

# TRANSMITTAL FORM



ARCHITECTS

To: Maria Gayoss  
City of Tucson  
Planning & Development services department

FROM: Joel Mesik  
WSM Architects  
4330 N. Campbell Ave #268  
Tucson, AZ 85718  
520.408.1044

PROJECT NAME: EL CENTRO ELEVATOR WEATHERIZATION

PROJECT NUMBER: 19-037

DATE: SEPTEMBER 2, 2020

FOR YOUR INFORMATION:	<input type="checkbox"/>	VIA:	<input type="checkbox"/>
FOR YOUR REVIEW:	<input type="checkbox"/>	REGULAR MAIL	<input type="checkbox"/>
FOR YOUR APPROVAL:	<input checked="" type="checkbox"/>	EXPRESS MAIL	<input type="checkbox"/>
FOR YOUR USE:	<input type="checkbox"/>	DELIVERY SERVICE	<input type="checkbox"/>
FOR YOUR RECORDS:	<input type="checkbox"/>	DIGITAL UPLOAD	<input checked="" type="checkbox"/>
AS REQUESTED:	<input checked="" type="checkbox"/>	YOUR PICK-UP	<input type="checkbox"/>

NUMBER OF COPIES: 1 ELEC

DESCRIPTION:

0. TRANSMITTAL FORM
1. APPLICATION
2. PROJECT STATEMENT
3. SITE PLAN FROM THE APPROVED DP (DP16-0103)
4. PROJECT DRAWINGS (T20CM04010)
5. RENDERINGS
6. MATERIAL SAMPLE
7. ZONING COMMENTS
8. PHOTOGRAPHS AND AERIAL PHOTOGRAPHY OF SITE

4330 NORTH CAMPBELL AVE  
SUITE NO. 268  
TUCSON, ARIZONA 85718

520.408.1044 TEL  
520.408.1170 FAX  
WSMARCH.COM WEB



### SPECIAL DISTRICTS APPLICATION

Application Stage: Pre-application  Application

Permit Activity Number: T20CM04010 Case Number: Date Accepted:

#### PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): El Centro Elevator Weatherization

Property Address: 345 E. Congress St, Tucson, Az. 85701

Pima County Tax Parcel Number/s: 117067370

Current Zoning: OCR-2

- Applicable Overlay/  Infill Incentive District  Rio Nuevo Area
- Special Districts:  Main Gate Overlay District  Grant Road Overlay District
- Neighborhood Preservation Zone  Historic Preservation Zone

Neighborhood Association (if any):

- PROJECT TYPE (check all that apply):
- New building on vacant land
  - New addition to existing building
  - Change of use to existing building
  - New building on developed land
  - Other

Description of Proposed Use: Building use not changing

Number of Buildings and Stories/Height of Proposed Structure(s): Building use not changing

Site Area (sq ft): Area of Proposed Building (sq ft):

#### HISTORIC STATUS

- Site is within a: Historic Preservation Zone Please List:  
National Register District Please List:
- Site is/includes:  A contributing structure  Non-contributing structure  
 Is adjacent to a contributing structure  Vacant

#### APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Joel Mesik  
ROLE:  Property owner  Architect  Engineer  Attorney  Developer  
Other: \_\_\_\_\_

EMAIL: jmesik@wsMarch.com PHONE: 520-408-1044

ADDRESS: 4330 N. Campbell Ave. #268 Tucson, Az. 85718

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): City of Tucson

PHONE: 520-791-4181

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT\* 9/8/2020

\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date



CITY OF  
TUCSON

DEPARTMENT OF  
GENERAL SERVICES

DATE 09.09.20

Maria Gayosso  
PDS / Rio Nuevo  
201 N. Stone Ave  
Tucson, AZ 85718

Subject: Approval for Professional Design Services  
Project: El Centro Garage Water Intrusion Repairs  
AE Job Number: 7375

Dear Maria Gayosso;

WSM Architects are authorized to submit plans for the EL Centro Garage Water Intrusion Repairs for review and approval to the Rio Nuevo Design Review Board.

Thank You,

Peter Polsgrove  
Project Manager  
City of Tucson, EGSD / A&E  
Peter.Polsgrove@Tucsonaz.gov  
520.850.9279

ARCHITECTURE & ENGINEERING DIVISION  
P.O. BOX 27210 • TUCSON, AZ 85726-7210  
(520) 791-5111 • FAX (520) 791-5389 • TTY (520) 791-2639

[www.cityoftucson.org](http://www.cityoftucson.org)



ARCHITECTS

## Project Description

The pre-existing condition is that water infiltrates the elevator shaft and renders this elevator inoperable. The rooftop deck of the facility, which is an outdoor patio for residents of the housing units, does not have a roof, and the surface drainage pattern does not direct water away from the elevator shaft.

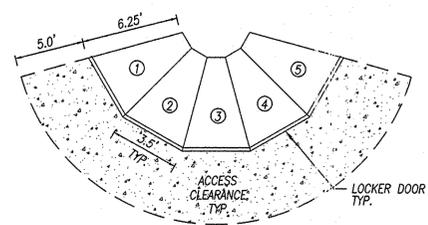
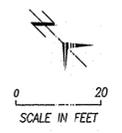
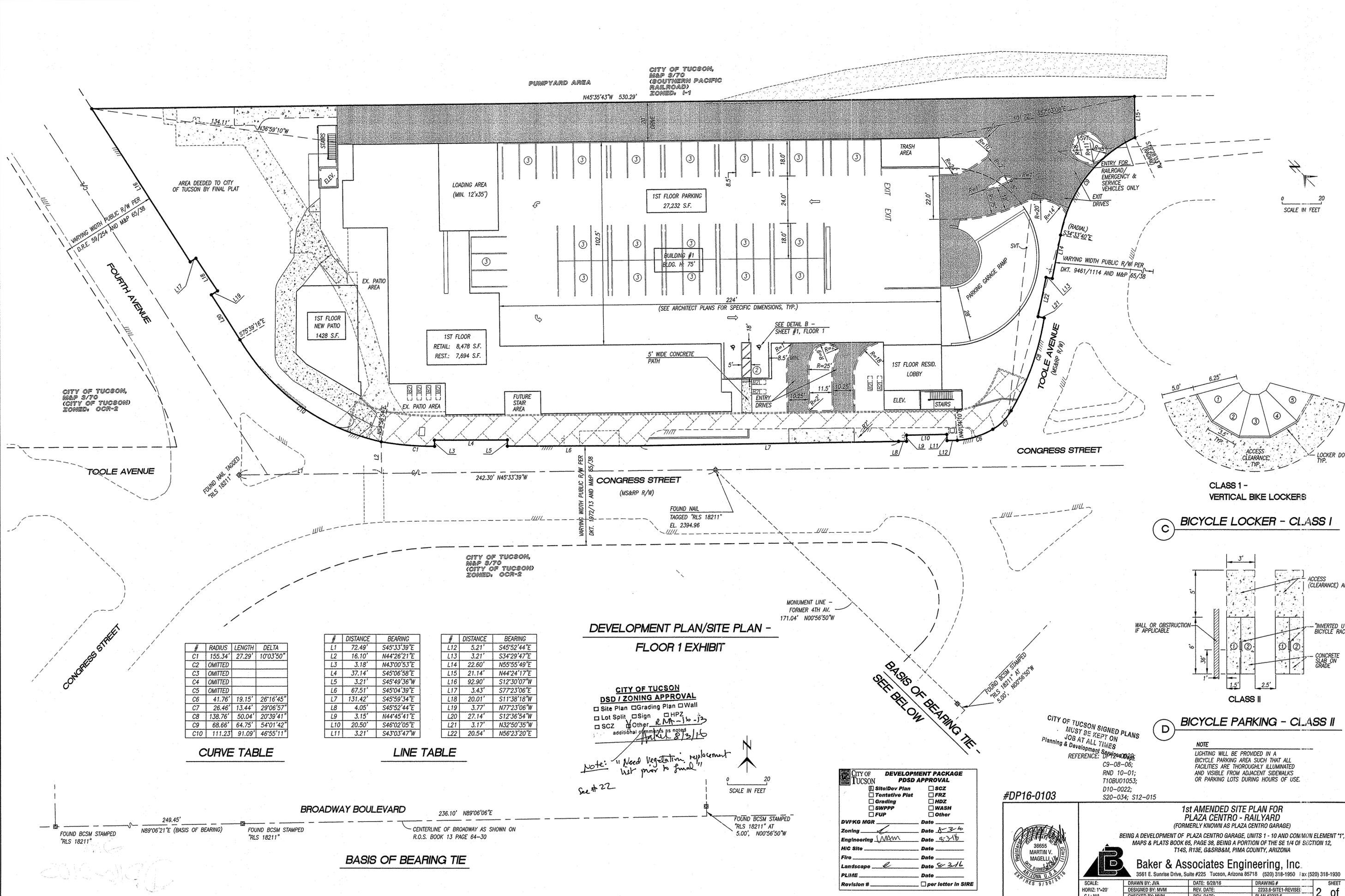
The lower levels of the facility, although under roof, also have issues with surface drainage and have the potential of contributing to the water infiltration, albeit to a lesser extent.

This project addresses the roof deck level issues by creating a small weathertight vestibule. This is intended to protect the doors of the elevator shaft from water infiltration. It will also restrict use of the elevator to emergency personnel only from this level of the facility.

This project further addresses the concerns at the three lower deck levels by providing a rainscreen down the west side of the elevator and by adding an ADA-compliant threshold just outside the elevator doors. These steps will minimize the amount of water that reaches the elevator (the rainscreen) and then creating a small dam (the threshold) at the elevator doors to deal with residual water.

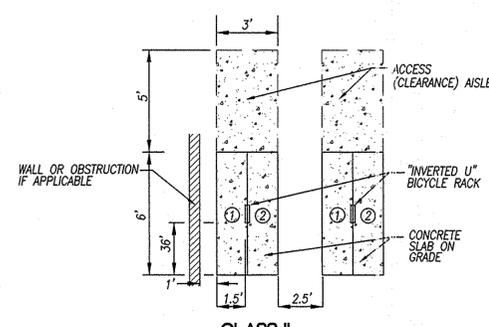
4330 NORTH CAMPBELL AVE  
SUITE No. 268  
TUCSON, ARIZONA 85718

520.408.1044 TEL  
520.408.1170 FAX  
WSMARCH.COM WEB



CLASS 1 - VERTICAL BIKE LOCKERS

C BICYCLE LOCKER - CLASS I



CLASS II

D BICYCLE PARKING - CLASS II

NOTE  
LIGHTING WILL BE PROVIDED IN A BICYCLE PARKING AREA SUCH THAT ALL FACILITIES ARE THOROUGHLY ILLUMINATED AND VISIBLE FROM ADJACENT SIDEWALKS OR PARKING LOTS DURING HOURS OF USE.

DEVELOPMENT PLAN/SITE PLAN - FLOOR 1 EXHIBIT

CITY OF TUCSON  
DSD / ZONING APPROVAL

- Site Plan
- Grading Plan
- Wall
- Tentative Plat
- Sign
- HPZ
- SCZ
- Other

Additional comments as noted  
Hank & J/16

Note: "Need vegetation replacement list prior to final"  
See # 22

**CURVE TABLE**

#	RADIUS	LENGTH	DELTA
C1	155.34'	27.29'	10°03'50"
C2	OMITTED		
C3	OMITTED		
C4	OMITTED		
C5	OMITTED		
C6	41.76'	19.15'	26°16'45"
C7	26.46'	13.44'	29°06'57"
C8	138.76'	50.04'	20°39'41"
C9	68.66'	64.75'	54°01'42"
C10	111.23'	91.09'	46°55'11"

**LINE TABLE**

#	DISTANCE	BEARING	#	DISTANCE	BEARING
L1	72.49'	S45°33'39"E	L12	5.21'	S45°52'44"E
L2	16.10'	N44°26'21"E	L13	3.21'	S34°29'47"E
L3	3.18'	N43°00'53"E	L14	22.60'	N55°55'49"E
L4	37.14'	S45°06'58"E	L15	21.14'	N44°24'17"E
L5	3.21'	S45°49'36"W	L16	92.90'	S12°30'07"W
L6	67.51'	S45°04'39"E	L17	3.43'	S77°23'06"E
L7	131.42'	S45°59'34"E	L18	20.01'	S11°38'18"W
L8	4.05'	S45°52'44"E	L19	3.77'	N77°23'06"W
L9	3.15'	N44°45'41"E	L20	27.14'	S12°36'54"W
L10	20.50'	S46°02'05"E	L21	3.17'	N32°50'35"W
L11	3.21'	S43°03'47"W	L22	20.54'	N56°23'20"E

CURVE TABLE

LINE TABLE

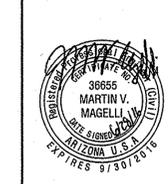
CITY OF TUCSON  
DEVELOPMENT PACKAGE  
PDS APPROVAL

<input checked="" type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> PRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
Zoning \_\_\_\_\_ Date \_\_\_\_\_  
Engineering \_\_\_\_\_ Date \_\_\_\_\_  
H/C Site \_\_\_\_\_ Date \_\_\_\_\_  
Fire \_\_\_\_\_ Date \_\_\_\_\_  
Landscape \_\_\_\_\_ Date \_\_\_\_\_  
PLUME \_\_\_\_\_ Date \_\_\_\_\_  
Revision # \_\_\_\_\_ per letter in SIRE

CITY OF TUCSON SIGNED PLANS  
MUST BE KEPT ON  
JOB AT ALL TIMES  
Planning & Development  
REFERENCE:  
C9-08-06;  
RND 10-01;  
T10BU01053;  
D10-0022;  
S20-034; S12-015

#DP16-0103



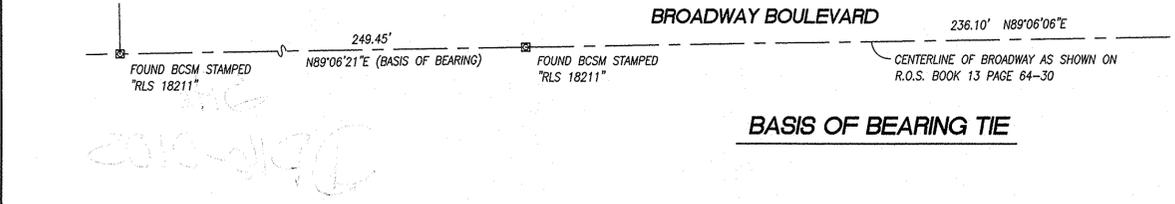
1st AMENDED SITE PLAN FOR  
PLAZA CENTRO - RAILYARD  
(FORMERLY KNOWN AS PLAZA CENTRO GARAGE)  
BEING A DEVELOPMENT OF PLAZA CENTRO GARAGE, UNITS 1 - 10 AND COMMON ELEMENT "1",  
MAPS & PLATS BOOK 65, PAGE 38, BEING A PORTION OF THE SE 1/4 OF SECTION 12,  
T14S, R13E, G&SRB&M, PIMA COUNTY, ARIZONA

**Baker & Associates Engineering, Inc.**  
3561 E. Sunrise Drive, Suite #225 Tucson, Arizona 85718 (520) 318-1950 FAX (520) 318-1930

SCALE: HORIZ. 1"=20' C.I.: NA  
DRAWN BY: JVA DATE: 6/28/16  
DESIGNED BY: MVM REV. DATE:  
CHECKED BY: MVM REV. DATE:

DRAWING # 2233-S-SITE1-REVISE  
PLAN #2233.6

SHEET 2 of 7

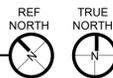


# EL CENTRO ELEVATOR WEATHERIZATION

345 E CONGRESS ST. TUCSON, AZ 85701



**1 SITE PLAN**  
1" = 30'-0" APPROX.



## GENERAL NOTES

- A. REFERENCES TO "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND/OR ANY SUBCONTRACTORS INVOLVED WITH THE WORK.
- B. VERIFY LOCATIONS OF ALL UTILITIES AND PROVIDE THE NECESSARY PROTECTION OF SAME BEFORE CONSTRUCTION BEGINS.
- C. CONTRACTOR SHALL NOT SCALE DRAWINGS. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- D. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, CONSTRUCTION MATERIALS, SYSTEMS AND DIMENSIONS PRIOR TO SUBMITTING BIDS AND BEGINNING CONSTRUCTION OR ORDERING ANY MATERIALS. ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND PROCEEDING WITH THE WORK. MINOR DIFFERENCES IN DIMENSIONS AND CONFIGURATION BETWEEN THESE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS, AS DEFINED BY THE ARCHITECT, SHALL NOT BE CAUSE FOR CHANGE ORDERS OR ADDITIONAL COMPENSATION. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL DEMOLITION WHICH COULD HAVE BEEN DETERMINED BY FIELD VERIFICATION PRIOR TO BIDDING. NOT SHOWN ON THESE PLANS SHALL NOT BE MOVED OR ALTERED UNLESS SPECIFICALLY REQUIRED BY OTHER PORTIONS OF THESE DOCUMENTS.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS IN THE WORK AREA. ANYTHING DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. PIPES, DRAINS, STRUCTURES OR OBSTRUCTIONS.
- F. GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL CONSTRUCTION WORK BETWEEN CONTRACTOR AND OWNER. GENERAL CONTRACTOR SHALL PROVIDE DUST ENCLOSURES TO PROTECT NON-CONSTRUCTION AREAS. GENERAL CONTRACTOR SHALL COORDINATE NOISY OPERATIONS ADJACENT TO TENANTS/OWNERS.
- G. GENERAL CONTRACTOR SHALL VERIFY EXACT LOCATION, IDENTIFY, LABEL AND PROTECT ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES WHICH MIGHT BE AFFECTED DURING CONSTRUCTION.
- H. SEE DRAWINGS FROM ALL DISCIPLINES FOR ADDITIONAL CONSTRUCTION NOTES.
- I. IF CONFLICTS EXIST IN ANY PORTION OF THE DOCUMENTS, THE GENERAL CONTRACTOR SHALL BID THE MORE EXPENSIVE METHOD OF WORK REQUIREMENT. VERIFY ALL CONFLICTS WITH ARCHITECT.
- J. ALL APPLICABLE BUILDING CODES MUST BE ADHERED TO. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ARCHITECT IF HE DETERMINES HE CANNOT MEET CODE REQUIREMENT PRIOR TO PRESENTING HIS BID.
- K. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- L. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT FOR SIMILAR CONSTRUCTION AT ALL APPROPRIATE LOCATIONS, WHETHER OR NOT SPECIFICALLY CALLED OUT.
- M. COORDINATE WITH COT AND BUILDING MANAGEMENT FOR MATERIAL STAGING, DEMOLITION/WASTE REMOVAL, DUMPSTER LOCATION AND CONSTRUCTION PERSONNEL PARKING.
- N. COORDINATE WITH COT AND BUILDING MANAGEMENT FOR REQUIREMENTS AND LOCATION OF TEMPORARY RESTROOM FACILITIES DURING CONSTRUCTION. CONTRACTOR FACILITIES SHALL BE SEPARATED FROM TENANT FACILITIES AS DIRECTED BY COT.

## SHEET INDEX

ARCHITECTURAL	
A0.0	LOCATION MAP, SHEET INDEX
A1.0	FLOOR PLANS
A1.1	REFLECTED CEILING PLAN
A2.0	EXTERIOR ELEVATIONS
A3.0	WALL SECTION AND DETAILS

## PROJECT TEAM

### OWNER

CITY OF TUCSON  
GENERAL SERVICES DEPARTMENT  
P.O. BOX 27210  
TUCSON, AZ 85726

### ARCHITECT

WSM ARCHITECTS, INC.  
4330 N. CAMPBELL AVE., SUITE 268  
TUCSON, AZ 85718  
TEL. 520-408-1044

### ELECTRICAL ENGINEER

ELECTRICAL DESIGN ASSOCIATES, INC.  
7536 N. LA CHOLLA BLVD.  
TUCSON, AZ 85741  
TEL. 520-622-2196

## Architecture and Engineering

Environmental and General Services  
Department

## City of Tucson

4004 S. Park Avenue, Bldg. 2  
Tucson, AZ 85714  
Tel: (520) 837-6375  
Email: AE-Archivist@tucsonaz.gov

Project:

EL CENTRO  
ELEVATOR  
WEATHERIZATION  
345 E CONGRESS ST,  
TUCSON, AZ 85701

Architect:



### ARCHITECTS

4330 NORTH CAMPBELL AVE  
SUITE NO. 268  
TUCSON, ARIZONA 85718

520.408.1044 TEL  
520.408.1170 FAX  
WSMARCH.COM WEB

Seal:



REVISIONS:

NO.	DESCRIPTION
1	PLAN REVIEW RESPONSE
2	ARCH. FINISHES UPDATE
3	
4	
5	
6	
7	
8	
9	
10	

DATE:

4/24/2020

A&E PLAN NO.:

XX-XXX

A&E JOB NO.:

19-037

SHEET TITLE:

SITE PLAN, SHEET INDEX

SHEET:

A0.0

A0.0 Of 4

## PROJECT DESCRIPTION

THE PRE-EXISTING CONDITION IS THAT WATER INFILTRATES THE ELEVATOR SHAFT AND RENDERS THIS ELEVATOR INOPERABLE. THE ROOFTOP DECK OF THE FACILITY, WHICH IS AN OUTDOOR PATIO FOR RESIDENTS OF THE HOUSING UNITS, DOES NOT HAVE A ROOF, AND THE SURFACE DRAINAGE PATTERN DOES NOT DIRECT WATER AWAY FROM THE ELEVATOR SHAFT.

THE LOWER LEVELS OF THE FACILITY, ALTHOUGH UNDER ROOF, ALSO HAVE ISSUES WITH SURFACE DRAINAGE AND HAVE THE POTENTIAL OF CONTRIBUTING TO THE WATER INFILTRATION, ALBEIT TO A LESSER EXTENT.

THIS PROJECT ADDRESSES THE ROOF DECK LEVEL ISSUES BY CREATING A SMALL WEATHERTIGHT VESTIBULE. THIS IS INTENDED TO PROTECT THE DOORS OF THE ELEVATOR SHAFT FROM WATER INFILTRATION. IT WILL ALSO RESTRICT USE OF THE ELEVATOR TO EMERGENCY PERSONNEL ONLY FROM THIS LEVEL OF THE FACILITY. SEE BELOW UNDER CODE CONSIDERATIONS FOR ADDITIONAL INFORMATION.

THIS PROJECT FURTHER ADDRESSES THE CONCERNS AT THE THREE LOWER DECK LEVELS BY PROVIDING A RAINSCREEN DOWN THE WEST SIDE OF THE ELEVATOR AND BY ADDING AN ADA-COMPLIANT THRESHOLD JUST OUTSIDE THE ELEVATOR DOORS. THESE STEPS WILL MINIMIZE THE AMOUNT OF WATER THAT REACHES THE ELEVATOR (THE RAINSCREEN) AND THEN CREATING A SMALL DAM (THE THRESHOLD) AT THE ELEVATOR DOORS TO DEAL WITH RESIDUAL WATER.

## CODE CONSIDERATIONS

THIS ELEVATOR AND THE NEARBY STAIRS CURRENTLY PROVIDE EGRESS OPTIONS FROM THE ROOFTOP DECK LEVEL OF THIS FACILITY. THESE ELEMENTS WERE REQUIRED AT THE TIME OF THE ORIGINAL CONSTRUCTION. HOWEVER, THE SUBSEQUENT BUILD OUT OF THE RESIDENTIAL PORTION OF THE FACILITY PROVIDED ADDITIONAL MEANS OF EGRESS THROUGH THE INTERIOR OF THE BUILDING VIA STAIRS AND AN ELEVATOR.

THE EXTERIOR ELEVATOR THAT IS THE SUBJECT OF THIS PROJECT IS NO LONGER NECESSARY FROM AN EGRESS PERSPECTIVE FROM THE ROOF DECK. THE NEARBY STAIRS WILL REMAIN AND WILL NOT BE ALTERED BY THIS PROJECT.

C.O.T. A/E AND THE BUILDING MANAGEMENT DESIRE TO MAINTAIN FULL OPERATION OF THE EXTERIOR ELEVATOR TO ALL LEVELS EXCEPT THE ROOF DECK. FOR THE ROOF DECK, THE INTENTION IS TO RE-PROGRAM THE CONTROLS TO ALLOW ELEVATOR EGRESS ONLY FOR AUTHORIZED BUILDING STAFF AND EMERGENCY PERSONNEL. ACCESS TO THE ROOF DECK LEVEL VIA THE EXTERIOR ELEVATOR WILL BE BY KEY OVERRIDE ONLY. ONCE AUTHORIZED PERSONNEL REACH THE ROOF DECK, THEY WILL LEAVE THE ELEVATOR CAB AND PASS THROUGH THE VESTIBULE. THE EXTERIOR DOOR OF THE VESTIBULE SHALL HAVE AN EXIT DEVICE FOR DOOR HARDWARE.

THESE MODIFICATIONS SHALL RETAIN THE USE OF THE EXTERIOR ELEVATOR FOR EMERGENCY PERSONNEL, SHALL RETAIN THE AVAILABILITY OF THE ELEVATOR FOR GURNEY ACCOMMODATIONS, BUT SHALL LIMIT THE USE BY RESIDENTS TO THE ROOF DECK. OPERATION TO THE LOWER LEVELS WILL BE ENHANCED DUE TO THE REDUCTION IN TIME THE ELEVATOR IS "OUT-OF-SERVICE" BECAUSE OF WATER DAMAGE.

## GENERAL FLOOR PLAN NOTES

- REFERENCES TO "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND/OR ANY SUBCONTRACTORS INVOLVED WITH THE WORK.
- ALL EXTERIOR DIMENSIONS SHOWN ON PLAN ARE TO CENTER LINE OF COLUMN. FACE OF MASONRY AND DO NOT INCLUDE THICKNESS OF SHEATHING OR ANY OTHER APPLIED SURFACE TREATMENT.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. DO NOT USE SCALED DIMENSIONS. USE WRITTEN DIMENSIONS OR WHERE NO DIMENSION IS PROVIDED, CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, CONSTRUCTION MATERIALS, SYSTEMS AND DIMENSIONS PRIOR TO SUBMITTING BIDS AND BEGINNING CONSTRUCTION OR ORDERING ANY MATERIALS. ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND PROCEEDING WITH THE WORK. MINOR DIFFERENCES IN DIMENSIONS AND CONFIGURATION BETWEEN THESE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS, AS DEFINED BY THE ARCHITECT, SHALL NOT BE CAUSE FOR CHANGE ORDERS OR ADDITIONAL COMPENSATION. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL DEMOLITION WHICH COULD HAVE BEEN DETERMINED BY FIELD VERIFICATION PRIOR TO BIDDING.
- PROVIDE APPROPRIATE SEALANT AT JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE SEALANTS AT EXTERIOR LOCATIONS TO ENSURE A WATERTIGHT ENCLOSURE.
- GENERAL CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL CONSTRUCTION WORK BETWEEN CONTRACTOR AND OWNER. GENERAL CONTRACTOR SHALL PROVIDE DUST ENCLOSURES TO PROTECT NON-CONSTRUCTION AREAS. GENERAL CONTRACTOR SHALL COORDINATE NOISY OPERATIONS ADJACENT TO TENANTS/OWNERS.
- GENERAL CONTRACTOR SHALL VERIFY EXACT LOCATION, IDENTIFY, LABEL AND PROTECT ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES WHICH MIGHT BE AFFECTED DURING CONSTRUCTION.
- SEE DRAWINGS FROM ALL DISCIPLINES FOR ADDITIONAL CONSTRUCTION NOTES.
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### LIGHT FIXTURE K1:

JUNO SLIMFORM LED SURFACE MOUNT JSF SERIES, 11" ROUND, UNIVERSAL VOLTAGE DRIVER WHAT ACCOMMODATES 120-277V - WITH EMERGENCY POWER OPTION, 5 YEAR WARRANTY, 1300 LUMENS, 3500K, WHITE FINISH, BATTERY BACK-UP.

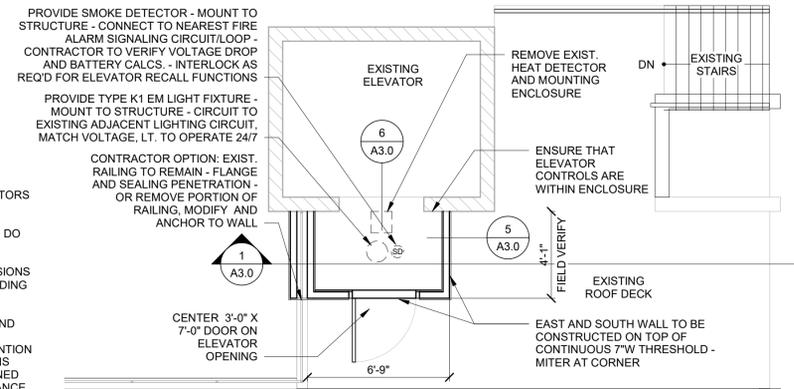
## FINISHES

### STANDING SEAM METAL ROOF

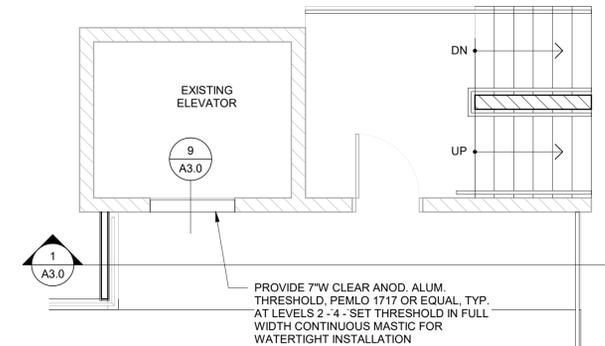
MANUF	BRIDGERSTEEL
STYLE	2" STRUCTURAL MECHANICAL LOCK
COLOR	WEATHERED COPPER
NOTES	COLOR OF ALL TRIM TO MATCH

### WALL PANELS

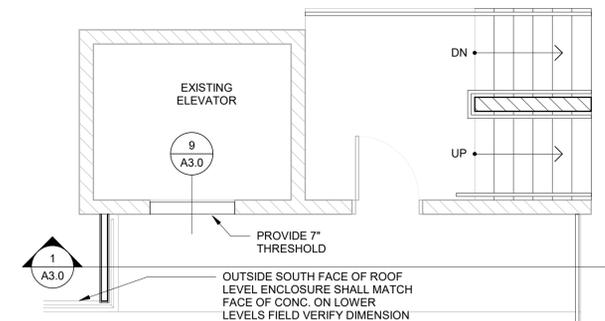
MANUF	BRIDGERSTEEL
STYLE	SHIPLAP WALL
COLOR	WEATHERED COPPER
NOTES	COLOR OF ALL TRIM TO MATCH



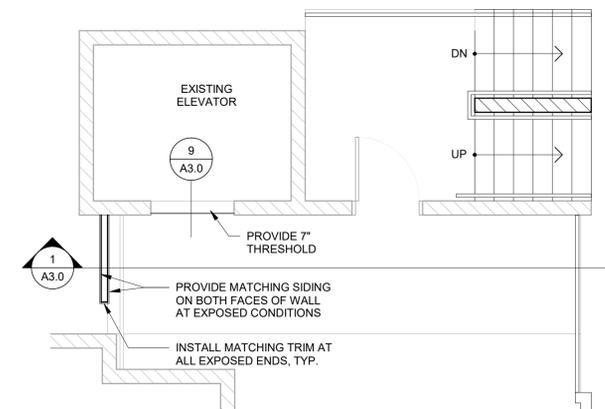
4 ROOF LEVEL PLAN  
1/4" = 1'-0"



3 FOURTH LEVEL PLAN  
1/4" = 1'-0"



2 THIRD LEVEL PLAN  
1/4" = 1'-0"



1 SECOND LEVEL PLAN  
1/4" = 1'-0"

# Architecture and Engineering

Environmental and General Services  
Department

## City of Tucson

4004 S. Park Avenue, Bldg. 2  
Tucson, AZ 85714  
Tel: (520) 837-6375  
Email: AE-Archivist@tucsonaz.gov

Project:

EL CENTRO  
ELEVATOR  
WEATHERIZATION  
345 E CONGRESS ST,  
TUCSON, AZ 85701

Architect:



### ARCHITECTS

4330 NORTH CAMPBELL AVE  
SUITE NO 268  
TUCSON, ARIZONA 85718

520.408.1044 TEL  
520.408.1170 FAX  
WSMARCHI.COM WEB

Seal:



REVISIONS:

1	PLAN REVIEW RESPONSE
2	ARCH. FINISHES UPDATE
3	
4	
5	
6	
7	
8	
9	
10	

DATE:

4/24/2020

A&E PLAN NO.:

XX-XXX

A&E JOB NO.:

19-037

SHEET TITLE:

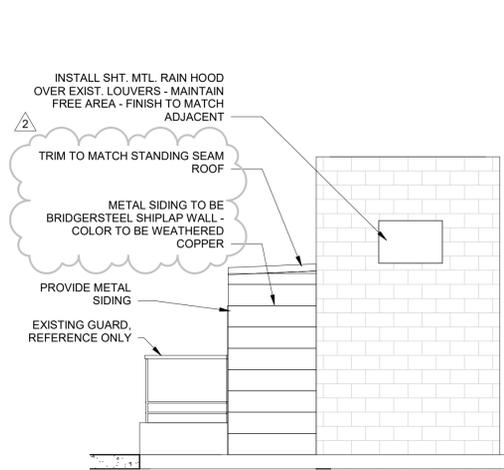
FLOOR PLANS

SHEET:

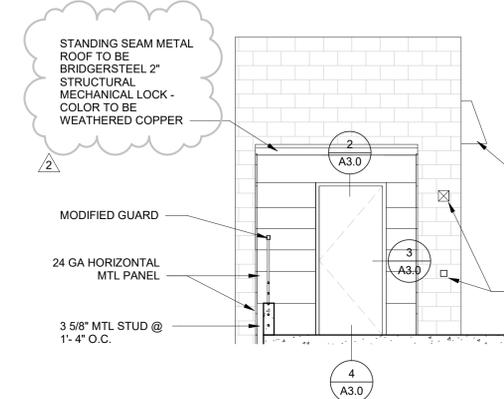
A1.0  
A1.0 of 4



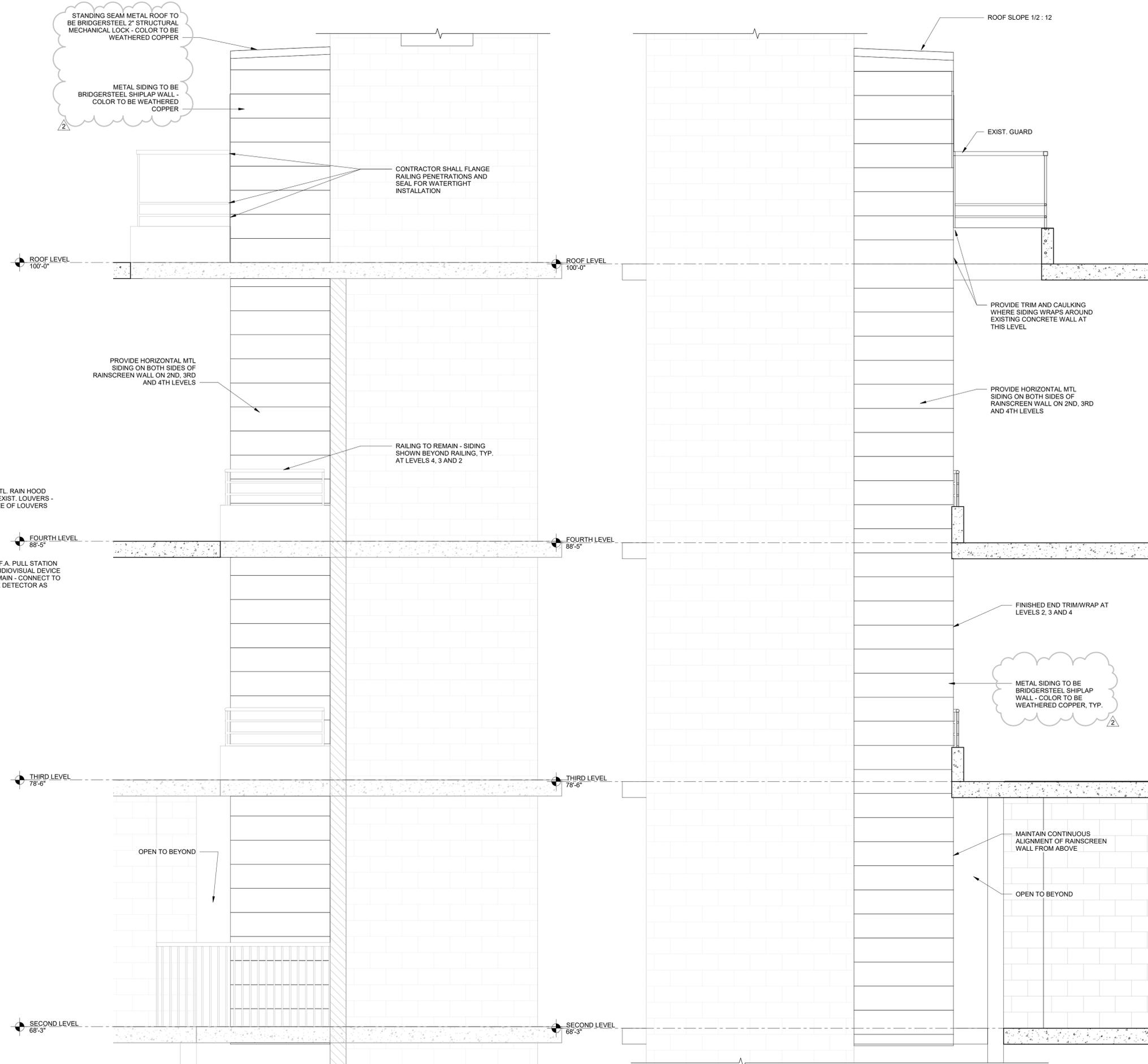
1	PLAN REVIEW RESPONSE
2	ARCH. FINISHES UPDATE
3	
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**1** ROOF LEVEL EAST ELEVATION  
1/4" = 1'-0"

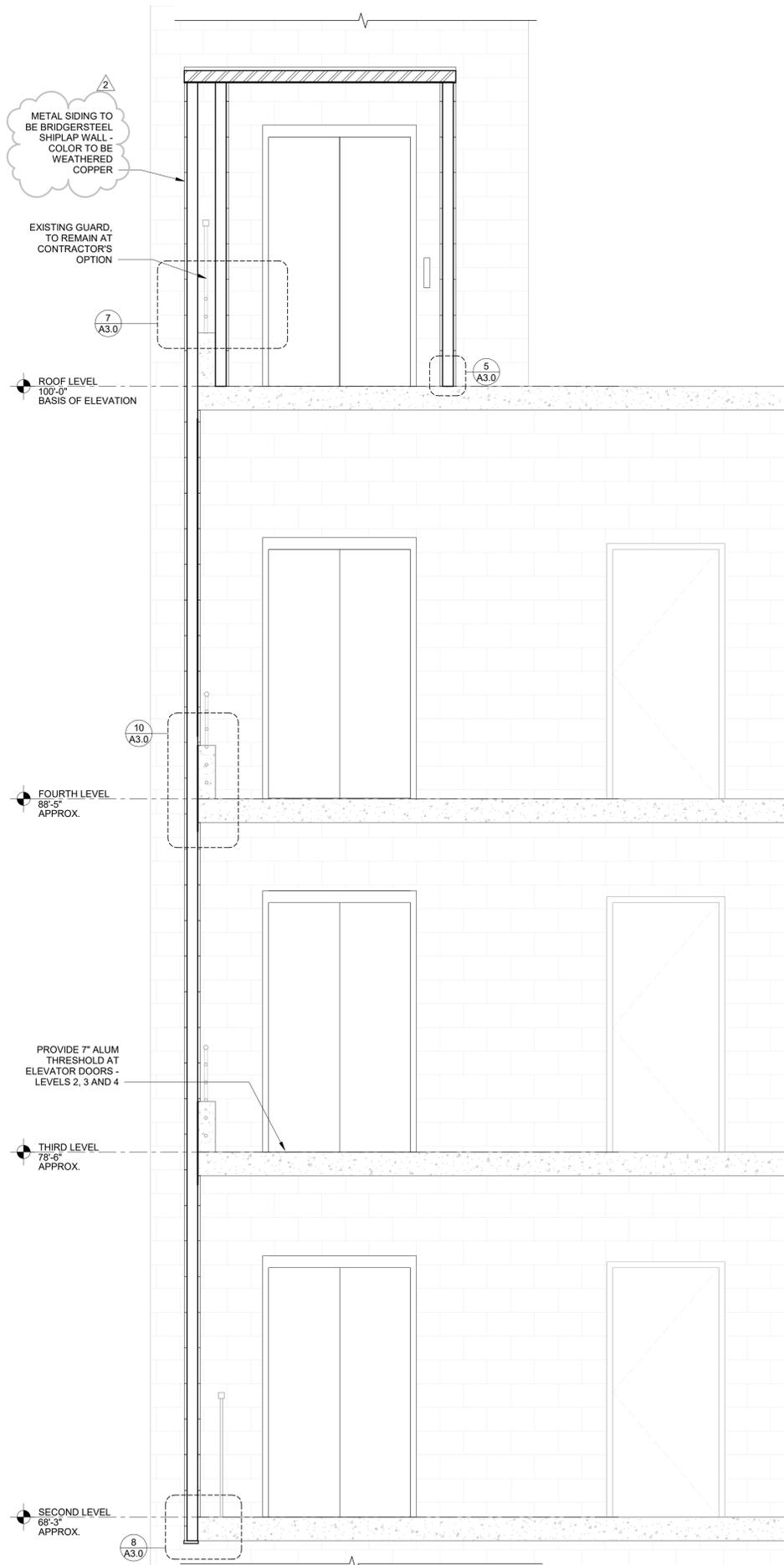


**2** ROOF LEVEL SOUTH ELEVATION  
1/4" = 1'-0"

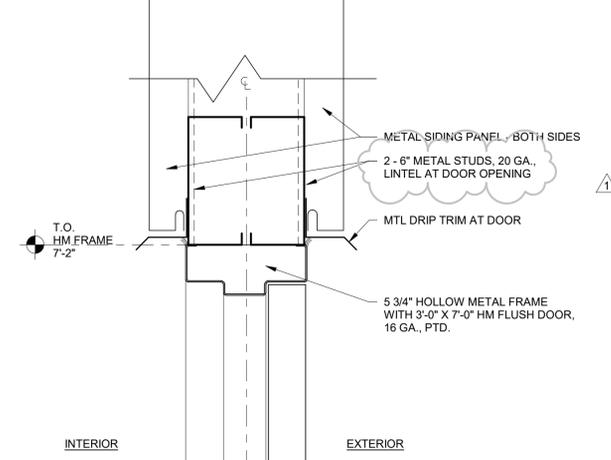


**3** EAST ELEVATION  
1/2" = 1'-0"

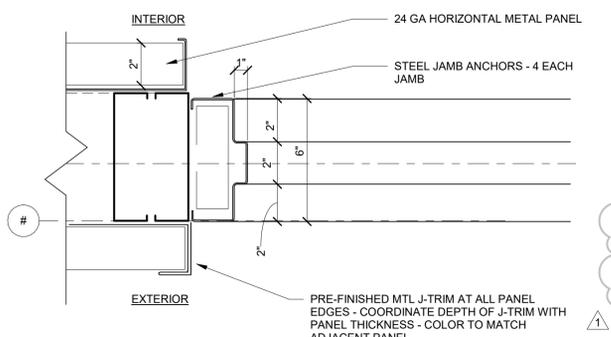
**4** WEST ELEVATION  
1/2" = 1'-0"



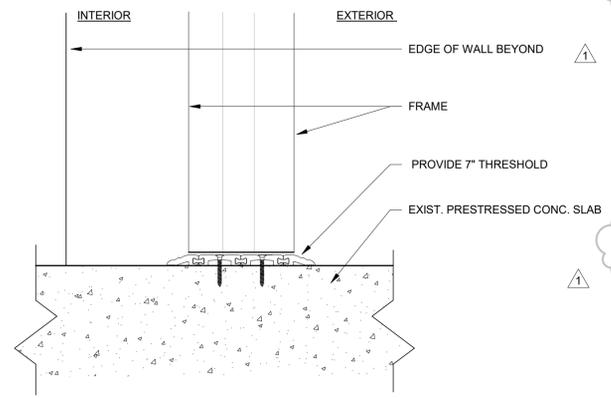
**1 WALL SECTION**  
1/2" = 1'-0"



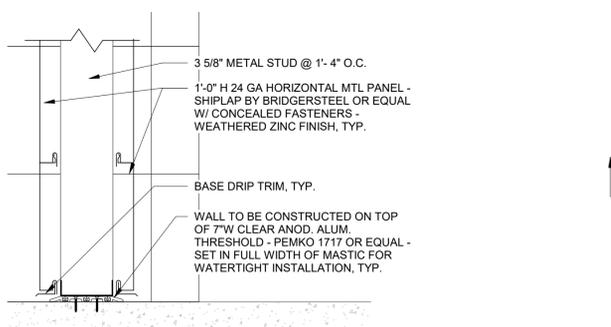
**2 H.M. DOOR - HEAD @ METAL PANEL**  
3" = 1'-0"



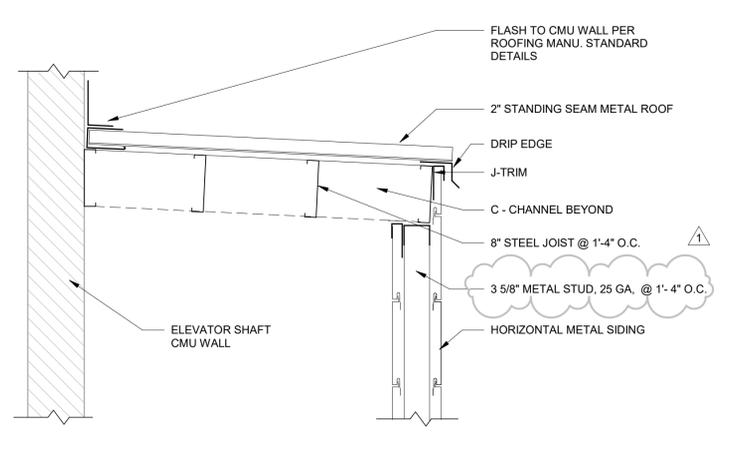
**3 H.M. DOOR - JAMB @ METAL PANEL**  
3" = 1'-0"



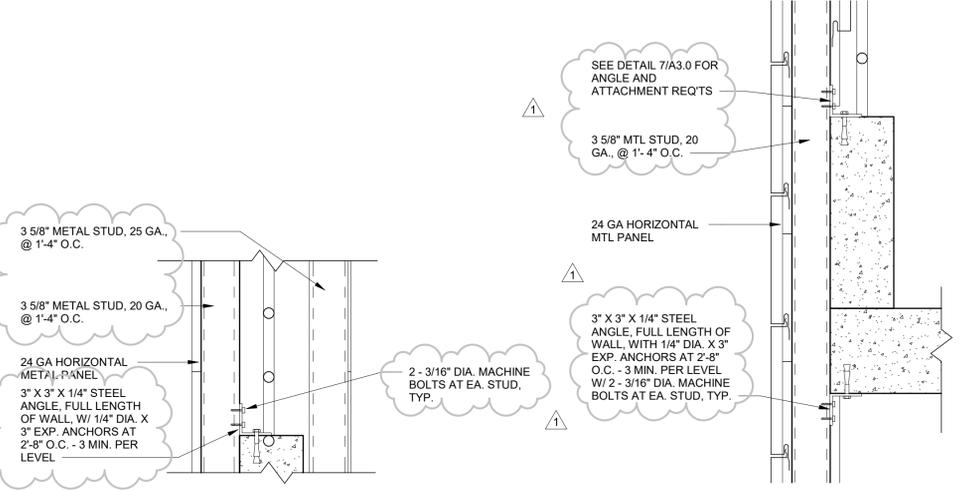
**4 HM DOOR SILL**  
3" = 1'-0"



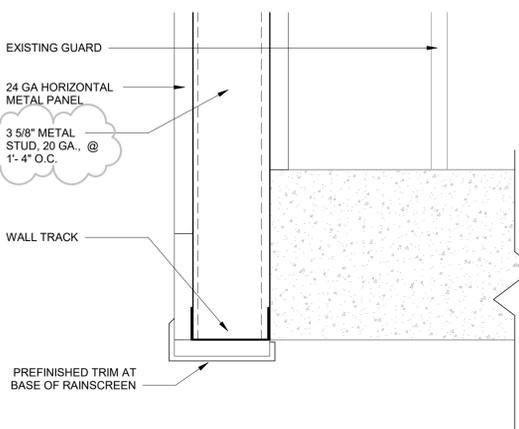
**5 WALL TO FLOOR CONNECTION**  
1 1/2" = 1'-0"



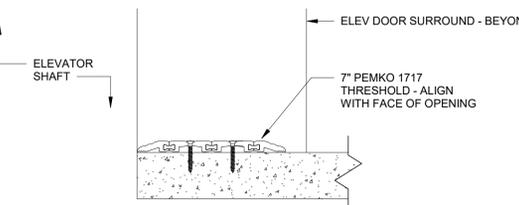
**6 ROOF ATTACHMENT ON CMU**  
1" = 1'-0"



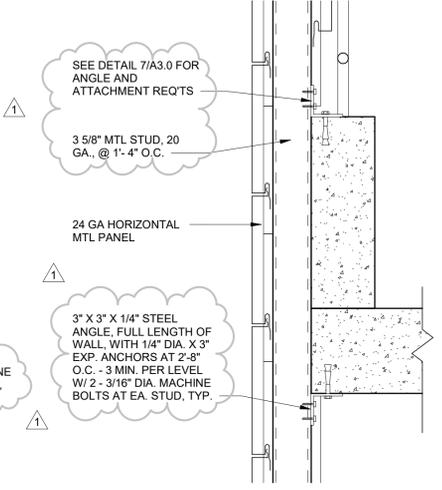
**7 METAL PANEL TO ROOF**  
1 1/2" = 1'-0"



**8 RAINSCREEN BASE @ 2ND LEVEL**  
3" = 1'-0"



**9 THRESHOLD @ ELEVATOR**  
3" = 1'-0"



**10 METAL PANEL TO FLOOR EDGE**  
1 1/2" = 1'-0"



REVISIONS:

1	PLAN REVIEW RESPONSE
2	ARCH. FINISHES UPDATE
3	
4	
5	
6	
7	
8	
9	
10	

DATE: 4/24/2020  
A&E PLAN NO.: XX-XXX  
A&E JOB NO.: 19-037  
SHEET TITLE: SECTION AND DETAILS

NEW RAINSCREEN



345 E. CONGRESS ST

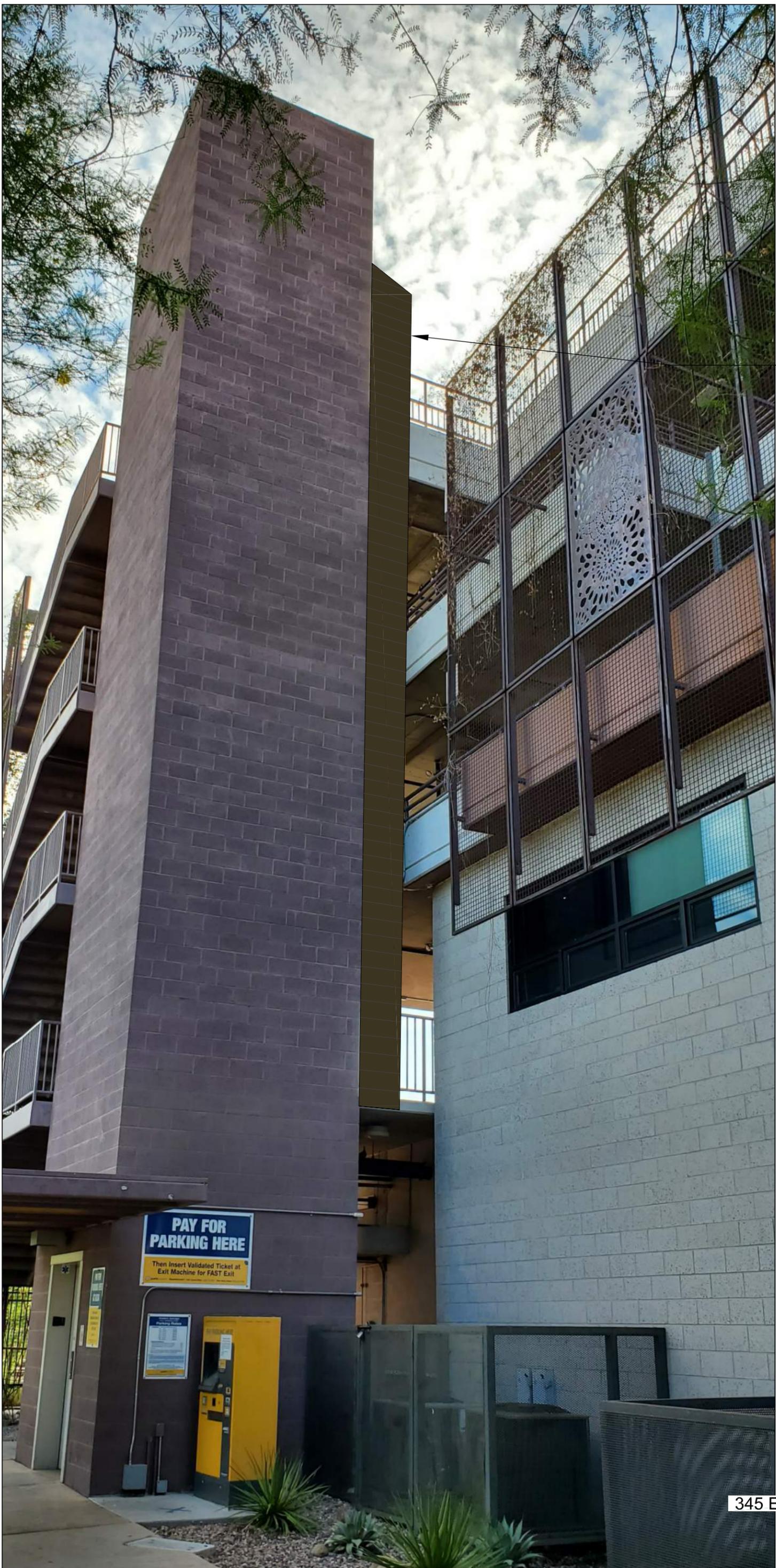
SEPT. 01, 2020



1

VIEW FROM CONGRESS/TOOLE

SCALE: NTS



NEW  
RAINSCREEN

345 E. CONGRESS ST  
SEPT. 01, 2020

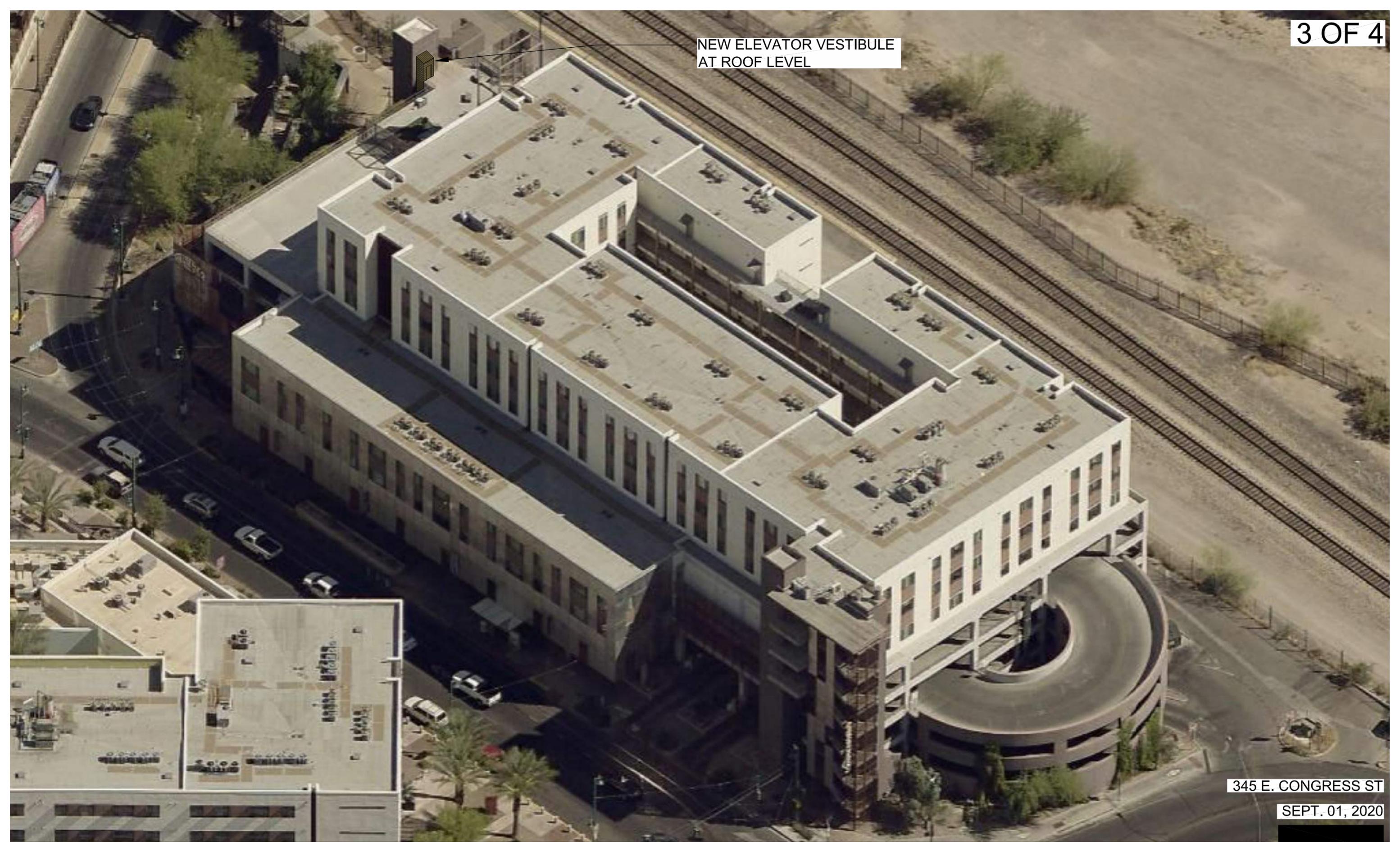


1

VIEW FROM PEDESTRIAN PATH

SCALE: NTS

NEW ELEVATOR VESTIBULE  
AT ROOF LEVEL



345 E. CONGRESS ST

SEPT. 01, 2020

1

AERIAL VIEW - SOUTH

SCALE: NTS

WSM  
ARCHITECTS

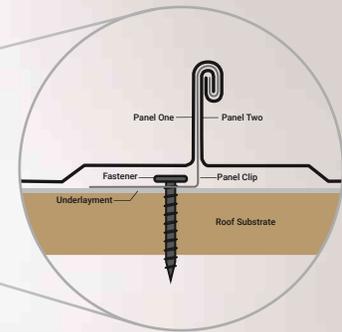
NEW ELEVATOR  
VESTIBULE AT  
ROOF LEVEL

345 E. CONGRESS ST

SEPT. 01, 2020

1 AERIAL VIEW - WEST  
SCALE: NTS





Enlarged Clip Assembly

## Panel Overlap Detail



1. **Clip System:** Fixed or Floating clip systems available
2. **Substrate:** Plywood substrate material shown
3. **Underlayment:** High Temp Ice & Water

<b>Roof Coverage</b>	14.75" - 18"
<b>Radius Panel</b>	Available
<b>Panel Gauges</b>	22*, 24*, 26
<b>Fastener Options</b>	Concealed Clip System
<b>Panel Length</b>	3' to 100'+
<b>Rib Height</b>	2"
<b>Roof Slope</b>	Minimum 1:12 or Greater with Mastic
<b>Impact Rating</b>	UL 2218
<b>Wind Uplift Rating</b>	ASTM E1592
<b>Warranty</b>	Based on Paint System
<b>For more information</b>	1.877.783.3568

\* Grade 50

Version 3.2, 4/2018



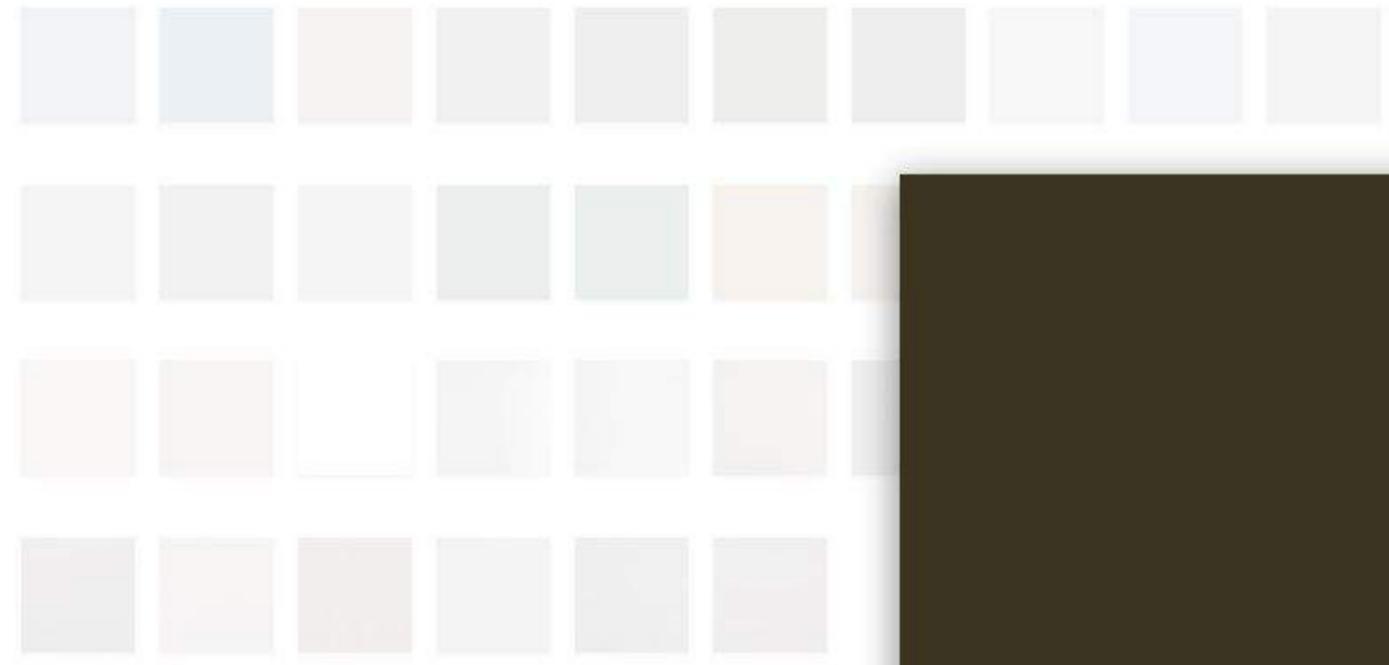
Metal Roofing & Siding

Colors & Styles

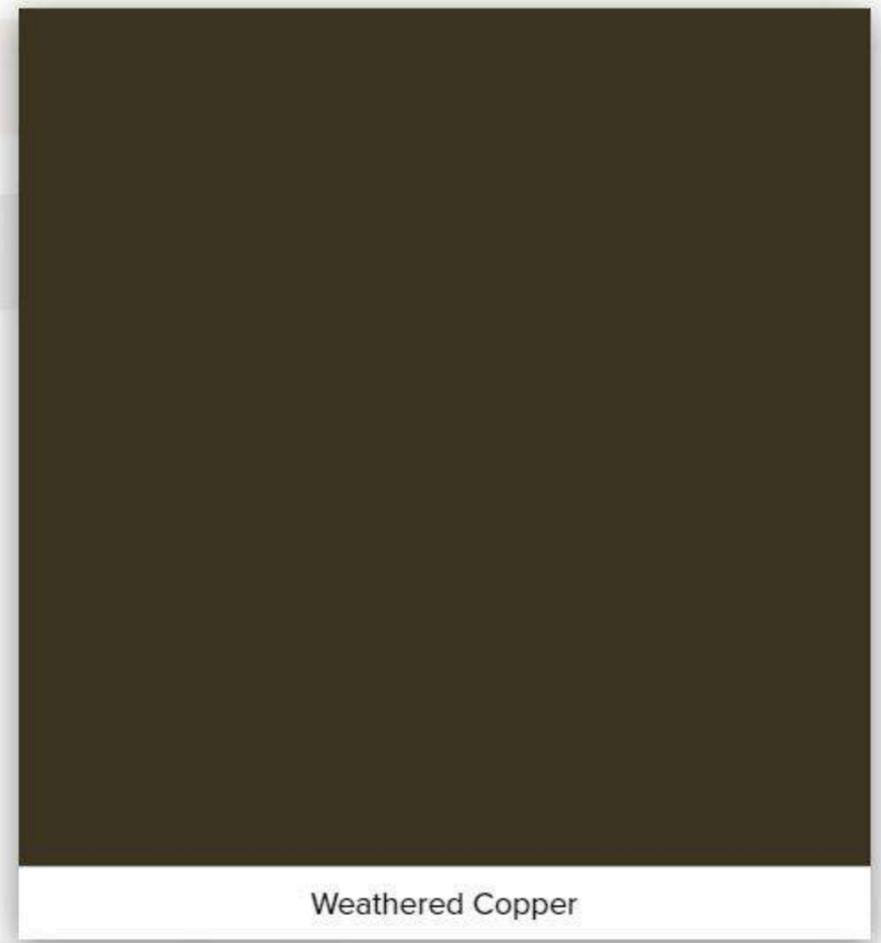
Resources

Get a Quote

24 Gauge Colors



CLOSE X



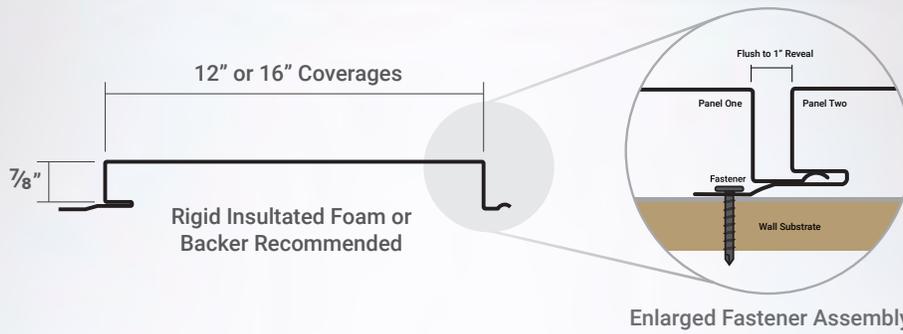
Panel Profile



14.75" - 18" Coverage

Roof Clip





**Panel Overlap Detail**



1. **Underlayment:** Semi-Permeable Vapor Barrier
2. **Substrate:** Plywood substrate material shown

**Wall Coverage** 12"-16"

**Reveal Widths** Flush to 1"

**Panel Gauges** 24\*, 26, 28

**Fastener Options** Concealed Fastener

**Panel Length** 3' to 30'+

**Relief Height** 7/8"

**Variegated Assembly** Available

**Stiffener Options** None, Single V, Double V

**Striations** Available

**Warranty** Based on Paint System

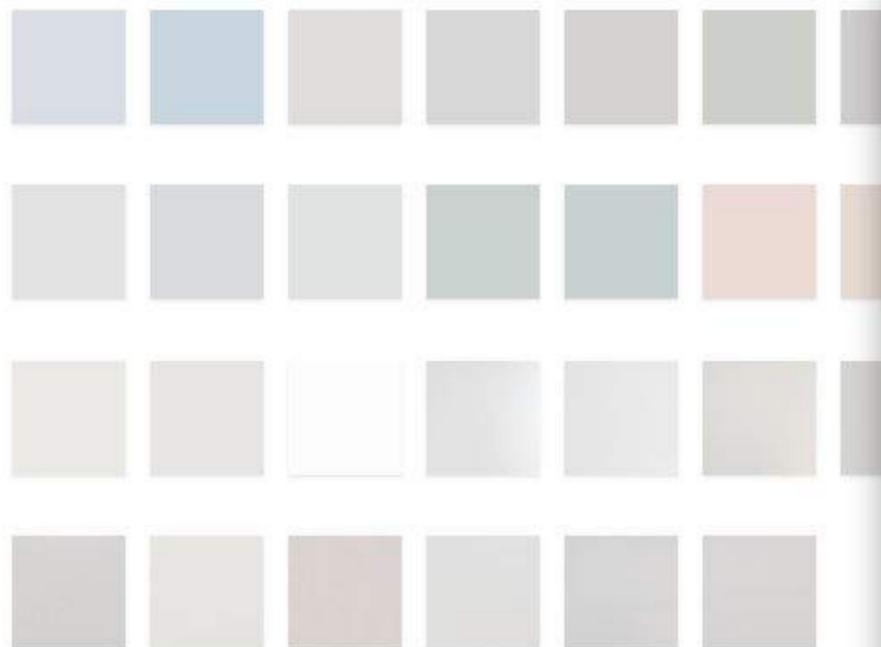
**For more information** 1.877.783.3568

\* Grade 50

Version 3.2, 4/2018

## Panel Colors

### 24 Gauge Colors



## Panel Profile



- Installation Guide
- Trim Profiles
- 24 Gauge Color Chart
- 24 Gauge Rawhide Color Chart

CLOSE X



Weathered Copper



**National Zoning Associates, LLC**  
4616 NW 159<sup>th</sup> Street • Edmond, OK 73013  
Tel: (405) 938-5509 • Toll Free Fax: (888) 777-0371  
Email: karen@zoningassociates.com

T19SA00234

T19SA00236

To: Tucson Planning/Zoning

Date: 6/6//2019

**Re: Cover letter for the original Request for Zoning Certification Letters for The Cadence student housing property consisting of two parcels:**

**Parcel 1 at 350 E. Congress St. with APNs: 117-06-7390, 117-06-7400, 117-06-7410, and 117-06-7420**

**Parcel 2 at 345 E. Congress St. with APN's: 117-06-7340 and 117-06-7350**

Greetings!

Please be advised we are sending this letter for the additional request and payment due to having two parcels as instructed. Enclosed please find an additional check for \$165.00 payable to City of Tucson in addition to the first check# 6955 for the first request on 5/28/2019.

Please provide as much information as possible on your letterhead and return via Fax or Email to: 1-888-777-0371 or karen@zoningassociates.com Thank you for your help.

Sincerely, Karen Tomlinson



**National Zoning Associates, LLC**  
4616 NW 159<sup>th</sup> Street • Edmond, OK 73013  
Tel: (405) 938-5509 • Toll Free Fax: (888) 777-0371  
Email: karen@zoningassociates.com

T19SA00234 T19SA00236

To: Tucson Planning/Zoning

Date: 5/28/2019

**Re: Request for Zoning Certification Letter for The Cadence located at 350 E. Congress St. and 345 E. Congress St. (total 2 bldgs) Tucson, AZ 85701. Built 2013. This is student housing with 196 units. Parcels: 117-06-7400, 117-06-3007, 117-06-7390, 117-06-7410, 117-06-7420 & 11706-2905.**

Greetings!

Please consider this as an official request to obtain a zoning letter. Enclosed please find a check for \$165.00 payable to City of Tucson.

- What is the current zoning of this project including any special, restrictive or overlay districts?
- What are the abutting Zoning Districts to this property to the North, South, East & West? (specifically any residential or other abutting zoning which could impact buffer, height or setback requirements for this project).
- To the best of your knowledge, are there any unresolved zoning, fire, or building code violations on file for the subject property?
- Should the existing development (built in 2013) not meet the current zoning code requirements would the city view it legally nonconforming?
- Was this property granted any Conditional or Special Use Permits, Variances or Special Exceptions? If yes, please provide copies of such document(s).
- Was the subject site required to go through Site Plan Approval? Please provide a copy of the approved Site Plan, if available.
- Was the property developed as Planned Unit Development? If yes, please provide a copy of the PUD plan and/or PD approval documents.
- Was the project issued all required Certificates of Occupancy? Please provide copies of all available COs. If copies of COs are no longer available please kindly complete the enclosed CO form letter.

Please provide as much information as possible on your letterhead and return via Fax or Email to: 1-888-777-0371 or karen@zoningassociates.com Thank you for your help.

Sincerely, Karen Tomlinson



CITY OF  
TUCSON

PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

ZONING  
ADMINISTRATION  
DIVISION

June 13, 2019

Karen Tomlinson  
National Zoning Associates, LLC  
4616 NW 159<sup>th</sup> Street  
Edmond, Oklahoma 73013

SUBJECT: 345 East Congress Street, Tucson, Arizona  
Pima County Tax Parcel Number 117-06-7370  
Unified Development Code (UDC) Information T19SA00236

Dear Karen Tomlinson,

The zoning information requested in your letter dated June 12, 2019 is as follows. The property addressed 345 East Congress Street, with Pima County Tax Parcel Number 117-06-7370, consists of properties 335 East Congress Street, with Pima County Tax Parcel number 117-06-7450, and includes the following parcels 117-06-7350, 117-06-7360, 117-06-7370, 117-06-7390, 117-06-7400, 117-06-7410, 117-06-7430, 117-06-7440, 117-06-7460, 117-06-7470 with no site address assigned. The property is zoned OCR-2, a mixed use Office, Commercial, Residential zoning designation. The mixed use of commercial, retail, parking garage, and multifamily residential land use, such as existing on the site, is a permitted use of land in the OCR-2 zone. Adjacent properties are zoned OCR-2.

Although the complex was constructed in compliance with the zoning regulations in effect prior to 2011, certain site criteria may be now considered nonconforming for the purposes of current zoning regulations, (e.g. parking, loading, setback, landscaping requirements, etc.). Any code amendment establishes the property as legal nonconforming as it relates to the specific changes.

The Unified Development Code Article 9.3.1.A Nonconforming Structure Reconstruction states: “Any nonconforming structure or groups of nonconforming structures damaged by natural causes, such as, but not limited to, fire, flood, and lightning, may be reconstructed and used as before with the following limitations.

1. Permits to reconstruct the structure must be issued within 12 months of the occurrence.

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-4340  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)

2. The reconstruction of the structure may not exceed the original footprint or square footage as it existed at the time of the occurrence.

There are no active zoning violations, rezoning or other zoning applications pending on this property. The property is subject to the conditions of rezoning case C9-08-06 and the conditions were met at the time of construction. This is the current zoning information. Approved plans, Building Code, and Certificate of Occupancy information relating to this project is available under the City of Tucson's Property Research On-Line link at [www.tucsonaz.gov/pro](http://www.tucsonaz.gov/pro). If you require more building code, Certificate of Occupancy, permits, or plans information than what is available under the Property Research On-Line, you may visit our Records Division in person or contact a Tucson expediting service for assistance.

Should you require further zoning information regarding this matter, please contact me at [Angie.Ruiz@tucsonaz.gov](mailto:Angie.Ruiz@tucsonaz.gov) or telephone number 520-837-4896.

Sincerely,



Russlyn Wells  
Zoning Administrator

s: zoning administration/zoning/2015/345 E Congress St T19SA00236 rev.doc



**National Zoning Associates, LLC**  
4616 NW 159<sup>th</sup> Street • Edmond, OK 73013  
Tel: (405) 938-5509 • Toll Free Fax: (888) 777-0371  
Email: karen@zoningassociates.com

To: Tucson Planning/Zoning

T19SA00234 T19SA00236

Date: 6/12//2019

**Re: Cover letter for the original Request for Zoning Certification Letters for The Cadence student housing property consisting of two parcels:**

**Parcel 1 at 350 E. Congress St. with APNs: 117-06-7300; 117-06-7310; 117-06-7320**

**And 117-06-7290**

**Parcel 2 at 345 E. Congress St. with APN's: 117-06-7340; 117-06-7410; 117-06-7390**

**117-06-7400; 117-06-7440; 117-06-7460; 117-06-7350; 117-06-7430; 117-06-7370**

**117-06-7360; 117-06-7470 and 117-06-7450 & 395 possibly 335 included with 345**

Greetings!

This is a revised request for two zoning letters. We have submitted the payment for each zoning letter already and you confirmed the receipt.

Please provide as much information as possible on your letterhead and return via Fax or Email to: 1-888-777-0371 or karen@zoningassociates.com Thank you for your help.

Sincerely, Karen Tomlinson



CITY OF  
TUCSON

PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

-----  
ZONING  
ADMINISTRATION  
DIVISION

July 31, 2015

Ms. Tara Hood  
Massey Consulting Group  
774 Cole Drive  
Guthrie, Oklahoma 73044

SUBJECT: 345 East Congress Street, Tucson, Arizona  
Pima County Tax Parcel Number 117-06-7370  
Unified Development Code (UDC) Information T15SA00264

To Whom It May Concern:

The zoning information requested in your letter received July 24, 2015 is as follows. The property addressed 345 East Congress Street, with Pima County Tax Parcel Number 117-06-7370, is zoned "OCR-2", a mixed use Office / Commercial / Residential zoning designation. The mixed use of commercial and retail, parking garage, and multifamily residential / condominium land use, such as existing on the site, is a permitted use of land in the OCR-2 zone. Although the complex was constructed in compliance with the zoning regulations in effect prior to 2011, certain site criteria may be now considered nonconforming for the purposes of current zoning regulations, (e.g. parking, loading, setback, landscaping requirements, etc.). Any code amendment establishes the property as legal nonconforming as it relates to the specific changes.

The Unified Development Code Article 9.3.1.A Nonconforming Structure Reconstruction states: "Any nonconforming structure or groups of nonconforming structures damaged by natural causes, such as, but not limited to, fire, flood, and lightning, may be reconstructed and used as before with the following limitations.

1. Permits to reconstruct the structure must be issued within 12 months of the occurrence.
2. The reconstruction of the structure may not exceed the original footprint or square footage as it existed at the time of the occurrence.

There are no active zoning violations, rezoning or other zoning applications pending on this property. The property is subject to the

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-4340  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)

conditions of rezoning case C9-08-06 and the conditions were met at the time of construction. This is the current zoning information. Approved plans, Building Code, and Certificate of Occupancy information relating to this project is available under the City of Tucson's Property Research On-Line link at [www.tucsonaz.gov/pro](http://www.tucsonaz.gov/pro). If you require more building code, Certificate of Occupancy, permits, or plans information than what is available under the Property Research On-Line, you may visit our Records Division in person or contact a Tucson expediting service for assistance.

Should you require further zoning information regarding this matter, please contact me at [Russlyn.Wells@tucsonaz.gov](mailto:Russlyn.Wells@tucsonaz.gov) or telephone number 520-837-4948.

Sincerely,

A handwritten signature in blue ink, appearing to read "Russlyn Wells".

Russlyn Wells  
Principal Planner

s: zoning administration/zoning/2015/345 E Congress St T15SA00264.doc

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-4340  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)



CITY OF  
TUCSON

PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

-----  
ZONING  
ADMINISTRATION  
DIVISION

November 9, 2015

Ms. Tara Hood  
Massey Consulting Group  
774 Cole Drive  
Guthrie, Oklahoma 73044

SUBJECT: 345 East Congress Street, Tucson, Arizona **Revised**  
Pima County Tax Parcel Number 117-06-7370  
Unified Development Code (UDC) Information T15SA00264

To Whom It May Concern:

The zoning information requested in your letter received July 24, 2015 is as follows. The property addressed 345 East Congress Street, with Pima County Tax Parcel Number 117-06-7370, property 335 East Congress Street, with Pima County Tax Parcel number 117-06-7450, and parcels 117-06-7430 and 117-06-7440 with no situs addresses assigned, are zoned "OCR-2", a mixed use Office / Commercial / Residential zoning designation. The mixed use of commercial and retail, parking garage, and multifamily residential / condominium land use, such as existing on the site, is a permitted use of land in the OCR-2 zone. Although the complex was constructed in compliance with the zoning regulations in effect prior to 2011, certain site criteria may be now considered nonconforming for the purposes of current zoning regulations, (e.g. parking, loading, setback, landscaping requirements, etc.). Any code amendment establishes the property as legal nonconforming as it relates to the specific changes.

The Unified Development Code Article 9.3.1.A Nonconforming Structure Reconstruction states: "Any nonconforming structure or groups of nonconforming structures damaged by natural causes, such as, but not limited to, fire, flood, and lightning, may be reconstructed and used as before with the following limitations.

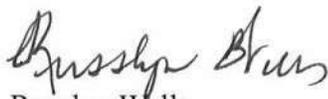
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2. The reconstruction of the structure may not exceed the original footprint or square footage as it existed at the time of the occurrence.

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-4340  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)

There are no active zoning violations, rezoning or other zoning applications pending on this property. The property is subject to the conditions of rezoning case C9-08-06 and the conditions were met at the time of construction. This is the current zoning information. Approved plans, Building Code, and Certificate of Occupancy information relating to this project is available under the City of Tucson's Property Research On-Line link at [www.tucsonaz.gov/pro](http://www.tucsonaz.gov/pro). If you require more building code, Certificate of Occupancy, permits, or plans information than what is available under the Property Research On-Line, you may visit our Records Division in person or contact a Tucson expediting service for assistance.

Should you require further zoning information regarding this matter, please contact me at [Russlyn.Wells@tucsonaz.gov](mailto:Russlyn.Wells@tucsonaz.gov) or telephone number 520-837-4948.

Sincerely,



Russlyn Wells  
Principal Planner

s: zoning administration/zoning/2015/345 E Congress St T15SA00264 rev.doc

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-4340  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)



# MASSEY

CONSULTING GROUP

774 Cole Drive

Guthrie, OK 73044

P: 405.475.5056 ext. 106

F: 888.450.2666

To: Zoning Administrator  
Planning & Development Svcs  
201 N Stone Ave  
Tucson, AZ 85726-7210

Phone: 520.791.5550

Re: Plaza Centro at 345 and 350 E Congress St, Tucson, AZ

To Whom It May Concern:

I would like to request a zoning verification letter for the above-mentioned property. Below are the questions I have:

1. What is the zoning designation of the above-mentioned property?
2. Is the use of Retail a permitted use in this zoning district?
3. Will you please provide a copy of the zoning map or provide the zoning of the properties adjacent to the above-mentioned parcel?
4. Are there any special permits, variances or planned unit development restrictions that affect the site? If so, will you please provide copies?
5. Are there any outstanding building or zoning code violations affecting this property?
6. Will you please provide a copy of the approved site plan (if readily accessible)?
7. Are there any legal nonconforming issues affecting the property?
8. Will you please provide a copy of the certificate(s) of occupancy? If you are unable to locate a certificate of occupancy, will you please fill out the attached form letter?

I have enclosed the \$165 payment for this request. Please notify me immediately if this is incorrect. Upon completion of the zoning letter, would you please e-mail it to me at [tarah@masseyzoning.com](mailto:tarah@masseyzoning.com) or fax to my attention at 888.450.2666? If you have any questions about my request, please do not hesitate to call me at 405.475.5056 ext. 106. Thank you!

Sincerely,

Tara Hood

Enclosure: \$165 check payable to City of Tucson

**(PLEASE INCORPORATE ONTO YOUR MUNICIPAL LETTERHEAD)**

Date: \_\_\_\_\_

Attn: Tara Hood  
Massey Consulting Group

Regarding: 345 and 350 E Congress St, Tucson, AZ

Dear Tara:

\_\_\_\_\_ A valid final certificate of occupancy has been issued and is now outstanding for the Project. (See Attached Copy Issued.)

\_\_\_\_\_ Certificates of Occupancy for projects constructed prior to the year \_\_\_\_\_ are no longer on file with this office. The Project was constructed in \_\_\_\_\_. The absence of a certificate of occupancy for the Project will not give rise to any enforcement action affecting the Project. A certificate of occupancy for the Project will only be required to the extent of any construction activity (such as restoring, renovating or expanding the Project or any part thereof).

\_\_\_\_\_ We are unable to locate a certificate of occupancy for the Project from our records. We have evidence in our records, however, that one was issued and has been subsequently lost or misplaced. The absence of a certificate of occupancy for the project will not give rise to any enforcement action affecting the Project. A certificate of occupancy for the Project will only be required to the extent of any construction activity (such as restoring, renovating or expanding the Project or any part thereof).

Please call the undersigned at \_\_\_\_\_ if you have any comments or questions.

Sincerely,

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_



CITY OF  
TUCSON

PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

-----  
ZONING  
ADMINISTRATION  
DIVISION

June 20, 2012

Ms. Rebecca L. Burnham  
GreenbergTraurig – Attorneys at Law  
2375 East Camelback Road, Suite 700  
Phoenix, Arizona 857016

SUBJECT: 345 East Congress Street, Tucson, Arizona  
Pima Tax Parcel Number 117-06-1720  
Land Use Code (LUC) Information T12SA00219

Dear Ms. Burnham,

The zoning information requested in your letter dated June 13, 2012 is as follows. The property addressed 345 East Congress Street, with Pima Tax Parcel Number 117-06-1720, is zoned “OCR-2”, a mixed use Office / Commercial / Residential zoning designation. A parking garage, such as existing on the site, is a permitted use of land in the OCR-2 zone. Although the complex was constructed in compliance with the zoning regulations in effect prior to 2011, certain site criteria may be now considered nonconforming for the purposes of current zoning regulations, (e.g. parking, loading, setback, landscaping requirements, etc.). Any code amendment establishes the property as legal nonconforming as it relates to the specific changes.

The Land Use Code Section 5.3.6.2 Nonconforming Structure states: “Any nonconforming building or one (1) or more of a group of nonconforming buildings or structures damaged by natural causes, such as, but not limited to, fire, flood, and lightning, may be reconstructed and used as before, provided; permits to reconstruct the building or structure must be issued within 12 months of the occurrence; and the reconstruction of the building or structure may not exceed the original footprint or square footage as it existed at the time of the occurrence”.

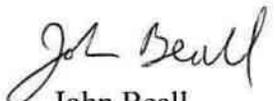
There is no active zoning violations, rezoning or other zoning applications pending on this property. This is the current zoning information. Building Code information relating to this project is available under the City of Tucson’s Property Research On-Line link at

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-5852  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)

[www.tucsonaz.gov/pro](http://www.tucsonaz.gov/pro). If you require more building code information than what is available on line, please contact the Records Section of our department at 520-837-4971.

Should you require further zoning information regarding this matter, please contact either Russlyn Wells at [Russlyn.Wells@tucsonaz.gov](mailto:Russlyn.Wells@tucsonaz.gov) or telephone number 520-837-4948 or myself at [John.Beall@tucsonaz.gov](mailto:John.Beall@tucsonaz.gov) or telephone number 520-837-4952.

Sincerely,

  
John Beall  
Principal Planner

s: zoning administration/zoning/2012/345 E Congress St T12SA00219.doc

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-5852  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)

**Rebecca L. Burnham**  
Direct Line: 602-445-8251  
e-mail: burnhamr@gtlaw.com

13 June 2012

**VIA E-MAIL: (DSD\_ZONING\_ADMINISTRATION@TUCSONAZ.GOV)**

Zoning Administrator  
Planning & Development Services Department  
Post Office Box 27210  
Tucson, Arizona 85726-7210

Re: ***Railyard (North/Parcel I) Site***  
***345 E. Congress St., Tucson, AZ***

Dear Sir/Madam:

This is a request for a Zoning Compliance Letter ("ZCL") for the captioned property.

The ZCL should be sent to:

Tucson Properties I, LLC  
c/o Tucson Properties I Member LLC MB  
200 Business Park Dr., Ste. 309  
Armonk, NY 10504

The property is located at 345 E. Congress St., Tucson, AZ 85705; the Pima County Tax Code # is 117-06-7210. Since the parcel was recently subdivided by the city from a larger tract of municipal owned land, no taxes have yet been assessed against this parcel.

The property is partially improved and contains a parking structure that has been used by the City of Tucson. The property is currently zoned OCR-2. The parcel had been municipally owned as part of a larger tract of land that was later divided into separate parcels by the City. On October 7, 2008 the Mayor and Council adopted Ordinance No. 10588, which approved rezoning of the parcel from "I-1" (light industrial) to its current zoning classification of "OCR-2" (mixed-use office/ commercial/residential). In 2009, Ordinance No. 10715 was passed in order to amend the 2008 re-zoning in order to conform the entire the parcel to OCR-2.

Our firm's check in the amount of \$165.00 is being concurrently sent to you via U.S. Mail in payment of the requested ZCL. If at all possible, expedited processing would be appreciated.

Thank you,



Rebecca L. Burnham

ALBANY  
AMSTERDAM  
ATLANTA  
AUSTIN  
BOSTON  
CHICAGO  
DALLAS  
DELAWARE  
DENVER  
FORT LAUDERDALE  
HOUSTON  
LAS VEGAS  
LONDON\*  
LOS ANGELES  
MEXICO CITY\*  
MIAMI  
MILAN\*\*  
NEW JERSEY  
NEW YORK  
ORANGE COUNTY  
ORLANDO  
PALM BEACH COUNTY  
PHILADELPHIA  
PHOENIX  
ROME\*\*  
SACRAMENTO  
SAN FRANCISCO  
SHANGHAI  
SILICON VALLEY  
TALLAHASSEE  
TAMPA  
TYSONS CORNER  
WASHINGTON, D.C.  
WHITE PLAINS

**From:** <andrast@gtlaw.com>  
**To:** <dsd\_zoning\_administration@tucsonaz.gov>  
**Date:** 06/13/2012 3:42 PM  
**Subject:** Request for Zoning Compliance Letter - 345 E. Congress St.  
**Attachments:** ZCL - Railyard North-Parcel 1 Site.pdf

**CC:** <BurnhamR@gtlaw.com>

Good afternoon,

Please find attached request for a Zoning Compliance letter regarding the property located at 345 E. Congress St. In addition to the mailing address provided in the letter, I kindly request that a copy of the Zoning Compliance Letter be provided via fax to (602) 445-8664.

Your prompt attention to the matter would be greatly appreciated.

Regards,  
Tiffany Andras

Tiffany Andras  
Summer Associate (Not a Licensed Attorney)  
Greenberg Traurig, LLP | 2375 E. Camelback Rd. Suite 700 | Phoenix, AZ  
85016  
Tel 602.445.8000

andrast@gtlaw.com | www.gtlaw.com <<http://www.gtlaw.com/>>

Greenberg Traurig<<http://www2.gtlaw.com/files/GTLogo.jpg>>

ALBANY \* AMSTERDAM \* ATLANTA \* AUSTIN \* BOSTON \* CHICAGO \*  
DALLAS \* DELAWARE \* DENVER \* FORT LAUDERDALE \* HOUSTON \* LAS  
VEGAS \* LONDON\* \* LOS ANGELES \* MEXICO CITY+ \* MIAMI \* NEW  
JERSEY \* NEW YORK \* ORANGE COUNTY \* ORLANDO \* PALM BEACH COUNTY  
\* PHILADELPHIA \* PHOENIX \* SACRAMENTO \* SAN FRANCISCO \*  
SHANGHAI \* SILICON VALLEY \* TALLAHASSEE \* TAMPA \* TEL AVIV^ \*  
TYSONS CORNER \* WARSAW~ \* WASHINGTON, D.C. \* WHITE PLAINS  
\*OPERATES AS GREENBERG TRAUIG MAHER LLP +OPERATES AS GREENBERG  
TRAURIG, S.C. ^A BRANCH OF GREENBERG TRAUIG, P.A., FLORIDA, USA  
~OPERATES AS GREENBERG TRAUIG GRZESIAK sp.k.  
PLEASE CONSIDER THE ENVIRONMENT BEFORE PRINTING THIS EMAIL

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If you are not an intended recipient of confidential and privileged information in this email, please delete it, notify us immediately at [postmaster@gtlaw.com](mailto:postmaster@gtlaw.com), and do not use or disseminate such information. Pursuant to IRS Circular 230, any tax advice in this email may not be used to avoid tax penalties or to promote, market or recommend any matter herein.



CITY OF  
TUCSON

PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

-----  
ZONING  
ADMINISTRATION  
DIVISION

June 26, 2012

*Revised*

Tucson Properties I, LLC  
c/o Tucson Properties I Member LLC MB  
200 Business Park Dr., Ste. 309  
Armonk, NY 10504

SUBJECT: 345 East Congress Street, Tucson, Arizona  
Pima County Tax Parcel Number 117-06-1720  
Land Use Code (LUC) Information T12SA00219

Dear Ms. Burnham,

The zoning information requested in your letter dated June 13, 2012 is as follows. The property addressed 345 East Congress Street, with Pima County Tax Parcel Number 117-06-1720, is zoned "OCR-2", a mixed use Office / Commercial / Residential zoning designation. A parking garage, such as existing on the site, is a permitted use of land in the OCR-2 zone. Although the complex was constructed in compliance with the zoning regulations in effect prior to 2011, certain site criteria may be now considered nonconforming for the purposes of current zoning regulations, (e.g. parking, loading, setback, landscaping requirements, etc.). Any code amendment establishes the property as legal nonconforming as it relates to the specific changes.

The Land Use Code Section 5.3.6.2 Nonconforming Structure states: "Any nonconforming building or one (1) or more of a group of nonconforming buildings or structures damaged by natural causes, such as, but not limited to, fire, flood, and lightning, may be reconstructed and used as before, provided; permits to reconstruct the building or structure must be issued within 12 months of the occurrence; and the reconstruction of the building or structure may not exceed the original footprint or square footage as it existed at the time of the occurrence".

There are no active zoning violations, rezoning or other zoning applications pending on this property. This is the current zoning information. Building Code information relating to this project is available under the City of Tucson's Property Research On-Line link at

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-5852  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)

[www.tucsonaz.gov/pro](http://www.tucsonaz.gov/pro). If you require more building code information than what is available on line, please contact the Records Section of our department at 520-837-4971.

Should you require further zoning information regarding this matter, please contact either Russlyn Wells at [Russlyn.Wells@tucsonaz.gov](mailto:Russlyn.Wells@tucsonaz.gov) or telephone number 520-837-4948 or myself at [John.Beall@tucsonaz.gov](mailto:John.Beall@tucsonaz.gov) or telephone number 520-837-4952.

Sincerely,

*Russlyn Wells*  
for John Beall  
Principal Planner

s: zoning administration/zoning/2012/345 E Congress St *Revised* T12SA00219.doc

Planning & Development Services Department (PDSD) - 201 North Stone Avenue  
P.O. Box 27210 - Tucson, AZ 85726-7210  
Telephone: (520) 791-5550 - Fax: (520) 791-5852  
Website: [www.ci.tucson.az.us/dsd](http://www.ci.tucson.az.us/dsd)  
Email: [DSD\\_zoning\\_administration@tucsonaz.gov](mailto:DSD_zoning_administration@tucsonaz.gov)



MINUTES OF **ZONING EXAMINER** PUBLIC HEARING

---

Date of Public Hearing: June 26, 2008

STAFF MEMBERS

Peter M. Gavin - Zoning Examiner  
Michael Wyneken - Urban Planning Department  
Matthew Flick - Development Services Department  
Rolanda Mazeika - City Clerk's Office, Tape Recording  
Anna Marie Miller - Zoning Examiner's Office, Transcription

PETER GAVIN

The next case this evening is C9-08-06 Historic Depot Area – Toole Avenue. Mr. Wyneken, could you please give me a brief synopsis of this case? Before you do that, how many folks are here for this case? Okay, thank you. Mr. Wyneken, if you would, very briefly please?

MICHAEL WYNEKEN

This is a request by the City of Tucson Downtown Development Office to rezone approximately seven acres of City owned property from I-1 to OCR-2 zoning. The rezoning site is bounded to the north by the Union Pacific Railroad tracks and right-of-way, to the south by the diagonal Toole Avenue, to the west by Sixth Avenue and to the east by the Fourth Avenue underpass. The City requests the rezoning to unify downtown zoning and create greater flexibility and allow land uses for future development.

The *El Centro Redevelopment Plan* and the *General Plan* provide relevant policy guidance for the requested rezoning. These *Plans* identify downtown as a major activity center and encourage the upgrading of the area as a mixed-use activity area to increase transit use, reduce air pollution, improve delivery of public and private services and create inviting places to live, work and play.

The OCR-2 zoning provides the appropriate mix of uses and scale of development for downtown and lays the groundwork to meet these goals. Both of these *Plans* call for high quality urban design elements reflected through appropriate style, scale, and arrangement of structures.

The *El Centro Redevelopment Plan* cites the City's main role to assist and facilitate private sector investment in the area.

The *General Plan* and the *El Centro Redevelopment Plan* support the City's effort to facilitate private sector investment in the downtown area and the OCR-2, excuse me, the requested OCR-2 zoning is appropriate.

To date we have zero approvals and zero protests on file.

MR. GAVIN

Thank you Mr. Wyneken. Mr. Anderson, may I please have you print your name and address for the record on the clipboard.

CHAD ANDERSON

Good evening gentlemen. My name is Chad Anderson. I live at 2903 North Estrella Avenue in the City of Tucson, zip code 85705. I work for the City Manager's Office.

MR. GAVIN

Thank you Mr. Anderson. Seeing that you have a recommendation for approval, and you have zero protests and no one here is wishing to testify in this case, right, is that correct? Is there anyone wishing to testify on this case? Okay. Go ahead and talk yourself into a denial.

MR. ANDERSON

Basically Mr. Gavin I was instructed...

MR. GAVIN

Mr. Anderson, I probably do not need a presentation on this.

MR. ANDERSON

I see. I hadn't planned to give one so that's good.

MR. GAVIN

Okay, please go ahead if you have any brief words.

MR. ANDERSON

Just that the surrounding zoning from this area is already primarily zoned OCR-2 and the City just wants to seek a flexible, the most flexible zoning or land use available so that it can encourage development in the core downtown area.

MR. GAVIN

So essentially you're agreeable to what is stated in the staff report dated June 11, 2008?

MR. ANDERSON

That is correct.

MR. GAVIN

Okay, great. Thank you very much Mr. Anderson. Is there anyone wishing to testify? Last chance. Okay, without seeing anyone, I'll make the staff report dated June 11, 2008 part of the record. With that the hearing is closed.

Public Hearing – June 26, 2008  
C9-08-06 Historic Depot Area – Toole Avenue  
Page 3

MR. GAVIN  
PUBLIC HEARING CLOSED.



# ZONING EXAMINER

## REPORT TO MAYOR AND COUNCIL

July 11, 2008

**C9-08-06 Historic Depot Area – Toole Avenue  
Rezoning: I-1 to OCR-2**

**Page 1 of 3**

### **BACKGROUND**

This rezoning request from I-1 to OCR-2 zoning is to unify the downtown zoning and to create greater flexibility in the allowed uses for future development on City of Tucson property on the north side of Toole Avenue between 4th and 6th Avenues.

Land use policy direction for this rezoning site is provided within the *El Centro Redevelopment Plan* and the *General Plan*.

### **PUBLIC HEARING SUMMARY: June 26, 2008 (Minutes Attached)**

Michael Wyneken, Urban Planning and Design Department, presented the staff report with a recommendation for approval. Mr. Wyneken also commented that no written approvals and no written protests were received.

Chad Anderson, the City of Tucson's representative, presented the rezoning request.

With no one else wishing to be heard, the public hearing was closed.

### **FINDINGS OF FACT**

The requested rezoning from I-1 to OCR-2 zoning is to unify the downtown zoning and to create greater flexibility in the allowed uses for future development on a seven-acre City of Tucson property on the north side of Toole Avenue between 4th and 6th Avenues. The historic Southern Pacific Train Depot is located within the central portion of the rezoning site.

The rezoning site is adjacent to the Union Pacific Railroad tracks to the north, a parking lot, the Hotel Congress, the MacArthur Building, and a paved lot to the south, vacant land to the east, and a warehouse to the west. The majority of adjacent properties are zoned OCR-2.

Vehicular access to the rezoning site is from Toole Avenue, a collector street per the *Major Streets and Routes Plan*.

The Urban Planning and Design Department recommends approval of this request based on the compliance with the policies of the *El Centro Redevelopment Plan* and the *General Plan*.

The *El Centro Redevelopment Plan* and the *General Plan* identify the Downtown as a major activity center and encourage mixed-use activities to increase transit use; reduce air pollution; improve delivery of public and private services; and create inviting places to live, work and play. The rezoning site is located within the Core Support District of the *El Centro Redevelopment Plan*, which allows for a wide variety of high intensity land uses. The Core Support District supports uses such as business, professional, office, government, retail, entertainment and recreational, restaurant, hotel, high density residential, and parking. Building heights are limited to 300 feet.

### **CONCLUSION**

The rezoning of the subject site to OCR-2 zoning would allow greater flexibility and an opportunity for a mix of residential, retail and entertainment uses to develop within the Downtown.

Given the predominance of OCR-2 zoning in the general area and the compliance of the requested rezoning with the *El Centro Redevelopment Plan* and the *General Plan*, this rezoning request is appropriate.

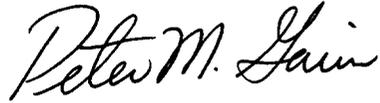
### **RECOMMENDATION**

The Zoning Examiner recommends approval of OCR-2 zoning.

**C9-08-06 Historic Depot Area – Toole Avenue  
Rezoning: I-1 to OCR-2**

**Page 3 of 3**

Respectfully Submitted,

A handwritten signature in cursive script that reads "Peter M. Gavin".

Peter M. Gavin  
Zoning Examiner

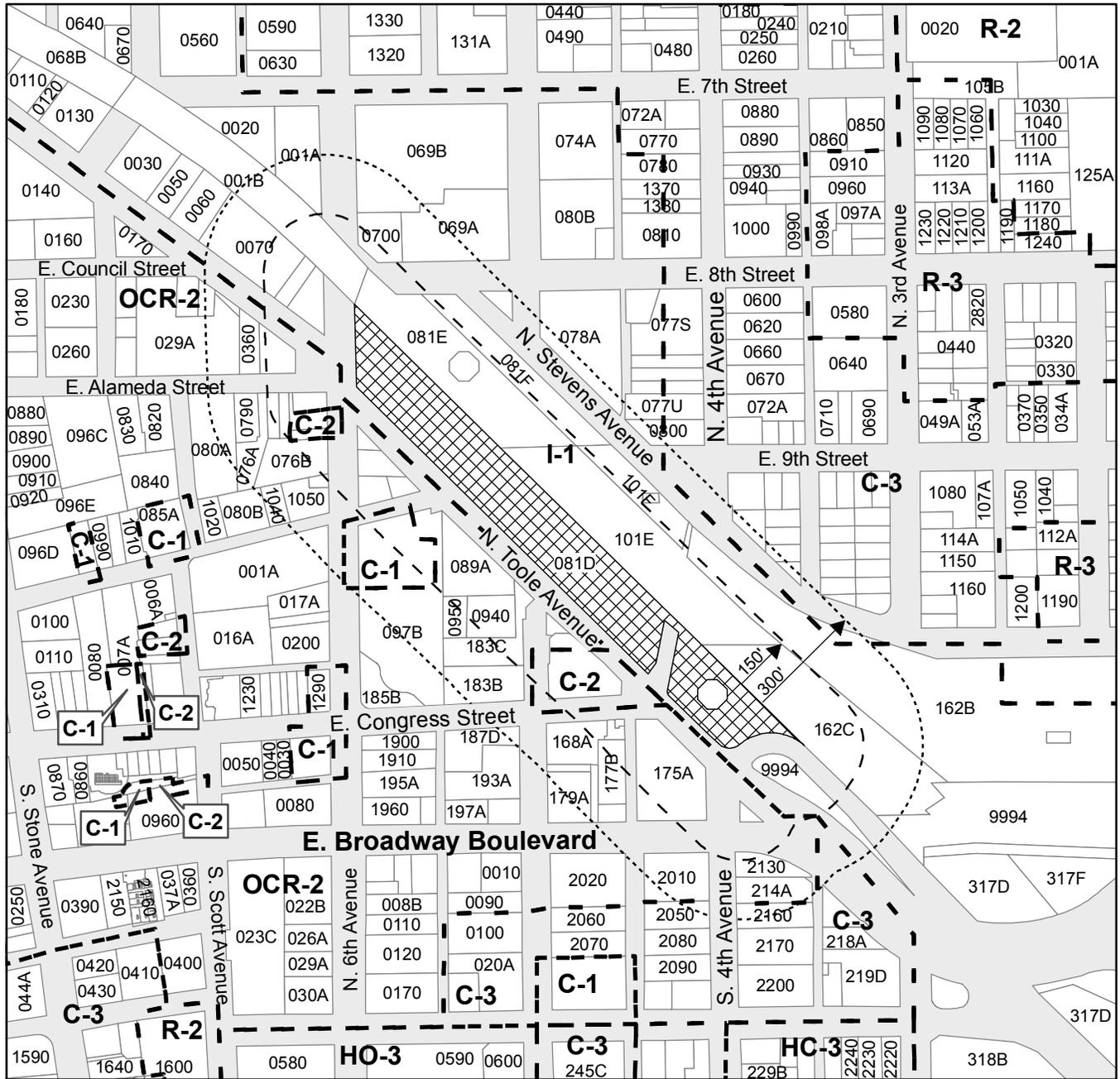
**ATTACHMENTS:**

Public Hearing Minutes - June 26, 2008

Rezoning Staff Report - June 11, 2008

# C9-08-06 Historic Area Depot - Toole Avenue

Rezoning Request: from I-1 to OCR-2



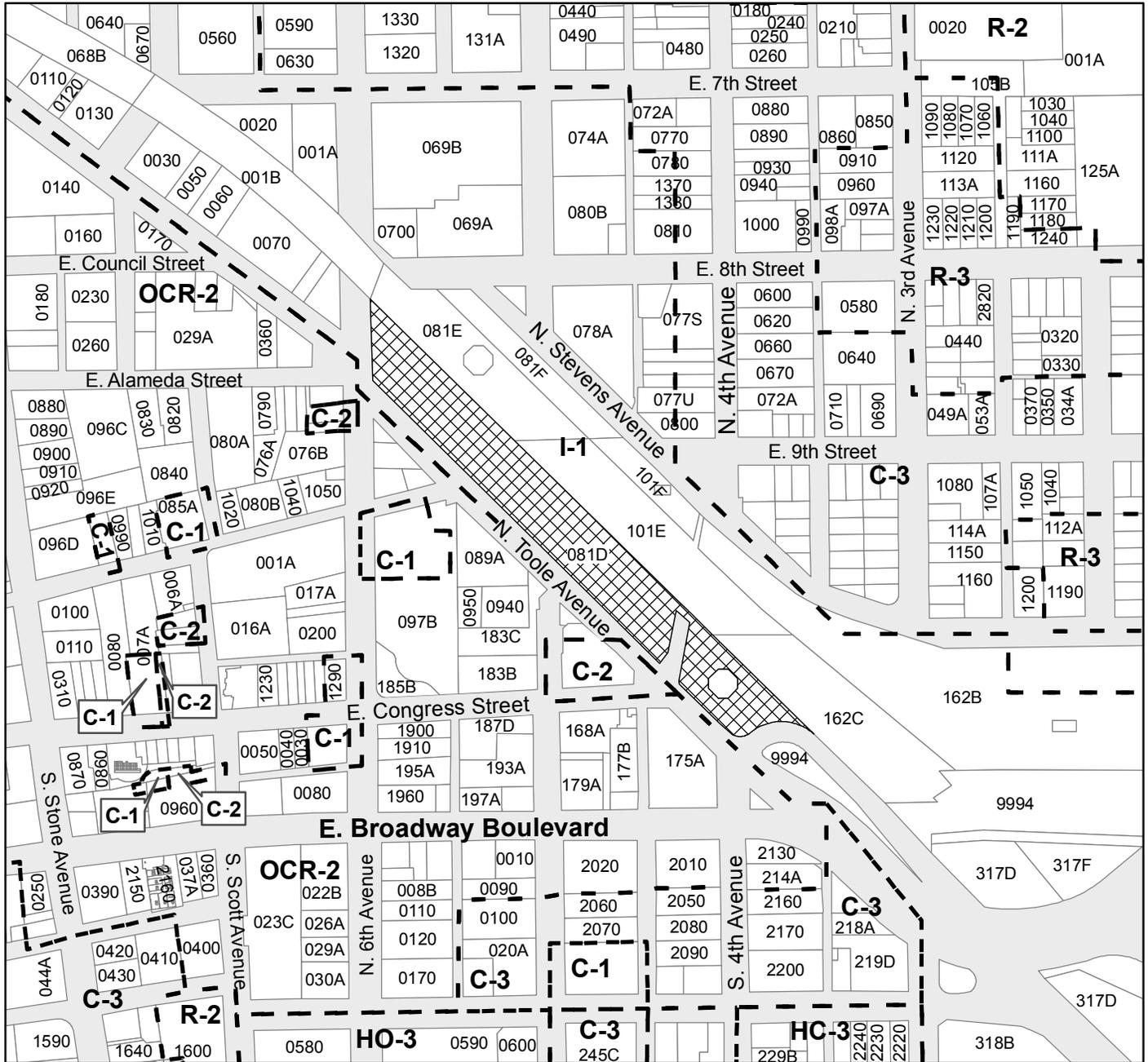
0 200 400  
Feet  
1 inch equals 400 feet

-  Area of Rezoning Request
-  Protest Area (150 foot radius)
-  Notification Area (300 foot radius)
-  Zone Boundaries

Neighborhood, Area Plan(s): El Centro Redevelopment Plan  
 Address: 370 - 440 N Toole Ave  
 Base Maps: Sec.12 T.14 R.13  
 Ward: 6

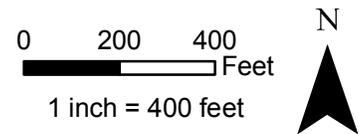


# Ordinance Map - C9-08-06 Historic Area Depot - Toole Avenue



 Area of Request, I-1 to OCR-2

Ordinance \_\_\_\_\_  
 Adoption Date \_\_\_\_\_



Ordinance becomes effective thirty (30) days after adoption by Mayor and Council and when it becomes available from the City Clerk's office.

Legal Description: Tucson PTN BLK 82. 83. 84, 90, 91 and 94 LGY NELY and adjacent to Toole Ave.

Urban Planning & Design Director



ADOPTED BY THE  
MAYOR AND COUNCIL

October 6, 2009

ORDINANCE NO. 10715

RELATING TO ZONING: AMENDING ORDINANCE NO. 10588 TO AMEND THE MAP SHOWING THE OCR-2 DISTRICT BOUNDARIES IN THE AREA LOCATED ON THE EAST SIDE OF NORTH TOOLE AVENUE AT CONGRESS STREET IN CASE C9-08-06, HISTORIC DEPOT AREA – TOOLE AVENUE FROM I-1 TO OCR-2; AND DECLARING AN EMERGENCY.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF TUCSON, ARIZONA, AS FOLLOWS:

SECTION 1. Ordinance 10588, adopted by the Mayor and Council October 7, 2008, which amended the zoning district boundaries in the area located on the east side of North Toole Avenue at Congress Street in case C9-08-06, Historic Depot Area – Toole Avenue from I-1 to OCR-2 is hereby amended to delineate the boundary of the OCR-2 District as shown on the attached map marked Ordinance No. 10715 . This map amendment conforms the map to the zoning proposed to the Mayor and Council on October 7, 2008.

SECTION 2. The various officers and employees are authorized and directed to perform all acts necessary or desirable to give effect to this ordinance.

SECTION 3. WHEREAS, it is necessary for the preservation of the peace, health, and safety of the City of Tucson that this ordinance become immediately

effective, an emergency is hereby declared to exist and this ordinance shall be effective immediately upon its passage and adoption.

PASSED, ADOPTED, AND APPROVED by the Mayor and Council of the City of Tucson, Arizona, October 6, 2009.

  
MAYOR

ATTEST:

  
CITY CLERK

APPROVED AS TO FORM:

  
CITY ATTORNEY

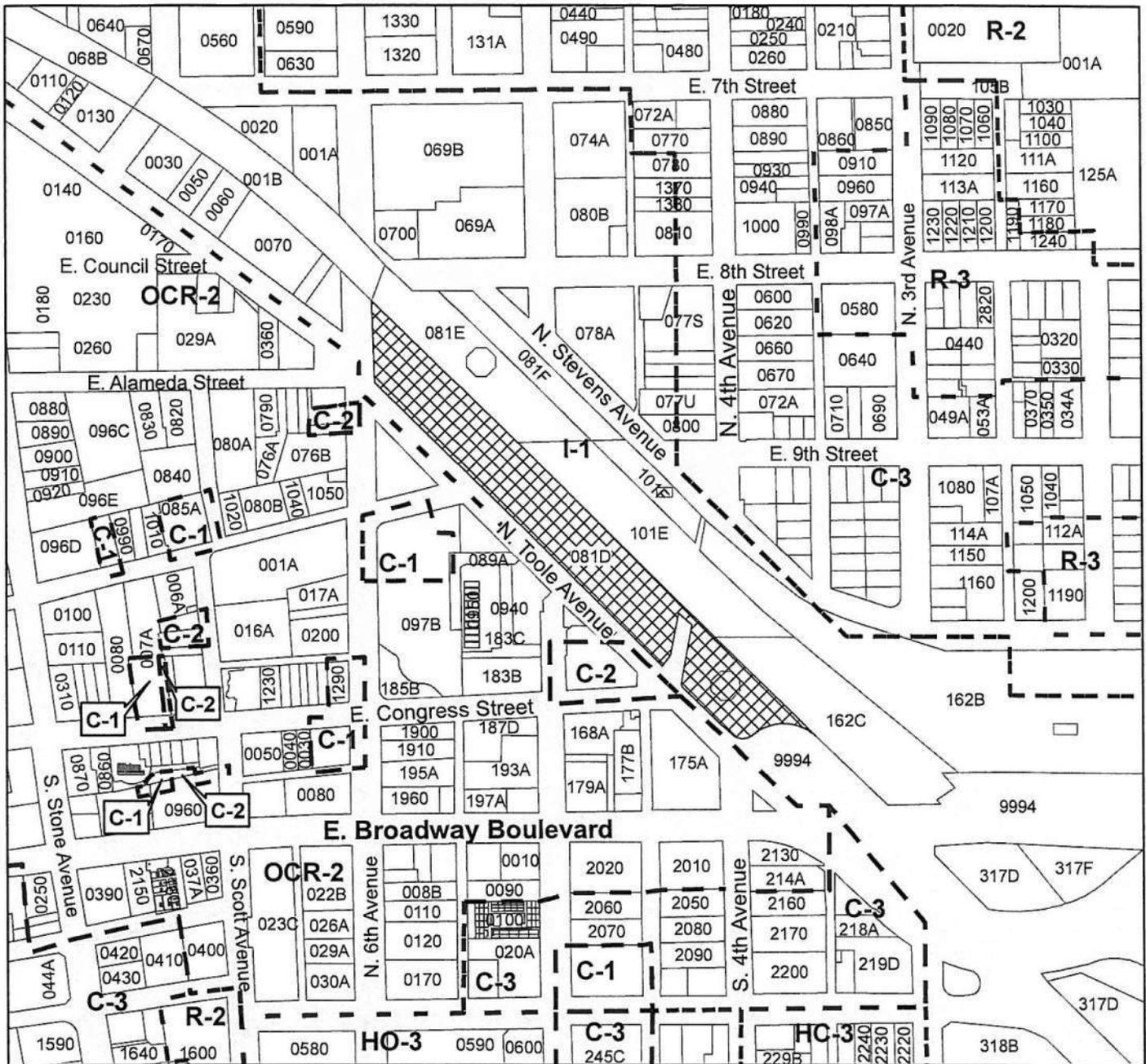
REVIEWED BY:

  
CITY MANAGER

*VRW*

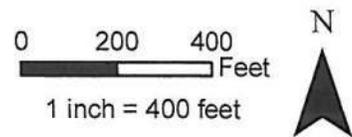
VRW/kr  
9/11/2009 11:05 AM

# Ordinance Map - C9-08-06 Historic Area Depot - Toole Avenue



 Area of Request, I-1 to OCR-2

Ordinance 10715  
 Adoption Date October 6, 2009



Ordinance becomes effective thirty (30) days after adoption by Mayor and Council and when it becomes available from the City Clerk's office.

Legal Description: Tucson PTN BLK 82. 83. 84, 90, 91 and 94 LGY NELY and adjacent to Toole Ave.

  
 Director, Planning & Development Services



THIS ORDINANCE BECOMES

EFFECTIVE ON: November 7, 2008

ADOPTED BY THE  
MAYOR AND COUNCIL

October 7, 2008

ORDINANCE NO. 10588

RELATING TO ZONING: AMENDING ZONING DISTRICT BOUNDARIES IN THE AREA BOUNDED TO THE NORTH BY THE UNION PACIFIC RAILROAD TRACKS AND RIGHT-OF-WAY, TO THE SOUTH BY THE DIAGONAL TOOLE AVENUE, TO THE WEST BY 6<sup>TH</sup> AVENUE AND TO THE EAST BY THE 4<sup>TH</sup> AVENUE UNDERPASS IN CASE C9-08-06, HISTORIC DEPOT AREA – TOOLE AVENUE, I-1 TO OCR-2; AND SETTING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF TUCSON, ARIZONA, AS FOLLOWS:

SECTION 1. The zoning district boundaries in the area bounded to the north by the Union Pacific Railroad tracks and right-of-way, to the south by the diagonal Toole Avenue, to the west by 6<sup>th</sup> Avenue and to the east by the 4<sup>th</sup> Avenue underpass are hereby amended from I-1 to OCR-2 as shown on the attached map marked Ordinance No. 10588 thirty (30) days after this ordinance is adopted by Mayor and Council.

SECTION 2. Notwithstanding any provision of the Tucson Code, no grading, grubbing, filling, excavation, construction, or other physical alteration of the site in furtherance of the project contemplated by this ordinance shall occur prior to the effective date of the OCR-2 zoning classification.

SECTION 3. This ordinance becomes effective and is effectuated thirty (30) days after it is adopted by the Mayor and Council and is available from the City Clerk.

SECTION 4. The provisions of this ordinance cannot be given effect individually, and to this end are not severable.

SECTION 5. The various officers and employees are authorized and directed to perform all acts necessary or desirable to give effect to this ordinance.

PASSED, ADOPTED, AND APPROVED by the Mayor and Council of the City of Tucson, Arizona, October 7, 2008.

  
MAYOR

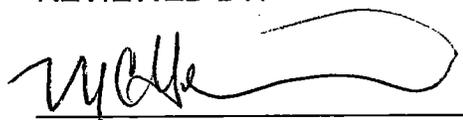
ATTEST:

  
CITY CLERK

APPROVED AS TO FORM:

  
CITY ATTORNEY

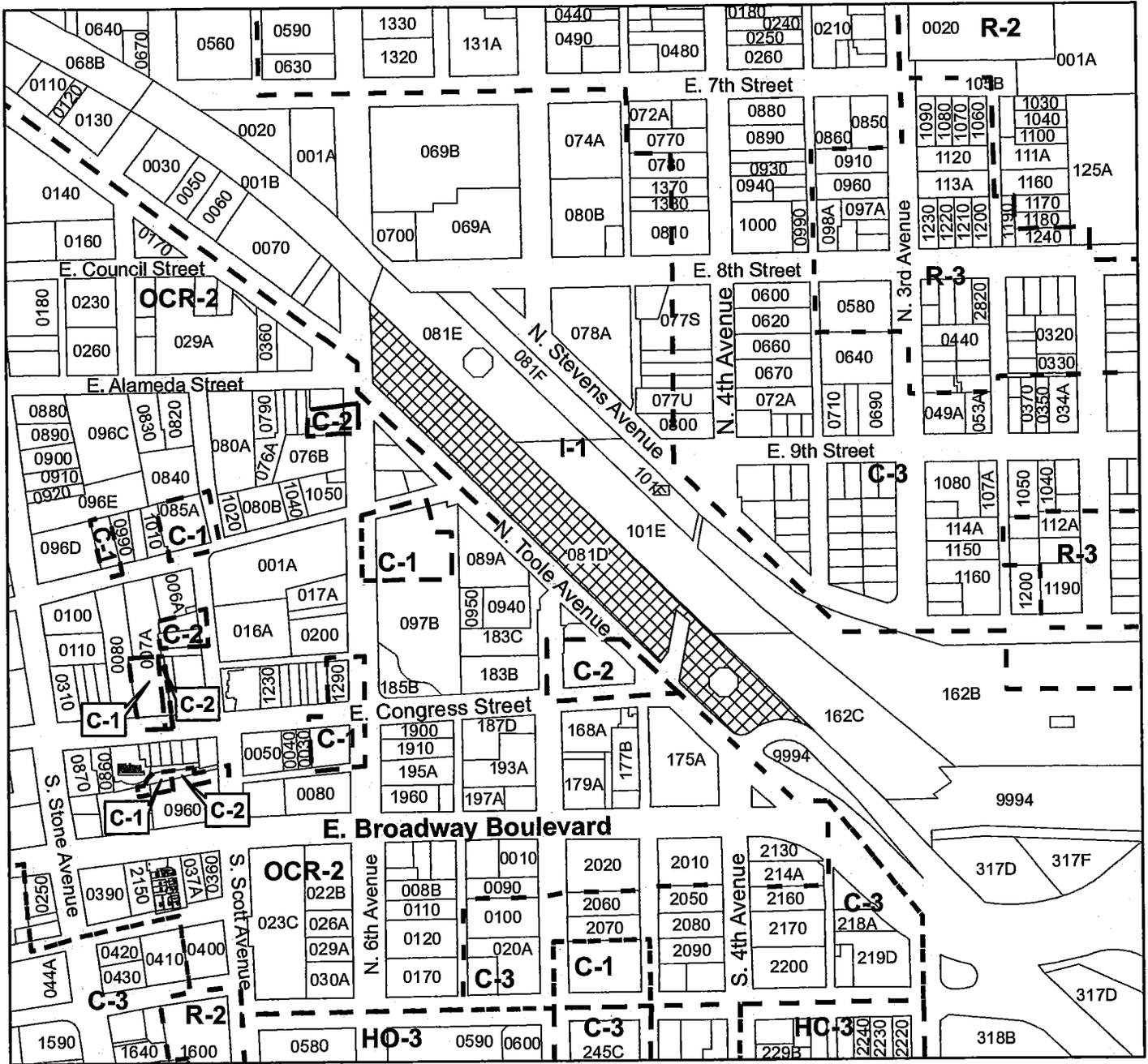
REVIEWED BY:

  
CITY MANAGER

WRW

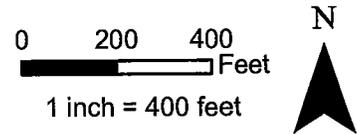
VR/kr  
9/15/2008 9:44 AM

# Ordinance Map - C9-08-06 Historic Area Depot - Toole Avenue



 Area of Request, I-1 to OCR-2

Ordinance 10588  
 Adoption Date October 7, 2008



Ordinance becomes effective thirty (30) days after adoption by Mayor and Council and when it becomes available from the City Clerk's office.

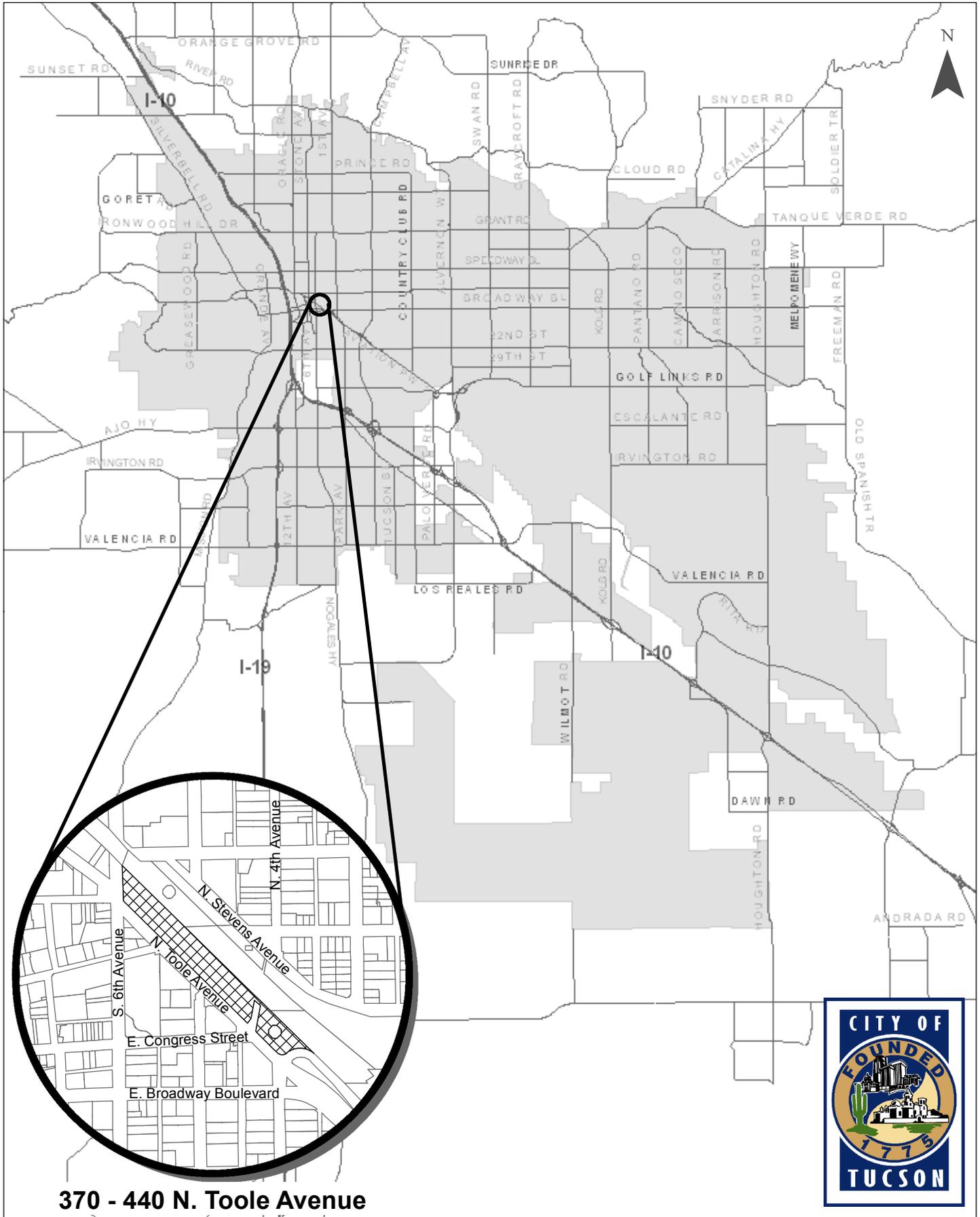
Legal Description: Tucson PTN BLK 82. 83. 84, 90, 91 and 94 LGY NELY and adjacent to Toole Ave.

*Allent Chou*

Urban Planning & Design Director



# C9-08-06 Historic Area Depot - Toole Avenue



**370 - 440 N. Toole Avenue**



# INTERMODAL DEPOT AND REHAB PHASE 1 - DEMO AND REHAB

P R O J E C T E A M

**PROJECT ARCHITECT:**  
 POSTER PROST ASSOCIATES  
 317 NORTH COURT AVENUE  
 TUCSON, ARIZONA 85701  
 (520) 882-8310

**HISTORIC PRESERVATION:**  
 RYDEN ARCHITECTS  
 902 WEST McDOWELL ROAD  
 PHOENIX, ARIZONA 85007  
 (602) 263-5381

**STRUCTURAL ENGINEER:**  
 TURNER STRUCTURAL ENGINEERING  
 3444 NORTH COUNTRY CLUB ROAD, #104  
 TUCSON, ARIZONA, 85716  
 (520) 323-3422

**MECHANICAL ENGINEER:**  
 SMU MECHANICAL ENGINEERING  
 5447 EAST 5TH STREET, SUITE 216  
 TUCSON, ARIZONA, 85711  
 (520) 327-7811

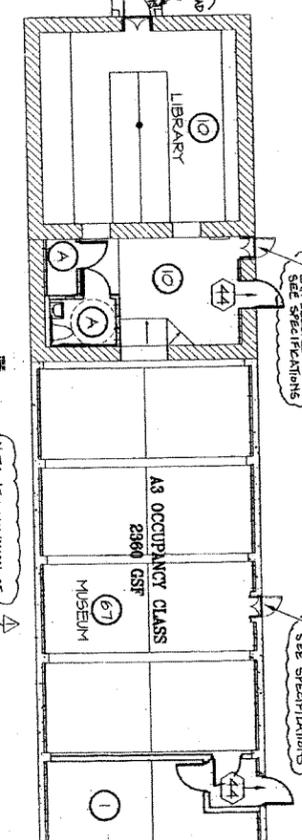
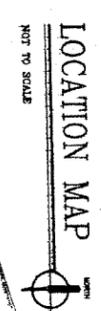
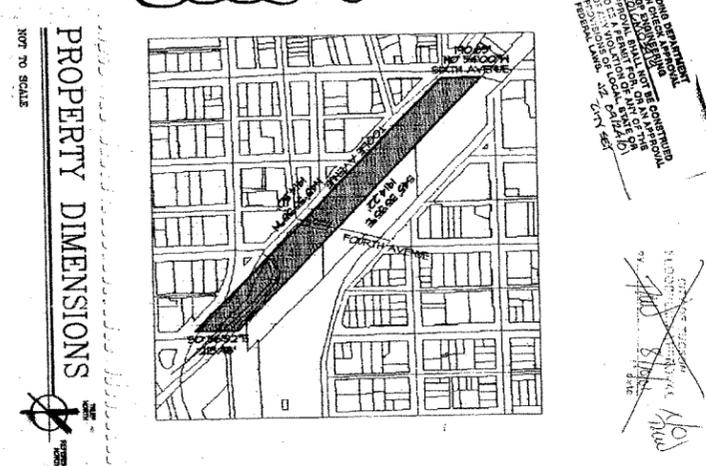
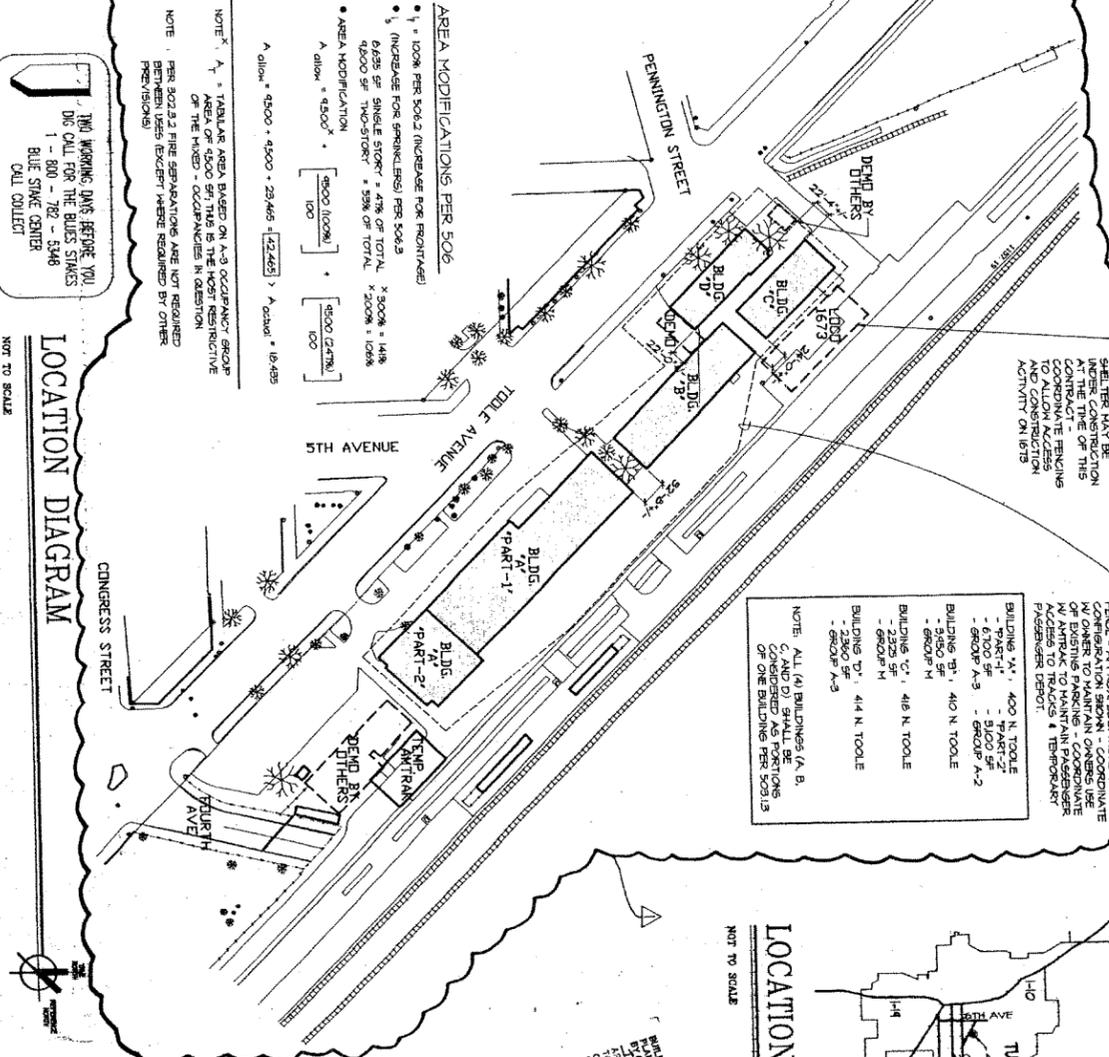
**ELECTRICAL ENGINEER:**  
 LOGAN T. WHITE ENGINEERING  
 PO BOX 65623  
 TUCSON, ARIZONA, 85728-5623  
 (520) 293-9477

**OWNER:**  
 COT-DEPARTMENT OF TRANSPORTATION  
 PO BOX 27210  
 TUCSON, ARIZONA, 85728-7210  
 (520) 791-4372

LOCATIONS WITH SHELTER MAY BE AFFECTED BY THIS CONTRACT - COORDINATE PARKING AND CONSTRUCTION ACTIVITY ON IRTS

PROVIDE TEMPORARY CONSTRUCTION SHELTER FOR ALL WORKERS AND MATERIALS TO MAINTAIN ACCESS TO EXISTING PARKING AND CONSTRUCTION ACCESS TO TRUCKS & TEMPORARY PASSENGER DEPOT

NOTE: ALL (A) BUILDINGS (A, B, C, AND D) SHALL BE DEMOLISHED PER SECTION 15.00.1 OF THE CITY OF TUCSON ZONING ORDINANCE PER SECTION 15.00.1



**SHEET INDEX**

1	1.01.0	WHITE SHEET/ GENERAL, INNOVATION TITLE SHEET/DEMOLITION WORK (SEE PG. 28)
2	2.01.1	MAIN DEPOT BUILDING DEMOLITION - 1ST AND 2ND FLOOR
3	3.01.2	MAIN DEPOT BUILDING DEMOLITION - MEZZANINE AND ATTIC
4	4.01.3	OUT BUILDINGS AND STERKOR DEMOLITION
5	5.01.1	MAIN DEPOT BUILDING MEZZANINE AND ATTIC
6	6.01.2	MECHANICAL DEMOLITION
7	7.01.3	MECHANICAL DEMOLITION
8	8.01.1	MAIN DEPOT BUILDING PLUMBING DEMOLITION
9	9.01.2	MEZZANINE AND ATTIC PLUMBING DEMOLITION
10	10.01.1	ELECTRICAL DEMOLITION LEGEND AND NOTES
11	11.01.2	MAIN DEPOT BUILDING ELECTRICAL DEMOLITION
12	12.01.3	MAIN DEPOT BUILDING MEZZANINE ELECTRICAL DEMOLITION
13	13.01.4	MAIN DEPOT BUILDING MEZZANINE ELECTRICAL DEMOLITION
14	14.01.5	MAIN DEPOT BUILDING BASEMENT ELECTRICAL DEMOLITION
15	15.01.6	BUILDINGS 2279, 2280, 2281 ELECTRICAL DEMOLITION
16	16.01.1	BUILDING 2280 - STANDARD STRUCTURAL, NOTES AND DETAILS
17	17.01.1	BUILDING 2280 - FOUNDATION, ROOF TRUSSING, AND DETAILS
18	18.01.1	BUILDING 2280 - PLANS AND EXTERIOR ELEVATIONS
19	19.01.1	MAIN DEPOT BUILDING EXTERIOR ELEVATIONS
20	20.01.2	MAIN DEPOT BUILDING EXTERIOR ELEVATIONS
21	21.01.1	BUILDING 2280 - ROAD PLANS & DETAILS
22	22.01.1	BUILDING 2280 - SECTIONS
23	23.01.1	BUILDING 2280 - MECHANICAL PLANS
24	24.01.1	BUILDING 2280 - MECHANICAL DETAILS AND NOTES
25	25.01.1	BUILDING 2280 - PLUMBING PLAN AND NOTES
26	26.01.1	BUILDING 2280 - ELECTRICAL PLAN AND NOTES
27	27.01.1	BUILDING 2280 - ELECTRICAL PLAN AND NOTES

**CODE REVIEW CHECKLIST**

DATE: JULY 2007

APPROVED: [Signature]

REVISIONS:

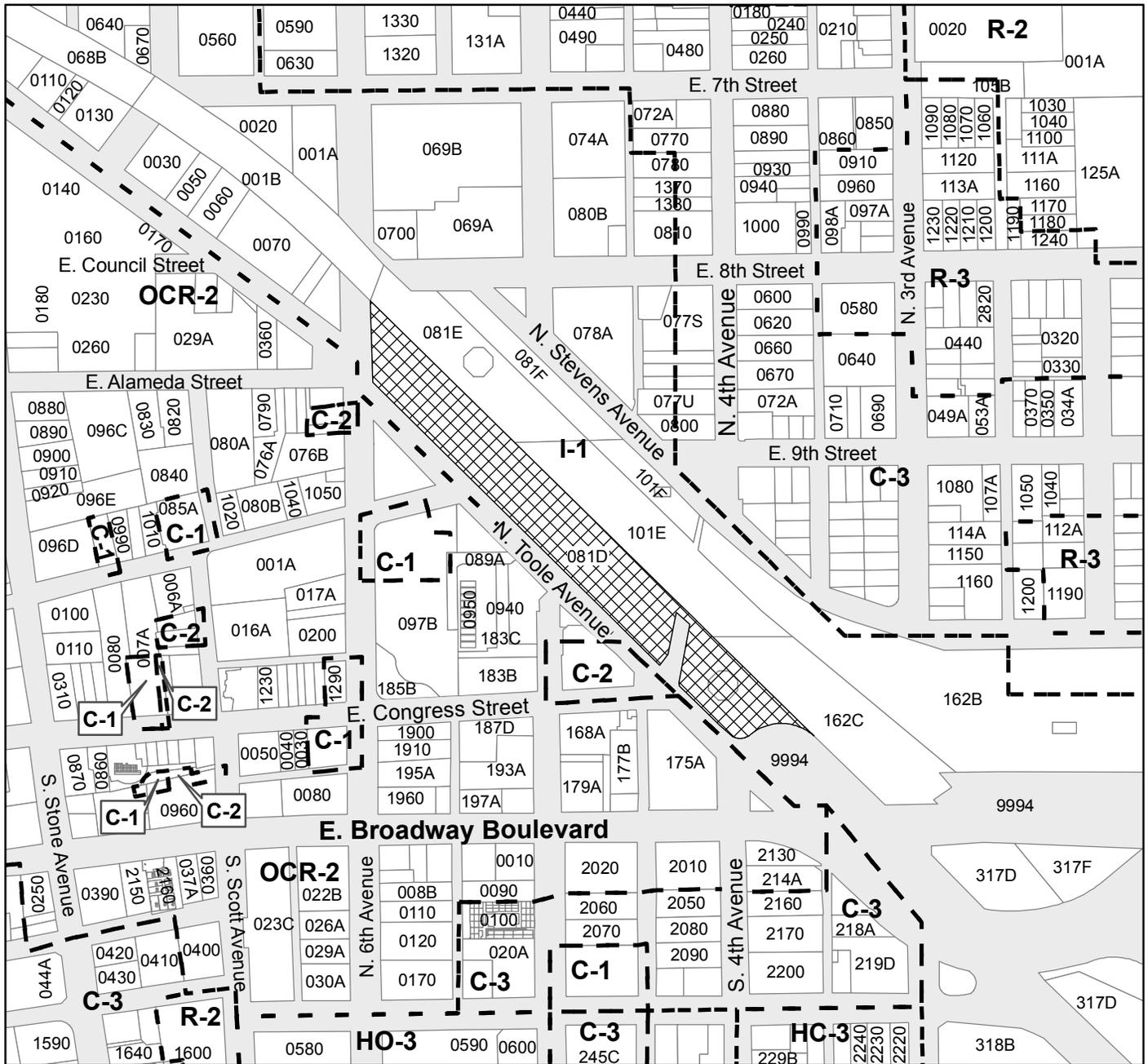
1. Zoning: [ ]
2. Use: [ ]
3. Occupancy: [ ]
4. Type of Construction: [ ]
5. Area: [ ]
6. Height: [ ]
7. Fire Protection: [ ]
8. Automatic Sprinklers: [ ]
9. Other: [ ]

**LEGAL DESCRIPTION**

BEING THE INTERSECTION OF THE NORTH-EASTLY RIGHT-OF-WAY OF TOOLE AVENUE AS RECORDED IN BOOK 2 OF PAGES 18 AND 19 AND 20 AND 21 AND 22 AND 23 AND 24 AND 25 AND 26 AND 27 AND 28 AND 29 AND 30 AND 31 AND 32 AND 33 AND 34 AND 35 AND 36 AND 37 AND 38 AND 39 AND 40 AND 41 AND 42 AND 43 AND 44 AND 45 AND 46 AND 47 AND 48 AND 49 AND 50 AND 51 AND 52 AND 53 AND 54 AND 55 AND 56 AND 57 AND 58 AND 59 AND 60 AND 61 AND 62 AND 63 AND 64 AND 65 AND 66 AND 67 AND 68 AND 69 AND 70 AND 71 AND 72 AND 73 AND 74 AND 75 AND 76 AND 77 AND 78 AND 79 AND 80 AND 81 AND 82 AND 83 AND 84 AND 85 AND 86 AND 87 AND 88 AND 89 AND 90 AND 91 AND 92 AND 93 AND 94 AND 95 AND 96 AND 97 AND 98 AND 99 AND 100 AND 101 AND 102 AND 103 AND 104 AND 105 AND 106 AND 107 AND 108 AND 109 AND 110 AND 111 AND 112 AND 113 AND 114 AND 115 AND 116 AND 117 AND 118 AND 119 AND 120 AND 121 AND 122 AND 123 AND 124 AND 125 AND 126 AND 127 AND 128 AND 129 AND 130 AND 131 AND 132 AND 133 AND 134 AND 135 AND 136 AND 137 AND 138 AND 139 AND 140 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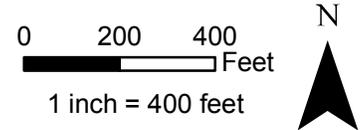
PROJECT NUMBER: 006  
 DATE: 09/10/2001  
 TITLE SHEET  
 INTERMODAL DEPOT PHASE 1 - DEMO AND REHAB FOR THE CITY OF TUCSON  
 POSTER PROST ASSOCIATES INC. ARCHITECTURE PLANNING URBAN DESIGN  
 317 NORTH COURT AVENUE TUCSON, ARIZONA 85701 (520) 882-8310  
 AS-BUILT LAND SURVEY CONSTRUCTION  
 SEPARATE PERMITS REQUIRED: FIRE HYDRANTS, FIRE SPRINKLERS, OTHER OVERHEAD PIPING, SPLITTER PIPING  
 CONTRACTOR NOTE: Fire protection installations or modifications require separate plan submittals and permits for fire Department approval. Plans for these buildings must be approved by the Fire Department for required fire protection installations.

# Ordinance Map - C9-08-06 Historic Area Depot - Toole Avenue



 Area of Request, I-1 to OCR-2

Ordinance \_\_\_\_\_  
 Adoption Date \_\_\_\_\_



Ordinance becomes effective thirty (30) days after adoption by Mayor and Council and when it becomes available from the City Clerk's office.

Legal Description: Tucson PTN BLK 82. 83. 84, 90, 91 and 94 LGY NELY and adjacent to Toole Ave.

Director, Planning & Development Services





CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT  
REZONING APPLICATION

C9- 08-012 Name: CITY MANAGER'S OFFICE--c/o Chad Anderson Date Accepted: \_\_\_\_\_

PART 1 PROPERTY INFORMATION:

- 1.1 Legal Description Tucson PTN BLK 82,83,84,90&94 LYG NELY & ADJ TO TOOLE AVE
- 1.2 Lot(s) 00001 Block(s) 082 Subdivision Name COT Book & Page 03071
- 1.3 Address (as assigned by Pima County Addressing): 396, 400, 410, 414, 418 & 440 N Toole Ave.
- 1.4 Please provide the following information for each parcel in the rezoning site. If more than one zoning classification is requested, provide the acreage for each zone and show the dimensions of each zone on the preliminary development plan. Attach additional sheets if necessary.

Current Zoning	Proposed Zoning	Current Use	Area (sq. ft or acres)	Assessor Tax Code #
<u>1-1</u>	<u>OCR-2</u>	<u>Vacant/ Industrial/ Train Depot</u>	<u>306,299</u>	<u>117-06-081D</u>
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

- 1.5 Note any applicable overlay zones:  
 Historic District/Landmark      #Airport Environs      # Environmental Resource      #Hillside

PART 2 PROPOSED USE

- 2.1 Proposed Use (Please be specific; attach additional sheet if necessary.)  
The City seeks to rezone this parcel OCR-2 in order to unify downtown zoning and to provide the most flexibility with regard to future uses for the property. (Please See Attached Site Inventory)
- 2.2 Number of Structures 4 Number of Stories 1-2 Height of Structures 19'-0" to Ridge
- 2.3 Number of Residential Units 0 Floor Area of Non-residential Projects 18,435 SF

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PART 3 APPLICANT INFORMATION

3.1 Applicant or Agent Chad R. Anderson

Company Name CITY OF TUCSON

Address 255 W ALAMEDA ST.

City TUCSON State ARIZONA Zip 85726

Phone (520) 791-4204 Fax (520) 791-5198 Email Chad.Anderson@tucsonaz.gov

3.2 Owner CITY OF TUCSON, REAL ESTATE DIVISION

Company Name CITY OF TUCSON

Address 255 W ALAMEDA ST.

City TUCSON State ARIZONA Zip 85726

Phone (520) 791-4202 Fax (520) 791-5198 Email \_\_\_\_\_

3.3 **Architect/Engineer/Other** \_\_\_\_\_

Company Name \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

---

PART 4 NEIGHBORHOOD MEETING

4.1 Have you offered to meet and discuss the proposed rezoning on a specified date and time with all property owners within 300 feet and all neighborhood associations within one (1) mile of the rezoning site? Please indicate meeting date.  Yes  No

3/05/2008  
Meeting date

4.2 Attach neighborhood meeting documentation (at a minimum, a copy of the meeting invitation, mailing list, date of mailing, sign-in sheet, and summary notes from the meeting).

4.3 Provide the tracking number from your neighborhood meeting mailing labels: T07PRE0082

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**PART 5 REZONING PRE-APPLICATION CONFERENCE INFORMATION**

- 5.1 Have you attended a rezoning pre-application conference with staff?  Yes  No
- 5.2 Date of pre-application conference: 10/17/2007
- 5.3 Provide the tracking number from your Pre-application Conference Verification Sheet: T-14R13S12
- 

**PART 6 PLANNING INFORMATION**

In accordance with the *Land Use Code* (Section 5.4.1.3) all rezoning applications together with any supporting documentation, including the preliminary development plan (Development Standard 1-07 Exhibit I), are reviewed for compliance with the City of Tucson *General Plan*, as implemented by planned area developments, redevelopment plans, subregional plans, area plans, and neighborhood plans. This review shall occur within seven (7) business days of submittal. Rezoning requests that do not demonstrate compliance with the *General Plan* cannot be accepted.

- 6.1 Are there any planned area developments, redevelopment plans, subregional plans, area plans, or neighborhood plans officially adopted by the City of Tucson, which apply to the rezoning site?  Yes  No

Name of Plan(s) El Centro Plan of 1983 (see attached for details)

- 6.2 Is an Environmental Resource Report required by the area or neighborhood plan?  Yes  No  
(Please see Development Standard 1-07 Exhibit III.)
- 6.3 Is this rezoning being requested to correct a zoning violation?  Yes  No
- 6.4.1 Have you chosen "Direct Ordinance Adoption (*LUC* Section 5.4.3.4)?  Yes  No
- 6.4.2 If yes to 6.4.1, have you attached the Services Impact Report? (Please see  Yes  No  
Development Standard 1-07 Exhibit V.)
- 6.5 Are there any billboards/signs located on the property?  Yes  No If yes, provide description:  

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- 6.6 Provide a statement describing the nature of the proposal and the reasons for the request. Use additional sheets, if necessary.

(PLEASE SEE THE ATTACHED SITE INVENTORY)

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**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

**Part 1 Property Information: 1.1-1.5**

Proposed Zoning Change	Current Use	Area (acres)	Location T-R-S Street Address	Overlay Zones	Tax Code Number
I-1 to OCR-2	Vacant/ Railroad Depot	Approximately 7 acres (306,299 SF)	Township 14.0 S Range 13.0 E Section 12 396 - 440 N. Toole Ave	El Centro Plan	#177-06-081D

**Legal Description of the Site:**

TUCSON PTN BLK 82 83 84 90 91 & 94 LYG NELY & ADJ TO TOOLE AVE

**Narrative Description:**

Parcel 117-06-081D is a 7+ acre parcel owned by the City of Tucson, which is bound to the north east by the Union Pacific Railroad tracks and right of way, to the southwest by the diagonal Toole Avenue, to the Northwest by the 6th Avenue underpass, and to the Southeast by North Toole Avenue as it curves over the Broadway underpass. Part of the southern end encompasses the Fourth Avenue underpass. It was split from a larger parcel owned by Union Pacific railroad in 1999 acquired by the City of Tucson in 2000.

In the northwest portion of the parcel, a section of vacant unimproved land has had all necessary environmental and historical assessments performed and is ready to be developed. This lot had recently been slated for development as the city's new Greyhound bus depot and CDOT office building. The central section includes the restored structures of the historic Southern Pacific train depot, a rail platform, a parking lot and landscaping. There are currently four enclosed 1-2 story structures on the site, totaling 18,435 square feet in floor area up to 19' at the ridge in height. The southeastern-most section of the parcel—which includes the 4<sup>th</sup> Avenue underpass easement—comprises one square acre and surrounds a small parcel whose mineral rights are deeded to Union Pacific for use as a monitoring well. Union Pacific Railroad retains an easement agreement with the city for use of this monitoring well.

The city has no plans to sell the site, but would like to rezone it to allow for more flexible options for its use, specifically with regard to the structures on the historic train depot site and the proposed Bus depot office building mixed use development. The current zoning allows only for mostly transportation-related industrial uses, and the city. Since the site has historic significance, in the form of the Southern Pacific Depot, there would be no building or modification allowed which would interfere or obstruct the historic use and place.

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

**Part 2 Proposed Use: 2.1-2.3**

The City of Tucson, as part of the effort to revitalize its downtown, is working to facilitate the redevelopment of city-owned vacant land in the downtown area. Much of the undeveloped property downtown was “down-zoned” in the 1970s for property tax purposes and many structures were razed in the downtown core. The result has been an over-abundance of surface parking lots which constitute “dead spaces” along critical corridors and key street corners downtown.

The City of Tucson would like to bring mixed-use infill development to these vacant sites to activate the “dead spaces,” with a mix of new residences, retail shopping, dining and entertainment options within the Historic Congress Street District and the Historic Warehouse Arts District. Since the city does not own all these vacant sites, it can only directly encourage development on the sites it owns. The hope there is that by encouraging mixed use development on City property, the private sector will follow suite.

No formal developments or alterations to the property are currently planned, and any future developments would require Mayor and Council approval before entering into a development agreement with the city.

**Existing structures on the site:**

On the site there are four enclosed structures comprising 18,435 Square Feet in floor area, and between 1-2 stories in height (height maximum is 19 feet at 2<sup>nd</sup> story ridge on building “A”). No structures are used as residences.

**Part 3 Applicant Information: 3.1-3.3**

The applicant is Chad Anderson of the City of Tucson, City Manager’s Office, 255 W Alameda St., P.O. Box 27210, Tucson, Arizona, 85726-7210; phone (520) 791-4204; fax (520) 791-5198; email: [Chad.Anderson@tucsonaz.gov](mailto:Chad.Anderson@tucsonaz.gov) on behalf of the City Manager. This application was prepared by Chad Anderson with the assistance of City of Tucson staff in Urban Planning and Design, Development Services, and the Traffic Engineering and Real Estate Divisions of the City of Tucson Department of Transportation

**Part 4 Neighborhood Meeting: 4.1 – 4.3**

Neighbors of this and another City property were invited to meet Tucson City staff to discuss the rezoning. The meeting was held at ParkWise Pennington Street Garage, 110 E Pennington St. on March 5<sup>th</sup> 2008 from 5:30-7:00 PM. Five City Staff and one member of the public were present and Chad Anderson from the City Manager’s Office gave a brief slide presentation (please see attached sign in sheet and power point slides).

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

**Part 5 Rezoning Pre-application Conference Information:**

5.1 — 5.3 On October 17, 2007, Chad Anderson attended a rezoning pre-submittal conference. Please see attached Pre-submittal Conference Comments. As the

**Part 6 Planning Information:**

**6.1: This rezoning proposal is consistent with provided by the adopted land use plans, as follows:**

- *El Centro Redevelopment Plan, Adopted by Mayor and Council - September 26, 1983 - Resolution 12437*

The *Land Use Plan* provides flexibility in land use and structural design to owner participants, subject to administrative and site plan review procedures to ensure the substantial attainment of *Redevelopment Plan* objectives, including quality design, provision of coordinated and landscaped pedestrian ways, and proper spatial relationships between buildings.

The El Centro core district is the region's business, legal and financial center. Within this compact area, a mix of uses will be encouraged at the highest intensity levels allowed in the region. Ground floor uses will have an inviting pedestrian environment which will encourage face-to-face interaction and exchange, emphasizing the regional uniqueness of downtown. Parking will be evaluated on a project-by-project basis and will be allowed in any one location depending on that parking facility's impact on the existing and planned traffic and pedestrian circulation system. Circulation within the core will be a carefully designed and balanced system including auto, transit, and pedestrian. Special attention will be given to strengthening pedestrian linkages between the core and the Government/United Bank Plaza areas as well as the residential areas surrounding downtown. Pedestrian amenities shall be developed throughout the core district.

- City of Tucson *General Plan (GP)*, adopted August 6, 2001, effective November 13, 2001

**Element 2, Policy 6** primarily focuses on Tucson's Downtown and other existing activity centers in the Central Core and Mid-City Growth Areas. Proposed commercial and office development will be evaluated with regard to location criteria, including the potential for pedestrian- and transit-oriented development, and the project's effect on street and neighborhood character. Sensitive response to Community Character and Design policies and related design guidelines will assure that new development and redevelopment complement the scale and character of existing residential, office, and commercial uses.

**Element 2 (Land Use):** "Future emphasis will be placed on securing self-sustaining activity centers which include high-density residential facilities, work sites,

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

transportation, recreation, shopping, and services. Activity centers will concentrate economic activities, provide shelter, and optimize the movement of people, information, goods, and services. They will be designed to promote social interaction, conserve land resources and energy, and establish points of reference within the region by virtue of higher intensities and identifiable visual characteristics.”

In support of **Policy #6** “Promote continued development of Tucson’s Downtown [and other mixed-use activity centers] in order to increase transit use; reduce air pollution; improve delivery of public and private services; and create inviting places to live, work, and play.”

**Element 4 (Community Character and Design):** “High quality urban design elements reflected through appropriate style, scale, and arrangement of structures; activities; and land uses are essential in maintaining a positive public image of the region. Flexible design options, such as clustered development, will maximize opportunities for retention of open space and vegetation. All site improvements and modifications will comply with comprehensive site analysis and development capability requirements. Commercial and industrial uses will be located in suitable places and will comply with high quality performance standards in order to avoid adverse impacts on surrounding properties.”

In support of **Policy# 4:** Design and maintain streets to enhance functional and aesthetic quality; **Policy #5:** Promote neighborhood identity and visual character; and **Policy #6:** Promote quality in design for residential, commercial industrial, mixed-use, and publicly-funded development.

**Element 6 (Conservation, rehabilitation and redevelopment):** Safe, People-oriented Neighborhoods that reinvest in strong local businesses within existing neighborhoods through infill and which respect historic and cultural resources.

In support of **Policy # 6.1** “Enhance the Downtown retail core as the primary regional activity center for finance, culture, and government, complemented by a mixture of land uses to support Downtown housing that is compatible with the adjacent Downtown’s historic residential neighborhoods.”

- **Summary of Rezoning Proposal’s Consistency with Adopted Land Use Plans**

The adopted land use plans support the development of multi-use activity centers within the downtown core and core support districts, which encourage pedestrians and alternatives to automobile transportation. The plans also support infill development and rehabilitation of historic structures which respects the character and design of existing structures and their neighborhood surroundings. Any development plans which come before Mayor and Council would have to address these elements and show conformity with the standards already laid out in the respective plans.

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

6.2 – An Environmental resource report is not provided as there are no substantial changes to the existing natural land surfaces. City of Tucson Environmental Services did provide this Environmental Statement:

**Statement of Environmental Conditions in the Downtown Area:**

- Public and private monitoring wells can be found throughout the underlying identified development area. Their locations must be considered during site design and pre-construction. Right of entry and access agreements for future monitoring activities may be needed.
- Some sites in the project area may have land use/title restrictions and/or environmental remediation systems due to historical environmental conditions.
- Soils in the project area may have been impacted by environmental conditions in the perched aquifer (depth may vary in the shallow groundwater zone).
- Unknown Recognized Environmental Conditions may be encountered and should be addressed during site construction activities.

**Environmental Statement on the Historic SP Depot site:**

“Southern Pacific Rail Road (SPRR) operated several diesel fuel systems at the Tucson Passenger Depot in the decades subsequent to WWII as the locomotive engines made the transition from steam to diesel electric. These fuel systems included underground piping, storage tanks, and dispenser islands. As with many fuel systems, they had releases.

Underneath the locations of the former fuel systems are areas of soil and groundwater impacts. A large area of perched groundwater (located approximately 65' below land surface) has free phase diesel fuel floating on top of the water bearing zone.

Union Pacific Rail Road (UPRR) acquired the property from SPRR in the 1990's. SPRR had previously initiated the delineation of the soil and groundwater impacts, and UPRR, working with ADEQ has completed the delineation process. The City of Tucson (COT) acquired portions of the Depot site in the 1990's. The approximate extent of this irregularly shaped floating diesel “plume” extends past Toole Avenue to the west, 3<sup>rd</sup> Avenue to the east, 6<sup>th</sup> Street to the north, and Broadway to the south.

UPRR and the COT have several access agreements in place allowing UPRR to install remediation wells and piping throughout the Depot site in order to remove the free-phase product from the perched aquifer. UPRR is using a phased approach, and has been expanding their systems over time. They have been waiting for the COT to complete the 4<sup>th</sup> Avenue Underpass project to expend their efforts towards the southern end of the Depot site.

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

UPRR estimates indicate remediation efforts may need to expand off-site locations, and will take decades to complete.”

**Historical Assessment of the Historic SP Depot site:**

On the northwestern portion of the parcel: “Preliminary archeological assessment was performed by Tierra Right of Way in June of 2006. A total of 43 items were identified during data recovery operations. Of these, 34 were either excavated or in their entirety or sampled. Some examples of these include foundation sections of the Adolph Bail Warehouse and a late nineteenth to early twentieth century bottling plant, both of which are illustrated on the 1901 Sanborn Fire Insurance Map. Also excavated were numerous pits and trash deposits, and two large privies that are likely to contain refuse from vastly different behavioral contexts. Feature 27, located near the center of the parcel, appears to have been associated with the industrial area of the site. Feature 45 was located in the southeastern portion of the parcel near an area the Sanborn maps identify as containing servants quarters for the San Xavier Hotel. Although this assessment is based largely on the proximity of the privies to these two areas, materials from the features offer the opportunity to investigate the activities associated with these two locales. Historical records suggested that the southwestern portion of the parcel may have contained features associated with a Mexican residential neighborhood. Although intensively investigated, no features unambiguously associated with the neighborhood were identified. The possible presence of this neighborhood within the current project area may be reflected in the artifact collection.”

The historic depot has been placed on the National Historic Register, and the City of Tucson has spent millions of dollars, including federal grant monies, to restore it.

The southeastern portion of the site, south of 4<sup>th</sup> avenue and immediately north of Toole Avenue

**6.4.2 – Services Impact, Traffic Impact and Rights of Way:**

No Services Impact Report is included, as the requested rezoning will not result in any additional demand on current public services or increases in traffic flows. As indicated in the Rezoning application, no Services Impact Report is included, as the requested rezoning will not result in any additional demand on current public services.

The site is located along a portion of N Toole Avenue between the 6<sup>th</sup> Avenue and 4<sup>th</sup> Avenue underpasses. Toole Avenue between 6th Avenue and Pennington Street is classified as an Urban Principal Arterial under Federal Highway Code. Toole Avenue between Pennington Street and 4th Avenue is classified as an Urban Collector. Future development of the site will be contingent upon addressing appropriate calculations for parking based on future use, as well as the appropriate attention to present and future traffic flows and rights of way along Toole Ave.

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

As these streets serve the downtown area, and pass through several key urban streetscapes and historic districts, according to the Major Streets and Routes Plan, they are at their ultimate right of way, and there are no plans for future road widening or alignment changes along arterials or collectors in this area. Future development of the site will be contingent upon addressing appropriate calculations for parking based on future use, as well as for mitigation of present and future traffic flows and rights of way along Toole, 4<sup>th</sup> and 6<sup>th</sup> avenues.

UPRR and the COT have several access agreements in place allowing UPRR to install remediation wells and piping throughout the Depot site in order to remove the free-phase product from the perched aquifer. UPRR is using a phased approach, and has been expanding their systems over time. They have been waiting for the COT to complete the 4<sup>th</sup> Avenue Underpass project to expend their efforts towards the southern end of the Depot site.

**6.6 Provide a statement describing the nature of the proposal and the reasons for the request. Use additional sheets, if necessary.**

The proposal is to rezone this city-owned parcel to OCR-2 zoning, in order to create a more consistent zoning pattern Downtown that allows for greater land use flexibility for future mixed use development of these sites. A Design Compatibility Report is not necessary for this application, as there are no current plans to build or improve this site.

The *General Plan* and the *El Centro Redevelopment Plan (ECRP)* support incentives and zoning overlays which promote integrated residential and nonresidential land uses and a mix of private and public uses. The *El Centro Redevelopment Plan* calls out for a greater mix of land uses, and encourages timely private development in Downtown. The *ECRP* supports land use and height intensity as allowed by OCR-2 zoning, calling that it be appropriate, with specific design objectives to be met by developers that will ensure attractive development. However it should be noted that at the time of any future development of these sites, design objectives should be accomplished and implemented through a development agreement acceptable by the Mayor and Council.

**Additional Site Inventory Information:**

**Topography:** The parcel lies within the designated downtown area and serves as a passenger railroad station for Amtrak trains. As such it is nearly level at grade, with no discernable contours of note. The site does not fall within any Hillside Development Zones (HDZ).

**Appendix to Rezoning Application and  
SITE INVENTORY  
for Parcel # 177-06-081D  
(including the Historic SP Railroad Depot)**

**Vegetation:** Vegetation on the site is limited to a xeroriparian and mesoriparian shade tree and shrub landscape buffers along North Toole Avenue, and around the structures on the site.

**Hydrology:** There are no washes or watercourses that run through the site, and the site does not lie in any flood plains.

# 2008 Pima County Assessor Property Inquiry

**Search Parcel2007 Parcel2006 History Tax Summary Genealogy PRC**

Parcel   

Book-Map-Parcel: 117-06-081D

TaxPayer Information  
CITY OF TUCSON

TaxArea: 0163 TaxYear  
Recording Information  
Docket 10892 Page 401 Da

00000 0000

**Description**

TUCSON PTN BLK 82 83 84 90 91 & 94 LYG  
NELY & ADJ TO TOOLE AVE

Miscellaneous  
Section 12 Twn14.0 S Rng  
Map&Plat LandMeasu  
3 / 71  
MarketArea: (100)  
Rule B District: 10  
Tract Block082 Lot Gro  
00002  
CensusTract UseCode  
800 9700  
Date of Last Change Jul-1:

Multiple Addresses **410 N TOOLE AV**  
**(TUC)**

MUNICIPAL VACANT LAN

Secondary Valuation  
Data

Legislative Class

Full  
Cash

Percentag

Land VACANT/AG (4 0) \$4,603,674 16.0

Improvements VACANT/AG (0 0) \$0 0.0

2008 Personal Property

Gross Value Totals \$4,603,674

**2008 LMTD/SCND Exemptions**

**Net Value Totals**

**\$4,603,674**

**Prior Limited Value: \$785,814**

**Current Limited Value: \$1,**

**Areas**

**Condo Market 100**

**SFR District 30**

**SFR Neighborhood 01020201**

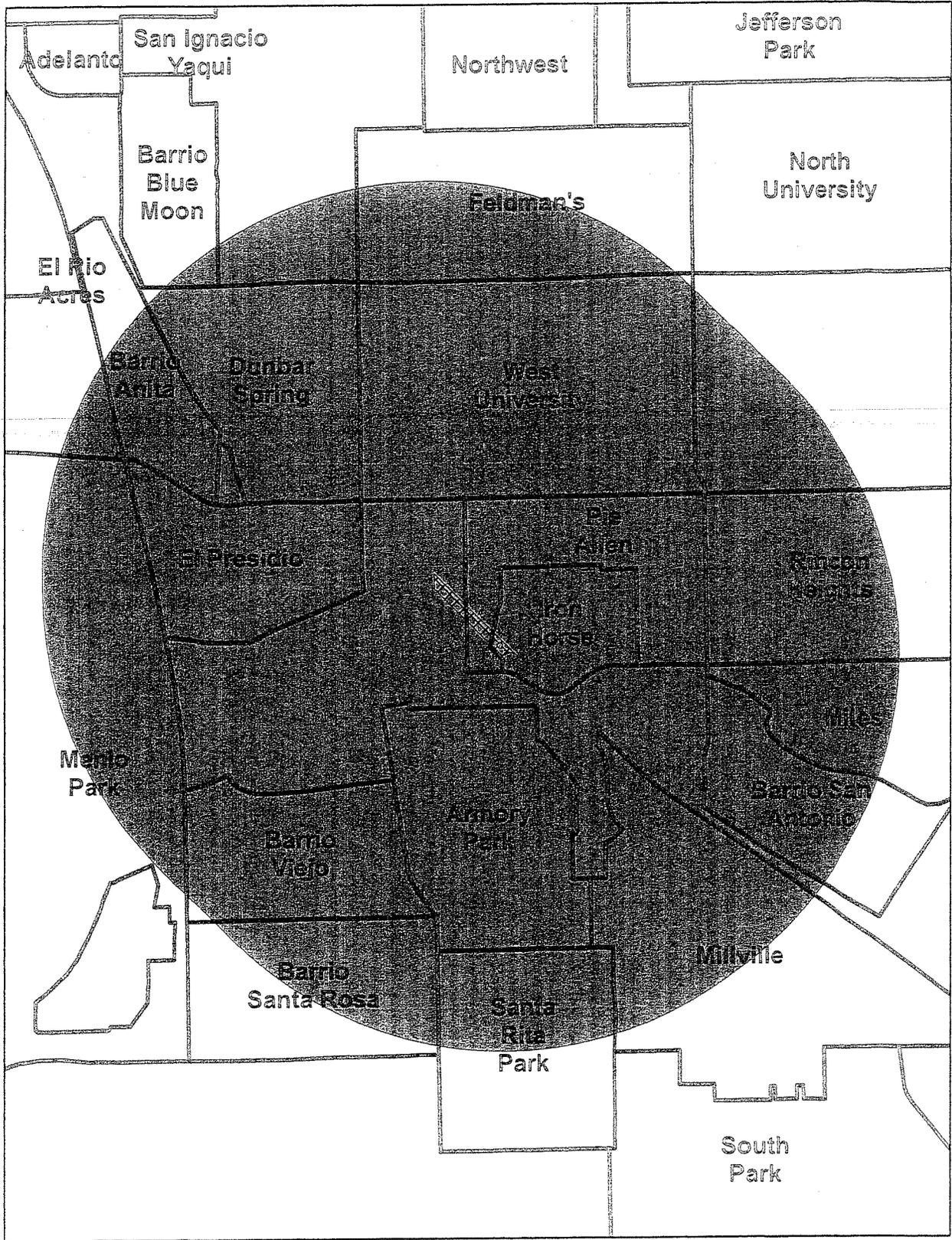
**MFR Neighborhood**

**UN\_WEST\_UNIVERSITY**

**DOR Market 6**

**Map Selection(s) 03071082.TIF 03071084.TIF 0664E.TIF**

# **2008 Valuation in Pi**



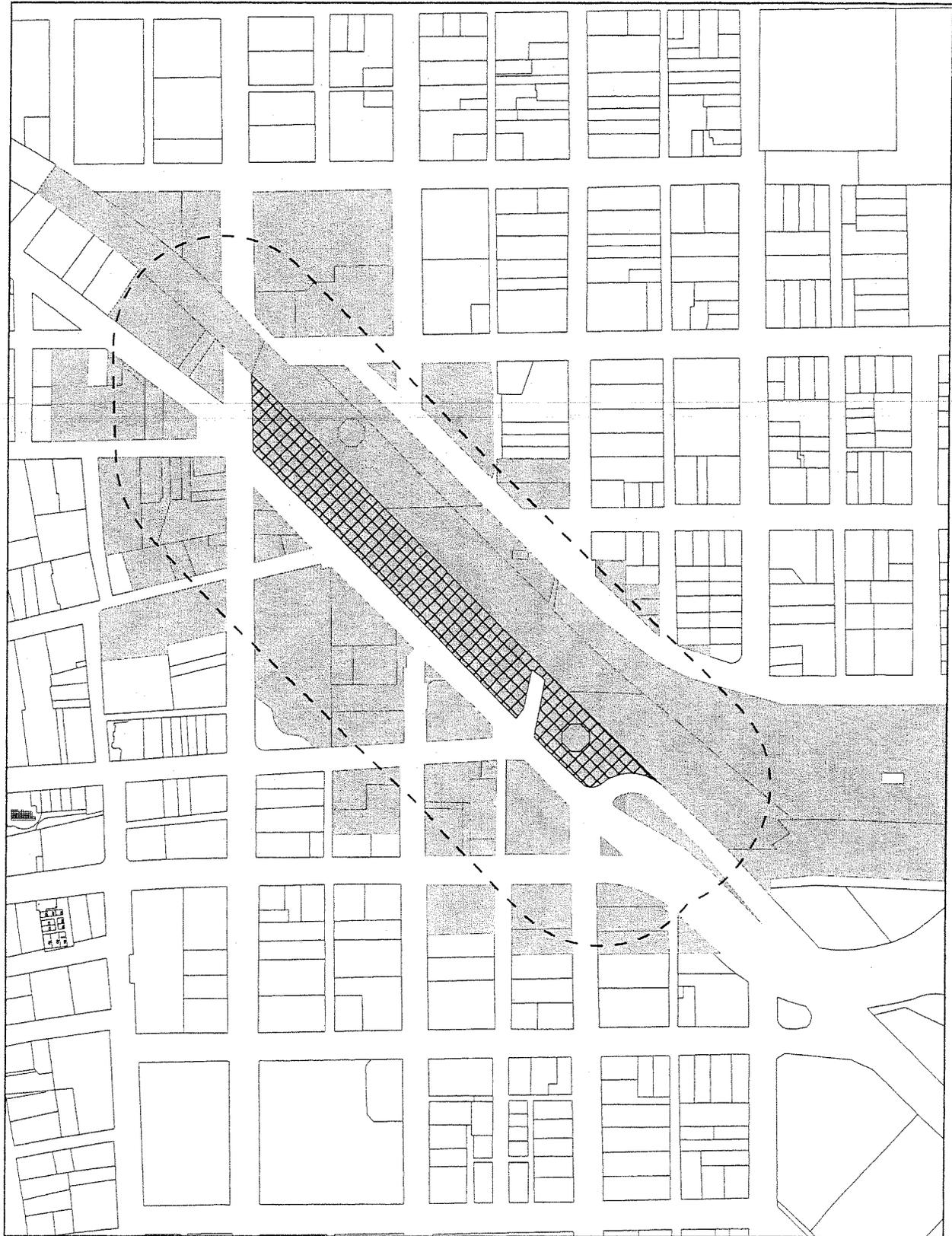
T07PRE0082 - created 2/1/2008



0 1,000 2,000 Feet  
1 inch equals 2,000 feet



CITY OF  
TUCSON



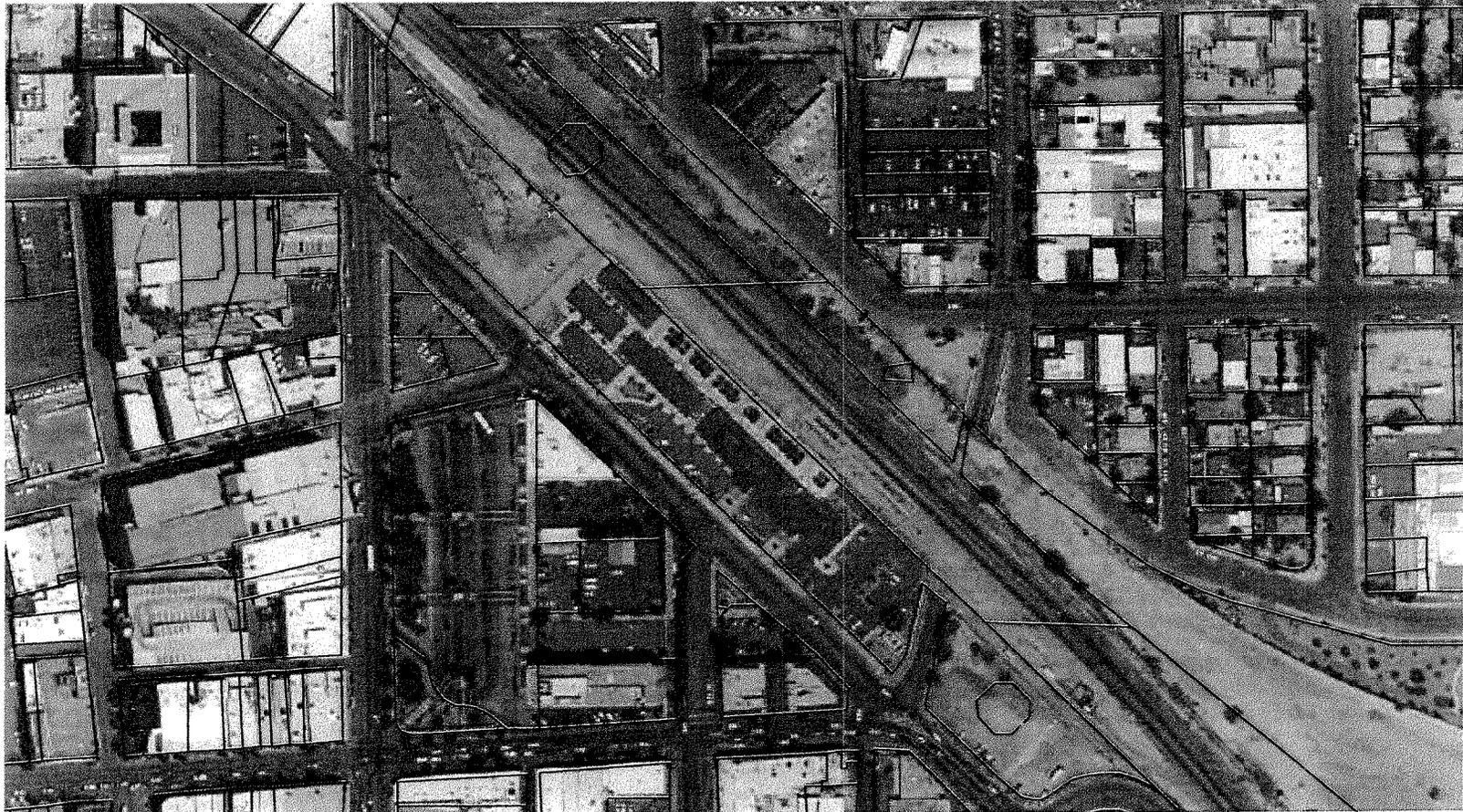
T07PRE0082 - created 2/1/2008



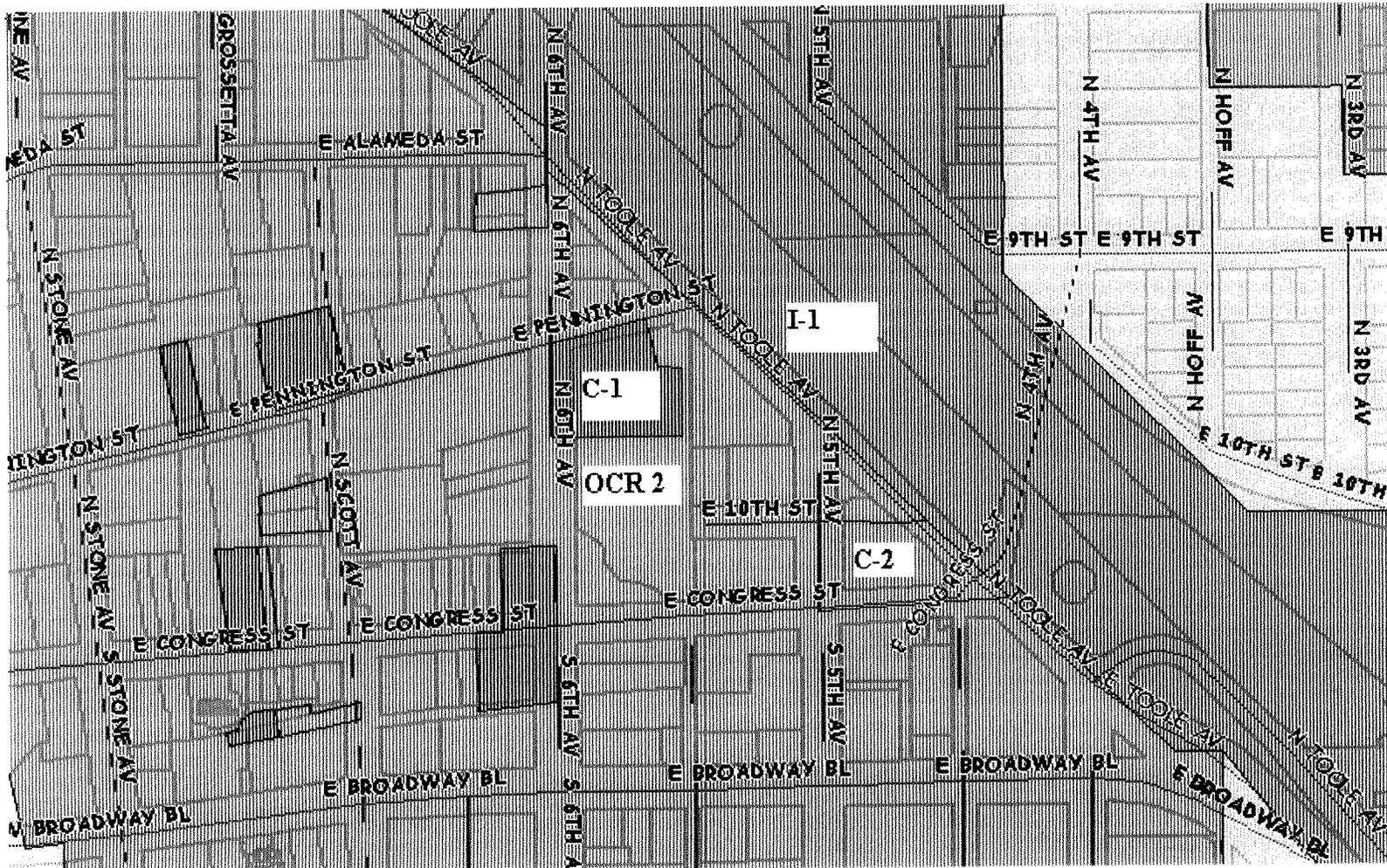
0 200 400 Feet  
1 inch equals 400 feet



CITY OF  
TUCSON



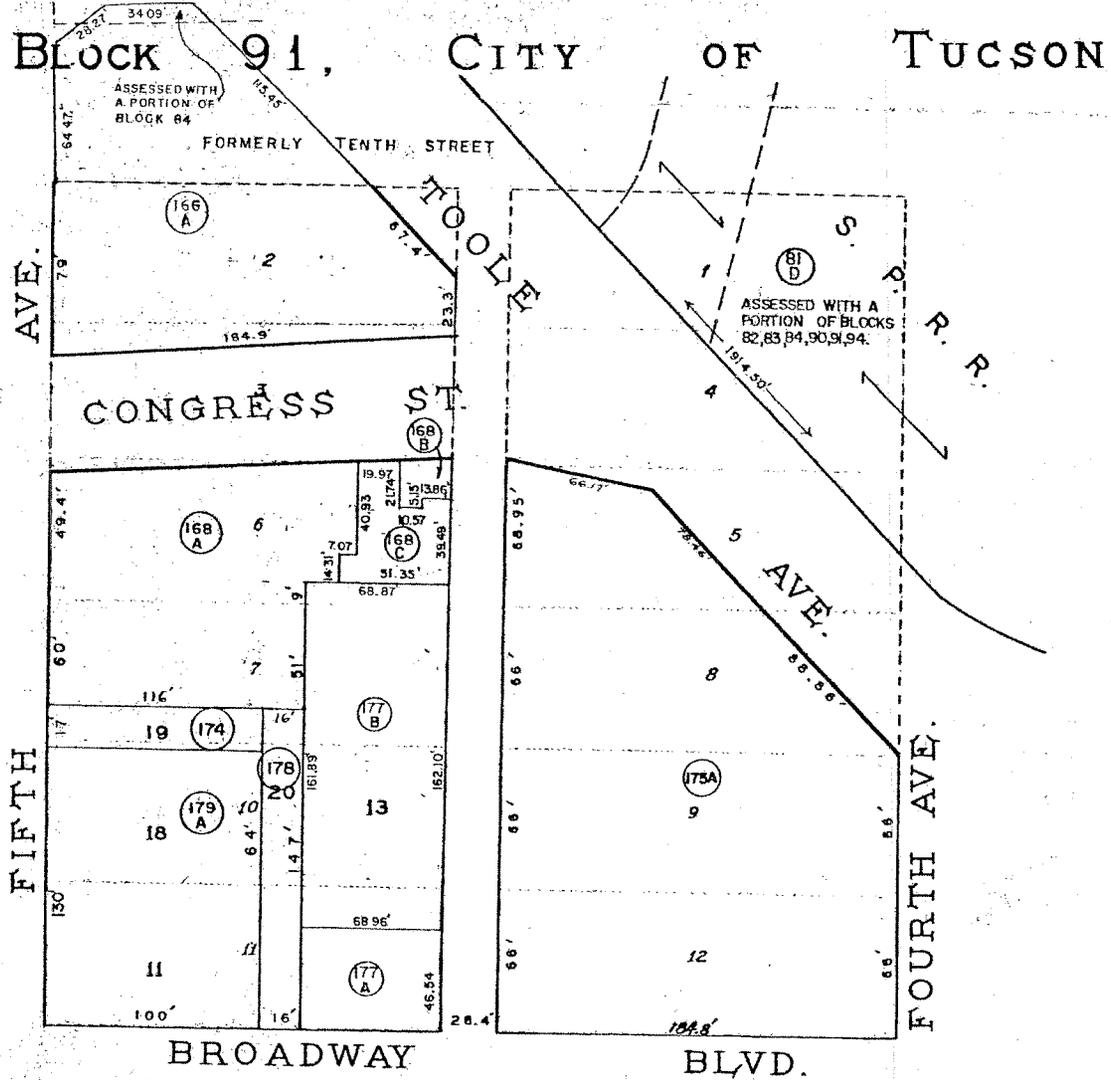
City of Tucson, Rezoning Request Site Inventory Map # 177-06-081D (SP Train Depot)



City of Tucson, Downtown Area Zoning Map (OCR-2 zoning is light blue)

# ASSESSOR'S RECORD MAP

117-06  
13/25



2005-1  
S.12 T.14S, R.13E.  
SEE BOOK 3, PAGE 71 M & P.

03071091  
SCANNED

665 (2)

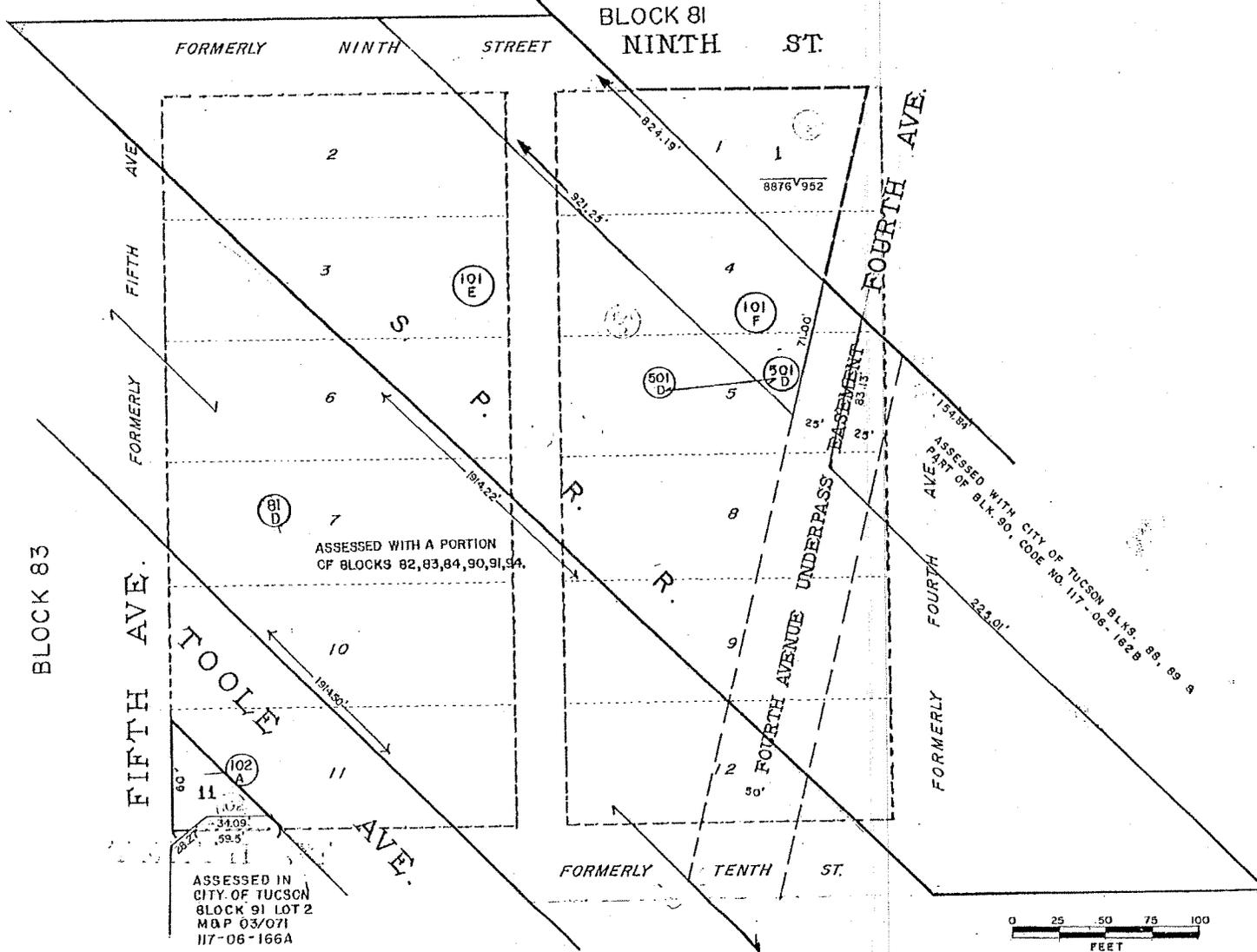
C.O.T.  
P R C I E

# ASSESSOR'S RECORD MAP

117-06  
7/25

## BLOCK 84, CITY OF TUCSON

90



C.O.T.  
PROJECT

BLOCK 83

FIFTH AVE.

TOOLE

AVE.

FORMERLY TENTH ST.

FOURTH AVE.

FORMERLY FOURTH AVE.



SEE BOOK 3, PAGE 71 M & P.  
2006-1  
S12, T14S, R13E

03071 CEA  
SCANNED

ASSESSED IN  
CITY OF TUCSON  
BLOCK 91 LOT 2  
M & P 03/071  
117-06-166A

ASSESSED WITH A PORTION  
OF BLOCKS 82, 83, 84, 90, 91, 94.

ASSESSED WITH CITY OF TUCSON B.L.K. 88, 89 &  
PART OF B.L.K. 90, CODE NO. 117-06-182.8

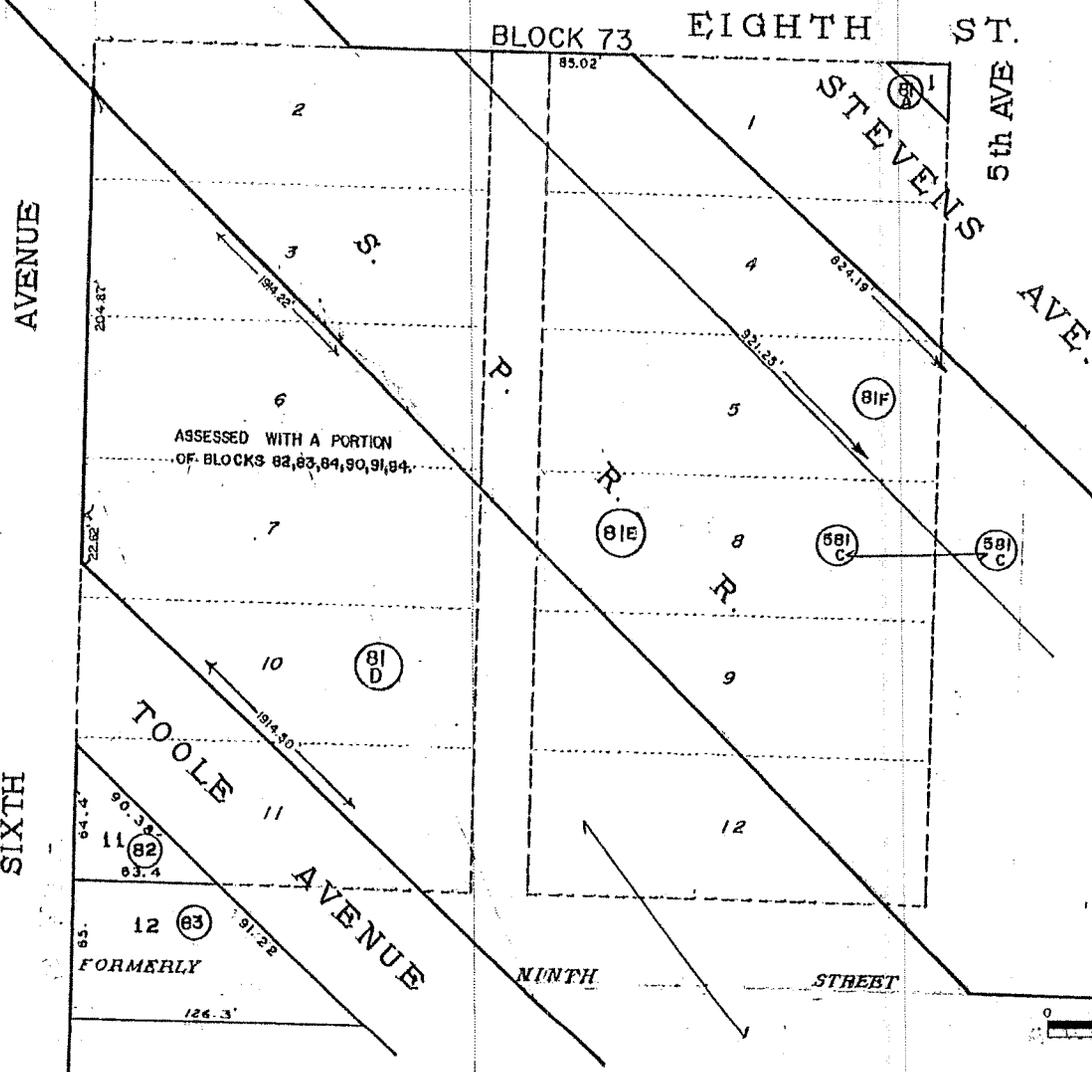


ASSESSOR'S RECORD MAP

88

117-06  
5/25

BLOCK 82, CITY OF TUCSON



CROSS  
PROJECT

SEE BOOK 3, PAGE 71 M & P.

2003-1  
S12, T14S, R13E

03071082  
SCANNED

February 8<sup>th</sup>, 2008



CITY OF  
TUCSON

OFFICE OF THE  
CITY MANAGER

Dear Sir or Madam:

You are cordially invited to attend a meeting announcing the rezoning of City property in the downtown area, specifically at 215 E Congress Street (Ronstadt Transit Center) and 396-440 N Toole Ave (around the Historic Depot). The City seeks to rezone these parcels OCR-2 (office, commercial, residential), in order to unify zoning and uses downtown as part of its effort to spur mixed-use development within the critical and historic Congress Street District.

Date: March 5<sup>th</sup>, 2008

Location: Pennington Street Garage, 110 E Pennington, ParkWise Large Conference Room

Time: 5:30pm-6:30pm

You may submit written comments to the Tucson Department of Urban Planning and Design prior to the meeting. No Preliminary Development Plan will be available to view, as this rezoning does not currently include any development.

Very Sincerely,

Chad Anderson  
City Manager's Office

Robert Walkup  
Mayor  
255 W. Alameda ST  
Tucson, AZ 85701

Carolyn L. Lenz  
N.A.-Armory Park  
P. O. Box 2132  
Tucson, AZ 85702

John D. Burr  
N.A.-Armory Park  
P. O. Box 2132  
Tucson, AZ 85702

Tina Gonzales  
N.A.-Barrio Anita  
855 N. Contzen  
Tucson, AZ 85705

Ramon Y Olivas  
N.A.-Barrio Anita  
901 N Van Alstine Ave  
Tucson, AZ 85705

Page Repp Jr  
N.A.-Barrio Blue Moon  
422 W. Speedway Blvd  
Tucson, AZ 85705

Stacy Burnett  
N.A.-Barrio Blue Moon  
422 W Speedway Blvd  
Tucson, AZ 85705

Jose Rivera, Jr.  
N.A.-Barrio Blue Moon  
422 W Speedway Blvd  
Tucson, AZ 85705

Margaret McKenna  
N.A.-Barrio Hollywood  
1019 W Ontario  
Tucson, AZ 85745

Martha McGrath  
N.A.-Barrio Hollywood  
1455 W. Delaware  
Tucson, AZ 85745

Scott Egan  
N.A.-Barrio Hollywood  
1409 W Niagara  
Tucson, AZ 85745

Jacqueline Turchik  
N.A.-Barrio San Antonio  
402 S Star Ave  
Tucson, AZ 85719

Kathleen Kearney  
N.A.-Barrio San Antonio  
526 S Star Ave  
Tucson, AZ 85719

Ana A. Acuna  
N.A.-Barrio San Antonio  
634 S. Santa Rita Ave  
Tucson, AZ 85719

Nicole Gonzales  
N.A.-Barrio Santa Rosa  
323 W. 19th Street  
Tucson, AZ 85701

Kara Mills  
N.A.-Barrio Santa Rosa  
18 S. 7th Ave  
Tucson, AZ 85701

Ignacio Valenzuela  
N.A.-Barrio Santa Rosa  
821 S. Rubio  
Tucson, AZ 85701

Pedro M Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Letitia A Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Eddie M Flores  
N.A.-Barrio Viejo  
1602 S Winmore  
Tucson, AZ 85713

Evaristo Ramirez  
N.A.-Dunbar Spring  
737 N. 10th Ave  
Tucson, AZ 85705

Ian Fritz  
N.A.-Dunbar Spring  
903 N. 10th Ave  
Tucson, AZ 85705

Piper Weinberg  
N.A.-Dunbar Spring  
735 N. 10th Ave  
Tucson, AZ 85705

Rick Luyties  
N.A.-El Presidio  
607 N. Sixth Av  
Tucson, AZ 85705

Anita Oberlick  
N.A.-El Presidio  
335 N Main Ave.  
Tucson, AZ 85701

Mary K. Lucking  
N.A.-El Presidio  
387 N Meyer Ave.  
Tucson, AZ 85701

Monika Ashe  
N.A.-Feldman's  
611 E Drachman  
Tucson, AZ 85705

Joanne Downey  
N.A.-Feldman's  
734 E Drachman  
Tucson, AZ 85719

Sarah Harris  
N.A.-Feldman's  
1217 N First Avenue  
Tucson, AZ 85719

James Baxter  
N.A.-Iron Horse  
129 N Jacohus Ave  
Tucson, AZ 85705

Jeff Di Gregorio  
N.A.-Iron Horse  
204 S. Scott  
Tucson, AZ 85701

Lorraine Bartlett  
N.A.-Menlo Park  
901 W. Clearwater Dr.  
Tucson, AZ 85745

Diana Hadley  
N.A.-Menlo Park  
350 S. Grande  
Tucson, AZ 85745

Lillian Lopez-Grant  
N.A.-Menlo Park  
1016 W. Congress  
Tucson, AZ 85745

Luis Gutierrez  
N.A.-Miles  
1421 E. 13th St  
Tucson, AZ 85719

Stefan Walz  
N.A.-Miles  
1310 E. 13th St  
Tucson, AZ 85719

Bill Richards  
N.A.-Miles  
127 S. Cherry Ave  
Tucson, AZ 85719

George Kalil  
N.A.-Millville  
931 S Highland  
Tucson, AZ 85719

Roger Becksted  
N.A.-Millville  
1070 E 20th St  
Tucson, AZ 85719

Brett DuMont  
N.A.-Millville  
1015 S Park Ave  
Tucson, AZ 85719

Pat Homan  
N.A.-Pie Allen  
850 E. 7th St  
Tucson, AZ 85719

Nancy Robins  
N.A.-Pie Allen  
801 E 7th St  
Tucson, AZ 85719

Stacey Plassmann  
N.A.-Rincon Heights  
1750 E. 10th Street #3  
Tucson, AZ 85719

Tom Palliser  
N.A.-Rincon Heights  
122 N. Warren  
Tucson, AZ 85719

Barbara Homan  
N.A.-Rincon Heights  
1619 E 8th St  
Tucson, AZ 85719

Daniel R Patterson  
N.A.-Santa Rita Park  
DB 172  
Tucson, AZ 85702

Viki Rambo  
N.A.-Santa Rita Park  
1043 S 5th Ave  
Tucson, AZ 85713

Oscar H Rendon  
N.A.-Santa Rita Park  
1949 W Calle Mecedora  
Tucson, AZ 85745

Lori Boston  
N.A.-West University  
PO Box 3336  
Tucson, AZ 85722

Joe Wasiak  
N.A.-West University  
PO Box 3336  
Tucson, AZ 85722

Gallagher Witmer  
N.A.-West University  
PO Box 3336  
Tucson, AZ 85722

Regina Romero  
Ward 1  
940 W. Alameda St  
Tucson, AZ 85745

Karin Uhlich  
Ward 3  
1510 East Grant Rd  
Tucson, AZ 85719

Steve Leal  
Ward 5  
4300 S. Park Av  
Tucson, AZ 85714

Nina J. Trasoff  
Ward 6  
3202 E. 1st St  
Tucson, AZ 85716

Please sign in.

NAME:	ADDRESS / Phone #	ORGANIZATION OTHER CONTACT INFO
Roger Boulett	791-4505	Staff
John Beall	791-4505	Staff
Cheryl Anderson	791-4204	
JARET BARR	791-4204	Staff
John [unclear]	622-8848	prop. comm.
Diana Rhoades	982-4178	Ward 1 City Council

## Rezoning of City Property Downtown:

**Ronstadt Transit Center  
&  
Southern Pacific Historic Depot**



City Manager's Office  
March 5, 2008

## El Centro Redevelopment Plan of 1983

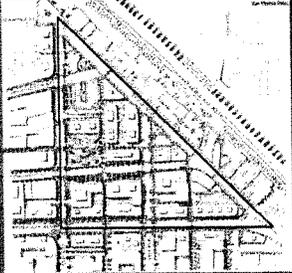


El Centro Redevelopment Area  
Project Area Boundary



City Manager's Office  
March 5, 2008

## Congress District "Triangle"




City Manager's Office  
March 5, 2008

## Congress District/Downtown City Property & Uses:

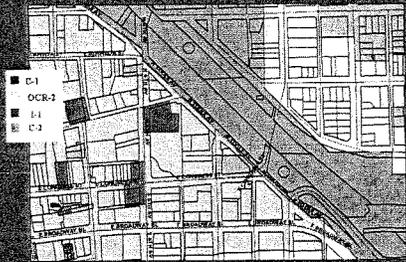


- Transportation
- Community Services
- City Facilities
- Surplus



City Manager's Office  
March 5, 2008

## Congress District/Downtown Current Zoning:



- C-1
- OCR-2
- I-1
- C-3



City Manager's Office  
March 5, 2008

## El Centro Plan of 1983

- Transit and Pedestrian Oriented
- Mixed-Use Development
- Context-Sensitive Architecture and Site Planning
- To encourage density and infill, COT needs the most flexible, most intensive land use zoning available: OCR-2



City Manager's Office  
March 5, 2008

### “Downtown Visioning”

City Manager's Office  
March 5, 2008

### Ronstadt Transit Center

City Manager's Office  
March 5, 2008

### Parcel #117-06-097A

City Manager's Office  
March 5, 2008

### Ronstadt Transit Center

- Depot Plaza Development Plan calls for mixed use frontage along Congress Street
- Congress St. and 6<sup>th</sup> Ave. is identified as one of downtown's "Critical Street Corners"
- Site is already mostly zoned "OCR-2"
- Further archeological and environmental studies may be needed, beyond 1990 study
- City will seek to ensure deck parking to alleviate parking issues

City Manager's Office  
March 5, 2008

### Southern Pacific Railroad Depot

City Manager's Office  
March 5, 2008

### Parcel # 117-06-081D

City Manager's Office  
March 5, 2008

## Southern Pacific Railroad Depot

- Entire site lies within the Warehouse Historic District and be included in any new developments, due to its historic status.
- Historical and environmental assessments are complete for the entire parcel.
- Vacant land to the NW of the Historic Depot is ready to develop; rezoning from I-1 to OCR-2 would expedite mixed-use development.
- Realignment of Toole Ave at Congress St. and 4th Ave will increase the size of the SW portion of #117-06-081D.
- Local developer Jim Campbell has a development option on the "Extended Greyhound Parcel" to the SW of the 4th Ave. underpass.
- City will seek a development agreement that ensures alleviation of parking issues and conforms to the design standards of historic downtown fixtures.



City Manager's Office

March 5, 2008

## For Both Sites in *any* new development:

- City will ensure site compatibility with public participation, and harmony of new development designs with historic downtown fixtures in the area (SP Depot, Rialto Block, Hotel Congress etc.).
- City will stipulate native plant landscaping, rainwater harvesting, public open space and beautification in any development agreements.
- City will require inclusion of parking decks in any development, as appropriate.



City Manager's Office

March 5, 2008

## LoDo District, Denver



City Manager's Office

March 5, 2008

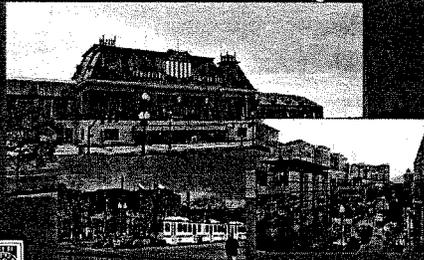
## Pearl District, Portland



City Manager's Office

March 5, 2008

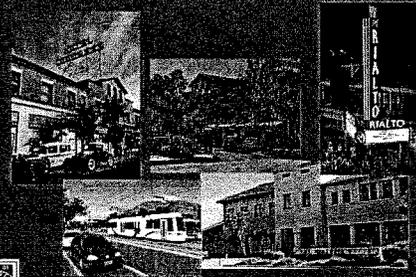
## Gateway District, Salt Lake City



City Manager's Office

March 5, 2008

## Congress District, Tucson?



City Manager's Office

March 5, 2008

**From:** Marty McCune  
**To:** Chad Anderson  
**Date:** 10/19/2007 1:45 PM  
**Subject:** Re: Historic Preservation Assessments for downtown

**CC:** Albert Elias; Jonathan Mabry; Kristi Jenkins; trish@desert.com  
Hi Chad - after our conversation this morning, here are some comments/thoughts.

1. Rezoning on Toole Avenue - I spoke with Albert Elias and he said it is unusual to rezone a parcel before we see a specific development proposal. And the Historic Depot should be excluded from the rezoning for sure. I do not believe we would want to make it possible for someone to build several stories on that parcel. The parcel where Greyhound is scheduled to go has had archaeological data recovery completed which means it is ready to be developed. Tierra Right of Way did that work and we have the report if you need a copy. I'm not sure what's been assessed on the other side of the Depot.

2. Archaeological data recovery was done on Ronstadt Transit center prior to construction. Desert Archaeology can provide a report if you need that. If the area proposed for development/redevelopment is outside the footprint of the existing center, additional assessment will need to be done.

Let me know if you have questions or need for additional information.

Marty

>>> Chad Anderson 10/18/2007 11:40 AM >>>  
Hi Marty,

I got your name from Jaret Barr. I'm trying to find information on historic preservation assessments (archeological and otherwise) of two downtown parcels for which I am facilitating a rezoning request. One parcel is the Historic Train Depot at 396-440 E Toole (parcel# 117-06-081D). The other is the present site of the Ronstadt Transit Depot, 215 E Congress (parcel #117-06-097A). I'm not sure if the City would have performed such an assessment for the Ronstadt site (Roger Howlett said it used to be Ronstadts Hardware until it was down-zoned in the 1970s.), but it seems that, since the Train Depot was recently rehabilitated, it might have one on hand.

I would appreciate any help you can offer.

best regards and thanks,

Chad R Anderson  
City Manager's Office  
City Hall, 10th Floor  
255 W Alameda  
P.O. Box 27210  
Tucson, AZ 85726-7210  
(520)837-4070

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**From:** <MSATTLER@UP.COM>  
**To:** <Ted.Petranoff@CH2M.com>, <Chad.Anderson@tucsonaz.gov>  
**Date:** 1/24/2008 1:19 PM  
**Subject:** Re: FW: UPRR Parcel 117-06-562C  
**Attachments:** Tucson Parcel 117-06-81D and 562C From Tucson GIS.pdf; Pima County Assessor Record Parcel 562.pdf; Parcel 562 Property Record Card.pdf; UPRR Parcel 562 Zoning.pdf; Tucson Parcel 117-06-562C.pdf

Gentlemen,

I have reviewed the information you have provided and the information available to me here and concluded that Union Pacific sold its interest in the property along Toole St between 6th and 3rd to the City of Tucson in 1998. The only reservation appears to have been a minerals reservation under the entire sale area. I found no reference to the octagonal-shaped parcel shown on the City plat.

Consequently, Union Pacific does not object to the City's decision to rezone the parcel.

If you have any questions, please let me know.

Thanks.

Mike Sattler  
Sr. Manager - Real Estate  
Union Pacific Railroad Company  
1400 Douglas St, Stop 1690  
Omaha, NE 68179

phone: 402-544-8641  
fax: 402-501-2583 or  
402-501-0340  
email: msattler@up.com

<Ted.Petranoff@CH  
2M.com>

To  
01/24/2008 12:40 PM <msattler@up.com>,  
<Chad.Anderson@tucsonaz.gov>  
cc

Subject  
FW: UPRR Parcel 117-06-562C

Gentlemen,

Have you had a chance to touch base concerning the parcel listed above and come to a resolution? Gary Honeyman, the UP environmental manager that I report to was wondering if the issue has been resolved.

Thanks,

Ted Petranoff

CH2M HILL  
3900 East Broadway Blvd.  
Suite 110  
Tucson, AZ 85711  
Ph (520) 547-7970  
Fax (720) 286-9880  
Cell (520) 247-8993  
ted.petranoff@ch2m.com

Make Safety Your First Priority

From: Petranoff, Ted/TUS  
Sent: Wednesday, January 16, 2008 4:40 PM  
To: Mike Sattler (msattler@up.com)  
Cc: Chad Anderson  
Subject: UPRR Parcel 117-06-562C

Mike,

As we discussed earlier this week, the City of Tucson is initiating a rezoning of City-owned land on the site of the historic rail depot at 396-440 N Stone Ave in Tucson AZ. The Depot was sold to the City by UPRR or SPRR several years ago and has undergone extensive restoration. In addition, the City of Tucson is actively reconstructing and expanding the 4th Avenue underpass which passes beneath the UPRR mainline tracks immediately south of the Depot.

This is also an area where CH2M HILL is conducting active remediation of groundwater impacted at depth by diesel. Depth to groundwater exceeds 60 feet, so none of the construction or restoration activities have been impacted. It appears that a small island of land within the City's parcel #117-06-081D is held by Union Pacific as parcel #117-06-562C. You can see the location of these parcels on the attached maps and aerial photograph. The tracing of the parcel 562C on the aerial photo shows the general location of the parcel, but reflects my poor graphic skills and should not be considered accurate!

Chad Anderson, with the City Manager's Office, would like to discuss rezoning this area with UP with the understanding that the rezoning would be contingent on not affecting the parcel's use, or otherwise affecting its value to Union Pacific. To the best of my knowledge, UPRR only owns the mineral rights to the parcel in question and CH2M HILL does not currently have any monitoring wells or remedial systems on Parcel 562C.

I have given Mr. Anderson your name and contact information and told him I would forward you maps and other information about the parcel in question

and you would give him a call to initiate discussions. His contact information is listed below.

Chad R Anderson  
City Manager's Office  
City Hall, 10th Floor  
255 W Alameda  
P.O. Box 27210  
Tucson, AZ 85726-7210  
(520)837-4070

Gary Honeyman is the UPRR Environmental Site Remediation Manager for this project and I serve as Gary's Senior Environmental Consultant on the project. If you have any questions concerning the parcel in questions or any aspect of our remedial activities at the Tucson Rail Yard, please don't hesitate to contact me. In addition, I am available to participate in your discussions with Mr. Anderson and could set up a call in number if needed.

Sincerely,

Ted Petranoff

CH2M HILL  
3900 East Broadway Blvd.  
Suite 110  
Tucson, AZ 85711  
Ph (520) 547-7970  
Fax (720) 286-9880  
Cell (520) 247-8993  
ted.petranoff@ch2m.com

Make Safety Your First Priority

(See attached file: Tucson Parcel 117-06-81D and 562C From Tucson GIS.pdf)

(See attached file: Pima County Assessor Record Parcel 562.pdf)(See attached file: Parcel 562 Property Record Card.pdf)(See attached file: UPRR Parcel 562 Zoning.pdf)(See attached file: Tucson Parcel 117-06-562C.pdf).

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City of Tucson Office of Conservation and Sustainable Development

REZONING/SPECIAL EXCEPTION  
PRESUBMITTAL PREAPPLICATION REVIEW

APPLICANT NAME: CHAD ANDERSON, CITY MANAGERS OFFICE

ADDRESS: 255 W ALAMEDA CITY: TUCSON STATE: AZ ZIP: 85726

DAYTIME/MESSAGE PHONE: 837-4070 FAX: 791-5198 E-MAIL: CHAD.ANDERSON@TUCSONAZ.GOV

EXISTING AND PROPOSED USE

EXISTING USE: I-1 TRAIN DEPOT PROPOSED USE (REQUIRED): OCR-2

PROJECT LOCATION

ADDRESS (IF ASSIGNED): 396 – 440 N TOOLE AVE.

PARCEL NUMBER: 117-06-081D TOWNSHIP 14 RANGE 13 SECTION 12

ENVIRONMENTAL CONCIDERATIONS

NO  NEAR/ON/IN A REGULATORY WATERCOURSE OR FLOODPLAIN  
WATERCOURSE NAME:

RIPARIAN HABITAT CLASS AND SOURCE: NONE

IN AN ADOPTED BASIN MANAGEMENT PLAN (S): NONE

APPLICABLE RIPARIAN CODE(S) AND/OR POLICIES

NO  ERZ NO  WASH NO  REGULATORY FLOW – DEVELOPMENT STANDARD 2-13

NO  WITHIN CITY HCP PLANNING AREA

NO  ENVIRONMENTAL RESOURCE REPORT REQUIRED (SEE ADDITIONAL NOTES)

WATER HARVESTING REQUIRED:

YES  (SEE NOTES)

DATE: 9-17-07

**NOTES:** Rain water harvesting must be conducted at this site per the requirements in Land Use Code (LUC) section 3.7.1.1.A, requiring that landscaping should accomplish natural resources conservation; LUC Section 3.7.4.3.B requiring integration of grading, hydrology and landscaping to make the maximum use stormwater for on-site irrigation; and LUC Section 3.7.4.5.B requiring that stormwater and runoff harvesting be used to supplement drip irrigation for both new and preserved vegetation. Techniques to design and implement water harvesting are described in the City of Tucson's Water Harvesting Guidance Manual. This document can be downloaded as a pdf file from the following website:  
<<http://dot.ci.tucson.az.us/stormwater/>>.

To comply with the above-referenced LUC sections, rainwater harvested from building roofs, sidewalks, and parking lots shall be employed to assist in supporting landscaped areas including parking lot tree wells, landscape buffers, sidewalk plantings, and other vegetation locations at the site. Specifications for water harvesting shall be clearly delineated on site plans to ensure it is correctly implemented at all necessary stages of construction.

The Office of Conservation and Sustainable Development is available for consultation regarding water harvesting principles, techniques and code requirements. Contact Ann Audrey at 791-4545, x119, or Frank Sousa at 837-6581 to make an appointment.

This is a preliminary review and is based upon information presented by the property representative/applicant. Subsequent information may result in additional staff review comments, requirements, or corrections.

Reviewer/Department: Frank Sousa /Office of Conservation and Sustainable Development  
Address: 345 E. Toole Avenue, PO Box 27210, Tucson, Arizona, 85726-7210  
Phone: (520) 837-6581



City of Tucson Urban Planning and Design

REZONING/SPECIAL EXCEPTION  
PRESUBMITTAL PREAPPLICATION REVIEW

Case Number: 10-17-07 - 396-440 E. Toole Avenue

(MO-DAY-YEAR - Address)

Applicant Name City of Tucson, City Manager's Office

Address 255 W. Alameda City tucson State az Zip 85701

Daytime/Message Phone: 837-4070 Fax: 791-5198 E-mail: chad.anderson@tucsonaz.gov

Existing and Proposed Use

Existing Use: Industrial Proposed Use (Required): OCR-2

Building Height # of Stories Floor Area of Non-res. Dev.

Project Location

Address (if assigned): 396-440 E. Toole Avenue

Location (major cross streets): Toole & 6<sup>th</sup> Avenue

Parcel Number: 117-06-081D Township 14 Range 13 Section 12 Zone I-1

Plan Direction

Adopted Plan (s): El Centro Redevelopment Plan

Plan Amendment Required Based on Concept Presented (See Notes Below)

YES  NO  To be Confirmed Later

Plan Support Based on Concept Presented (see Notes below):

YES  NO  Will Depend on Design

Design Compatibility  Environmental Resource Report

Reviewed By: drcorral

Date: 10-17-07

City of Tucson  
Urban Planning and Design Department

Presubmittal Preapplication Review  
Page 2 of 3

**Applicable Plan Policies:** The *El Centro Redevelopment Area* designated by the Mayor and Council in December, 1982, establishes guidelines and procedures for development within the area. Specically, the site is located in the Core Support District of the El Centro Redevelopment Plan with plan policy as follows:

## VII. LAND USE PLAN SHOWING PROPOSED USES OF THE AREA

### B. CORE SUPPORT DISTRICT

The core support district will contain those uses needed to support the core district but that are not necessarily desirable in the core district, such as large parking structures. Adaptive reuse projects offer a strong potential for blending the old with the new. Downtown circulation patterns are dependent on the interface with State Route 210. Circulation in this area will again stress the importance of auto/transit/pedestrian mode balance and parking concentrations which produce minimized impacts on the total system. Pedestrian circulation will focus on linkages between parking and core district. Land Uses arranged in a complementary manner to pedestrian circulation will continue to be an important consideration in this district, along with the continuity of pedestrian amenities established in the core district.

Specifically, the following development standards shall apply:

1. Uses Permitted: Business, professional, public and general purpose office; retail; general services; entertainment and recreational; restaurant; hotel; high density residential; and parking.
2. Development Pattern: Ground floor uses will be designed to encourage and attract pedestrian traffic. Whenever possible, historic and contributing structures will be retained in adaptive reuse projects. Unsatisfied parking needs generated in the core district will be satisfied in this district.
3. Height Restrictions: Building height will be limited to 300 feet.
4. Pedestrian Circulation: Pedestrian circulation and interaction will be encouraged in the core support district through minimum sidewalk widths of 12 feet, improved sidewalk surfaces, handicapped ramps, and where appropriate, elevated walkways, benches or seating areas, pedestrian arcades, public open space, ground level illuminations, and shade, either through structural overhangs or trees. Development in core support district blocks adjacent to the Government/United Bank Plaza will include pedestrian linkages to this complex as an integral part of their design.
5. Minimum Usable Open Space Per Residential Dwelling Unit: Consideration will be given to eliminating the open space requirement due to the special character and nature of the development area.
6. Required Parking: See the Parking Requirements in Section IX.C. of this *Plan*.
7. Circulation: (same as VII.A.7)

### C. PARKING REQUIREMENTS

2. Parking Requirements: At the present time, the existing *Code* will regulate parking in the downtown. However, the parking plan and prior studies should investigate the feasibility of the following requirements for the three land use districts and the SRA.



City of Tucson Office of Conservation and Sustainable Development

REZONING/SPECIAL EXCEPTION  
PRESUBMITTAL PREAPPLICATION REVIEW

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ADDRESS: 255 W ALAMEDA CITY: TUCSON STATE: AZ ZIP: 85726

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WATERCOURSE NAME:

RIPARIAN HABITAT CLASS AND SOURCE: NONE

IN AN ADOPTED BASIN MANAGEMENT PLAN (S): NONE

APPLICABLE RIPARIAN CODE(S) AND/OR POLICIES

NO  ERZ NO  WASH NO  REGULATORY FLOW – DEVELOPMENT STANDARD 2-13

NO  WITHIN CITY HCP PLANNING AREA

NO  ENVIRONMENTAL RESOURCE REPORT REQUIRED (SEE ADDITIONAL NOTES)

WATER HARVESTING REQUIRED:

YES  (SEE NOTES)

DATE: 9-17-07

**NOTES:** Rain water harvesting must be conducted at this site per the requirements in Land Use Code (LUC) section 3.7.1.1.A, requiring that landscaping should accomplish natural resources conservation; LUC Section 3.7.4.3.B requiring integration of grading, hydrology and landscaping to make the maximum use stormwater for on-site irrigation; and LUC Section 3.7.4.5.B requiring that stormwater and runoff harvesting be used to supplement drip irrigation for both new and preserved vegetation. Techniques to design and implement water harvesting are described in the City of Tucson's Water Harvesting Guidance Manual. This document can be downloaded as a pdf file from the following website:  
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This is a preliminary review and is based upon information presented by the property representative/applicant. Subsequent information may result in additional staff review comments, requirements, or corrections.

Reviewer/Department: Frank Sousa /Office of Conservation and Sustainable Development  
Address: 345 E. Toole Avenue, PO Box 27210, Tucson, Arizona, 85726-7210  
Phone: (520) 837-6581

City of Tucson  
Urban Planning and Design Department

Presubmittal Preapplication Review  
Page 3 of 3

- b. Core Support District.
  - 1) Up to 50% of parking requirements may be met by in-lieu fees or parking assessment district payments.
  - 2) The interruption of pedestrian paths by parking access will be minimized.

XV. DESIGN OBJECTIVES

Developer(s) will be required to meet the design objectives listed below in order to achieve sound and attractive development and to ensure that the new development is properly integrated into the area.

- A. Provide building orientation siting and an arrangement and relationship among uses and structures in an interesting sequence that defines, complements, and supports a strong pedestrian network and transportation system as an integral part of the overall design and project activity.
- B. Provide an attractive urban environment utilizing form and materials that blend harmoniously with adjoining areas.
- C. Provide for well-designed open spaces in relation to new buildings, including appropriately screened and landscaped pedestrian and parking areas.
- D. Provide maximum separation and protection of pedestrian access routes from vehicular traffic arteries and optimum internal pedestrian circulation routes within the development.
- E. Provide adequate setbacks or acoustical shielding from traffic noise.
- F. Otherwise reflect standards of quality and excellence required for acceptance of the concept through site plan review procedures.

Based on the *El Centro Redevelopment Area, CORE SUPPORT DISTRICT*, the applicant's request is supported depending on design. A plan amendment is not required for a rezoning request to OCR-2. Appropriate design details to be provided at the time of development plan review.

Additional notes:

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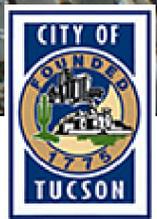
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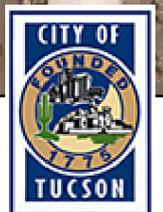


**C9-08-06 Historic Area Depot - Toole Avenue**  
June 2008 Aerial





**C9-08-06 Historic Area Depot - Toole Avenue**  
2005 Aerial





CITY OF  
TUCSON  
PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

June 25, 2009

Mr. Mike Letcher  
City Manager  
City of Tucson  
255 W. Alameda, POB 27210  
Tucson, AZ 85726-7210

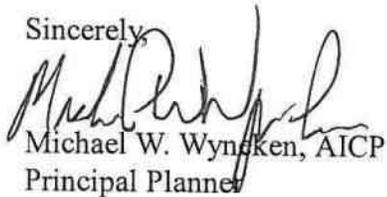
Subject: C9-08-06, City of Tucson I-1 to OCR-2

Dear Mr. Letcher:

On October 7, 2008, Mayor and Council adopted Ordinance No. 10588 establishing conditions of rezoning for case C9-08-06. The ordinance became effective and the zoning changed to OCR-2 on November 7, 2008. The case has been closed.

If you have any questions, please contact me at 837-4955.

Sincerely,



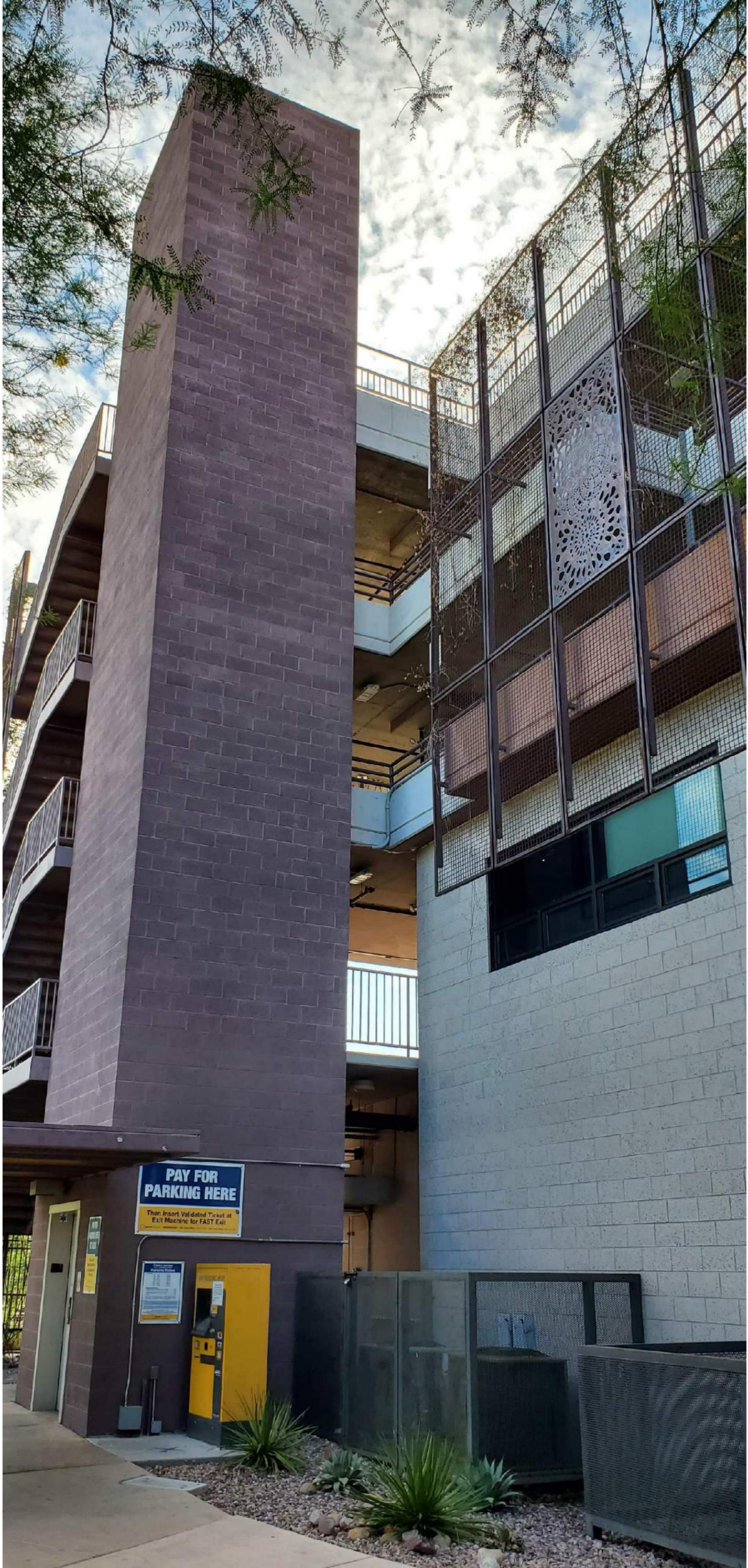
Michael W. Wyncken, AICP  
Principal Planner

s:/rezoning/c9-08-06/c9-08-06 closure 30-day

Attachment: Ordinance Map

CC: File  
TDOT Director  
City Clerk  
City Engineer  
IT Mapping Section  
DSD – Zoning Information  
DSD – Engineering  
DSD – CDRC  
Pima County Addressing  
Pima County Assessor's Office  
Tucson Electric Power

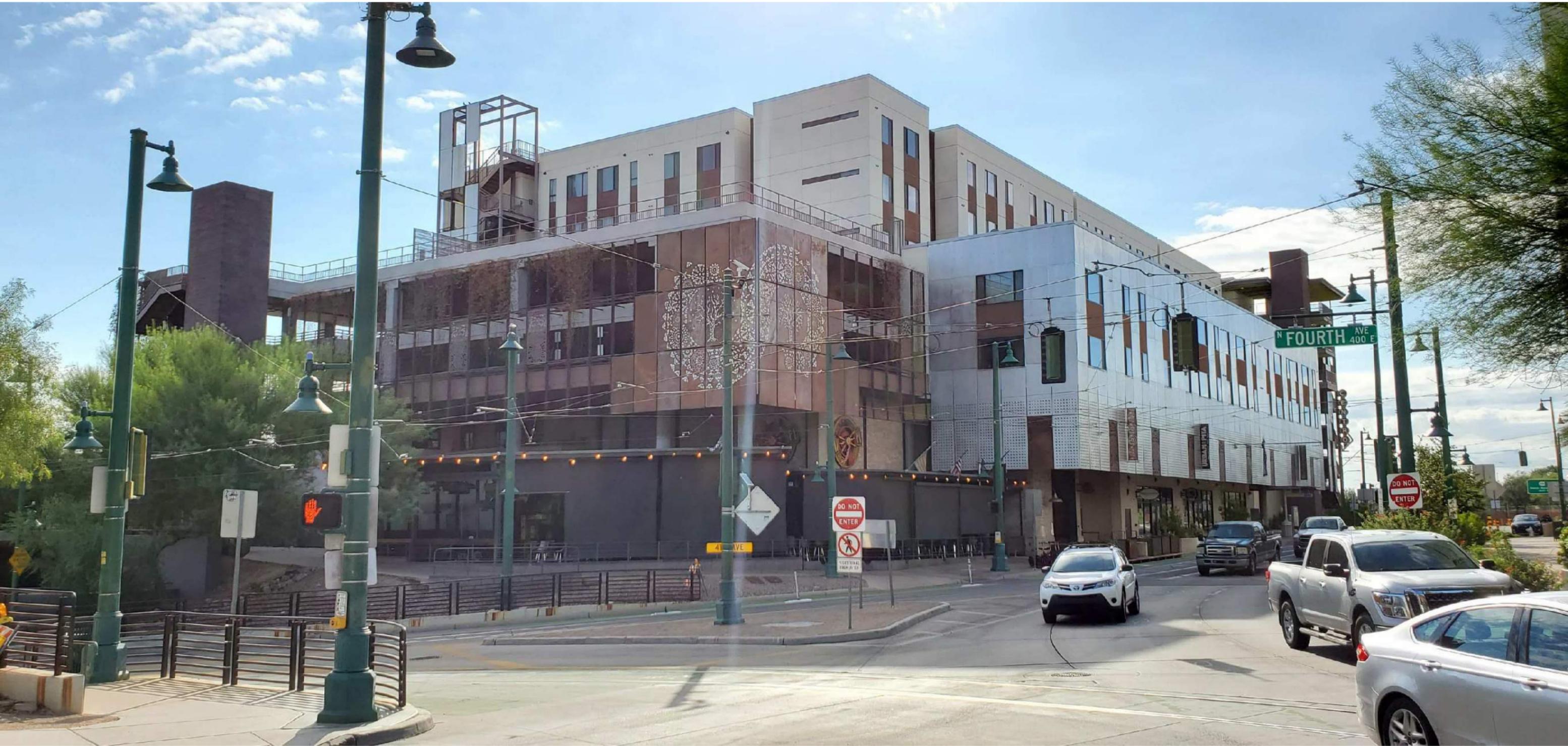




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