2 :
SAND STUCCO FINISH
W/ DUNN EDWARDS PAINT
DEW358 MILK GLASS



EST-1 :
SMOOTH STUCCO FINISH
W/ DUNN EDWARDS PAINT
DEW358 MILK GLASS



STL-1 :
2"X4" HSS
WITH CLEAR COAT



MP-1 :
AEP SPAN 12" FLUSH PANEL
SAGE GREEN



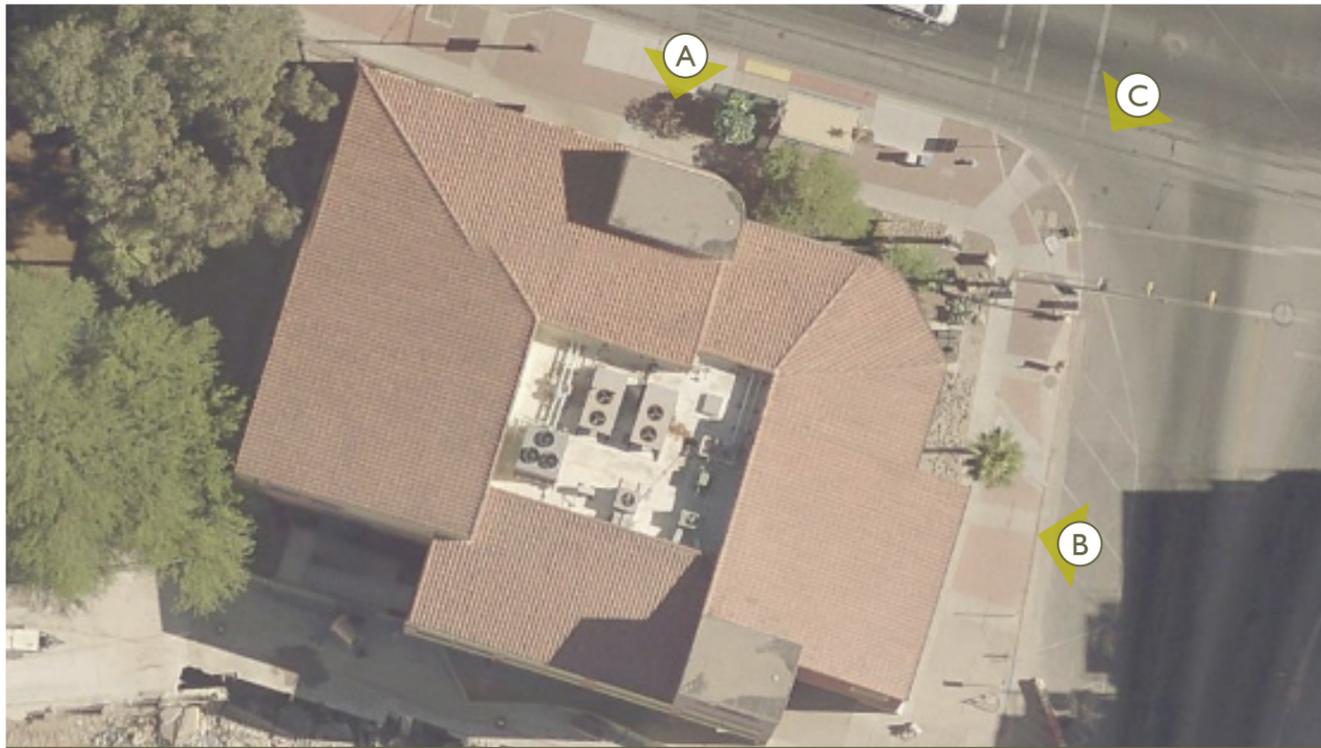
ZONING REVIEW COMMENTS

RNA REVIEW REQUIRED FOR EXTERIOR FACADE WORK. WHEN COMPLETE, CONTACT ME FOR AN "OVER-THE-COUNTER" REVIEW OR SIGN INTO OUR VIRTUAL SERVICE COUNTER ONLINE.
ELISA HAMBLIN
ELISA.HAMBLIN@TUCSONAZ.GOV

DOCUMENTATION OF NEIGHBORHOOD MEETING

NOT APPLICABLE. A NEIGHBORHOOD MEETING WAS NOT REQUIRED AT FOR THIS REVIEW.





AERIAL PHOTOGRAPH



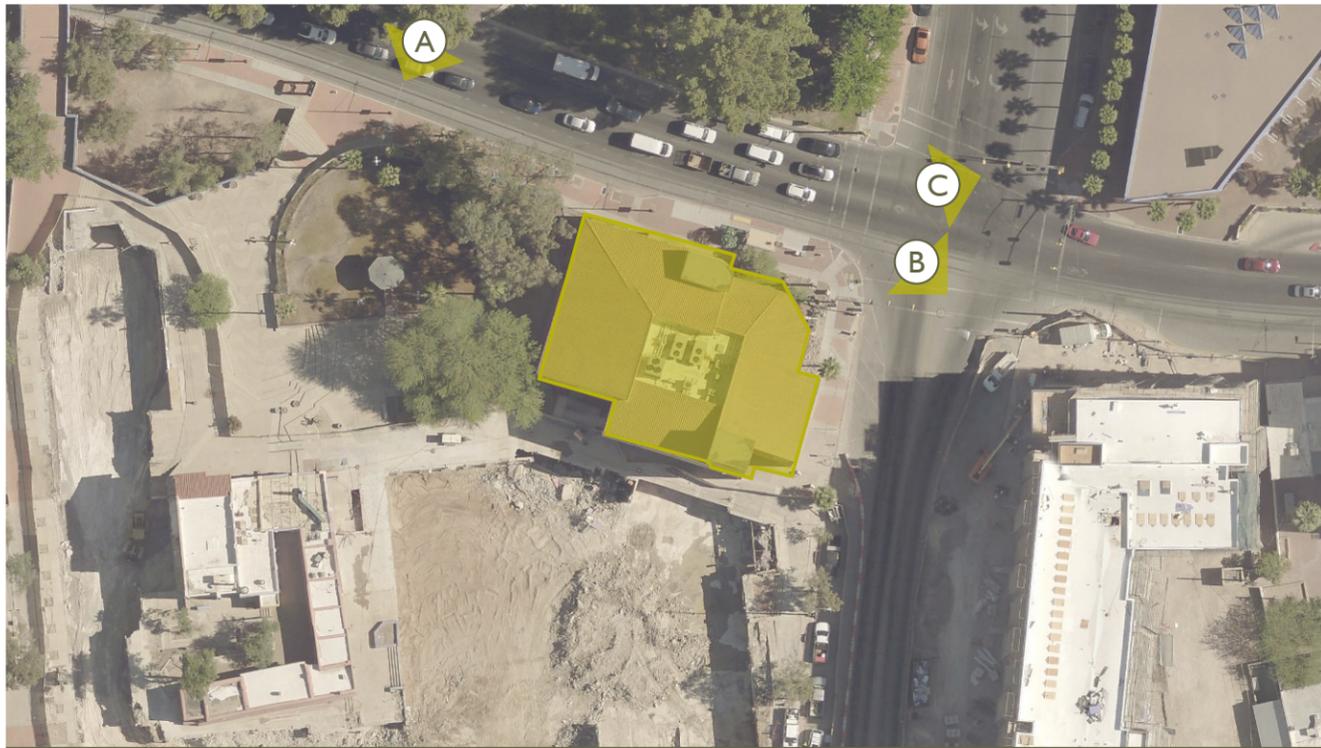
A | PHOTOGRAPH : EXISTING VIEW FROM BROADWAY



B | PHOTOGRAPH : EXISTING VIEW FROM CHURCH



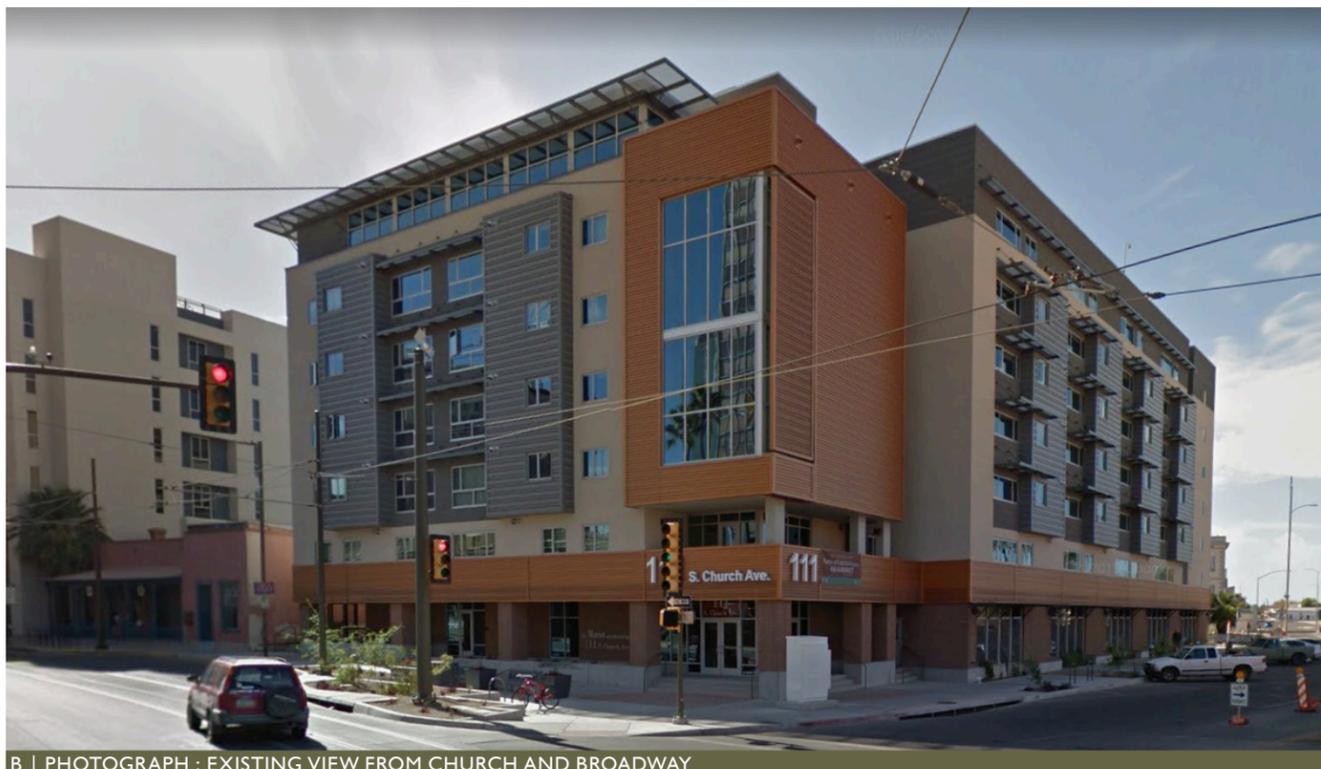
C | PHOTOGRAPH : EXISTING VIEW FROM INTERSECTION OF CHURCH AND BROADWAY



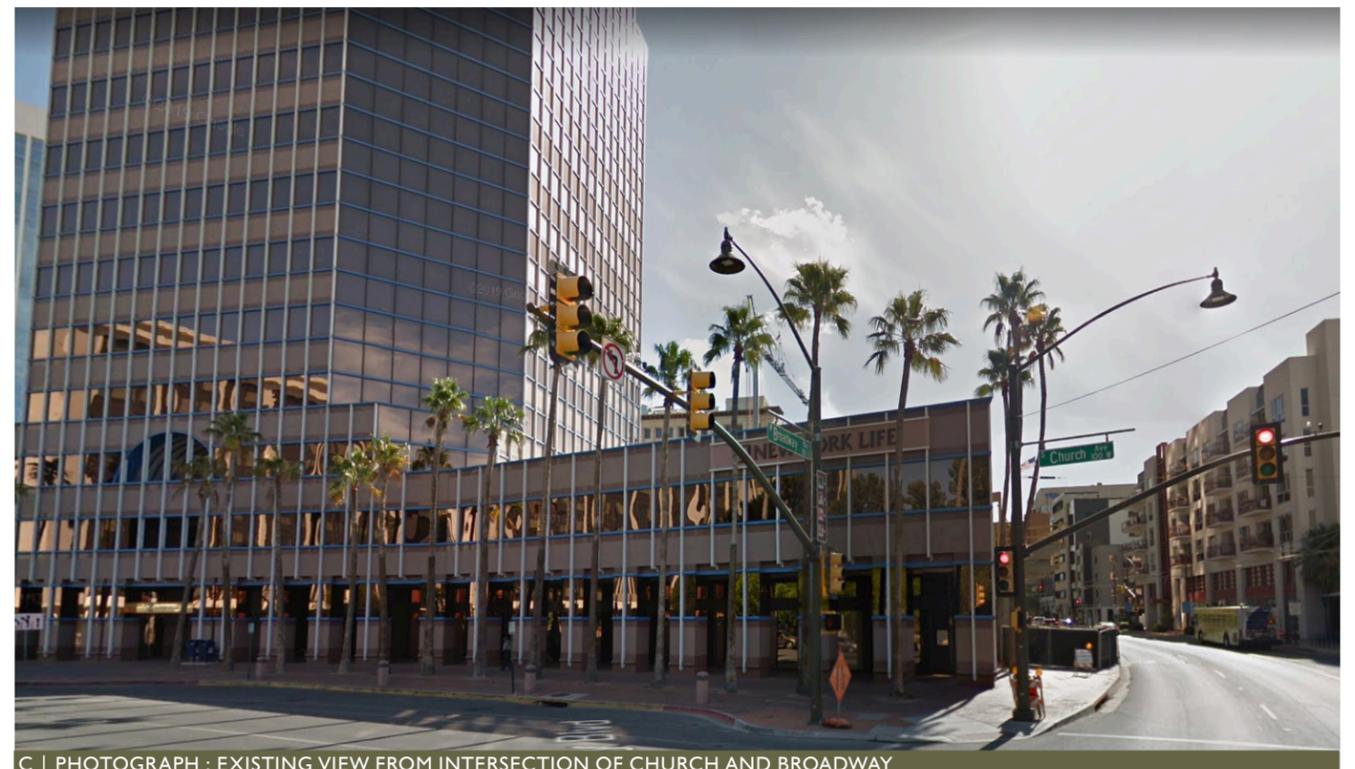
AERIAL PHOTOGRAPH



A | PHOTOGRAPH : EXISTING VIEW FROM BROADWAY OF ADJACENT PARK



B | PHOTOGRAPH : EXISTING VIEW FROM CHURCH AND BROADWAY



C | PHOTOGRAPH : EXISTING VIEW FROM INTERSECTION OF CHURCH AND BROADWAY

PHOTOGRAPHS OF PRECEDENT EXAMPLES

NOT APPLICABLE. THIS PROJECT IS AN EXISTING BUILDING.

PIMA COUNTY ASSESSOR'S DETAIL

Property Address			
Street Number	Street Direction	Street Name	Location
100	S	CHURCH AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
100 SOUTH CHURCH LLP ATTN: BRENT DE RAD 115 N CHURCH AVE STE 200 TUCSON AZ 85701-1318	PUEBLO CENTER REDEVELOPMENT PROJECT ARIZONA R-8 NELY PTN LOT 5 & SELY PTN LOT 6 BLK 510

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2020	COMMERCIAL (1)	18.0	\$265,350	\$1,973,120	\$2,238,470	\$1,468,383	\$264,309
2021	COMMERCIAL (1)	18.0	\$265,350	\$1,930,259	\$2,195,609	\$1,541,802	\$277,524

Property Information	
Section:	13
Town:	14.0
Range:	13.0E
Map & Plat:	20/83
Block:	510
Tract:	
Lot:	00005
Land Measure:	10,614.00F
Group Code:	000
Census Tract:	100
Use Code:	1514 (OFFICE BUILDING 4 OR MORE STORY)
File Id:	1
Date of Last Change:	9/16/2019

Sales Information 2							
Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20200310230	1	12/2018	Commercial/Industrial	\$1,350,000	\$1,390,991	N	X MB
20001920379	1	8/1999	Commercial/Industrial	\$1,770,000	\$1,770,000	N	X JAC DEED: Special Warranty Deed

Valuation Area	
----------------	--

PIMA COUNTY ASSESSOR'S DETAIL CONTINUED

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044	01020201	20083	30

Recording Information 2				
Sequence No.	Docket	Page	Date Recorded	Type
20200310230	0	0	1/31/2020	WTDEED
20001920379	11396	1080	10/3/2000	

Commercial Characteristics				
Property Appraiser: Mark Baudendistel Phone: (520) 724-7458				
Commercial Summary				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	23,680	\$2,582,867	\$0	\$1,930,259

Commercial Detail							
SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1973	161/3	0000000	23,680	\$4,718,532	\$2,420,607	CENTRAL BANK
001-002	1973	161/3	0000000	0	\$323,098	\$162,260	CENTRAL BANK

Petition Information 9					
Tax Year	Notice of Value			Notice of Change	
	Owner's Estimate	Petition	Work Up	Owner's Estimate	Work up
2018	\$799,120	pdf	pdf		
2015	\$238				
2014	\$1,200,000				
2010	\$1,500,000				
2008	\$1,398,460				
2006	\$1,198,680				
2005	\$900,000				
2003	\$1,000,000				
2002				\$700,000	

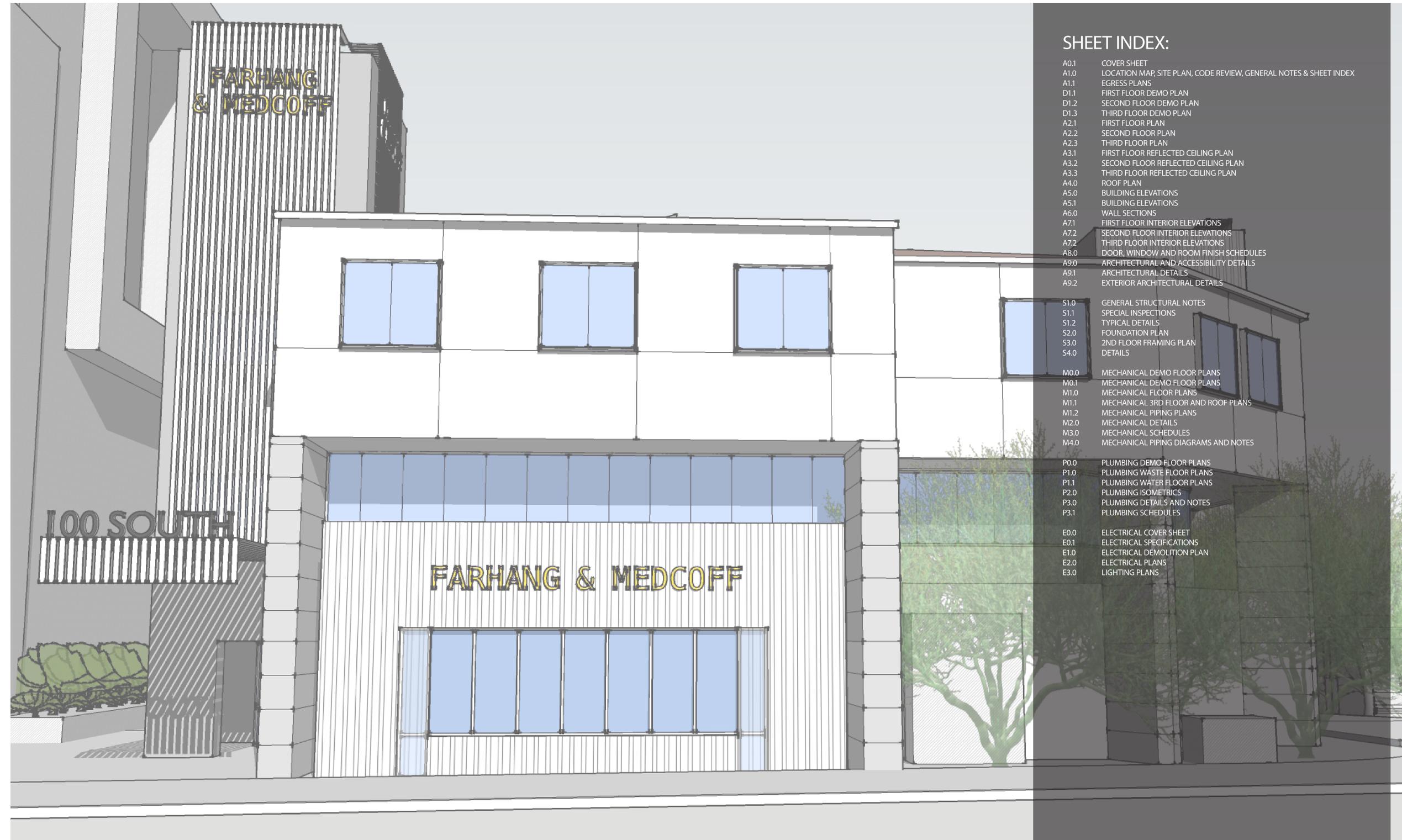
Permits 3											
Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T00CM05044	CALT ~ FINAL	10/13/2000	12/15/2000	TUC	\$7,500	14,480		09/14/2017	09/22/2017		100
Description: TI:OFFICE											
T16CM07316	CADD ~ FINAL	06/21/2017	02/22/2018	TUC	\$248,700	23,590	*/*	09/14/2017	09/24/2017		100
Description: OFFICE											
T08CM00301	CALT ~ FINAL	01/30/2008	03/11/2008	TUC	\$35,000	8,500	*/*	09/14/2017	09/24/2017		100
Description: TI: OFFICE											

FARHANG & MEDCOFF

100 S CHURCH

CONSTRUCTION DOCUMENTS

04.10.2020



SHEET INDEX:

A0.1	COVER SHEET
A1.0	LOCATION MAP, SITE PLAN, CODE REVIEW, GENERAL NOTES & SHEET INDEX
A1.1	EGRESS PLANS
D1.1	FIRST FLOOR DEMO PLAN
D1.2	SECOND FLOOR DEMO PLAN
D1.3	THIRD FLOOR DEMO PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	THIRD FLOOR PLAN
A3.1	FIRST FLOOR REFLECTED CEILING PLAN
A3.2	SECOND FLOOR REFLECTED CEILING PLAN
A3.3	THIRD FLOOR REFLECTED CEILING PLAN
A4.0	ROOF PLAN
A5.0	BUILDING ELEVATIONS
A5.1	BUILDING ELEVATIONS
A6.0	WALL SECTIONS
A7.1	FIRST FLOOR INTERIOR ELEVATIONS
A7.2	SECOND FLOOR INTERIOR ELEVATIONS
A7.2	THIRD FLOOR INTERIOR ELEVATIONS
A8.0	DOOR, WINDOW AND ROOM FINISH SCHEDULES
A9.0	ARCHITECTURAL AND ACCESSIBILITY DETAILS
A9.1	ARCHITECTURAL DETAILS
A9.2	EXTERIOR ARCHITECTURAL DETAILS
S1.0	GENERAL STRUCTURAL NOTES
S1.1	SPECIAL INSPECTIONS
S1.2	TYPICAL DETAILS
S2.0	FOUNDATION PLAN
S3.0	2ND FLOOR FRAMING PLAN
S4.0	DETAILS
M0.0	MECHANICAL DEMO FLOOR PLANS
M0.1	MECHANICAL DEMO FLOOR PLANS
M1.0	MECHANICAL FLOOR PLANS
M1.1	MECHANICAL 3RD FLOOR AND ROOF PLANS
M1.2	MECHANICAL PIPING PLANS
M2.0	MECHANICAL DETAILS
M3.0	MECHANICAL SCHEDULES
M4.0	MECHANICAL PIPING DIAGRAMS AND NOTES
P0.0	PLUMBING DEMO FLOOR PLANS
P1.0	PLUMBING WASTE FLOOR PLANS
P1.1	PLUMBING WATER FLOOR PLANS
P2.0	PLUMBING ISOMETRICS
P3.0	PLUMBING DETAILS AND NOTES
P3.1	PLUMBING SCHEDULES
E0.0	ELECTRICAL COVER SHEET
E0.1	ELECTRICAL SPECIFICATIONS
E1.0	ELECTRICAL DEMOLITION PLAN
E2.0	ELECTRICAL PLANS
E3.0	LIGHTING PLANS

Farhang & Medcoff :: Job #18100

a.23 studios



A0.1



Expires 09.30.22

Revisions

LOCATION MAP, SITE PLAN,
CODE REVIEW, GENERAL
NOTES

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

340 South Convent Avenue
Tucson, AZ 85701
www.a23studios.com

Project 18100
Date 04.10.2020
Scale Noted
Sheet

A1.0

PROJECT TEAM

TENANT
FARHANG AND MEDCOFF
4801 E. BROADWAY BLVD., SUITE 311
TUCSON, AZ 85711
P: 520.214.2000
CONTACT: TIMOTHY MEDCOFF

ELECTRICAL
MISA ENGINEERING CONSULTANTS
7878 N. 16TH STREET, SUITE 140,
PHOENIX, AZ 85020
P: 602.943.8424
CONTACT: JUSTIN DAGERMAN.

ARCHITECT
A23 STUDIOS
340 SOUTH CONVENT AVE
TUCSON, AZ 85701
P 520 245 4010
CONTACT: BURAK BEKAT

STRUCTURAL
ENNOVATIVE
TUCSON, AZ, USA
P 520 440 2375
CONTACT: SCOTT DUECKER, P.E.

MECHANICAL/PLUMBING
PH MECHANICAL ENGINEERING
335 N. WILMOT ROAD, SUITE 460
TUCSON, AZ 85719
P 520.731.2060
CONTACT: ERIC HEIN.

SCOPE OF WORK

- INTERIOR TENANT IMPROVEMENT WORK
- EXTERIOR FACADE IMPROVEMENTS
- CONCRETE RAMP, LANDING AND STAIR FOR RETAIL ENTRANCE

SEPARATE PERMITS

- FIRE SPRINKLER

DEFERRED SUBMITTALS

- N/A

SPECIAL INSPECTIONS

- SOILS
- CONCRETE
- MASONRY

LEGAL DESCRIPTION

PUEBLO CENTER REDEVELOPMENT PROJECT
ARIZONA R-8 NELY PTN LOT 5 & SELY
PTN LOT 6 BLK 510

SITE DATA (ALL EXISTING TO REMAIN):

- TAX ID: 117-20-016H
- CURRENT ZONING=O-CR-2
- SITE AREA= 0.24 ACRES, 10,632 S.F.
- BUILDING AREA= 24,426 S.F.
- FAR: EXISTING TO REMAIN

GOVERNING CODES

INTERNATIONAL BUILDING CODE	2018 W/ AMENDMENTS
INTERNATIONAL MECHANICAL CODE	2018 W/ AMENDMENTS
NATIONAL ELECTRICAL CODE	2017 W/ AMENDMENTS
INTERNATIONAL PLUMBING CODE	2018 W/ AMENDMENTS
INTERNATIONAL FIRE CODE	2018 W/ AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE	2018 W/ AMENDMENTS
INTERNATIONAL FUEL GAS CODE	2018 W/ AMENDMENTS
ADA STANDARDS FOR ACCESSIBLE DESIGN	ICC/ANSI A117.1-2009
INTERNATIONAL PROPERTY MAINTENANCE CODE	2018

CODE REVIEW CHECKLIST

CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT

JOB ADDRESS: _____ ARCHITECT: _____
SIGNATURE: _____ DATE: _____

CODE ANALYSIS DATA
TO FACILITATE PLAN REVIEW, ATTACH COMPLETED COPY TO APPLICATION/DRAWINGS
Summary of Governing Regulations

Code	Title	Edition	Local Amendments
Building Code	IBC	2018	YES
Accessibility Code	IBC / ANSI A117.1	2009	YES
Mechanical Code	IMC	2018	YES
Electrical Code	NEC	2017	YES
Plumbing Code	IPC	2018	STATE
Fire Prevention Code	IFC	2018	YES
Zoning Code	UDC	2013	-
Energy Conservation Code	IECC	2018	YES
International Fuel Gas Code	IFGC	2018	-
Int. Existing Building Code	IEBC	2018	-

General Building Summary

Height and Area	Occupancy Classification	Type of Construction	Sprinkler	EXISTING		EXISTING		
				Building Area (sq ft)	Building Height (ft/# of Stories)	Actual	Allowable	
100 S CHURCH	B	I-B	YES	24,426 S.F.	EXISTING	EXISTING	40' APPROX.	EXISTING

Mixed Occupancy: N
Separated Uses: N
Nonseparated Uses: N/A
Fire Area: A: N/A, B: N/A, C: N/A, D: N/A, E: N/A, F: N/A, G: N/A, H: N/A
Special Uses and Occupancy: N
Conditions Applicable: N
Special Use: N/A

Allowable Area Calculation
(Provide additional calculations for each building or separated use)

Area Modifications (IBC 506)	THIS PROJECT ONLY - EXISTING TO REMAIN
Allowable Area per Floor (Aa)	
Tabular Area per Floor (At)	
Area Increase for Frontage (If)	
Area Increase for Sprinklers (Is)	
Building Perimeter Public Way (F)	
Entire Building Perimeter (P)	
Minimum Width of Public Way (W)	
Allowable Area (Aa)	

Occupant Load and Exiting

Occupant Loads (See tables 1004.1.1; 1005.1; 1015.1 & 1016.1)
THIS PROJECT ONLY- TYPE B & M OCCUPANCY

Total Occupants = See sheet A1.1
Number of Exits and Exit Widths Required: See sheet A1.1
Exit Signs = required and existing
Panic Hardware = not required
Corridor Protection = not required

Plumbing Fixture Calculations

Minimum Plumbing Facility (See table 2902.1)
THIS PROJECT ONLY- TYPE B & M OCCUPANCY

WC - 3 EA SEX REQUIRED, 6 EA SEX PROVIDED
Lvs - 3 EA SEX REQUIRED, 6 EA SEX PROVIDED
Drinking Fountain - 1 HI-LO PROVIDED
Service Sink - 1 PROVIDED

Per IPC 410, City of Tucson Amendment: Where restaurants provide drinking water in a container free of charge, drinking fountains shall not be required in those restaurants. In other occupancies where drinking fountains are required, water dispensers shall be permitted to be substituted for not more than 50 percent of the required number of drinking fountains.

THIS PROJECT
100 S CHURCH



LOCATION MAP

TUCSON, AZ NO SCALE

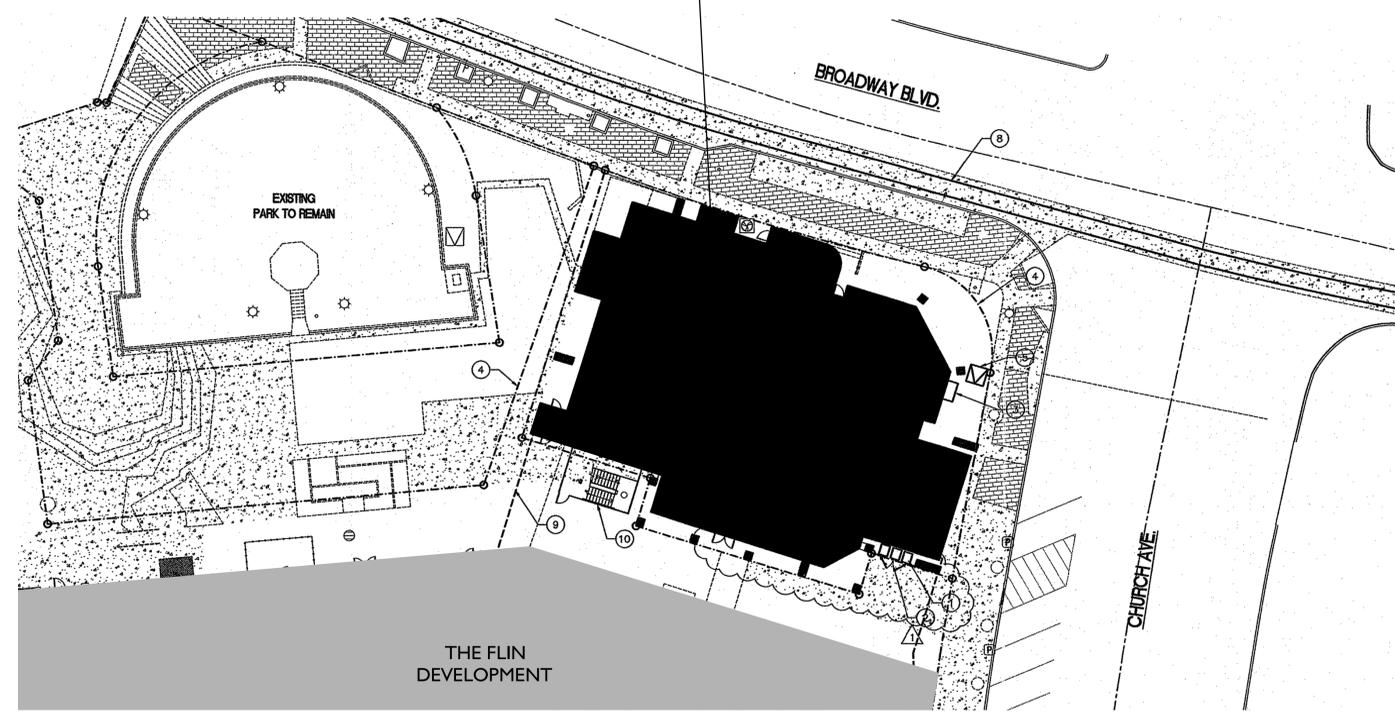
SHEET INDEX

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- D1.2 SECOND FLOOR DEMO PLAN
- D1.3 THIRD FLOOR DEMO PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 THIRD FLOOR PLAN
- A3.1 FIRST FLOOR REFLECTED CEILING PLAN
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- A6.0 WALL SECTIONS
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- A9.0 ARCHITECTURAL AND ACCESSIBILITY DETAILS
- A9.1 ARCHITECTURAL DETAILS
- A9.2 EXTERIOR ARCHITECTURAL DETAILS
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- S1.1 SPECIAL INSPECTIONS
- S1.2 TYPICAL DETAILS
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- E0.1 ELECTRICAL SPECIFICATIONS
- E1.0 ELECTRICAL DEMOLITION PLAN
- E2.0 ELECTRICAL PLANS
- E3.0 LIGHTING PLANS
- E5.0 SINGLE LINE DIAGRAM

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE CITY, COUNTY AND STATE CODES CONFORM TO THE INDUSTRIAL COMMISSION OF THE ARIZONA GENERAL CONSTRUCTION SAFETY CODE AND OSHA REQUIREMENTS. REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REQUIREMENTS.
- CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL CONDITIONS AND BRING ANY DISCREPANCIES FROM THE DRAWINGS TO THE ARCHITECTS ATTENTION PRIOR TO BIDDING/CONSTRUCTION.
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK. VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS & MATERIALS TO ENSURE THEIR INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
- PROVIDE TWO YEARS GUARANTEE FOR MATERIALS AND WORKMANSHIP.
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECTS ATTENTION. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS FOR INTERIOR WALLS USUALLY ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
- DETAILS ARE USUALLY KEYS ONCE ON THE PLANS OR ELEVATIONS AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AS WELL AS REMOVE DEBRIS AND MATERIALS COMPLETELY FROM SITE UPON COMPLETION OF WORK. MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
- CARE SHOULD BE TAKEN TO PROTECT AND PRESERVE ANY EXISTING TREES AND SHRUBS THAT ARE ON SITE.
- ALL DRYWALL SURFACES TO RECEIVE TAPE, TEXTURE AND PAINT. DO NOT USE PAINTS, PRIMERS, SEALERS OR GLUES THAT EMIT FLAMMABLE, TOXIC OR NOXIOUS FUMES. EACH TRADE SHALL BE RESPONSIBLE TO VERIFY THE MATERIALS TO BE USED AND COMPLY WITH THE MANUFACTURERS WRITTEN INSTRUCTION FOR THEIR USE AND/OR INDUSTRIAL ASSOCIATION STANDARDS.
- FRAMING CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS FOR BACKING AND/OR BLOCKING REQUIRED FOR MOUNTING MILLWORK, SPECIAL EQUIPMENT AND OTHER ITEMS.
- CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION DAMAGED BY THIS WORK AND AS REQUIRED TO MATCH EXISTING UNDAMAGED FINISHES.
- CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON NEW DOORS AND PROVIDE TWO SETS OF KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER/TENANT.
- IF APPLIES, APPLY SOIL STERILIZER TO THE LIMITS OF THE PAVED AREA. TAKE CARE NOT TO CONTAMINATE AREAS DEFINED AS PLANTERS.
- IF APPLIES, PROVIDE SOILS REPORT BY AN ARIZONA LICENSED GEOTECHNICAL ENGINEER FOR THE FILL PLACEMENT UNDER SLAB.
- ALL MATERIALS AND FINISHES TO BE VERIFIED WITH ARCHITECT AND OWNER PRIOR TO ORDER AND INSTALLATION.
- GC TO PROVIDE ALL SUBS WITH COMPLETE SET(S) OF PLANS-NO ADD SERVICE/CHANGE ORDERS WILL BE ALLOWED FOR FAILURE TO COORDINATE COMPLETE DRAWING SET(S).
- ANY AND ALL PROPOSED MATERIAL /EQUIPMENT SUBSTITUTIONS/ALTERATIONS MUST BE SUBMITTED IN WRITING TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLATION. ALL COST ASSOCIATED WITH THE FAILURE TO STRICTLY ADHERE TO THIS PROC. WILL BE THE SOLE RESPONSIBILITY OF THE PARTY DOING SO. ALL COST ASSOCIATED WITH THE REMOVAL, RESTOCKING AND REPLACEMENT OF SUCH SHALL ALSO BE THE SOLE RESPONSIBILITY OF SUCH.
- GC TO PROVIDE ALL REQUIRED SPECIAL INSPECTIONS INDICATED IN THESE DRAWINGS AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

THIS PROJECT



REFERENCE ONLY SITE PLAN

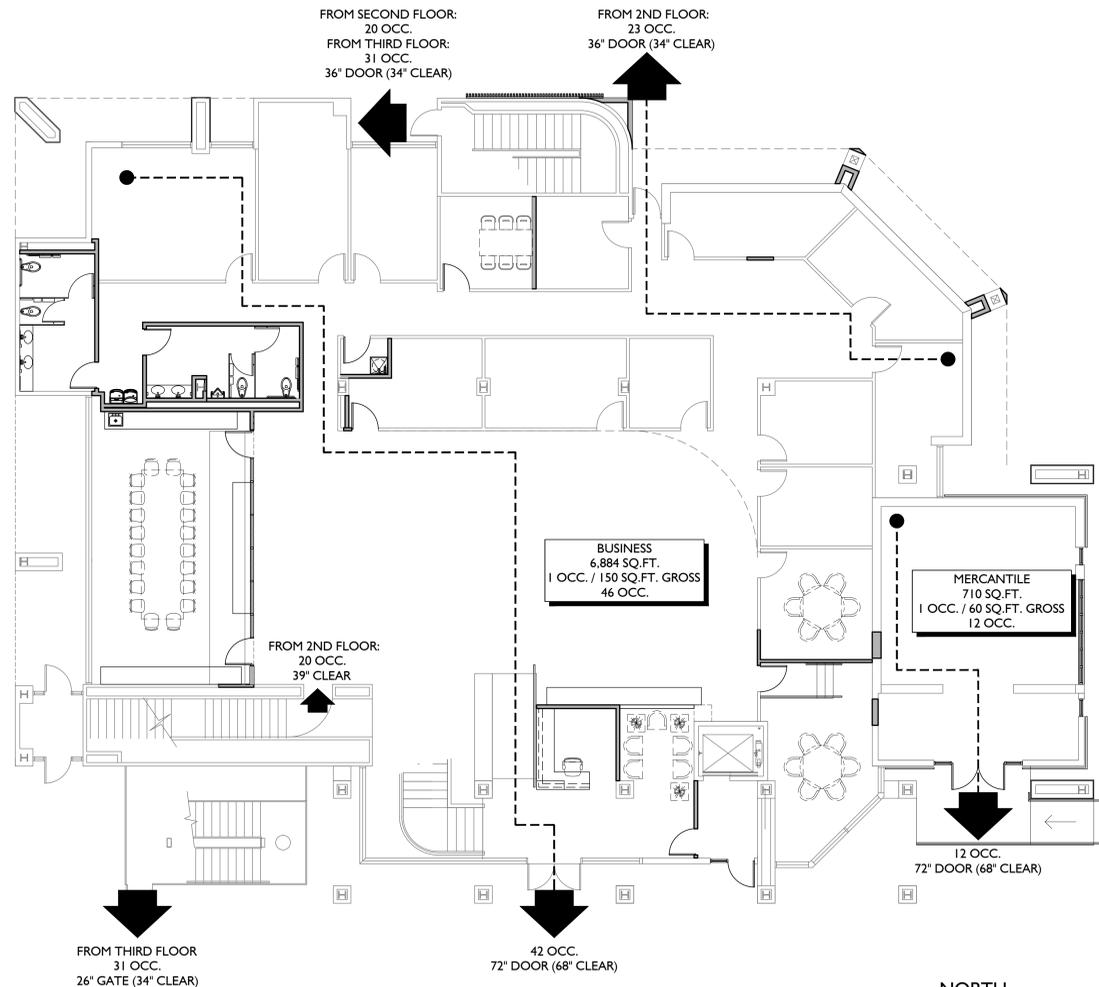
NOT TO SCALE

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Expires 09.30.22

Revisions



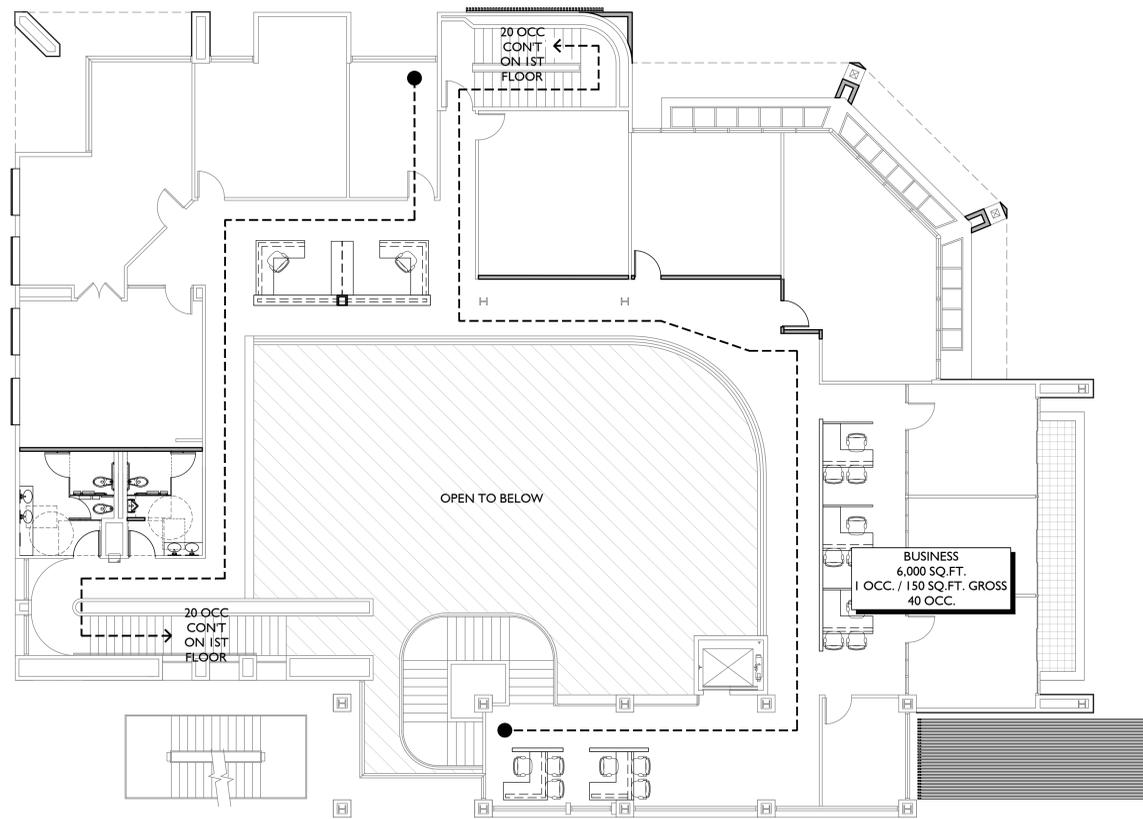
FIRST FLOOR EGRESS FLOOR PLAN

SCALE: 1/8" = 1'-0"



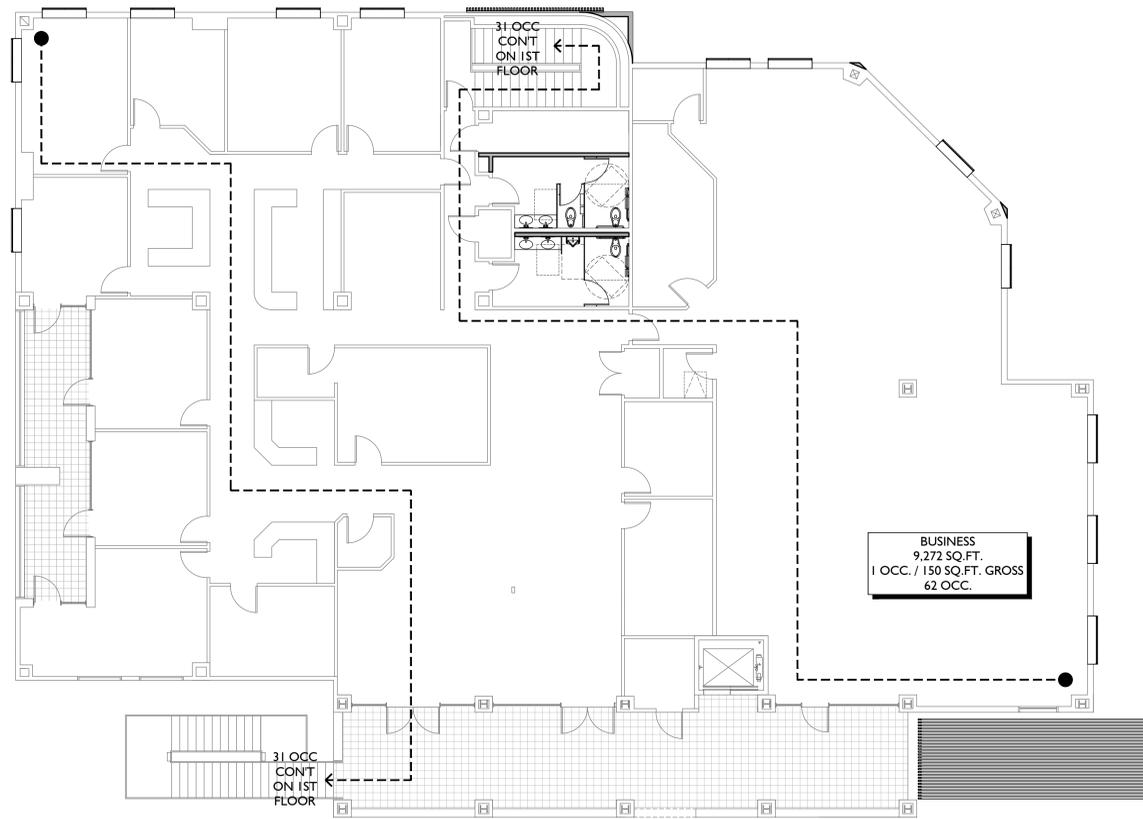
OCCUPANT LOAD / EGRESS REQUIREMENTS								
BLDG./SPACE	AREA	AREA/OCC. FACTOR	#OCC.	WIDTH FACTOR	REQ.'ED	PROVIDED	# EXIT REQ.'ED	PROVIDED
BUSINESS (1ST FLOOR)	6,884 SF	1/150 GROSS	46					
MERCANTILE (1ST FLOOR)	710 SF	1/60 NET	12					
BUSINESS (2ND FLOOR)	6,000 SF	1/150 GROSS	40					
BUSINESS (3RD FLOOR)	9,272 SF	1/150 GROSS	62					
TOTAL			160	0.15	24"	204"	2	5
MAXIMUM TRAVEL DISTANCE				300' FOR B (BUSINESS), 250' FOR M (MERCANTILE) PER IBC 2018 TABLE 1017.2				
MAXIMUM COMMON PATH OF EGRESS								
CORRIDOR FIRE RESISTANCE RATING				NOT REQUIRED				

LEGEND			
	EXIT ACCESS PATH		POINT OF DECISION
	COMMON PATH OF EGRESS		MOST REMOTE POINT
	DIRECTION OF TRAVEL		



SECOND FLOOR EGRESS FLOOR PLAN

SCALE: 1/8" = 1'-0"



THIRD FLOOR EGRESS FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

EGRESS FLOOR PLANS

FARHANG & MEDCOFF
100 S CHURCH AVE
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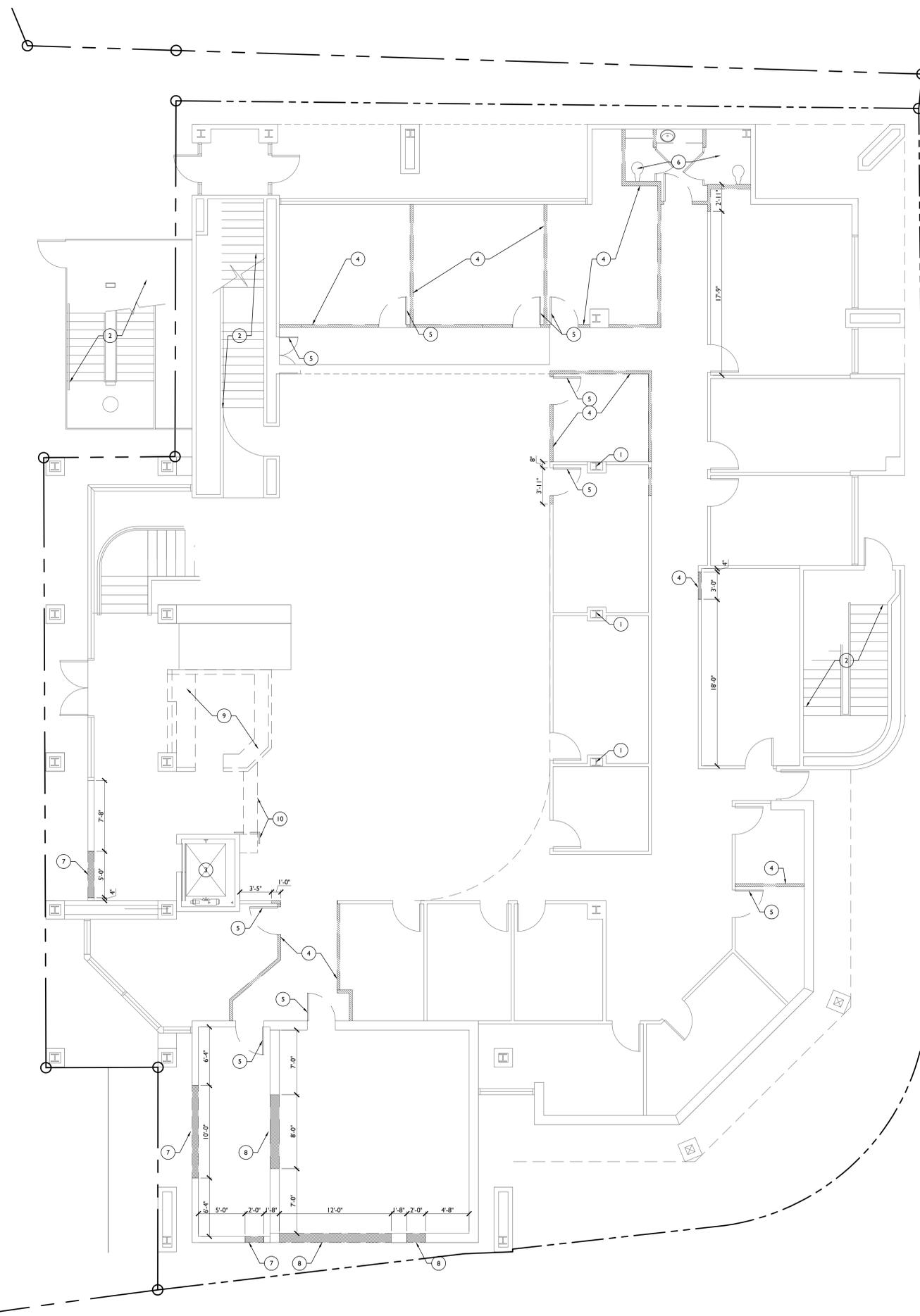
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AI.1



FIRST FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0"
 NORTH

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

DEMOLITION GENERAL NOTES:

1. PATCH AND REPAIR ALL EXISTING WORK TO REMAIN WHICH HAS BEEN DAMAGED BY ANY DEMOLITION AND/OR CONSTRUCTION.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS AND DEMOLISHED MATERIALS. REMOVAL OF ITEMS MUST BE IN ACCORDANCE WITH ANY APPLICABLE LOCAL AND STATE CODES OR ORDINANCES AS WORK PROGRESSES.
3. VERIFY WITH THE OWNER AND THE TRASH-REMOVAL AGENCY AN APPROPRIATE DUMPSTER LOCATION & PICK UP SCHEDULE.
4. LEAVE AREA OF WORK IN CLEAN CONDITION.
5. GENERAL CONTRACTOR TO COORDINATE ANY SECURITY ISSUES W/ BUILDING OWNER DURING DEMOLITION.
6. CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, SERVICE UTILITIES AND DISCOVERED HAZARDS.
7. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSSES.
8. PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AS REQUIRED.
9. MAINTAIN AND PROTECT EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS & SIDEWALKS WITHOUT PERMIT.
10. COORDINATE W/ BUILDING OWNER TO NOTIFY THE ADJACENT TENANTS OF WORK WHICH MAY AFFECT THEIR PROPERTY WITH POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION.
11. ERECT AND MAINTAIN WEATHERPROOF, AIRTIGHT AND INSULATED CLOSURES OF EXTERIOR OPENINGS.
12. FIELD VERIFY LOCATIONS & QUANTITIES OF ALL EQUIPMENT, FIXTURES, ETC. TO BE DEMOLISHED.
13. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
14. PROVIDE NECESSARY SECURE STORAGE AREA FOR ANY SALVAGED ITEMS DURING CONSTRUCTION PERIOD.
15. ALL DEMOLITION NECESSITATED BY ANY UNDERGROUND WORK REQUIRED BY THIS DOCUMENT SET AT THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL BE FIELD VERIFIED FOR CONFLICTS WITH ANY EXISTING CONSTRUCTION AND BUDGETED FOR ACCORDINGLY.

DEMOLITION PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. REMOVE PARTITION WALL AS NOTED.
5. REMOVE DOOR AND FRAME, COMPLETE. SALVAGE PER OWNER.
6. REMOVE RESTROOM FIXTURES, FINISHES AND PARTITIONS COMPLETE. SALVAGE PER OWNER.
7. REMOVE PORTION OF EXTERIOR FRAME WALL, COMPLETE.
8. REMOVE PORTION OF MASONRY WALL, REF. STRUCTURAL SHEETS.
9. REMOVE RECEPTION DESK, PARTIAL HEIGHT WALLS AND TRANSACTION COUNTER, COMPLETE.
10. REMOVE STAIRS AND HANDRAIL, PREP FOR INFILL PER FLOOR PLAN. PATCH AND REPAIR WALL AS REQUIRED.
11. REMOVE EXTERIOR WINDOW COMPLETE. PREP FOR NEW WINDOW PER FLOOR PLAN AND WINDOW SCHEDULE.
12. REMOVE SHELVING COMPLETE.

WALL TYPE LEGEND:



Revisions

**FIRST FLOOR
 DEMOLITION PLAN**

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 100 S CHURCH AVE
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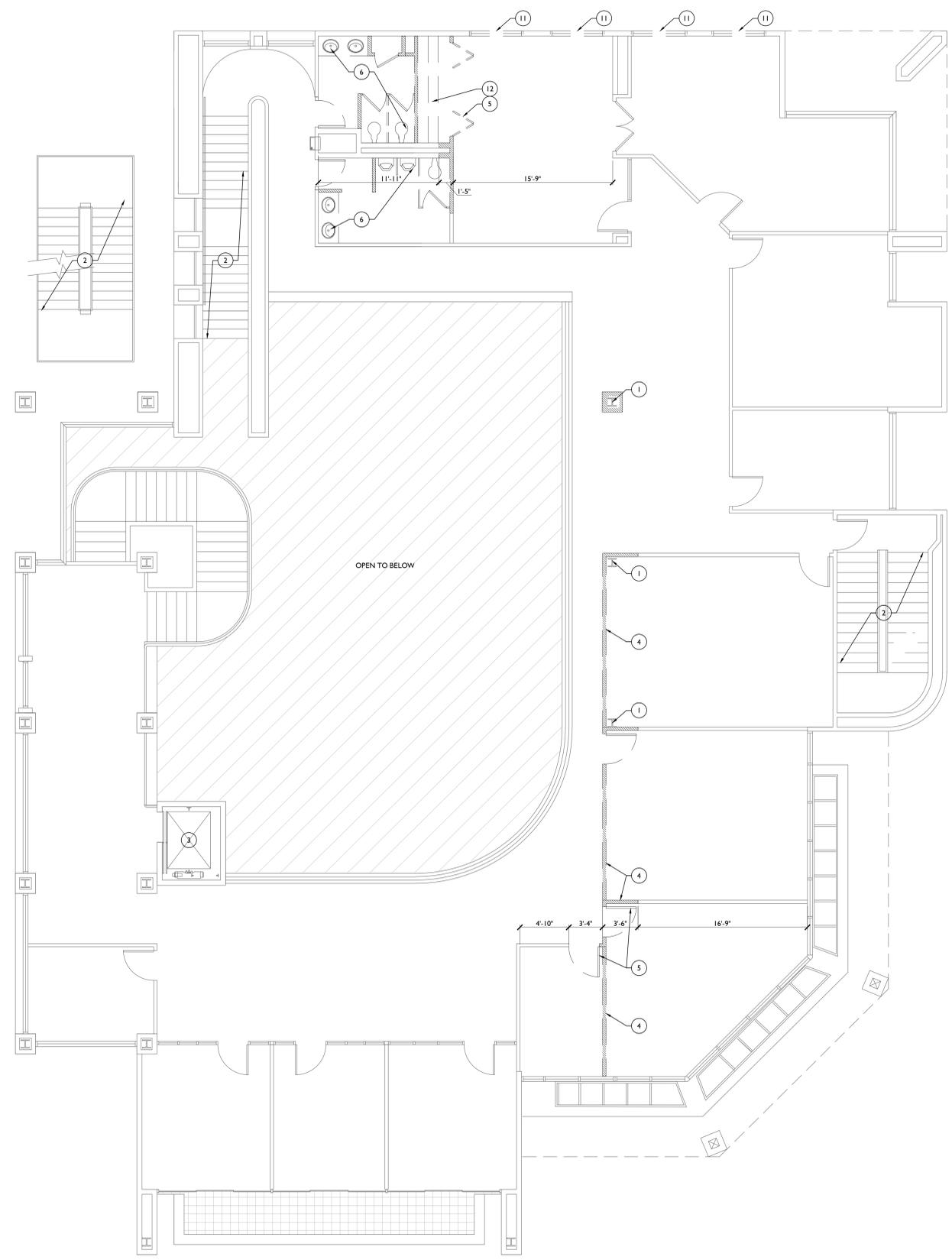
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NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



SECOND FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0" NORTH

DEMOLITION GENERAL NOTES:

1. PATCH AND REPAIR ALL EXISTING WORK TO REMAIN WHICH HAS BEEN DAMAGED BY ANY DEMOLITION AND/OR CONSTRUCTION.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS AND DEMOLISHED MATERIALS. REMOVAL OF ITEMS MUST BE IN ACCORDANCE WITH ANY APPLICABLE LOCAL AND STATE CODES OR ORDINANCES AS WORK PROGRESSES.
3. VERIFY WITH THE OWNER AND THE TRASH-REMOVAL AGENCY AN APPROPRIATE DUMPSTER LOCATION & PICK UP SCHEDULE.
4. LEAVE AREA OF WORK IN CLEAN CONDITION.
5. GENERAL CONTRACTOR TO COORDINATE ANY SECURITY ISSUES W/ BUILDING OWNER DURING DEMOLITION.
6. CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, SERVICE UTILITIES AND DISCOVERED HAZARDS.
7. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
8. PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AS REQUIRED.
9. MAINTAIN AND PROTECT EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS & SIDEWALKS WITHOUT PERMIT.
10. COORDINATE W/ BUILDING OWNER TO NOTIFY THE ADJACENT TENANTS OF WORK WHICH MAY AFFECT THEIR PROPERTY WITH POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION.
11. ERECT AND MAINTAIN WEATHERPROOF, AIRTIGHT AND INSULATED CLOSURES OF EXTERIOR OPENINGS.
12. FIELD VERIFY LOCATIONS & QUANTITIES OF ALL EQUIPMENT, FIXTURES, ETC. TO BE DEMOLISHED.
13. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
14. PROVIDE NECESSARY SECURE STORAGE AREA FOR ANY SALVAGED ITEMS DURING CONSTRUCTION PERIOD.
15. ALL DEMOLITION NECESSITATED BY ANY UNDERGROUND WORK REQUIRED BY THIS DOCUMENT SET AT THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL BE FIELD VERIFIED FOR CONFLICTS WITH ANY EXISTING CONSTRUCTION AND BUDGETED FOR ACCORDINGLY.

DEMOLITION PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. REMOVE PARTITION WALL AS NOTED.
5. REMOVE DOOR AND FRAME, COMPLETE. SALVAGE PER OWNER.
6. REMOVE RESTROOM FIXTURES, FINISHES AND PARTITIONS COMPLETE. SALVAGE PER OWNER.
7. REMOVE PORTION OF EXTERIOR FRAME WALL, COMPLETE.
8. REMOVE PORTION OF MASONRY WALL, REF. STRUCTURAL SHEETS.
9. REMOVE RECEPTION DESK, PARTIAL HEIGHT WALLS AND TRANSACTION COUNTER, COMPLETE.
10. REMOVE STAIRS AND HANDRAIL, PREP FOR INFILL PER FLOOR PLAN. PATCH AND REPAIR WALL AS REQUIRED.
11. REMOVE EXTERIOR WINDOW COMPLETE. PREP FOR NEW WINDOW PER FLOOR PLAN AND WINDOW SCHEDULE.
12. REMOVE SHELVING COMPLETE.

WALL TYPE LEGEND:



Expires 09.30.22

Revisions

**SECOND FLOOR
 DEMOLITION PLAN**

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 100 S CHURCH AVE
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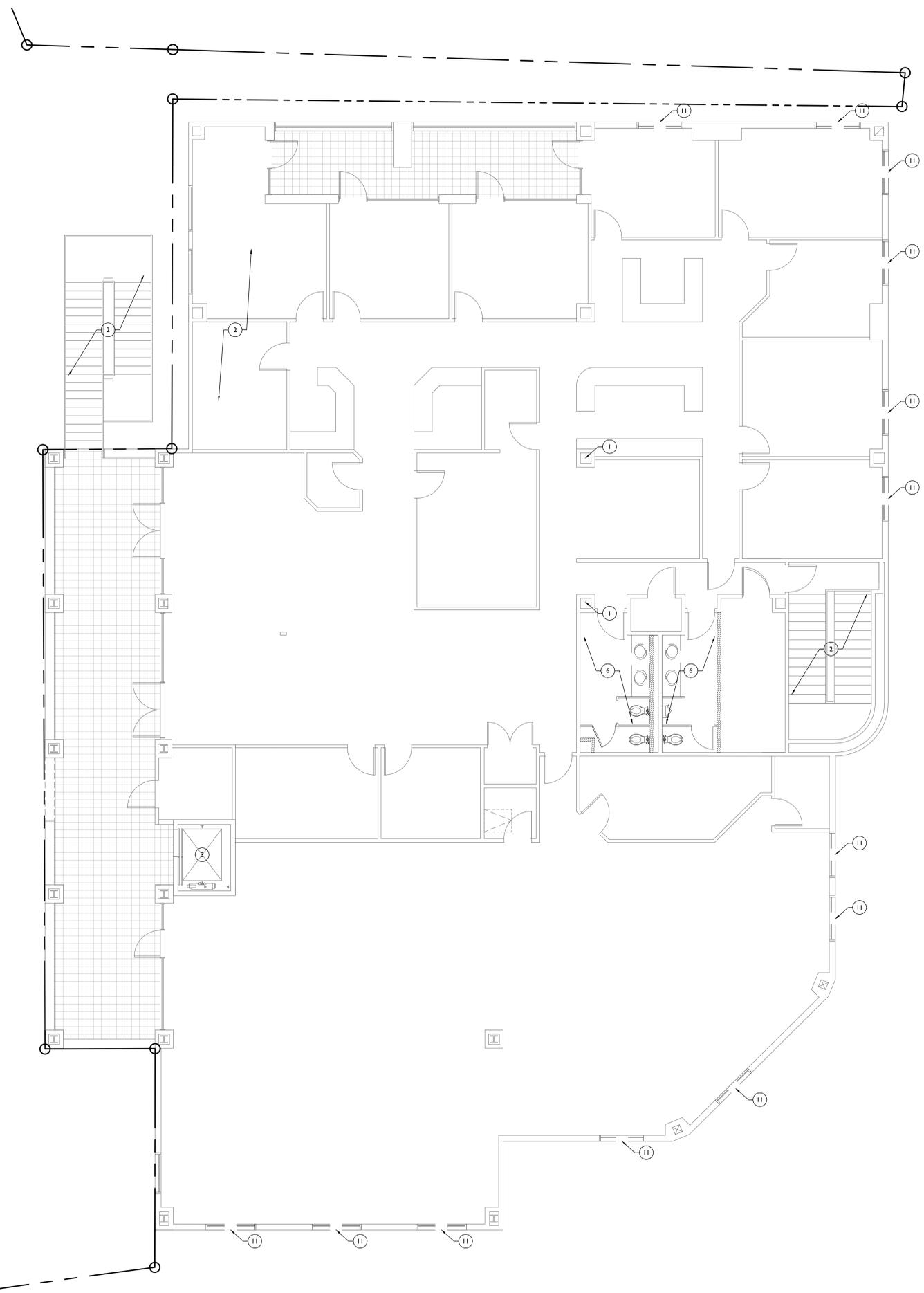
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THIRD FLOOR DEMOLITION PLAN
 SCALE: 3/16" = 1'-0" 

DEMOLITION GENERAL NOTES:

1. PATCH AND REPAIR ALL EXISTING WORK TO REMAIN WHICH HAS BEEN DAMAGED BY ANY DEMOLITION AND/OR CONSTRUCTION.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS AND DEMOLISHED MATERIALS. REMOVAL OF ITEMS MUST BE IN ACCORDANCE WITH ANY APPLICABLE LOCAL AND STATE CODES OR ORDINANCES AS WORK PROGRESSES.
3. VERIFY WITH THE OWNER AND THE TRASH-REMOVAL AGENCY AN APPROPRIATE DUMPSTER LOCATION & PICK UP SCHEDULE.
4. LEAVE AREA OF WORK IN CLEAN CONDITION.
5. GENERAL CONTRACTOR TO COORDINATE ANY SECURITY ISSUES W/ BUILDING OWNER DURING DEMOLITION.
6. CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, SERVICE UTILITIES AND DISCOVERED HAZARDS.
7. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES.
8. PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AS REQUIRED.
9. MAINTAIN AND PROTECT EGRESS AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS & SIDEWALKS WITHOUT PERMIT.
10. COORDINATE W/ BUILDING OWNER TO NOTIFY THE ADJACENT TENANTS OF WORK WHICH MAY AFFECT THEIR PROPERTY WITH POTENTIAL NOISE, UTILITY OUTAGE OR DISRUPTION.
11. ERECT AND MAINTAIN WEATHERPROOF, AIRTIGHT AND INSULATED CLOSURES OF EXTERIOR OPENINGS.
12. FIELD VERIFY LOCATIONS & QUANTITIES OF ALL EQUIPMENT, FIXTURES, ETC. TO BE DEMOLISHED.
13. DEMOLISH AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
14. PROVIDE NECESSARY SECURE STORAGE AREA FOR ANY SALVAGED ITEMS DURING CONSTRUCTION PERIOD.
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DEMOLITION PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. REMOVE PARTITION WALL AS NOTED.
5. REMOVE DOOR AND FRAME, COMPLETE. SALVAGE PER OWNER.
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11. REMOVE EXTERIOR WINDOW COMPLETE. PREP FOR NEW WINDOW PER FLOOR PLAN AND WINDOW SCHEDULE.
12. REMOVE SHELVING COMPLETE.

WALL TYPE LEGEND:



Expires 09.30.22

Revisions

**THIRD FLOOR
 DEMOLITION PLAN**

FARHANG & MEDCOFF
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FLOOR PLAN GENERAL NOTES:

1. THE WORD 'ARCHITECT' AS USED IN THESE DOCUMENTS REFERS TO THE BUILDING ARCHITECT, A23 STUDIOS.
2. THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SUPERCEDES ANY DIMENSIONAL INFORMATION INDICATED. IF DISCREPANCIES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
3. THE WORD 'PROVIDE' AS USED IN THESE DOCUMENTS MEANS FURNISH AND INSTALL.
4. THE WORD 'CLEAR' AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE OF MAJOR SURFACE. COORDINATE REQUIREMENTS FOR BASE BOARD OR OTHER PROTRUSIONS WITH ARCHITECT.
5. THE WORD 'MAXIMUM' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
6. THE WORD 'MINIMUM' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
7. THE WORD 'TYPICAL' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
8. THE SYMBOL '±' AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS. IF ACTUAL DIMENSION VARIES BY MORE THAN 1" FROM DIMENSION NOTED AS '±', INFORM ARCHITECT BEFORE PROCEEDING.
9. G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
10. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
11. G.C. TO SUBMIT ALL SUBCONTRACTOR SHOP DRAWINGS AND SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE FABRICATION OR INSTALLATION OF ANY ITEMS. REQUIRED SHOP DRAWING SUBMITTALS INCLUDE, BUT ARE NOT LIMITED TO: MILLWORK, H.V.A.C. PLUMBING, ELECTRICAL, GLASS AND GLAZING, ALL ITEMS ON FINISH LEGEND, DOOR HARDWARE, 2x2 WALL FINISH SAMPLE, PAINTING AND WALL COVERING. DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS UNLESS PRIOR WRITTEN PERMISSION HAS BEEN OBTAINED FROM THE ARCHITECT AND/OR OWNER. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO THE G.C. U.N.O. G.C. TO VERIFY ALL EXISTING SHELL PARTITIONS AND INSTALL INSULATION AND 5/8" GYP. BD. WHERE NEEDED FOR FINISH OUT.
13. U.N.O. PARTITIONS ARE DIMENSIONED TO FACE OF FINISH.
14. REFER TO DOOR SCHEDULE FOR TYPES AND HARDWARE INFORMATION.
15. U.N.O. EDGE OF DOOR TO BE LOCATED 5" OFF PERPENDICULAR PTN. PROVIDE BACK TO BACK OR NESTED 25-GAUGE STUDS AT BOTH SIDES OF ALL NEW JAMB LOCATIONS.
16. ALL BLOCKING TO COMPLY WITH APPLICABLE BUILDING AND FIRE CODE REQUIREMENTS. PROVIDE BLOCKING IN PARTITIONS AS REQUIRED TO SECURE CABINETS, MARKER BOARDS, ETC. TO PARTITIONS.
17. ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
18. PATCH ALL WALLS, PARTITIONS, COLUMNS, CONCRETE FLOORS, ETC. AS REQUIRED TO RECEIVE NEW FINISH.
19. G.C. TO COORDINATE AND INSTALL ALL TENANT SUPPLIED APPLIANCES AS SHOWN IN DOCUMENTS. COORDINATE LOCATION, SIZE AND ALL REQUIRED PLUMBING AND ELECTRICAL CONNECTIONS.
20. U.N.O. INSTALL MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS, INCLUDING BUT NOT LIMITED TO RESTROOM AND SINK LOCATIONS.
21. REFER TO ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION.
22. INTERIOR WALLS ARE TO BE 3 5/8" METAL STUDS WITH 5/8" THICK FIRE RATED GYPSUM BOARD. FOR WALL FINISH SEE INTERIOR FINISH SCHEDULE. (DIMENSIONS ON PLAN ARE NOMINAL.)
23. LAYOUT AS DIMENSIONED ONLY, DO NOT SCALE DRAWING.

FLOOR PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. OFFICE FURNITURE, TYP. BY TENANT.
5. BUILT IN RECEPTION DESK. REF. INTERIOR ELEVATIONS AS NOTED.
6. LINE OF SOFFIT ABOVE. SEE RCP.
7. BUILT IN WORK STATION. REF. INTERIOR ELEVATIONS AS NOTED.
8. LANDING AND STAIR. REF. ENLARGED PLAN AS NOTED.
9. ACCESSIBLE RESTROOM. REF. ENLARGED PLAN AS NOTED.
10. EXISTING RAMP TO REMAIN.
11. MILLWORK. REF. INTERIOR ELEVATIONS AS NOTED.
12. MOP SINK AND WATER HEATER. REF. PLUMBING SHEETS.
13. NO WORK, THIS ROOM.
14. STEEL TUBE CANOPY. REF. ELEVATION.
15. FURR OUT EXISTING COLUMN FOR SHARP CORNER WITH STUCCO FINISH TO MATCH EXISTING.
16. RAMP WITH MAX. SLOPE 1:12. REF. DETAIL SHEET A9.2.
17. LANDING WITH GUARD RAIL. REF. DETAIL SHEET A9.2.
18. STEP DOWN TO ADJACENT GRADE. MAX. HEIGHT 7". V.I.F.
19. LINE OF CANOPY ABOVE. REF. ELEVATIONS AND STRUCTURAL SHEETS.

WALL TYPE NOTES:

1. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
2. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE. FRP IF OCCURS.
3. PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
4. SEE ADDITIONAL PARTITION DETAILS ON DETAIL SHEETS.
5. G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING w/ THE WORK.
6. ALL INTERIOR FRAME WALLS FINISH TO MATCH EXISTING FROM FLOOR TO 6" ABOVE CLG. GRID. U.N.O., WITH 5/8" TYPE 'X' GWB, FIRE TAPED BEDDED. COORDINATE GWB INSTALLATION WITH TENANTS WALL ROUGHINS.
7. WALL BACKING PER DETAILS 3 & 4/A9.0.

WALL TYPES:

- A. NEW STEEL STUD WALL (TO EXISTING PARAPET HEIGHT) - 6" METAL STUDS @ 16" O.C., REFERENCE STRUCTURAL PLANS, W/ STUCCO FINISH OV. RIGID INSULATION OV. WATER PROOF MEMBRANE OV. PLYWOOD SHEATHING. MATCH EXISTING ADJACENT STUCCO FINISH FOR A FLUSH TRANSITION. PROVIDE STUCCO EXPANSION JOINT AT EXTENTS. REF. ELEVATION FOR TILE EXTENTS.
- B. NEW PARTITION WALL (TO 6" ABOVE CLG.) - 3 5/8" 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. (MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS) WITH SOUND BATT INSULATION FULL DEPTH. TYP. U.N.O. REF. DTL. 2, 3 & 9/A8.0. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- C. INFILL EXTENT OF OPENING TO MATCH ADJACENT WALL WHERE OCCURS. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- D. PARTIAL HEIGHT WALL (HEIGHT PER INTERIOR ELEVATIONS, A7.0) - 3 5/8" 20 GA METAL STUDS W/ 5/8" GYP. BD. BOTH SIDES. DOUBLE WALL W/ WIDTH AS NOTED AT SIM. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- E. EXISTING WALL - EXISTING WALL TO REMAIN, REPAIR FINISH WHERE NECESSARY AND PROVIDE METAL PANEL FACADE PER ELEVATIONS.
- F. EXISTING WALL - EXISTING WALL TO REMAIN, REPAIR FINISH WHERE NECESSARY OR REPLACE PER FINISH SCHEDULE, TYP.
- G. COLUMN FURR OUT (TO 6" ABOVE CLG.) - WRAP COLUMN AND PROVIDE FURRING CHANNEL AS REQUIRED TO MEET NOTED WIDTH. 5/8" GYP BD BOTH SIDES. TAPE AND TEXTURE TO MATCH EXISTING.

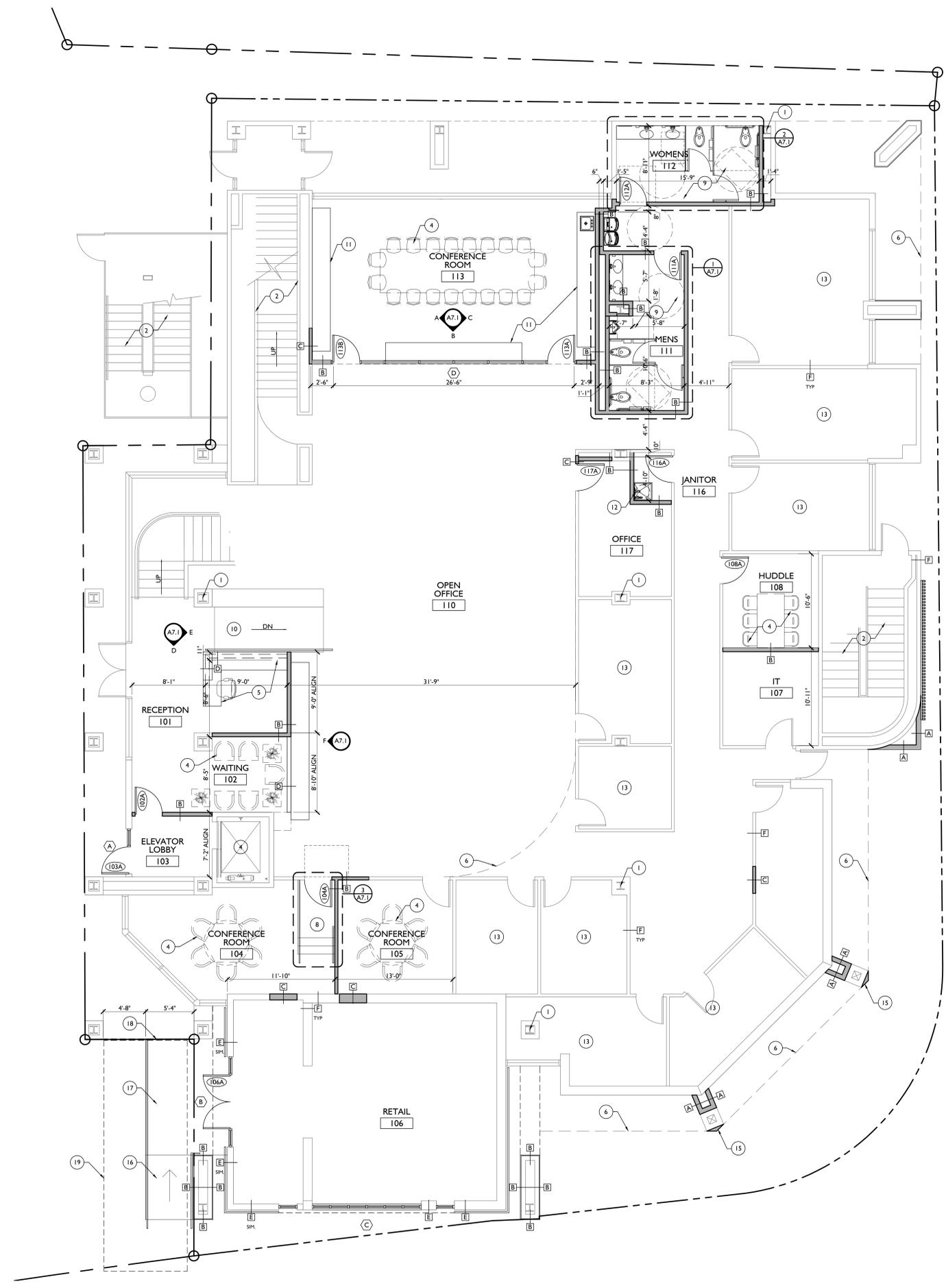
DOOR TAG:

REFERENCE DOOR SCHEDULE, A8.0.

WINDOW TAG:

REFERENCE WINDOW SCHEDULE, A8.0.

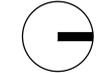
NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



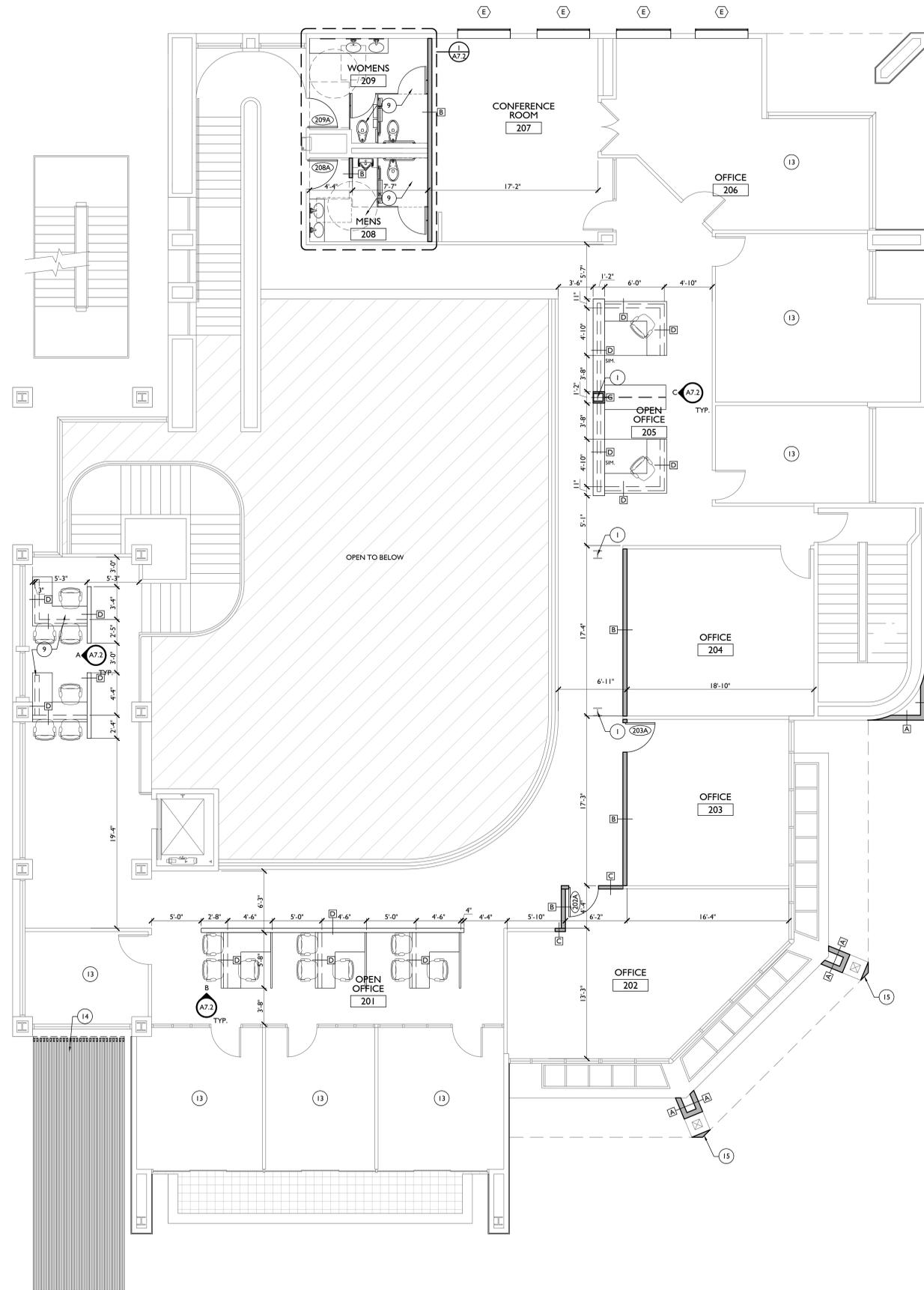
FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

NORTH

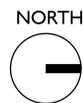


NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



FLOOR PLAN KEYNOTES:

- EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
- EXISTING EGRESS STAIR TO REMAIN.
- EXISTING ELEVATOR TO REMAIN.
- OFFICE FURNITURE. TYP. BY TENANT.
- BUILT IN RECEPTION DESK. REF. INTERIOR ELEVATIONS AS NOTED.
- LINE OF SOFFIT ABOVE. SEE RCP.
- BUILT IN WORK STATION. REF. INTERIOR ELEVATIONS AS NOTED.
- LANDING AND STAIR. REF. ENLARGED PLAN AS NOTED.
- ACCESSIBLE RESTROOM. REF. ENLARGED PLAN AS NOTED.
- EXISTING RAMP TO REMAIN.
- MILLWORK. REF. INTERIOR ELEVATIONS AS NOTED.
- MOP SINK AND WATER HEATER. REF. PLUMBING SHEETS.
- NO WORK. THIS ROOM.
- STEEL TUBE CANOPY. REF. ELEVATION.
- FURR OUT EXISTING COLUMN FOR SHARP CORNER WITH STUCCO FINISH TO MATCH EXISTING.
- RAMP WITH MAX. SLOPE 1:12. REF. DETAIL SHEET A9.2.
- LANDING WITH GUARD RAIL. REF. DETAIL SHEET A9.2.
- STEP DOWN TO ADJACENT GRADE. MAX. HEIGHT 7". V.I.F.
- LINE OF CANOPY ABOVE. REF. ELEVATIONS AND STRUCTURAL SHEETS.

WALL TYPE NOTES:

- USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
- USE 1/2" CEMENT BOARD UNDER CERAMIC TILE. FRP IF OCCURS.
- PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
- SEE ADDITIONAL PARTITION DETAILS ON DETAIL SHEETS.
- G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING w/ THE WORK.
- ALL INTERIOR FRAME WALLS FINISH TO MATCH EXISTING FROM FLOOR TO 6" ABOVE CLG. GRID. U.N.O., WITH 5/8" TYPE 'X' GWB, FIRE TAPED BEDDED. COORDINATE GWB INSTALLATION WITH TENANTS WALL ROUGHINS.
- WALL BACKING PER DETAILS 3 & 4/A9.0.

WALL TYPES:

- A. NEW STEEL STUD WALL (TO EXISTING PARAPET HEIGHT) - 6" METAL STUDS @ 16" O.C., REFERENCE STRUCTURAL PLANS, W/ STUCCO FINISH OV. RIGID INSULATION OV. WATER PROOF MEMBRANE OV. PLYWOOD SHEATHING. MATCH EXISTING ADJACENT STUCCO FINISH FOR A FLUSH TRANSITION. PROVIDE STUCCO EXPANSION JOINT AT EXTENTS. REF. ELEVATION FOR TILE EXTENTS.
- B. NEW PARTITION WALL (TO 6" ABOVE CLG.) - 3 5/8" 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. (MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS) WITH SOUND BATT INSULATION FULL DEPTH. TYP. U.N.O. REF. DTL. 2, 3 & 9/A8.0. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- C. INFILL EXTENT OF ADJOINING TO MATCH ADJACENT WALL WHERE OCCURS. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- D. PARTIAL HEIGHT WALL (HEIGHT PER INTERIOR ELEVATIONS, A7.0) - 3 5/8" 20 GA METAL STUDS W/ 5/8" GYP. BD. BOTH SIDES. DOUBLE WALL W/ WIDTH AS NOTED AT SIM. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- E. EXISTING WALL - EXISTING WALL TO REMAIN, REPAIR FINISH WHERE NECESSARY AND PROVIDE METAL PANEL FACADE PER ELEVATIONS.
- F. EXISTING WALL - EXISTING WALL TO REMAIN, REPAIR FINISH WHERE NECESSARY OR REPLACE PER FINISH SCHEDULE, TYP.
- G. COLUMN FURR OUT (TO 6" ABOVE CLG.) - WRAP COLUMN AND PROVIDE FURRING CHANNEL AS REQUIRED TO MEET NOTED WIDTH. 5/8" GYP BD BOTH SIDES. TAPE AND TEXTURE TO MATCH EXISTING.

DOOR TAG:

REFERENCE DOOR SCHEDULE, A8.0.

WINDOW TAG:

REFERENCE WINDOW SCHEDULE, A8.0.

FLOOR PLAN GENERAL NOTES:

- THE WORD 'ARCHITECT' AS USED IN THESE DOCUMENTS REFERS TO THE BUILDING ARCHITECT, A23 STUDIOS.
- THE WORD 'ALIGN' AS USED IN THESE DOCUMENTS SUPERCEDES ANY DIMENSIONAL INFORMATION INDICATED. IF DISCREPANCIES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- THE WORD 'PROVIDE' AS USED IN THESE DOCUMENTS MEANS FURNISH AND INSTALL.
- THE WORD 'CLEAR' AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT. CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE OF MAJOR SURFACE. COORDINATE REQUIREMENTS FOR BASE BOARD OR OTHER PROTRUSIONS WITH ARCHITECT.
- THE WORD 'MAXIMUM' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- THE WORD 'MINIMUM' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- THE WORD 'TYPICAL' AS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
- THE SYMBOL ':±:' AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUANTITY IS ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS. IF ACTUAL DIMENSION VARIES BY MORE THAN 1" FROM DIMENSION NOTED AS ':±:', INFORM ARCHITECT BEFORE PROCEEDING.
- TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
- G.C. TO SUBMIT ALL SUBCONTRACTOR SHOP DRAWINGS AND SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE FABRICATION OR INSTALLATION OF ANY ITEMS. REQUIRED SHOP DRAWING SUBMITTALS INCLUDE, BUT ARE NOT LIMITED TO: MILLWORK, H.V.A.C., PLUMBING, ELECTRICAL, GLASS AND GLAZING, ALL ITEMS ON FINISH LEGEND, DOOR HARDWARE, 2x2 WALL FINISH SAMPLE, PAINTING AND WALL COVERING. DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS UNLESS PRIOR WRITTEN PERMISSION HAS BEEN OBTAINED FROM THE ARCHITECT AND/OR OWNER. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO THE G.C. U.N.O. G.C. TO VERIFY ALL EXISTING SHELL PARTITIONS AND INSTALL INSULATION AND 5/8" GYP. BD. WHERE NEEDED FOR FINISH OUT.
- U.N.O. PARTITIONS ARE DIMENSIONED TO FACE OF FINISH.
- REFER TO DOOR SCHEDULE FOR TYPES AND HARDWARE INFORMATION.
- U.N.O. EDGE OF DOOR TO BE LOCATED 5" OFF PERPENDICULAR PTN. PROVIDE BACK TO BACK OR NESTED 25-GAUGE STUDS AT BOTH SIDES OF ALL NEW JAMB LOCATIONS.
- ALL BLOCKING TO COMPLY WITH APPLICABLE BUILDING AND FIRE CODE REQUIREMENTS. PROVIDE BLOCKING IN PARTITIONS AS REQUIRED TO SECURE CABINETS, MARKER BOARDS, ETC. TO PARTITIONS.
- ALL MATERIALS AND COMPONENTS OF FIRE-RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH ASSEMBLIES.
- PATCH ALL WALLS, PARTITIONS, COLUMNS, CONCRETE FLOORS, ETC. AS REQUIRED TO RECEIVE NEW FINISH.
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- LAYOUT AS DIMENSIONED ONLY, DO NOT SCALE DRAWING.



Expires 09.30.22

Revisions

SECOND FLOOR PLAN

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

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520.745.4010 phone
www.a23studios.com



Project 18100
Date 04.10.2020
Scale Noted
Sheet

A2.2



Expires 09.30.22

Revisions

THIRD FLOOR PLAN

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

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Project 18100
Date 04.10.2020
Scale Noted
Sheet

A2.3

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23. LAYOUT AS DIMENSIONED ONLY, DO NOT SCALE DRAWING.

FLOOR PLAN KEYNOTES:

1. EXISTING COLUMN TO REMAIN. TYP. ALL STRUCTURAL COLUMNS.
2. EXISTING EGRESS STAIR TO REMAIN.
3. EXISTING ELEVATOR TO REMAIN.
4. OFFICE FURNITURE, TYP. BY TENANT.
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6. LINE OF SOFFIT ABOVE. SEE RCP.
7. BUILT IN WORK STATION. REF. INTERIOR ELEVATIONS AS NOTED.
8. LANDING AND STAIR. REF. ENLARGED PLAN AS NOTED.
9. ACCESSIBLE RESTROOM. REF. ENLARGED PLAN AS NOTED.
10. EXISTING RAMP TO REMAIN.
11. MILLWORK. REF. INTERIOR ELEVATIONS AS NOTED.
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13. NO WORK, THIS ROOM.
14. STEEL TUBE CANOPY. REF. ELEVATION.
15. FURR OUT EXISTING COLUMN FOR SHARP CORNER WITH STUCCO FINISH TO MATCH EXISTING.
16. RAMP WITH MAX. SLOPE 1:12. REF. DETAIL SHEET A9.2.
17. LANDING WITH GUARD RAIL. REF. DETAIL SHEET A9.2.
18. STEP DOWN TO ADJACENT GRADE. MAX. HEIGHT 7", V.I.F.
19. LINE OF CANOPY ABOVE. REF. ELEVATIONS AND STRUCTURAL SHEETS.

WALL TYPE NOTES:

1. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.
2. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE. FRP IF OCCURS.
3. PROVIDE FULL DEPTH ACOUSTIC INSULATION IN ALL INTERIOR PARTITIONS.
4. SEE ADDITIONAL PARTITION DETAILS ON DETAIL SHEETS.
5. G.C. TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS @ THE JOB SITE & NOTIFY ARCHITECT OF ANY OMISSIONS, DISCREPANCIES AND / OR CONFLICTS BEFORE PROCEEDING w/ THE WORK.
6. ALL INTERIOR FRAME WALLS FINISH TO MATCH EXISTING FROM FLOOR TO 6" ABOVE CLG. GRID, U.N.O., WITH 5/8" TYPE 'X' GWB, FIRE TAPED BEDED. COORDINATE GWB INSTALLATION WITH TENANTS WALL ROUGHINS.
7. WALL BACKING PER DETAILS 3 & 4/A9.0.

WALL TYPES:

- A. NEW STEEL STUD WALL (TO EXISTING PARAPET HEIGHT) - 6" METAL STUDS @ 16" O.C., REFERENCE STRUCTURAL PLANS, W/ STUCCO FINISH OV. RIGID INSULATION OV. WATER PROOF MEMBRANE OV. PLYWOOD SHEATHING. MATCH EXISTING ADJACENT STUCCO FINISH FOR A FLUSH TRANSITION. PROVIDE STUCCO EXPANSION JOINT AT EXTENTS. REF. ELEVATION FOR TILE EXTENTS.
- B. NEW PARTITION WALL (TO 6" ABOVE CLG.) - 3 5/8" 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. (MOISTURE RESISTANT GYP. BD. ON ALL WET WALLS) WITH SOUND BATT INSULATION FULL DEPTH. TYP. U.N.O. REF. DTL. 2, 3 & 9/A8.0. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- C. INFILL EXTENT OF OPENING TO MATCH ADJACENT WALL WHERE OCCURS. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- D. PARTIAL HEIGHT WALL (HEIGHT PER INTERIOR ELEVATIONS, A7.0) - 3-5/8" 20 GA METAL STUDS W/ 5/8" GYP. BD. BOTH SIDES. DOUBLE WALL W/ WIDTH AS NOTED AT SIM. TAPE AND TEXTURE TO MATCH EXISTING ADJACENT WALLS AND PAINT PER OWNER.
- E. EXISTING WALL - EXISTING WALL TO REMAIN, REPAIR FINISH WHERE NECESSARY AND PROVIDE METAL PANEL FACADE PER ELEVATIONS.
- F. EXISTING WALL - EXISTING WALL TO REMAIN, REPAIR FINISH WHERE NECESSARY OR REPLACE PER FINISH SCHEDULE, TYP.
- G. COLUMN FURR OUT (TO 6" ABOVE CLG.) - WRAP COLUMN AND PROVIDE FURRING CHANNEL AS REQUIRED TO MEET NOTED WIDTH. 5/8" GYP BD BOTH SIDES. TAPE AND TEXTURE TO MATCH EXISTING.

DOOR TAG:

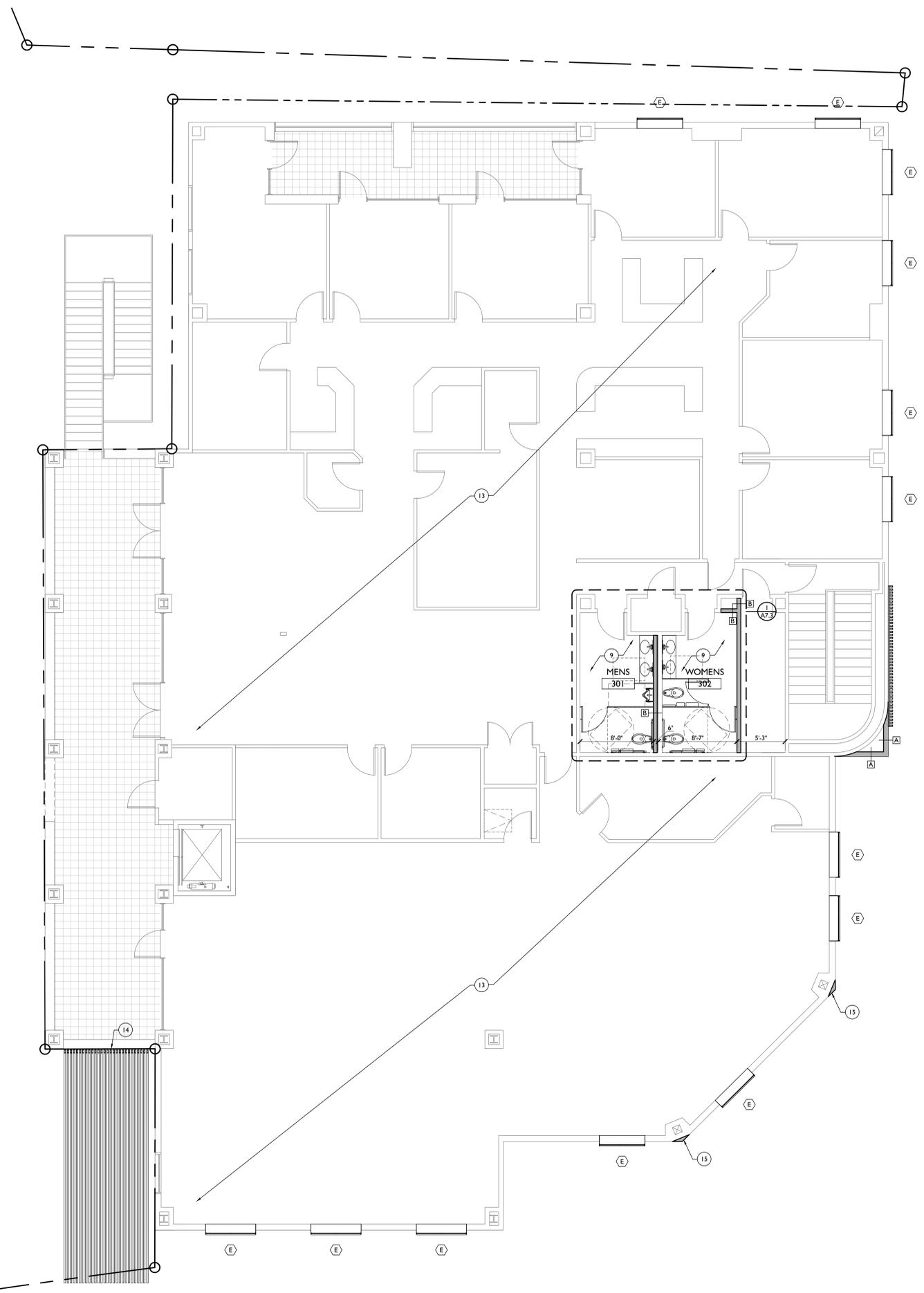


REFERENCE DOOR SCHEDULE, A8.0.

WINDOW TAG:



REFERENCE WINDOW SCHEDULE, A8.0.

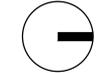


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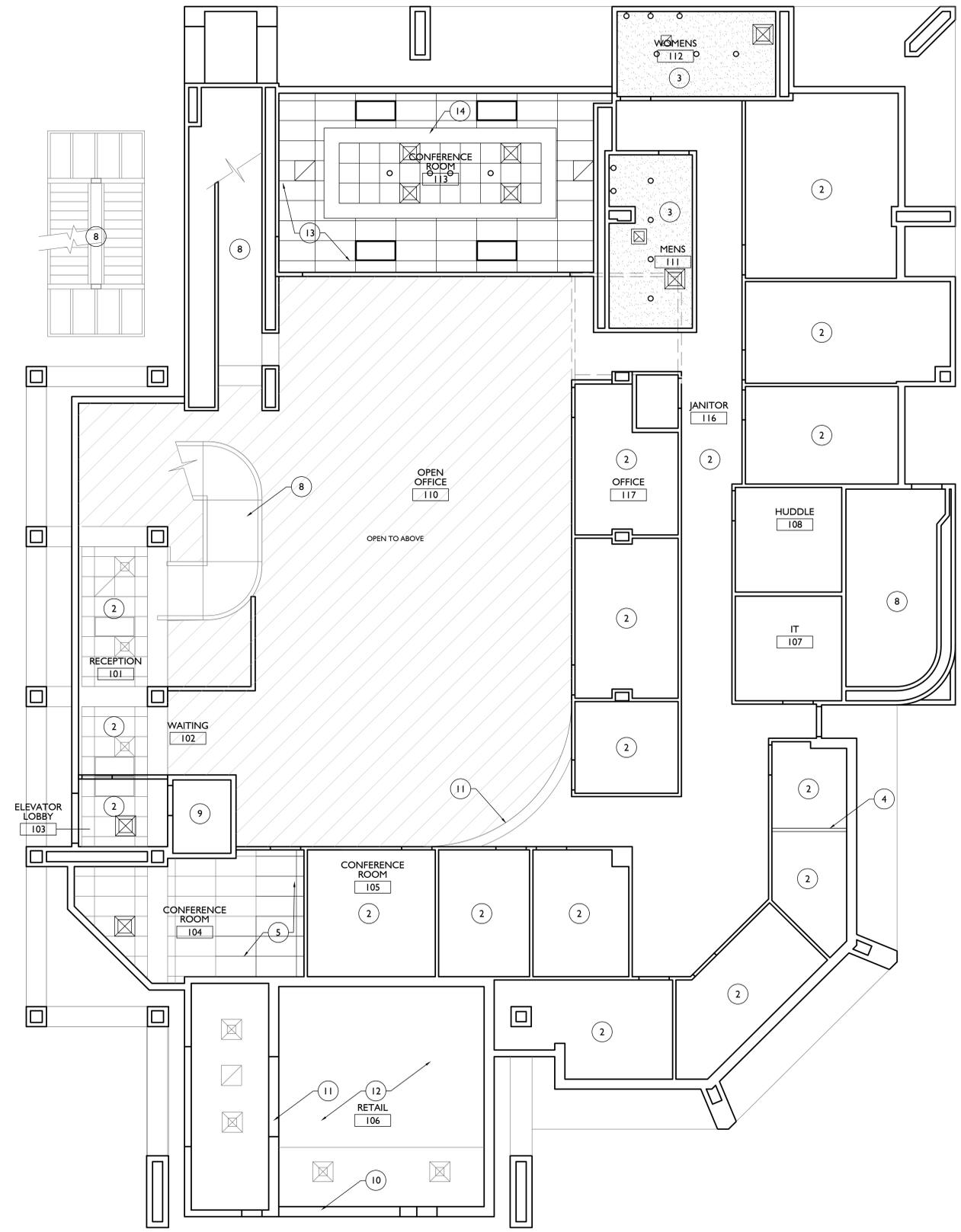
THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"

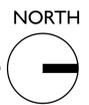
NORTH



NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



RCP GENERAL NOTES:

1. ELECTRICAL FIXTURES PER ELECTRICAL PLAN.
2. MECHANICAL OPENINGS THRU ROOF PER MECHANICAL PLAN.
3. ALL COLORS AND MATERIAL AS SELECTED BY THE OWNER/ARCHITECT.
4. ALL CEILING INSULATION TO B.O. OF ROOF DECK (OR SHEATHING AS OCCURS), THEREFORE ATTIC VENTILATION CALCULATIONS NOT REQUIRED.
5. EXISTING ABOVE ROOF DECK RIGID INSULATION TO REMAIN.

RCP PLAN KEYNOTES: #

1. NEW ACT TO MATCH EXISTING BUILDING STANDARD. RELOCATE MECHANICAL AND ELECTRICAL FIXTURES PER MECHANICAL AND LIGHTING PLANS.
2. EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQ'D
3. NEW GWB CEILING. REF. DETAIL XX/A9.0.
4. NEW GYP. BD. HEADER TO 6" BELOW EXISTING CEILING AT EXISTING WALL TO BE REMOVED.
5. EXTEND ACOUSTICAL CEILING GRID AS INDICATED. MATCH EXISTING.
6. NOT USED.
7. EXISTING EXTERIOR SOFFIT TO REMAIN.
8. STAIR TO REMAIN.
9. ELEVATOR TO REMAIN.
10. HEADER PER STRUCTURAL PLAN.
11. EXISTING HEADER TO REMAIN.
12. FINISHES PER FUTURE TI.
13. ACOUSTICAL CEILING TILE TO MATCH BUILDING STANDARD.
14. DROPPED HANGING DRYWALL CLOUD ABOVE CONFERENCE ROOM TABLE WITH 2X2 ACOUSTICAL TILE INSET. ACT TO MATCH EXISTING BUILDING STANDARD. REF. DETAIL XXI/A9.0.

MATERIAL LEGEND:

- ACOUSTICAL CEILING TILE (ACT). REF. DTLS. 12 & 13/A8.0
- EXPOSED EXISTING STEEL JOIST
- 5/8" GYP. BD. FIRE TAPED AND BEDDED ON MTL. FRAME. REF. DTLS. 6 & 11/A8.0.
- A.F.F. ABOVE FINISH FLOOR
- T.O.B. TOP OF BEAM
- B.O.C. BOTTOM OF CEILING
- B.O.S. BOTTOM OF STRUCTURE

NOTE: ALL CEILING HEIGHTS ARE TAKEN FROM THEIR OWN F.F.E.

WALL TYPE LEGEND:

- EXISTING WALL
- DEMO WALL

ELECTRICAL AND MECHANICAL SYMBOL LEGEND

SYMBOL	MARK	DESCRIPTION	MANUFACTURER	MODEL	REMARKS	TYPE
IO	AI	WALL SCNCE	PER OWNER	PER OWNER	--	L
O	BI	4" CAN LIGHT	PER OWNER	PER OWNER	--	L
	CI	2X4 LAY IN	MATCH EXISTING	MATCH EXISTING	--	L
	X	EMERGENCY LIGHT	MATCH EXISTING	MATCH EXISTING	--	L
	Y	EMERGENCY LIGHT	MATCH EXISTING	MATCH EXISTING	--	L
		SUPPLY REGISTER		REF. MECHANICAL DRAWINGS		
		SUPPLY REGISTER		REF. MECHANICAL DRAWINGS		
		EXHAUST FAN		REF. MECHANICAL DRAWINGS		

TYPE: F = FLUORESCENT I = INCANDESCENT L = LED M = METAL HALIDE



Expires 09.30.22

Revisions

FIRST FLOOR REFLECTED CEILING PLAN

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

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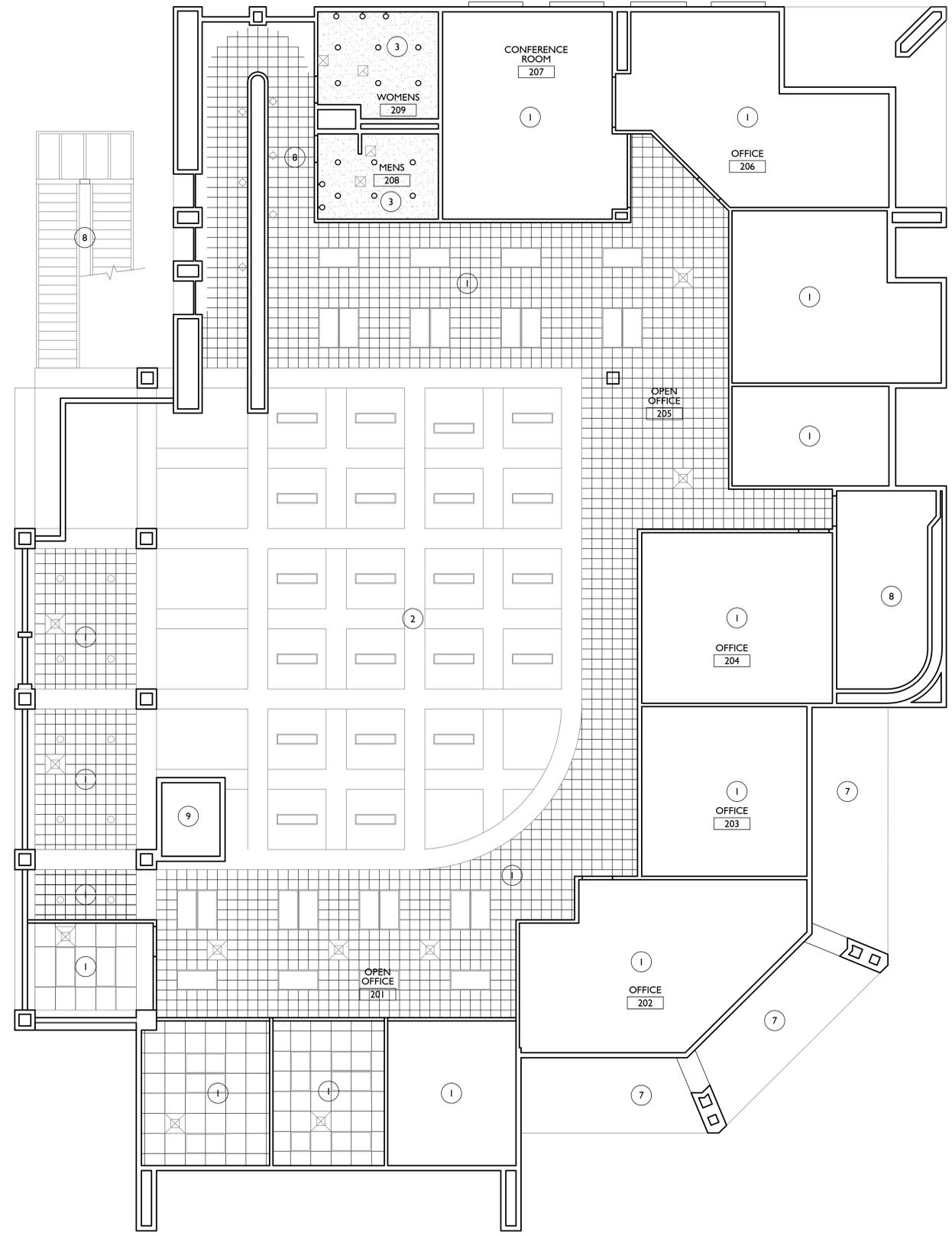
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Tucson, AZ 85704
www.a23studios.com



Project 18100
Date 04.10.2020
Scale Noted
Sheet

A3.1

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



RCP GENERAL NOTES:

1. ELECTRICAL FIXTURES PER ELECTRICAL PLAN.
2. MECHANICAL OPENINGS THRU ROOF PER MECHANICAL PLAN.
3. ALL COLORS AND MATERIAL AS SELECTED BY THE OWNER/ARCHITECT.
4. ALL CEILING INSULATION TO B.O. OF ROOF DECK (OR SHEATHING AS OCCURS), THEREFORE ATTIC VENTILATION CALCULATIONS NOT REQUIRED.
5. EXISTING ABOVE ROOF DECK RIGID INSULATION TO REMAIN.

RCP PLAN KEYNOTES: #

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2. EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQ'D
3. NEW GWB CEILING. REF. DETAIL XX/A9.0.
4. NEW GYP. BD. HEADER TO 6" BELOW EXISTING CEILING AT EXISTING WALL TO BE REMOVED.
5. EXTEND ACOUSTICAL CEILING GRID AS INDICATED. MATCH EXISTING.
6. NOT USED.
7. EXISTING EXTERIOR SOFFIT TO REMAIN.
8. STAIR TO REMAIN.
9. ELEVATOR TO REMAIN.
10. HEADER PER STRUCTURAL PLAN.
11. EXISTING HEADER TO REMAIN.
12. FINISHES PER FUTURE TL.
13. ACOUSTICAL CEILING TILE TO MATCH BUILDING STANDARD.
14. DROPPED HANGING DRYWALL CLOUD ABOVE CONFERENCE ROOM TABLE WITH 2X2 ACOUSTICAL TILE INSET. ACT TO MATCH EXISTING BUILDING STANDARD. REF. DETAIL XX/A9.0.

MATERIAL LEGEND:

- ACOUSTICAL CEILING TILE (ACT), REF. DTLS. 12 & 13/A8.0
- EXPOSED EXISTING STEEL JOIST
-
- A.F.F. ABOVE FINISH FLOOR
- T.O.B. TOP OF BEAM
- B.O.C. BOTTOM OF CEILING
- B.O.S. BOTTOM OF STRUCTURE

NOTE: ALL CEILING HEIGHTS ARE TAKEN FROM THEIR OWN F.F.E.

ELECTRICAL AND MECHANICAL SYMBOL LEGEND

SYMBOL	MARK	DESCRIPTION	MANUFACTURER	MODEL	REMARKS	TYPE
⊙	AI	WALL SCNCE	PER OWNER	PER OWNER	--	L
○	BI	4" CAN LIGHT	PER OWNER	PER OWNER	--	L
□	CI	2X4 LAY IN	MATCH EXISTING	MATCH EXISTING	--	L
⊕	X	EMERGENCY LIGHT	MATCH EXISTING	MATCH EXISTING	--	L
⊗	Y	EMERGENCY LIGHT	MATCH EXISTING	MATCH EXISTING	--	L
⊠		SUPPLY REGISTER		REF. MECHANICAL DRAWINGS		
⊡		SUPPLY REGISTER		REF. MECHANICAL DRAWINGS		
⊞		EXHAUST FAN		REF. MECHANICAL DRAWINGS		

TYPE: F = FLUORESCENT I = INCANDESCENT L = LED M = METAL HALIDE



Expires 09.30.22

Revisions

SECOND FLOOR REFLECTED CEILING PLAN

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

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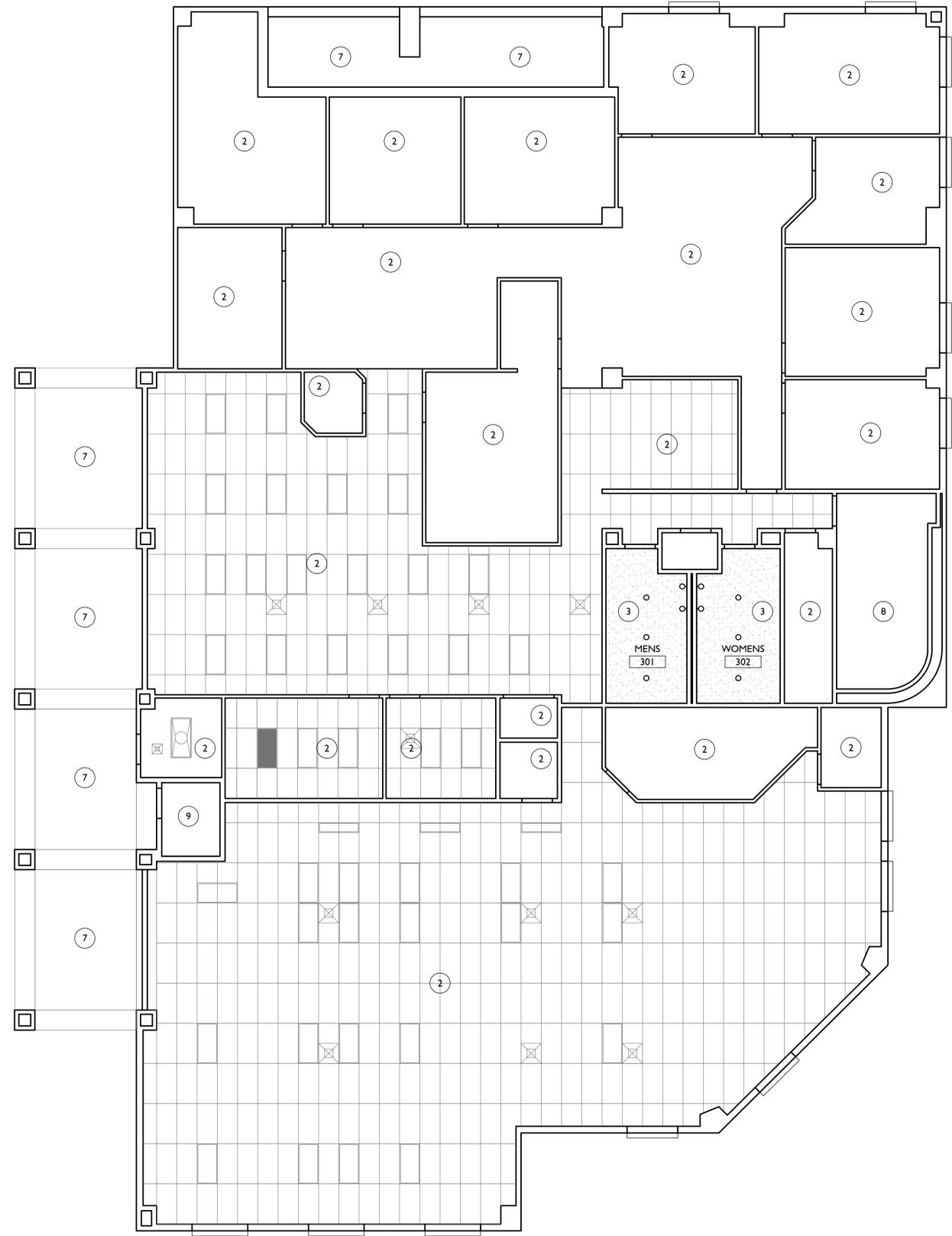
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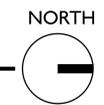
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Date 04.10.2020
Scale Noted
Sheet

A3.2

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



THIRD FLOOR REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"



RCP GENERAL NOTES:

1. ELECTRICAL FIXTURES PER ELECTRICAL PLAN.
2. MECHANICAL OPENINGS THRU ROOF PER MECHANICAL PLAN.
3. ALL COLORS AND MATERIAL AS SELECTED BY THE OWNER/ARCHITECT.
4. ALL CEILING INSULATION TO B.O. OF ROOF DECK (OR SHEATHING AS OCCURS), THEREFORE ATTIC VENTILATION CALCULATIONS NOT REQUIRED.
5. EXISTING ABOVE ROOF DECK RIGID INSULATION TO REMAIN.

RCP PLAN KEYNOTES: #

1. NEW ACT TO MATCH EXISTING BUILDING STANDARD. RELOCATE MECHANICAL AND ELECTRICAL FIXTURES PER MECHANICAL AND LIGHTING PLANS.
2. EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQ'D
3. NEW GWP CEILING. REF. DETAIL XX/A9.0.
4. NEW GYP. BD. HEADER TO 6" BELOW EXISTING CEILING AT EXISTING WALL TO BE REMOVED.
5. EXTEND ACOUSTICAL CEILING GRID AS INDICATED. MATCH EXISTING.
6. NOT USED.
7. EXISTING EXTERIOR SOFFIT TO REMAIN.
8. STAIR TO REMAIN.
9. ELEVATOR TO REMAIN.
10. HEADER PER STRUCTURAL PLAN.
11. EXISTING HEADER TO REMAIN.
12. FINISHES PER FUTURE TI.
13. ACOUSTICAL CEILING TILE TO MATCH BUILDING STANDARD. DROPPED HANGING DRYWALL CLOUD ABOVE CONFERENCE ROOM TABLE WITH 2X2 ACOUSTICAL TILE INSET. ACT TO MATCH EXISTING BUILDING STANDARD. REF. DETAIL XXI/A9.0.

MATERIAL LEGEND:

- ACOUSTICAL CEILING TILE (ACT). REF. DTLS. 12 & 13/A8.0
- EXPOSED EXISTING STEEL JOIST
- 5/8" GYP. BD. FIRE TAPED AND BEDDED ON MTL. FRAME. REF. DTLS. 6 & 11/A8.0.
- A.F.F. ABOVE FINISH FLOOR
- T.O.B. TOP OF BEAM
- B.O.C. BOTTOM OF CEILING
- B.O.S. BOTTOM OF STRUCTURE

NOTE: ALL CEILING HEIGHTS ARE TAKEN FROM THEIR OWN F.F.E.

ELECTRICAL AND MECHANICAL SYMBOL LEGEND

SYMBOL	MARK	DESCRIPTION	MANUFACTURER	MODEL	REMARKS	TYPE
IO	AI	WALL SCNCE	PER OWNER	PER OWNER	--	L
O	BI	4" CAN LIGHT	PER OWNER	PER OWNER	--	L
	CI	2X4 LAY IN	MATCH EXISTING	MATCH EXISTING	--	L
	X	EMERGENCY LIGHT	MATCH EXISTING	MATCH EXISTING	--	L
	Y	EMERGENCY LIGHT	MATCH EXISTING	MATCH EXISTING	--	L
		SUPPLY REGISTER		REF. MECHANICAL DRAWINGS		
		SUPPLY REGISTER		REF. MECHANICAL DRAWINGS		
		EXHAUST FAN		REF. MECHANICAL DRAWINGS		

TYPE: F = FLUORESCENT I = INCANDESCENT L = LED M = METAL HALIDE



Expires 09.30.22

Revisions

THIRD FLOOR REFLECTED CEILING PLAN

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

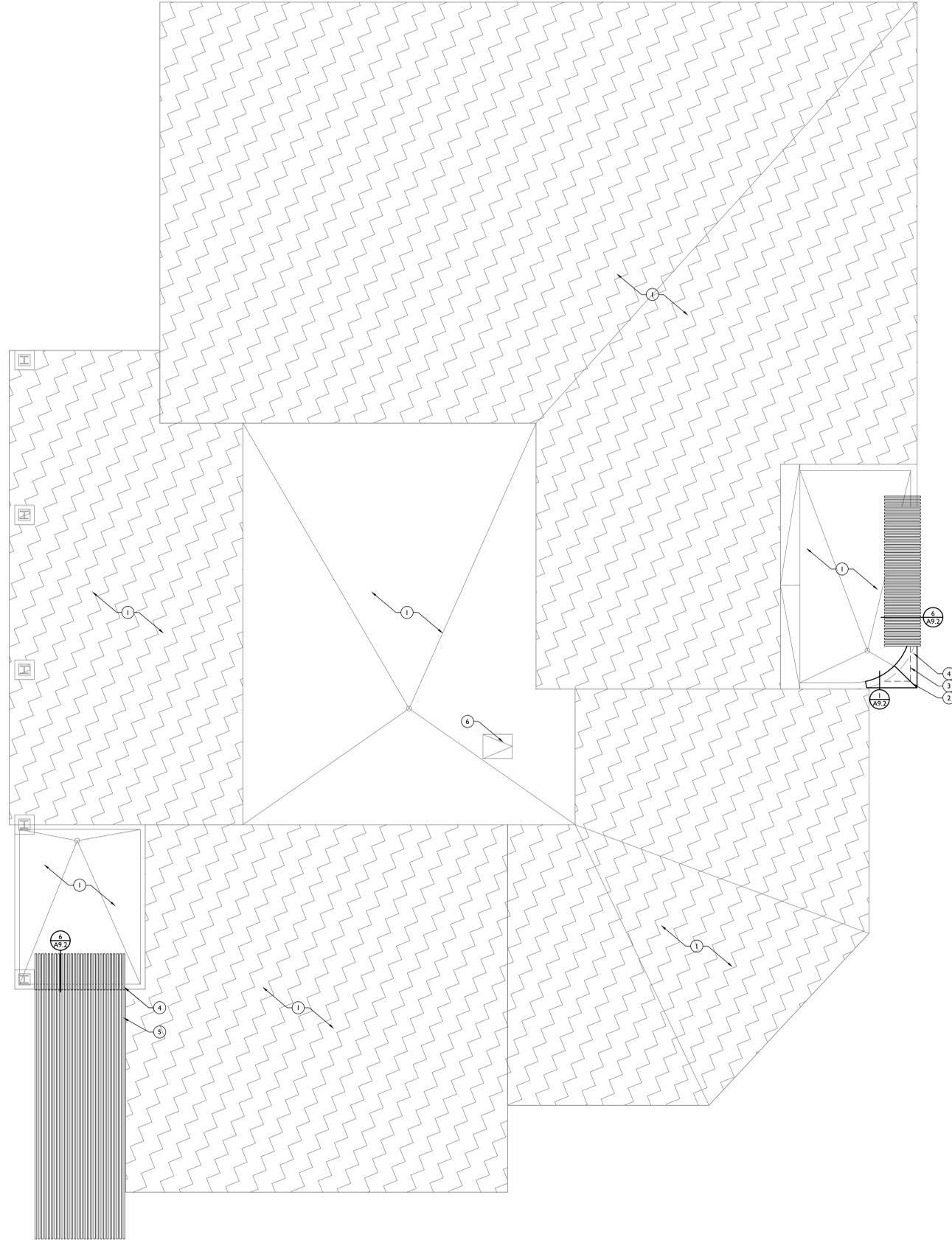
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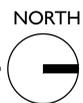


Project 18100
Date 04.10.2020
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Sheet

A3.3



ROOF PLAN
SCALE: 3/16" = 1'-0"



NOTE: DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

ROOF PLAN KEYNOTES: #

1. EXISTING ROOF TO REMAIN.
2. PARAPET CAP EXTEND TO EXISTING PARAPET WALL AS REQUIRED. REF. NOTED DETAIL.
3. METAL STUD WALL BELOW. REF. FLOOR PLAN.
4. STEEL FACADE ELEMENT. REF. ELEVATION, STRUCTURAL SHEETS AND NOTED DETAIL.
5. STEEL CANOPY ELEMENT BELOW. REF. ELEVATION AND STRUCTURAL SHEETS.
6. EXISTING ROOF HATCH TO REMAIN.



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Revisions

ROOF PLAN

FARHANG & MEDCOFF
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TUCSON, AZ 85701

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A4.0



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EXTERIOR ELEVATIONS

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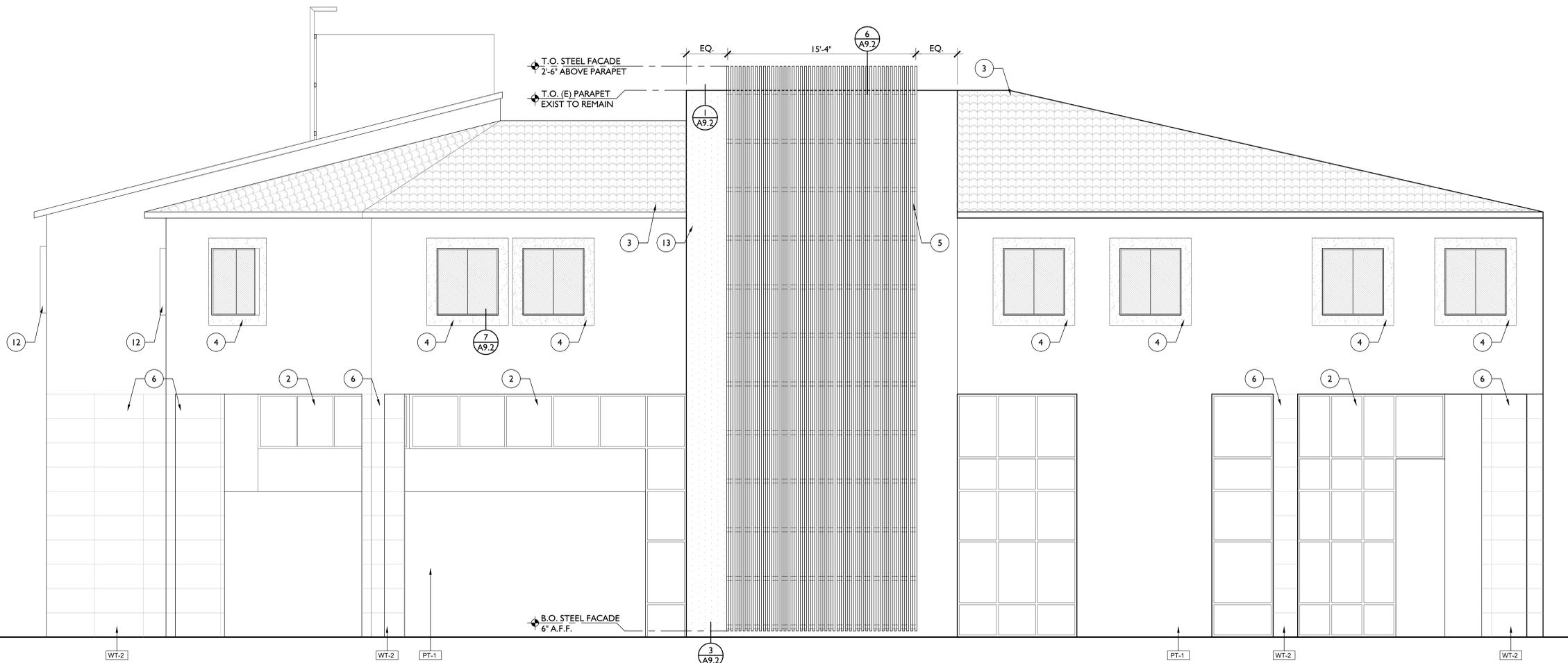
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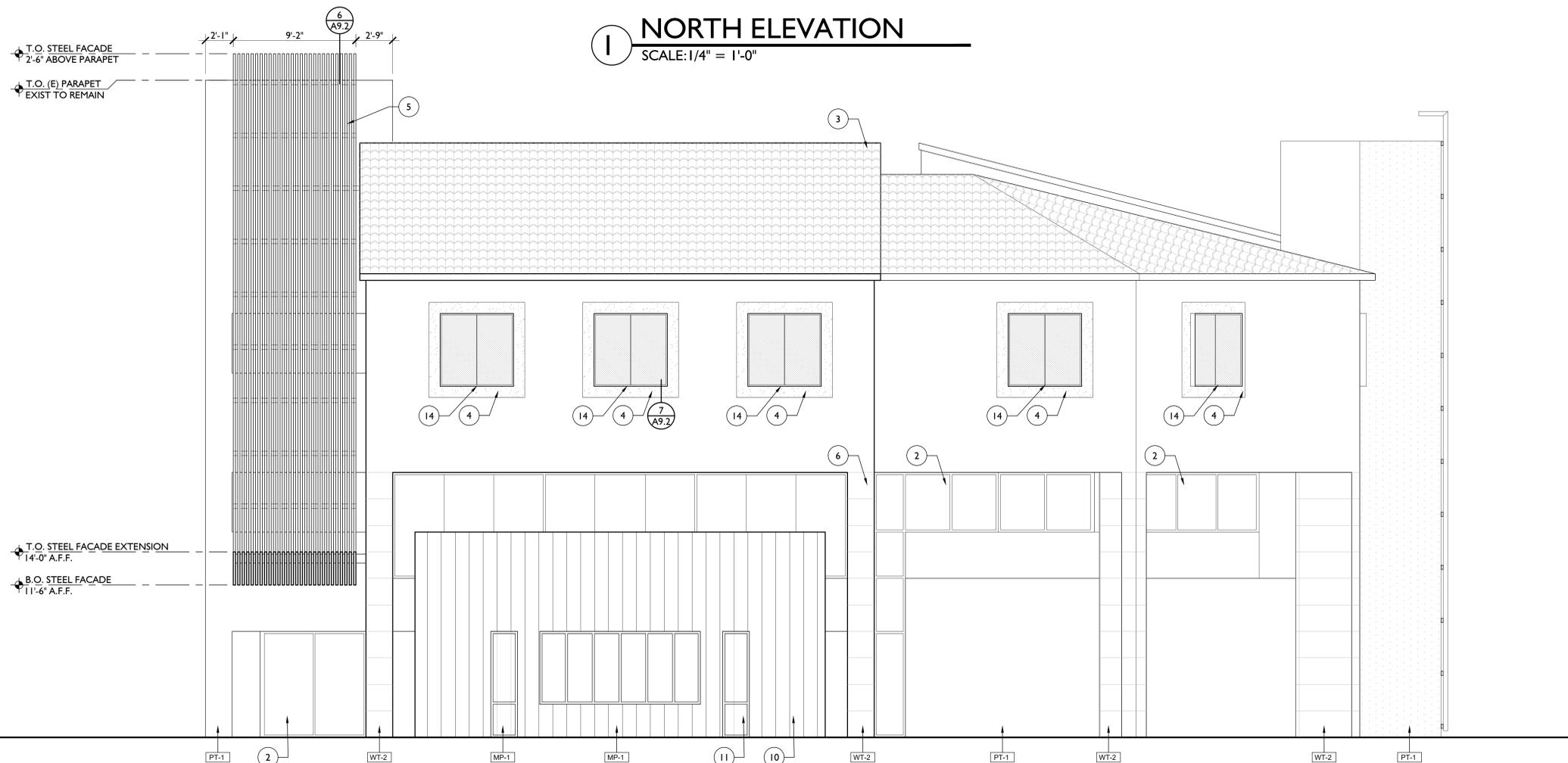


Project 18100
Date 04.10.2020
Scale Noted
Sheet

A5.0



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES:

- EXISTING STUCCO FINISH TO REMAIN, PAINT AS NOTED. REF. FINISH SCHEDULE.
- EXISTING WINDOW SYSTEM TO REMAIN, CLEAN, PATCH AND REPAIR AS REQUIRED.
- EXISTING ROOF TO REMAIN. PATCH AND REPAIR AS REQUIRED.
- REMOVE STUCCO POP OUT AND PROVIDE NEW STUCCO FINISH FLUSH WITH ADJACENT WALL. MATCH ADJACENT TEXTURE AND FINISH, PAINT PER FINISH SCHEDULE.
- SEALED STEEL TUBE FACADE. REF. NOTED DETAIL AND FINISH SCHEDULE. TUBE STEEL SUPPORTS BEHIND AT 4'-0" O.C. MAX. COORDINATE WITH EXISTING OPENINGS AS REQUIRED.
- TILE FINISH, ALIGN WITH EDGE OF SOFFIT FOR FULL TILE AT THE TOP.
- BUILDING SIGNAGE APPROX. LOCATION, VERIFY LOCATION WITH OWNER PRIOR TO ROUGH-IN. SIGNAGE BY SEPARATE PERMIT.
- EXTERIOR LIGHT FIXTURE. REF. ELECTRICAL PLANS.
- PAINTED SHEET METAL PARAPET CAP, PAINT TO MATCH EXTERIOR WALL.
- METAL PANEL FACADE. REF. NOTED DETAILS AND FINISH SCHEDULE.
- PERFORATED METAL PANEL FACADE AT WINDOW REF. NOTED DETAILS AND FINISH SCHEDULE.
- PROVIDE WINDOW SYSTEM. REF. FLOOR PLAN AND WINDOW SCHEDULE.
- STEEL WALL FURR OUT. REF. STRUCTURAL PLAN. PROVIDE STUCCO FINISH TO MATCH EXISTING ADJACENT STUCCO.
- NEW WINDOW IN EXISTING OPENING. REF. FLOOR PLAN AND WINDOW SCHEDULE.

- NOTE:
- REFERENCE MATERIAL FINISHES KEY ON SHEET A8.0. VERIFY ALL FINISHES AND LOCATIONS WITH OWNER PRIOR TO ORDER OR INSTALLATION.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



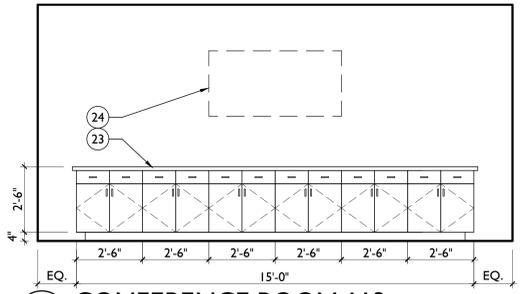
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Revisions

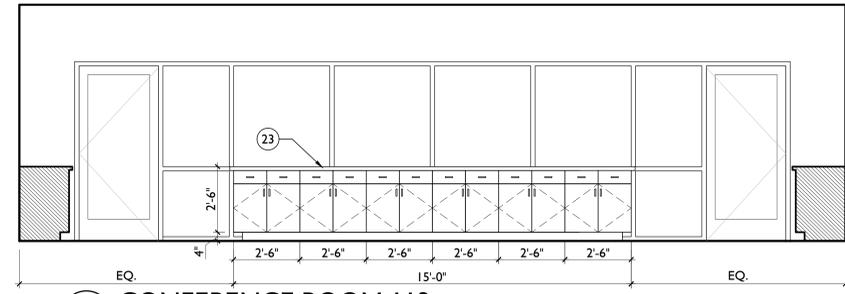
ENLARGED ELEVATION / PLAN KEYNOTES:

- FLOOR MOUNTED TOILET PER PLUMBING PLAN
- 18"W. x 36"H. WALL MOUNTED S.S. FRAME MIRROR
- SURFACE MOUNTED TOILET TISSUE DISPENSER WITH SHELF (BOBRICK B2840) WITH THEFT-RESISTANT SPINDLE (PART NO. 283-604).
- 36" WALL MOUNTED HORIZONTAL GRAB BAR. PROVIDE BLOCKING IN WALL.
- 42" WALL MOUNTED HORIZONTAL GRAB BAR AND 18" WALL MOUNTED VERTICAL GRAB BAR. PROVIDE BLOCKING IN WALL. A.D.A. COMPLIANT ACCESSIBILITY MANEUVERING CLEARANCE, TYP.
- CERAMIC TILE WT-1. PROVIDE BULL NOSE ON TOP EDGE.
- NEW ADA COMPLIANT WALL MOUNT LAVATORY AND FAUCET PER PLUMBING PLAN.
- SEAT COVER DISPENSER, TYP., BOBRICK B-221 OR EQUAL.
- WALL MOUNTED RECESSED PAPER TOWEL DISPENSER / TRASH BIN, BOBRICK B-43944 OR EQUAL.
- SOAP DISPENSER, BOBRICK B-2111 OR EQUAL.
- CERAMIC TILE COVE BASE BT-2, REF. FINISH SCHEDULE.
- WALL MOUNTED SANITARY NAPKIN DISPOSAL (BOBRICK B-270), TYP.
- WALL PER WALL TYPES A2.0.
- WORK HEIGHT COUNTER WITH PARTIAL HEIGHT WALL BELOW.
- DOOR PER DOOR SCHEDULE.
- DUAL SIDED LOWER CABINET.
- WALL MOUNT URINAL PER PLUMBING PLAN.
- GRANITE COUNTERTOP AND BACKSPLASH W/ SINK PER PLUMBING PLANS.
- PRIVACY PARTITION.
- PARTIAL HEIGHT WALL PER PLAN.
- EXISTING PARTIAL HEIGHT WALL BEYOND.
- BASE CABINET, REF. DETAIL SHEET A9.1.
- OWNER PROVIDED TV. PROVIDE BLOCKING IN WALL AS REQUIRED.
- TRANSACTION HEIGHT COUNTER, REF. DETAIL SHEET A9.1.
- HANDRAIL FOR EXISTING RAMP. MATCH BUILDING STANDARD.

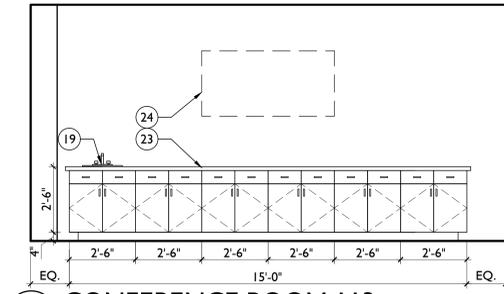
- NOTE:
- SEE SHEET A9.0 FOR STANDARD ACCESSIBILITY DETAILS AND MOUNTING HEIGHTS.
 - USE 1/2" CEMENT BACKER BOARD AT ALL RESTROOMS, UTILITY SINKS AND WET WALLS WHERE TILE IS TO BE INSTALLED OR EQUAL.
 - INSTALL BLOCKING IN WALL AT ALL WALL MOUNTED FIXTURES AND EQUIPMENT. REF. DETAIL SHEET A9.0.



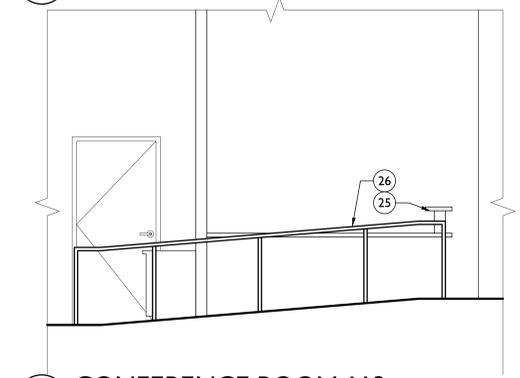
A CONFERENCE ROOM 113
SCALE: 3/8" = 1'-0"



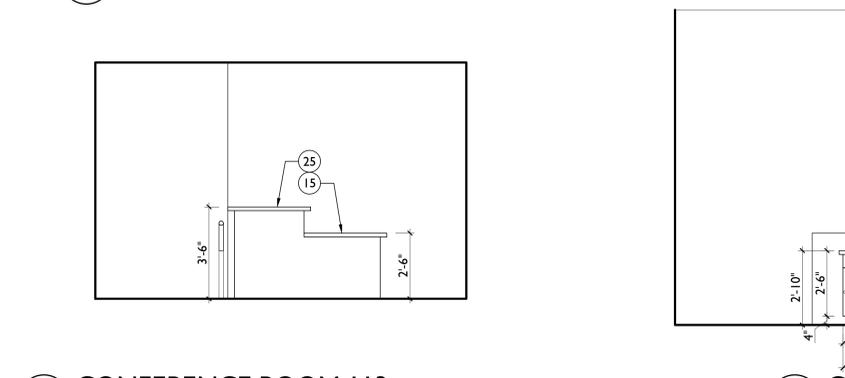
B CONFERENCE ROOM 113
SCALE: 3/8" = 1'-0"



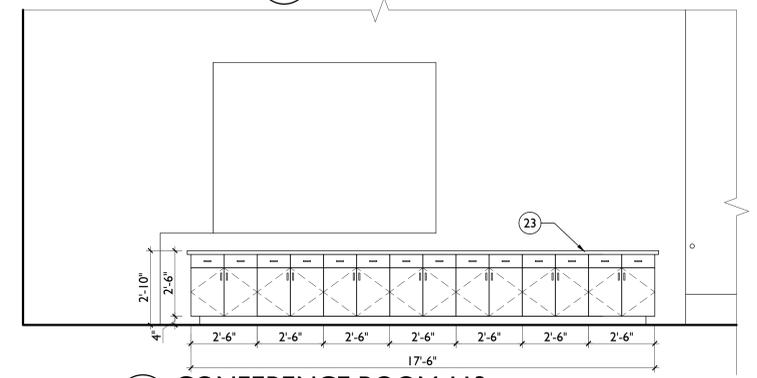
C CONFERENCE ROOM 113
SCALE: 3/8" = 1'-0"



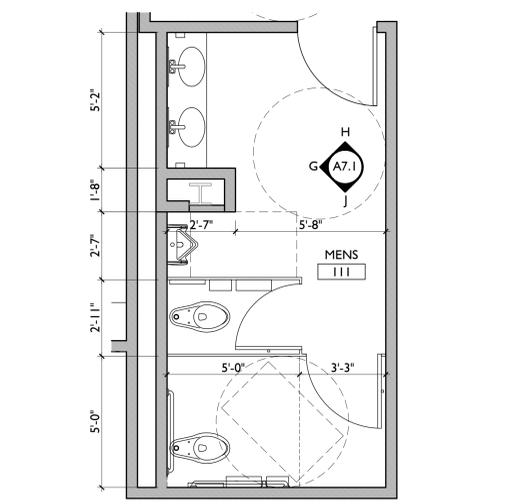
D CONFERENCE ROOM 113
SCALE: 3/8" = 1'-0"



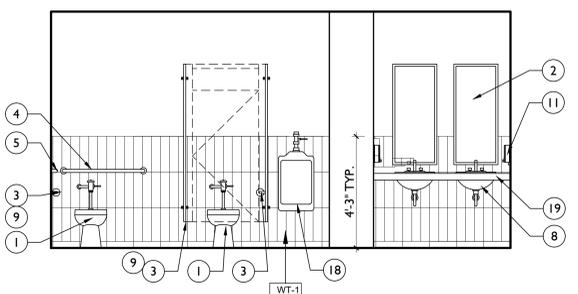
E CONFERENCE ROOM 113
SCALE: 3/8" = 1'-0"



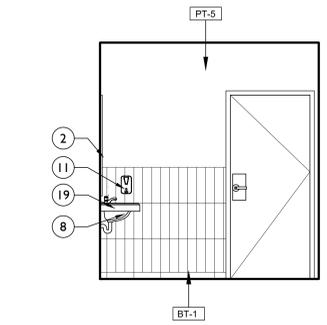
F CONFERENCE ROOM 113
SCALE: 3/8" = 1'-0"



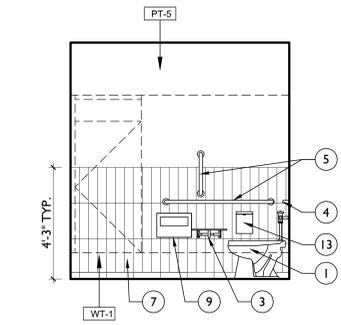
I ENLARGED PLAN MEN'S RESTROOM 111
SCALE: 3/8" = 1'-0"



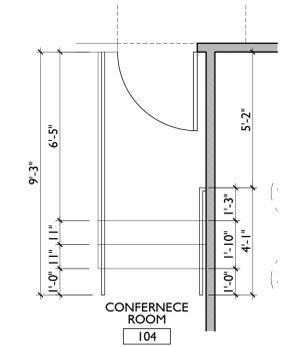
G MENS 111
SCALE: 3/8" = 1'-0"



H MENS 111
SCALE: 3/8" = 1'-0"

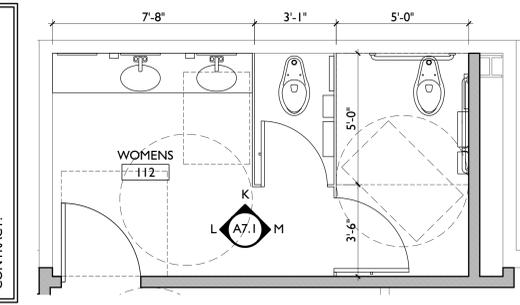


J MENS 111
SCALE: 3/8" = 1'-0"

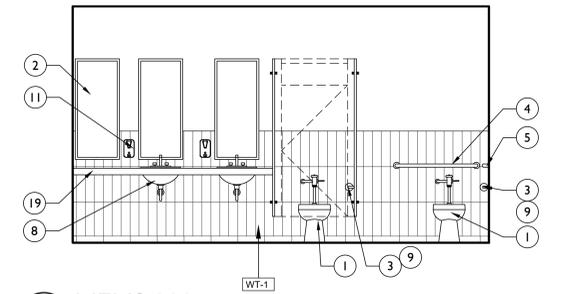


3 ENLARGED PLAN CONFERENCE ROOM 104
SCALE: 3/8" = 1'-0"

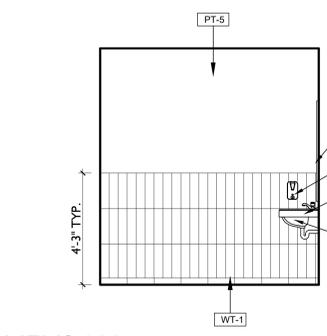
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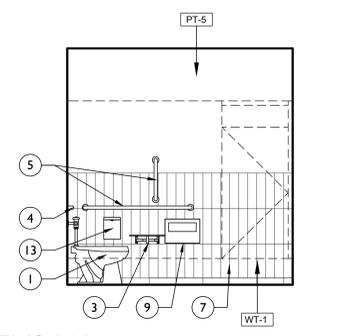
2 ENLARGED PLAN WOMEN'S RESTROOM 112
SCALE: 3/8" = 1'-0"



K MENS 111
SCALE: 3/8" = 1'-0"



L MENS 111
SCALE: 3/8" = 1'-0"



M MENS 111
SCALE: 3/8" = 1'-0"

ENLARGED PLANS
& INTERIOR ELEVATIONS

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

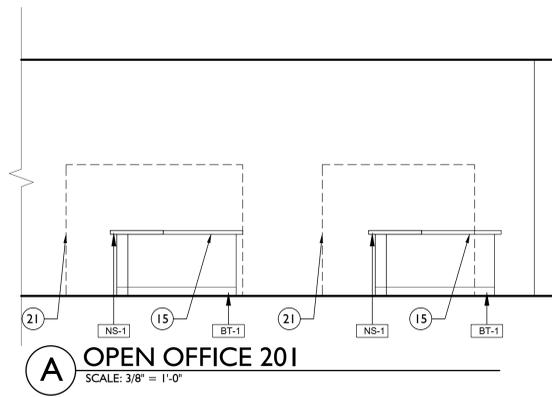
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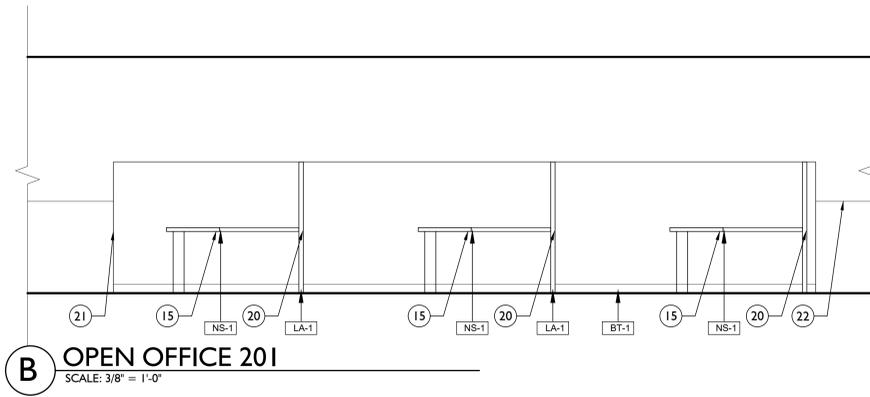


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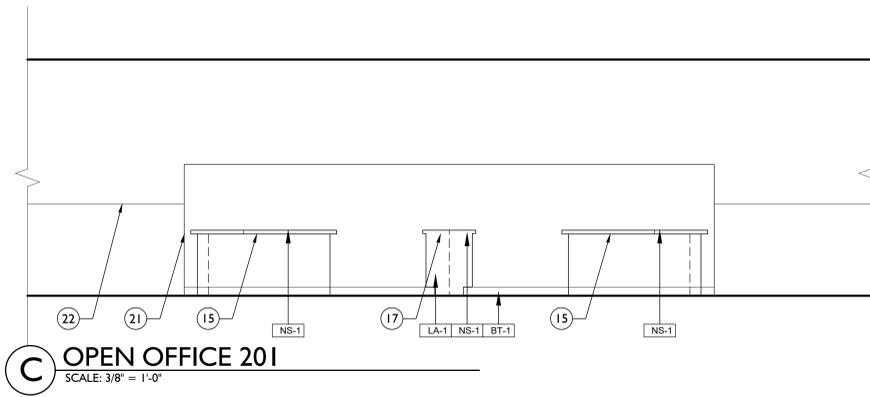
A7.1



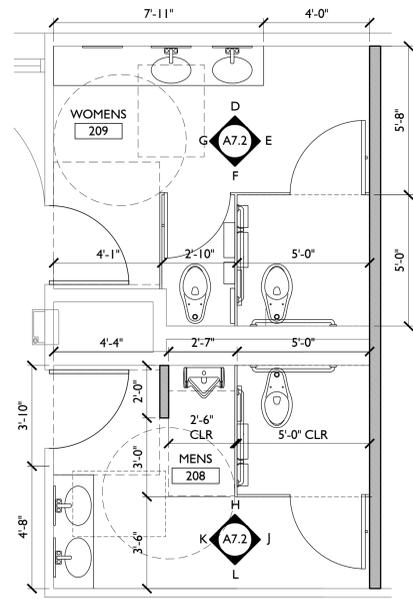
A OPEN OFFICE 201
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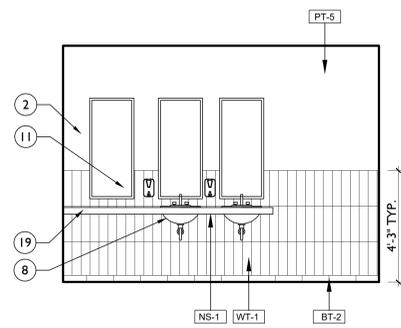
B OPEN OFFICE 201
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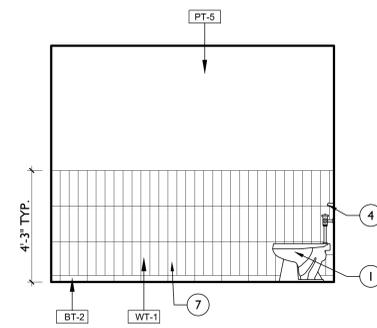
C OPEN OFFICE 201
SCALE: 3/8" = 1'-0"



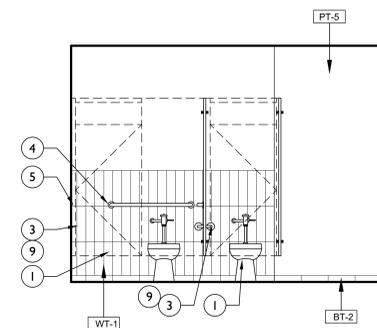
I ENLARGED PLAN MEN'S AND WOMENS RESTROOMS 208,209
SCALE: 3/8" = 1'-0"



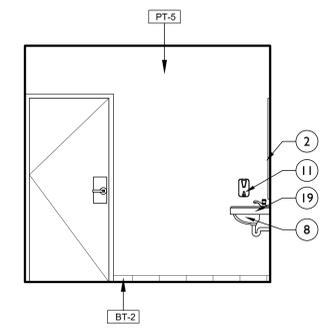
D WOMENS 209
SCALE: 3/8" = 1'-0"



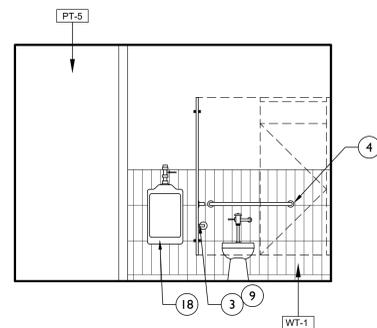
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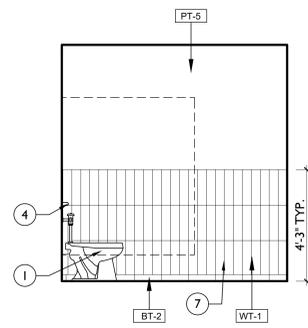
F WOMENS 209
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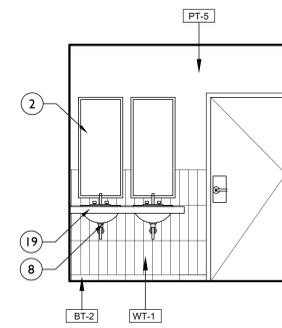
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SCALE: 3/8" = 1'-0"



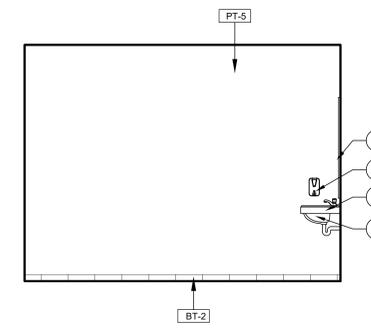
H WOMENS 209
SCALE: 3/8" = 1'-0"



J WOMENS 209
SCALE: 3/8" = 1'-0"



K WOMENS 209
SCALE: 3/8" = 1'-0"



L WOMENS 209
SCALE: 3/8" = 1'-0"

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

ENLARGED ELEVATION / PLAN KEYNOTES:

- FLOOR MOUNTED TOILET PER PLUMBING PLAN
- 18"W. x 36"H. WALL MOUNTED S.S. FRAME MIRROR
- SURFACE MOUNTED TOILET TISSUE DISPENSER WITH SHELF (BOBRICK B2840) WITH THEFT-RESISTANT SPINDLE (PART NO. 283-604).
- 36" WALL MOUNTED HORIZONTAL GRAB BAR. PROVIDE BLOCKING IN WALL.
- 42" WALL MOUNTED HORIZONTAL GRAB BAR AND 18" WALL MOUNTED VERTICAL GRAB BAR. PROVIDE BLOCKING IN WALL.
- A.D.A. COMPLIANT ACCESSIBILITY MANEUVERING CLEARANCE, TYP.
- CERAMIC TILE WT-1. PROVIDE BULL NOSE ON TOP EDGE.
- NEW ADA COMPLIANT WALL MOUNT LAVATORY AND FAUCET PER PLUMBING PLAN.
- SEAT COVER DISPENSER, TYP., BOBRICK B-221 OR EQUAL.
- WALL MOUNTED RECESSED PAPER TOWEL DISPENSER / TRASH BIN, BOBRICK B-43944 OR EQUAL.
- SOAP DISPENSER, BOBRICK B-2111 OR EQUAL.
- CERAMIC TILE COVE BASE BT-2, REF. FINISH SCHEDULE.
- WALL MOUNTED SANITARY NAPKIN DISPOSAL (BOBRICK B-270), TYP.
- WALL PER WALL TYPES A2.0.
- WORK HEIGHT COUNTER WITH PARTIAL HEIGHT WALL BELOW.
- DOOR PER DOOR SCHEDULE.
- DUAL SIDED LOWER CABINET.
- WALL MOUNT URINAL PER PLUMBING PLAN.
- GRANITE COUNTERTOP AND BACKSPLASH W/ SINK PER PLUMBING PLANS.
- PRIVACY PARTITION.
- PARTIAL HEIGHT WALL PER PLAN.
- EXISTING PARTIAL HEIGHT WALL BEYOND.
- BASE CABINET, REF. DETAIL SHEET A9.1.
- OWNER PROVIDED TV. PROVIDE BLOCKING IN WALL AS REQUIRED.
- TRANSACTION HEIGHT COUNTER, REF. DETAIL SHEET A9.1.
- HANDRAIL FOR EXISTING RAMP. MATCH BUILDING STANDARD.

- NOTE:
- SEE SHEET A9.0 FOR STANDARD ACCESSIBILITY DETAILS AND MOUNTING HEIGHTS.
 - USE 1/2" CEMENT BACKER BOARD AT ALL RESTROOMS, UTILITY SINKS AND WET WALLS WHERE TILE IS TO BE INSTALLED OR EQUAL.
 - INSTALL BLOCKING IN WALL AT ALL WALL MOUNTED FIXTURES AND EQUIPMENT. REF. DETAIL SHEET A9.0.



Expires 09.30.22

Revisions

ENLARGED PLANS & INTERIOR ELEVATIONS

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

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A7.2

ENLARGED ELEVATION / PLAN
KEYNOTES:

1. FLOOR MOUNTED TOILET PER PLUMBING PLAN
2. 18"W. x 36"H. WALL MOUNTED S.S. FRAME MIRROR
3. SURFACE MOUNTED TOILET TISSUE DISPENSER WITH SHELF (BOBRICK B2840) WITH THEFT-RESISTANT SPINDLE (PART NO. 283-604).
4. 36" WALL MOUNTED HORIZONTAL GRAB BAR. PROVIDE BLOCKING IN WALL.
5. 42" WALL MOUNTED HORIZONTAL GRAB BAR AND 18" WALL MOUNTED VERTICAL GRAB BAR. PROVIDE BLOCKING IN WALL.
6. A.D.A. COMPLIANT ACCESSIBILITY MANEUVERING CLEARANCE, TYP.
7. CERAMIC TILE WT-1. PROVIDE BULL NOSE ON TOP EDGE.
8. NEW ADA COMPLIANT WALL MOUNT LAVATORY AND FAUCET PER PLUMBING PLAN.
9. SEAT COVER DISPENSER, TYP., BOBRICK B-221 OR EQUAL.
10. WALL MOUNTED RECESSED PAPER TOWEL DISPENSER / TRASH BIN, BOBRICK B-43944 OR EQUAL.
11. SOAP DISPENSER, BOBRICK B-2111 OR EQUAL.
12. CERAMIC TILE COVE BASE BT-2, REF. FINISH SCHEDULE.
13. WALL MOUNTED SANITARY NAPKIN DISPOSAL (BOBRICK B-270), TYP.
14. WALL PER WALL TYPES A2.0.
15. WORK HEIGHT COUNTER WITH PARTIAL HEIGHT WALL BELOW.
16. DOOR PER DOOR SCHEDULE.
17. DUAL SIDED LOWER CABINET.
18. WALL MOUNT URINAL PER PLUMBING PLAN.
19. GRANITE COUNTERTOP AND BACKSPASH W/ SINK PER PLUMBING PLANS.
20. PRIVACY PARTITION.
21. PARTIAL HEIGHT WALL PER PLAN.
22. EXISTING PARTIAL HEIGHT WALL BEYOND.
23. BASE CABINET, REF. DETAIL SHEET A9.1.
24. OWNER PROVIDED TV. PROVIDE BLOCKING IN WALL AS REQUIRED.
25. TRANSACTION HEIGHT COUNTER, REF. DETAIL SHEET A9.1.
26. HANDRAIL FOR EXISTING RAMP. MATCH BUILDING STANDARD.

NOTE:

1. SEE SHEET A9.0 FOR STANDARD ACCESSIBILITY DETAILS AND MOUNTING HEIGHTS.
2. USE 1/2" CEMENT BACKER BOARD AT ALL RESTROOMS, UTILITY SINKS AND WET WALLS WHERE TILE IS TO BE INSTALLED OR EQUAL.
3. INSTALL BLOCKING IN WALL AT ALL WALL MOUNTED FIXTURES AND EQUIPMENT. REF. DETAIL SHEET A9.0.



Expires 09.30.22

Revisions

**ENLARGED PLANS
& INTERIOR ELEVATIONS**

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

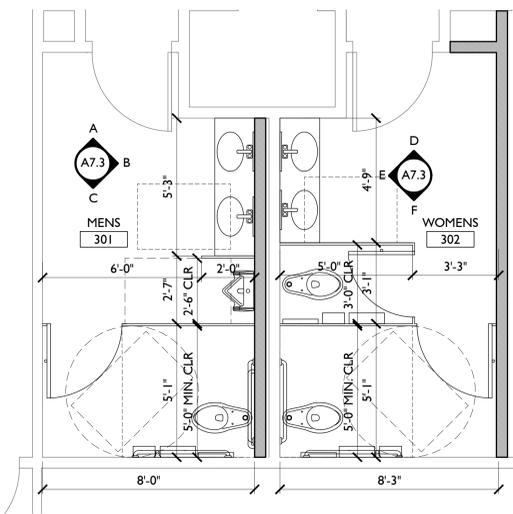
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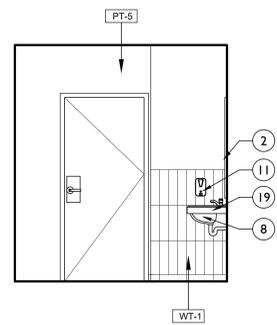


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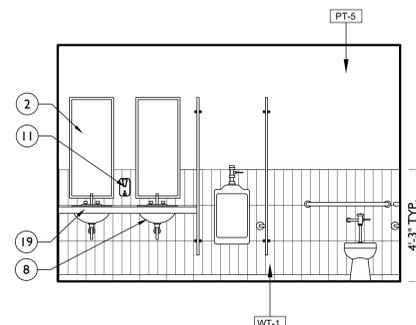
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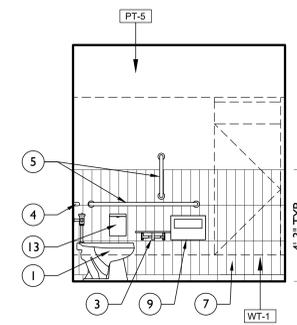
I ENLARGED PLAN MEN'S AND WOMENS RESTROOMS 301,302
SCALE: 3/8" = 1'-0"



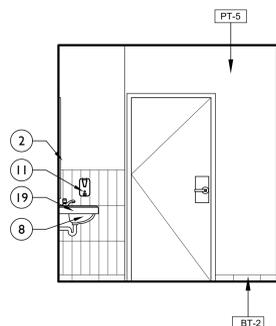
A MENS 301
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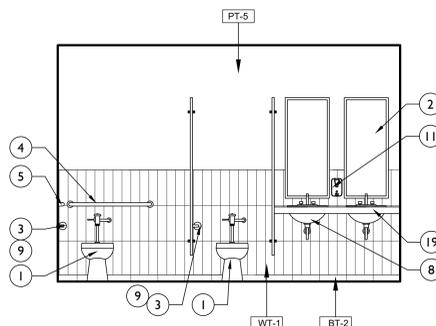
B MENS 301
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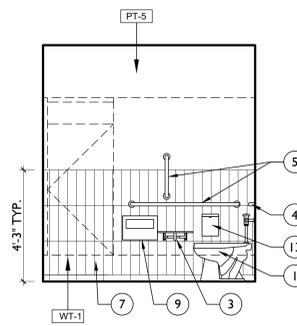
C WOMENS 209
SCALE: 3/8" = 1'-0"



D WOMENS 209
SCALE: 3/8" = 1'-0"



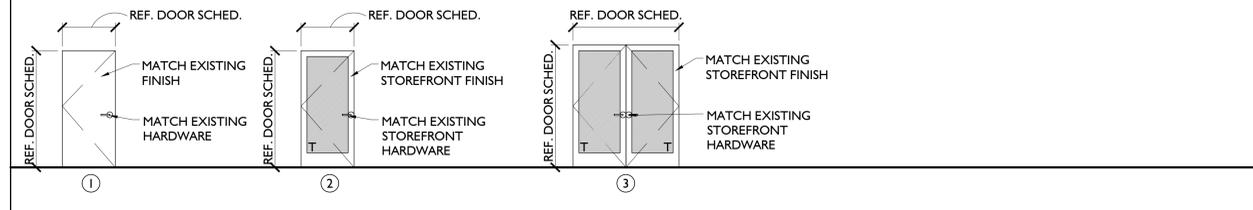
E WOMENS 209
SCALE: 3/8" = 1'-0"



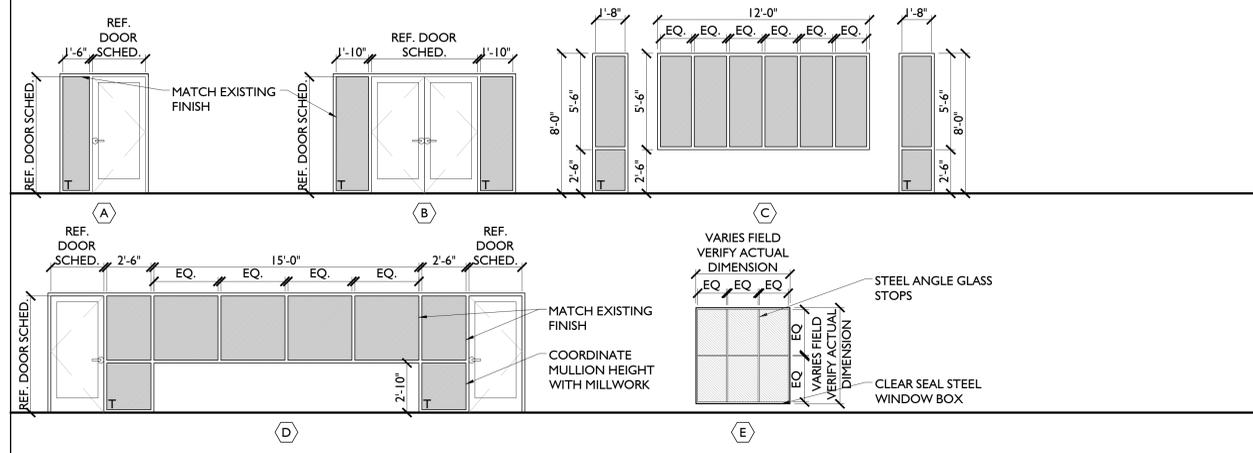
F WOMENS 209
SCALE: 3/8" = 1'-0"

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

DOOR TYPES



WINDOW TYPES



DOOR SCHEDULE

DOOR MARK	OPENING SIZE (W X H)	TYPE	THICK-NESS	CONST	FINISH	GLASS	FRAME	RAT'G (HRS)	SIGN-AGE	NOTES	ROOM	HDWR. SET NO.
102A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	WAITING	4
103A	3'-0" x 6'-8"	2	ME	ME	ME	-	ME	NR	-	-	ELEVATOR LOBBY	4
104A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	CONFERENCE	1
106A	(PR) 3'-0" x 6'-8"	3	ME	ME	ME	-	ME	NR	-	-	RETAIL	4
108A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	HUDDLE	1
111A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	MENS	1
112A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	WOMENS	1
113A	3'-0" x 6'-8"	2	ME	ME	ME	-	ME	NR	-	-	CONFERENCE	1
113B	3'-0" x 6'-8"	2	ME	ME	ME	-	ME	NR	-	-	CONFERENCE	1
116A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	JANITOR	2
117A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	OFFICE	3
202A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	OFFICE	3
203A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	OFFICE	3
208A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	MENS	1
209A	3'-0" x 6'-8"	1	ME	ME	ME	-	ME	NR	-	-	WOMENS	1

* FIELD VERIFY AND MATCH EXISTING

CODE NOTES:

- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXCEPTION: KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT (DOOR AT FRONT OF SPACE) WHEN THE EXIT CONSISTS OF A SINGLE DOOR OR PAIR OF DOORS IF THERE IS READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR STATING 'THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING OCCUPIED'. THE SIGN LETTERS SHALL BE NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND. THE DOOR OR BOTH LEAVES OF A PAIR OF DOORS MUST BE FREE TO SWING WITHOUT OPERATION OF ANY LATCHING DEVICE.
- MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED. WHEN EXIT DOORS ARE USED IN PAIRS AND AUTOMATIC FLUSH BOLT SHALL HAVE NO DOORNOB OR SURFACE-MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPEN.
- SUCH HARDWARE SHALL BE MINIMUM 34" AND 48" ABOVE MAXIMUM ABOVE THE FLOOR OR GROUND. EXCEPTION: LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT. WHEN SWING DOORS ARE FULLY OPEN, THE DOOR SHALL NOT PROJECT MORE THAN SEVEN INCHES INTO THE REQUIRED PASSAGE.
- PROVIDE REQUIRED SIGNAGE AT TOILET FACILITIES TO COMPLY WITH IBC 2012 SECTION 2902.4 AND SECTION 1110 AS WELL AS THE 2010 ADA. SIGNAGE TO BE APPROVED BY OWNER PRIOR TO ORDERING AND INSTALLATION.

HARDWARE GENERAL NOTES:

- ALL HARDWARE TO BE ANSI A117.1 & ADA APPROVED.
- HARDWARE SPECIFICATIONS TO MATCH EXISTING. ARCHITECT TO REVIEW SUBMITTAL.
- IN ACCORDANCE WITH IFC SECTION 1008.1.10, VERIFY ALL EXISTING EXIT DOORS HAVE BEEN PROVIDED WITH PANIC HARDWARE. IF NOT, PROVIDE THE APPROPRIATE PANIC HARDWARE TO MATCH BUILDING STANDARD.
- VERIFY HARDWARE AND LOCKS ON ALL EXISTING DOORS TO REMAIN MEET REQUIREMENTS MODIFY IF NECESSARY.

DOOR HARDWARE SPECIFICATIONS

- HINGES: TO MATCH EXISTING. IF NOT AVAILABLE, PROVIDE ALL HINGES, BB1279 - FULL MORTISE HINGE, BY ABS - AMERICAN BUILDING SUPPLY, INC. OR EQUAL ON ALL SWINGING DOORS.
- SELF CLOSERS: 1461-SERIES CLOSERS BY ABS - AMERICAN BUILDING SUPPLY, INC. OR EQUAL
- DOOR STOPS: F5438 FLOOR DOOR STOP BY ABS - AMERICAN BUILDING SUPPLY, INC. OR EQUAL
- WALL BUMPERS: TO MATCH EXISTING. IF NOT AVAILABLE, PROVIDE WS401 CVX AND CCV WALL BUMPERS ABS - AMERICAN BUILDING SUPPLY, INC. OR EQUAL FOR ALL SWINGING DOORS, WHERE APPLICABLE.
- DOOR SILENCERS: TO MATCH EXISTING. IF NOT AVAILABLE, PROVIDE SR64 DOOR SILENCERS - GRAY COLOR, BY ABS - AMERICAN BUILDING SUPPLY, INC. OR EQUAL.
- BAR PUSH/PULL: TO MATCH EXISTING
- HANDSET / LOCKSET: TO MATCH EXISTING

SET #	Lock	ANSI	USE
1	ND105*	F75	PASSAGE LATCH
2	ND80PD*	F86	STORAGE LOCK
3	ND50PD*	F82	OFFICE LOCK
4	--	F88	ENTRY

* FIELD VERIFY AND MATCH EXISTING

DOOR GENERAL NOTES:

- ALL INTERIOR WOOD DOORS TO MATCH EXISTING BUILDING OR EQUAL BY ARCHITECT. FIELD VERIFY EXACT AMOUNT AND FINAL LOCATIONS.
- DOOR FRAMES TO MATCH EXISTING ADJACENT OR EQUAL APPROVED BY ARCHITECT
- DOORS AND FRAMES SHOULD BE READY FOR SURFACE MOUNTED HARDWARE.
- DOOR SIGNAGE PER IBC SECTION 1110.
- FOR DOOR OPERATION SEE PLANS.
- RE-KEY ALL EXISTING DOORS AS NECESSARY PER OWNER AND TENANT.
- ALL COLORS TO BE VERIFIED BY THE TENANT PRIOR TO PAINTING.

KEY TO ABBREVIATIONS

ME	= MATCH EXISTING	AL	= ALUMINUM	PM	= PRESSED METAL	WD	= SOLID CORE WOOD
STL	= STEEL	FR	= FRAME	WG	= WIRE GLASS	ST	= STAIN WOOD FINISH
SS	= STAINLESS STEEL	GL	= GLASS	G	= GALVANIZED	CR1	= CARPET
HM	= HOLLOW METAL	P	= PAINT	MG	= MIRROR GLASS	WLD	= WELDED HOLLOW METAL
SC	= SOLID CORE	T	= TEMPERED GLASS	NR	= NOT RATED	PLY	= PLYWOOD
FL	= FULL LOUVER	SG	= SAFETY GLASS	BK	= BLACK	V.I.F.	= VERIFY IN FIELD
H.C.	= HOLLOW CORE	KD	= KNOCK DOWN	E	= EXISTING	T.B.D.	= TO BE DETERMINED
SHT. LINUM.	= SHEET LINOLEUM	FRL	= FRAMELESS	CLG	= CLEAR GLASS	O.T.S.	= OPEN TO STRUCTURE
A.F.F.	= ABOVE FINISH FLOOR	N.I.C.	= NOT IN CONTRACT	REF.	= REFERENCE	TYP.	= TYPICAL

MATERIAL FINISH KEY VERIFY ALL FINISHES, LOCATIONS AND QUANTITIES WITH OWNER PRIOR TO ORDERING

MARK	MATERIAL	MANUFACT.	DESCRIPTION	PROVIDED BY	INSTALLED BY
FC-1	CARPET	--	EXISTING CARPET TO REMAIN - PATCH AND REPLACE AS REQUIRED.	GC	GC
FC-2	CERAMIC TILE	DALTILE	12" X24" FLOOR TILE PREMIER GREY ANTIQUE CS05. INSTALL W/ STACK BOND PATTERN PARALLEL WITH LONG ORIENTATION OF ROOM	GC	GC
BT-1	RUBBER BASE	--	EXISTING WALL BASE TO REMAIN - PATCH AND REPLACE AS REQUIRED	GC	GC
BT-2	CERAMIC TILE BASE	DALTILE	3"X12" COVE BASE, FABRIQUE, CRÉME LINEN P686 ALIGN JOINTS WITH WT-1 WHERE OCCURS.	GC	GC
PT-1	PAINT	DUNN EDWARDS OR EQUAL	COLOR: MILK GLASS - EXTERIOR PAINT COLOR	GC	GC
PT-1	PAINT	DUNN EDWARDS OR EQUAL	COLOR: AS SELECTED BY OWNER - MAIN WALL COLOR, EGGSHELL FINISH	GC	GC
PT-2	PAINT	DUNN EDWARDS OR EQUAL	COLOR: AS SELECTED BY OWNER - ACCENT COLOR, EGGSHELL FINISH	GC	GC
PT-3	PAINT	DUNN EDWARDS OR EQUAL	COLOR: AS SELECTED BY OWNER - ACCENT COLOR, EGGSHELL FINISH	GC	GC
PT-5	PAINT	DUNN EDWARDS OR EQUAL	COLOR: MILK GLASS - RESTROOM WALL COLOR SEMIGLOSS FINISH	GC	GC
WT-1	CERAMIC TILE	DALTILE	4" X 16" WALL TILE, FABRIQUE SERIES, CRÉME LINEN P686, UP TO 51" A.F.F., REF. INTERIOR ELEVATIONS, A7.1, A7.2, A7.3. INSTALL W/ VERTICAL ORIENTATION STACK BOND PATTERN	GC	GC
WT-2	CERAMIC TILE	DALTILE	24" X 48" CONSULATE STONE TILE, PREMIER GREY ANTIQUE CS05, UNPOLISHED. INSTALL W/ HORIZONTAL ORIENTATION STACK BOND PATTERN.	GC	GC
TG-1	GROUT	MAPEI OR APPROVED EQUAL	SANDED AT FLOOR TILE, UNSANDED AT WALLS. COLOR: SAHARA BEIGE	GC	GC
ACT	ACOUSTICAL CEILING	--	EXISTING CEILING TILE AND GRID TO REMAIN. PROVIDE NEW TO MATCH EXISTING WHERE REQUIRED.	GC	GC
NS-1	GRANITE	DALTILE OR APPROVED EQ.	GRANITE - NATURAL STONE - STERLING G278	GC	GC
LA-1	MILLWORK LAMINATE	FORMICA OR APPROVED EQ.	MILLWORK LAMINATE - WHITE ASH WITH MATTE FINISH	GC	GC
STL-1	STEEL	--	CLEAR SEAL STEEL MEMBERS, REF. STRUCTURAL PLANS. PROVIDE US COATING MULTIGRIP7000XP VOC PER MANUFACTURER RECOMMENDATIONS	GC	GC
MP-1	METAL PANEL	AEP SPAN OR APPROVED EQ.	SAGE GREEN PRESTIGE SERIES 12" NO REVEAL FLUSH PANEL. PROVIDE PERFORATED PANELS WITH PATTERN #6 AT WINDOWS. REF. BUILDING ELEVATION, A5.0.	GC	GC
RP-1	RESTROOM PARTITION	HADRIAN OR APPROVED EQ.	POWDER COATED STANDARD FLOOR MOUNTED PARTITIONS - CHARCOAL FINISH	GC	GC

NOTE: VERIFY ALL FINISHES, LOCATIONS AND QUANTITIES WITH OWNER PRIOR TO ORDERING.

T = TENANT; GC = GENERAL CONTRACTOR

ROOM FINISH SCHEDULE VERIFY ALL FINISHES, LOCATIONS AND QUANTITIES WITH OWNER PRIOR TO ORDERING

RM. #	ROOM NAME	FLOOR		BASE		WALLS				CEILING				
		MAT.	FIN.	MAT.	FIN.	NORTH	SOUTH	EAST	WEST	MAT.	HEIGHT			
111	MENS	FC-2	-	BT-2	-	WT-1/PT-1	-	WT-1/PT-1	-	WT-1/PT-1	-	GWB	PT-6	9'-0" A.F.F.
112	WOMENS	FC-2	-	BT-2	-	WT-1/PT-1	-	WT-1/PT-1	-	WT-1/PT-1	-	GWB	PT-6	9'-0" A.F.F.
208	MENS	FC-2	-	BT-2	-	WT-1/PT-1	-	WT-1/PT-1	-	WT-1/PT-1	-	GWB	PT-6	9'-0" A.F.F.
209	WOMENS	FC-2	-	BT-2	-	WT-1/PT-1	-	WT-1/PT-1	-	WT-1/PT-1	-	GWB	PT-6	9'-0" A.F.F.
301	MENS	FC-2	-	BT-2	-	WT-1/PT-1	-	WT-1/PT-1	-	WT-1/PT-1	-	GWB	PT-6	9'-0" A.F.F.
302	WOMENS	FC-2	-	BT-2	-	WT-1/PT-1	-	WT-1/PT-1	-	WT-1/PT-1	-	GWB	PT-6	9'-0" A.F.F.

NOTE: ALL ROOMS NOT LISTED TO RECEIVE FC-1, BT-1, ACT AND NEW PAINT, PT-2, PT-3, PT-4 AS SELECTED BY OWNER.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



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Revisions

DOOR AND WINDOW TYPE AND SCHEDULES

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STANDARD BUILDING & ACCESSIBILITY DETAILS

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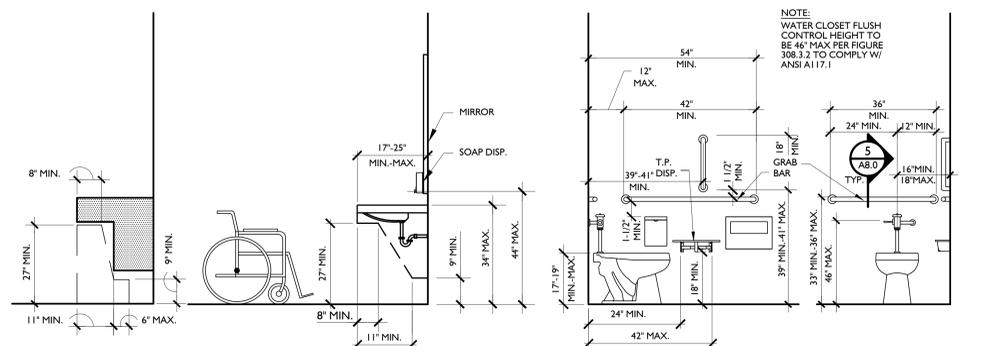


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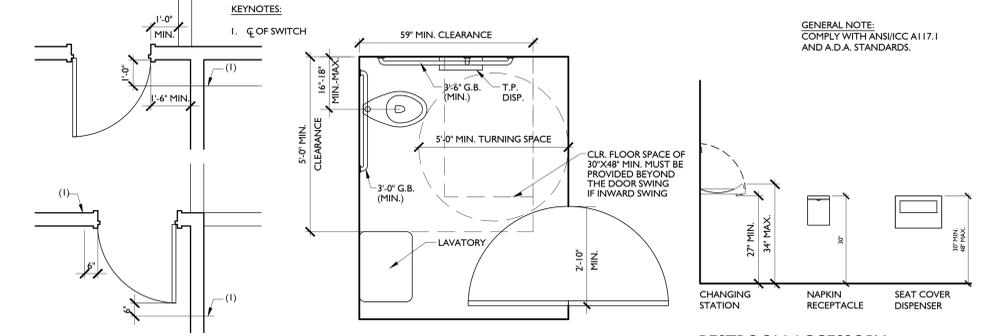
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CS521-3

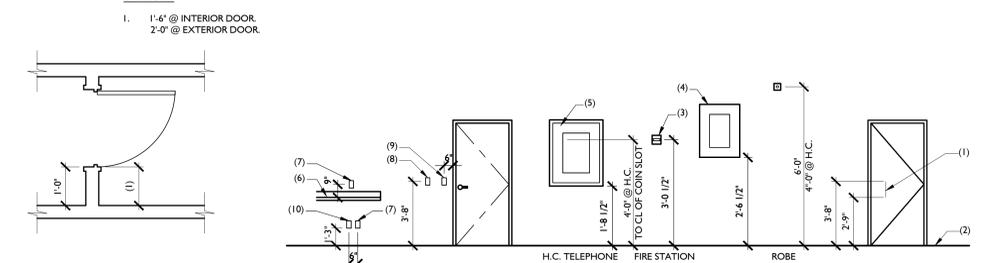
STANDARD ACCESSIBILITY DETAILS AND MOUNTING HEIGHTS



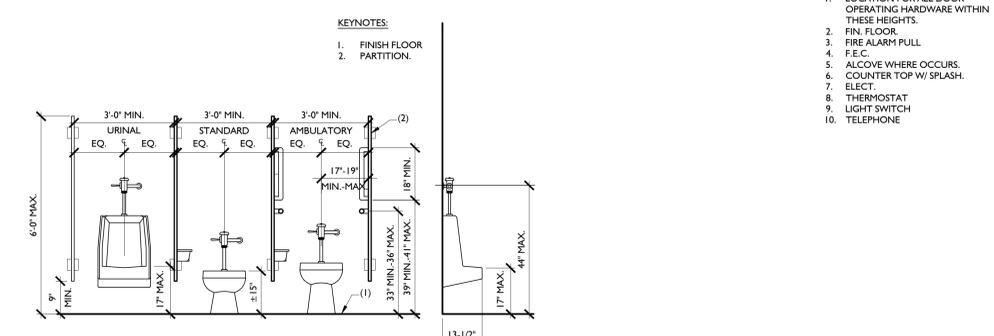
KNEE CLEARANCE **ACCESSIBLE LAVATORY CLEARANCES** **H.C. WATER CLOSET**



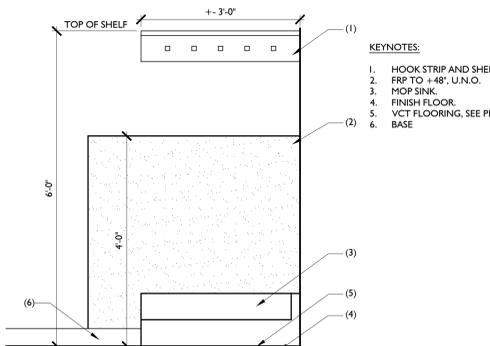
LIGHT SWITCH LOCATIONS **H.C. WATER CLOSET** **RESTROOM ACCESSORY MOUNTING HEIGHTS**



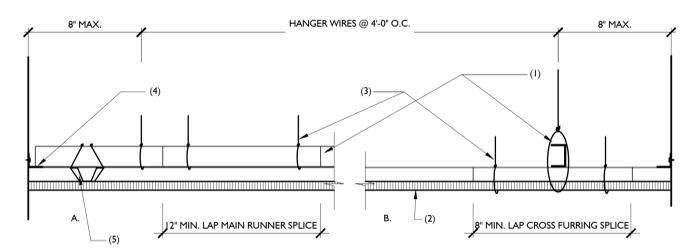
STANDARD DOOR CLEARANCE REQUIREMENT **TYPICAL MOUNTING HEIGHTS WHERE APPLICABLE**



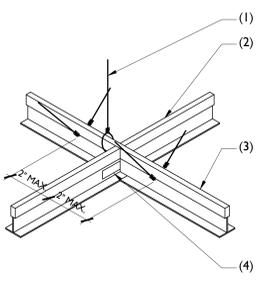
URINAL, STANDARD & AMBULATORY WATER CLOSET **URINAL**



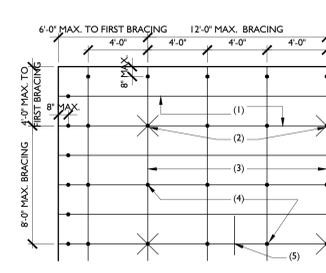
16 MOP SINK
NOT TO SCALE



11 PERIMETER @ GYP. BD. CLG.
N.T.S.



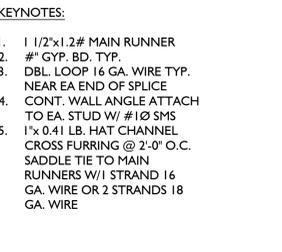
12 ACOUSTIC CLG. CROSS CONNec.
SCALE: 3/4"



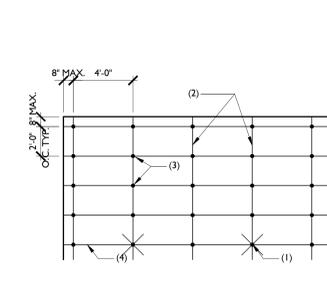
13 DIAGRAMMATIC CLG. PLAN BD. @ LAY-IN ACOUSTIC CLG.
SCALE: 3/4"

14 NOT USED
SCALE: 3/4"

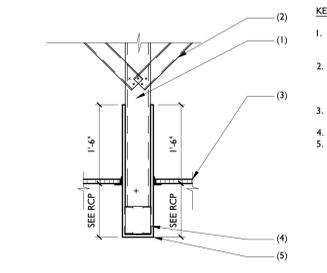
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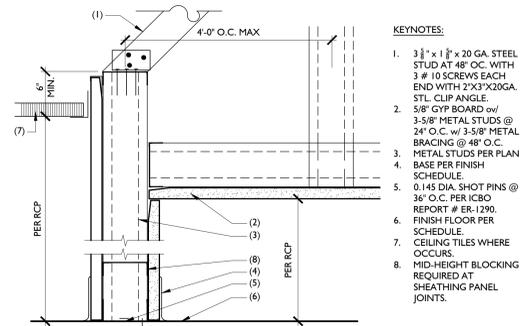
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SCALE: 3/4"



2 STEEL WALL - DOOR OPENING, TYP.
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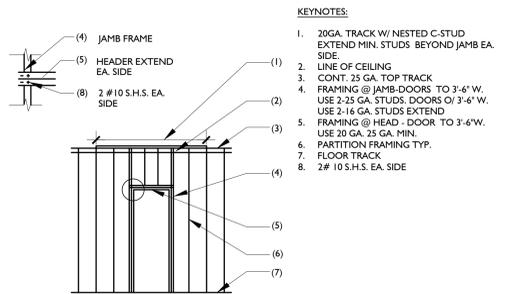


8 HEADER SOFFIT
SCALE: 3/4"

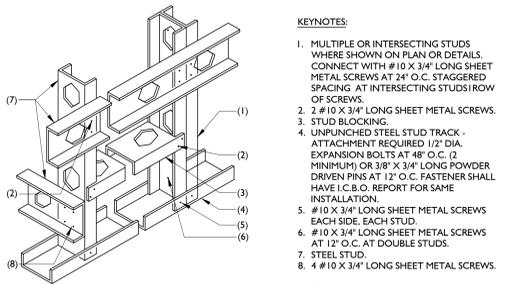


9 FRAME WALL BRACING, TYP.
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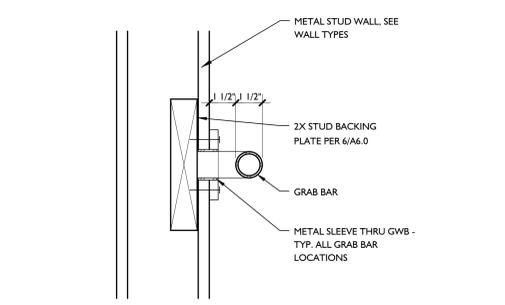
10 NOT USED
SCALE: 3/4"



3 TYPICAL STEEL STUD WALL - SCREW CONNECTION
SCALE: 3/4"



4 STEEL WALL - BACKING PLATE
SCALE: 3/4"



5 GRAB BAR
SCALE: 3" = 1'-0"

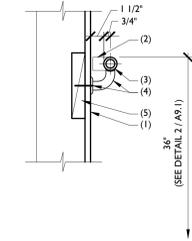
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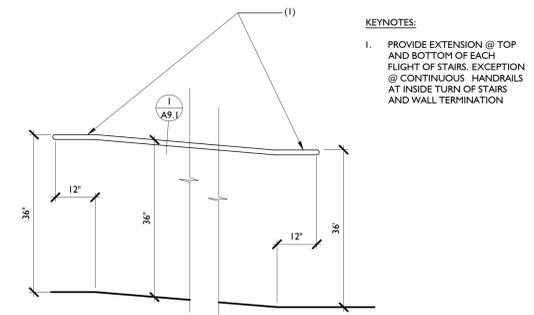
Revisions

- KEYNOTES:**
1. FINISHED WALL SURFACE.
 2. RETURN ENDS TO WALL BEYOND. SEE DETAIL 17 / A2.4.
 3. CUSTOM STEEL HANDRAIL. MINIMUM 1 1/2" O.D.
 4. CUSTOM STEEL BRACKET AT 48" O.C. MAX AND 12" MAX FROM ENDS.
 5. 2X8 BLOCKING. (OMIT AT MASONRY WALL LOCATIONS).



6 NOT USED
1-1/2" = 1'-0"

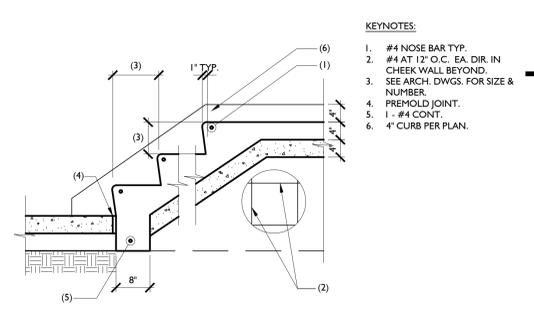
1 INTERIOR HANDRAIL SECTION @ WALL
1-1/2" = 1'-0"
PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION



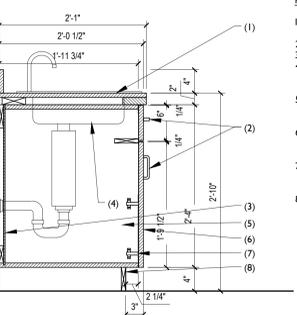
- KEYNOTES:**
1. PROVIDE EXTENSION @ TOP AND BOTTOM OF EACH FLIGHT OF STAIRS. EXCEPTION @ CONTINUOUS HANDRAILS AT INSIDE TURN OF STAIRS AND WALL TERMINATION

7 NOT USED
NOT TO SCALE

2 INTERIOR HANDRAIL @ WALL ELEV.
NOT TO SCALE
PROVIDE SHOP DRAWINGS FOR ARCHITECT APPROVAL PRIOR TO FABRICATION



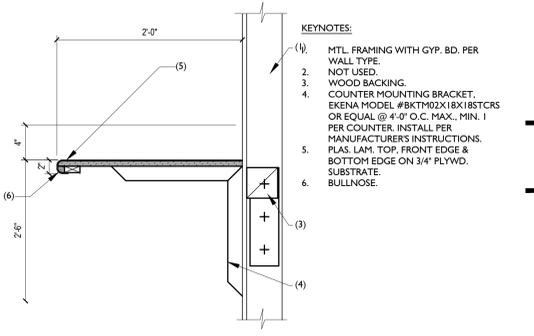
- KEYNOTES:**
1. #4 NOSE BAR TYP.
 2. #4 AT 12" O.C. EA. DIR. IN CHEEK WALL BEYOND.
 3. SEE ARCH. DWGS. FOR SIZE & NUMBER.
 4. PREHOLD JOINT.
 5. 1 - #4 CONT.
 6. 4" CURB PER PLAN.



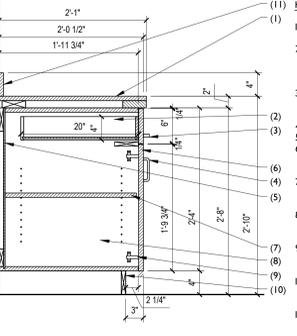
- KEYNOTES:**
1. COUNTERTOP & SPLASH-REF. INTR ELEV AND FINISH SCHEDULE.
 2. PULL: 4" WIRE BRUSHED CHROME.
 3. BACK: 1/4" WHITE VINYL BOARD. SINK & FALCET PER PLUMBING DRAWINGS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 4. CASE: 3/4" WHITE MELAMINE WITH PVC EDGE BAND PER INTR ELEV AND FINISH SCHEDULE.
 5. DOOR: 3/4" PARTICLEBOARD WITH FINISH & PVC EDGE BAND PER INTR ELEV AND FINISH SCHEDULE.
 6. HINGE: BLUM #77M5580 (125° SELF-CLOSING FULL OVERLAY) BASE PLATE #175L8100.
 7. TOEKICK: 3/4" PARTICLEBOARD WITH FINISH PER INTR ELEV AND FINISH SCHEDULE.

8 TYPICAL BASE CABINET W/ SINK
SCALE: 1" = 1'-0"

3 TYP. CONCRETE STAIR
SCALE: 3/4"



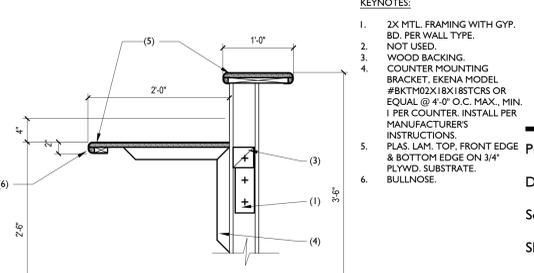
- KEYNOTES:**
1. MTL. FRAMING WITH GYP. BD. PER WALL TYPE.
 2. NOT USED.
 3. WOOD BACKING.
 4. COUNTER MOUNTING BRACKET. EKENA MODEL #BKT M2X18X18TCS OR EQUAL @ 4'-0" O.C. MAX., MIN. 1 PER COUNTER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 5. PLAS. LAM. TOP, FRONT EDGE & BOTTOM EDGE ON 3/4" PLYWD. SUBSTRATE.
 6. BULLNOSE.



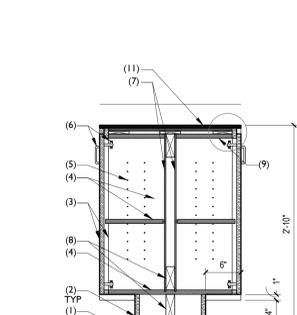
- KEYNOTES:**
1. COUNTERTOP & SPLASH (WHERE OCCURS); REF. INTR ELEV AND FINISH SCHEDULE.
 2. DRAWER BOX: 1/2" WHITE MELAMINE SIDES, 1/4" WHITE MELAMINE BOTTOM W/ PVC EDGE BAND. DRAWER SLIDES: ACCURIDE #2132 SLIDE 30" LONG.
 3. DRAWER FRONT: 3/4" PARTICLE BOARD WITH FINISH PER INTR ELEV AND FINISH SCHEDULE & PVC EDGE BAND TO MATCH PL-1.
 4. BACK: 1/4" WHITE VINYL BOARD.
 5. DOOR: 3/4" PARTICLE BOARD WITH FINISH PER INTR ELEV AND FINISH SCHEDULE & PVC EDGE BAND TO MATCH FINISH PER INTR ELEV AND FINISH SCHEDULE.
 6. ADJUSTABLE SHELF: 3/4" WHITE MELAMINE WITH PVC EDGE BAND TO MATCH FINISH PER INTR ELEV AND FINISH SCHEDULE.
 7. CASE: 3/4" WHITE MELAMINE AT INTERIOR WITH PVC EDGE BAND TO MATCH FINISH PER INTR ELEV AND FINISH SCHEDULE.
 8. HINGE: BLUM #77M5580 (125° SELF-CLOSING FULL OVERLAY) BASE PLATE #175L8100.
 9. TOEKICK: 3/4" PARTICLE BOARD WITH FINISH PER INTR ELEV AND FINISH SCHEDULE.
 10. REF. INTERIOR ELEVATIONS FOR WHERE BACKSPLASH OCCURS.
 - 11.

9 TYPICAL BASE CABINET
SCALE: 1" = 1'-0"

4 COUNTERTOP AT FULL WALL
NOT TO SCALE



- KEYNOTES:**
1. 2X MTL. FRAMING WITH GYP. BD. PER WALL TYPE.
 2. NOT USED.
 3. WOOD BACKING.
 4. COUNTER MOUNTING BRACKET. EKENA MODEL #BKT M2X18X18TCS OR EQUAL @ 4'-0" O.C. MAX., MIN. 1 PER COUNTER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 5. PLAS. LAM. TOP, FRONT EDGE & BOTTOM EDGE ON 3/4" PLYWD. SUBSTRATE.
 6. BULLNOSE.



- KEYNOTES:**
1. FINISH FLOOR.
 2. TOE KICK.
 3. SOLID PANEL CABINET FRONT AND DOOR WITH FINISH PER INTR ELEV AND FINISH SCHEDULE.
 4. 3/4" MELAMINE BOARD.
 5. 1/4" DIA. ADJ. SHELF PINS.
 6. HINGE AND PULL.
 7. 1/4" MELAMINE BOARD.
 8. 2x WOOD FRAME AS REQUIRED.
 9. 1x WOOD FRAME AS REQUIRED.
 10. 1/2" PLYWOOD SUB BASE.
 11. COUNTERTOP PER INTR ELEV AND FINISH SCHEDULE.

10 OPEN OFFICE MILLWORK
SCALE: 1" = 1'-0"

5 COUNTERTOP WITH TRANS. COUNTER
NOT TO SCALE

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A9.1

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Expires 09.30.22
Revisions

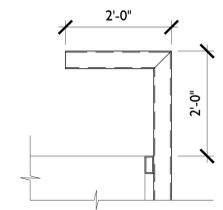
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ARCHITECTURAL DETAILS

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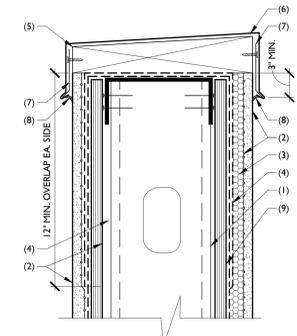
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A9.2

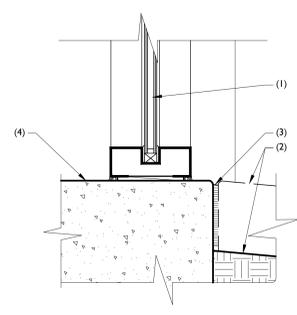


6 STEEL FACADE AT PARAPET
3" = 1'-0"



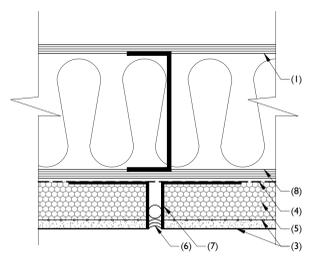
1 PARAPET CAP
3" = 1'-0"

- KEYNOTES:**
1. CONTINUOUS METAL TRACK/ METAL FRAMING PER PLAN.
 2. STUCCO FINISH OVER METAL LATH PER WALL TYPE.
 3. RIGID INSULATION PER WALL TYPE.
 4. PEEL AND STICK WATER PROOF MEMBRANE TO EXTEND OVER AND DOWN PARAPET WALL 12" MIN. EACH SIDE.
 5. 2" PRESSURE TREATED SLOPED WOOD BLOCKING.
 6. CONTINUOUS SHEET METAL PARAPET CAP SET IN MASTIC.
 7. CONTINUOUS GLEAT.
 8. CONTINUOUS SEALANT JOINT.
 9. PLYWOOD SHEATHING WITH MINIMUM R-19 BATT INSULATION WHERE INDICATED.



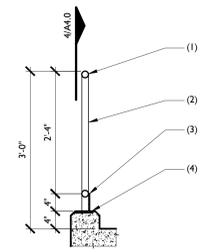
7 STOREFRONT AT SLAB
N.T.S.

- KEYNOTES:**
1. WINDOW SYSTEM W/ SHIM AND CAULK W/ BACKER ROD ALL SIDES AT CONCRETE.
 2. FINISHED GRADE OR SIDEWALK PER PLAN.
 3. EXPANSION JOINT (WHERE APPLICABLE).
 4. FINISHED FLOOR / SLAB



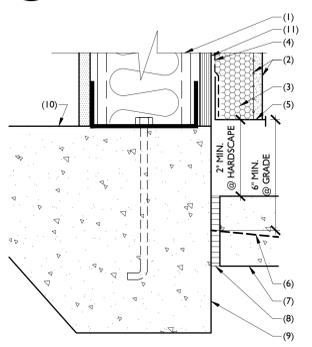
2 STUCCO EXPANSION JOINT, TYP.
3" = 1'-0"

- KEYNOTES:**
1. CONTINUOUS METAL FRAMING PER PLAN.
 2. NOT USED.
 3. STUCCO FINISH OVER METAL LATH PER WALL TYPE.
 4. WATERPROOF MEMBRANE PER WALL TYPE.
 5. RIGID INSULATION PER WALL TYPE.
 6. BACKER ROD AND SEALANT.
 7. EDGE CASING PER STUCCO SYSTEM MANUFACTURER.
 8. PLYWOOD SHEATHING WITH MINIMUM R-19 BATT INSULATION WHERE INDICATED.



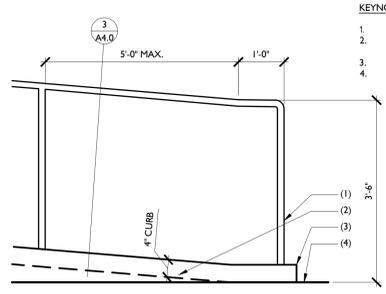
8 SECTION @ HANDRAIL
3/4" = 1'-0"

- KEYNOTES:**
1. 1 1/2" STANDARD PIPE TOP & INTERMEDIATE RAILS - FULLY WELD ALL INTER. SECTIONS.
 2. 1 1/2" STANDARD PIPE SUP. PORT @ 5'-0" O.C. MAX.
 3. CONT. 4"x4"x1/4" STEEL PLATE BASE.
 4. WELD PIPE SUPPORT TO 4"x4" STEEL PLATE W/ 2 - 1/2" DIA. STUDS EMBEDDED IN CONCRETE PIPE SUPPORTS NOT TO EXCEED 5'-0" O.C.



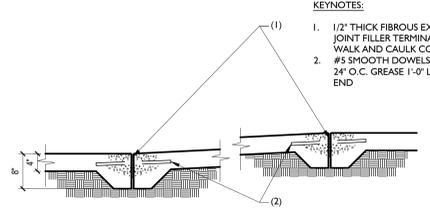
3 STUCCO TERMINATION
3" = 1'-0"

- KEYNOTES:**
1. CONTINUOUS METAL TRACK/ METAL FRAMING PER PLAN.
 2. STUCCO FINISH OVER METAL LATH PER WALL TYPE.
 3. RIGID INSULATION PER WALL TYPE.
 4. WATERPROOF MEMBRANE PER WALL TYPE.
 5. WEEP SCREED PER STUCCO W/FR.
 6. FINISH GRADE WHERE OCCURS.
 7. HARDSCAPE WHERE OCCURS.
 8. FIBROUS EXPANSION JOINT AT HARDSCAPE.
 9. CMU STEM WALL PER STRUCTURAL PLANS.
 10. CONCRETE FLOOR SLAB PER STRUCTURAL PLANS.
 11. PLYWOOD SHEATHING WITH MINIMUM R-19 BATT INSULATION WHERE INDICATED.



9 HANDRAIL @ RAMP ELEVATION
3/4" = 1'-0"

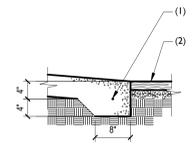
- KEYNOTES:**
1. 1-1/2" O.D. PIPE HANDRAIL.
 2. CONCRETE RAMP, SLOPE 1:12 MAX.
 - 4" CONCRETE CURB.
 4. ASPHALT PAVING.



4 TYPICAL RAMP AND WALKS
NTS

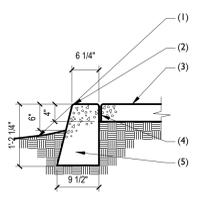
- KEYNOTES:**
1. 1/2" THICK FIBROUS EXPANSION JOINT FILLER TERMINATE BELOW WALK AND CAULK CONTINUOUS
 2. #5 SMOOTH DOOWELS 2'-0" LONG 24" O.C. GREASE 1'-0" LENGTH @ C END

NOTE:
FOR RAMP ONLY



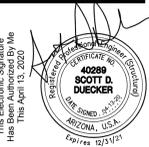
10 CONCRETE RAMP
3/4" = 1'-0"

- KEYNOTES:**
1. #4 CONTINUOUS
 2. ADJACENT PAVING



5 CURB @ SIDEWALK
NTS

- KEYNOTES:**
1. FINISH GRADE
 - 3/8" RADIUS
 - 4-1/2" CONCRETE SIDEWALK
 - 1/2" THICK FIBROUS EXPANSION JOINT FILLER TERMINATE 1/2" BELOW TO OF WALK AND CAULK JOINT CONTINUOUS.
 - CONCRETE CURB.



Revisions

GENERAL STRUCTURAL NOTES

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Project 18100
Date 04.13.20
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Sheet

SI.0

JOB: 20016

GENERAL STRUCTURAL NOTES

- A. DESIGN CRITERIA:**
- DESIGN CODE: 2018 INTERNATIONAL BUILDING CODE, WITH LOCAL AMENDMENTS.
 - RISK CATEGORY: II
 - EXISTING ROOF DEAD LOAD: 64 PSF
 - EXISTING FLOOR DEAD LOAD: 71 PSF
 - ROOF LIVE LOAD: 20 PSF (REDUCIBLE)
 - FLOOR LIVE LOAD: 80 PSF (REDUCIBLE)
 - STAIR LIVE LOAD: 100 PSF
 - RAIN INTENSITY: 1.3 INHR
 - SNOW DESIGN: GROUND SNOW LOAD: 0 PSF
 - WIND DESIGN: BASIC DESIGN WIND SPEED, V: 105 MPH
ALLOWABLE STRESS DESIGN WIND SPEED, V_{allow}: 82 MPH
WIND EXPOSURE: C
INTERNAL PRESSURE COEFFICIENT (GCp): +0.18
COMPONENTS & CLADDING:
ZONE 1: 30.6 PSF
ZONE 2: 41.5 PSF
ZONE 3: 50.6 PSF
ZONE 4: 31.6 PSF
ZONE 5: 36.9 PSF
 - SEISMIC DESIGN:
SEISMIC IMPORTANCE FACTOR, I_e: 1.0
S_s: 0.270, S_v: 0.077
SITE CLASS: D
ρ_{vs}: 0.285, ρ_{vs}: 0.123
SEISMIC DESIGN CATEGORY: B

WIND AND SEISMIC LOADS ARE ULTIMATE STRENGTH DESIGN LIMIT STATES PER ASCE 7-16, U.N.O.

- B. GENERAL:**
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OR SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO: BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SCAFFOLDING, BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS. THE STRUCTURAL ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, NOR WILL THE STRUCTURAL ENGINEER BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE SITE CONDITIONS WITH THE DRAWINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES AND OMISSIONS SHALL BE RESOLVED WITH THE ARCHITECT. DO NOT USE SCALED DIMENSIONS.
 - CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOFS SO AS NOT TO EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
 - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.
 - WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN. WHERE NO SPECIFIC DETAIL IS SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT. FOR BIDDING PURPOSES, WHERE ANY MEMBER OR STRUCTURAL ELEMENT IS SHOWN BUT NOT CALLED OUT ON THE PLANS OR DETAILS, THE LARGEST SIMILAR MEMBER OR ELEMENT USED IN THE PROJECT SHALL BE UTILIZED.
 - REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL DRAWINGS FOR LOCATION AND DETAILS OF BLOCKOUTS, INSERTS AND OPENINGS, CURBS, EQUIPMENT BASES AND PADS, SITE WORK ITEMS, ETC. AND DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
 - APPROVED EQUAL OPTIONS ARE FOR THE CONTRACTOR'S CONVENIENCE. IF AN OPTION IS CHOSEN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY AND COORDINATION OF ALL DETAILS.
 - ALL DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS, WHETHER SPECIFICALLY INDICATED OR NOT. TYPICAL DETAILS MAY OR MAY NOT BE FLAGGED ON THE DRAWINGS, BUT SHALL APPLY UNLESS NOTED OTHERWISE.

- C. INSTRUCTIONS TO BIDDERS AND CONTINGENCIES:**
- UNDER NO CIRCUMSTANCES SHALL THESE DRAWINGS BE "FINAL BID" UNTIL THE PROJECT IS FULLY PERMITTED.
 - ALL PRELIMINARY PRICING EFFORTS SHALL BE CONSIDERED TO BE ESTIMATES ONLY AND SHALL INCLUDE THE NECESSARY CONTINGENCIES, ALLOWANCES, ALTERNATES, ETC. AS APPROPRIATE TO ACCOUNT FOR MODIFICATIONS AND ADDITIONS THAT WILL OCCUR TO THE DRAWINGS DURING THE FINALIZATION OF THE DESIGN AND PERMITTING.
 - THE GENERAL CONTRACTOR SHALL UTILIZE THE FOLLOWING MINIMUM CONTINGENCIES FOR EACH OF THE STRUCTURAL ELEMENT COSTS TO BE USED AT THE SOLE DISCRETION OF THE STRUCTURAL ENGINEER:
a. CONSTRUCTION DOCUMENTS/FINAL BID - 3% MINIMUM
b. THE CONTINGENCY FOR EACH STRUCTURAL ELEMENT COST SHALL BE CLEARLY SHOWN AS A LINE ITEM IN THE GENERAL CONTRACTOR'S FINAL BID AND/OR COST ESTIMATE. ALL OF THE "FINAL BID" CONTINGENCIES NOT USED BY THE STRUCTURAL ENGINEER SHALL BE REFUNDED TO THE OWNER PRIOR TO CLOSEOUT OF THE PROJECT.
 - ANY MODIFICATIONS, DELETIONS OR ELIMINATIONS TO THE STRUCTURAL BIDDING AND CONTINGENCY REQUIREMENTS, WITHOUT THE CONSENT OF THE STRUCTURAL ENGINEER, SHALL AUTOMATICALLY INDEMNIFY THE STRUCTURAL ENGINEER OF ANY COSTS THAT MAY ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT.
 - WHERE DISCREPANCIES OCCUR WITHIN THE DRAWINGS, THE CONTRACTOR WILL EITHER RESOLVE THE DISCREPANCIES WITH THE ARCHITECT BEFORE BIDDING OR INCLUDE THE GREATER COST ITEM IN THE BID AND RESOLVE THE DISCREPANCY PRIOR TO CONSTRUCTION.

- D. LIMITATION OF LIABILITY:**
- THE STRUCTURAL ENGINEER IS NOT LIABLE FOR ANY ASPECTS OF THE STRUCTURE WHICH ARE NOT SPECIFICALLY SHOWN ON THE STRUCTURAL DOCUMENTS. IN THE EVENT A BUILDING ELEMENT IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE TO INFORM THE ENGINEER SO THAT THE ENGINEER CAN PROVIDE THE DESIGN.
 - ALL IMPOSED LOADS, WHICH EXCEED THE FOLLOWING LIMITATIONS, ARE NOT ALLOWED WITHOUT SPECIFIC APPROVAL FROM THE STRUCTURAL ENGINEER UNLESS

- SUCH LOADS ARE SPECIFICALLY SHOWN ON THE STRUCTURAL DOCUMENTS. SUCH LOADS INCLUDE, BUT ARE NOT LIMITED TO: LIGHTS, SOFFITS, PARTITIONS, MECHANICAL EQUIPMENT, PROCESS PIPING, MECHANICAL PIPING, ELECTRICAL EQUIPMENT, CEILING FEATURES, ETC. THE FOLLOWING ARE MAXIMUM IMPOSED CONCENTRATED LOADS THAT CAN BE APPLIED TO THE INDIVIDUAL MEMBERS SHOWN WITHOUT APPROVAL FROM THE ENGINEER. NOTE THAT NO MORE THAN ONE CONCENTRATED LOAD MAY BE APPLIED TO EACH MEMBER. MAXIMUM IMPOSED LOADS INCLUDE LOADS APPLIED TO SUPPORTED MEMBERS.
- MAXIMUM IMPOSED LOADS TO STRUCTURAL FRAMING MEMBERS**
- 50 LBS. MAXIMUM:
LIGHT GAGE STEEL JOISTS
- 100 LBS. MAXIMUM:
PREFABRICATED STEEL JOISTS
- 300 LBS. MAXIMUM:
STEEL BEAMS (EXCEPT TRELLIS BEAMS)

- E. EXISTING STRUCTURES:**
- ALL PARTIES INVOLVED IN THE RENOVATION WORK SHALL VISIT THE SITE, BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND VERIFY THOSE EXISTING CONDITIONS SHOW ON THE DRAWINGS.
 - VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE STRUCTURAL ENGINEERING THROUGH THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
 - THESE PLANS HAVE BEEN PREPARED BASED ON LIMITED AS-BUILT DOCUMENTS AND/OR VISUAL OBSERVATIONS. DESIGN CHANGES MAY BE REQUIRED BECAUSE OF POSSIBLE AMBIGUITIES, HIDDEN CONDITIONS OR INCONSISTENCIES IN RECORD DRAWINGS.
 - THE CONTRACTOR SHALL HAVE APPROPRIATE CONTINGENCIES TO ACCOUNT FOR BOTH DESIGN AND CONSTRUCTION CONDITIONS THAT MAY ARISE FROM THE DISCOVERY OF CONCEALED OR UNKNOWN CONDITIONS IN THE EXISTING STRUCTURE.
 - IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON PLANS, NOTIFY THE STRUCTURAL ENGINEER THROUGH THE ARCHITECT PRIOR TO PROCEEDING. FAILURE TO NOTIFY THE STRUCTURAL ENGINEER OF DISCREPANCIES BETWEEN THE PLANS AND ACTUAL EXISTING CONDITIONS SHALL INDEMNIFY THE STRUCTURAL ENGINEER (THE STRUCTURAL ENGINEER SHALL NOT BE LIABLE FOR UNKNOWN EXISTING CONDITIONS OR ISSUES ARISING THEREFROM).

- F. FOUNDATIONS: (NO SOILS REPORT)**
- NO SOILS REPORT PROVIDED. FOUNDATION DESIGN IS BASED UPON A PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF PER IBC TABLE 1806.2. FOUNDATIONS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOIL AT 1'-0" MINIMUM BELOW LOWEST ADJACENT FINISHED GRADE. FINISHED GRADE IS DEFINED AS TOP OF SLAB FOR INTERIOR FOUNDATIONS AND LOWEST FINISHED GRADE WITHIN 5'-0" FOR EXTERIOR FOUNDATIONS. THE BUILDING OFFICIAL SHALL INSPECT THE FOUNDATIONS PRIOR TO PLACEMENT OF CONCRETE PER IBC SECTION 110.3. A GEOTECHNICAL INVESTIGATION OF THE SITE SOIL CONDITIONS IS RECOMMENDED IF THE BUILDING OFFICIAL HAS REASON TO DOUBT THE VALIDITY OF THE PRESUMPTIVE SOIL BEARING PRESSURE. A GEOTECHNICAL INVESTIGATION MAY BE REQUIRED. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY GEOTECHNICAL ASPECTS OF THIS PROJECT.

- G. CONCRETE:**
- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 AND ACI 318.
 - CEMENT SHALL CONFORM TO ASTM C150, TYPE I; AGGREGATE PER ASTM C33. MIX DESIGNS SHALL BE DESIGNED BY THE CONCRETE PRODUCTION FACILITY IN ACCORDANCE WITH ACI 301 AND REVIEWED BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 - CONCRETE SHALL BE READY MIXED CONCRETE IN ACCORDANCE WITH ASTM C94. MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
• SLABS ON GRADE: 3,000 PSI*
• FOUNDATIONS: 3,000 PSI*
• CURBS AND SIDEWALKS: 2,500 PSI
*DESIGNED FOR 2,500 PSI
 - CONCRETE SHALL BE FREE OF CHLORIDE. FLY ASH MAY NOT BE USED IN CONCRETE USED IN PLATWORK OR ARCHITECTURALLY EXPOSED CONCRETE. FLY ASH MAY BE SUBSTITUTED AT A 1:2:1 RATIO BY WEIGHT OF FLY ASH TO CEMENTITIOUS MATERIAL IN ALL OTHER CONCRETE. FLY ASH SHALL CONFORM TO ASTM C618, CLASS F AND SHALL BE LIMITED TO 30% OF CEMENT BY WEIGHT.
 - MAXIMUM SLUMP 4"12" FOR CONCRETE WITHOUT PLASTICIZER. IF PLASTICIZER IS USED, AN 8" MAXIMUM SLUMP IS ALLOWED AT PLACEMENT.
 - PROVIDE SLEEVES FOR UTILITY OPENINGS IN CONCRETE BEFORE PLACING CONCRETE. DO NOT CUT ANY CONFLICTING REINFORCING.
 - NO CONSTRUCTION JOINTS OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL BE INSTALLED WITHOUT APPROVAL OF THE ENGINEER.
 - MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT THAT SLABS ON GRADE NEED BE VIBRATED ONLY AROUND UNDERFLOOR DUCTS, ETC. CAST CLOSURE POUR AROUND COLUMNS AFTER DEAD LOAD IS APPLIED UNLESS APPROVED OTHERWISE IN WRITING BY THE ARCHITECT.
 - CONCRETE SHALL NOT BE DROPPED MORE THAN FIVE FEET VERTICALLY WITHOUT USE OF TREMIES.
 - CONCRETE FOOTINGS AND PADS MAY BE Poured AGAINST NEAT EXCAVATIONS PROVIDED THE REQUIRED CONCRETE COVERAGE FOR REINFORCING IS MAINTAINED.
 - CONCRETE WHICH HAS CONTAINED WATER FOR MORE THAN 90 MINUTES, 60 MINUTES IF AIR TEMPERATURE EXCEEDS 85 DEGREES, SHALL NOT BE USED. RETEMPERING OF CONCRETE AFTER INITIAL SET HAS OCCURRED IS NOT PERMITTED.
 - CURE EXPOSED CONCRETE FOR A MINIMUM OF 9 DAYS IN ACCORDANCE WITH ACI 301 PROCEDURES IN ORDER TO PREVENT CRACKING. CURE WITH CURING AND SEALING COMPOUND. MOIST CURING, MOISTURE RETAINING COVER CURING OR COMBINATIONS THEREOF.
 - CONCRETE COMPRESSIVE STRENGTH AND SLUMP SHALL BE TESTED PER ASTM C31 AND C39. PROVIDE A MINIMUM OF 3 CYLINDERS PER TEST FOR EACH DAY'S CONCRETE PLACEMENT OR AS DIRECTED BY THE ARCHITECT. TEST ONE CYLINDER AT 8 DAYS AND TWO AT 28 DAYS. TESTING SHALL BE DONE BY A QUALIFIED TESTING LABORATORY.

- H. REINFORCING STEEL:**
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 (F_y = 60 KSI) DEFORMED BARS FOR ALL BARS #4 AND LARGER.
 - ALL REINFORCING SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318 AND THE CRSI MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION, AND AS MODIFIED BY THE DRAWINGS. ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
 - ALL REINFORCING STEEL SHALL BE ACCURATELY PLACED AND SUPPORTED BY GALVANIZED METAL CHAIRS, SPACES, HANGERS, SUPPORT BARS OR CONCRETE BLOCKS. REINFORCING SHALL NOT BE SUPPORTED BY STAKES DRIVEN INTO THE GROUND. PROVIDE THE FOLLOWING MINIMUM CLEAR CONCRETE COVERAGE:
• CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
• #6 AND LARGER EXPOSED TO EARTH OR WEATHER: 2"

- #5 AND SMALLER EXPOSED TO EARTH OR WEATHER: 1 1/2"
ALL OTHERS PER LATEST EDITION OF ACI 318
- UNLESS NOTED OTHERWISE, LAP SPLICES SHALL BE CLASS 'B' TENSION LAP SPLICES PER LATEST EDITION OF ACI 318. STAGGER SPLICES A MINIMUM OF ONE LAP LENGTH.
 - ALL SPLICES LOCATIONS SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER.
 - ALL REINFORCING NOTED AS CONTINUOUS SHALL BE FULLY CONTINUOUS AND SPLICED. SPLICED BARS SHALL BE PLACED AT THE SAME EFFECTIVE DEPTH, U.N.O.
 - REINFORCING BAR SPACINGS GIVEN ARE MAXIMUM ON CENTERS. DOWEL ALL VERTICAL REINFORCING TO FOUNDATION. SKEW HOOKS AS REQUIRED FOR CONCRETE COVER, SECURELY THE ALL BARS IN POSITION BEFORE PLACING CONCRETE.
 - PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT ALL CORNERS AND INTERSECTIONS PER TYPICAL DETAILS.
 - REINFORCING BAR HOOKS SHALL BE STANDARD ACI HOOKS UNLESS NOTED OTHERWISE.

- I. MASONRY:**
- MASONRY WORK SHALL CONFORM TO ALL REQUIREMENTS OF IBC CHAPTER 21 AND ACI 530.
 - GROUT SHALL BE FREE OF CHLORIDE. GROUT MAY CONTAIN UP TO 18% FLY ASH WITH THE APPROVAL OF THE ARCHITECT.
 - CELLS AND COURSES NOTED ON DRAWINGS SHALL BE GROUTED. MECHANICALLY VIBRATE GROUT IN VERTICAL SPACES IMMEDIATELY AFTER POURING AND AGAIN APPROXIMATELY 5 MINUTES LATER. PROVIDE CLEANOUTS IF GROUT POUR HEIGHT EXCEEDS 5'-4" IN BLOCK WALLS. IF THE MASONRY HAS CURED FOR AT LEAST 4 HOURS, THE GROUT SLUMP IS MAINTAINED BETWEEN 10" AND 11", AND NO INTERMEDIATE BOND BEAMS ARE PLACED BETWEEN THE TOP AND BOTTOM OF THE POUR HEIGHT, THEN GROUT MAY BE PLACED IN LIFTS UP TO 12'-0" TALL. STOP ALL GROUT LIFTS 1-1/2" BELOW THE TOP COURSE OF THE LIFT. PLACE GROUT LIFTS CONTINUOUS FOR HEIGHT OF LIFTELS. DO NOT INTERRUPT GROUTING FOR MORE THAN ONE HOUR.
 - GROUT SHALL BE TESTED BY A QUALIFIED TESTING AGENCY. TEST GROUT AT THE FREQUENCY AND SAMPLING REQUIRED BY THE CONSTRUCTION DOCUMENT TESTING TABLES.

- J. STRUCTURAL STEEL:**
- ALL STEEL CONSTRUCTION SHALL CONFORM TO THE LATEST AISC 'STEEL CONSTRUCTION MANUAL' AND AWS D1.1.
 - STRUCTURAL SHAPES, PLATES AND BOLTS SHALL BE AS FOLLOWS:
• HSS SQUARE AND RECTANGULAR SHAPES: ASTM A500, GRADE B, F_y = 46 KSI
• ALL OTHER SHAPES AND PLATES: ASTM A36, F_y = 36 KSI
• BOLTS: ASTM A307, GRADE A
• ANCHOR BOLTS: ASTM A36 OR A307, GRADE A
• ANCHOR RODS: ASTM F1554, GRADE 36
• THREADED RODS: ASTM A36
 - BOLTS, ANCHOR BOLTS, EXPANSION BOLTS, ETC., SHALL BE INSTALLED WITH STEEL WASHERS.
 - SHOP PAINT ALL STEEL SURFACES WITH FABRICATOR'S STANDARD RUST-INHIBITING PRIMER EXCEPT AT SURFACES ENCASED IN CONCRETE, SURFACES TO RECEIVE FIREPROOFING, OR SURFACES ENCLOSED WITHIN THE BUILDING FINISHES.
 - BEAMS, COLUMNS AND BRACES SHALL NOT BE SPLICED WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 - DRYPACK FOR COLUMN BASE PLATES SHALL BE FIRE STAR GROUT OR AN EQUAL NON-METALLIC SHRINKAGE-RESISTANT GROUT. F_c = 5000 PSI MINIMUM. INSTALL GROUT UNDER BEARING PLATES BEFORE FRAMING MEMBER IS INSTALLED. AT COLUMNS, INSTALL GROUT UNDER BASEPLATES AFTER COLUMN HAS BEEN PLUMBED BUT PRIOR TO FLOOR OR ROOF INSTALLATION.
 - ALL WELDING PER LATEST AMERICAN WELDING SOCIETY STANDARDS. ALL WELDING SHALL BE DONE BY WELDERS HOLDING VALID CERTIFICATES ISSUED BY AN ACCEPTED TESTING AGENCY AND HAVING CURRENT EXPERIENCE IN THE TYPE OF WELDS SHOWN ON THE DRAWINGS OR NOTES. ALL WELDS ON DRAWINGS ARE SHOWN AS SHOP WELDS. CONTRACTOR MAY SHOP WELD OR FIELD WELD AT THEIR DISCRETION. SHOP WELDS AND FIELD WELDS SHALL BE SHOWN ON THE SHOP DRAWINGS SUBMITTED FOR REVIEW. FULL PENETRATION WELDS SHALL BE TESTED AND CERTIFIED AS AN INDEPENDENT TESTING LABORATORY.
 - ALL WELDING DONE BY E70 SERIES LOW HYDROGEN RODS UNLESS NOTED OTHERWISE.
 - ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) MEMBERS SHALL CONFORM TO AISC 303 SECTION 10. IN ADDITION, PREPARE MEMBER SURFACES ACCORDING TO SSPC SPECIFICATION SSPC-SP3. ORIENT HSS SEAMS AWAY FROM VIEW, AND GRIND SMOOTH ALL WELDS THAT PROJECT BEYOND FLAT SURFACES. CLEARLY INDICATE ON SHOP DRAWINGS WHICH MEMBERS ARE CONSIDERED AESS. ALL AESS SHALL BE CATEGORY 1.

- K. POST-INSTALLED ANCHORS:**
- EPOXY BOLTS OR DOWELS SHALL BE A THREADED ROD OR REINFORCING STEEL INSTALLED WITH ONE OF THE FOLLOWING PRODUCTS SATISFYING CRACKED CONCRETE REQUIREMENTS IN ACCORDANCE WITH CURRENT ACI PUBLICATION.
• SIMPSON 'SET XP' ICC REPORT ESR-2508
• SIMPSON 'SET-3G' ICC REPORT ESR-4057
 - EPOXY BOLTS FOR MASONRY SHALL BE ONE OF THE FOLLOWING APPROVED PRODUCTS.
• SIMPSON 'SET' ICC REPORT ESR-1772
• HILTI 'HIT-HY 270' ICC REPORT ESR-4143
 - EXPANSION BOLTS FOR CONCRETE SHALL BE ONE OF THE FOLLOWING APPROVED PRODUCTS SATISFYING CRACKED CONCRETE REQUIREMENTS IN ACCORDANCE WITH CURRENT ACI PUBLICATION.
• HILTI 'KWIK BOLT TZ' ICC REPORT ESR-1917
• SIMPSON 'STRONG BOLT Z WEDGE ANCHOR' ICC REPORT ESR-3037
 - EXPANSION BOLTS OR SCREW BOLTS FOR MASONRY SHALL BE ONE OF THE FOLLOWING APPROVED PRODUCTS:
• HILTI 'KWIK BOLT H' ICC REPORT ESR-1385
• SIMPSON 'TITEN HD' ICC REPORT ESR-1056
• SIMPSON 'WEDGE-ALL' ICC REPORT ESR-1396
 - SCREW BOLTS FOR CONCRETE SHALL BE ONE OF THE FOLLOWING APPROVED PRODUCTS SATISFYING CRACKED CONCRETE REQUIREMENTS IN ACCORDANCE WITH CURRENT ACI PUBLICATION.
• SIMPSON 'TITEN HD' ICC REPORT ESR-2713
 - THE CONTRACTOR MAY NOT USE SUBSTITUTES FOR EPOXY OR EXPANSION ANCHORS WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
 - FOR MINIMUM EMBEDMENT LENGTH SEE DETAILS AND NOTES. INSTALL ALL BOLTS AS OUTLINED IN THE MANUFACTURER'S SPECIFICATIONS, UTILIZING PROPER SIZE AND TYPE OF DRILL, HOLE CLEANING, DRIVING AND TIGHTENING BOLT.
 - SPECIAL INSPECTION OF ALL POST-INSTALLED ANCHORS IS REQUIRED.

- L. SHOP DRAWINGS AND PRODUCT DATA:**
- SHOP DRAWINGS AND/OR PRODUCT DATA SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ANY STRUCTURAL ITEMS REQUIRED BY THE ARCHITECTURAL DRAWINGS OR SPECIFICATIONS PRIOR TO FABRICATION AND/OR CONSTRUCTION IN THE FIELD. CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
 - THE GENERAL CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND PRODUCT DATA FOR CONFORMANCE WITH THE CONSTRUCTION DRAWINGS PRIOR TO SUBMITTAL. ANY SHOP DRAWINGS OR PRODUCT DATA NOT REVIEWED AND STAMPED BY THE GENERAL CONTRACTOR WILL BE RETURNED WITHOUT REVIEW. THE CONTRACTOR SHALL CLOUD OR FLAG ALL ITEMS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. VERIFY ALL DIMENSIONS WITH THE ARCHITECT.
 - ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE ORIGINAL CONTRACT DOCUMENTS SHALL BE CLOUDED BY THE MANUFACTURER OR FABRICATOR. ANY CHANGES, SUBSTITUTIONS OR DEVIATIONS WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTED PARTIES, SHALL NOT BE CONSIDERED ALLOWED AFTER THE ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY BY THE STRUCTURAL ENGINEER.
 - THE STRUCTURAL ENGINEER RESERVES THE RIGHT TO ALLOW OR NOT ALLOW ANY CHANGES TO THE ORIGINAL CONTRACT DOCUMENTS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW. THE ENGINEER RESERVES TH RIGHT TO MAKE CHANGES TO THE CONTRACT DOCUMENTS AT ANY TIME BEFORE OR AFTER SHOP DRAWING REVIEW.
 - PROVIDE ELECTRONIC PDF SUBMITTALS IN A TIMELY MANNER TO ALLOW A MINIMUM OF FIVE WORKING DAYS FOR THE ENGINEER'S REVIEW. THE PDF FILES SHALL ALLOW FOR COMMENTS TO BE PLACED ON THE FILES DURING REVIEW BY THE STRUCTURAL ENGINEER.
 - THE SHOP DRAWINGS DO NOT REPLACE THE ORIGINAL CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND WHICH ARE NOT NOTED AS ALLOWED BY THE STRUCTURAL ENGINEER OR ARCHITECT ARE NOT TO BE CONSIDERED CHANGES TO THE ORIGINAL CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS OMITTED OR SHOWN INCORRECTLY ARE CONSTRUCTED IN ACCORDANCE WITH THE ORIGINAL CONTRACT DOCUMENTS. SHOP DRAWINGS PROCESSED BY THE ENGINEER SHALL NOT BE CONSIDERED CHANGE ORDERS.
 - THE ENGINEER REVIEW IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS AND COMPLETENESS SHALL REST WITH THE CONTRACTOR. SHOP DRAWINGS WILL BE RETURNED FOR RESUBMITTAL IF SIGNIFICANT ERRORS ARE FOUND DURING REVIEW.
 - THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING PARTY.
 - ALL ENGINEERING DESIGNS AND LAYOUTS PERFORMED BY OTHERS SHALL BE SEALED BY A REGISTERED ENGINEER LOCATED IN THE STATE IN WHICH THE PROJECT IS LOCATED.

- M. SPECIAL INSPECTIONS AND TESTING:**
- THE OWNER SHALL EMPLOY SPECIAL INSPECTORS TO PROVIDE INSPECTION AND TESTING DURING CONSTRUCTION OF THE TYPES OF WORK REQUIRING SPECIAL INSPECTION AS INDICATED ON THE DRAWINGS.
 - SPECIAL INSPECTIONS SHALL BE PERFORMED BY A QUALIFIED INSPECTOR APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER OF RECORD AND THE BUILDING OFFICIAL.
 - SPECIAL INSPECTIONS SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A STATE REGISTERED STRUCTURAL OR CIVIL ENGINEER WHO IS FAMILIAR WITH THE STRUCTURAL DESIGN OF THIS PROJECT. THE SPECIAL INSPECTION CERTIFICATE SHALL BE SEALED BY THE SUPERVISING REGISTERED ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MINIMUM OF 24 HOURS NOTICE TO THE SPECIAL INSPECTOR AND THE TESTING LABORATORY PRIOR TO BEGINNING ANY WORK FOR WHICH SPECIAL INSPECTION OR TESTING IS REQUIRED.
 - THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR THE PERFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS.
 - THE SPECIAL INSPECTOR SHALL PROVIDE INSPECTION REPORTS TO THE BUILDING OFFICIAL AND ENGINEER OR ARCHITECT OF RECORD. REPORTS SHALL INDICATE THAT THE INSPECTED WORK WAS DONE IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. THEN, IF UNCORRECTED, TO THE ENGINEER OR ARCHITECT OF RECORD AND THE BUILDING OFFICIAL PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK.
 - UPON COMPLETION OF THE ASSIGNED WORK, THE SPECIAL INSPECTOR SHALL COMPLETE AND SIGN THE APPROPRIATE FORMS CERTIFYING THAT, TO THE BEST OF THEIR KNOWLEDGE, THE WORK IS IN CONFORMANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

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INSPECTIONS

STATEMENT OF STRUCTURAL SPECIAL INSPECTIONS PER IBC 2018

- SPECIAL INSPECTIONS / TESTING** - "SPECIAL STRUCTURAL INSPECTIONS" ARE NOT TO BE CONFUSED WITH, NOR RELIEVE THE OWNER OR OWNER'S AGENT FROM THE JURISDICTION BUILDING DEPARTMENT INSPECTIONS REQUIRED BY IBC SECTION 110. SPECIAL INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS, MEANS AND METHODS AND JOBSITE SAFETY ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- REPORTING FOR SPECIAL INSPECTION** - SPECIAL INSPECTION AND TESTING REPORTS SHALL BE COMPLETED AND DISTRIBUTED ON A WEEKLY BASIS. REPORT DEFICIENCIES THAT HAVE NOT BEEN RESOLVED IMMEDIATELY. PROVIDE COPIES OF REPORTS TO: CONTRACTOR, OWNER, ARCHITECT AND STRUCTURAL ENGINEER OF RECORD. SPECIAL INSPECTOR TO KEEP A NON-COMPLIANCE LIST DOCUMENTING ITEMS INSPECTED NOT MEETING APPROVED CONSTRUCTION DOCUMENTS AND WHEN / HOW RESOLVED.
- REFER TO IBC SECTION 1705 AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONSTRUCTION DOCUMENTS FOR ADDITIONAL NON-STRUCTURAL SPECIAL INSPECTION ITEMS.
- ANY FABRICATOR NEEDS TO BE APPROVED BY THE JURISDICTION BUILDING DEPARTMENT OR BE CERTIFIED BY AN INDUSTRY RECOGNIZED AGENCY QUALIFIED FOR SUCH CERTIFICATION. CERTIFICATION OF FABRICATORS ARE TO BE PROVIDED TO THE STRUCTURAL ENGINEER. THE SPECIAL INSPECTION ITEMS CONTAINED HEREIN ARE REQUIRED FOR ALL NON-CERTIFIED FABRICATORS.
- DEFINITION OF "CONTINUOUS" AND "PERIODIC" SPECIAL INSPECTIONS:
CONTINUOUS: THE FULL-TIME OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED.
PERIODIC: THE PART-TIME OR INTERMITTENT OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED AND AT THE COMPLETION OF THE WORK.

WHERE "PERIODIC" SPECIAL INSPECTION IS REQUIRED, "PART-TIME" OR "INTERMITTENT" MEANS THAT INSPECTION OF THE TASK SHOULD BE PERFORMED FROM TIME TO TIME DURING THE PROGRESS OF THE TASK. THE PERIOD OF TIME BETWEEN INSPECTIONS VARIES GREATLY FOR DIFFERENT TYPES OF WORK DEPENDING ON THE TYPE OF INSPECTION DONE.

THE PERIOD OF TIME BETWEEN INSPECTIONS ALSO DEPENDS ON THE PACE OF THE CONSTRUCTION, THE NUMBER OF WORKERS, THE QUALITY OF THE WORKMANSHIP, AND OTHER FACTORS. IT IS THE RESPONSIBILITY OF THE SPECIAL INSPECTOR TO PROVIDE INSPECTIONS AT AN APPROPRIATE FREQUENCY AND AT APPROPRIATE TIMES DURING CONSTRUCTION. THE INSPECTOR MUST HAVE ADEQUATE EXPERIENCE AND EXHIBIT GOOD JUDGEMENT IN DETERMINING THE TIMING AND FREQUENCY OF INSPECTIONS.

INSPECTION OF SOILS					
INSPECTION BY BUILDING OFFICIAL REQUIRED Y/N	VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION		REFERENCE FOR CRITERIA	COMMENTS
		CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED	IBC SECTION	
Y	1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	----	X	1705.6	
Y	2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	----	X	1705.6	

SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION						
SPECIAL INSPECTION REQUIRED Y/N	TYPE	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION	REFERENCED STANDARD	IBC REFERENCE	COMMENTS
Y	1. INSPECT ANCHORS CAST IN CONCRETE	----	X	ACI 318: 17.8.2	----	
	2. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.					
Y	a. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS.	X	----	ACI 318: 17.8.2.4	----	
Y	b. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.a.	----	X	ACI 318: 17.8.2	----	
Y	3. VERIFY USE OF REQUIRED DESIGN MIX.	----	X	ACI 318: CH. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3	
Y	4. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	----	ASTM C 172, ASTM C 31, ACI 318: 26.5, 26.12	1908.10	

LEVEL B QUALITY ASSURANCE OF MASONRY (TMS 402/ACI)		
SPECIAL INSPECTION REQUIRED Y/N	MINIMUM TESTS	COMMENTS
Y	VERIFICATION OF SLUMP FLOW AND VISUAL STABILITY INDEX (VSI) AS DELIVERED TO THE PROJECT SITE IN ACCORDANCE WITH SPECIFICATION ARTICLE 1.5 B.1.b.3 FOR SELF-CONSOLIDATING GROUT.	
Y	VERIFICATION OF f_m AND $f_{m,c}$ IN ACCORDANCE WITH SPECIFICATION ARTICLE 1.4 B PRIOR TO CONSTRUCTION, EXCEPT WHERE SPECIFICALLY EXEMPTED BY TMS 402/ACI 530	
Y	PRISM TEST METHOD, MINIMUM OF 3 PRISMS EACH TEST, PER ASTM C1314	ONLY REQUIRED WHEN UNIT STRENGTH METHOD CANNOT BE USED

	INSPECTION TASK	FREQUENCY (a)		REFERENCE FOR CRITERIA		COMMENTS
		CONTINUOUS	PERIODIC	TMS 402 / ACI 530 / ASCE 6	TMS 602 / ACI 530.1 / ASCE 6	
Y	1. VERIFY COMPLIANCE WITH THE APPROVED SUBMITTALS.	----	X	----	ART. 1.5	
	2. AS MASONRY CONSTRUCTION BEGINS, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE:					
Y	a. PROPORTIONS OF SITE-PREPARED MORTAR.	----	X	----	ART. 2.1, 2.6 A	
Y	b. CONSTRUCTION OF MORTAR JOINTS.	----	X	----	ART. 3.3 B	
N	c. GRADE AND SIZE OF PRESTRESSING TENDONS AND ANCHORAGES.	----	X	----	ART. 2.4 B, 2.4 H	
Y	d. LOCATION OF REINFORCEMENT, CONNECTORS, PRESTRESSING TENDONS, AND ANCHORAGES.	----	X	----	ART. 3.4, 3.6 A	
N	e. PRESTRESSING TECHNIQUE.	----	X	----	ART. 3.6 B	
N	f. PROPERTIES OF THIN-BED MORTAR FOR AAC MASONRY.	X (b)	X (c)	----	ART. 2.1 C	
	3. PRIOR TO GROUTING, VERIFY THAT THE FOLLOWING ARE IN COMPLIANCE:					
Y	a. GROUT SPACE.	----	X	----	ART. 3.2 D.3.2 F	
Y	b. GRADE, TYPE, AND SIZE OF REINFORCEMENT AND ANCHOR BOLTS, AND PRESTRESSING TENDONS AND ANCHORAGES.	----	X	SEC. 6.1	ART. 2.4, 3.4	
Y	c. PLACEMENT OF REINFORCEMENT, CONNECTORS, AND PRESTRESSING TENDONS AND ANCHORAGES.	----	X	SEC. 6.1, 6.2.1, 6.2.6, 6.2.7	ART. 3.2 E, 3.4, 3.6 A	
Y	d. PROPORTIONS OF SITE-PREPARED GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS.	----	X	----	ART. 2.6 B, 2.4 G.1.b	
Y	e. CONSTRUCTION OF MORTAR JOINTS.	----	X	----	ART. 3.3 B	
	4. VERIFY DURING CONSTRUCTION:					
Y	a. SIZE AND LOCATION OF STRUCTURAL ELEMENTS.	----	X	----	ART. 3.3 F	
Y	b. TYPE, SIZE, AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES, OR OTHER CONSTRUCTION.	----	X	SEC. 1.2.1(e), 6.1.4.3, 6.2.1	----	
Y	c. WELDING OF REINFORCEMENT.	X	----	SEC. 8.1.6.7.2, 9.3.3.4(c), 11.3.3.4(b)	----	
Y	d. PREPARATION, CONSTRUCTION, AND PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F) OR HOT WEATHER (TEMPERATURE ABOVE 90°F).	----	X	----	ART. 1.8 C, 1.8 D	
Y	e. APPLICATION AND MEASUREMENT OF PRESTRESSING FORCE.	X	----	----	ART. 3.6 B	
Y	f. PLACEMENT OF GROUT AND PRESTRESSING GROUT FOR BONDED TENDONS IS IN COMPLIANCE.	X	----	----	ART. 3.5, 3.6 C	
N	g. PLACEMENT OF AAC MASONRY UNITS AND CONSTRUCTION OF THIN-BED MORTAR JOINTS.	X(b)	X(c)	----	ART. 3.3 B.9, 3.3 F.1.b	
Y	h. INSTALLATION OF POST-INSTALLED ANCHORS ACCORDING TO MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS. VERIFY ANCHOR DIMENSIONS, ADHESIVE IDENTIFICATION AND EXPIRATION DATE, HOLE DIMENSION, EDGE DISTANCES, EMBEDMENT DEPTH, TIGHTENING TORQUE, BASE MATERIAL TEMPERATURE.	X(d)	X(e)	----	----	
Y	5. OBSERVE PREPARATION OF GROUT SPECIMENS, MORTAR SPECIMENS, AND/OR PRISMS.	----	X	----	ART. 1.4B.2.a.3, 1.4 B.2.b.3, 1.4 B.2.c.3, 1.4 B.3, 1.4 B.4	

- (a) FREQUENCY REFERS TO THE FREQUENCY OF SPECIAL INSPECTIONS, WHICH MAY BE CONTINUOUS DURING THE TASK LISTED OR PERIODIC DURING THE LISTED TASK, AS DEFINED IN THE TABLE.
 (b) REQUIRED FOR THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY.
 (c) REQUIRED AFTER THE FIRST 5000 SQUARE FEET (465 SQUARE METERS) OF AAC MASONRY.
 (d) REQUIRED FOR THE FIRST 10% OF EACH DIFFERENT TYPE OF ANCHOR AND/OR INSTALLER.
 (e) REQUIRED FOR THE REMAINING 90% OF EACH DIFFERENT TYPE OF ANCHOR AND/OR INSTALLER.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Revisions

SPECIAL INSPECTIONS

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JOB: 20016

SI.1

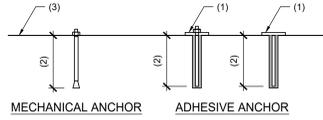
NOTES:

1. PLATE, ANGLE, CHANNEL, ETC. THICKNESS OF DRYPACK DOES NOT APPLY TOWARDS EMBEDMENT.
2. EMBEDMENT.
3. FACE OF CONCRETE OR MASONRY.

TYPICAL NOTES:

- PROVIDE ANCHORS AND REINFORCING PER THIS DETAIL UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
- POST-INSTALLED ANCHORS SHALL HAVE CURRENT I.C.C. APPROVAL.
- MECHANICAL ANCHORS INCLUDE BUT ARE NOT LIMITED TO WEDGE, UNDERCUT AND SCREW TYPE ANCHORS.
- ADHESIVE ANCHORS INCLUDE BOTH THREADED ROD AND REINFORCING STEEL.

ANCHOR DIAMETER	MECHANICAL ANCHOR EMBEDMENT LENGTH		ADHESIVE ANCHORS EMBEDMENT LENGTH		REINFORCING STEEL SIZE	ADHESIVE ANCHORS EMBEDMENT LENGTH	
	CONCRETE	MASONRY	CONCRETE	MASONRY		CONCRETE	MASONRY
3/8"	3"	2 3/4"	4 1/2"	3 1/2"	#3	3"	6"
1/2"	4"	3 1/2"	5"	4 1/2"	#4	6"	8"
5/8"	5 1/4"	4 1/2"	6 3/4"	6"	#5	6"	8"
3/4"	5 3/4"	5 1/2"	6 3/4"	7"	#6	8"	8"
7/8"	---	---	7"	---	#7	8"	8"
1"	8"	8"	8"	---	#8	10"	8"
1 1/4"	---	---	10"	---	#9	12"	12"



MECHANICAL ANCHOR ADHESIVE ANCHOR

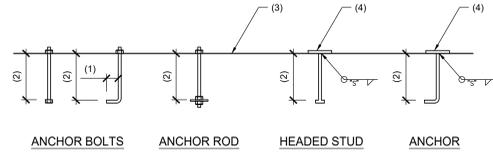
NOTES:

1. 2" MINIMUM.
2. EMBEDMENT.
3. FACE OF CONCRETE OR MASONRY.
4. PLATE, ANGLE, CHANNEL, ETC. THICKNESS OF DRYPACK DOES NOT APPLY TOWARDS EMBEDMENT.

ANCHOR DIAMETER	VERTICAL BOLT EMBEDMENT LENGTH	HORIZONTAL BOLT EMBEDMENT LENGTH	HEADED STUD FILLET WELD SIZE, "S"
1/2"	7"	4"	1/4"
5/8"	7"	4"	5/16"
3/4"	7"	5"	5/16"
7/8"	8"	6"	5/16"
1"	9"	7"	3/8"
1 1/8"	10"	8"	---
1 1/4"	11"	9"	---

TYPICAL NOTES:

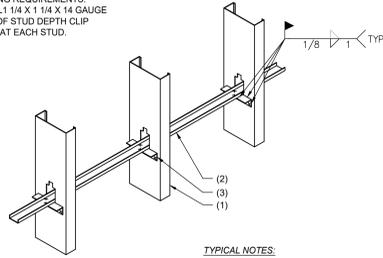
- PROVIDE ANCHORS PER THIS DETAIL UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
- HEADED STUDS MAY BE AUTOMATICALLY WELDED IN LIEU OF FILLET WELDS SHOWN.



ANCHOR BOLTS ANCHOR ROD HEADED STUD ANCHOR

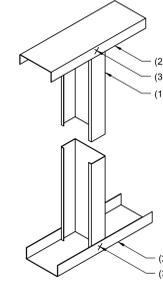
NOTES:

1. STEEL STUD.
2. CONTINUOUS 1 1/2" X 16 GA. COLD-ROLLED STEEL CHANNEL BRIDGING THROUGH STUD PUNCH OUTS - SEE G.S.N. FOR BRIDGING REQUIREMENTS.
3. STEEL L 1/4 X 1 1/4 X 14 GAUGE X 80% OF STUD DEPTH CLIP ANGLE AT EACH STUD.



TYPICAL NOTES:

- MIN. 43 MIL FOR WELDED CONNECTIONS.
- IN LIEU OF WELDING, STEEL ANGLE MAY BE CONNECTED TO STEEL STUD AND CHANNEL WITH (2) #10 X 3/4" HEX WASHER HEAD SCREWS EACH.

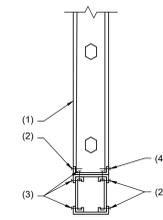


NOTES:

1. STEEL STUD.
2. STEEL TRACK.
- (1) #10 SCREW AT EACH FLANGE, EACH SIDE, U.N.O.

NOTES:

1. STEEL STUD WALL.
2. CONTINUOUS TRACK.
- (1) #10 SCREWS AT 12" O.C. - TYP.
4. #10 SCREW EACH STUD - TYP.



01 TYPICAL POST-INSTALLED ANCHORS/REINFORCING STEEL 0007000

02 TYPICAL CAST IN PLACE ANCHORS 0007001

03 TYPICAL BRIDGING DETAIL 0005000

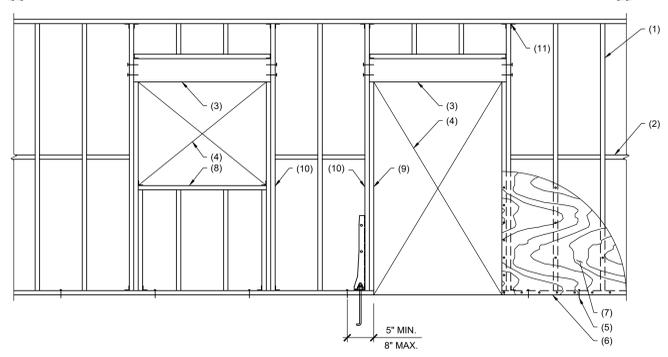
04 TYPICAL STEEL STUD AT STEEL TRACK 0005001

05 TYPICAL STEEL STUD LINTEL 0005007

NOTES:

1. STEEL STUDS AT 16" O.C. MAX.
2. BRIDGING PER GENERAL STRUCTURAL NOTES AND TYPICAL DETAIL.
3. LINTEL PER TYPICAL DETAILS AND LINTEL SCHEDULE.
4. OPENING.
5. SHOT PINS AT BOTTOM TRACK ON FOUNDATIONS PER G.S.N.
6. CONTINUOUS BOTTOM TRACK.
7. SHEATHING PER ARCHITECTURAL DRAWINGS.
8. CONTINUOUS SILL TRACK. ADD STUD NESTED IN SILL TRACK AT OPENINGS GREATER THAN 6'-0".
9. TRIM STUDS PER TYPICAL DETAIL.
10. FULL HEIGHT JAMB/END WALL STUDS SEE TYPICAL DETAIL.
11. SIMPSON A34 TYP. EACH SIDE OF JAMB STUDS, TOP AND BOTTOM AND AT EACH END OF LINTEL AND SILL AT OPENINGS.

SHEAR WALL FULL LENGTH OF WALL ABOVE OPENINGS (IF INDICATED ON PLAN)



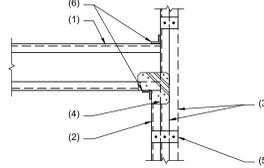
TYPICAL NOTES:

- THIS DETAIL SHALL APPLY TO ALL EXTERIOR, INTERIOR LOAD BEARING AND SHEAR WALLS.
- SEE SHEAR WALL SCHEDULE FOR MINIMUM NUMBER OF FULL HEIGHT END WALL STUDS.

06 TYPICAL NON-BEARING STEEL STUD WALL 0005003

NOTES:

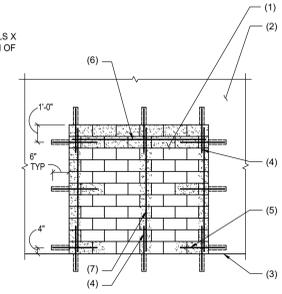
1. LINTEL.
2. SINGLE TRIM STUD AT OPENINGS UP TO 8'-0".
- (1) JAMB STUD CONTINUOUS FROM SILL PLATE TO TOP PLATE AT OPENINGS UP TO 4'-0". (2) JAMB STUDS AT OPENINGS 4'-1" TO 8'-0".
4. SIMPSON LCE4 EACH FACE.
5. 43 MIL X 2" WIDE STRAP AT 12" O.C. EACH FACE OF WALL WITH #10 SCREW EACH STUD.
6. SIMPSON A35.



07 TYPICAL JAMB AT LINTEL IN STEEL STUD WALL 0005006

NOTES:

1. NEW MASONRY WALL.
2. EXISTING MASONRY WALL.
3. TOP OF EXISTING STEM WALL, SLAB OR BOTTOM OF EXISTING OPENING.
4. #5 VERTICAL EPOXY DOWELS X 24" LONG AT EACH SIDE OF OPENING AND AT 24" O.C. BETWEEN - TYPICAL.
5. #5 HORIZONTAL EPOXY DOWELS X 24" LONG AT TOP AND BOTTOM OF OPENING AND AT 48" O.C. BETWEEN - TYPICAL.
6. #5 HORIZONTAL LAPPED WITH DOWELS.
7. #5 VERTICAL LAPPED WITH DOWELS - TYPICAL.



GENERAL NOTES:

- GROUT DOWELS IN PLACE AT EXISTING GROUTED CELLS. WHERE CELLS ARE UNGROUTED, BREAK OUT CMU AND GROUT HOOKED DOWELS IN PLACE.

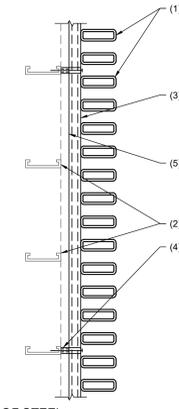
08 TYPICAL MASONRY INFILL AT EXISTING MASONRY WALL 0003012

NOTES:

1. STEEL TUBE CLADDING - SEE ARCHITECTURAL DRAWINGS.
2. EXISTING STEEL STUD WALL.
3. CONTINUOUS HSS 4 X 2 X 1/8 AT 48" O.C. MAX WITH #10 SCREWS AT 48" O.C.
4. 1/2" DIA. STD PIPE SPACER.
5. EXISTING FINISHED WALL SURFACE.

TYPICAL NOTES:

- WHERE SIGNAGE ATTACHES TO DECORATIVE TUBES, MAXIMUM WEIGHT OF SIGNAGE SHALL NOT EXCEED 200 LBS AND SIGNAGE SHALL BE ATTACHED TO A MINIMUM OF 3 TUBES.



09 PLAN VIEW- TYPICAL ATTACHMENT OF STEEL TUBE CLADDING TO EXISTING STEEL STUD WALL 0003012

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Revisions

TYPICAL DETAILS

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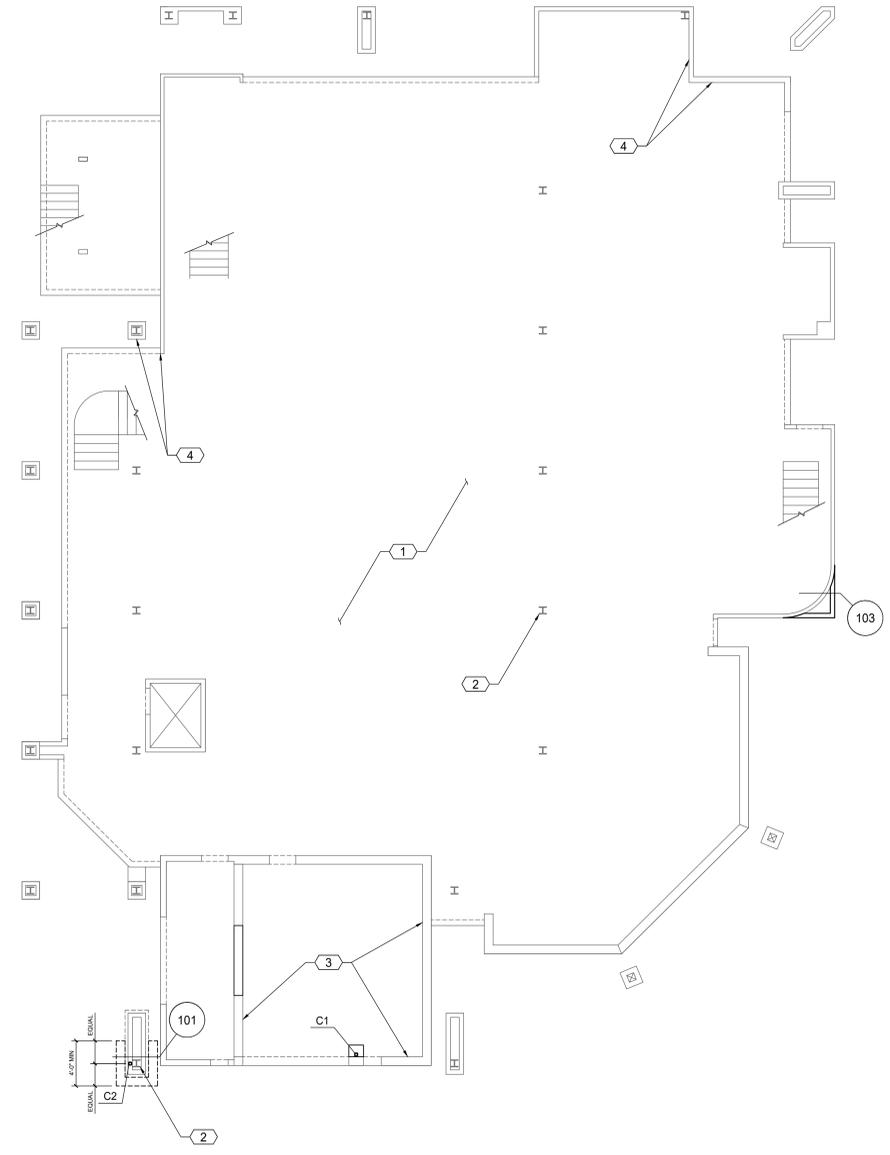
SI.2

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- KEYNOTES:**
1. EXISTING CONCRETE SLAB.
 2. EXISTING STEEL COLUMN - TYPICAL.
 3. EXISTING MASONRY WALL.
 4. EXISTING STEEL STUD WALL.



Revisions



FOUNDATION PLAN

1/8" = 1'-0"



COLUMN (C) SCHEDULE			
MARK	SIZE	BASE CONNECTION	REMARKS
C1	HSS 4 X 4 X 1/4	BASE PLATE 1/2 X 4 X 0'-10" WITH (2) 3/4" DIA. EPOXY BOLTS	SEE NOTE 1
C2	HSS 6 X 6 X 5/8	BASE PLATE 1/2 X 6 X 1'-0" WITH (2) 3/4" DIA. EPOXY BOLTS	SEE NOTE 2

NOTES:
1. COLUMN SHALL BE CONTINUOUS FROM TOP OF EXISTING CONCRETE PEDESTAL TO THIRD FLOOR LEVEL.

FOUNDATION PLAN

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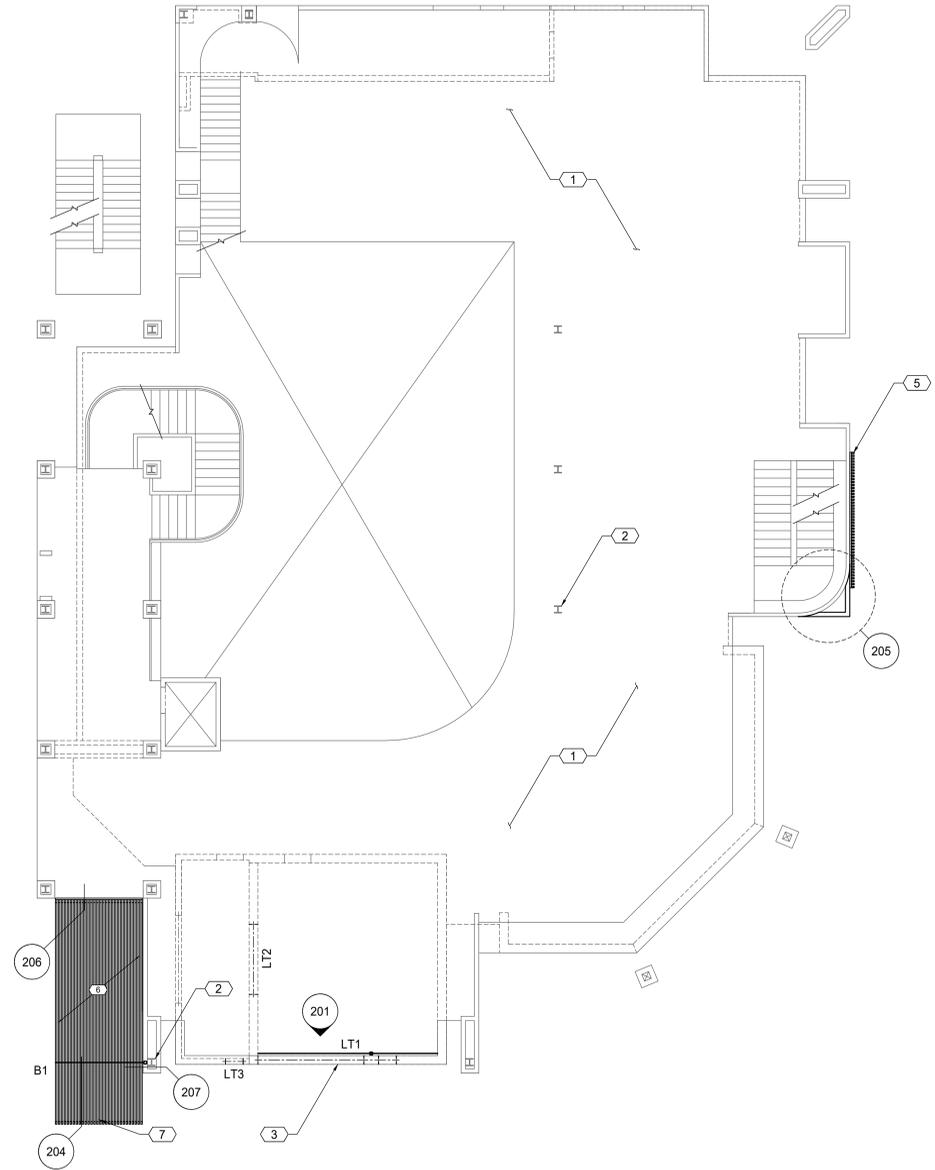
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KEYNOTES:

1. EXISTING CONCRETE OVER STEEL DECK ON STEEL BEAMS - TYPICAL AT FLOOR.
2. EXISTING STEEL COLUMN - TYPICAL.
3. EXISTING MASONRY WALL.
4. EXISTING STEEL STUD WALL - TYPICAL.
5. STEEL TUBE CLADDING - SEE ARCHITECTURAL DRAWINGS. FOR ATTACHMENT TO WALL, SEE TYPICAL DETAIL.
6. HSS 4 X 2 X 1/8 TRELLIS FRAMING AT 4" O.C.
7. SEE ARCHITECTURAL DRAWINGS FOR SIGNAGE (BY OTHERS) WEIGHT OF SIGNAGE SHALL NOT EXCEED 200 LBS AND SHALL BE SUPPORTED BY A MINIMUM OF (8) TRELLIS FRAMING MEMBERS.



Revisions

2ND FLOOR FRAMING PLAN

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2ND FLOOR FRAMING PLAN

1/8" = 1'-0"



LINTEL (LT) SCHEDULE			
MARK	TYPE	LINTEL SIZE	REMARKS
LT1	STEEL	HSS 12 X 4 X 3/8	--
LT2	STEEL	1/4" BENT STEEL PLATE (14" VERTICAL LEG)	SEE DETAIL 203
LT3	STEEL	1/4" BENT STEEL PLATE (8" VERTICAL LEG)	SEE DETAIL 203
LT4	LIGHT GAGE	(2) 600S162-43 (UNPUNCHED)	--

NOTES:
 1. SEE TYPICAL DETAIL FOR ADDITIONAL INFORMATION.

BEAM (B) SCHEDULE				
MARK	BEAM SIZE	CAMBER AT MIDSPAN	END CONNECTION (U.N.O.)	REMARKS
B1	HSS 8 X 6 X 3/8	--	SEE DETAILS	--

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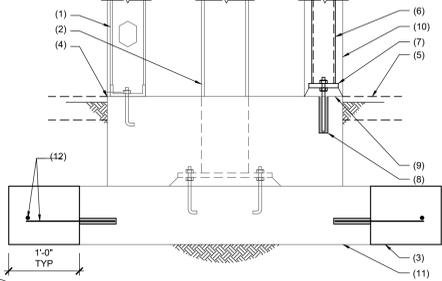
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S3.0

NOTES:

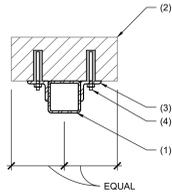
- EXISTING STEEL STUD WALL.
- EXISTING STEEL COLUMN.
- EXISTING CONCRETE FOOTING.
- EXISTING CONCRETE PEDESTAL.
- CONCRETE SLAB WHERE SHOWN ON PLAN OR FINISHED GRADE.
- STEEL COLUMN.
- STEEL BASE PLATE.
- EPOXY BOLTS WITH LEVELING NUTS.
- 1/2" DRYPACK.
- EXISTING WALL BEYOND.
- CONCRETE FOOTING EXTENSION.
- #5 CONTINUOUS AND #5 EPOXY DOWELS AT 18" O.C. ALL AROUND.



101 STEEL COLUMN AT EXISTING STEEL COLUMN (20016)

NOTES:

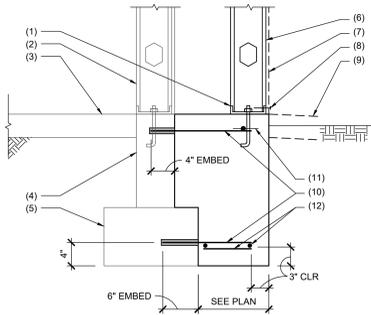
- HSS COLUMN.
- EXISTING MASONRY WALL.
- L3 1/2X3 1/2X1/4 X 0'-3" LONG.
- 3/4" DIA. EPOXY BOLT IN GROUTED CELL. IF UNROUTED CELLS ARE ENCOUNTERED, ANCHOR BOLTS GROUTED IN PLACE MAY BE USED IN LIEU OF EPOXY BOLTS.



102 PLAN VIEW - STEEL TUBE COLUMN AT JAMB OF NEW OPENING (0301001)

NOTES:

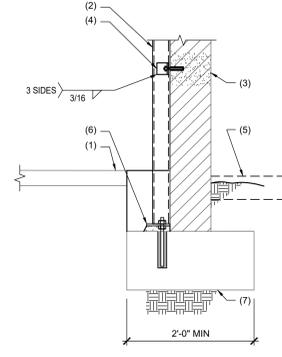
- CONTINUOUS TRACK WITH ANCHOR BOLTS.
- EXISTING STEEL STUD WALL.
- EXISTING CONCRETE SLAB.
- EXISTING CONCRETE STEM WALL.
- EXISTING FOOTING.
- STEEL STUD WALL.
- SHEATHING MATERIAL AND ATTACHMENT AS OCCURS.
- EDGE ATTACHMENT.
- CONCRETE SLAB WHERE SHOWN ON PLAN OR FINISHED GRADE.
- #4 EPOXY DOWELS AT 18" O.C.
- #4 CONTINUOUS.
- #4 AT 12" O.C. EACH WAY.



103 STEEL STUD WALL AND CONCRETE FOOTING EXTENSION AT EXISTING CONCRETE FOOTING (19031)

NOTES:

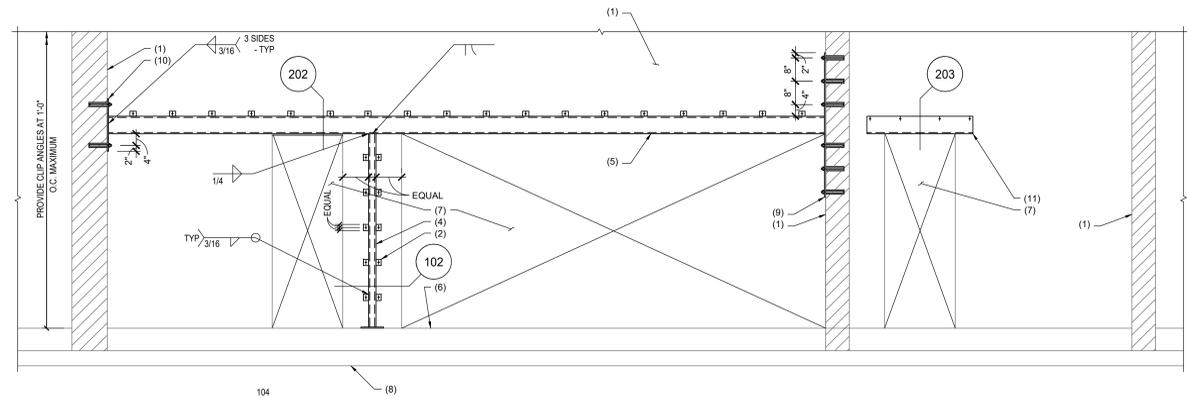
- EXISTING CONCRETE SLAB.
- STEEL COLUMN PER DETAIL 102.
- EXISTING MASONRY WALL.
- L3 1/2X3 1/2X1/4 X 0'-3" LONG WITH 3/4" DIA. EPOXY BOLT - TYPICAL.
- FINISHED GRADE OR CONCRETE SLAB AS OCCURS.
- STEEL BASE PLATE.
- EXISTING CONCRETE FOOTING - FIELD VERIFY 2'-0" MINIMUM WIDTH. CONTACT STRUCTURAL ENGINEER FOR FURTHER INSTRUCTION IF MINIMUM WIDTH REQUIREMENT IS NOT MET.



104 STEEL COLUMN AT EXISTING CONCRETE SLAB (20016)

NOTES:

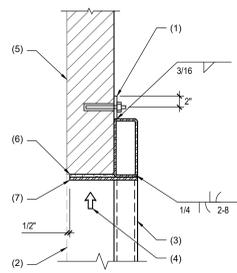
- EXISTING MASONRY WALL.
- L3 1/2X3 1/2X1/4 X 0'-3" LONG WITH 3/4" DIA. EPOXY BOLT IN GROUTED CELL - TYPICAL AT VERTICAL HSS MEMBER.
- STEEL TUBE AT HEAD OF OPENING - SEE LINTEL SCHEDULE.
- STEEL COLUMN AT JAMB - SEE COLUMN SCHEDULE.
- 1/2" X CONTINUOUS STEEL PLATE.
- SAWOUT EXISTING MASONRY FLUSH WITH FINISHED FLOOR ELEVATION.
- NEW OPENING IN EXISTING WALL - SEE ARCHITECTURAL DRAWINGS FOR EXACT SIZE AND LOCATION.
- EXISTING FOOTING.
- STEEL WELD PLATE 3/8 X 6 X 4'-8" WITH (6) 3/4" DIA. EPOXY BOLTS (BOLT SHANKS MAY BE CUT FLUSH WITH PLATE AND PLUG WELDED ALL AROUND TO PLATE IF NUTS CAUSE INTERFERENCE WITH FINISHES).
- STEEL WELD PLATE 3/8 X 6 X 2'-0" WITH (2) 3/4" DIA. EPOXY BOLTS.
- BENT PLATE LINTEL.



201 STEEL FRAMING AT NEW OPENING IN EXISTING MASONRY WALL (20016)

NOTES:

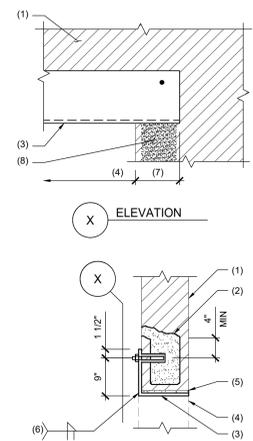
- STEEL PLATE 3/8X4X0'-4" WITH 3/4" DIA. EPOXY BOLT AT 32" O.C.
- WALL BEYOND.
- STEEL COLUMN BEYOND AT JAMB.
- SHORE EXISTING WALL UNTIL ALL STEEL FRAMING IS IN PLACE AND FULLY CONNECTED.
- EXISTING MASONRY WALL.
- DRYPACK AS REQUIRED FOR FULL BEARING.
- 1/2" X CONTINUOUS STEEL PLATE.



202 STEEL LINTEL AT HEAD OF NEW OPENING IN EXISTING MASONRY (0301002)

NOTES:

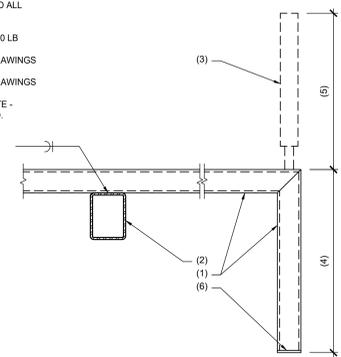
- EXISTING MASONRY WALL.
- BREAK OUT FACE SHELLS AS REQUIRED AND GROUT SOLID AROUND BOLTS WHERE CELLS ARE UNROUTED.
- 1/4" BENT STEEL OR FABRICATED PLATES AS SHOWN WITH 5/8" DIA. BOLTS AT 24" O.C.
- EXISTING MASONRY WALL TO BE REMOVED AFTER STEEL ANGLE AND BOLTS ARE IN PLACE AND SECURED.
- DRYPACK FOR FULL BEARING.
- AT FABRICATED PLATES.
- 6" BEARING MINIMUM AT EACH END OF LINTEL.
- GROUT EXISTING WALL SOLID BELOW LINTEL BEARING - TYPICAL.
- SEE LINTEL SCHEDULE.



203 NEW STEEL LINTEL AT EXISTING MASONRY WALL (20016)

NOTES:

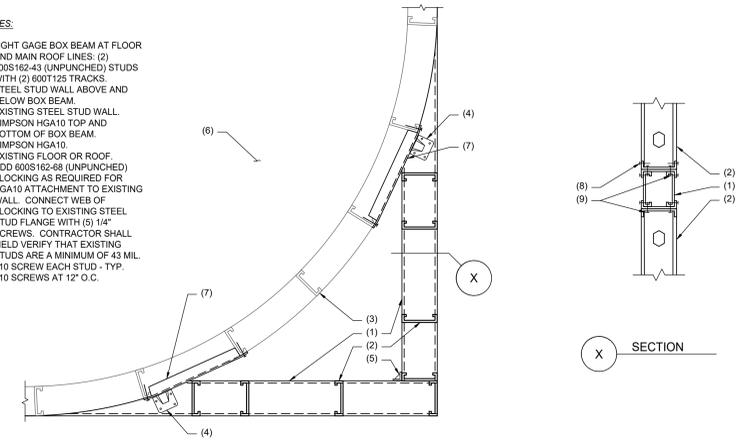
- STEEL TRELLIS FRAMING PER PLAN - MITER MEMBERS AT CORNER AND BUTT WELD ALL AROUND.
- STEEL BEAM.
- SIGNAGE BY OTHERS (200 LB MAX).
- SEE ARCHITECTURAL DRAWINGS - 5'-0" MAX.
- SEE ARCHITECTURAL DRAWINGS - 2'-0" MAX.
- 1/4" STEEL BOTTOM PLATE - BUTT WELD ALL AROUND.



204 STEEL TRELLIS FRAMING AT STEEL BEAM (20016)

NOTES:

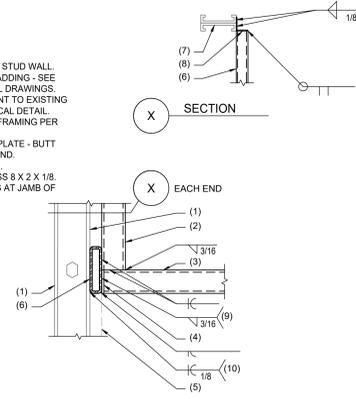
- LIGHT GAGE BOX BEAM AT FLOOR AND MAIN ROOF LINES: (2) 600S162-43 (UNPUNCHED) STUDS WITH (2) 600T125 TRACKS.
- STEEL STUD WALL ABOVE AND BELOW BOX BEAM.
- EXISTING STEEL STUD WALL.
- SIMPSON HGA10 TOP AND BOTTOM OF BOX BEAM.
- SIMPSON HGA10.
- EXISTING FLOOR OR ROOF.
- ADD 600S162-58 (UNPUNCHED) BLOCKING AS REQUIRED FOR HGA10 ATTACHMENT TO EXISTING WALL. CONNECT WEB OF BLOCKING TO EXISTING STEEL STUD FLANGE WITH (5) 1/4" SCREWS. CONTRACTOR SHALL FIELD VERIFY THAT EXISTING STUDS ARE A MINIMUM OF 43 MIL.
- #10 SCREW EACH STUD - TYP.
- #10 SCREWS AT 12" O.C.



205 PLAN VIEW - STEEL STUD FURRING WALL AT EXISTING WALL (20016)

NOTES:

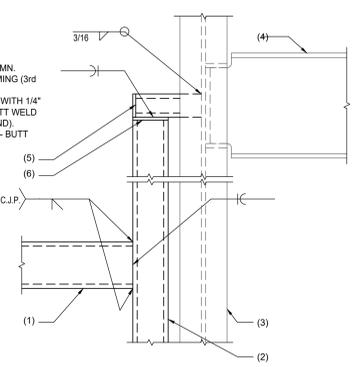
- EXISTING STEEL STUD WALL.
- STEEL TUBE CLADDING - SEE ARCHITECTURAL DRAWINGS FOR ATTACHMENT TO EXISTING WALL. SEE TYPICAL DETAIL.
- STEEL TRELLIS FRAMING PER PLAN.
- 1/4" STEEL END PLATE - BUTT WELD ALL AROUND.
- EXISTING FINISH.
- CONTINUOUS HSS 8 X 2 X 1/8.
- EXISTING STUDS AT JAMB OF OPENING.
- L 3 X 2 X 3/16.
- 3 SIDES.
- EACH STUD.



206 STEEL TRELLIS AND STEEL CLADDING AT EXISTING STEEL STUD WALL (20016)

NOTES:

- STEEL COLUMN.
- STEEL BEAM.
- EXISTING STEEL COLUMN.
- EXISTING FLOOR FRAMING (3rd LEVEL).
- HSS 4 X 4 X 1/4 BRACE WITH 1/4" STEEL END PLATE (BUTT WELD END PLATE ALL AROUND).
- 1/4" STEEL CAP PLATE - BUTT WELD ALL AROUND.



207 STEEL BEAM AND STEEL COLUMN AT EXISTING STEEL COLUMN (20016)

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Revisions

DETAILS

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JOB: 20016



Revisions

MECHANICAL FLOOR PLANS

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

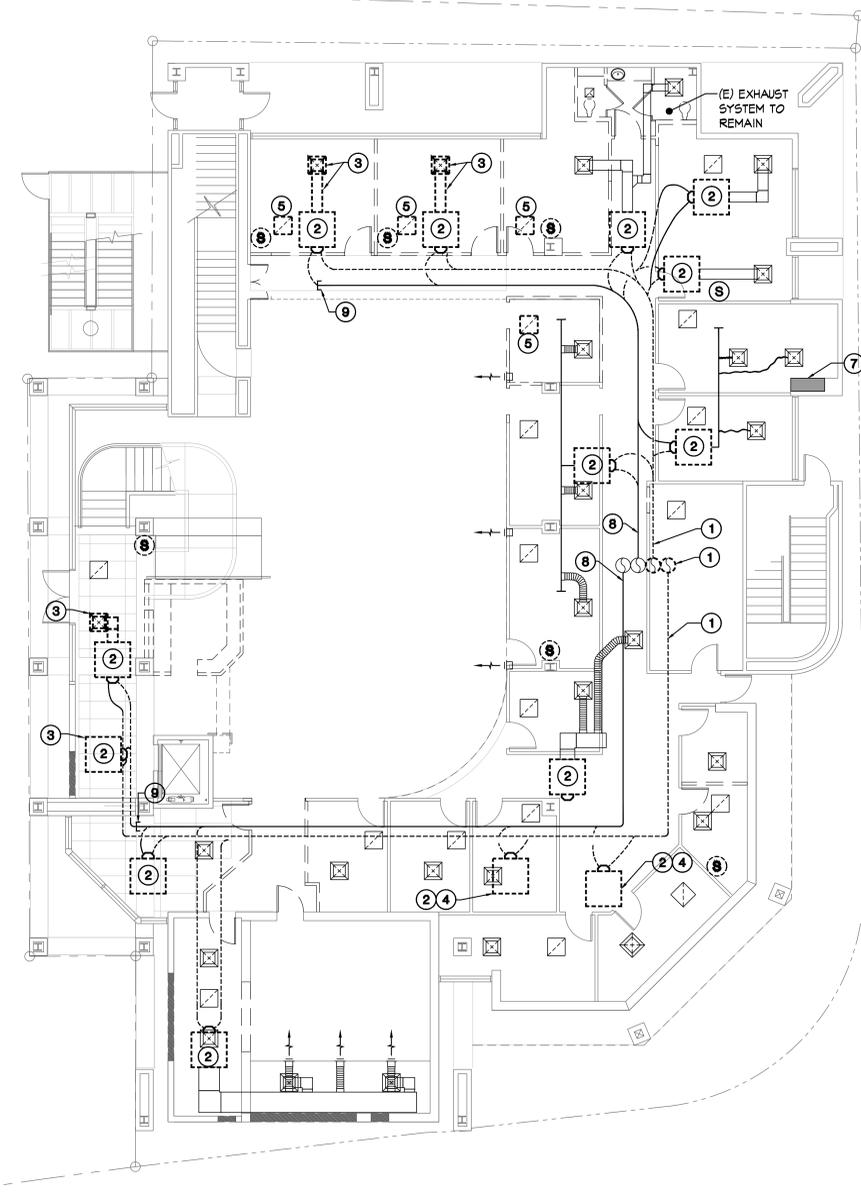
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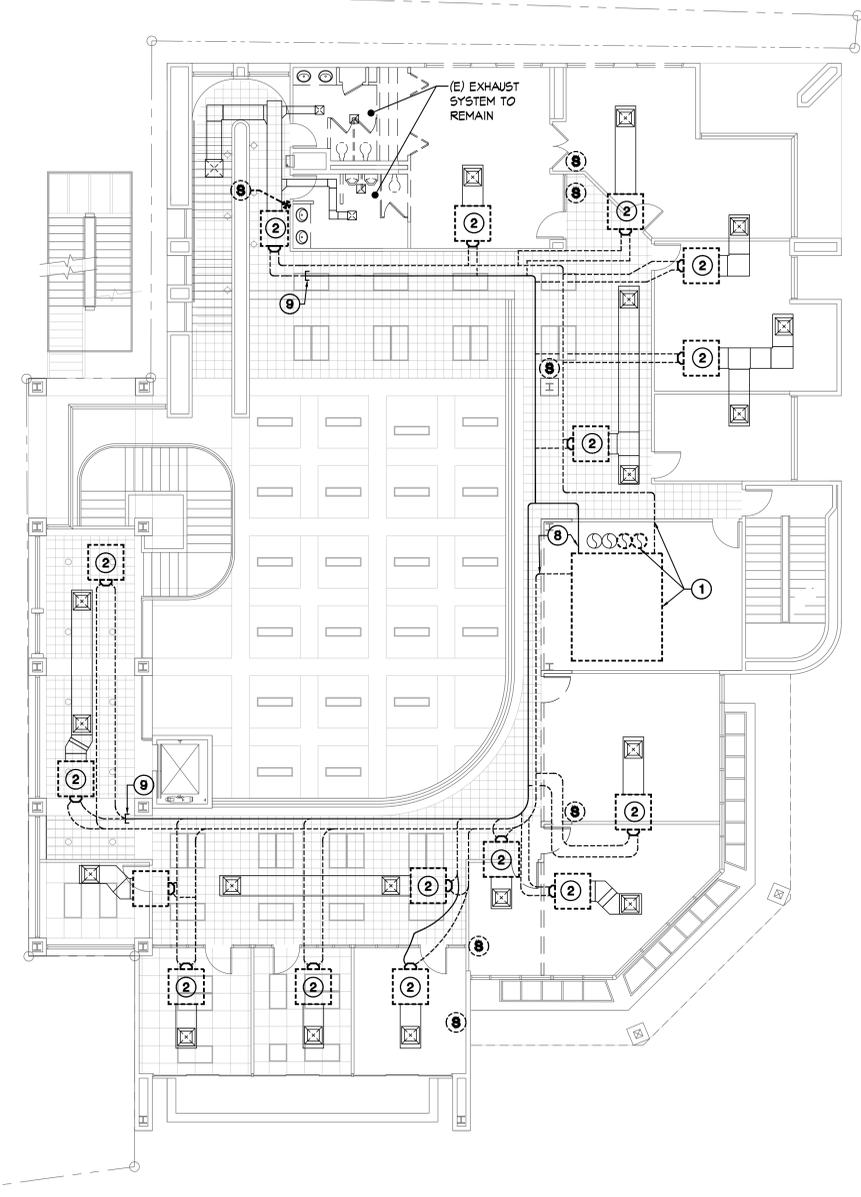
1 MECHANICAL 1ST FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:
A. NOTES

- MECHANICAL DEMOLITION NOTES**
- A. COORDINATE DEMOLITION OF ALL OVERHEAD HVAC ITEMS WITH OTHER TRADES.
 - B. ALL VAV BOXES TO BE REMOVED.
 - C. ALL AIR CONDITIONING UNITS SHALL REMAIN, U.N.O.
 - D. ALL DUCTWORK SHALL REMAIN, U.N.O.
 - E. ALL AIR DEVICES SHALL REMAIN, U.N.O.
 - F. ALL EXHAUST FANS SHALL REMAIN, U.N.O.
 - G. COORDINATE DEMOLITION SCHEDULE AND HOURS OF WORK WITH THE OWNER AND/OR ARCHITECT.
 - H. CONTRACTOR SHALL MAINTAIN PREMISES IN CLEAN CONDITION AT END OF EACH DAY AND THOROUGHLY CLEAN-UP AT END OF CONSTRUCTION.
 - I. COORDINATE PROPER DISPOSAL OF ALL DEMOLITION ITEMS WITH OWNER AND/OR ARCHITECT.

KEYNOTES:

- 1. REMOVE (E) AIR HANDLER AND CONTROLS AND ALL HIGH VELOCITY HOT DECK DUCTWORK. MODIFY THE HEATING WATER PIPING TO MAINTAIN THE HEATING WATER FLOW THROUGH BYPASS.
- 2. REMOVE (E) VAV BOX AND CONTROLS.
- 3. REMOVE (E) DOWNSTREAM DUCTS AND DIFFUSERS.
- 4. REMOVE (E) DOWNSTREAM DUCTS.
- 5. RELOCATE (E) RG.
- 6. RELOCATE (E) CD. EXTEND FLEX AS REQUIRED.
- 7. RELOCATE (E) DAC-I. EXTEND REFRIGERANT PIPING AS REQUIRED.
- 8. (E) COLD DECK DUCTWORK MAIN TO REMAIN. REMOVE BRANCH TO VAV'S. PATCH MAIN AIRTIGHT.
- 9. CAP (E) COLD DECK MAIN.



2 MECHANICAL 2ND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Revisions

MECHANICAL FLOOR PLANS

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TUCSON, AZ 85701

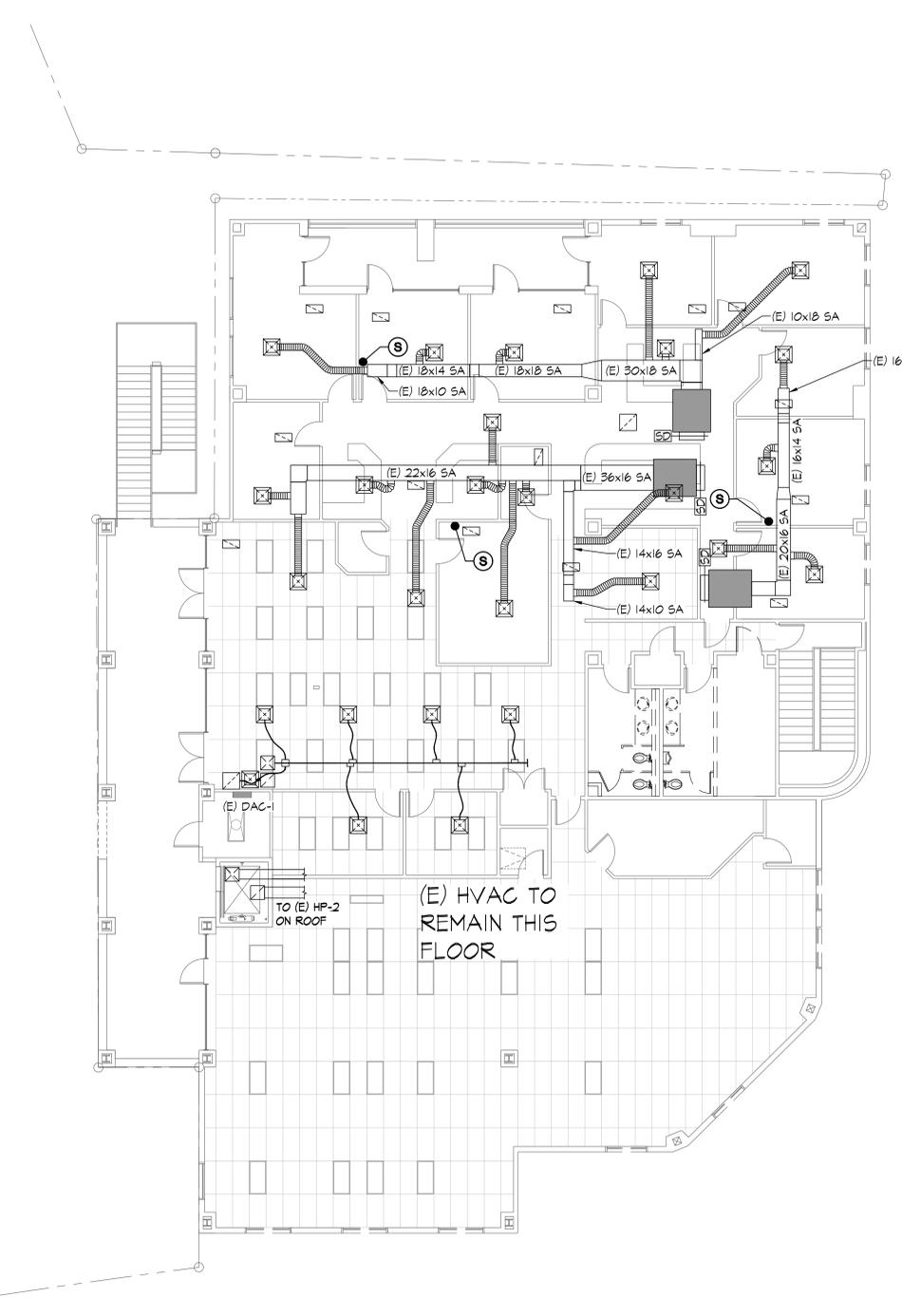
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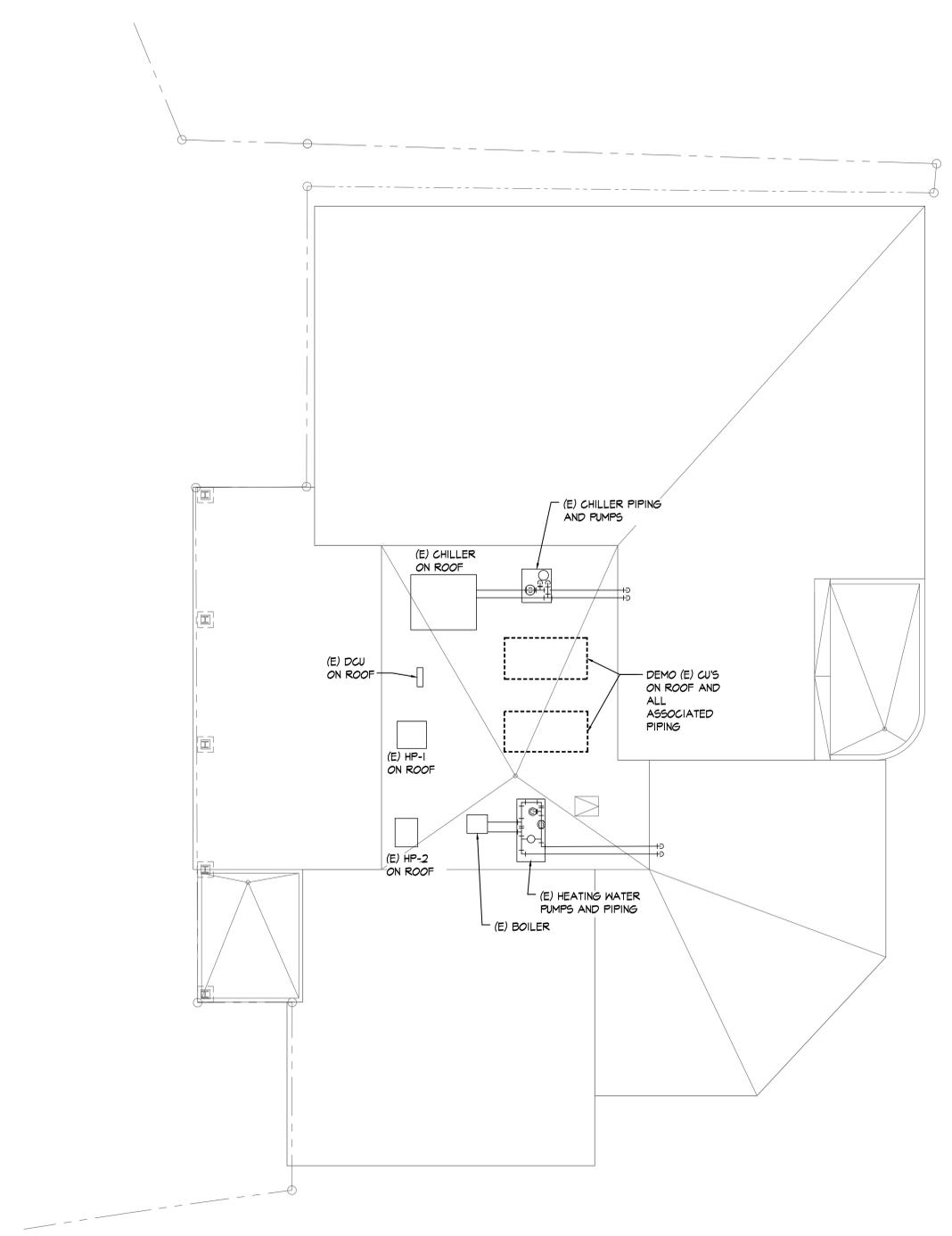
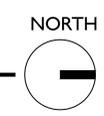


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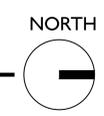
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1 MECHANICAL 3RD FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"



2 MECHANICAL ROOF DEMO PLAN
SCALE: 1/8" = 1'-0"



MECHANICAL DEMOLITION NOTES	
A.	COORDINATE DEMOLITION OF ALL OVERHEAD HVAC ITEMS WITH OTHER TRADES.
B.	ALL VAV BOXES TO BE REMOVED.
C.	ALL AIR CONDITIONING UNITS SHALL REMAIN, U.N.O.
D.	ALL DUCTWORK SHALL REMAIN, U.N.O.
E.	ALL AIR DEVICES SHALL REMAIN, U.N.O.
F.	ALL EXHAUST FANS SHALL REMAIN, U.N.O.
G.	COORDINATE DEMOLITION SCHEDULE AND HOURS OF WORK WITH THE OWNER AND/OR ARCHITECT.
H.	CONTRACTOR SHALL MAINTAIN PREMISES IN CLEAN CONDITION AT END OF EACH DAY AND THOROUGHLY CLEAN-UP AT END OF CONSTRUCTION.
I.	COORDINATE PROPER DISPOSAL OF ALL DEMOLITION ITEMS WITH OWNER AND/OR ARCHITECT.

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MECHANICAL FLOOR PLANS

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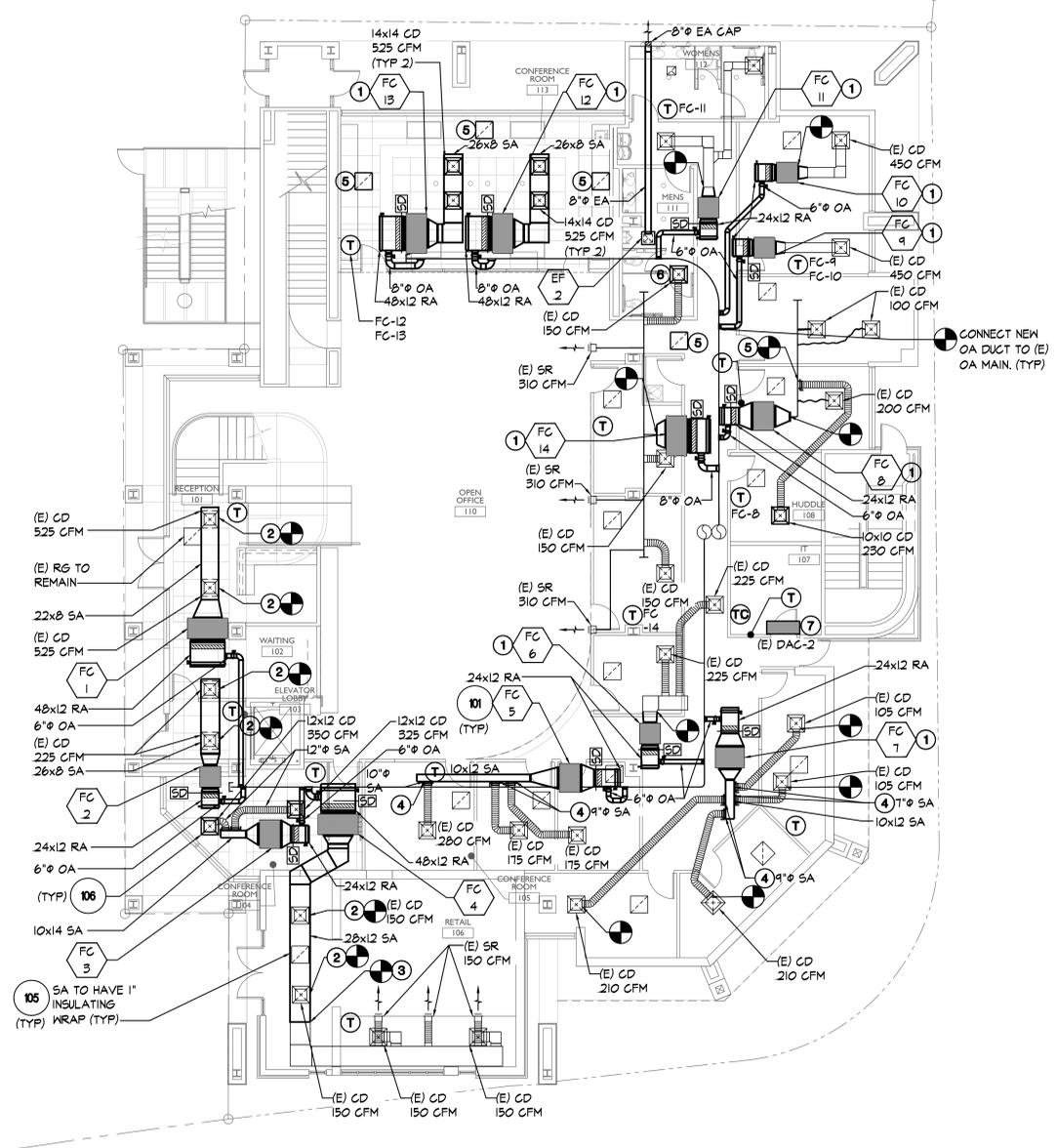
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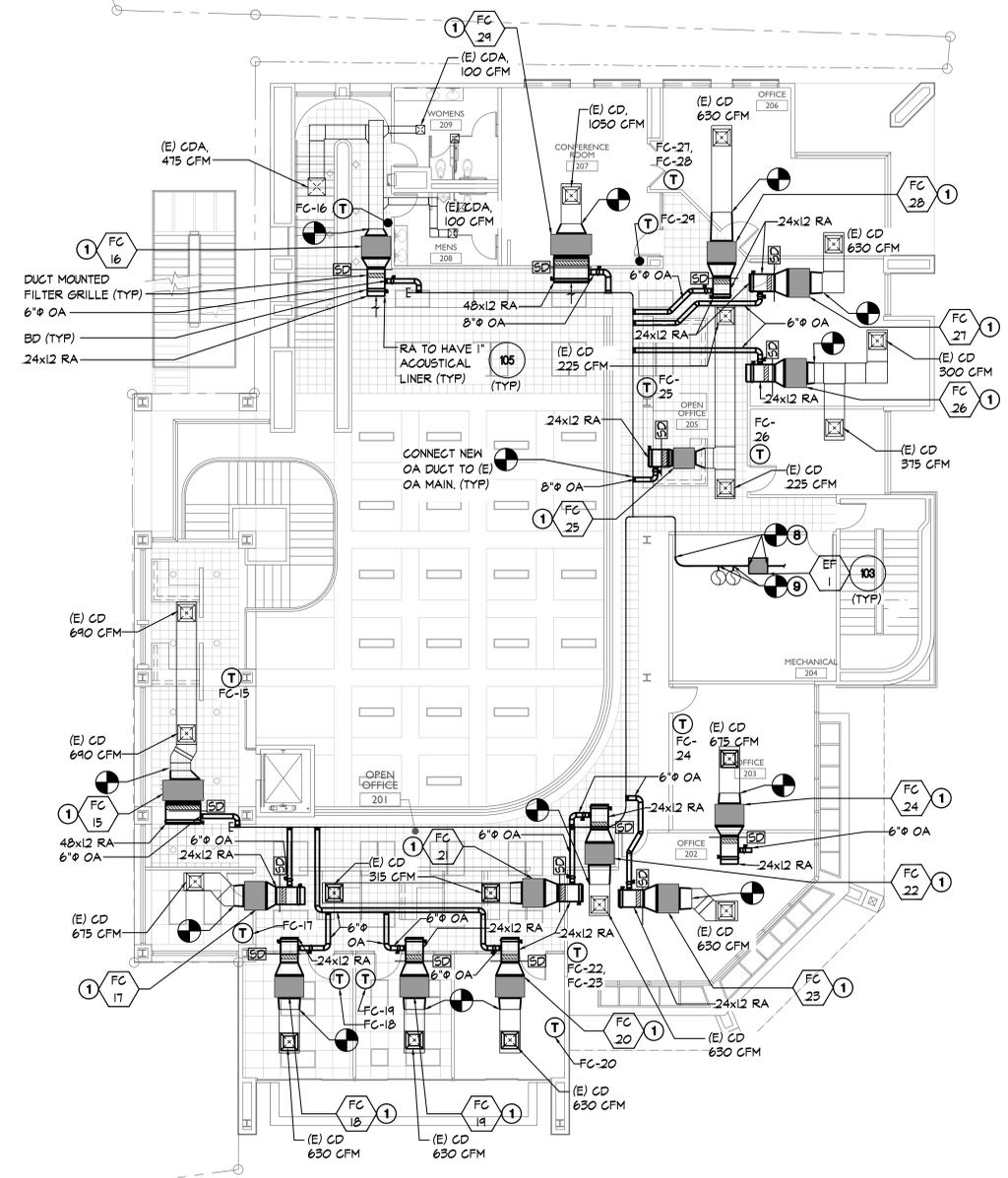
1 MECHANICAL 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

A. CONNECT ALL NEW OA DUCT TO (E) OA MAIN.

KEYNOTES:

- CONNECT NEW FC TO (E) DUCTWORK. TRANSITION AS REQUIRED.
- CONNECT (E) CD TO NEW SA MAIN.
- CONNECT NEW 28"x8" SA TO (E) 28"x8" SA.
- CONNECT NEW FLEX TO (E) CD.
- CONNECT NEW FLEX TO (E) SA MAIN.
- RELOCATE (E) CD. EXTEND FLEX AS REQUIRED.
- RELOCATED DAC-1. EXTEND REFRIGERANT PIPING AS REQUIRED.
- EXTEND (E) COLD DECK SA MAIN TO EF-1. EXTEND (E) OA DUCT TO EF-1. FIELD VERIFY EXACT LOCATION.
- CONNECT (E) COLD DECK DOWN TO 1ST FLOOR TO NEW OA MAIN.

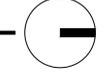


2 MECHANICAL 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NORTH



NORTH



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Revisions

MECHANICAL 3RD FLOOR
AND ROOF PLANS

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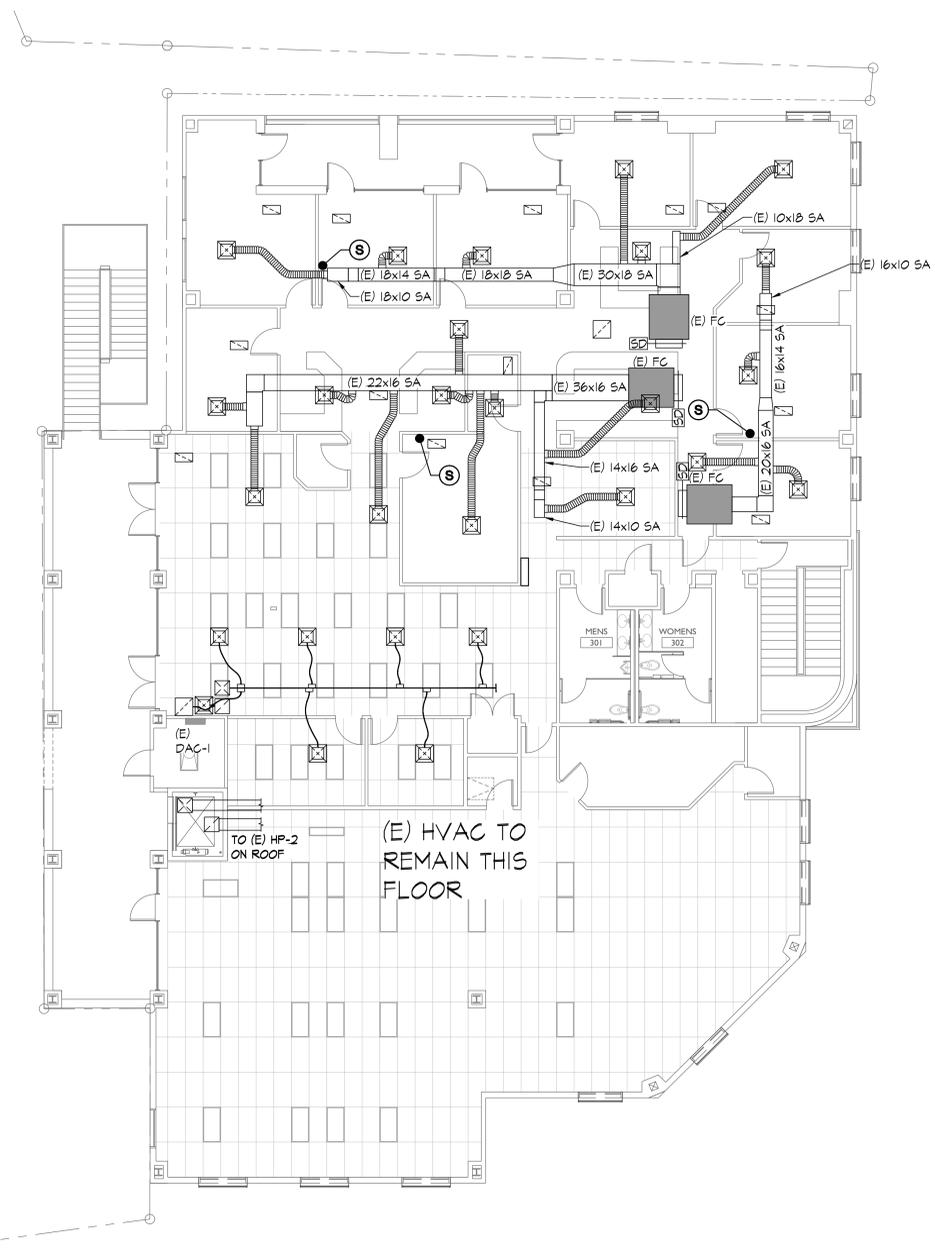
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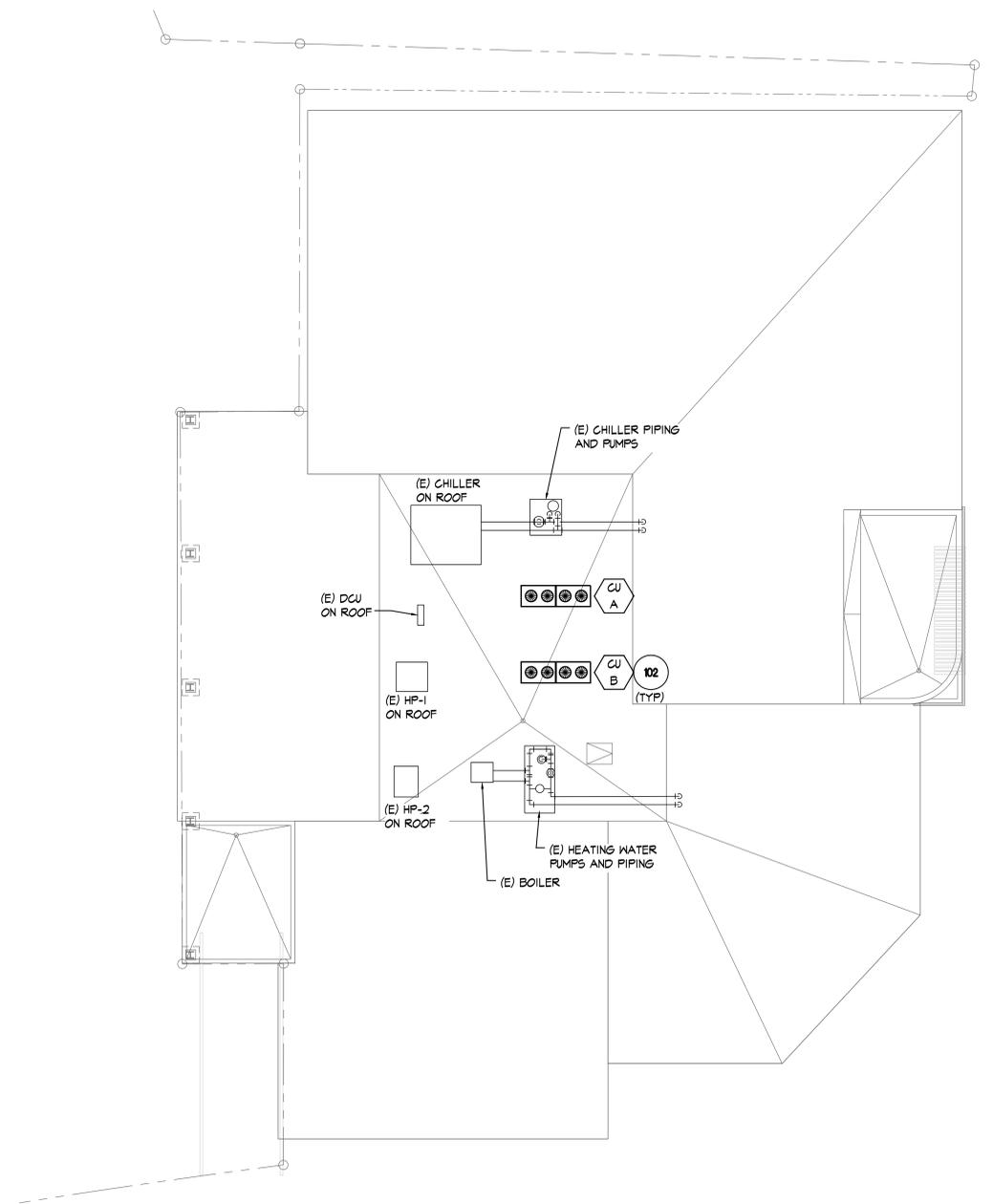


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1 MECHANICAL 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0" NORTH



2 MECHANICAL ROOF PLAN
SCALE: 1/8" = 1'-0" NORTH

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MECHANICAL PIPING PLANS

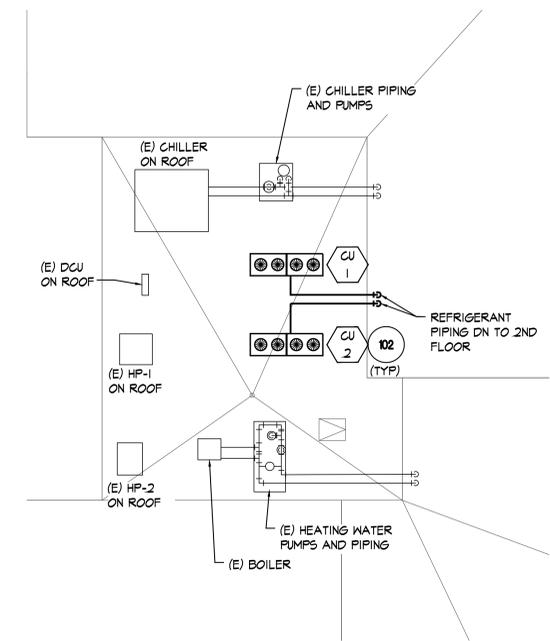
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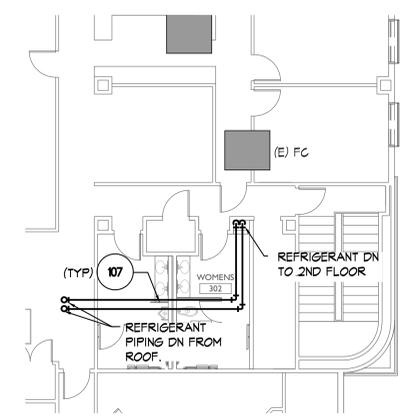
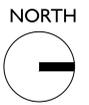
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MECHANICAL PARTIAL ROOF PIPING PLAN

1 SCALE: 1/8" = 1'-0"

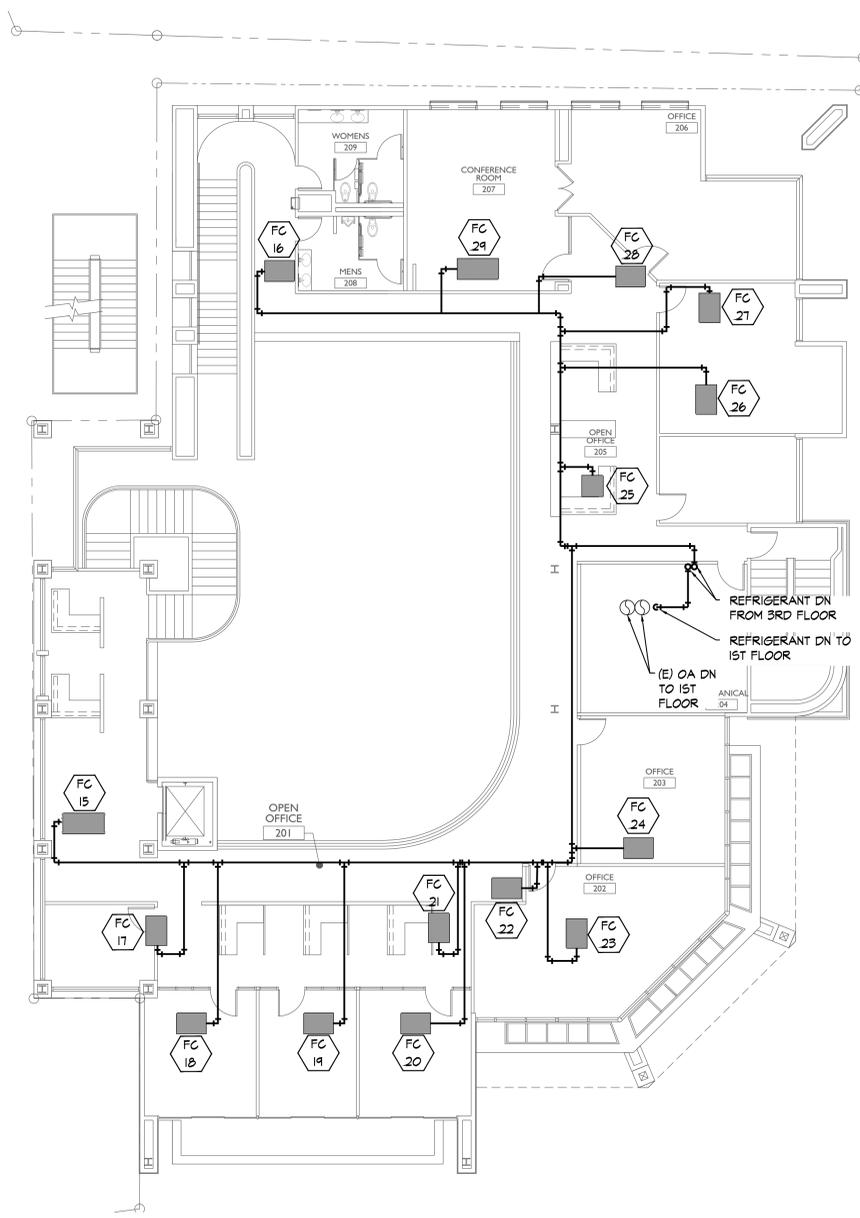


MECHANICAL PARTIAL 3RD FLOOR PIPING PLAN

2 SCALE: 1/8" = 1'-0"

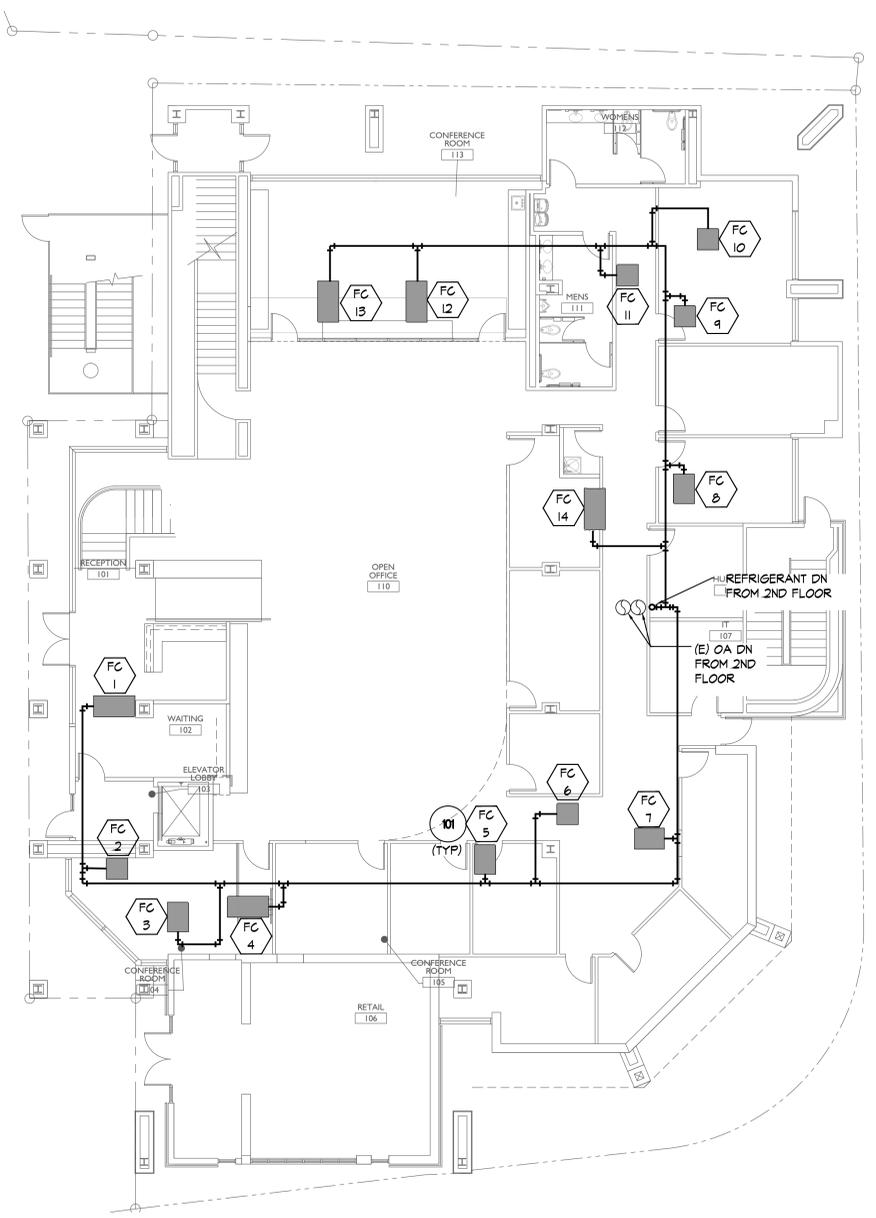
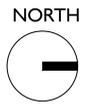


REFRIGERANT PIPING NOTES:
A. REFRIGERANT LINE SIZES AND CONNECTIONS PER MANUFACTURER. MECHANICAL CONTRACTOR TO FIELD ROUTE REFRIGERANT LINES PER MANUFACTURER'S RECOMMENDATIONS. (TYPICAL FOR ALL UNITS.)



MECHANICAL 2ND FLOOR PIPING PLAN

3 SCALE: 1/8" = 1'-0"



MECHANICAL 1ST FLOOR PIPING PLAN

4 SCALE: 1/8" = 1'-0"



NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Revisions

MECHANICAL DETAILS

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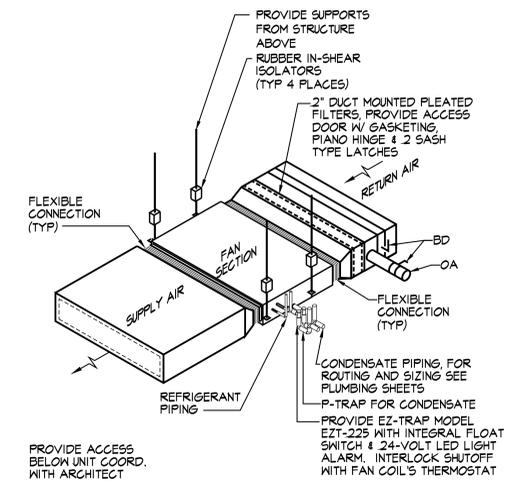


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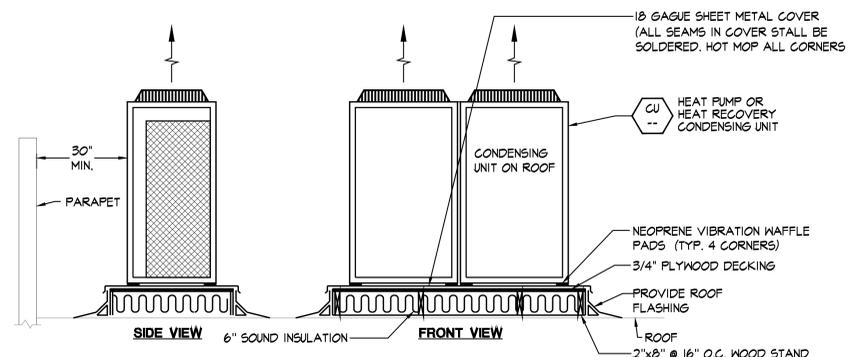
PROJECT NO. 20016 P: (520) 731-2060
www.phmech.com F: (520) 731-2061
AD, JLR, LAS



FAN COIL DETAIL (HORIZ)
NO SCALE

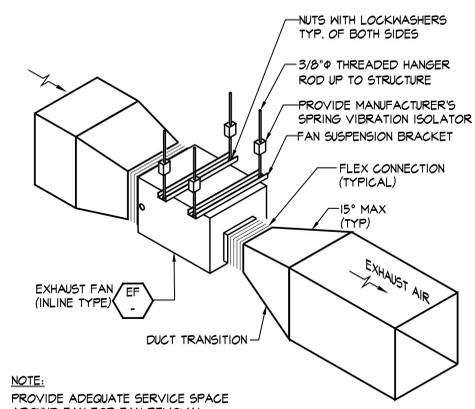
PROVIDE SUPPORTS FROM STRUCTURE ABOVE RUBBER IN-SHEAR ISOLATORS (TYP 4 PLACES)
2" DUCT MOUNTED PLEATED FILTERS, PROVIDE ACCESS DOOR W/ GASKETING, PLANO HINGE & 2 BASH TYPE LATCHES
BD
OA
FLEXIBLE CONNECTION (TYP)
CONDENSATE PIPING FOR ROUTING AND SIZING SEE PLUMBING SHEETS
P-TRAP FOR CONDENSATE
PROVIDE E2-TRAP MODEL E2T-225 WITH INTEGRAL FLOAT SWITCH & 24-VOLT LED LIGHT ALARM, INTERLOCK SHUTOFF WITH FAN COIL'S THERMOSTAT
FLEXIBLE CONNECTION (TYP)
PROVIDE ACCESS BELOW UNIT COORD. WITH ARCHITECT

NOTE:
REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS.



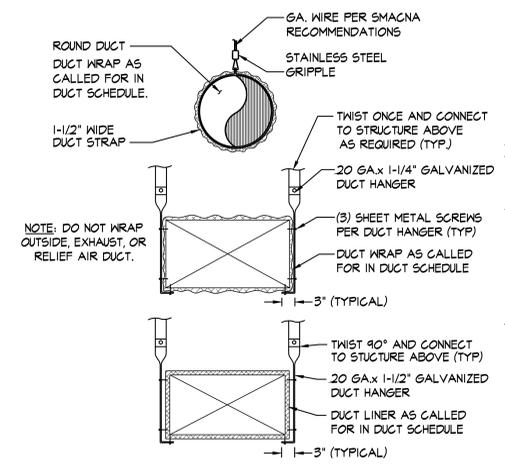
CONDENSING UNIT ON ROOF DETAIL
NO SCALE

18 GAUGE SHEET METAL COVER (ALL SEAMS IN COVER SHALL BE SOLDERED, HOT MOP ALL CORNERS)
HEAT PUMP OR HEAT RECOVERY CONDENSING UNIT
NEOPRENE VIBRATION WAFFLE PADS (TYP. 4 CORNERS)
3/4" PLYWOOD DECKING
PROVIDE ROOF FLASHING
ROOF
2"x8" @ 16" O.C. WOOD STAND COVERED WITH 3/4" PLYWOOD AND SHEET METAL COVER.
6" SOUND INSULATION
SIDE VIEW
FRONT VIEW
30" MIN. PARAPET



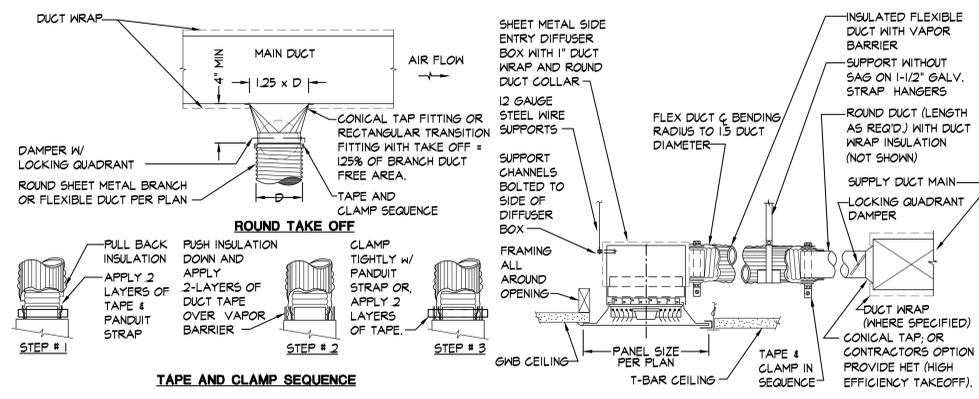
EXHAUST FAN - INLINE
NO SCALE

NUTS WITH LOCKWASHERS TYP. OF BOTH SIDES
3/8" Ø THREADED HANGER ROD UP TO STRUCTURE
PROVIDE MANUFACTURER'S SPRING VIBRATION ISOLATOR
FAN SUSPENSION BRACKET
FLEX CONNECTION (TYPICAL)
15" MAX (TYP)
EXHAUST FAN (INLINE TYPE) EF
DUCT TRANSITION
NOTE:
PROVIDE ADEQUATE SERVICE SPACE AROUND FAN FOR FAN REMOVAL, MOTOR, & DRIVE ACCESS.



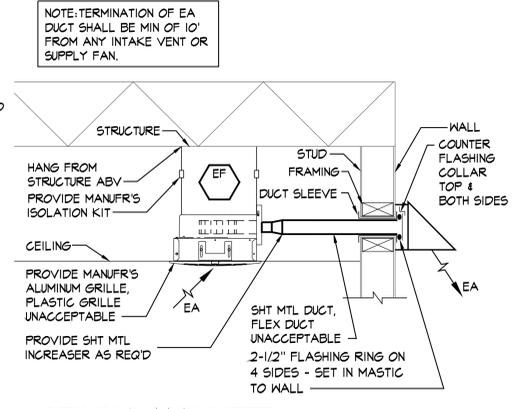
DUCT HANGER DETAIL
NO SCALE

GA. WIRE PER SMACNA RECOMMENDATIONS
STAINLESS STEEL GRIPPLE
ROUND DUCT DUCT WRAP AS CALLED FOR IN DUCT SCHEDULE.
1-1/2" WIDE DUCT STRAP
TWIST ONCE AND CONNECT TO STRUCTURE ABOVE AS REQUIRED (TYP.)
20 GA x 1-1/4" GALVANIZED DUCT HANGER
(3) SHEET METAL SCREWS PER DUCT HANGER (TYP)
DUCT WRAP AS CALLED FOR IN DUCT SCHEDULE
3" (TYPICAL)
NOTE: DO NOT WRAP OUTSIDE, EXHAUST, OR RELIEF AIR DUCT.
TWIST 90° AND CONNECT TO STRUCTURE ABOVE (TYP)
20 GA x 1-1/2" GALVANIZED DUCT HANGER
DUCT LINER AS CALLED FOR IN DUCT SCHEDULE
3" (TYPICAL)



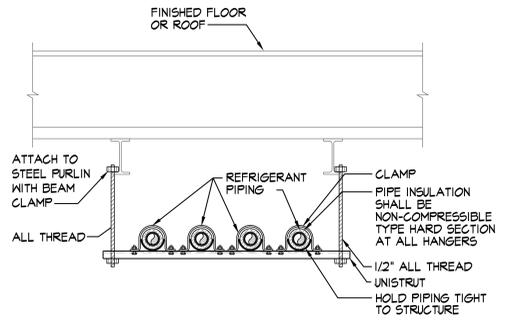
CEILING DIFFUSER AND FLEXIBLE DUCT DETAIL
NO SCALE

DUCT WRAP
MIN
MAIN DUCT
AIR FLOW
1.25 x D
DAMPER W/ LOCKING QUADRANT
ROUND SHEET METAL BRANCH OR FLEXIBLE DUCT PER PLAN
CONICAL TAP FITTING OR RECTANGULAR TRANSITION FITTING WITH TAKE OFF = 125% OF BRANCH DUCT FREE AREA.
TAPE AND CLAMP SEQUENCE
ROUND TAKE OFF
FULL BACK INSULATION
APPLY 2 LAYERS OF TAPE & FANQUIT STRAP
STEP # 1
PUSH INSULATION DOWN AND APPLY 2-LAYERS OF DUCT TAPE OVER VAPOR BARRIER
STEP # 2
CLAMP TIGHTLY W/ FANQUIT STRAP OR, APPLY 2 LAYERS OF TAPE.
STEP # 3
SHEET METAL SIDE ENTRY DIFFUSER BOX WITH 1" DUCT WRAP AND ROUND DUCT COLLAR
12 GAUGE STEEL WIRE SUPPORTS
FLEX DUCT & BENDING RADIUS TO 1.5 DUCT DIAMETER
ROUND DUCT (LENGTH AS REQ'D) WITH DUCT WRAP INSULATION (NOT SHOWN)
SUPPLY DUCT MAIN
LOCKING QUADRANT DAMPER
DUCT WRAP (WHERE SPECIFIED) CONICAL TAP, OR CONTRACTORS OPTION PROVIDE HET (HIGH EFFICIENCY TAKEOFF).
FRAMING ALL AROUND OPENING
GWB CEILING
PANEL SIZE PER PLAN
T-BAR CEILING
TAPE & CLAMP IN SEQUENCE



CEILING MOUNTED EXHAUST FAN DETAIL
NO SCALE

NOTE: TERMINATION OF EA DUCT SHALL BE MIN OF 10' FROM ANY INTAKE VENT OR SUPPLY FAN.
STRUCTURE
HANG FROM STRUCTURE ABV
PROVIDE MANUF'S ISOLATION KIT
CEILING
PROVIDE MANUF'S ALUMINUM GRILLE, PLASTIC GRILLE, UNACCEPTABLE
EA
SHT MTL DUCT, FLEX DUCT UNACCEPTABLE
2-1/2" FLASHING RING ON 4 SIDES - SET IN MASTIC TO WALL
WALL COUNTER FLASHING COLLAR TOP & BOTH SIDES
STUD FRAMING
DUCT SLEEVE
EA
PROVIDE SHT MTL INCREASER AS REQ'D



PIPING SUPPORT DETAIL
NO SCALE

FINISHED FLOOR OR ROOF
ATTACH TO STEEL PURLIN WITH BEAM CLAMP
ALL THREAD
REFRIGERANT PIPING
CLAMP
PIPE INSULATION SHALL BE NON-COMPRESSIBLE TYPE HARD SECTION AT ALL HANGERS
1/2" ALL THREAD UNISTRUT
HOLD PIPING TIGHT TO STRUCTURE

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

MECHANICAL LEGEND		
SYMBOL	ABBREV.	ITEM
	R	REFRIGERANT
		FLEX CONNECTION
	SA	SUPPLY AIR DUCT
	RA	RETURN AIR DUCT
	EA	EXHAUST AIR DUCT
	AP	ACCESS PANEL
	RG	RETURN AIR GRILLE - KRUEGER MODEL EGC-5 PROVIDE LAY-IN CEILING FRAME. COORDINATE FINISH WITH ARCHITECT.
	CD	SUPPLY AIR CEILING DIFFUSER - KRUEGER MODEL 6200 PROVIDE 24x24 PANEL, LAY-IN CEILING FRAME, & OBD. COORDINATE FINISH WITH ARCHITECT.
	CDA	SUPPLY AIR CEILING DIFFUSER - KRUEGER MODEL 6200 PROVIDE SURFACE MOUNT FRAME & OBD. COORDINATE FINISH WITH ARCHITECT.
	SR	SUPPLY REGISTER
	EG	EXHAUST GRILLE
	DG	DOOR GRILLE - KRUEGER MODEL 600A, DOUBLE FLAT FRAME. COORDINATE FINISH WITH ARCHITECT.
	BD	MANUAL BALANCE DAMPER (BUTTERFLY) FLEX DUCTWORK
	T	THERMOSTAT WITH LOCK OUT FEATURE
	TC	TIME CLOCK, 20 AMP AS MANUFACTURED BY INTERMATIC OR EQUAL
	P.O.C.	POINT OF CONNECTION
	DTR	DUCT THRU ROOF
	DTW	DUCT THRU WALL
	SA	SUPPLY AIR
	RA	RETURN AIR
	EA	EXHAUST AIR
	TA	TRANSFER AIR
	OA	OUTSIDE AIR
	(E)	EXISTING
	φ	FLEX OR ROUND DUCTWORK
	DN	DOWN
	CLG	CEILING
	TV	TURNING VANES
	ABV	ABOVE
	OH	OVERHEAD
	BLW	BELOW
	AFF	ABOVE FINISHED FLOOR
	OBD	OPPOSED BLADE DAMPER
	U.N.O.	UNLESS NOTED OTHERWISE

NOTE: SOME OF THE ITEMS MAY NOT APPLY TO THIS PROJECT.

FIRST FLOOR HEAT PUMP VARIABLE REFRIGERANT VOLUME (VRV) SPLIT SYSTEM SCHEDULE																
INDOOR FAN COIL UNIT (DESIGN CONDITIONS: COOLING - 105°F DB/80°F WB, HEATING 70°F DB/41°F WB)																
MARK	MRF AND MODEL	NOM TONS	UNIT TYPE	STD FLOW CFM	EXT SP W.G.	TOTAL COOLING CAPACITY MBH	SENSIBLE COOLING CAPACITY	TOTAL HEATING MBH	MCA	MAX FUSE AMPS	FAN WATS	ELECTRICAL V/PH/Hz	DUCT MOUNT FILTER RACK 3.75 PLEATED MERV-8 MIN FACE AREA (SF)	DIMENSIONS LxWxH	UNIT WEIGHT	REMARKS
FC-1	DAIKIN FXM030PBVJJ	2-1/2	HORIZONTAL ABV. CEILING UNIT	1050	0.5	25.1	22.1	33.9	2.8	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)
FC-2	DAIKIN FXM012PBVJJ	1	HORIZONTAL ABV. CEILING UNIT	450	0.4	10.3	9.2	13.5	1.4	15	90	208-230/1/60	2	28x28x12	75	(1)(2)(3)(4)(5)
FC-3	DAIKIN FXM024PBVJJ	2	HORIZONTAL ABV. CEILING UNIT	675	0.4	20.6	18.0	26.9	1.8	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-4	DAIKIN FXM030PBVJJ	2-1/2	HORIZONTAL ABV. CEILING UNIT	1050	0.5	25.1	22.1	33.9	2.8	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)
FC-5	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-6	DAIKIN FXM012PBVJJ	1	HORIZONTAL ABV. CEILING UNIT	450	0.4	10.3	9.2	13.5	1.4	15	90	208-230/1/60	2	28x28x12	75	(1)(2)(3)(4)(5)
FC-7	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-8	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-9	DAIKIN FXM012PBVJJ	1	HORIZONTAL ABV. CEILING UNIT	450	0.4	10.3	9.2	13.5	1.4	15	90	208-230/1/60	2	28x28x12	75	(1)(2)(3)(4)(5)
FC-10	DAIKIN FXM012PBVJJ	1	HORIZONTAL ABV. CEILING UNIT	450	0.4	10.3	9.2	13.5	1.4	15	90	208-230/1/60	2	28x28x12	75	(1)(2)(3)(4)(5)
FC-11	DAIKIN FXM012PBVJJ	1	HORIZONTAL ABV. CEILING UNIT	450	0.4	10.3	9.2	13.5	1.4	15	90	208-230/1/60	2	28x28x12	75	(1)(2)(3)(4)(5)
FC-12	DAIKIN FXM030PBVJJ	2-1/2	HORIZONTAL ABV. CEILING UNIT	1050	0.5	25.1	22.1	33.9	2.8	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)
FC-13	DAIKIN FXM030PBVJJ	2-1/2	HORIZONTAL ABV. CEILING UNIT	1050	0.5	25.1	22.1	33.9	2.8	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)
FC-14	DAIKIN FXM048PBVJJ	4	HORIZONTAL ABV. CEILING UNIT	1380	0.5	41.2	34.0	53.9	3.4	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)
FC-15	DAIKIN FXM048PBVJJ	4	HORIZONTAL ABV. CEILING UNIT	1380	0.5	41.2	34.0	53.9	3.4	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)
FC-16	DAIKIN FXM024PBVJJ	2	HORIZONTAL ABV. CEILING UNIT	675	0.4	20.6	18.0	26.9	1.8	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-17	DAIKIN FXM024PBVJJ	2	HORIZONTAL ABV. CEILING UNIT	675	0.4	20.6	18.0	26.9	1.8	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-18	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-19	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-20	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-21	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-22	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-23	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-24	DAIKIN FXM024PBVJJ	2	HORIZONTAL ABV. CEILING UNIT	675	0.4	20.6	18.0	26.9	1.8	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-25	DAIKIN FXM012PBVJJ	1	HORIZONTAL ABV. CEILING UNIT	450	0.4	10.3	9.2	13.5	1.4	15	90	208-230/1/60	2	28x28x12	75	(1)(2)(3)(4)(5)
FC-26	DAIKIN FXM024PBVJJ	2	HORIZONTAL ABV. CEILING UNIT	675	0.4	20.6	18.0	26.9	1.8	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-27	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-28	DAIKIN FXM018PBVJJ	1-1/2	HORIZONTAL ABV. CEILING UNIT	630	0.4	15.0	14.0	19.9	1.6	15	350	208-230/1/60	2	28x40x12	100	(1)(2)(3)(4)(5)
FC-29	DAIKIN FXM030PBVJJ	2-1/2	HORIZONTAL ABV. CEILING UNIT	1050	0.5	25.1	22.1	33.9	2.8	15	350	208-230/1/60	4	28x56x12	125	(1)(2)(3)(4)(5)

1. FAN COIL UNIT SHALL HAVE SINGLE POINT POWER CONNECTION. FAN COILS ARE EQUIPPED WITH FLOAT SWITCH (WITH FAULT LIGHT INDICATOR AT LOCAL THERMOSTAT CONTROL) IN CONDENSATE PAN FOR SAFETY SHUT OFF IN THE EVENT THE LINE IS CLOGGED OR THE INTEGRAL CONDENSATE PUMP FAILS.
2. PROVIDE ALL FEATURES STANDARD TO THE UNIT SCHEDULED INCLUDING INTEGRAL CONDENSATE PUMP.
3. EQUIPMENT INSTALLER SHALL BE FACTORY TRAINED BY THE MANUFACTURER PRIOR TO INSTALLING ANY EQUIPMENT OR COMPONENTS.
4. PROVIDE & INSTALL FACTORY RECOMMENDED CONTROLS: 7-DAY PROGRAMMABLE CONTROLLER, CONTROL WIRING CONDUIT AND BRANCH PIPING KITS AS RECOMMENDED BY THE MANUFACTURER.
5. ELECTRICAL CONTRACTOR TO PROVIDE AND WIRE SMOKE DETECTOR, MECHANICAL CONTRACTOR TO INSTALL IN DUCTWORK.

DUCT CONSTRUCTION TABLE		
DUCT TYPE	DUCT MATERIAL	INSULATION
SUPPLY AIR	SHEET METAL OR KOOL DUCT	1" WRAP
RETURN AIR	SHEET METAL OR KOOL DUCT	1" LINER
GENERAL EXHAUST	SHEET METAL	NONE
FLEX SA	FLEXIBLE POLYESTER, PVC OR EQUIVALENT	R-6
FLEX RA	FLEXIBLE POLYESTER, PVC OR EQUIVALENT	R-6

NOTE: GAUGES AND INSTALLATION SHALL BE ACCORDING TO LATEST SMACNA.

HEAT PUMP VARIABLE REFRIGERANT VOLUME (VRV) SPLIT SYSTEM SCHEDULE									
OUTDOOR HEAT PUMP UNIT (DESIGN CONDITIONS: COOLING - 95°F DB/80°F WB, HEATING 70°F DB/41°F WB)									
MARK	FC UNITS	NOM TONS	MFR AND MODEL UNIT TYPE	TOTAL CLG CAPACITY MBH/ EER/IEER	MIN EER/IEER REQ FOR 10% GREATER EFFICIENCY	TOTAL HEATING CAPACITY MBH/COP MIN COP REQ	ELECTRICAL	WEIGHT LBS/ DIMENSIONS HxWxL	REMARKS
OU-A	FC-1 THRU FC-14	22	DAIKIN RXY0264XATJA HEAT PUMP	258/9.9 EER /19.6 IEER	9.5 EER/ 12.1 IEER / 13.91 IEER	221/ 3.4 COP 3.2 COP REQ	V/PH/Hz 208/3/60 MCA=36.3+55.1 MOP=45+60	555+710 LBS 66-11/16"H x 47-6/16"L x 30-3/16"W	(1)(2)(3)(4)
OU-B	FC-15 THRU FC-29	22	DAIKIN RXY0264XATJA HEAT PUMP	258/9.9 EER /19.6 IEER	9.5 EER/ 12.1 IEER / 13.91 IEER	221/ 3.4 COP 3.2 COP REQ	V/PH/Hz 208/3/60 MCA=36.3+55.1 MOP=45+60	555+710 LBS 66-11/16"H x 47-6/16"L x 30-3/16"W	(1)(2)(3)(4)

REMARKS

1. EQUIPMENT INSTALLER SHALL BE FACTORY TRAINED BY THE MANUFACTURER PRIOR TO INSTALLING ANY EQUIPMENT OR COMPONENTS.
2. PROVIDE & INSTALL FACTORY RECOMMENDED CONTROLS: 7-DAY PROGRAMMABLE CONTROLLER, AND CONTROL WIRING AS RECOMMENDED BY THE MANUFACTURER.
3. PROVIDE AND INSTALL (1) OUTDOOR UNIT MULTI CONNECTION PIPING KIT. INSTALL PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
4. PROVIDE & INSTALL FACTORY RECOMMENDED CONTROLS: CENTRALIZED CONTROLLER, CONTROL WIRING AND CONDUIT AS RECOMMENDED BY THE MANUFACTURER.

ABBREVIATIONS

MCA MINIMUM CIRCUIT AMPS
MFA MAXIMUM FUSE AMPS
MOP MAXIMUM STARTING CURRENT
TOCA PROTECTION TOTAL OVERCURRENT AMPS

EXHAUST FAN SCHEDULE															
MARK	SERVES	MFR AND MODEL	TYPE	CFM	ESP IN WG	FAN RPM	MOTOR DATA				DISCONNECT	BACK DRAFT DAMPER	SONES	WEIGHT	REMARKS
							SPEED	WATTS	HP	ELECTRIC					
EF-1	VENTILATION	COOK DG-09	INLINE	1710	0.75	1185	1	--	3/4	115-1-60	YES	YES	13.6	100	(2)(3)
EF-2	RESTROOM	COOK GC 188	CEILING MOUNTED	100	0.5	1450	1	96.6	--	115-1-60	YES	YES	6.0	25	(2)(3)

1. BASIS OF DESIGN. EQUIPMENT SELECTED AT AN ALTITUDE OF 2500 FEET.
2. PROVIDE MANUFACTURER'S HANGING ISOLATION KIT, WALL CAP, AND ALUMINUM GRILLE.
3. FAN TO BE CONTROLLED BY TIME CLOCK. FAN TO OPERATE DURING OCCUPIED HOURS.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Revisions

MECHANICAL SCHEDULES

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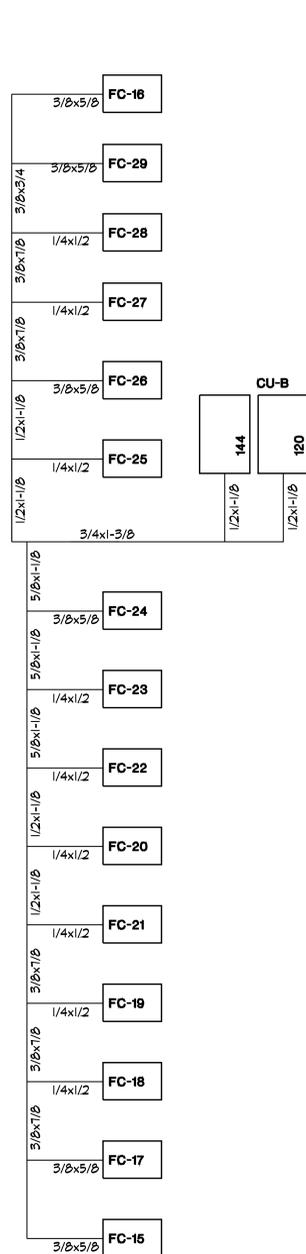


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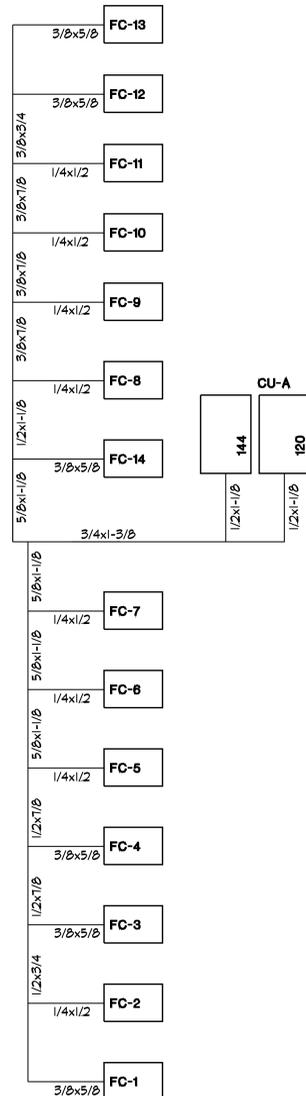
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NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



2 MECHANICAL CU-B PIPING DIAGRAM



1 MECHANICAL CU-A PIPING DIAGRAM

MECHANICAL NOTES

PART I - GENERAL:

- 1.01 - ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL CODES, LAWS, RULES, AND REGULATIONS OF ALL NATIONAL, STATE, COUNTY, AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THIS SHOULD INCLUDE, BUT NOT BE LIMITED TO, THE INTERNATIONAL MECHANICAL CODE (IMC 2018), INTERNATIONAL BUILDING CODE (IBC 2018), INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2018), AND THE NATIONAL FIRE PROTECTION ASSOCIATION. IN CASE OF DIFFERENCES, THE MOST RESTRICTIVE OF SAID REGULATIONS SHALL GOVERN. HOWEVER, THIS SHALL NOT BE CONSTRUED TO RELIEVE THIS CONTRACTOR FROM COMPLYING WITH REQUIREMENTS OF THE PLANS AND SPECIFICATIONS WHICH MAY BE IN EXCESS OF CODE REQUIREMENTS.
- 1.02 - CONTRACTOR TO SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- 1.03 - FURNISH AND INSTALL ALL EQUIPMENT AND MATERIAL AS SHOWN. THIS SHALL INCLUDE ALL ITEMS NECESSARY TO COMPLETE THE INSTALLATION WHETHER SPECIFICALLY MENTIONED OR NOT.
- 1.04 - MECHANICAL DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW THE APPROXIMATE LOCATION OF OUTLETS, DUCTWORK, EQUIPMENT, AND PIPING. DIMENSIONS GIVEN IN FIGURE ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS, WHETHER GIVEN IN FIGURES OR SCALED, SHALL BE VERIFIED IN THE FIELD. NO DUCTWORK SHALL BE FABRICATED UNTIL DUCT CLEARANCES ARE FIELD VERIFIED.
- 1.05 - BEFORE SUBMITTING A BID, CAREFULLY STUDY ALL CONSTRUCTION DOCUMENTS. CAREFULLY EXAMINE THE PREMISES AND ANY EXISTING WORK. DETERMINE IN ADVANCE, THE METHODS OF INSTALLING AND CONNECTING THE EQUIPMENT, AND BE THOROUGHLY FAMILIAR WITH ALL THE REQUIREMENTS OF THE CONTRACT.
- 1.06 - THE MECHANICAL SYSTEMS HAVE BEEN DESIGNED AROUND THE MAKES AND SIZES OF EQUIPMENT NAMED IN THE EQUIPMENT SCHEDULES AND SHOWN ON THE DRAWINGS. OTHER MAKES OF EQUIPMENT NAMED IN THIS SPECIFICATION, SHOWN ON THE DRAWINGS, OR APPROVED BY THE ARCHITECT MAY BE FURNISHED AT THIS CONTRACTOR'S OPTION. IT IS, HOWEVER, THIS CONTRACTOR'S RESPONSIBILITY TO BE SURE THAT SUCH EQUIPMENT HAS EQUIVALENT CAPACITY, THE SAME ELECTRICAL CHARACTERISTICS, SUBSTANTIALLY THE SAME PHYSICAL DIMENSIONS AND CAN BE INSTALLED IN THE SPACE AVAILABLE WITH AMPLE WORKING SPACE AROUND IT. ANY ADDITIONAL COSTS RESULTING FROM EQUIPMENT OR MATERIAL SUBSTITUTION SHALL BE BORNE BY THIS CONTRACTOR.
- 1.07 - THE FOLLOWING IS A LIST OF ADDITIONAL EQUIPMENT APPROVED FOR USE ON THIS PROJECT SUBJECT TO SECTION 1.06 ABOVE.
 1. AIR CONDITIONING UNITS: MITSUBISHI, TOSHIBA
 2. EXHAUST FANS: GREENHECK, COOK, THIN CITY
 3. AIR DEVICES: KRUEGER, TITUS, NAILOR, RUSKIN, PRIGE, TUTTLE & BAILEY
- 1.08 - THE CONTRACTOR SHALL SUBMIT AN ELECTRONIC COPY OF SHOP DRAWINGS ON THE FOLLOWING ITEMS:
 1. AIR CONDITIONING UNITS
 2. AIR DEVICES
 3. INSULATION
 4. EXHAUST FANS
 5. AIR BALANCE REPORT
 6. OTHER EQUIPMENT AS DIRECTED BY THE ARCHITECT.
- 1.09 - PROVIDE ALL OPENINGS THROUGH THE WALLS OR ROOF.
- 1.10 - ELECTRICAL HIGH VOLTAGE POWER WIRING, CONDUIT, DISCONNECT SWITCHES, FUSES, ETC., SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

PART II - PRODUCTS:

- 2.01 - FURNISH AND INSTALL THE EQUIPMENT AND MATERIAL OF THE SIZE, QUALITY, CAPACITY AND PERFORMANCE INDICATED. THE EQUIPMENT SHALL BE NEW WITH THE MAKE, MODEL NUMBER, SIZE OR CAPACITY STAMPED ON IT OR ON A NAMEPLATE AFFIXED THERETO.
- 2.02 - AIR CONDITIONING REFRIGERANT PIPING SHALL BE ACR REFRIGERATION, HARD TEMPERED TUBING. CLEAN AND CAP TUBING WITH WROUGHT COPPER FITTINGS.
- 2.03 - AIR CONDITIONING CONDENSATE PIPING SHALL BE TYPE "M" COPPER WITH PLUGGED TEES FOR CLEANOUTS. PLUMBING CONTRACTOR SHALL INSTALL CONDENSATE PIPING.
- 2.04 - JOINTS IN COPPER AIR CONDITIONING REFRIGERANT PIPING SHALL BE MADE WITH SILFOS AND FLUX AS RECOMMENDED BY THE BRAZING ALLOY MANUFACTURER. DURING BRAZING, THE PIPE AND FITTINGS SHALL BE KEPT FULL OF INERT GAS, DRY NITROGEN, OR CO2 TO PREVENT FORMATION OF SCALE.
- 2.05 - PROVIDE DIELECTRIC UNIONS OR FLANGES WHERE PIPING JOINS OTHER PIPING OF DISSIMILAR METALLURGY.
- 2.06 - ALL PIPING INSIDE THE BUILDING SHALL BE SUPPORTED BY ADJUSTABLE STEEL CLEVIS HANGERS SPACED PER ASHRAE RECOMMENDATIONS AND SUSPENDED FROM THE BUILDING CONSTRUCTION BY ALL-THREAD RODS. STRAP, WIRE, OR CHAIR WIRES ARE NOT PERMITTED. WHERE SUSPENDED FROM STEEL STRUCTURAL MEMBERS, APPROPRIATE CLAMPS SHALL BE USED.
- 2.07 - PAINT ALL VISIBLE SHEET METAL DUCTWORK BEHIND GRILLES AND REGISTERS FLAT BLACK. PAINT ALL INTERIOR EXPOSED DUCTWORK WITH TWO COATS OF PRIMER AND TWO COATS OF ENAMEL. COORDINATE COLOR WITH ARCHITECT. PAINT ALL SHEET METAL DUCTWORK EXPOSED TO WEATHER WITH TWO COATS OF AN APPROVED ALL-WEATHER PAINT, WHITE IN COLOR.

- 2.08 - ALL DUCTS SHALL BE CONSTRUCTED OF NEW GALVANIZED PRIME STEEL. GAUGES AND INSTALLATION SHALL BE ACCORDING TO LATEST SMACNA "HVAC DUCT CONSTRUCTION STANDARDS". ALL DUCTWORK SHALL BE HUNG WITH SHEET METAL STRAP HANGERS FASTENED TO STRUCTURE ABOVE. ALL DUCT JOINTS, INCLUDING BRANCH DUCT CONNECTIONS, SHALL BE SEALED WITH HARDCAST OR EQUIVALENT CMC DUCT SEALER. THE SIZES OF INTERNALLY LINED DUCTS SHOWN ON DRAWINGS ARE ACTUAL OUTSIDE DUCT DIMENSIONS.
- 2.09 - ALL SUPPLY AND RETURN AIR DUCTS AND FLENUMS SHALL BE THERMALLY INSULATED. PER THE 2018 IECC, SUPPLY AND RETURN AIR DUCTS LOCATED IN UNCONDITIONED SPACE SHALL HAVE A MINIMUM R-6. THE LINER SHALL MEET THE LIFE SAFETY STANDARDS AS ESTABLISHED BY NFPA 90A AND 90B. ALL LEADING EDGES OF EXPOSED DUCT LINER SHALL BE PROTECTED WITH SHEET METAL. THE LINER SHALL BE GULFED AND PINNED PER SMACNA RECOMMENDATIONS. A FOIL JACKET SHALL COVER WRAP INSULATION. DUCTS INSIDE CONDITIONED SPACE SHALL NOT BE WRAPPED OR LINED UNLESS NOTED OTHERWISE.
- 2.10 - REFRIGERANT SUCTION LINES LESS THAN OR EQUAL TO 1.5" DIAMETER SHALL BE INSULATED WITH 1/2" ARMAFLEX AND LINES GREATER THAN 1.5" DIAMETER SHALL BE INSULATED WITH 1" ARMAFLEX. ARMAFLEX EXPOSED TO WEATHER SHALL BE COVERED WITH A SMOOTH, 0.020" THICK ALUMINUM JACKET. CONDENSATE PIPING LOCATED ABOVE FINISHED CEILINGS SHALL BE INSULATED WITH 1/2" ARMAFLEX. A KRAFT PAPER REINFORCED, FOIL VAPOR BARRIER, WITH SELF-SEALING ADHESIVE JOINTS SHALL COVER INSULATION ON INTERIOR PIPING.

PART III - EXECUTION:

- 3.01 - THE CONTRACTOR IS RESPONSIBLE FOR BACK CHECKING THE ARCHITECTURAL DRAWINGS AND EXAMINING THE WALL/CEILING TYPES TO ENSURE PROPER INSTALLATION OF FIRE/FIRE SMOKE DAMPERS.
- 3.02 - EQUIPMENT SHALL BE INSTALLED TO PERMIT ACCESS FOR SERVICE AND MAINTENANCE. ALL EQUIPMENT SHALL BE INSTALLED AS RECOMMENDED BY THE EQUIPMENT MANUFACTURERS.
- 3.03 - ALL PIPING SHALL BE ACCURATELY CUT AND INSTALLED IN PLACE WITHOUT FORCING. CHANGES IN DIRECTION SHALL BE MADE WITH FITTINGS. BENDING OF PIPING EXCEPT ANNEALED COPPER WILL NOT BE ACCEPTED. REDUCING FITTINGS, RATHER THAN BUSHINGS, SHALL BE USED WHERE PIPE SIZES CHANGE. TEE FITTINGS SHALL NOT BE USED FOR CONVERGING OR DIVERGING FLOW. A BRANCH TEE AND ONE ELBOW SHALL BE USED INSTEAD. ELBOWS SHALL HAVE A LONG RADIUS WITH A CENTERLINE RADIUS EQUAL TO 1-1/2 TIMES THE PIPE DIAMETER.
- 3.04 - ISOLATE ALL COPPER FROM CONTACT WITH STEEL, CONCRETE, OR MASONRY.
- 3.05 - BALANCE ALL AIR QUANTITIES AS INDICATED ON THE DRAWINGS (+) OR (-) 10%, IN ACCORDANCE WITH SMACNA OR ACR BALANCING PROCEDURES. SUBMIT AN ELECTRONIC COPY OF THE BALANCE REPORTS INCLUDING EQUIPMENT VOLTAGE AND AMP READINGS. AN AGENCY INDEPENDENT OF CONTRACTOR SHALL DO THE BALANCING.
- 3.06 - REFRIGERANT PIPING SHALL BE TRIPLE EVACUATED WITH DRY NITROGEN AND HAVE A 12-HOUR HOLDING TEST PERFORMED PER MANUFACTURER'S RECOMMENDATIONS. THE ARCHITECT'S REPRESENTATIVE SHALL INSPECT THE TEST. A WRITTEN REPORT OF TEST RESULTS SHALL BE SUBMITTED FOR APPROVAL AND SIGNED BY THE INSPECTING PARTY.
- 3.07 - THE CONTRACTOR IS RESPONSIBLE FOR HIRING A COMMISSIONING AGENT TO MEET THE REQUIREMENTS OF IECC SECTION C408 SYSTEM COMMISSIONING. THE COMMISSIONING AGENT MAY BE A THIRD PARTY OR THE PROJECT REGISTERED DESIGN PROFESSIONAL. THE DOCUMENTS DESCRIBED IN SECTION 408 SHALL BE PROVIDED TO THE BUILDING OWNER WITHIN 90 DAYS OF THE CERTIFICATE OF OCCUPANCY.
- 3.08 - AT ALL TIMES, KEEP THE BUILDING AND PREMISES IN A NEAT MANNER. THOROUGHLY CLEAN UP AT END OF CONSTRUCTION.
- 3.09 - RECORD ALL CHANGES FROM CONTRACT DRAWINGS INCLUDING "FOUND" CONDITIONS AND SUBMIT TO ARCHITECT "RECORD DRAWINGS" AT CLOSE OF PROJECT.
- 3.10 - FILTERS TO BE MINIMUM MERV-8. INSTALL A NEW SET OF FILTERS AFTER FINAL INSPECTION.
- 3.11 - FURNISH TO THE ARCHITECT AN ELECTRONIC FILE OF THE OPERATING AND MAINTENANCE MANUALS. MANUALS SHALL CONTAIN MANUFACTURER'S CUT SHEETS, SPARE PARTS LIST, SEQUENCE OF OPERATION, AND A PREVENTATIVE MAINTENANCE SCHEDULE.
- 3.12 - GUARANTEE WORK TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. PROVIDE AN ADDITIONAL FOUR-YEAR WARRANTY ON ALL AIR CONDITIONING COMPRESSORS.

END OF SPECIFICATIONS



Revisions

MECHANICAL PIPING DIAGRAMS AND NOTES

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Revisions

PLUMBING DEMO FLOOR PLANS

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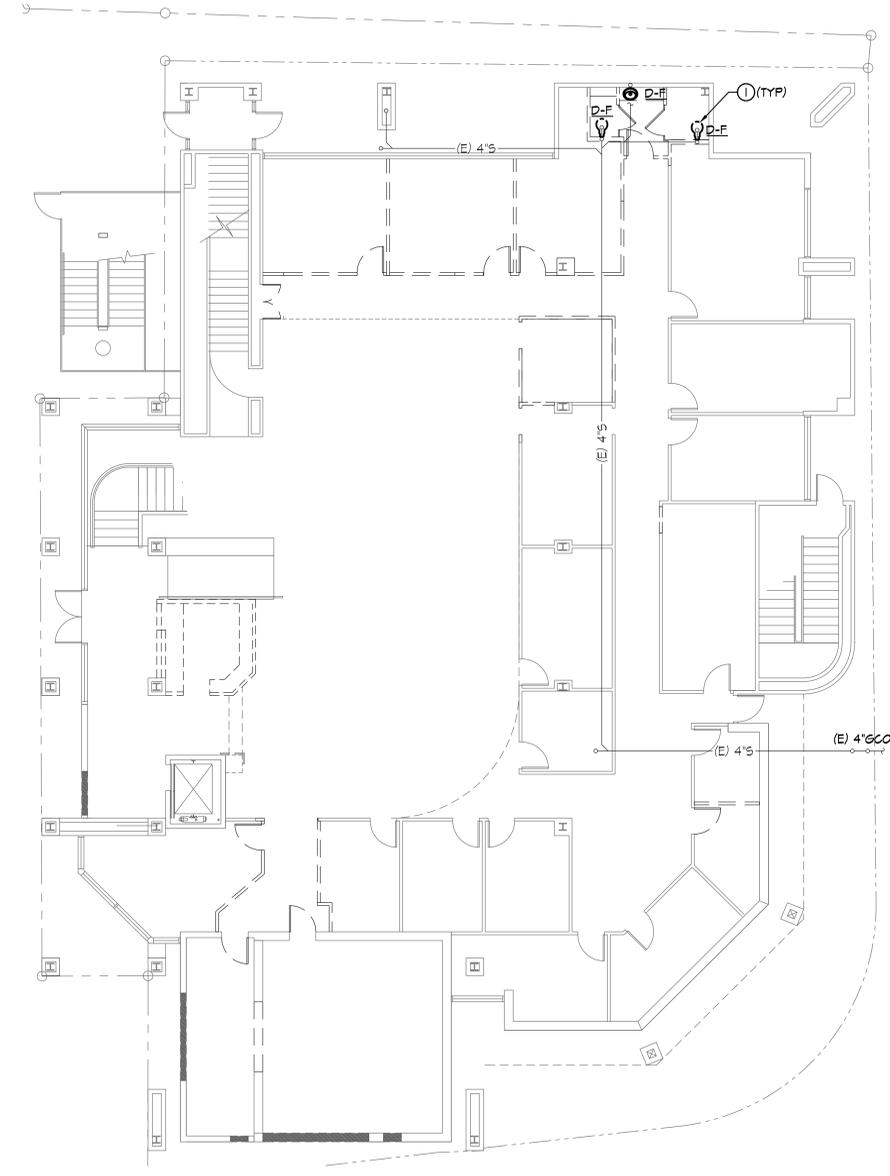
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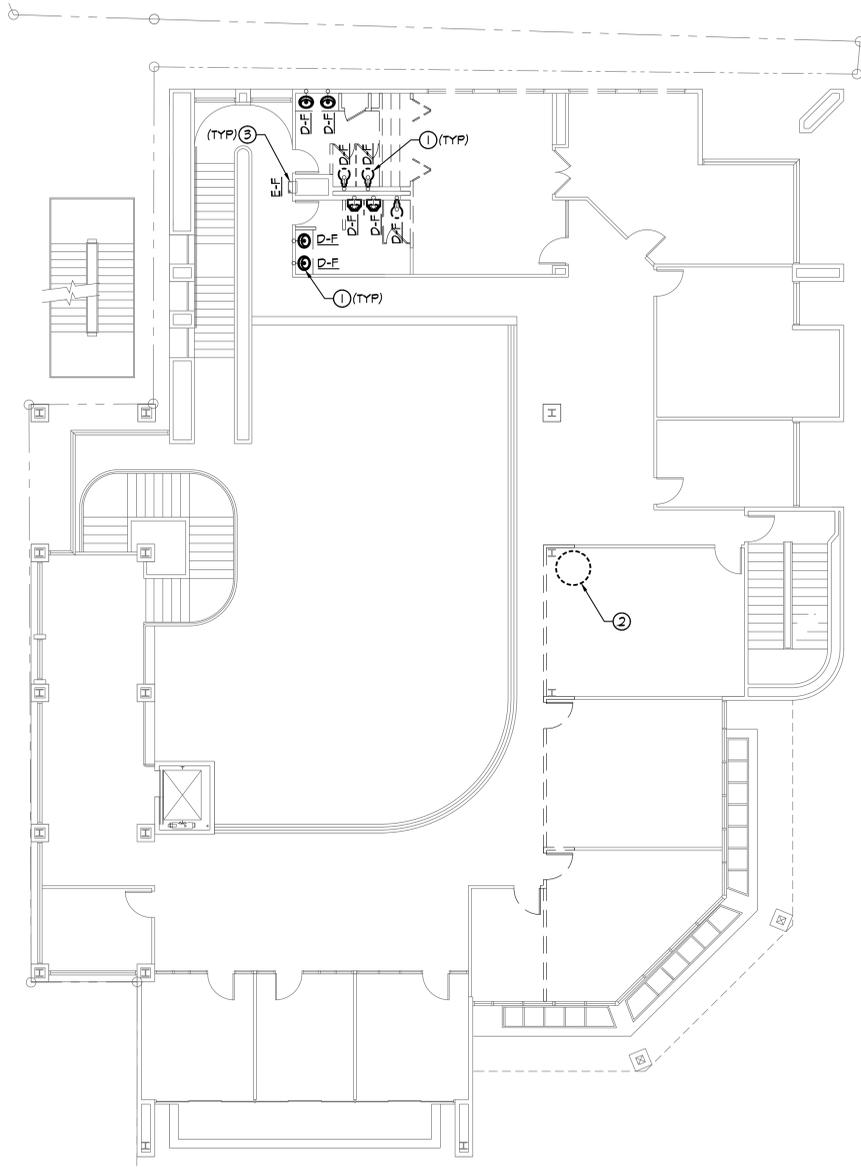


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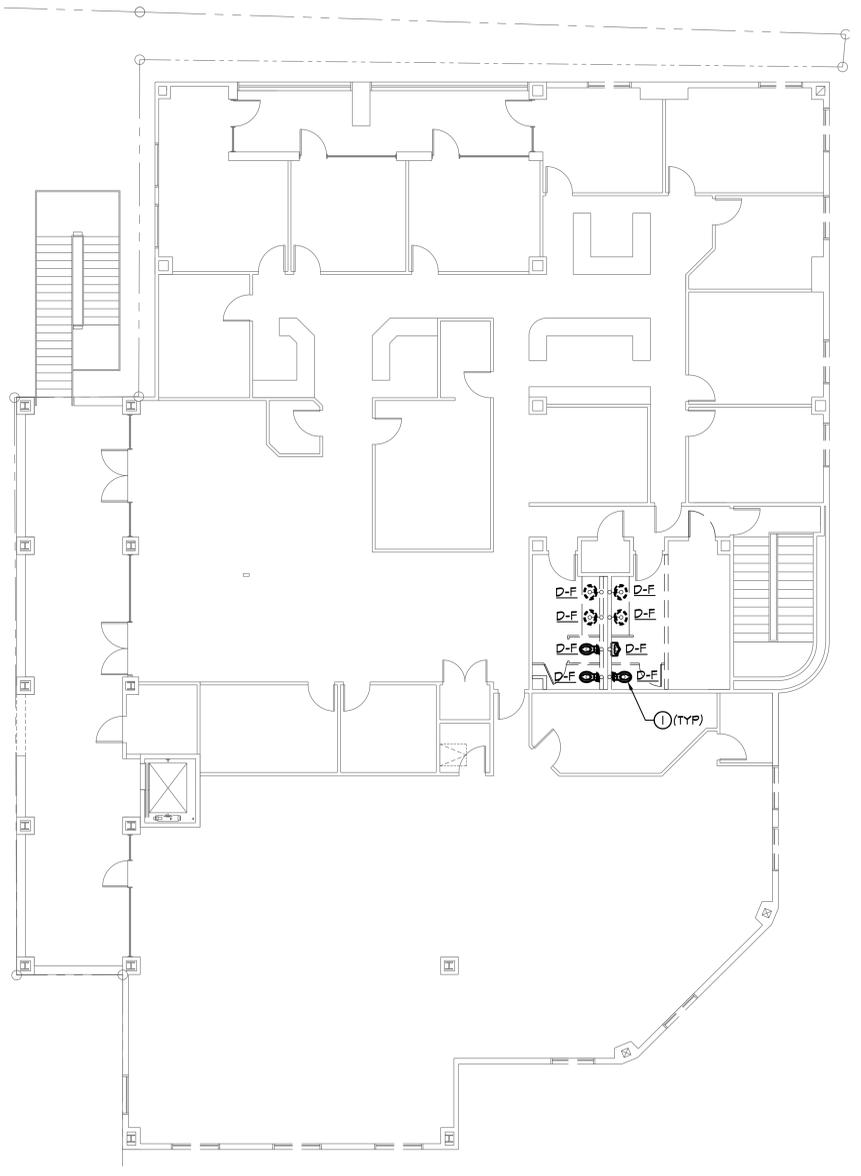
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1 PLUMBING 1ST FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0" NORTH



2 PLUMBING 2ND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0" NORTH



3 PLUMBING 3RD FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0" NORTH

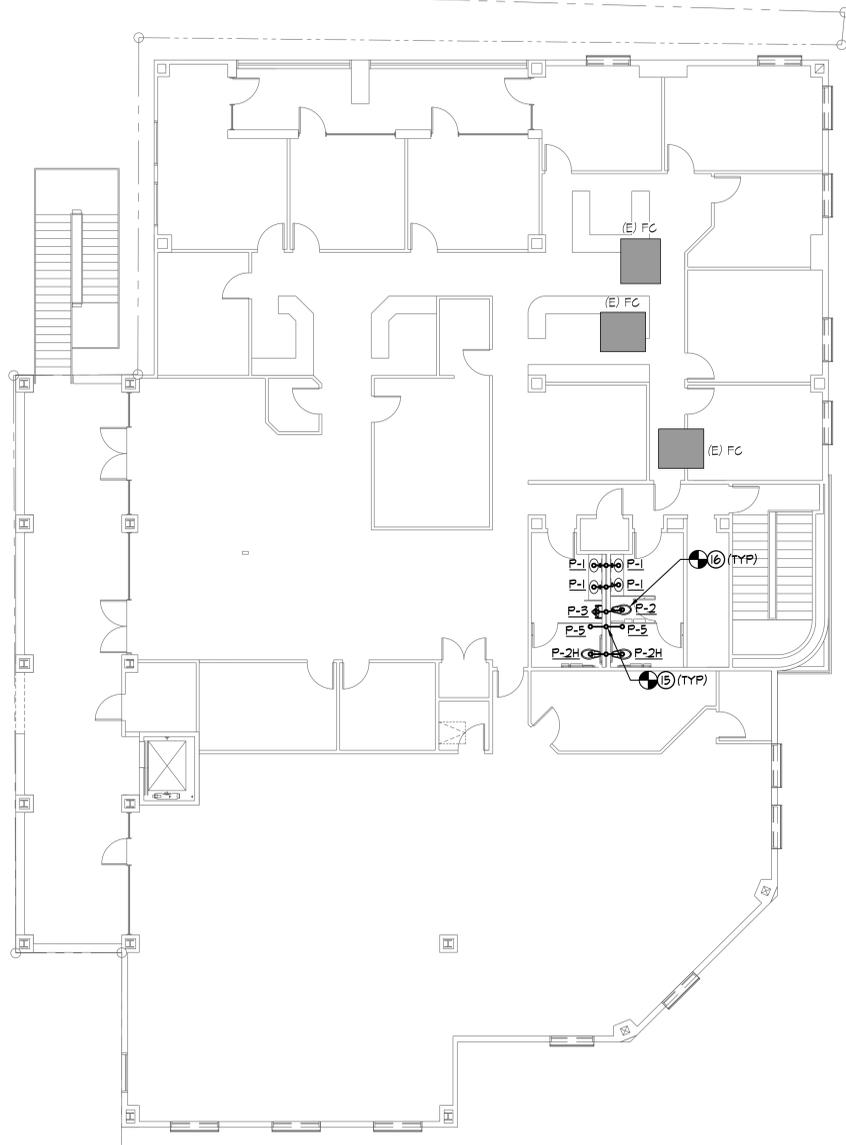
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- PLUMBING DEMOLITION NOTES**
- COORDINATE DEMOLITION OF ALL OVERHEAD, IN WALL, AND BELOW FLOOR PLUMBING ITEMS WITH OTHER TRADES.
 - COORDINATE DEMOLITION SCHEDULE AND HOURS OF WORK WITH THE OWNER AND/OR ARCHITECT.
 - CONTRACTOR SHALL MAINTAIN PREMISES IN CLEAN CONDITION AT END OF EACH DAY AND THOROUGHLY CLEAN-UP AT END OF CONSTRUCTION.
 - COORDINATE PROPER DISPOSAL OF ALL DEMOLITION ITEMS WITH OWNER AND/OR ARCHITECT.
 - ALL PLUMBING EQUIPMENT AND PIPING HAS BEEN SHOWN BASED UPON CURRENT AVAILABLE DRAWINGS AND NON EVASIVE SITE INSPECTIONS. IF PIPING AND EQUIPMENT IS NOT ACCORDING TO THE DRAWING, CONTACT ARCHITECT/ENGINEER FOR DIRECTION. ADDITIONAL DEMOLITION THAT MAY RESULT WILL NOT CONSTITUTE AN ADDITIONAL COST TO THE PROJECT.

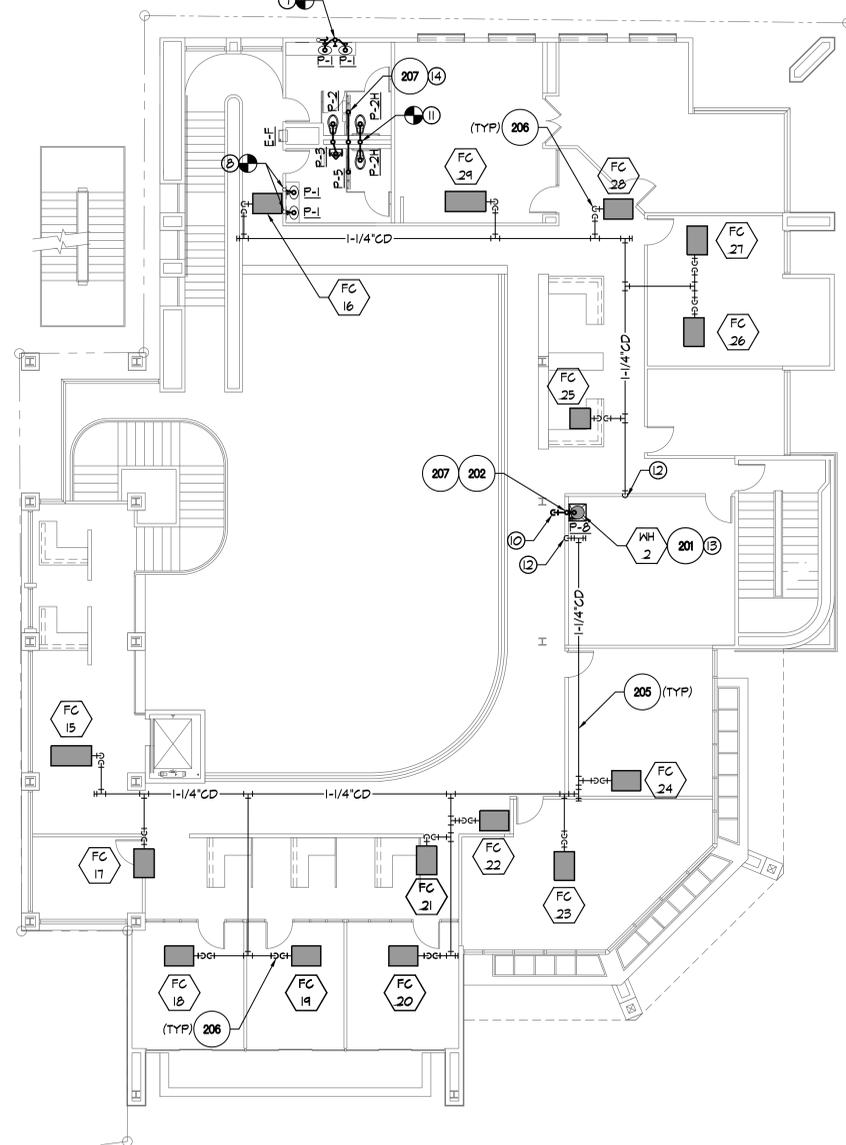
- GENERAL NOTES:**
- CONTRACTOR MUST VERIFY EXISTING WASTE PIPING LOCATIONS AND SIZING AND VERIFY NEW WASTE PIPING CAN BE INSTALLED WITH THE PROPER SLOPE BEFORE BEGINNING WORK.
 - CONTRACTOR MUST VERIFY EXISTING WATER SUPPLY PIPING AND LOCATIONS, BEFORE BEGINNING WORK.

- KEYNOTES:**
- DEMO PLUMBING FIXTURES SHOWN DASHED. DEMO HW PIPING, CAP CW & VENT ABV CLG & CAP SEWER BELOW FLOOR.
 - DEMO (E) HW & ASSOCIATED HW PIPING.
 - EXISTING DRINKING FOUNTAIN TO REMAIN AS-IS.

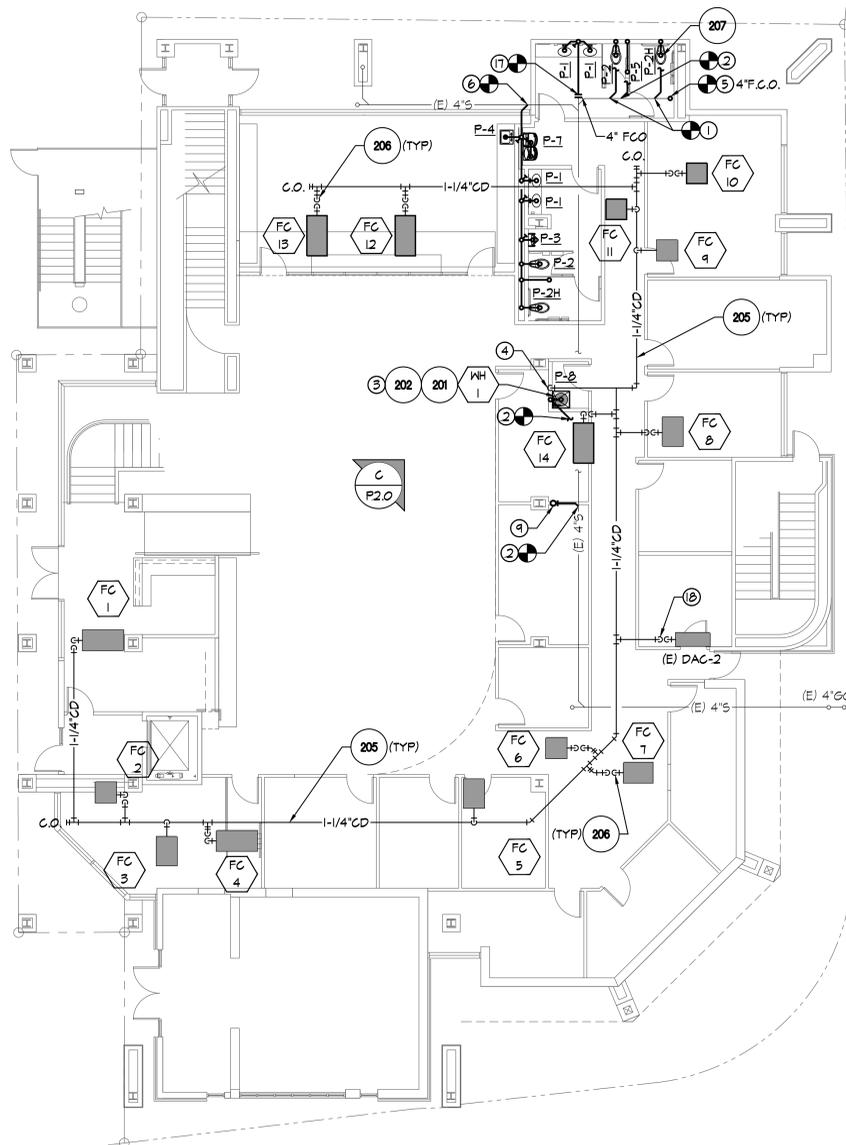




3 PLUMBING WASTE 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 PLUMBING WASTE 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 PLUMBING WASTE 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

GENERAL NOTES:

- A. CONTRACTOR MUST VERIFY EXISTING WASTE PIPING LOCATIONS AND SIZING AND VERIFY NEW WASTE PIPING CAN BE INSTALLED WITH THE PROPER SLOPE BEFORE BEGINNING WORK.

KEYNOTES:

1. CONN. 3" S TO (E) 4" S.
2. CONN. 2" S TO (E) 4" S.
3. ROUTE 1" DR FROM MTR. HTR. DR PAN TO M.S.
4. ROUTE 1-1/4" CD DN IN WALL TO M.S.
5. CONN. 4" F.C.O. TO (E) 4" S.
6. CONN. 4" S TO (E) 4" S.
7. CONN. 2" S TO (E) 2" S RISER IN WALL.
8. CONN. PLUMBING FIXTURE TO (E) S & V HDR'S IN WALL.
9. 2" S DN FROM 1ST LEVEL CLG.
10. 2" S DN TO 1ST LEVEL.
11. MODIFY SEWER & VENT HEADERS IN PLUMBING FOR THE NEW PLUMBING FIXTURES.
12. ROUTE 1" WTR HTR DR PAN DR TO FIXTURE.
13. CONN. 2" S TO (E) S HDR & V HDR BELOW PLUMBING WALL.
14. CONN. 2" S & 2" V TO (E) S & V HDR'S AND BELOW PLUMBING WALL.
15. CONN. NEW PLUMBING FIXTURES TO (E) S & (E) V HEADERS IN PLUMBING WALL. MODIFY (E) S & V PIPING IN WALL AS REQ'D WITH THE SHIFTING OF THE PLUMBING WALL.
16. CONN. 4" S TO (E) 4" S. PROVIDE 4" FCO & THEN TRANSITION TO 2" S.
17. 1/2" PUMPED COND UP FROM DUCTLESS UNIT. TRANSITION TO 3/4" CD ABV CLG.



Revisions

PLUMBING WASTE FLOOR PLANS

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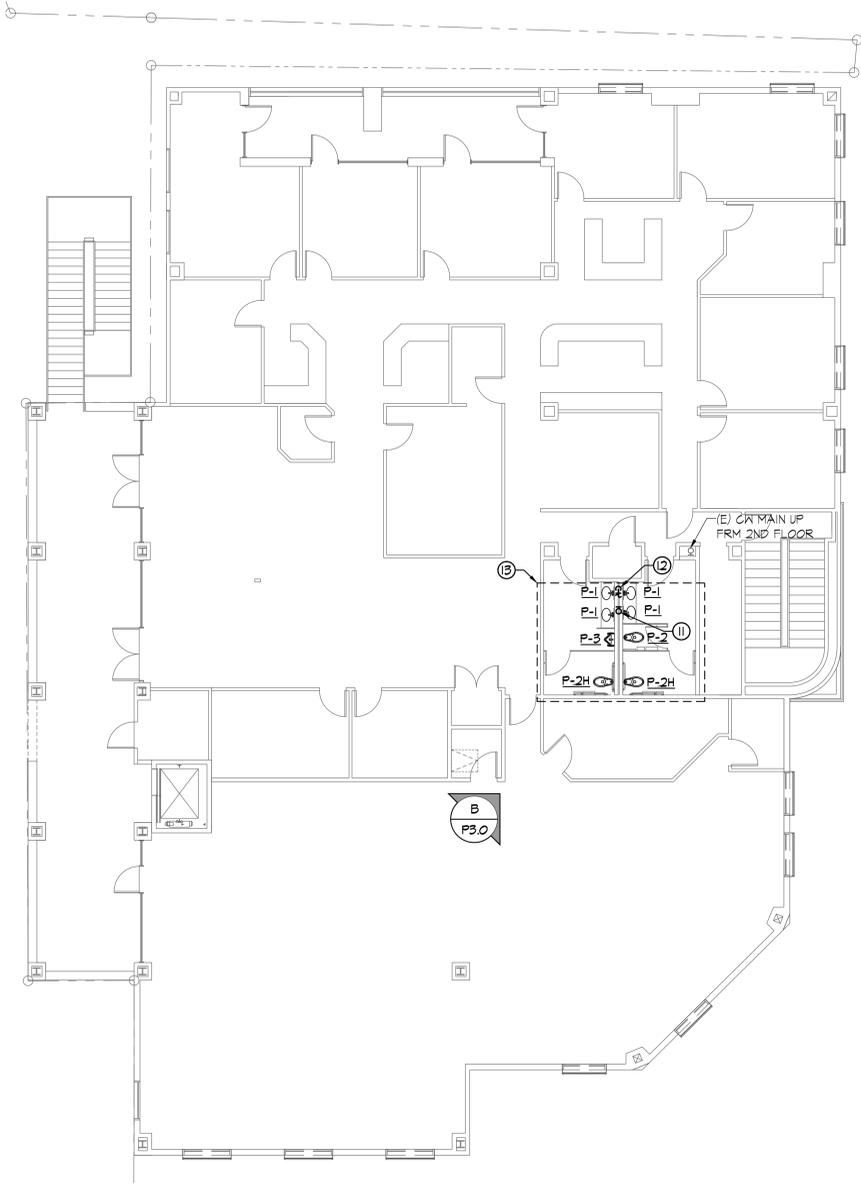


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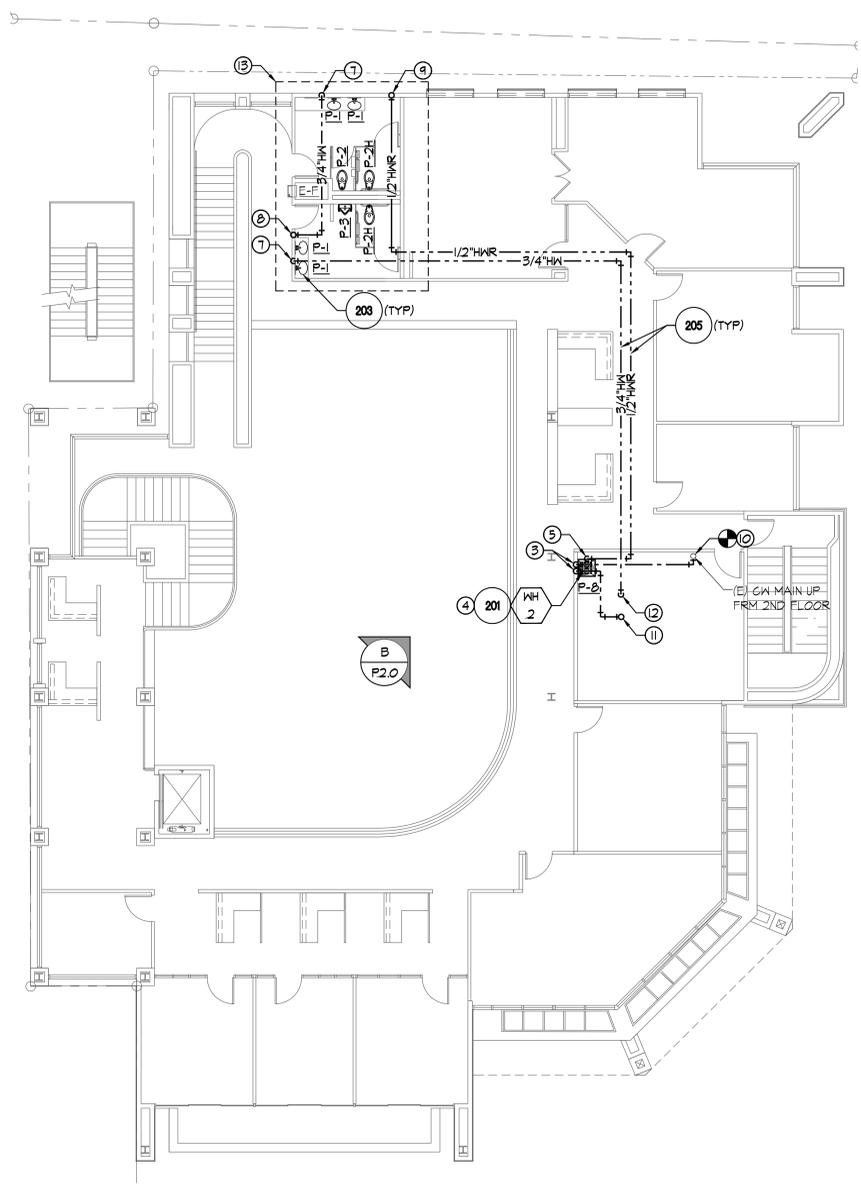
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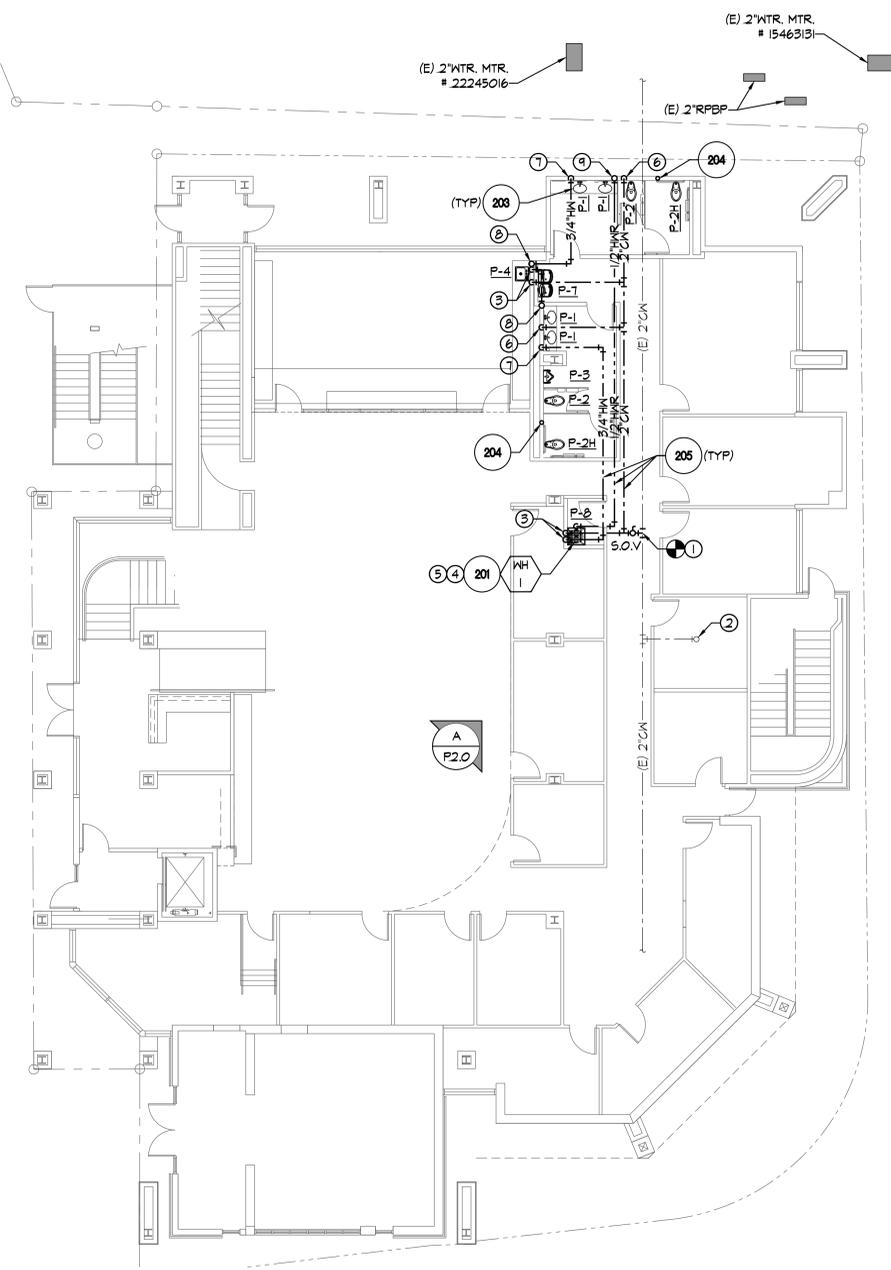
PROJECT NO. 20016 P: (520) 731-2060
www.phmech.com F: (520) 731-2061
AD, JLR



3 PLUMBING WATER 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0" NORTH



2 PLUMBING WATER 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0" NORTH



1 PLUMBING WATER 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0" NORTH

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

GENERAL NOTES:
A. CONTRACTOR MUST VERIFY EXISTING WATER SUPPLY PIPING AND LOCATIONS, BEFORE BEGINNING WORK.

- KEYNOTES:**
- CONN. 2" CW TO (E) 2" CW MAIN.
 - (E) CW MAIN TO 2ND FLOOR.
 - ROUTE 3/4" CW/DN. IN WALL TO FIXTURE.
 - 1" CW/DN UP/DOWN TO/FROM WH-1.
 - ROUTE 1/2" HWR DN. TO RCP.
 - ROUTE 2" CW DN. IN WALL TO FIXTURE(S).
 - ROUTE 3/4" HWR DN. IN WALL TO FIXTURE(S).
 - ROUTE 1/2" HWR UP IN WALL.
 - CONN. 1" CW TO (E) CW MAIN AT PIPE CHASE.
 - 1" HWR UP TO 3RD FLOOR.
 - 3/4" HWR DN. TO 2ND FLOOR.
 - RECONNECT FIXTURES TO (E) CW IN WALL MODIFY AS REQ'D.



Revisions

**PLUMBING
WATER FLOOR
PLANS**

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PLUMBING ISOMETRICS

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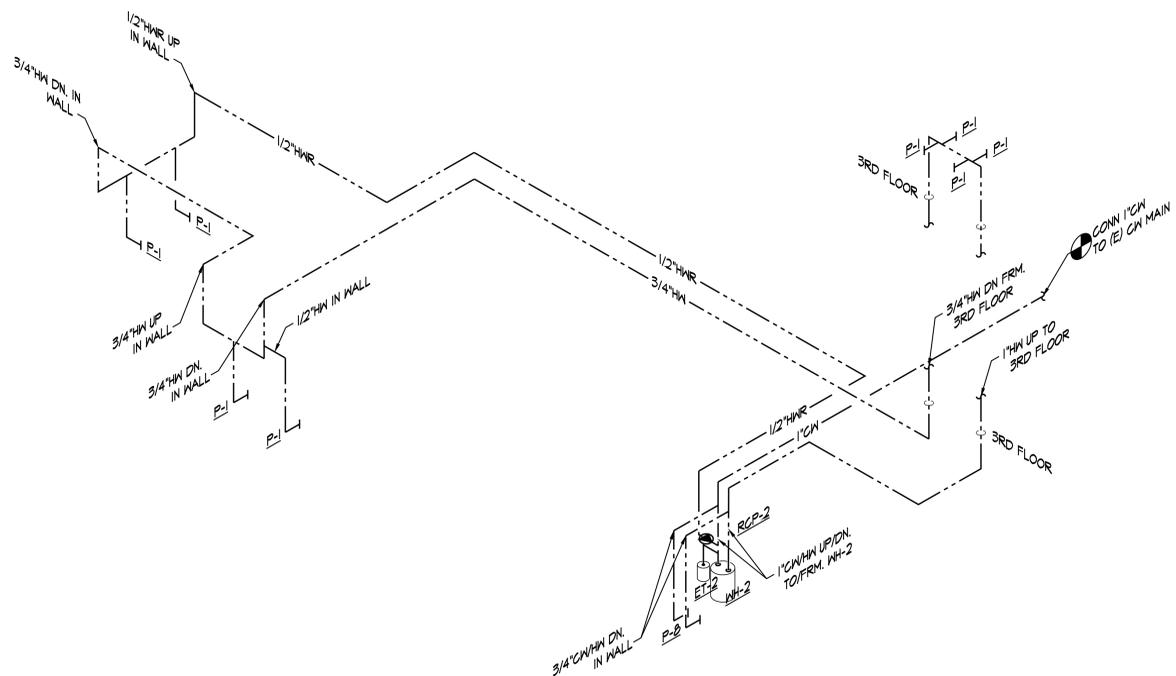
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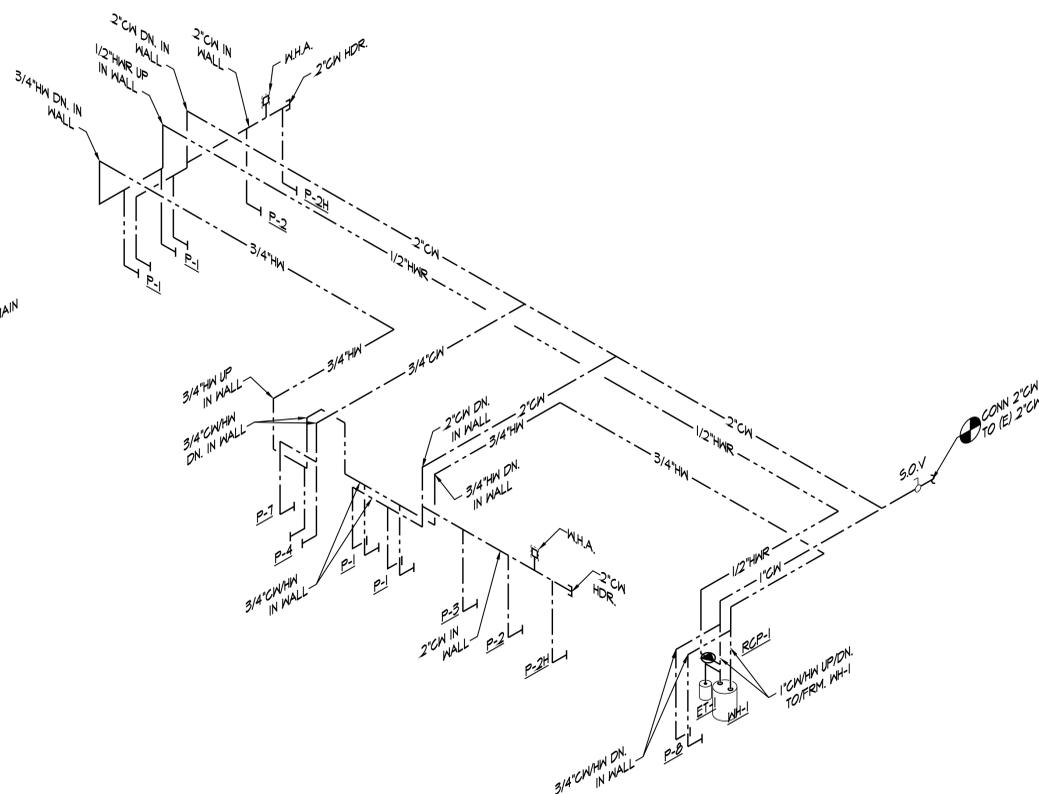
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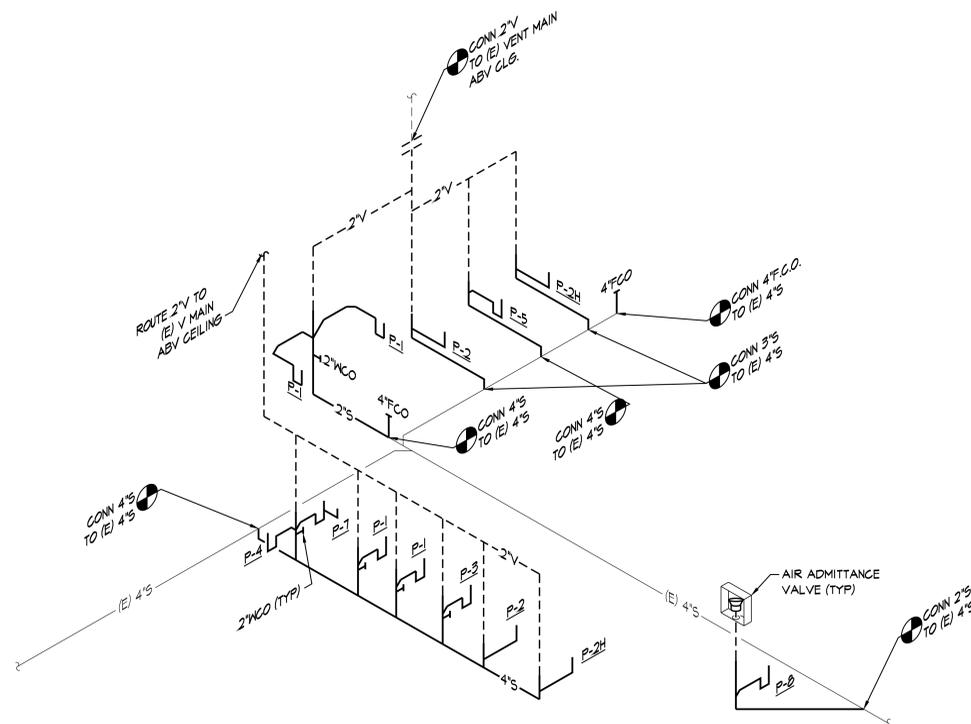
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PARTIAL WATER ISOMETRIC
2ND & 3RD FLOOR

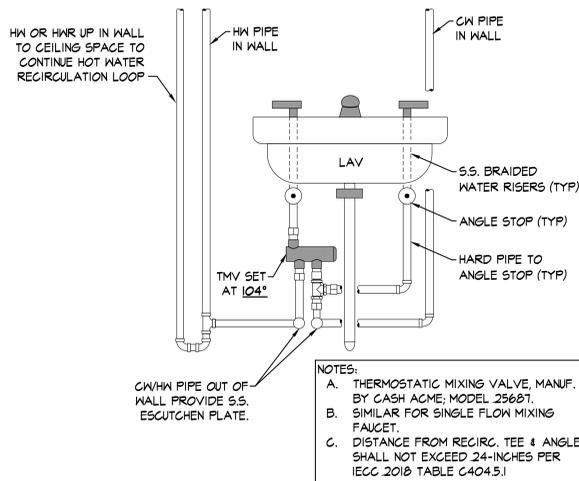


PARTIAL WATER ISOMETRIC
1ST FLOOR



PARTIAL WASTE ISOMETRIC
1ST FLOOR

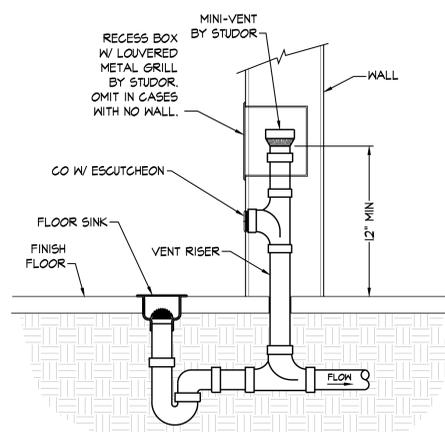




NOTES:
 A. THERMOSTATIC MIXING VALVE, MANUF. BY CASH ACME, MODEL 25607.
 B. SIMILAR FOR SINGLE FLOW MIXING FAUCET.
 C. DISTANCE FROM RECIRC. TEE & ANGLE SHALL NOT EXCEED 24-INCHES PER IECC 2018 TABLE C404.5.1

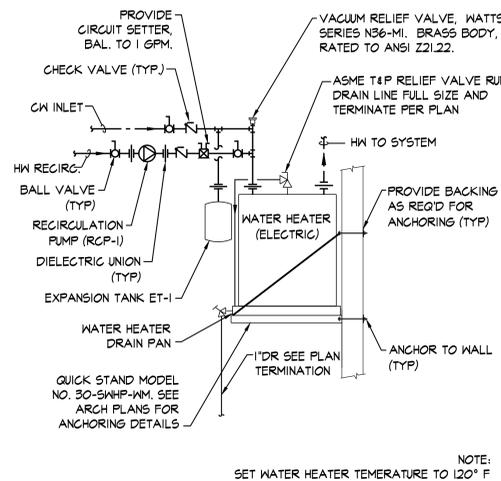
THERMOSTATIC (UNDERLAV) MIXING VALVE DETAIL

203



FLOOR SINK AIR ADMITTANCE VALVE VENT DETAIL

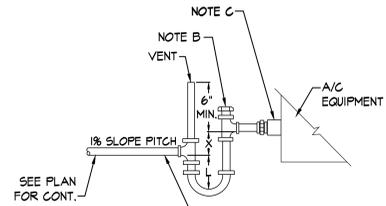
202



NOTE:
 SET WATER HEATER TEMPERATURE TO 120° F

ELECTRIC WATER HEATER W/ RECIRCULATION DETAIL

201

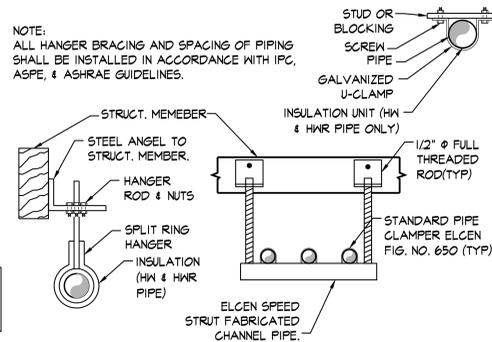


NOTES:
 A. INSULATE CONDENSATE PIPING ONLY ABOVE FINISH CEILINGS. CONDENSATE PIPING INSULATION SHALL BE 1/2\"/>

UNLESS OTHERWISE SPECIFIED:
 UP TO 10 TONS = 3/4\"/>

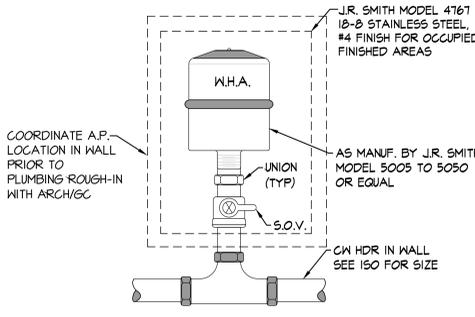
A/C UNIT CONDENSATE DRAIN TRAP DETAIL

206



PIPE SUPPORT DETAIL

205

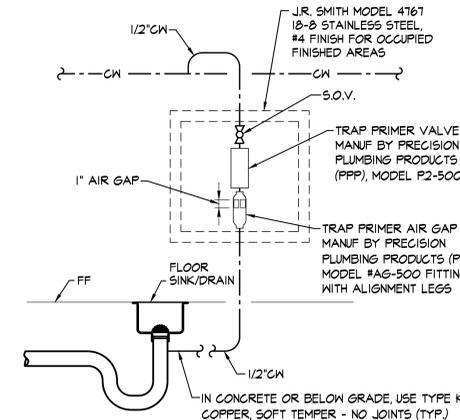


P.D.I. RATING	A	B	C	D	E	F
FIXTURE UNITS	1-11	12-32	33-60	61-113	114-154	155-330
CW CW HEADER						

NOTES:
 A. PROVIDE W.H.A. FOR EVERY 15 FT OF CW HEADER.
 B. UPSIZE W.H.A. ONE SIZE WHEN BLDG WATER PRESSURE IS GREATER THAN 60 PSI.
 C. CONTRACTOR RESPONSIBLE TO SIZE W.H.A.

WATER HAMMER ARRESTOR (W.H.A.) DETAIL

204



FLOOR SINK/ DRAIN TRAP PRIMER DETAIL

207

PLUMBING PLAN NOTES

- PART 1 GENERAL REQUIREMENTS:**
- 1.01 ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL CODES, LAWS, RULES AND REGULATIONS OF ALL NATIONAL, COUNTY, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PREMISES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE 2018 INTERNATIONAL PLUMBING CODE (IPC '18), THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL FIRE PROTECTION ASSOCIATION. IN CASE OF DIFFERENCES, SAID REGULATIONS SHALL GOVERN. HOWEVER, THIS SHALL NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR FROM COMPLYING WITH REQUIREMENTS OF THE PLANS AND SPECIFICATIONS, WHICH MAY BE IN EXCESS OF CODE REQUIREMENTS.
 - 1.02 PLUMBING DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO SHOW THE APPROXIMATE LOCATION OF FIXTURES, EQUIPMENT AND PIPING. DIMENSIONS GIVEN IN FIGURES ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND ALL DIMENSIONS, WHETHER GIVEN IN FIGURES OR SCALED, SHALL BE VERIFIED IN THE FIELD.
 - 1.03 BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL CAREFULLY STUDY THE MECHANICAL AND PLUMBING DRAWINGS AND ALL ASSOCIATED CONSTRUCTION DOCUMENTS. HE SHALL ALSO MAKE A CAREFUL EXAMINATION OF THE PREMISES AND ANY EXISTING CONDITIONS, INCLUDING INVERTS TO ENSURE PROPER SLOPE CAN BE OBTAINED. HE SHALL DETERMINE, IN ADVANCE, THE METHODS OF INSTALLING AND CONNECTING THE APPARATUS, THE MEANS TO BE PROVIDED FOR GETTING THE EQUIPMENT INTO PLACE, AND SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL OF THE REQUIREMENTS OF THE CONTRACT.
 - 1.04 BY THE ACT OF SUBMITTING A PROPOSAL FOR THE WORK REQUIRED AND INCLUDED IN THE CONTRACT, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH STUDY AND EXAMINATION, AND TO BE FAMILIAR WITH AND ACCEPT ALL CONDITIONS OF THE SITE.
 - 1.05 MAKE ARRANGEMENTS FOR AND PAY FOR ALL FEES, PERMITS, LICENSES, CONNECTION CHARGES AND INSPECTIONS REQUIRED FOR PLUMBING WORK. PERFORM REQUIRED TESTS AND SECURE REQUIRED INSPECTIONS PRIOR TO BACK-FILLING.
 - 1.06 WRAP ALL PIPING IN BLOCK WALLS OR PENETRATING CONCRETE WITH 10 MIL POLYVINYL TAPE.
 - 1.07 CONTRACTOR SHALL FURNISH ANY MISCELLANEOUS ITEMS NORMALLY USED, SPECIFICALLY MENTIONED OR NOT, TO RENDER A COMPLETE INSTALLATION.
 - 1.08 ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. EQUAL EQUIPMENT MAY BE USED ON THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THAT SUCH EQUIPMENT HAS EQUAL CAPACITY, THE SAME ELECTRICAL CHARACTERISTICS, AND SUBSTANTIALLY THE SAME PHYSICAL DIMENSIONS AND CAN BE INSTALLED IN THE SPACE AVAILABLE WITH AMPLE WORKING SPACE AROUND IT. ANY EXTRA COSTS RESULTING FROM EQUIPMENT SUBSTITUTION SHALL BE BORNE BY THIS CONTRACTOR.
 - 1.09 PER SECTION 602.3.4 OF THE IPC UPON COMPLETION OF DOMESTIC WATER, PERFORM A STERILIZATION OF THE DOMESTIC WATER SYSTEM OR THE PART THEREOF. THE SYSTEM OR THE PART THEREOF SHALL BE FILLED WITH A WATER/CHLORINE SOLUTION CONTAINING AT LEAST 50 PPM OF CHLORINE, AND THE SYSTEM OR PART THEREOF SHALL BE VALVED OFF AND ALLOWED TO STAND FOR 24 HOURS; OR THE SYSTEM OR THE PART THEREOF SHALL BE FILLED WITH A WATER/CHLORINE SOLUTION CONTAINING 200 PPM OF CHLORINE AND ALLOWED TO STAND FOR 3 HOURS. FOLLOWING THE REQUIRED STANDING TIME, THE SYSTEM SHALL BE FLUSHED WITH CLEAN POTABLE WATER UNTIL THE CHLORINE IS PURGED FROM SYSTEM. START AND FINISH INSPECTIONS SHALL BE PERFORMED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR ENGINEER AND INSPECTOR BY AN APPROVED AGENCY (A BACTERIOLOGICAL EXAMINATION) THAT NO CONTAMINATION PERSISTS IN THE SYSTEM. IF LESS THAN 10' OF NEW PIPE IS ADDED THIS STEP MAY BE ELIMINATED.
- PART 2 CONSTRUCTION REQUIREMENTS:**
- 2.01 ALL OVERHEAD PIPING TO BE SUSPENDED FROM STRUCTURE ABOVE WITH PIPE HANGERS.
 - 2.02 ALL PLUMBING FIXTURES TO HAVE ACCESSIBLE STOPS.
 - 2.03 ALL JOINTS IN COPPER TUBING SHALL BE MADE WITH APPROVED COPPER FITTINGS. PIPE SHALL BE CUT SQUARELY AND REAMED TO ITS FULL INNER DIAMETER. JOINTS SHALL BE PROPERLY FLUXED WITH AN APPROVED TYPE FLUX AND MADE UP WITH APPROVED SOLDER. SOLDERS AND FLUXES WITH A LEAD CONTENT WHICH EXCEEDS TWO-TENTHS (0.20) OF (1) PERCENT ARE PROHIBITED IN POTABLE WATER PIPING SYSTEMS.
 - 2.04 ANY PIPING EXPOSED IN FIRE WALLS, EXPOSED IN RETURN AIR PLENUM OR EXPOSED TO OUTSIDE ELEMENTS SHALL BE CAST IRON OR COPPER. WHERE REQUIRED, PENETRATIONS THRU RATED WALLS MUST BE SEALED WITH FIRE STOPS CONFORMING TO LATEST I.B.C.
 - 2.05 PLUMBER TO FINISH AND INSTALL THE A/C CONDENSATE DRAIN PIPING.
 - 2.06 PROVIDE DIELECTRIC UNIONS AT CONNECTION TO A/C UNITS, & WATER HEATER.
 - 2.07 PIPE INSULATION:
 a. FOR AUTOMATIC-CIRCULATING HOT WATER SYSTEMS, HOT WATER (ABOVE & BELOW GRADE) SHALL BE INSULATED WITH 1" THICK INSULATION. INSULATION CONDUCTIVITY SHALL NOT EXCEED 0.21 Btu PER IN.
 b. PIPE INSULATION SHALL BE NON-COMPRESSIBLE TYPE HARD SECTION AT ALL HANGERS AND ANY OTHER PLACE WHERE REQUIRED. INSULATION SHALL MEET IECC SECTION 404.3 REQUIREMENTS.
 - 2.08 ALL WASTE, VENT, DRAINAGE AND WATER PIPING SHALL BE TESTED PER I.P.C. BEFORE BEING CONCEALED IN ANY WAY. ALL JOINTS SHALL BE MADE DRIPTIGHT BEFORE BEING CONCEALED.
 - 2.09 W.C.O. & F.C.O. (WALL & FLOOR CLEAN OUTS)
 INTERIOR FINISHED FLOOR AREAS:
 COATED CAST IRON BODY WITH ROUND NICKEL BRONZE SCORiated COVER; MODEL 4020 MANUFACTURED BY SMITH.
 INTERIOR FINISHED WALL AREAS:
 LINE TYPE WITH COATED CAST IRON BODY AND CAST IRON LEAD SEAL FLUG, AND ROUND STAINLESS STEEL ACCESS COVER SECURED WITH MACHINE SCREW; MODEL 4402 MANUFACTURED BY SMITH.

PIPE MATERIAL SCHEDULE

PIPING SYSTEM	ABBREVIATION	PIPING MATERIAL
SANITARY DRAINAGE & VENT (IN RETURN AIR PLENUM)	S/R	HUBLESS CAST IRON
SANITARY DRAINAGE & VENT (BELOW GRADE OR IN WALLS)	S/V	HUBLESS CAST IRON, ABS, OR PVC
POTABLE WATER ABOVE GRADE	CW, HW OR HWR	TYPE L HARD DRAWN COPPER
CONDENSATE DRAIN - 1" & SMALLER	CD	TYPE M HARD DRAWN COPPER
CONDENSATE DRAIN - 1-1/4" & LARGER	CD	TYPE DIVV HARD DRAWN COPPER

GENERAL NOTES:
 A. REFER TO SPECIFICATIONS FOR FITTINGS, INSTALLATION REQUIREMENTS AND FURTHER INFORMATION.
 B. NO PLASTIC (ABS, OR PVC) PIPING TO BE ALLOWED IN RETURN AIR PLENUM.
 C. WASTE PIPING 2" & SMALLER TO SLOPE AT 1/4" IN/ FT., 3" & LARGER TO SLOPE # 1/8" IN/FT/ UN.O.

FIRE PROTECTION NOTES

1. THE FIRE PROTECTION CONTRACTOR SHALL MODIFY THE EXISTING AUTOMATIC WET SPRINKLER SYSTEM AND PROVIDE ALL NECESSARY MODIFICATIONS AS REQUIRED TO MAINTAIN A CODE COMPLIANT FIRE PROTECTION SYSTEM BASED UPON THE NEW CONSTRUCTION.
2. SYSTEM TO BE DESIGNED FOR THE HAZARD OCCUPANCY AND DENSITY EQUAL TO THE EXISTING SYSTEM. SUBMIT SHOP DRAWINGS AND EQUIPMENT LITERATURE FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT, LOCAL AUTHORITY AND ARCHITECT/ENGINEER.
3. ALL SYSTEM PIPING SHALL BE CONCEALED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IF PIPING CANNOT BE CONCEALED. COORDINATE HEAD AND PIPE LOCATION WITH CEILING GRID PATTERN, AIR CONDITIONING DUCT WORK AND WORK OF OTHER TRADES.
4. ALL HANGERS, HANGER SPACINGS, SWAY BRACING AND SWAY BRACE SPACING TO MEET REQUIREMENTS OF THE LATEST ADOPTED EDITION OF NFPA-13.
5. SPRINKLER HEADS TO BE IN ACCORDANCE WITH NFPA-13 FOR THE USE REQUIRED AND TO MATCH EXISTING HEADS. CENTER HEADS IN AT LEAST ONE-DIRECTION IN CEILING TILES. PROVIDE SPARE SPRINKLER HEADS AS REQUIRED BY NFPA-13.
6. ALL FIRE PROTECTION MODIFICATIONS SHALL MEET ALL CURRENT NFPA CODES AND LOCAL FIRE MARSHALL/ADMINISTRATIVE AUTHORITY REQUIREMENTS.



Revisions

PLUMBING DETAILS & NOTES

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NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

PLUMBING FIXTURES SCHEDULE AND SPECIFICATIONS

MARK	EQUIPMENT	QTY	WATER FIXTURE UNITS		HW FIXTURE UNITS		WASTE FIXTURE UNITS		FIXTURE CONNECTION SIZES						FIXTURE NOTES	REMARKS	
			FU	TOTAL FU	FU	TOTAL FU	FU	TOTAL FU	WASTE RISER	TRAP ARM	WCO SIZE	V	CK	HW			
P-1	LAVATORY (COUNTER MOUNTED OVAL)	12	1	12	.75	9.00	1	12	2"	1-1/2"	2"	1-1/2"	1/2"	1/2"	BASIN: AMERICAN STANDARD "RONDALYN" MODEL NO. 0491.019 FAUCET: WOLVERINE BRASS MODEL NO 33443 "ETERNITY" DUAL OPERATION	1,2,5	
P-2	WATER CLOSET (FLOOR MOUNTED FLUSH VALVE)	3	5	15	-	-	4	12	3"	3"	-	2"	1-1/2"	-	BOWL: AMERICAN STANDARD, "MADERA", MODEL NO. 2234.015 FLUSH VALVE: SLOAN OPTIMUM, DUAL FLUSH FLUSHOMETER, MODEL# WES-115 SEAT: CHURCH MODEL NO. 295C	1	
P-2H	WATER CLOSET (ADA FLOOR MOUNTED FLUSH VALVE)	6	5	30	-	-	4	24	3"	3"	-	2"	1-1/2"	-	BOWL: AMERICAN STANDARD, "MADERA", MODEL NO. 2305.100 FLUSH VALVE: SLOAN OPTIMUM, DUAL FLUSH FLUSHOMETER, MODEL# WES-115 SEAT: CHURCH MODEL NO. 295C	1,3,4	
P-3	URINAL (WALL MOUNTED)	2	4	8	-	-	2	4	2"	1-1/2"	2"	1-1/2"	3/4"	-	AMERICAN STANDARD "ALLBROOK" MODEL NO.6550.001, PROVIDE WALL CARRIER FLUSH VALVE: SLOAN VALVE ROYAL 180-1.10 GALLON PER FLUSH	1	
P-4	BAR SINK	1	2	2	1.5	1.50	2	2	2"	2"	2"	1-1/2"	1/2"	1/2"	BASIN: ELKAY LR1161, 16-INCH X 17-INCH SINGLE BASIN DROP-IN STAINLESS STEEL BAR SINK FAUCET: ELKAY MODEL NO. LK5006N04T4C	1	
P-5	FLOOR DRAIN	6	-	-	-	-	2	12	2"	2"	-	1-1/2"	1/2"	-	ZURN MODEL Z-415-5B, FLOOR DRAIN WITH DURACOATED CAST IRON BODY WITH 2" BOTTOM OUTLET, COMBINATION INVERTIBLE MEMBRANE CLAMP AND ADJUSTABLE COLLAR W/ TYPE B' NICKEL BRONZE STRAINER.	1	
P-6	MOP SINK (FLOOR MOUNTED)	1	3	3	2.25	2.25	2	2	2"	2"	-	1-1/2"	3/4"	3/4"	BASIN: FIAT MODEL NO. MSB-2424.24" X 24" FAUCET: FIAT MODEL NO. 830-AA WALL-MOUNTED SERVICE FAUCET HOSE & BRACKET: FIAT #832-AA, MOP HANGER: FIAT MODEL NO. 889CC	1,7	
P-7	ELECTRIC WATER FOUNTAIN (ADA HIGH/LOW WALL MOUNT)	1	2	2	-	-	1	1	2"	1-1/2"	2"	1-1/2"	1/2"	-	ELKAY, MODEL EZ5TL8WSLK, REFRIGERATED WATER COOLER W/ TOUCHLESS ACTIVATED BOTTLE FILLING UNIT. 115VAC/1/60 HZ, 5.0 AMPS.	1	
P-8	FLOOR SINK	1	-	-	-	-	2	2	2"	2"	-	1-1/2"	1/2"	-	ZURN Z-1900 12" X 12" SANI-FLOOR RECEPTOR WITH 6" SUMP DEPTH. PIPE OUTLET SIZE SHALL MATCH PIPE SIZE PER PLAN. PROVIDE MANUF'S THREE QUARTER GRATE.	1	
NEW FIXTURES TOTAL				67.0		10.50		66									
DEMO FIXTURES TOTAL				61.0		6.8		47.0									
EXISTING FIXTURES TOTAL				2.0		0.0		1.0									
PROJECT TOTAL				69.0		10.50		67.0									

REMARKS:

1. CONTRACTOR TO PROVIDE ALL NECESSARY PARTS FOR A COMPLETE INSTALLATION.
2. .25 GAL PER ACTIVATION. ACTIVATION IS SET FOR 15 SEC.
3. SEAT NOTE: THE CONTRACTOR SHALL ENSURE THAT THE COMBINATION OF THE SEAT AND WATER CLOSET DOES NOT EXCEED 19" A.F.F., TO INCLUDE THE REAR PORTION OF THE SEAT AT THE HINGE.
4. THE CONTRACTOR IS RESPONSIBLE FOR ORDERING THE WATER CLOSET WITH THE FLUSH HANDLE ON THE OPEN SIDE OF THE WATER CLOSET TO COMPLY WITH ADA REQUIREMENTS.
5. PROVIDE OFFSET TAILPIECE & P-TRAP W/ INSULATED COVER AS MANUFACTURED BY TRUEBRO.
6. PROVIDE WADE MODEL NO. 520-08 FLOOR MOUNTED SINGLE LAVATORY CARRIER WITH CONCEALED ARMS, STRUCTURAL STEEL UPRIGHTS, BASE FEET, AND NON-SLIP LOCKING DEVICES.
7. CONTRACTOR TO PROVIDE STAINLESS STEEL WALL GUARD TO MATCH FIAT MOP SINK, HOSE HANGER, & RACK.

WATER HEATER SYSTEM SCHEDULE

MARK	ELECTRIC WATER HEATER (WH)								RECIRCULATING PUMP (RCP)				EXPANSION TANK (ET)			
	MFR	MODEL	STORAGE (GALLONS)	DIMENSIONS DIAM/HGT	RECOVERY	HTG. ELEM.	ELEC	WEIGHT	MFR	MODEL NO.	ELEC	HEAD/GPM	MFR	MODEL NO.	CAPACITY	MAX ACCEPT. FACTOR
WH-1 RCP-1 ET-1	A.O. SMITH	DEL-20	20	20"/28"-11/8"	10 GPH	2 KW SINGLE	208V/1Ø 9.6 F.L.A.	240 LBS	TACO	0014-BF1	115V/Ø 1.55 AMPS	14 FT/ 15	AMTROL	ST-5-C	2.1 GAL	0.43
WH-2 RCP-2 ET-2	A.O. SMITH	DEL-20	20	20"/28"-11/8"	10 GPH	2 KW SINGLE	208V/1Ø 9.6 F.L.A.	240 LBS	TACO	0014-BF1	115V/Ø 1.55 AMPS	14 FT/ 15	AMTROL	ST-5-C	2.1 GAL	0.43

WATER PIPE SIZING

PIPE SIZE	F.U. TANK	F.U. FLUSH	GPM
1/2"	2	-	2
3/4"	6	-	6
1"	19	-	14
1-1/4"	34	-	22
1-1/2"	65	18	34
2"	235	110	70

NOTE:

- A. PER SECTION 604.1 OF THE INTERNATIONAL PLUMBING CODE 2018, SIZED PER AN ACCEPTED ENGINEERING PRACTICE.
- B. IF PEX PIPE USED, ALL PIPE SIZES SHALL INCREASE BY ONE STANDARD SIZE.

WATER CALCULATIONS

TOTAL WATER DEMAND		69 FUS =	35	GPM
WATER PIPE SIZE CRITERIA				
AVAIL. PRESS. FROM WATER MAIN IN STREET:				50.0 PSI
PRESS. LOSS AT (E) WATER METER #22245016	2'	MTR SIZE		1 PSI
PRESS. LOSS AT (E)	2'	RPPBP		10.0 PSI
AVAIL. PRESSURE AFTER RPPBP:				39.0 PSI
PRESS. REGULATOR (SET PRESS. TO 78 MAX PSI):				0.0 PSI
AVAIL. PRESSURE TO BLD'G:				39.0 PSI
PRESS. REQ'D AT FURTHEST FIXTURE:				20.0 PSI
PRESS. LOSS IN ELEV.	0.43	x 10 =		4.30 PSI
PRESSURE AVAILABLE FOR PIPE LOSSES:				14.7 PSI
DEVELOPED LENGTH OF PIPE FROM: STREET MAIN TO FURTHEST FIXTURE				
250 FT				
250.00 x 25% FITTINGS = 31.25 FT				
PIPE LOSS CALCULATION				
14.7 PSI x 100	4.70	PSI/100 FT OF PIPE	(ALLOWABLE PRESSURE LOSS PER	100 FT. OF PIPE)
31.25 FT. =				

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



Revisions

PLUMBING SCHEDULES

FARHANG & MEDCOFF
100 S CHURCH AVE
TUCSON, AZ 85701

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P3.1



MECHANICAL ENGINEERING
PROJECT NO. 20016 P: (520) 731-2060
www.phmech.com F: (520) 731-2061



Revisions

ELECTRICAL COVER SHEET

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MSA #A20036
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ELECTRICAL SYMBOL LIST

NOTE: THIS IS A MASTER SCHEDULE. NOT ALL SYMBOLS AND/OR ABBREVIATIONS CONTAINED HEREIN MAY APPEAR ON THE DRAWINGS.

Table listing electrical symbols and their corresponding descriptions, including fluorescent fixtures, incandescent fixtures, switches, outlets, and various control devices.

DRAWING INDEX

Table showing drawing index with columns for sheet number, sheet title, and permit drawings status.

LIGHTING FIXTURE SCHEDULE

- FIXTURE SCHEDULE GENERAL NOTES:
1. FIXTURES SHALL HAVE APPROPRIATE U.L. LABEL (i.e., DAMP OR WET) AS REQUIRED BY CODES AND ORDINANCES.
2. FIXTURES SHALL INCLUDE ALL ACCESSORIES NECESSARY FOR INSTALLATION...
3. PRIOR TO ORDERING ANY LIGHTING EQUIPMENT, THE CONTRACTOR SHALL COORDINATE ALL FIXTURE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLANS AND CEILING CAVITY DEPTHS.
4. ALL LAMPS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE ATTACHED FIXTURE SCHEDULE AND SPECIFICATIONS. ENSURE COMPATIBILITY BETWEEN FIXTURE, LAMP(S) AND BALLAST(S). (OSRAM SYLVANIA SERIES)
5. CONTRACTOR SHALL VERIFY FIXTURE VOLTAGES AND CEILING TRIM COMPATIBILITY PRIOR TO ORDERING FIXTURE.
6. PROVIDE APPROVED FIRE-RATED ENCLOSURES FOR ALL LIGHTING FIXTURES LOCATED IN FIRE-RATED CEILINGS.
7. LIGHTING FIXTURE CATALOG NUMBERS ARE SERIES TYPE ONLY. PROVIDE ALL NECESSARY HARDWARE AS REQUIRED BY THE SPECIFICATIONS, DRAWINGS, AND PROJECT CONDITIONS FOR A COMPLETE INSTALLATION.
8. ENSURE COMPATIBILITY OF ALL LIGHTING SYSTEM COMPONENTS, ESPECIALLY DIMMED SYSTEMS. FIXTURES, LED DRIVERS, LAMPS, BALLAST(S), AND DIMMING SYSTEMS/INDIVIDUAL CONTROLS SHALL BE FACTORY CERTIFIED COMPATIBLE FOR FULL RANGE OF DIMMING COMPATIBILITY.
9. PROVIDE CLEARANCES FROM COMBUSTIBLES: A MINIMUM OF 1/2" (OTHER THAN AT POINTS OF SUPPORT) AND 3" FROM INSULATION FOR RECESSED LIGHTING FIXTURES WHICH ARE NON-IC RATED.
10. FOR FIXTURES RECESSED IN SUSPENDED T-BAR CEILING, PROVIDE A MINIMUM OF TWO (2) #12 SUPPORT WIRES ATTACHED TO BUILDING FRAME IN ADDITION TO T-BAR CLIPS.
11. FIXTURES WITH EMERGENCY BATTERY BACKUP SHALL BE WIRED AHEAD OF ANY LOCAL SWITCHING IN COMPLIANCE WITH NEC ARTICLE 700.
12. EMERGENCY LIGHTING UNITS SHALL BE EQUIPPED WITH FACTORY-INSTALLED INTEGRAL TEST SWITCHES.
13. FOR ALL FIXTURES LOCATED IN FOOD SERVICE AREAS, PROVIDE DOOR-TO-FRAME AND LENS-TO-DOOR GASKETING, INVERTED LENS, AND FOOD SERVICE RATING.
14. LED FIXTURES SHALL EQUAL OR EXCEED THE FOLLOWING MINIMUM REQUIREMENTS:
- L8/50: 80% OF LUMEN OUTPUT AT 50,000 HOURS
- CRI GREATER THAN OR EQUAL TO 80
- LUMENS PER WATT: DOWNLIGHTS = GREATER THAN 60, OTHERWISE GREATER THAN 90.
- UNIFORMITY: (3) MCADAMS ELLIPSES.
- FUNCTIONAL LIFE: GREATER THAN 60,000 HOURS
- INTERIOR AMBIENT: GREATER THAN 40°C, 104°F
- EXTERIOR AMBIENT: GREATER THAN 50°C, 122°F
- SEAL AGAINST DUST AND INSECT ENTRY.
- POWER FACTOR: 0.9 OR BETTER.
- MANUFACTURERS GUARANTEE: 5 YEARS.
15. FOR LED RETROFIT LAMPS, PROVIDE SELF-BALLASTED LED LAMPS WITH THESE CHARACTERISTICS:
- CRI GREATER THAN OR EQUAL TO 80.
- COLOR = 2700K OR 3000K
- LIFE = GREATER THAN OR EQUAL 25,000 HOURS
- MANUFACTURERS GUARANTEE = 5 YEARS.
- DIMMABLE AS NOTED.
- LUMENS AS NOTED.
16. WHERE FIXTURE AND/OR LAMP IS SPECIFIED BY MANUFACTURER AND CATALOG NUMBER, PERFORMANCE OF PROPOSED SUBSTITUTE SHALL EQUAL OR EXCEED PUBLISHED DATA OF THE SPECIFIED FIXTURE.

Table with columns: TYPE, DESCRIPTION, LAMP, CONTROL, VOLTAGE, LOAD, MANUFACTURER, SERIES, NOTES. Lists fixtures like 2X4 TROFFER, 4" DOWNLIGHT, DECORATIVE SCONCE, 4" STRIP LIGHT, and EMERGENCY BUG-EYE WITH 90 MINUTE BATTERY BACKUP.

COMcheck Software Version 4.1.1.0 Interior Lighting Compliance Certificate

Project Information
Energy Code: 2018 IECC
Project Title: Alteration
Project Type: Alteration
Construction Site: Owner/Agent
Designer/Contractor: MSA Engineering

Table: Allowed Interior Lighting Power. Columns: Area Category, Floor Area (sq ft), Allowed Watts / ft2, Allowed Watts (ft x ft). Rows include Restrooms, Conference Rooms, and Utility.

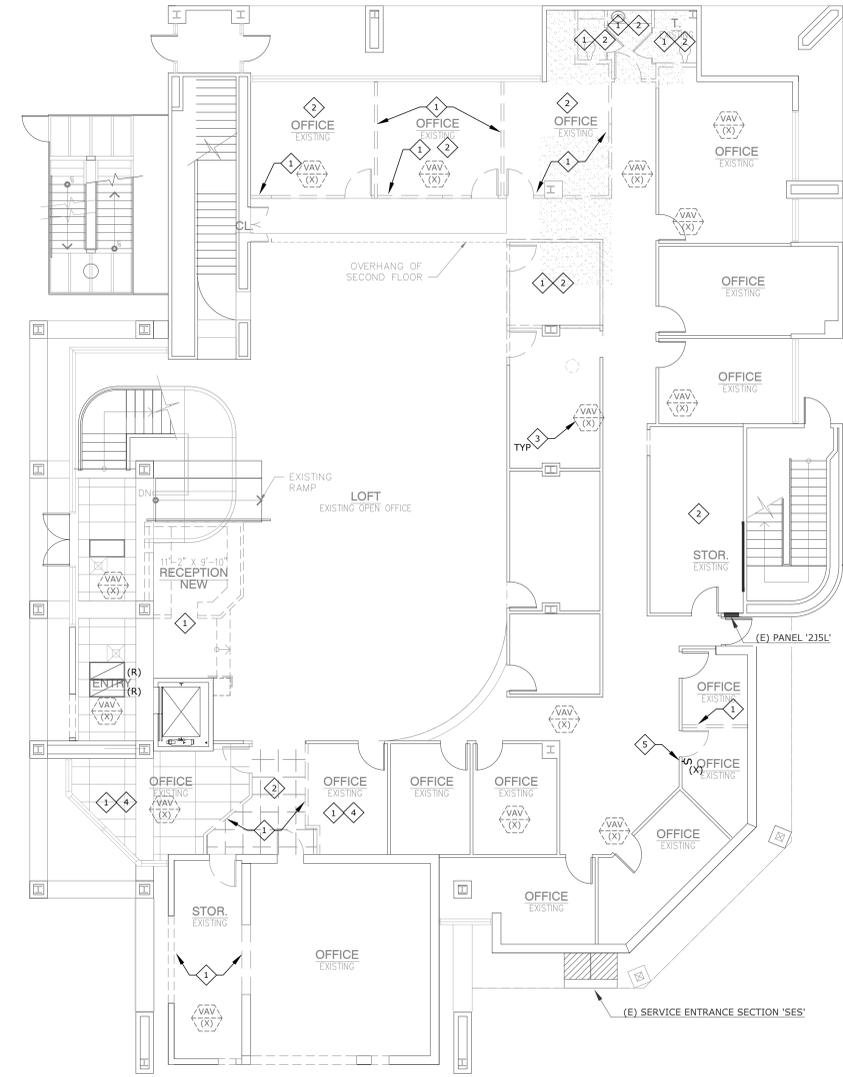
Table: Proposed Interior Lighting Power. Columns: Fixture ID, Description / Lamp / Wattage Per Lamp / Ballast, Lamps/Fixture, # of Fixtures, Fixture Watt, C X D. Rows include Restrooms, Conference Rooms, and Utility.

Interior Lighting PASSES
Interior Lighting Compliance Statement
Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application...

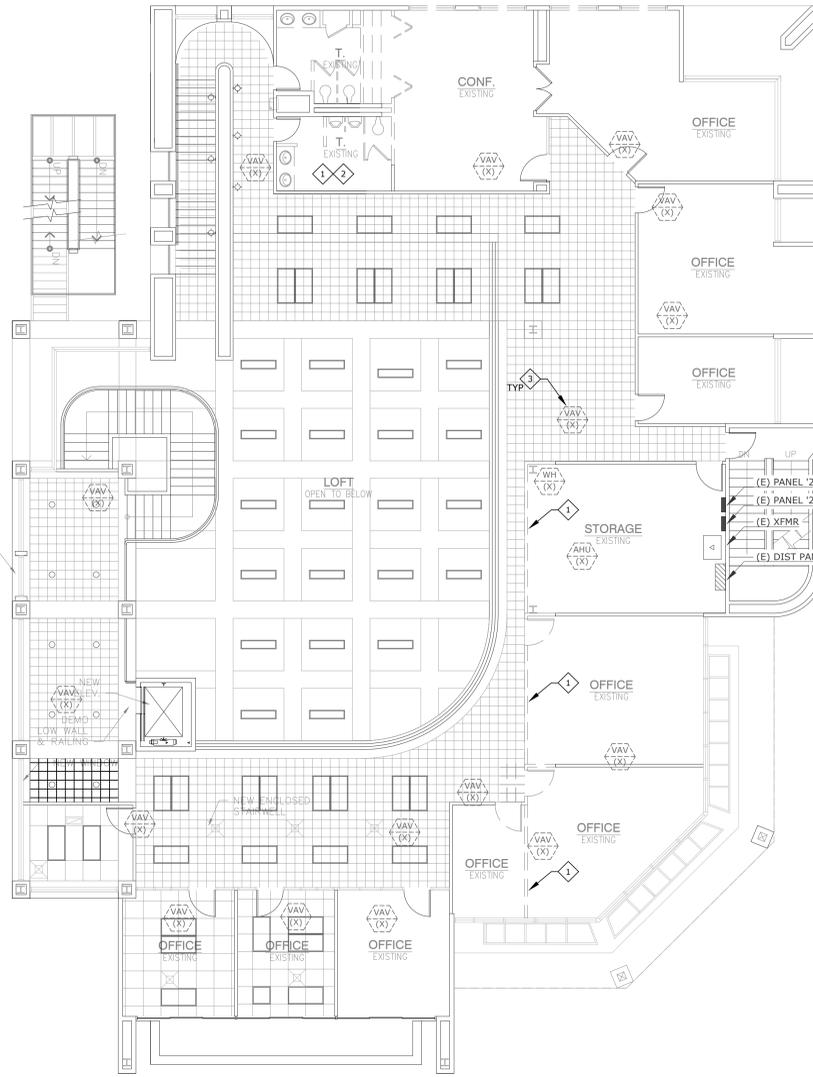
Project Title: Untitled.cck Report date: 04/09/20
Data filename: Untitled.cck Page: 1 of 6

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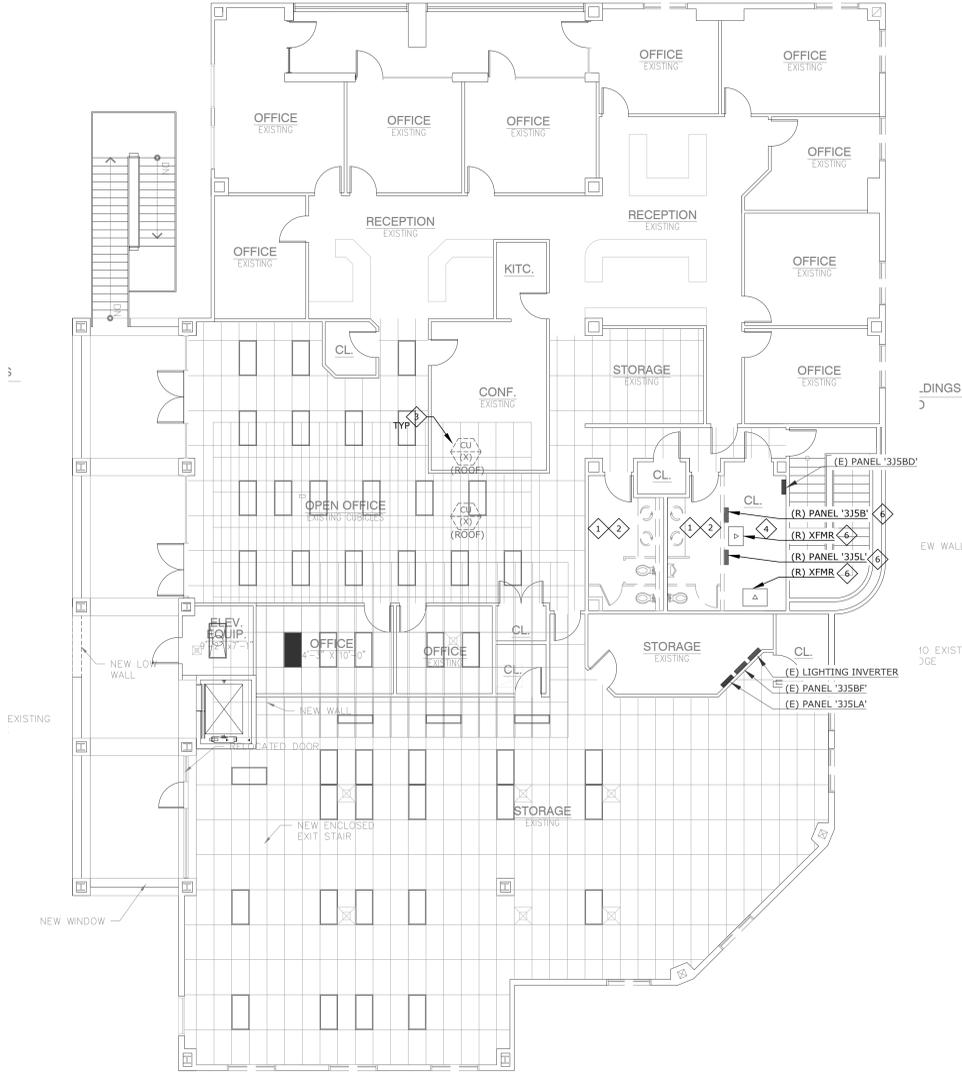
PLOTTED BY: JUSTIN DAGERMAN ON Thursday, April 09, 2020 AT 5:26 PM FROM C:\2\piping\A20036\CAD\ELECTRICAL\E000.dwg



A ELECTRICAL 1ST FLOOR DEMO PLAN
E1.0 1/8" = 1'-0"



B ELECTRICAL 2ND FLOOR DEMO PLAN
E1.0 1/8" = 1'-0"



C ELECTRICAL 3RD FLOOR DEMO PLAN
E1.0 1/8" = 1'-0"

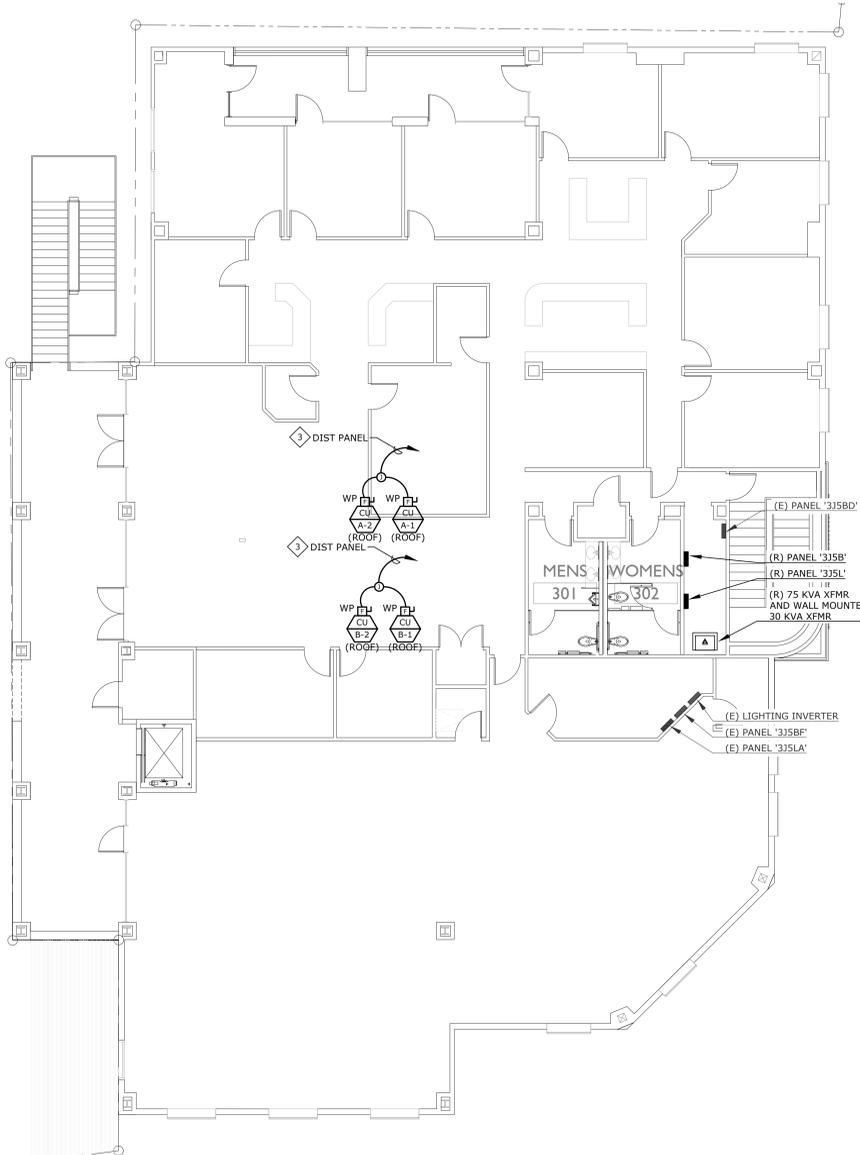


GENERAL DEMOLITION NOTES:

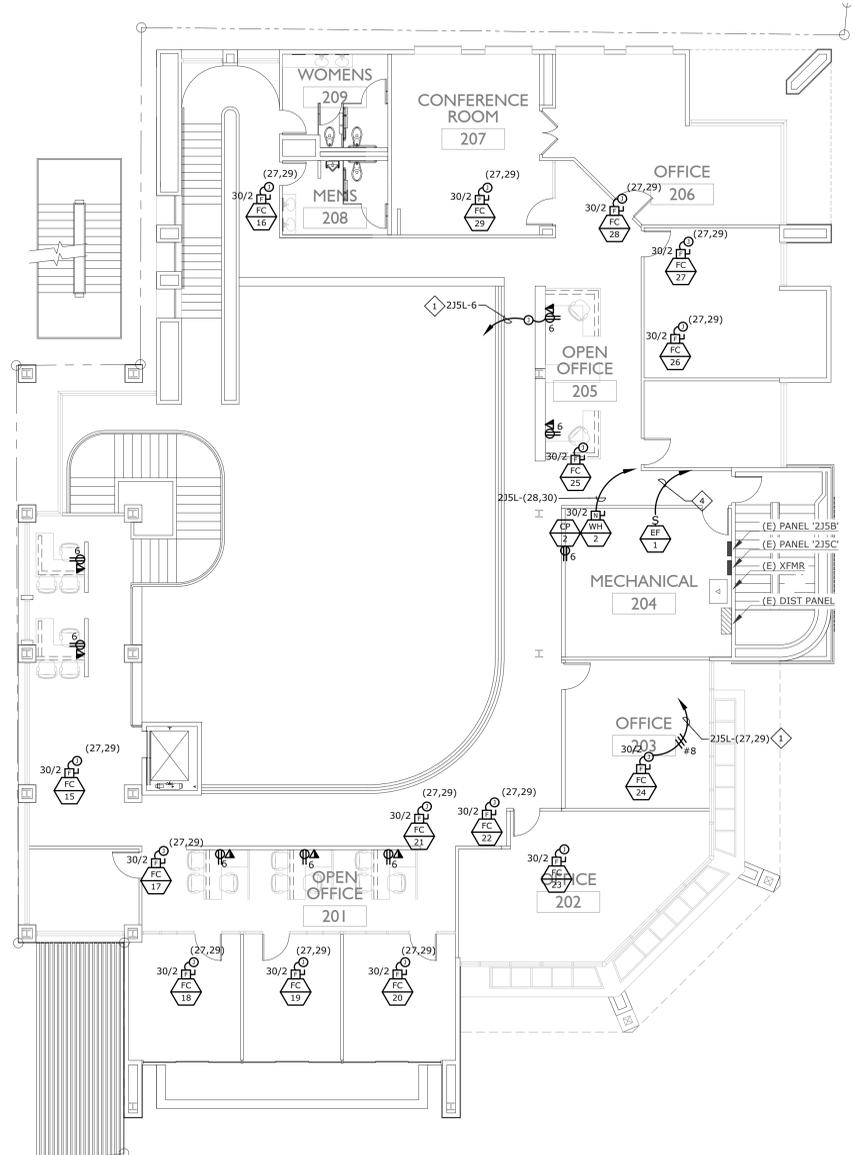
1. PROVIDE COMPLETE ELECTRICAL DEMOLITION: REMOVE EXISTING OUTLETS AND EQUIPMENT IN CONFLICT WITH NEW CONDITIONS. EXISTING CONDUITS REMOVED FROM SERVICE MAY BE ABANDONED IN PLACE IF IN A CONCEALED LOCATION. REMOVE ALL WIRE FROM ABANDONED RACEWAYS. CONTRACTOR SHALL ENSURE CONTINUITY OF EXISTING CIRCUITING PASSING THROUGH DEMOLITION AREAS. EXTEND AND/OR RELOCATE AS NECESSARY. SHIFT OR RELOCATE EXISTING EQUIPMENT AND CIRCUITING AS REQUIRED TO ACCOMMODATE NEW WORK.

DEMOLITION SHEET NOTES:

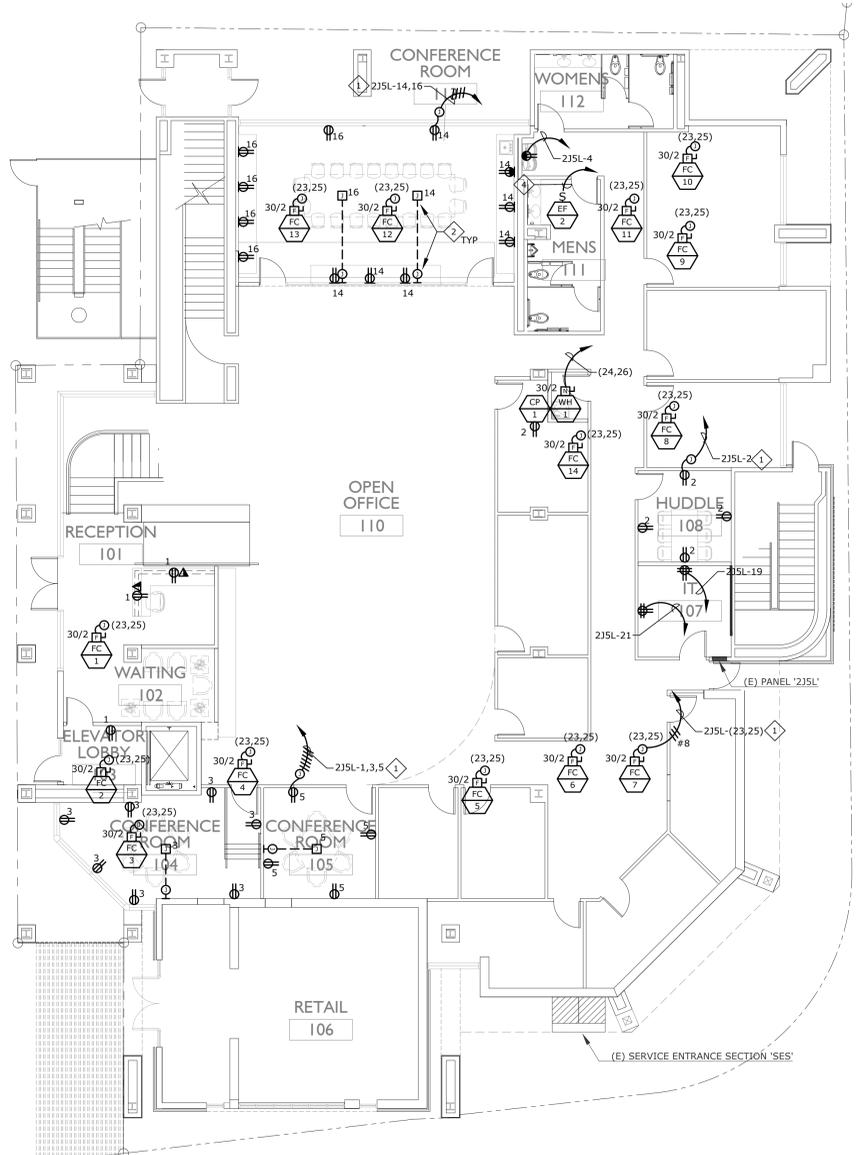
- 1 DEMO WIRING DEVICES BACK TO NEAREST JUNCTION BOX OR ADJACENT WIRING DEVICE PRIOR TO DEMO OF WALL.
- 2 DEMO (E) LIGHTING IN THIS AREA.
- 3 DEMO (E) HVAC/PLUMBING EQUIPMENT CONNECTION BACK TO SOURCE.
- 4 RELOCATE (E) LIGHTING IN THIS SPACE. CENTER IN NEW SPACE.
- 5 DEMO (E) LIGHTING CONTROL. CONNECT (E) LIGHTS TO ADJACENT OFFICE.
- 6 RELOCATE (E) ELECTRICAL EQUIPMENT. DISCONNECT (E) FEEDERS AND EXTEND AND CONNECT TO NEW LOCATION. DISCONNECT BRANCH CIRCUITS FOR PANELBOARDS AND EXTEND TO NEW LOCATION.



C ELECTRICAL 3RD FLOOR PLAN
 E2.0 1/8" = 1'-0"
 0' 2' 4' 8' 16'
 NORTH



B ELECTRICAL 2ND FLOOR PLAN
 E2.0 1/8" = 1'-0"
 0' 2' 4' 8' 16'
 NORTH



A ELECTRICAL 1ST FLOOR PLAN
 E2.0 1/8" = 1'-0"
 0' 2' 4' 8' 16'
 NORTH

GENERAL NOTES:

1. -
- SHEET NOTES:**
- 1. EXTEND AND CONNECT CIRCUITING FROM JUNCTION BOX TO OUTLETS IN AREA WITH SAME CIRCUIT NUMBERS, ROUTE #12 CONDUCTORS (MINIMUM) THROUGHOUT, UNLESS NOTED OTHERWISE. ALL CIRCUITING SHALL HAVE INDIVIDUAL NEUTRAL CONDUCTORS FOR EACH CIRCUIT UNLESS NOTED OTHERWISE. NEUTRAL CONDUCTORS SHALL BE COLOR-CODED (WHITE WITH COLOR STRIPE) TO MATCH THE COLOR OF THE CORRESPONDING PHASE CONDUCTOR. WHERE TWO OR MORE CIRCUITS OF THE SAME PHASE OCCUR, BOTH THE PHASE CONDUCTOR AND THE CORRESPONDING NEUTRAL CONDUCTOR SHALL BE LABELED WITH THE CIRCUIT NUMBER.
 - 2. PROVIDE UNDERCARPET CONNECTRAC WITH DUPLEX OUTLET.
 - 3. REFER TO SINGLE LINE DIAGRAM FOR CONDUIT/WIRE SIZE AND QUANTITY.
 - 4. CONNECT TO EXISTING EXHAUST FAN CIRCUIT IN AREA.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

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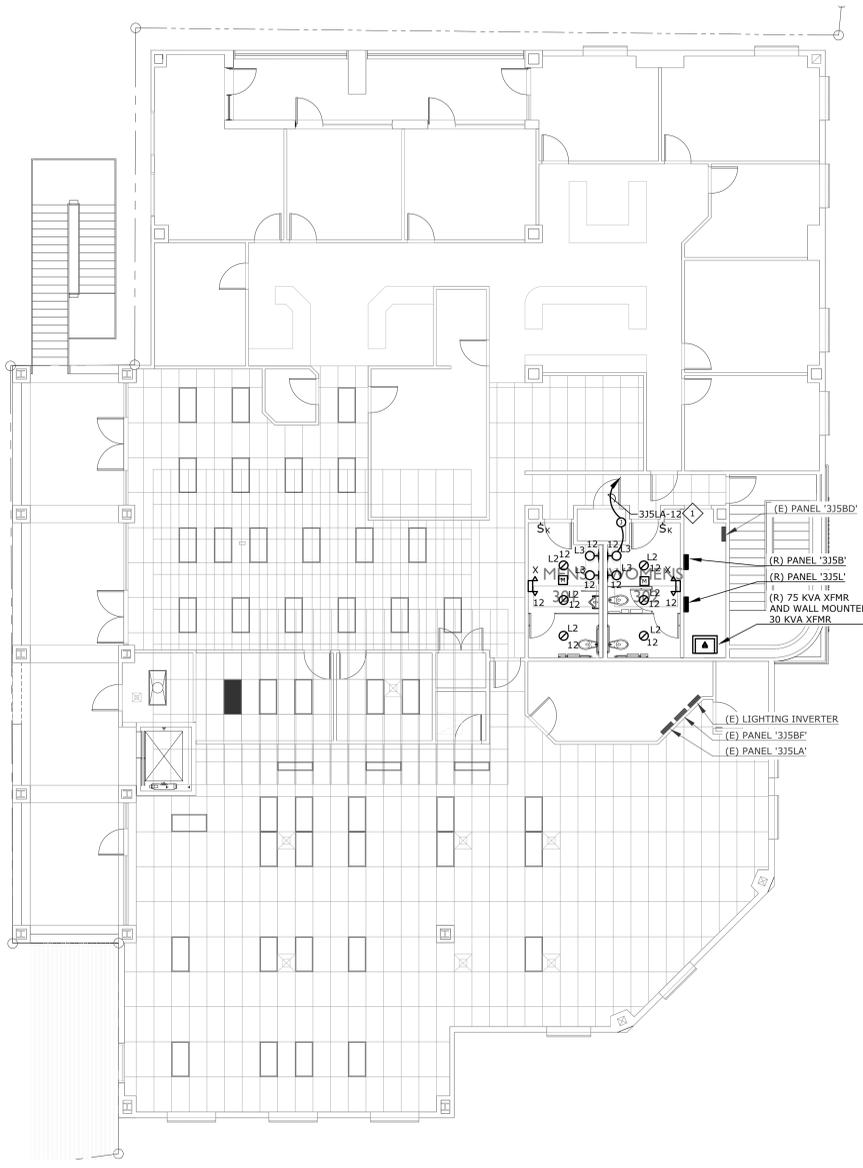


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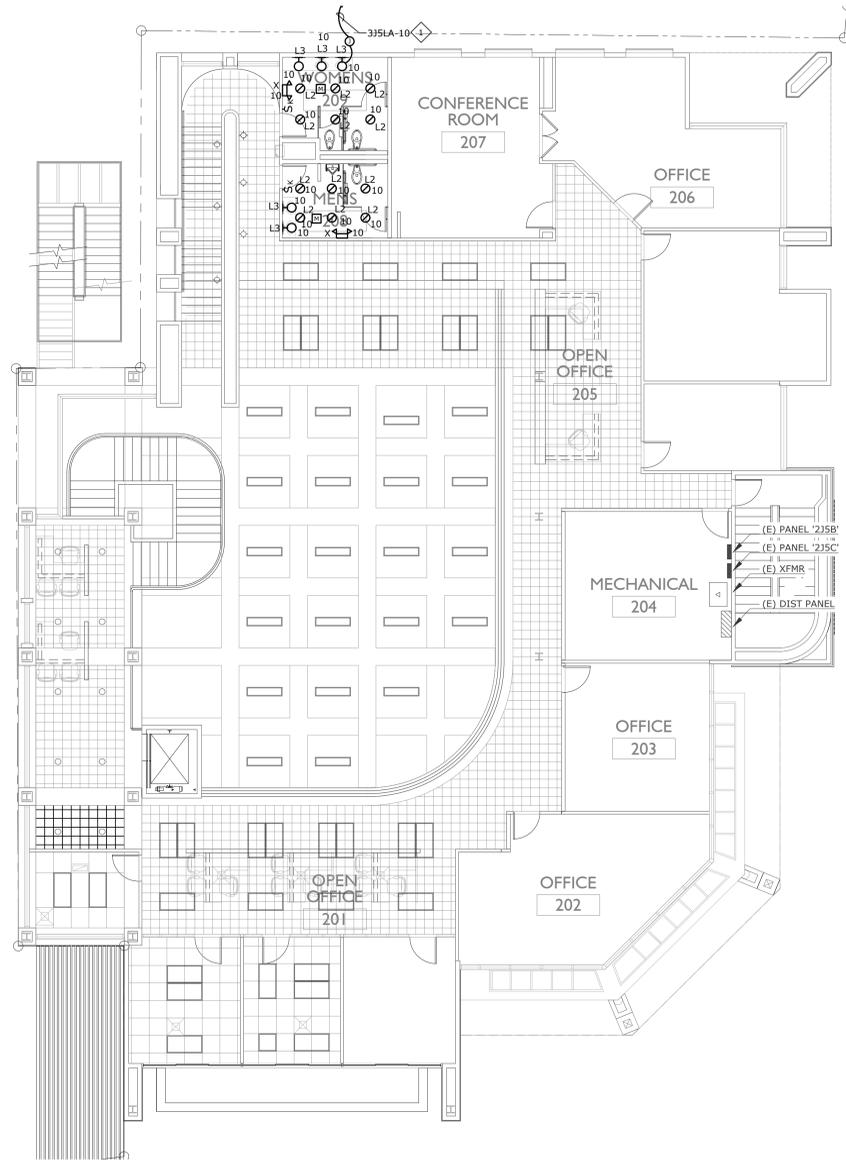


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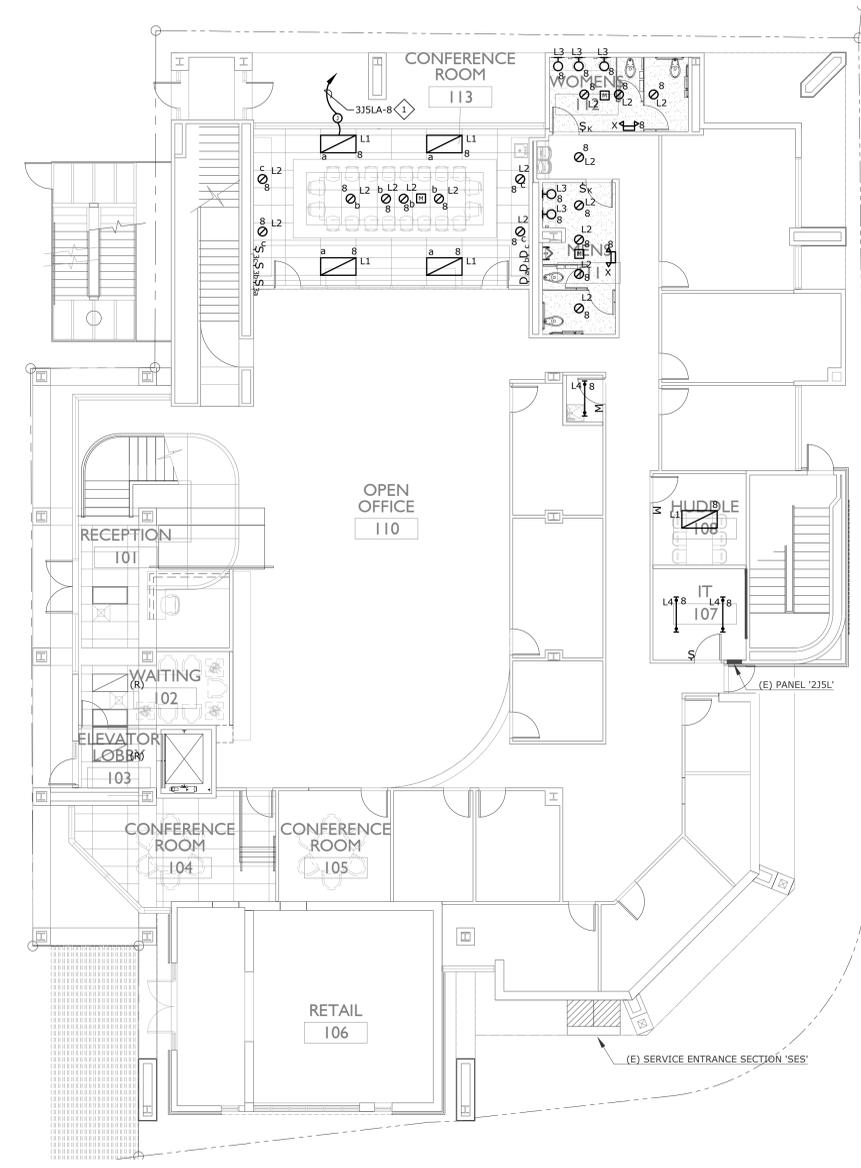
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 7878 N 16th Street, Suite 140
 Phoenix, AZ 85020
 602.983.8424
 msa-ec.com



C
E3.0
3RD FLOOR LIGHTING PLAN
1/8" = 1'-0"
0' 2' 4' 8' 16'
NORTH



B
E3.0
2ND FLOOR LIGHTING PLAN
1/8" = 1'-0"
0' 2' 4' 8' 16'
NORTH



A
E3.0
1ST FLOOR LIGHTING PLAN
1/8" = 1'-0"
0' 2' 4' 8' 16'
NORTH

GENERAL NOTES:

1. -
- SHEET NOTES:**
1. EXTEND AND CONNECT CIRCUITING FROM JUNCTION BOX TO OUTLETS IN AREA WITH SAME CIRCUIT NUMBERS, ROUTE #12 CONDUCTORS (MINIMUM) THROUGHOUT, UNLESS NOTED OTHERWISE. ALL CIRCUITING SHALL HAVE INDIVIDUAL NEUTRAL CONDUCTORS FOR EACH CIRCUIT UNLESS NOTED OTHERWISE. NEUTRAL CONDUCTORS SHALL BE COLOR-CODED (WHITE WITH COLOR STRIPE) TO MATCH THE COLOR OF THE CORRESPONDING PHASE CONDUCTOR. WHERE TWO OR MORE CIRCUITS OF THE SAME PHASE OCCUR, BOTH THE PHASE CONDUCTOR AND THE CORRESPONDING NEUTRAL CONDUCTOR SHALL BE LABELED WITH THE CIRCUIT NUMBER.

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

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Revisions

GENERAL NOTES:

- MINIMUM EQUIPMENT A.I.C. RATINGS ARE 14K A.I.C. @ 480/277V AND 10K A.I.C. @ 208/120V UNLESS OTHERWISE NOTED.
- THE DESIGN PROFESSIONAL HAS PERFORMED ALL REQUIRED SHORT CIRCUIT CALCULATIONS AND THE A.I.C. RATINGS INDICATED FOR EACH DEVICE ARE ADEQUATE TO PROTECT THE EQUIPMENT AND THE ELECTRICAL SYSTEM.
- THE DESIGN PROFESSIONAL HAS PERFORMED ALL THE REQUIRED VOLTAGE DROP CALCULATIONS FOR ALL BRANCH CIRCUITS AND FEEDERS PER 2011 NATIONAL ELECTRICAL CODE ARTICLE 210.19(A)(1), FPN NO. 4.
- PANELBOARD LOAD SUMMARIES INCLUDE ADDITIONAL 25% OF ALL CONTINUOUS AND LARGEST MOTOR LOADS WHERE APPLICABLE.
- MAIN AND DISTRIBUTION TYPE CIRCUIT BREAKERS SHALL HAVE A PERMANENT ENGRAVED NAMEPLATE. NAMEPLATE SHALL INCLUDE, LOAD NAME/DESCRIPTION, AND CIRCUIT BREAKER TRIP RATING.

SHEET NOTES:

- 1-1/4" 3#6 THHN CU + 1#10 CU GND
- 1/2" 2" 3#10 THHN CU + 1#10 CU GND. PROVIDE TAP WITHIN 25' OF EQUIPMENT.

LOCATION	DESCRIPTION	Isc
F1	From TEP TRANSFORMER to SES 30ft with (2) #350 CU in PVC conduit	30,391 Amps
F2	From SES to DIST PANEL DP 80ft with (1) #500 CU in PVC conduit	22,131 Amps
F3	From DIST PANEL DP to TRANSFORMER 10ft with (1) #2 CU in PVC conduit	20,543 Amps
F4	TRANSFORMER SECONDARY: 75KVA, 480 → 208V, 4.3% Impedance with 0.7 X/R ratio	4,461 Amps
F5	From TRANSFORMER to PANEL 2J5L 10ft with (1) #3/0 CU in PVC conduit	4,322 Amps
F6	From SES to PANEL 3J5LA 100ft with (1) #3/0 CU in PVC conduit	17,694 Amps

EXISTING PANEL 3J5LA SCHEDULE

NOTE	TYPE	DESCRIPTION	LOAD	BREAKER	CKT	CKT	BREAKER	LOAD	DESCRIPTION	TYPE	NOTE
		(E) ELEVATOR			30	1	2	100	(E) XFMR PNLS 3J5BD/3J5BF		
		(E) CHILLER			110	7	8	360	LOBBY LVL RESTROOM/CONF LTG		
		SPACE			13	14			UPPER LVL RESTROOM LTG		
		SPACE			15	16			3RD FLOOR RESTROOM LTG		
		SPACE			17	18			SPACE		
					19	20			SPACE		
					21	22			SPACE		
					23	24			SPACE		
					25	26			SPACE		
					27	28			SPACE		
					29	30			SPACE		
					31	32			SPACE		
					33	34			SPACE		
					35	36			SPACE		
					37	38			SPACE		
					39	40			SPACE		
					41	42			SPACE		

VOLTS: ● 480/277 ● 3φ, 4W ○

AMPS: ○ 100A ● 225A ○ 400A ○

W/M: ○ W/M ● W/M ○

LUGS: ○ DBL LUGS ○ FEED-THRU

W/D: ○ SURFACE ● FLUSH ○ ALUMINUM

BUSS: ○ COPPER ○ ALUMINUM

DOOR: ○ DOOR IN DOOR ○ STANDARD

NEMA RATING: 1

NEUTRAL BUS: ● 100% ○ 200%

GROUND BUS: ● STANDARD ○ ISOLATED

AIC RATING: ○ 10K ○ 14K ● 22K ○

SERIES RATING: ○ / / ○

LOADS BY PHASE: EXISTING LOAD: 140 KVA (168 A)

REMOVED LOAD: 0 KVA (0 A)

ADDED LOAD: 1 KVA (1 A)

LOAD SUBTOTAL: 141 KVA (169 A)

NEC FACTORED LOADS:

LIGHTING: 0 KVA LOAD FACTOR AT 1.25: 0 KVA (0 A)

FOOD SERVICE: 0 KVA LOAD FACTOR AT 0.65: 0 KVA (0 A)

LARGEST MOTOR: 0 KVA LOAD FACTOR AT 1.25: 0 KVA (0 A)

CALCULATED LOAD: 141 KVA (169 A)

EXISTING PANEL 2J5L SCHEDULE

NOTE	TYPE	DESCRIPTION	LOAD	BREAKER	CKT	CKT	BREAKER	LOAD	DESCRIPTION	TYPE	NOTE
		RECEPTION RCPT	540	20/1	1	2	20/1	900	HIDDLE ROOM RCPT 108		
		CONF ROOM 104 RCPT	1440	20/1	3	4	20/1	180	EDF		
		CONF ROOM 105 RCPT	900	20/1	5	6	20/1	1440	UPPER LEVEL OPEN OFFICE RCPT		
		(E) LOAD			7	8	20/1		(E) LOAD		
		(E) LOAD			9	10	20/1		(E) LOAD		
		(E) LOAD			11	12	20/1		(E) LOAD		
		(E) LOAD			13	14	20/1	1260	CONF RCPT 113		
		(E) LOAD			15	16	20/1	1080	CONF RCPT 113		
		(E) LOAD			17	18	20/1		(E) LOAD		
		IT ROOM RCPT	360	20/1	19	20	20/1		(E) LOAD		
		IT ROOM RCPT	360	20/1	21	22	20/1		(E) LOAD		
		LOBBY LEVEL FANCOILS	3384	40	23	24	20	1000	WH-1		
		UPPER LEVEL FANCOILS	3384	40	25	26	20	1000	WH-2		
		UPPER LEVEL FANCOILS	3312	40	27	28	20	1000	WH-2		
			3312	40	29	30	20	1000	WH-2		
					31	32					
					33	34					
					35	36					
					37	38					
					39	40					
					41	42					

VOLTS: ● 208/120 ● 3φ, 4W ○

AMPS: ○ 100A ● 225A ○ 400A ○

W/M: ○ W/M ● W/M ○

LUGS: ○ DBL LUGS ○ FEED-THRU

W/D: ○ SURFACE ● FLUSH ○ ALUMINUM

BUSS: ○ COPPER ○ ALUMINUM

DOOR: ○ DOOR IN DOOR ○ STANDARD

NEMA RATING: 1

NEUTRAL BUS: ● 100% ○ 200%

GROUND BUS: ● STANDARD ○ ISOLATED

AIC RATING: ○ 10K ○ 14K ● 22K ○

SERIES RATING: ○ / / ○

LOADS BY PHASE: EXISTING LOAD: 10 KVA (28 A)

REMOVED LOAD: 0 KVA (0 A)

ADDED LOAD: 7 KVA (61 A)

LOAD SUBTOTAL: 11 KVA (92 A)

NEC FACTORED LOADS:

LIGHTING: 0 KVA LOAD FACTOR AT 1.25: 0 KVA (0 A)

FOOD SERVICE: 0 KVA LOAD FACTOR AT 0.65: 0 KVA (0 A)

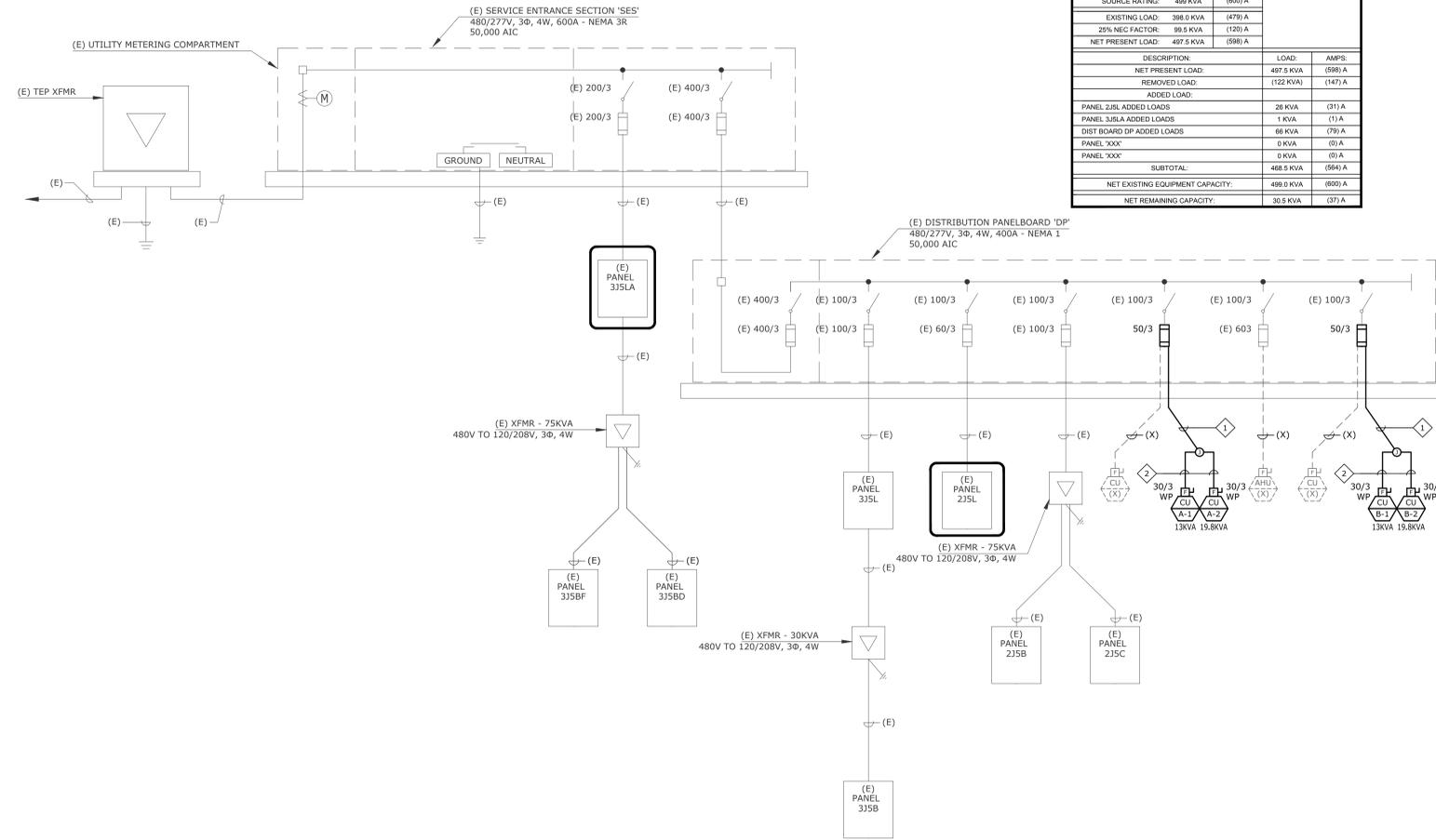
LARGEST MOTOR: 0 KVA LOAD FACTOR AT 1.25: 0 KVA (0 A)

CALCULATED LOAD: 36 KVA (100 A)

ELECTRICAL LOAD CALCULATION

DESIGNATION: SES	
VOLTS:	480/277 3φ, 4W
BUS:	800A
MAIN LUG/BREAKER:	(800) A
SOURCE:	TEP XFMR
SOURCE RATING:	499 KVA (800) A
EXISTING LOAD:	388.0 KVA (479) A
25% NEC FACTOR:	96.5 KVA (120) A
NET PRESENT LOAD:	484.5 KVA (598) A

DESCRIPTION	LOAD	AMPS
NET PRESENT LOAD:	484.5 KVA (598) A	
REMOVED LOAD:	122 KVA (147) A	
ADDED LOAD:		
PANEL 2J5L ADDED LOADS	26 KVA (31) A	
PANEL 3J5LA ADDED LOADS	1 KVA (1) A	
DIST BOARD DP ADDED LOADS	66 KVA (79) A	
PANEL 'XXX'	0 KVA (0) A	
PANEL 'XXX'	0 KVA (0) A	
SUBTOTAL:	468.5 KVA (564) A	
NET EXISTING EQUIPMENT CAPACITY:	499.0 KVA (600) A	
NET REMAINING CAPACITY:	30.5 KVA (37) A	



A SINGLE LINE DIAGRAM
ES.0 NTS

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

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Project 18100
Date 4.9.2020
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E5.0