

# 18 w 18

18 & 28 west 18th street  
tucson, arizona 85701

IID - second submittal august 01, 2019



2030 east speedway boulevard  
suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com



342 e mabel street  
tucson, arizona 85705  
phone: 520.301.7273  
web: www.ha-ru.co



**EQUILIBRIUM**  
REAL ESTATE INVESTMENTS

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APPLICATION

DP18-0283 DS19-04

Case Number IID-19-04 / HPZ-19-54 (T19SA00221) Date Accepted: 6/12/2019

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): 18 W 18

Property Address: 18 + 28 WEST 18<sup>TH</sup> STREET

Applicable Area/Neighborhood/Overlay: BARRO VIEJO NEIGHBORHOOD ASSOCIATION

Zoning: C-3 Historic Status:

TUCSON E 41.6' LOTS 10 + 11 Bk 121

Legal Description: TUCSON LOTS 10 + 11 EXC E 41.6' THEREOF Bk 121

Pima County Tax Parcel Number/s: 117-07-207A + 117-07-206A

Site and Building Area (sq ft): SITE: 24,393 sq ft EXIST. BLDG: 1,190 sq ft NEW BLDG: 23,006 sq ft

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: DALE RUSH (HAZELBAKER/RUSH)

EMAIL: DALE@HA-RV.CO

PHONE: (520) 301-7273 FAX: ( )

ADDRESS: 342 E LABEL STREET

PROPERTY OWNER NAME (If ownership in escrow, please note): EQ 28 W 18<sup>TH</sup> STREET, LLC

PHONE: (520) 861-7712 FAX: ( )

PROJECT TYPE (check all that apply):
[X] New building on vacant land
( ) New addition to existing building
[X] Change of use to existing building
( ) New building on developed land
( ) Other

Related Permitted Activity Number(s): DP18-0283

DESCRIPTION OF USE: MULTI-UNIT SINGLE FAMILY HOUSING AND RETAIL

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

[Signature]
SIGNATURE OF OWNER/APPLICANT

JAN. 14, 2019
Date



### SUBMITTAL REQUIREMENTS

**PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

✓	1. <b>Application</b> form (signed by the Property Owner or Authorized Agent – include letter of authorization).
✓	2. Written <b>summary</b> of neighborhood meeting with sign in sheet and agenda (if applicable).
✓	3. Project <b>statement</b> outlining scope of work.
✓	4. UDC compliance review <b>comments</b> (obtained at the 1 <sup>st</sup> floor).
✓	5. Pima county assessor’s record parcel <b>detail</b> and record map.
✓	6. Color aerial <b>photograph</b> of subject property (if applicable).
✓	7. Color, labeled <b>photographs</b> of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
✓	8. Color <b>photographs</b> of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
✓	9. Site <b>Plan</b> (and landscape plan and floor plans if applicable) drawn to scale at 11”x17”, folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
✓	10. <b>Elevations</b> (and contextual elevations if applicable) drawn to scale at 11”x17”, folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
✓	11. <b>Samples</b> , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
✓	12. <b>PDF</b> of all above listed items (number of hard copies may be required).
✓	13. Applicable <b>fees</b> (payable to City of Tucson).
✓	14. (Other)

\*For 11” X 17” format “z” fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

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*For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.*

*By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.*



**CASE INFORMATION**

*(To be completed by PDSD staff at pre-application meeting)*

**CASE INFORMATION**

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Case Number (E.g. HPZ-14-11, IID-15-01): # IID-19-04

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Related Permitted Activity Number(s): # DP18-0283

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Review Process (E.g. HPZ, DDO, IID – Major/Minor): Major

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Applicable Fees: \$768.00

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Pre-Application Accepted by: Koren Manning, PDSD + Maria Gayosso, PDSD

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Pre-Application Meeting scheduled for: January 28, 2019

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Additional Notes:

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Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

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Sofonias Astatke  
EQ 28 w 18<sup>th</sup> St, LLC  
220 E 6<sup>th</sup> Street  
Tucson, AZ 85705

October 30, 2018  
To:  
The City of Tucson  
201 N. Stone Avenue  
Tucson, AZ 85701

To Whom It May Concern:

As the legal Owners of the property and building at 18 and 28 W 18th Street, we hereby authorize Dale Rush of haru studio, llc to act as our agent in all proceedings regarding obtaining city approval for the construction of our commercial project. This allows him to obtain/submit applications and/or any additional information which may be required, to speak on our behalf to Planning and Building staff and elected and appointed officials, and to obtain all permits necessary to complete the construction of our project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sofonias Astatke', with a long horizontal flourish extending to the right.

Sofonias Astatke  
Managing Partner  
EQ 28 w 18<sup>th</sup> St, LLC



**Infill Incentive District Case # IID-19-04: 17 & 28 West 18<sup>th</sup> Street  
January 28, 2019 Preapplication Meeting Notes**

*Prepared by City of Tucson Planning & Development Services Department (PDSB)  
Contact: María Gayosso, Lead Planner, 520-837-6972, maria.gayosso@tucsonaz.gov*

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**Case # IID-19-04**

**Project Name:** 18 W 18

**Project Addresses:** 18 & 28 West 18<sup>th</sup> Street, and 735 South 7<sup>th</sup> Avenue

**Parcel #:** 117-07-207A & 117-07-206A

**Related Activity Numbers:** Development Package # DP18-0283

**Zoning:** C-3

**1. Attendees:**

Vanessa Lane, Equilibrium  
Tim Kilpatrick, Equilibrium  
Dale Rush, HA/RU  
Koren Manning, PDSB  
Jodie Brown, PDSB

John VanWinkle, PDSB  
Carolyn Laurie, PDSB  
Steve Shields, PDSB  
María Gayosso, PDSB

**2. Applicant's Proposal:**

- a) Redevelopment of two pieces of property in Barrio Libre Historic Neighborhood;
- b) Currently three structures on site: One is contributing to the National Register District;
- c) The non-contributing structures to be demolished;
- d) The project includes:
  - Sixteen attached and detached single-family residences (each residence to be sold with its own lot);
  - Single-family residences are two and three stories high;
  - One parking space garage for each of the three three-bedroom single-family residences;
  - Two three-story structures with a total of six studios for rent;
  - The contributing structure (a bungalow) to be re-purposed for Retail land use – Envisioning a Café Bistro/Bookstore that serves alcohol; no outdoor square footage to be added; roof and windows to be replaced
  - Non- gated, one-way parking area access lane (PAAL) along the north side of the project, with two parallel parking spaces;
  - On-street parking spaces on 18<sup>th</sup> Street and 7<sup>th</sup> Avenue;
- e) Project currently going through the Tentative Plan/Development Package review process under Activity # DP18-0283;
- f) Project already discussed with Council Member Kozachik from Ward 1;
- g) Project located within the Greater Infill Incentive District, and will be requesting the following exemptions through the IID process:
  - Setback requirements;
  - Parking reduction greater than 25%;
  - Solid waste collection; and
  - Landscaping and screening requirements.

### 3. Staff's Preliminary Feedback:

- a) An Individual Parking Plan (IIP) will be required; analysis to include overnight parking; IIP will need to be filed with Mark Castro from PDSD and will need to be reviewed by Donovan Durban, Park Tucson's Manager;
- b) Neighborhood may raise concerns related to on-street parking;
- c) Applicant to coordinate with Environmental Services to explore alternatives for refuse collection;
- d) Applicant to coordinate with Zoning Administrator to explore alternatives for alcoholic beverage service;
- e) Considering the location of the parking garages facing the proposed one-way parking area access lane (PAAL), the minimum required width of the PAAL is 24 feet; for PAAL with reductions of less than 10%, applicants can file for a Technical Standard Modification Request (TSMR); since the proposed width of the PAAL is 12 feet, staff will investigate if the width reduction can be processed through the IID;
- f) Revise massing concept to reflect what is actually being proposed for the project;
- g) All on-site and off-site pedestrian ways must be labeled;
- h) Application must label in elevation drawings proposed colors and materials;
- i) Site plan, landscape plan, and elevation drawings must be fully dimensioned;
- j) Applicant to coordinate with Building Code staff for ADA requirements for the residences;
- k) Retail uses will need to be ADA accessible; ADA accessibility to be provided on the side of the contributing structure, to minimize impact on the historic significance of the structure;
- l) Tall wall next to the historic structure, will need to be stepped down to minimize impact to the historic significance of the structure;
- m) If roof and windows are to be replaced, new materials must be similar to the historic materials on the contributing structure; window and door openings will need to be maintained;
- n) Project will need to be reviewed by the Tucson-Pima County Historical Commission's Plans Review Subcommittee (PRS).

### 4. Next Steps:

- a) Applicant to start working with the Individual Parking Plan;
- b) Applicant to coordinate with Zoning Administrator for options for alcoholic beverage service;
- c) Applicant to coordinate with Environmental Services for options for refuse collection;
- d) Applicant to hold neighborhood meeting prior to filing IID application; applicant will need to file application for notification labels and pay applicable fees; applicant to mail notices at least 10 calendar days prior to date of neighborhood meeting; applicant can share with staff notification and presentation with anticipation for feedback;
- e) Staff to e-mail pre-application packet to other City departments for feedback; may need to hold a second pre-application meeting;
- f) Staff to investigate process needed to address the PAAL width reduction;
- g) Once complete IID application is filed and accepted and fees paid; staff and Design Professional have 20 working days to review;
- h) Applicant will need to go first through historic PRS review, then through IID Design Review Committee (DRC) review; for these meetings, applicant must be prepared with materials board;
- i) Once recommendations by the Design Professional, PRS and the DRC are issued, the PDSD Director issues a decision;
- j) Once PDSD Director's decision is issued, there is an appeal period of 14 calendar days.

# IID neighborhood meeting

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## **18w18 neighborhood meeting summary**

### **project overview:**

The project is located on the northeast corner of 7<sup>th</sup> avenue and 18<sup>th</sup> street. There will also be a new access aisle with parallel parking along on the northern property boundary. The project will be developed by Equilibrium Real Estate Investments ("Equilibrium" or "EQ") pursuant to the Infill Incentive District (IID). Equilibrium's brand/title for this project is yet to be finalized for the purposes of this submittal the project will titled "18w18" or "18 west 18<sup>th</sup>".

**meeting date + time:** Thursday, March 14, 2019 from 5:30 p.m. to 6:45

**location:** Santa Rosa Recreation Center and Park  
1080 S. 10<sup>th</sup> Avenue, 85701  
Tucson, Arizona

### **meeting invitation & mailing:**

All properties within the 300-ft. notification area and all registered neighborhood associations within 1 mile were sent a meeting invitation letter via First-Class Mail in conformance with the city's Unified Development Code (U.C.D.) 3.2.2 C.3 and Table 3.2-1. The mailing occurred on February 27, 2019, using city generated mailing labels. See attached invitation letter.

### **attendance:**

Approximately 17 neighbors and/or representatives from neighborhood associations attended per the attached sign-in sheet.

**project team:** The Project Team in attendance were:

- Vanessa Lane, Equilibrium
- Kevin Hall, Cypress Civil Development
- Darci Hazelbaker, haru studio
- Dale Rush, haru studio

### **meeting synopsis:**

Mr. Rush started by introducing himself and Darci Hazelbaker, which make up the architecture firm, followed by introducing the developer, Equilibrium. After being introduced, Vanessa Lane welcomed the attendees, and gave a brief description of who Equilibrium was and their goals for this project. Mr. Rush then proceeded with an explanation of the project scope, including the site location, the single family dwellings (16), the apartment dwellings (6), and possible uses for the existing historic house that is on the site. After Mr. Rush explain the scope of the project, he then showed different precedents around the immediate Barrio neighborhood that helped inform the design and material choices of 18w18. The precedents were examples of homes in the nearby barrio that created an urban edge by using tall masses that push up to the lot line. There were also examples of private courtyards that were along the urban edge that could briefly be viewed by the public due to a screen wall separating the public sidewalk from the private courtyard.

Mr. Rush gave an overview of the ground level floorplan and the new vegetation that is going to be planted on and around the site. He explained that there will be new trees and shrubs planted in the right of way along 18<sup>th</sup> street and 7<sup>th</sup> street. In his explanation of the site plan he also described the plan to add a parking/access aisle running east-west along the very north edge of the site. This "street" is to act as parallel parking for the residents and give car access to the units with a car port.

Mr. Rush finished the presentation with a series of rendered elevations and perspectives depicting what it might look and feel like if a person was to walk by the built project. The project team then took questions and comments from the attendees. The meeting was concluded around 6:45 p.m. after all questions had been asked and answered to the best of the project team's abilities.

### question + answer topics:

The questions and comments lasted about forty-five minutes and focused on several different topics. Below is a summary of question topics and how the project team responded to each of the topics.

- **parking-** There were many questions and comments about the Project's impact on the parking load around the site. Residents that attended the meeting had concerns that new residents of 18w18 would be taking existing street parking spots because of the lack of on-site parking. The project team stated that the hope is by creating less on-site parking, residents of 18w18 would be more inclined to use other modes of transportation (e.g., public transit, bicycles or ridesharing). It was noted that within a two block radius of the site there are four bus stops and one TUGO bike station. The site is also located just over a mile from downtown which has numerous light rail stations, TUGO bike stations and bus stations.

Attendees asked what measurements have been taken to help the new parking load that the commercial/residential project would have on the neighborhood. The project team explain that they are going to go through the IPP process to determine how many parking spaces would be required and after the process was completed they would know what the parking load is and how many new spaces will be required/provided. This new parking plan will be presented to the neighborhood, subject to comment and review prior to pending approval by the city.

One resident expressed that they would like to be benefited or compensated in some way by the developers of the Project, whether it was by subsidized parking permits or proceeding with a community benefit agreement. The project team said they are open to one of those or some combination of them. The resident attendees also stated that they have no trust in "Park Tucson" to go through with a reasonable parking plan. Several residents stated that in the past the neighborhood had voiced concerns to "Park Tucson" and those concerns were never acted upon, and parking violations that have occurred recently are not enforced often enough.

- **new building scope/scale-** Attendees had a concern about the height/scale of the project and asked whether or not the project would need to be approved by the nearby residents. The project team explained that the lot is zoned C-3 and that according to the code this underlying zoning allows for a 75-ft. tall building, they continued by stating that the estimated height of the project would only be 35-ft. and that the height falls within the zoning code allowable.

Attendees later asked what restrictions are in place to keep a buyer from renting or using a unit as an "AirBnB." The developer said it was something that has not been considered yet due to the early stages that the project is currently in, but preventing online home sharing like AirBnB may be something that is written into the HOA rules and bylaws.

A question from an attendee was asked about the solar street lights that were recently installed and if they were going to be demolished. The project team stated that they had no plans to do anything to the right of way except to plant new trees and other vegetation and repair the sidewalk and curb as needed.

- **trash-** An attendee that lives directly north of the project properties had a concern that the new proposed parking aisle running east-west would house the trash/recycle for collection and the gross smells created by this would have a negative effect on their living. The project team said there would be no trash or recycle bin on the new street. They stated that the trash and recycle would be placed along south Russel Ave. were Five Points Market and Café Desta currently have their trash/recycle collection.

# 18 w 18

18 & 28 west 18th street  
tucson, arizona 85701



## site context

- This site is at the intersection of the commercial corridor of stone / 6th and the residential neighborhoods of Barrio Viejo and Santa Rosa.
- The lot just west of Five Points Market, Bon and Cafe Desta is zoned C-3 and allows 75' max height and 87 units per acre.
- The house at 18th and Russell is a contributing historic property (the Chambers house), and will be rehabbed and remain historic while providing a transitional commercial use for the neighborhood. possibly a book share library, newsstand, coffee shop, wine bar



## intentions and goals

- Activate a vacant site and create a positive addition to the existing community
- Rehabilitate the historic Chamber House
- Fill a need for market rate housing that is appropriate to the neighborhood and responsible in its density
- Target buyer will be multi generational, first time home owners, young couples, possibly young families and retired empty nesters that all see the value in the how walk-able, bike-able, and transit oriented this neighborhood area is.
- Create a compatible development that uses the architecture and aesthetics of the barrios to inform and inspire the design without replicating or copying the surrounding historic properties.
- Not faux historic



## site conditions



site conditions



neighborhood map

this map locates each of the buildings from the precedent examples that follow



## massing inspiration

the typical row houses of barrio viejo and santa rosa tend to push right to the sidewalk to define the urban edge of the neighborhood. the scale of the homes vary as well as the colors and materials, but the massing is typically a rectilinear form with little to no articulation of the planar facade.



1. 459 s. convent ave.



2. 86 w. kennedy st.



3. 326 s. rubio ave.

even with a sloping or hip roof the primary form of the home that is perceived from the sidewalk is rectilinear.



4. 115 w. 20th st.



5. 911 s. meyer ave.



6. 315 w. 18th st.

the white stucco walls become the best back drop to the color provided by the bright green jojoba, and flowering octotillo as well as the best canvas for the play of shadows that our desert sun paints as it passes through the palo verde branches.



7. 762 s. 9th ave.



8. 324 w. 17th st.



9. 600 s. 9th ave.

haru

18 w 18

## courtyard inspiration

sometimes the urban edge is held by a site wall that contains a semi-private courtyard beyond. the green tops of the mesquites spring out above the wall and we catch a glimpse of the life inside these courts through gates and protected windows in the site wall. there are moments when the wood gates offer no sight but only the sounds of whats happening on the other side, and rare moments when wall and gate are held down to reveal an inviting porch.



10. 469 s. convent ave.



11. 424 w. 19th st.



12. 1016 s. russell ave.



13. 350 s. convent ave.



14. 627 s. 9th ave.



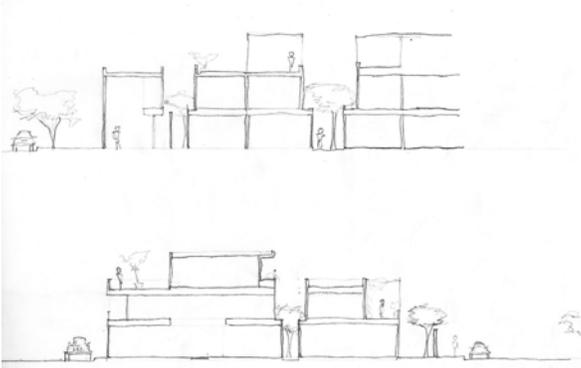
15. 671 s. 9th ave.

haru

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## massing diagrams

while auto access and parking are always issues that have to be designed for, the perception of the building by the pedestrian and the user effect the quality of the experience of the neighborhood much more so. we plan to define a 2 story urban edge with the massing of the building and then pierce this edge with courtyard moments that both break up the mass of the building and pull the attention of the passerby and the tenants or guests into these lush green sanctuaries from the desert heat of the tucson streets. these multi level "canyons" and courtyards will also allow for many opportunities to open the interior of the units up to natural light and ventilation and views.



haru

18 w 18

## site plan



haru

18

material board



wood doors and gates



smooth light stucco



adobe screen walls

haru

18 w 18

elevations

light stucco with accents in wood and steel. adobe framed apertures in the site walls to reveal the green courtyards and canyon walkways. 2 story volumes against the urban edge of the sidewalk with 3 story volumes setback towards the interior part of the site. the materials and basic form will imitate and draw inspiration from the stucco rowhouses while creating a stepped volume that breaks up the monotony of one large facade along the street front.



18th street



7th avenue

haru

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elevations



lalo way / hobday way

height precedent

while many of the buildings in this residential area are single story structures, there are several in the immediate vicinity that are 2 stories or an extra tall single story and act as a precedent for the height we are proposing. the new development (the baffert) at 18th and stone will also be a 3 story precedent for our site.



16. 482 s. stone ave.  
2 stories - 35'



17. 564 s stone ave  
2 stories - 30'



18. 602 s. stone ave.  
2 stories - 27'



19. 718 s. stone ave.  
3 stories - 38'



20. 733 s stone ave.  
2 stories - 32'



21. 702 s. 6th ave.  
2 stories - 26'



22. 711 s. 6th ave.  
1 story - 20'



23. 756 s. stone ave.  
1 story - 21'



24. 715 s. 7th ave.  
1 story - 20'





18th street looking NE

haru

18 w 18



18th street looking NW

haru

22



7th ave

haru

18 w 18

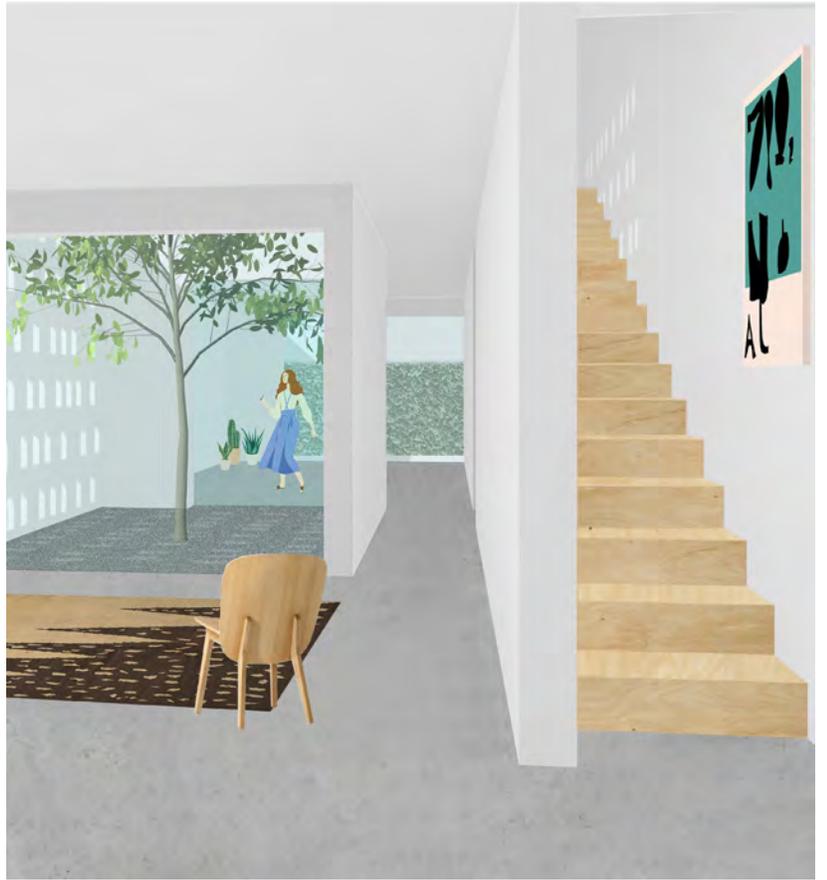
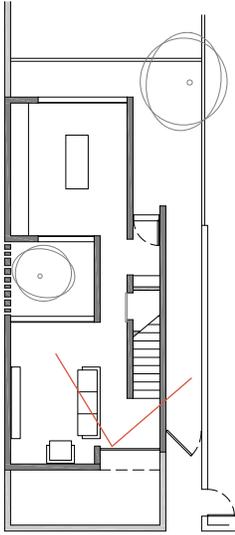


looking east down lalo /hobday way

haru

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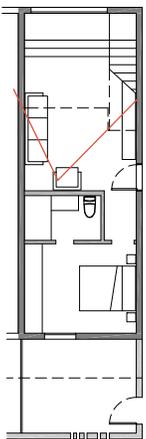
unit type a  
interior court



haru

18 w 18

unit type e  
living room



haru

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If you have any questions or concerns about this project you can feel free to reach out to:

Dale Rush  
hazelbaker rush architects  
520.301.7273  
dale@ha-ru.co

OR

Vanessa Lane  
equilibrium investment  
520.861.9712  
vanessa@equilibriuminvest.com

You may submit comments concerning this project to the Tucson Planning and Development Services Department through:

Maria Gayosso  
PDSD, Lead Planner  
520.37.6972  
Maria.Gayosso@tucsonaz.gov

To: Adjacent property owners and the Barrio Viejo, Barrio Santa Rosa, and Armory Park Neighborhood Associations  
From: Dale Rush –hazelbaker rush architects & Sofonias Astake - Equilibrium Real Estate Investments, LLC  
Project: 18 & 28 West 18<sup>th</sup> Street  
Scope: new construction of 16 two bedroom single family homes and 6 one bedroom apartments, as well as, the renovation of an existing contributing historic house for a new retail use.

28 west 18<sup>th</sup> street was most recently an auto repair garage with a couple open air shade structures and a Quonset type garage/storage building. This property is zoned commercial (C-3), and none of the structures on this lot are historic or viable for renovation.

18 west 18<sup>th</sup> street is a modest single story bungalow built in the 1920's known as the Chambers House. It is a contributing property to the Barrio El Libre Expansion Historic Preservation District and as such the exterior will be rehabilitated and windows and doors updated without affecting the historic character of the structure. The property is Zoned Commercial (C-3). The interior will be remodeled to allow for a retail/mercantile (with accessory alcohol sales) type use without adding square footage outside the existing footprint of the home. We want the space to still feel like a home, and the retail use that moves in will be something that is complimentary to the Five Points Market and fits the idea that this house on the corner can be like a living room to the residents of the new homes on the adjacent lot and to the current residents of Barrio Viejo and Santa Rosa and Armory Park.

The current owners of both properties, Equilibrium Realty, LLC, have hired hazelbaker rush to design a multi-unit residential project that will use the character of Barrio Viejo as inspiration to create a series of homes that define the urban edge like the historic row houses while at the same time generating visual interests to the neighbor passing by on the street with screen walls and openings in the urban edge to give glimpses into landscaped courtyards and patios. Hints of secret gardens beyond the site walls. We are also planning to build each unit as highly efficient nearly net zero energy use homes. Through the use of high insulation values, and low air infiltration rates, passive lighting and heating strategies we will decrease electrical power usage needed, and supplement that lower need for power with roof mounted solar panels.

These single family homes are being developed for sale, not for lease, and as such the new potential buyers will become new contributing neighbors to the community here. The tenant demographic will be primarily young professionals 25-40, singles and couples with possibly a few being newly started families with young children purchasing their first home close to the city center. We also think these homes will be desirable by young at heart "empty nesters" wanting to downsize their larger family houses and yards for something more manageable and near the cultural amenities of downtown Tucson and the five points area.

We envision this project becoming a vital part of the already vibrant community that Barrio Viejo and Barrio Santa Rosa have fostered, and we are employing several design strategies to ensure the homes fit into the aesthetic context of the neighborhood.

You are cordially invited to attend a meeting with the owners of 18 & 28 west 18<sup>th</sup> street, other adjacent property owners, and myself to review our proposed plans and give an opportunity to voice your support or express any concerns.

time: 5:30pm  
date: Thursday March 14<sup>th</sup>, 2019  
place: Santa Rosa Community Center, meeting room  
1080 S. 10<sup>th</sup> Avenue, Tucson, AZ 85701

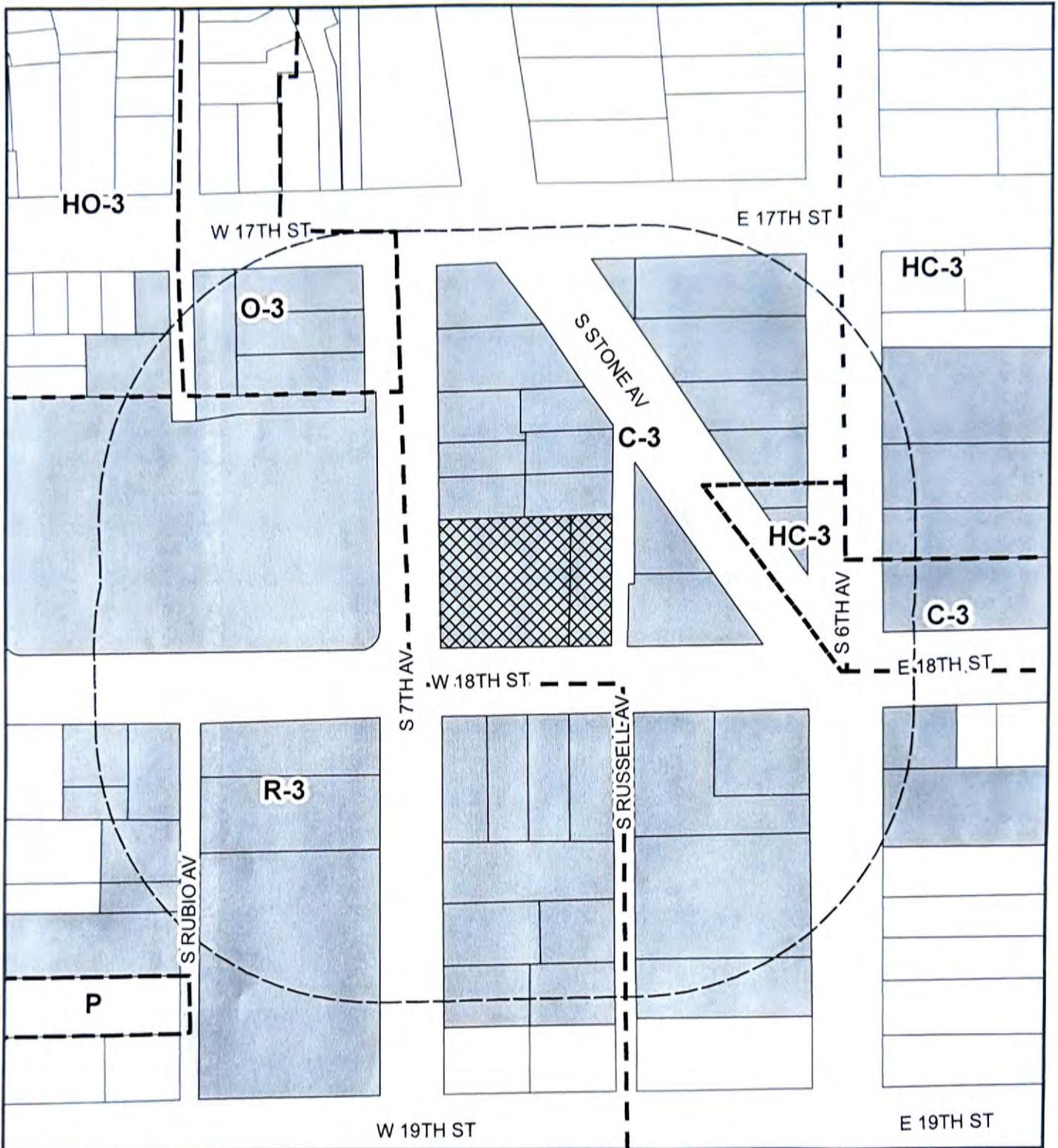
I look forward to seeing you there.

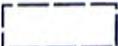
Sincerely,



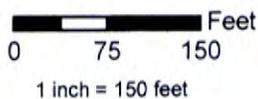
dale rush  
principal

IID-19-04 - 18 & 28 West 18th St and 735 S 7th Ave



-  Subject Property
-  300' Notification Area
-  Zone Boundaries
-  Properties Notified

Address: 18 & 28 West 18th St and 735 S 7th Ave  
 Base Maps: Twp.14S Range13E Sec. 12  
 Ward: 6



name	address	phone	email
JEFF GRUBBS	825 S 7th Ave 85701		JGRUBBS@COX.NET
Anne Cooper	Armony Park neighborhood 414 S Ythave 85701		anneclarkcooper@gmail.com
Norma Benitez	33 W 18th 85701		
Juan Manzanedo	33 W 18th 85701		manzanedos@aol.com
Blake Junak			bjunak@cypressvill.com
Johanna Barr	c/o APNA PO Box 2132		jodaba@hotmail.com
MIRANDA STEVENS			
BEN SCHINDLER	733 S. 3RD AVE		
DAVID BENITEZ	33 W 18th		
Garnett Steffgen	117 W 19th st		
Laurz Horley	117 W 19th st		
Kristin Sartore	725 S 7th Ave		ksartore@yahoo.com
Columba Hvarague	911 W 25th st		clumbaha@gmail.com
MARTHA McCLEMENTS	336 E. 16th st		mmcclements@EARTHINK.NET
Daniel Salomon	61 W Kennedy		BUDSalomon@hotmail.com
Diana Amado	Ward 6 Council Office		diana.amado@TucsonAZ.gov





**CERTIFICATION OF MAILING**

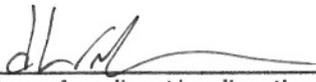
I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to \_\_\_\_\_

to be mailed to everyone on the mailing list on 02/25/2019,  
(date of mailing)

for the neighborhood meeting to be held on 03/14/2019.  
(date of neighborhood meeting)

  
(signature of applicant/applicant's agent)

02/26/2019  
(date signed)

Documentation if available (such as receipt)

# project

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## **18w18 project summary**

18w18 (or the “Project”) is a primarily residential development that will bring much-needed market rate single family homes to the Five Points area. Equilibrium Real Estate Investments (“Equilibrium” or “EQ”) is developing the Project located at the north side of west 18<sup>th</sup> street between 7<sup>th</sup> and Russell avenues. 18w18 will add a medium density, well-defined urban infill development to an already thriving, fairly dense neighborhood, and will promote the walk-able and bike-able nature of the Barrio Viejo and Armory Park neighborhoods south of downtown.

Equilibrium understands that a new development in this area must preserve the historic character of the existing homes as well as find inspiration in the cultural significance of the community to inform the proposed design.

### **property overview**

28 west 18<sup>th</sup> street was most recently an auto repair garage with a couple open air shade structures and a Quonset type garage/storage building. This property is zoned commercial (C-3), and none of the structures on this lot are historic or candidates for renovation.

18 west 18<sup>th</sup> street is a modest single story bungalow built in the ‘20’s known as the Chambers House. It is a contributing property to the Barrio El Libre Expansion Historic Preservation District and as such the exterior will be rehabilitated and windows and doors updated without affecting the historic character of the structure. The property is Zoned Commercial (C-3). The interior will be remodeled to allow for a retail/mercantile (with accessory alcohol sales) type use without adding square footage outside the existing footprint of the home. We want the space to still feel like a home, and the retail use that moves in will be something that is complimentary to the Five Points Market and fits the idea that this house on the corner can be like a living room to the residents of the new homes on the adjacent lot and to the current residents of Barrio Viejo and Santa Rosa and Armory Park.

### **proposed development**

Equilibrium and the design team is proposing a medium density multi-unit residential project that will use the character of Barrio Viejo as inspiration to create a series of homes that define the urban edge like the historic row houses while at the same time generating some visual interests to the neighbor passing by on the street with screen walls and openings in that urban edge to give glimpses into landscaped courtyards and patios. Hints of secret gardens beyond the site walls. In these early stages Equilibrium currently plans to build each unit as highly efficient nearly net zero energy use home. Through the use of high insulation values, and low air infiltration rates, passive lighting and heating strategies we will decrease electrical power usage needed, and supplement that lower need for power with roof mounted solar panels. Overall the project will:

- provide 16 single family market rate homes for sale on a neglected and historically underused site
- provide one apartment building with 6 studio apartments
- maintain and restore one historic, but vacant and deteriorating home and provide a small retail use for the growing five points commercial area.

Because these single family homes are being developed for sale, not for lease, the new potential buyers will become new contributing neighbors to the community here. Invested in the prosperity and security of the existing neighborhood and neighbors. The tenant demographic will be primarily young professionals 25-40, singles and couples with possibly a few patrons being newly started families with young children purchasing their first home close to the city center. We also think these homes will be desirable by young at heart “empty nesters” wanting to downsize their larger family houses and yards for something more manageable and near the cultural amenities of downtown Tucson and the Five Points area.

## **developer overview**

Equilibrium is an established – yet forward thinking – investment management firm motivated to create growth opportunities for both investors and communities. Based in Tucson, EQ is committed to improving individual properties and neighborhoods. Equilibrium’s management members and employees live in the downtown and mid-town communities that make up the heart of Tucson. EQ currently has several other projects underway in the Five Points area, including the renovation of a forgotten property on South 6<sup>th</sup> Avenue only a few blocks away which will include their new office headquarters. They are invested in the community here and dedicated to increasing the supply of affordable and well built homes in a market with limited options for its residents.

## **project team overview**

Equilibrium recognizes the importance of using local consultants who know and understand the unique aspects of designing and building a project in Tucson. As a result, it has chosen the following team for the project which is made up entirely of local consultants and design professionals.

Architect – haru studio, inc (haru): haru is an architecture studio founded in Tucson in 2011 with a commitment to creating beautiful spaces and experiences. The goal of the studio is to instill a warmth and comfort into a minimalist aesthetic, and to create smart spaces combining the vernacular design, materials, and construction strategies of a place with modern, sustainable technology.

Civil Engineer – Cypress Civil Development: Cypress is one of Tucson’s most successful civil engineering firms, working throughout the region on projects in all areas of development. Their committed team of engineers and planners are dedicated to bringing clients’ visions to life while enforcing sustainable practices in the spirit of creating long lasting developments.

Landscape Architect – Arc Studios, Inc: ARC is a professional Landscape Architecture firm with offices in Tucson and Phoenix and a reputation for providing valuable and efficient professional services without compromising design or creativity. ARC incorporates architecture, science, and ecology to integrate design, cultural and environmental conditions, to promote social interaction and memorable living environments.

## **project scope of work questions**

the IID application provides nine questions to help define a projects scope of work. Below are the responses to these questions for the 18w18 project.

1. State the applicant's intention to use the IID zoning option in lieu of existing underlying zoning. The applicant and property owners are choosing to develop the Project using the IID zoning option in lieu of the underlying zoning (C-3).

2. Describe how the project is consistent with the IID purpose to create sustainable infill development.

3. Describe the benefits the project will bring to the adjacent properties and surrounding areas.

18w18 will contribute to the urban environment developing in and around the Five Points area by creating context appropriate, higher-density residences located near an emerging commercial corridor, an existing bus route, and a bike share station. The design and the location encourages its residents to use multiple modes of transportation – walking, biking, transit, car shares and bike shares – as alternatives to owning driving and parking personal automobiles. The commercial corridor along South Stone Ave. and South 6<sup>th</sup> Ave. from Broadway to 22<sup>nd</sup> street is growing, and the proximity of market rate residential projects like 18w18 will help ensure quality restaurants and retail establishments thrive here. This property is currently zoned for high intensity commercial use (C-3), but a large commercial project in this location could be a detriment to the adjacent single family residential uses. We see this project as a transitional use between the commercial corridor along Stone/6<sup>th</sup> and the predominately single family homes of these neighborhoods. The height and density proposed is more than a typical single home on a 1/8<sup>th</sup> acre lot typology, but the impact will be less than a multi-level retail or office type use. And because the majority (16 units) of these homes are for sale the new residents will be invested in the well-being of the already vibrant community here in the Five Points, Barrio Viejo, Barrio Santa Rosa, and Amory Park neighborhoods, more so than a renting tenant may be.

4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors the project will have on adjacent property.

The project will not create any adverse nuisance effects to the adjacent properties. We have placed the trash collection bins in the alley (Russell Ave) where the retail and restaurant uses along stone already have trash located. There is a landscape courtyard buffer between the residences that abut the public right of way and the sidewalk which will mitigate artificial light and sound from the new homes and the street environment. The new residences are pulled back from the existing homes to the north of the site to allow solar access and provide a setback and landscape buffer. The existing neighbors along 18<sup>th</sup> Street and 7<sup>th</sup> Avenue have expressed a concern for the increase in parking load, and the project team will address those concerns more specifically in an Individual Parking Plan to be submitted to PDS for review and approval.

5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Design Standards (UDC 5.12.8.A).

6. Describe how the project will support a safe streetscape coordinated with adjoining properties.

The intent of the Streetscape Design Standards is to ensure a new development in the urban environment is creating an infill project that responds to and engages with the context of its surroundings and patrons, activates the pedestrian activity adjacent to the project, and provides visual character and a comfortable experience when viewed as a pedestrian or driver passing by. This includes prescriptive requirements related to architectural elements, doors and glazing, and requirements for landscaped buffer zones, and protected shading along public sidewalks. The proposed design of the project draws inspiration from the architectural aesthetic of the neighboring row houses and pushes the buildings right to the urban edge of public sidewalk, but then perforates and opens up this defined urban edge into enclosed vegetated courtyards. The landscape within these courtyards will rise above the courtyard walls and peek through openings to provide the pedestrians glimpses into these lush gardens. The landscape will also spill out into the sidewalk area with new shade trees planted between the sidewalk and street curb providing sun protection for pedestrians and the cars parked along the street. The urban edge is interrupted by gates leading through courtyards to the main entrances of the homes. These gates will be numbered and will be identifiable from the street, but the actual home entrances will sometimes not be visible from the street. The sidewalks along 18<sup>th</sup> and 7<sup>th</sup> will remain as existing with repairs as needed. The handicapped accessible ramps from the existing street/alley surfaces to the existing sidewalk will be repaired or rebuilt as needed to ensure the safety those using the sidewalks.

7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC 5.12.8.B).

There are two single family residential dwelling units north of the project, one on 7<sup>th</sup> avenue and one on Russell. The design of the project has kept the new residences a minimum of 27 feet from the shared property line here. At the property line will be a solid screen wall that will be a minimum of 8' tall. The final height of this screen wall will be coordinated and approved with the existing single family property owners to ensure maximum privacy is maintained with minimal loss to solar access if they so desire.

8. Indicate whether the project will significantly impede solar energy options to adjacent properties.

The project will not impede solar access to any adjacent properties.

9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will enhance the project.

The project will provide drought tolerant and native landscaping, as shown on the enclosed landscape plan. The landscaping of the courtyards, common areas, and the streetscape is a key element to creating the experience and lifestyle EQ is striving for here. Making these lush gardens sustainable in their water use is crucial to the design philosophy of the project.

We envision this project becoming a vital part of the already vibrant community that Barrio Viejo and Barrio Santa Rosa have fostered, and we are employing several design strategies to ensure the homes fit into the aesthetic context of the neighborhood in a responsible manner.

## **18w18 modification requests**

The following provides a description outlining the proposed scope of work for the 18w18 – mixed use development as it relates to the Infill Incentive District overlay zone:

The 18w18 development is located on the north side of 18<sup>th</sup> street between 7<sup>th</sup> avenue and Russell avenue. the project is located within the Greater Infill Incentive Subdistrict (GIIS) of the Infill Incentive District overlay zone (IID). This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As part of the GIIS, the Project will be required to comply with the following:

1. Permitted uses listed within UDC 5.12.9.A tbl 5.12-GIIS-1 and per UDC 5.12.9.A.3 any use permitted in the underlying zone (C-3), provided the PDS Director finds the use to be in accordance with UDC 5.12.1;  
Mixed use – Multi-family & attached dwelling with Retail use including alcoholic beverage service.
2. Historic properties, landmarks, and structures within the Infill Incentive District;  
NO demolition or alterations are proposed to a contributing, listed, or eligible to be listed structure within the development area.
3. Loading, Solid waste, Landscaping and screening for all areas in the GIIS;  
The proposed uses do not require a loading zone per section 7.5.5. On-site refuse collection seeks modification (see below), and a complete exception is requested to the Landscape & Screening requirements.
4. Building height and Street perimeter yard;  
The propose building height (36 feet) is well below the allowed height or 75 feet. The proposed perimeter yard seeks modification (see below).
5. Parking standards;  
An Individual Parking Plan outlines the proposed parking modification request.

## **GIIS modification requests**

1. Permitted land use type;  
No modification requested, uses fall under UDC 5.12.9.A
2. Permitted building height;  
No modification requested, underlying zoning allows a maximum building height up to 75 feet. This development seeks a maximum building height of 36 feet.
3. Permitted lot coverage;  
A modification request is sought for individual lot coverage. the allowable site coverage per the underlying zoning (C-3) is 80% and the proposed site coverage is well below at 62%, but the individual lot coverage varies from 52% to 86%. 14 of the 16 residential units have a lot coverage less than 80%, but units 7 and 13 are 86%. All units have access to the common areas between the residences, and this request should be granted because the intent of this requirement is being met by the development as an aggregate.

4. Permitted perimeter yard;

A modification request is sought to reduce or waive the requirements of the perimeter yard per UDC 5.12.9.C.1.b. This request should be granted as defining the urban edge with a one story or two story wall with 0' setback from the property line has been established in several instances around the neighborhood, and is a precedent at the adjacent properties east of Russell (5 points market), and west of 7<sup>th</sup> ave (Barrio Viejo Elderly Housing). This reduction in perimeter yard will not affect sight visibility, traffic safety issues will not be created, and the reduction complies with the standards of UDC 5.12.8.B. The portions of the building that are higher than 25 feet will be 37 feet from the northern property line and over 40' from the nearest traffic lane at 7<sup>th</sup> avenue and 18<sup>th</sup> street.

5. Permitted off-street parking;

A modification request is sought. See the Individual Parking Plan for specifics.

6. Permitted bicycle parking;

No modification requested, the development exceeds the requirements of UDC 7.4.8 and provides 22 short term bike spaces in the right of way and 4 long term bike spaces for the apartments.

7. Permitted solid waste collection;

A modification request is sought. Per conversations with Tom Ryan with Environmental Services the Project plans to provide two 300 gallon automatic plastic containers (APC's) for waste collection and two 300 gallon APC's for recycle collection and locate them on the Russell avenue alley. Collection will happen twice a week to meet the needs of the waste stream calculation shown on the attached site plan (page \_).

8. Permitted landscaping and screening;

A modification request is sought. Per UDC 5.12.9.C.5.b a complete or partial exception to the landscaping and screen requirements of UDC 7.6 may be granted by the PDS Director if shade is provided for pedestrians and customers, such as along sidewalks, pedestrian circulation paths, and outdoor patios in accordance with UDC 5.12.6.A.2. The project proposes shade trees and other landscape planting in the right-of-way along 18<sup>th</sup> street and 7<sup>th</sup> avenue, as well as, shade trees planted in the courtyards close enough to the sidewalk to offer shade from the canopy of these trees once they reach maturity.

9. Permitted off-street loading zones;

No modification requested. Loading zones are not required for the proposed uses per UDC 7.5.5.

These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole.

## 18w18 response to design professional

Many elements of the project have been clarified and a few design changes have been made since city staff and the design professional- Mr. Tom -have reviewed the preliminary submittal. Many comments related to heights and setbacks and materials can be addressed by referring to the updated plans and elevations on pages 62-71. We have created a low-rise medium density residential project that draws inspiration from the historic row houses of Barrio Viejo to define the urban edge along the public right of way at 7<sup>th</sup> avenue and 18<sup>th</sup> street and offer glimpses for the pedestrians into the green courtyards that act as a privacy buffer between the homes and the sidewalk. We use these adobe screen walls to vary the material pallet a bit, speak to the vernacular materials of the barrio, and to set up a rhythm of mass and void for the pedestrian experience. We also step the courtyard walls from single story (8'-6") to two story (24'-0") along this urban edge to vary the massing of the façade.

We are committed to creating a positive addition to the community here and enhancing the streetscape is important to our design and development team. Because the building is pushed right to the property line we will leave the existing sidewalk as is (repairing sections and updating accessible ramps as needed), but will plant shade trees between the sidewalk and curb and also succulents and grasses, and flower shrubs between the sidewalk and courtyard walls. All this landscape in the public right-of-way will be irrigated and maintained by the private HOA. The landscape plan with shade calculations can be found on page 100.

The properties to the north are on parcels that are zoned commercial C-3, and we plan to build a wood privacy fence along the shared lot line between these properties and will coordinate the height of the fence with the owners of these properties, because there is a balance between privacy and solar access and we want the owners affected by this decision to be able to have control over the outcome. We will provide a 2' landscaped strip between the fence and the parking curb to give room for open car doors and to plant some creeping, flowering vines like queen's wreath this will help to dampen the noise from the cars in this parking lane.

The contributing historic structure at 18 west 18<sup>th</sup> street is being saved and rehabilitated. The existing corrugated metal panel fence around the property will be removed and replaced by a low site wall (4'-0") that defines the front courtyard space. This low wall will allow pedestrians full visual access of the front façade while screening the handicapped access ramp that needs to be added in the south east corner of the lot. Along the alley (Russell Ave) we propose an 8' tall wood fence to provide security to the existing windows on the east façade. The property line for this building will remain unchanged on the east, west, and south sides and the site wall along 18<sup>th</sup> street for unit 16 was lowered from 24'-0" in the preliminary design to 8'-6" in this proposed design. Plans and elevations specifically for the historic structure can be found on page 73.

The benefits of higher density urban spaces are well known and many - the convenience, economic, social, and environmental – as long as they are mixed use, walkable and pedestrian scale.

"Most early American cities built before 1945 were designed with higher densities and are now some of the most sought after places to live. San Francisco's "painted ladies" row houses, Brooklyn's brown-stones, Boston's back bay, South Beach in Miami. These neighborhoods have an average density of 30-35 units per acre in mostly low-rise buildings 2-4 stories, with little to no parking on site." \_Center for Urban Design Excellence

The goal we set out for this project was to create housing solutions that met a need for small urban homes near the city center that were affordable to young professionals, couples, and retirees on a fixed income in a way that promoted the use of the limited land in the city for living more than parking, and would reduce or offset the waste associated with new construction. We hope this project becomes net zero (or as close as possible) while attracting patrons that want to also reduce their driving, traffic, air pollution and promote a more sustainable way of life through a well thought and executed design. Focusing on the experience the pedestrian walking by or neighbor across the fence or street, as much as, and with equal importance as that of the homeowner in their living room or their private courtyard is the best urban design practice in lieu of focusing on the spatial needs of the motor vehicle or the prescribed zoning setback or landscape buffer. Overall, I'm confident our team has created a series of homes that use the best urban design practices to ensure these additions to the fabric of the neighborhood are appropriate in context and scale, and considerate of the privacy of adjacent neighbors, and respectful of the historic nature of the existing building on site as well as the community in general.

**Parcel Number: 117-07-207A**

<b>Property Address</b>			
<b>Street Number</b>	<b>Street Direction</b>	<b>Street Name</b>	<b>Location</b>
18	W	18TH ST	Tucson

<b>Contact Information</b>	
<b>Property Owner Information:</b>	<b>Property Description:</b>
EQUILIBRIUM 28 W 18TH ST LLC ATTN:SOFOFIAS ASTATKE 220 E 6TH ST TUCSON AZ 85705-8424	TUCSON E41.6' LOTS 10 & 11 BLK 121

<b>Valuation Data</b>					
<b>Valuation Year</b>	<b>Property Class</b>	<b>Assessment Ratio</b>	<b>Total FCV</b>	<b>Limited Value</b>	<b>Limited Assessed</b>
2018	RES OTHER (4)	10.0	\$149,207	\$141,142	\$14,114
2019	RES OTHER (4)	10.0	\$176,092	\$148,199	\$14,820

<b>Property Information</b>					
<b>Township:</b>	14.0	<b>Section:</b>	13	<b>Range:</b>	13.0E
<b>Map &amp; Plat:</b>	2/4	<b>Block:</b>	121	<b>Tract:</b>	
<b>Rule B District:</b>	3	<b>Land Measure:</b>	5,491.00F	<b>Lot:</b>	00010
<b>Census Tract:</b>	900	<b>File Id:</b>	1	<b>Group Code:</b>	000
<b>Use Code:</b>	0131 (SFR GRADE 010-3 URBAN SUBDIVIDED )			<b>Date of Last Change:</b>	6/12/2018

<b>Sales Information (1)</b>				
<b>Affidavit of Fee No.</b>	<b>Sale Date</b>	<b>Property Type</b>	<b>Sale</b>	<b>Validation</b>
20172370611	8/2017	Single Family	\$270,000	W1 Aut

<b>Valuation Area</b>				
<b>District Supervisor: RAMON VALADEZ District No: 2</b>				
<b>Condo Market</b>	<b>DOR Market</b>	<b>MFR Neighborhood</b>	<b>SFR Neighborhood</b>	<b>SFR District</b>
100	31	CB_ARMORY_PARK	01020201	30

**Recording Information (6)**

Sequence No.	Docket	Page	Date Recorded	Type
20180920453	0	0	4/2/2018	WTDEED
20172370611	0	0	8/25/2017	WTDEED
20070770169	13038	481	4/20/2007	AFFTJT
20030130528	11970	1968	1/21/2003	WTDEED
20000410233	11245	812	3/1/2000	
0	6230	640	3/6/1980	

**Residential Characteristics**

Property Appraiser: Renee Ayala Phone: (520) 724-8010

**Main Structure:**

Appraisal Date:	3/1/2002	Property Type:	Single Family Residence	Area ID:	Ed 30-010202-01-3
Processed:	12/31/1969	Building Class:	3	Physical Condition:	Minimum
Total Living Area:	1,190	Garage Type:	None	Effective Construction Year:	1931
Garage Capacity:	0	Stories:	1	Patio Type:	Covered
Rooms:	5	Patio Number:	1	Quality:	Minimum
Pool Area:	0	Exterior Walls:	8in Stucco	Valuation Type:	00
Roof Type:	Asphalt	Total Main:	\$134,421	Heating:	Other
Total Control:	\$134,421	Cooling:	Evaporative	Total Actual:	\$176,092
Bath Fixtures:	5	FCV Adjustment Factor:	1.000	Enhancement:	\$0
Last Calc:	0903				

**Petition Information (1)**

Tax Year	Owner's Estimate	Petition	Work Up
2004	\$63,000		

**Notes (6)**

Created: 7/31/2018 Modified: 7/31/2018	Per sale review update heat/cool for 20N.
Created: 7/10/2018 Modified: 7/10/2018	2019S to class 4.2 rental Sq20180920453 per sales affidavit / rule a
Created: 6/21/2007 Modified: 6/21/2007	2008: CL 6(4) 10% RULE "B" PER AZ RENTAL FORM
Created: 8/5/2003 Modified: 8/5/2003	A-LEVEL OK
Created: 12/19/2002 Modified: 12/19/2002	12/19/02 2000 TX CREDIT 17%RENTAL 83%OWNER OCCUPIED 2001 2002 ORDERS 2003 NOE ON-LINE 300 AND 2004 UPDATED RENTAL TO OWNER OCCUPIED GEH
Created: 4/22/2002 Modified: 4/22/2002	Grade systematic 4/02: Change to R3Min, update sqft based on review of drawing and aerial review. Changes to be made for 2004.

**Parcel Number: 117-07-206A**

<b>Property Address</b>			
<b>Street Number</b>	<b>Street Direction</b>	<b>Street Name</b>	<b>Location</b>
28	W	18TH ST	Tucson
735	S	7TH AV	Tucson

<b>Contact Information</b>	
<b>Property Owner Information:</b>	<b>Property Description:</b>
EQUILIBRIUM 28 W 18TH ST LLC ATTN: EQUILIBRIUM REALTY LLC 220 E 6TH ST TUCSON AZ 85705-8424	TUCSON LOTS 10 & 11 EXC E41.6' THEREOF BLK 121

<b>Valuation Data</b>					
<b>Valuation Year</b>	<b>Property Class</b>	<b>Assessment Ratio</b>	<b>Total FCV</b>	<b>Limited Value</b>	<b>Limited Assessed</b>
2018	COMMERCIAL (1)	18.0	\$160,000	\$160,000	\$28,800
2019	COMMERCIAL (1)	18.0	\$161,600	\$161,600	\$29,088

<b>Property Information</b>					
<b>Township:</b>	14.0	<b>Section:</b>	13	<b>Range:</b>	13.0E
<b>Map &amp; Plat:</b>	2/4	<b>Block:</b>	121	<b>Tract:</b>	
<b>Rule B District:</b>	3	<b>Land Measure:</b>	18,902.00F	<b>Lot:</b>	00010
<b>Census Tract:</b>	900	<b>File Id:</b>	1	<b>Group Code:</b>	
<b>Use Code:</b>	1770 (AUTO REPAIR GARAGE AUTOS/LIGHT TRUCKS )			<b>Date of Last Change:</b>	2/22/2018

<b>Sales Information (1)</b>				
<b>Affidavit of Fee No.</b>	<b>Sale Date</b>	<b>Property Type</b>	<b>Sale</b>	<b>Validation</b>
20060080810	1/2006	Commercial/Industrial	\$180,000	W1 DSC

<b>Valuation Area</b>				
<b>District Supervisor: RAMON VALADEZ District No: 2</b>				
<b>Condo Market</b>	<b>DOR Market</b>	<b>MFR Neighborhood</b>	<b>SFR Neighborhood</b>	<b>SFR District</b>
100	31	CB_ARMORY_PARK	01020201	30

**Recording Information (5)**

Sequence No.	Docket	Page	Date Recorded	Type
20180430227	0	0	2/12/2018	WTDEED
20070770169	13038	481	4/20/2007	AFFTJT
20060420512	12753	1788	3/3/2006	WTDEED
20060080810	12719	3713	1/12/2006	WTDEED
95168035	10162	120	11/2/1995	

**Commercial Characteristics**

Property Appraiser: Donald Burton Phone: (520) 724-7426

**Commercial Summary**

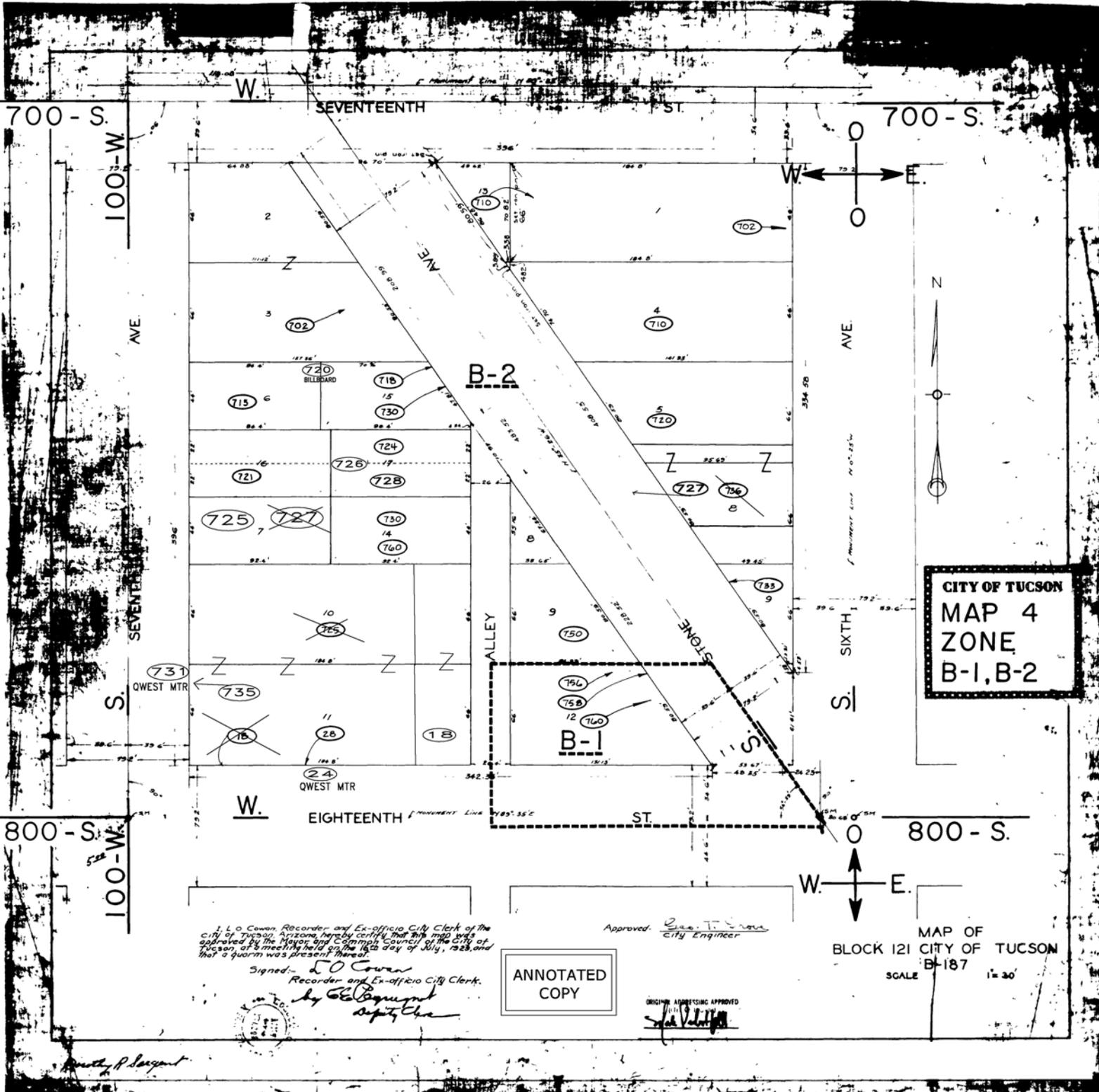
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	1,600	\$25,023	\$0	\$0

**Commercial Detail**

SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1946	391/2	\$29,747	\$10,590	QUONSET COMMERCIAL/INDUSTRIAL
002-001	1946	381/2	\$20,056	\$7,541	UTILITY/STORAGE
003-001	1980	101/2	\$17,209	\$6,892	COMMERCIAL YARD IMPROVEMENTS

**Notes (3)**

<b>Created:</b> 5/23/2012 <b>Modified:</b> 5/23/2012	2014N - No change to use code at 1770. No change to Land/Imp class at 1/0(100%Comm). Adjusted CCS Imps 001 & 002 to grade 2 from grade 3. Adjusted Imp 003 to model 101-2 from 290-3. PCL has been vacant since mid 2009 to early 2010 per aerals.
<b>Created:</b> 3/27/2006 <b>Modified:</b> 3/27/2006	736 S STONE AVE (736-38)
<b>Created:</b> 2/5/2004 <b>Modified:</b> 2/5/2004	THIS IS AN AUTO REPAIR BUSINESS. NAME UNKNOWN. NOT OPEN TODAY. NC 4DUC, RATIOS OR CLASS. APEXED. CONVERTED TO CCS.



I, L.O. Cowan, Recorder and Ex-officio City Clerk of the City of Tucson, Arizona, hereby certify that this map was approved by the Mayor and Common Council of the City of Tucson, at a meeting held on the 16th day of July, 1923, and that a quorum was present thereat.

Signed: *L.O. Cowan*  
Recorder and Ex-officio City Clerk.

*W. P. Baymont*  
City Clerk

Approved: *Geo. T. Brown*  
City Engineer

ANNOTATED COPY

ORIGINAL ADDRESSING APPROVED  
*Geo. T. Brown*

MAP OF BLOCK 121 CITY OF TUCSON B-187 SCALE 1" = 30'

ASSESSOR'S RECORD MAP  
 CITY OF TUCSON  
 LAYOUT LAND CLAIMS

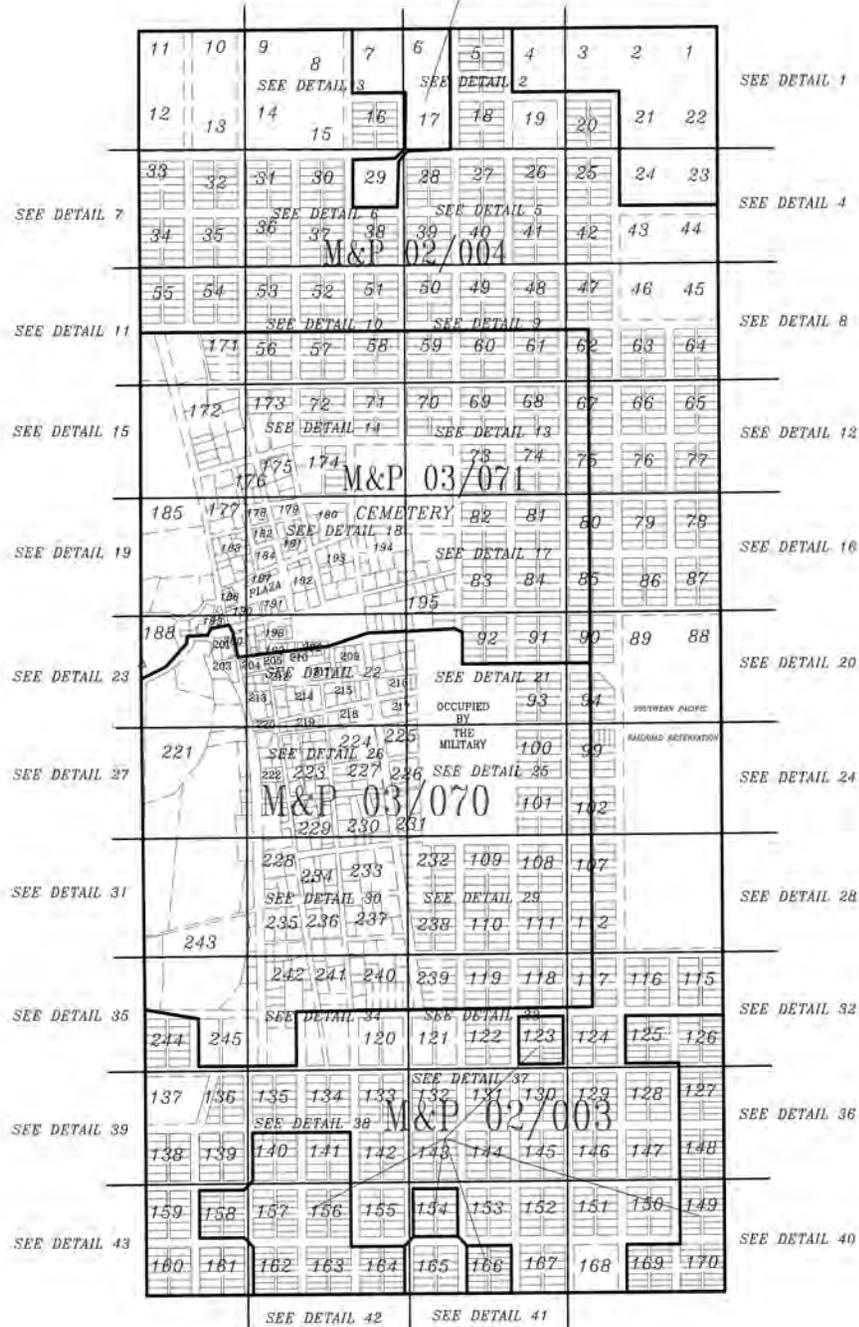
117-04

CITY OF TUCSON LAND CLAIMS ARE THE BASE MAPS FOR ALL OTHER PLATS WITHIN THIS GEOGRAPHIC AREA. BLOCK LOCATIONS ARE SET WITH THE BEST DATA AVAILABLE HOWEVER LIMITED. SURVEYORS WILL AGREE THAT MUCH OF THE DATA HAS DISCREPANCIES SO BE CAUTIOUS WHEN USING THESE MAPS.

M&P 01/019

ONGOING BLOCK CONVERSION  
 DETAIL DWGS RELEASED AS  
 COMPLETED 05/30/2017

LAYERS TURNED ON FOR VIEWING ARE:  
 BORDER  
 BORDER-TEXT  
 LAYOUT  
 PLATTED-LOTS  
 PLATTED-PERIMETER



SEE BOOK 01 PAGE 019 M&P  
 SEE BOOK 02 PAGE 003 M&P  
 SEE BOOK 02 PAGE 004 M&P  
 SEE BOOK 02 PAGE 041 M&P  
 SEE BOOK 03 PAGE 070 M&P  
 SEE BOOK 03 PAGE 071 M&P  
 2019-2

S12-13,1145,R13E

AMP00\CDT\_ALL - 01/14/19

0 550 1100 1650 2200

FEET 86

DRAWING LAYOUT SCALE IS SET AT 50

plm  
 county  
 assessor

# Arizona Historic Property Inventory Form

SURVEY SITE NO. 362

Accession No.

COUNTY Pima

PROPERTY NAME Chambers House

State Historic  
Preservation Office

SURVEY AREA Barrio El Libre Expansion 1999

## IDENTIFICATION

ADDRESS 18 West 18<sup>th</sup> Street

CITY/TOWN Tucson

LOT E 41.6' of 10 BLOCK 121 PLAN City of Tucson

TOWNSHIP 14S RANGE 13E SECTION 13 QUARTER SW

UTM REFERENCE Z 1 2 Easting 5 0 3 1 0 0 Northing 3 5 6 3 7 4 0

USGS QUAD Tucson 7.5

PROPERTY TYPE Structure

HISTORIC USES 1. Rangeland  
2. \_\_\_\_\_

PRESENT USE Residential

Abandoned  Demolished

STYLE Bungalow

CONSTRUCTION DATE 1920

Known  Estimated   
Date Source City Directory; Assessor 1931

ARCHITECT / BUILDER / CRAFTSMAN

Unknown

ALTERATIONS Minimal

CONDITION  
Good  Fair  Poor

INTEGRITY  
Good  Fair  Poor

NUMBER OF ACRES  
.12

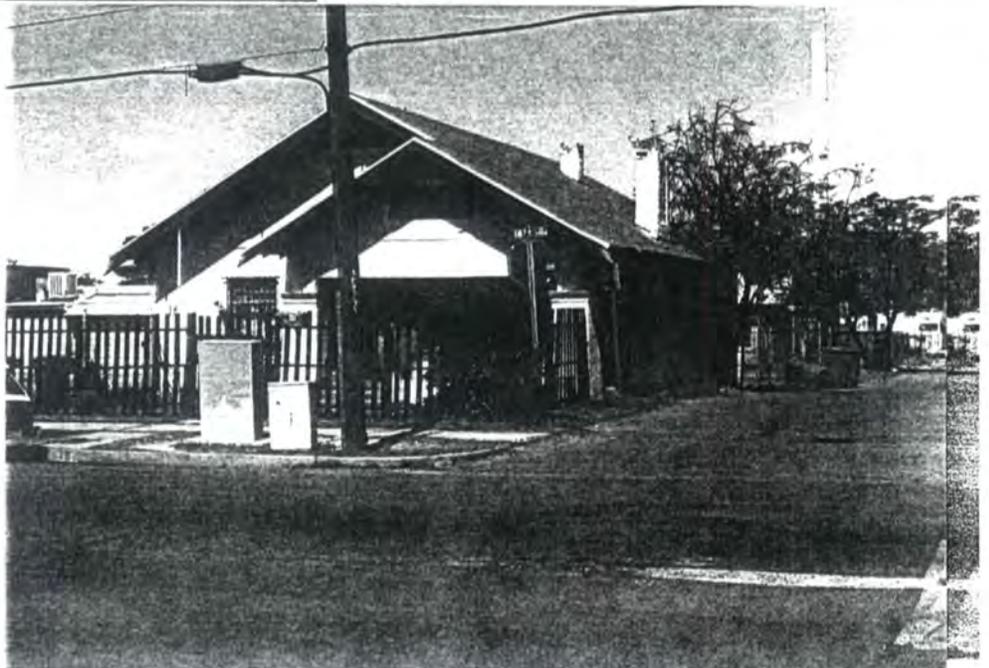
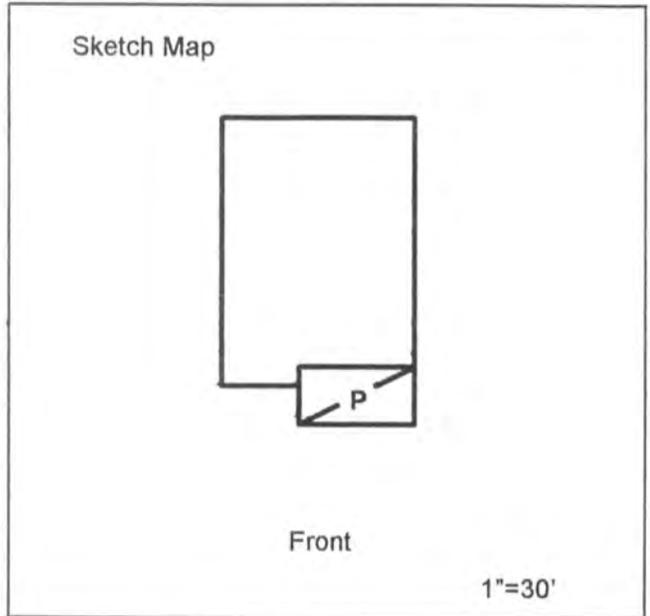
Negative Number  
Roll 4: 17

Date of Photo  
8-96

View  
45 degrees facing northwest

Photographer or Source  
Bill Balak

Additional Photos Provided



**ARCHITECTURAL DESCRIPTION**

STORIES One  
 FOUNDATION Cement on grade  
 STRUCTURAL MATERIAL Masonry  
 WALL SHEATHING Stucco  
 ROOF TYPE Gable; chimney on east gable  
 ROOF SHEATHING Composite shingle  
 OUTBUILDINGS None

WINDOWS Wood sash  
 ENTRY Facing south  
 VERANDAS Front porch; gable roof, stucco pillars  
 APPLIED ORNAMENT gable vents  
 INTERIOR 5-rooms, softwood flooring, plastered walls  
 ENVIRONMENT/LANDSCAPING Wood fence; shrubs in front yard, trees in rear

**STATEMENT OF SIGNIFICANCE**

1. Theme/Context  
 The expansion area represents the southern extension of historic Barrio Libre, a mixed use Mexican- American enclosure. Block 121 reflects impacts of the automobile and emerging importance of South Sixth Avenue during the 1920's.
2. Historical Association  
 Barrio Libre is one of the first two residential areas reuniting off of the historic Central Business. Libre extended south from Camp (Broadway) Street to Eighteenth Street, marked by the irregular block pattern reminiscent Spanish and Mexican Tucson.
3. Architectural Association  
 Modest housing unit in a style heavily built out in contemporary Tucson neighborhoods. One of five Craftsman Bungalow Style houses included in this expansion nomination, all located on Block 121. These Bungalows are the only ones of that style in Barrio Libre. Their presence to the south signifies the popularity of the style during the next era (heavily influenced by the automobile) of barrio development.

**BIBLIOGRAPHY / SOURCES**

City Directory; 1924 aerial photograph; Assessor Records

**NATIONAL REGISTER STATUS**

Listed  Date \_\_\_\_\_ Individually Eligible  Potentially Eligible as Contributing Property   
 Not Eligible due to AGE  INTEGRITY  Are conditions reversible? Yes  No

**REFERENCE FILES / REPORTS**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

SURVEYOR Kimmelman SURVEY DATE 3-11-97 DATE FORM COMPLETED 4-14-97





1. along 7th avenue



2. along 18th street, the fence in front of the historic home will be removed to so the home can be seen from the street



3. looking east at the existing structures on 28 w 18th st



4. looking north at the quonset hut garage structure



5. the front porch of the historic home at 18 w 18th street



6. the back of 18 w 18th street



1. 459 s. convent ave.



2. 86 w. kennedy st.



3. 326 s. rubio ave.

the typical row houses of barrio viejo and santa rosa tend to push right to the sidewalk to define the urban edge of the neighborhood. the scale of the homes vary as well as the colors and materials, but the massing is typically a rectilinear form with little to no articulation of the planar facade.



4. 115 w. 20th st.



5. 911 s. meyer ave.



6. 315 w. 18th st.

even with a sloping or hip roof the primary form of the home that is perceived from the sidewalk is rectilinear.



7. 762 s. 9th ave.



8. 324 w. 17th st.



9. 600 s. 9th ave.

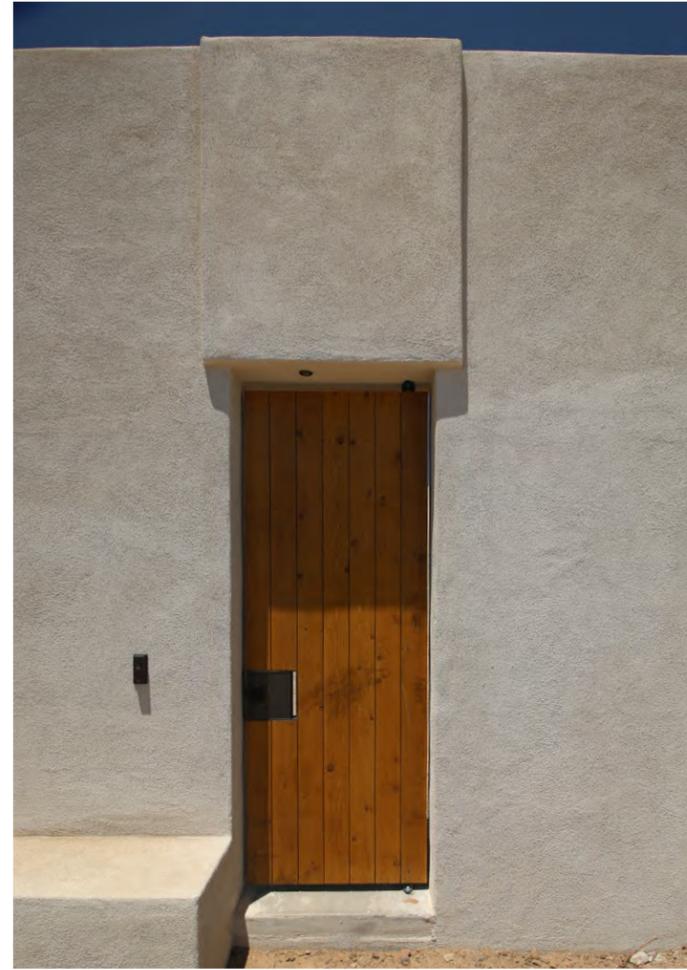
the white stucco walls become the best back drop to the color provided by the bright green jojoba, and flowering octotillo as well as the best canvas for the play of shadows that our desert sun paints as it passes through the palo verde branches.



10. 469 s. convent ave.



11. 424 w. 19th st.



12. 1016 s. russell ave.

sometimes the urban edge is held by a site wall that contains a semi-private courtyard beyond. the green tops of the mesquites spring out above the wall and we catch a glimpse of the life inside these courts through gates and protected windows in the site wall. there are moments when the wood gates offer no sight but only the sounds of whats happening on the other side, and rare moments when wall and gate are held down to reveal an inviting porch.



13. 350 s. convent ave.



14. 627 s. 9th ave.



15. 671 s. 9th ave.



16. 841 s. meyer ave.



17. 196 w. simpson st. st.



18. 413 s. convent ave.

traditionally the row houses of the barrio were built for working class families, and typically a masonry parapet cap was an expensive element that was not used. in building the wall without a cap the stucco wraps over the parapet and allows the wall to terminate as a simple line in the sky, and eliminates unnecessary decoration.



19. 1031 s. meyer ave.



20. 382 s.convent st.



21. 573 s. 9th ave.

typically built from adobe the historic homes of the barrio have limited windows in the deep mass walls. again, because when originally built glass windows are expensive elements in a working class home, but also because placing several large openings in adobe is a costly and difficult thing to do structurally.

# general information

parcels: 117-07-206A & 117-07-207A  
 existing zoning: C-3 (no change requested)  
 site area: 25,704sf  
 16 single family residences on individual lots  
 one multi-family building with 6 studio apartments  
 one retail/alcohol sales use in existing building

lot coverage:  
 building foot print = 11,077sf  
 vehicular use area = 5,335sf  
 trash collection area = 175sf  
 total site coverage = 16,587sf  
 15,577 / 25,704 = 65%

per UDC 5.12.9.B allowable density may be increased (up to 90%)

parking load:  
 motor vehicle and bicycle parking requirements will be per the proposed Individual Parking Plan not yet approved, but included in the appendix to this submittal.

waste stream calculation:  
 TSM 8-01.8.0.A tbl 1 - Annual Waste Generated  
 multi-family = 0.0057tons/sf  
 food retail = 0.0057tons/sf  
 small retail = 0.0013tons/sf

residential heated area = 22,114sf x .0057 = 126tons/year  
 food & alcohol service = 500sf x .0057 = 2.9tons/year  
 small retail use = 930sf x .0013 = 1.2tons/year  
 total waste per year = 130.1 tons

2.5 tons per week  
 5000 lbs per week  
 1668 gal per week

four 300gal APC will be provided. 2 for waste 2 for recycle  
 collection will happen twice per week 4 x 300 x 2 = 2,400  
 total waste capacity = 2,400 gal per week

access / parking aisle width:  
 private street (hobday way), parking, sidewalk and curb design per the approved TSMR case number DS19-04, included in appendix to this submittal

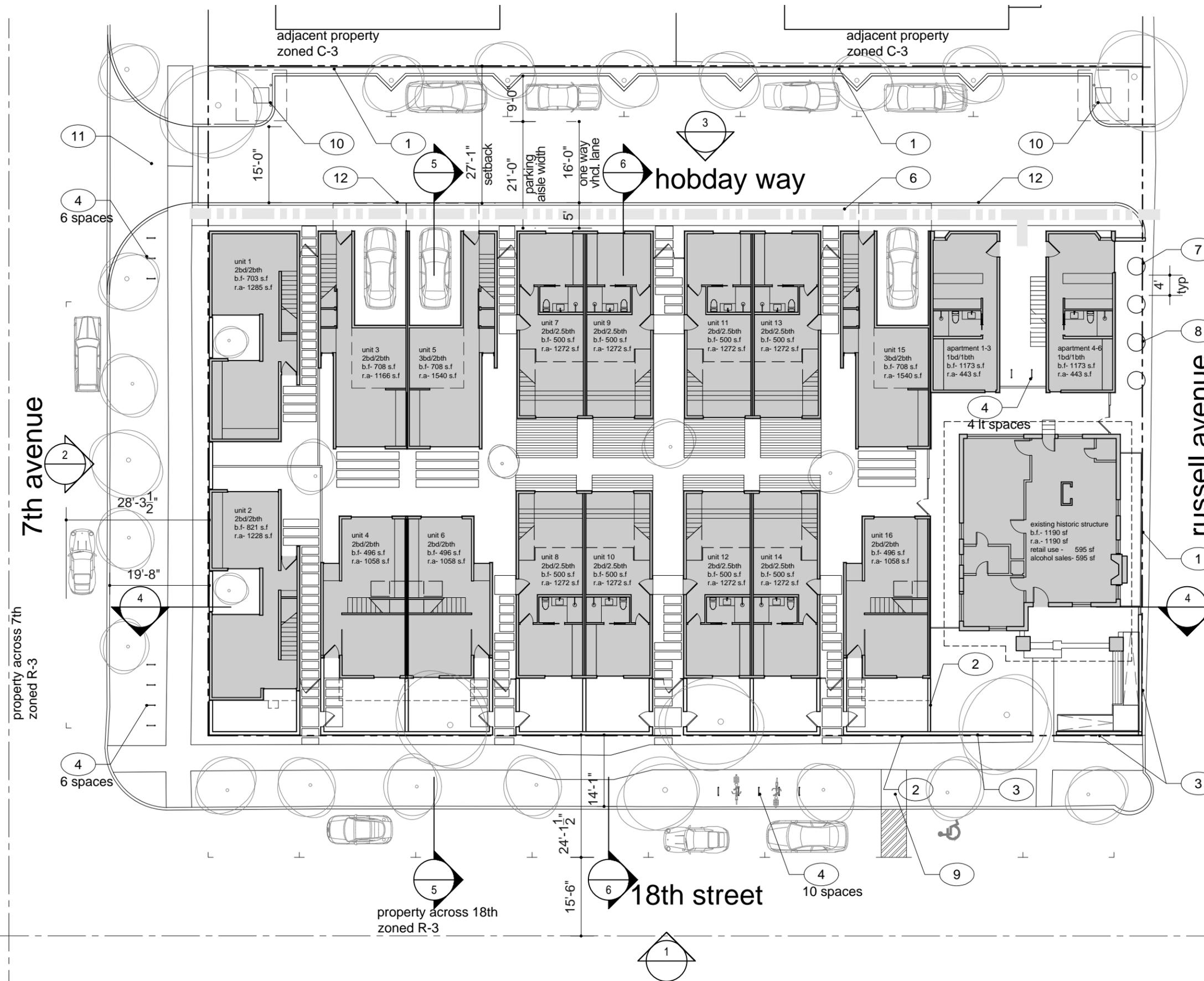
# general note

- concrete sidewalks in right of way are existing unless noted other wise. minimal repair to sidewalks will be performed as needed.
- landscape planting shown in right of way is new, and will be maintained by the HOA of the development.

# keyed note

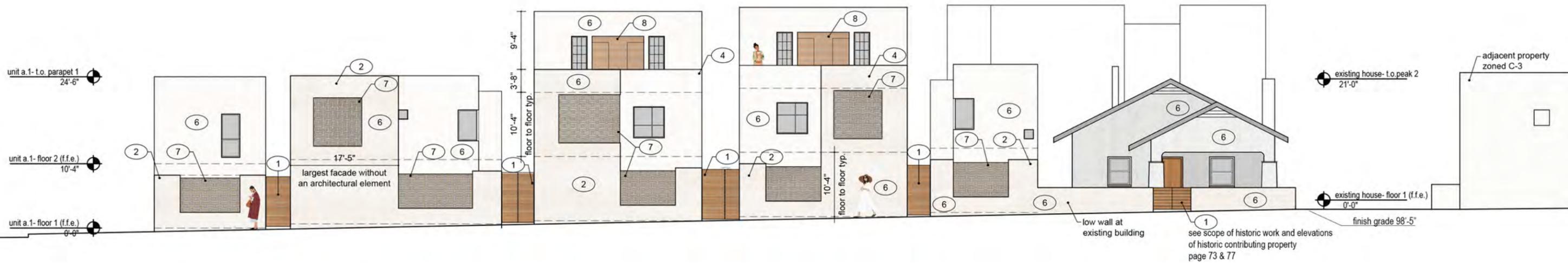
XX

- 8' tall wood fence, see detail xx/xx
- 8' tall site wall
- 4' tall site wall
- bike racks
- concrete walk, see detail xx/xx
- pedestrian access route through site
- two 300 gal APC waste bins
- two 300 gal APC recycle bins
- 5' wide sidewalk with HC parking
- TEP transformer with 10'x10' easment
- curb cut at access aisle
- roll up curb between vehicular travel aisle and pedestrian sidewalk

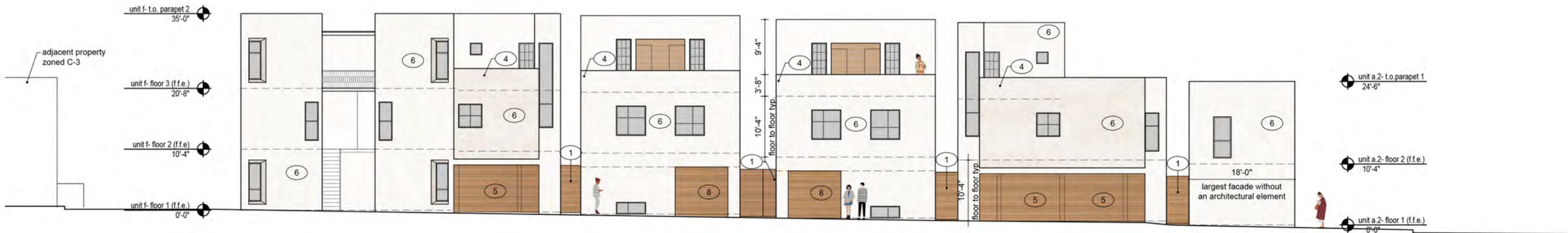


1 site plan  
 scale 1" = 20'-0"





**1 elevation along 18th street**  
scale 1/16" = 1'-0"



**2 elevation along hobday way**  
scale 1/16" = 1'-0"

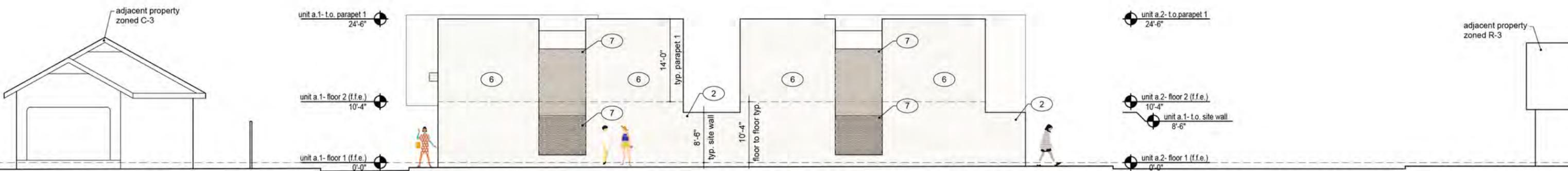
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- c. all elevations are measured from the adjacent grade

**keyed note**

XX

- 1. wood gate
- 2. site wall
- 3. low site wall
- 4. balcony for residents
- 5. carport garage door
- 6. smooth off-white stucco finish
- 7. light colored adobe block
- 8. wood clad



**3 elevation along 7th avenue**  
 scale 1/16" = 1'-0"

### general note

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- c. all elevations are measured from the adjacent grade

### keyed note

XX

- 1. wood gate
- 2. site wall
- 3. low site wall
- 4. balcony for residents
- 5. carport garage door
- 6. smooth off-white stucco finish
- 7. light colored adobe block
- 8. wood clad

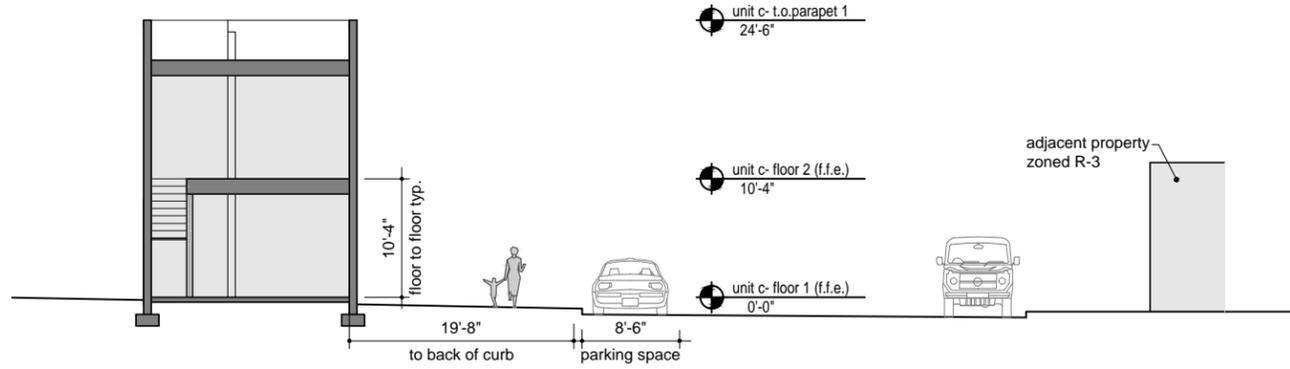
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- b. landscape planting shown in right of way is new, and will be maintained by the HOA of the development.
- c. all elevations are measured from the adjacent grade

# keyed note

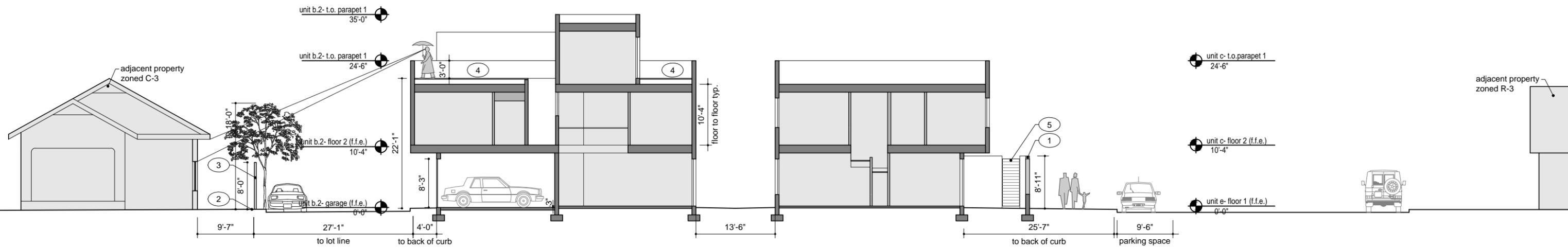
XX

- 1. site wall
- 2. lot line
- 3. wood fence
- 4. resident's balcony
- 5. wood gate



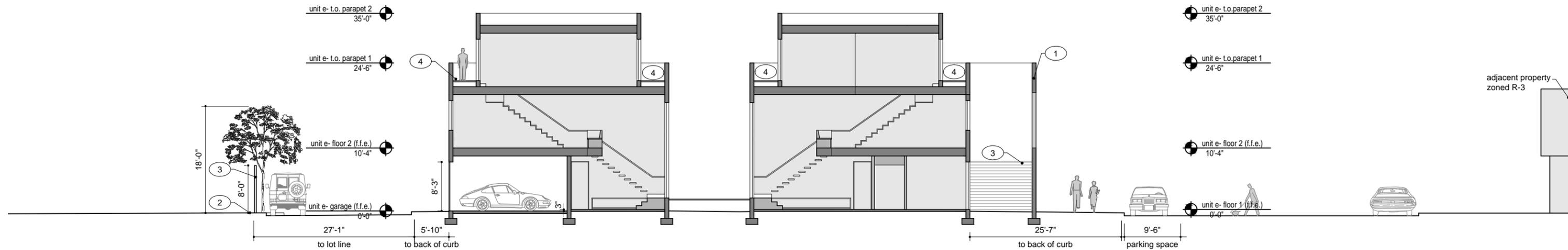
## 4 section

scale 1/16" = 1'-0"



## 5 section

scale 1/16" = 1'-0"



## 6 section

scale 1/16" = 1'-0"

material board



wood doors and gates



smooth light stucco



adobe screen walls



18th street looking NE

the urban edge is defined by white stucco walls that are perforated by adobe screens allowing the pedestrian to catch a glimpse of the green courtyards beyond. trees peek over the top of the first story courtyard walls with the third story balconies set back away from the sidewalk and street. in keeping with inspiration from the original row house of the barrio the window counts and sizes are limited which also aids in the potential solar heat gain from the southern sun.



18th street looking NW

the street will be planted with native succulents and cactus, with the sidewalks shaded by ash trees.  
the building masses step up and down along, and pull back from, the urban edge with a diversified  
but restrained material palette reflective of the historic precedent in the barrio.



7th ave

western and southern facing fenestration is limited to prevent excessive solar heat gain, and a repetition in the massing of the building reflects the inspiration from the traditional row houses while also keeping the public facade from feeling like one very large blank wall.



looking east down lalo /hobday way

## historic rehab work

scope of historic work	...73
existing conditions 18 w 18th st	...74
material board	...75
site plan	...76
elevations	...77

**18w18  
scope of historic work**

Equilibrium understands that a new development in this area must preserve the historic character of the existing homes as well as find inspiration in the cultural significance of the community to inform the proposed design.

**property overview**

28 west 18<sup>th</sup> street was most recently an auto repair garage with a couple open air shade structures and a Quonset type garage/storage building. This property is zoned commercial (C-3), and none of the structures on this lot are historic or candidates for renovation.

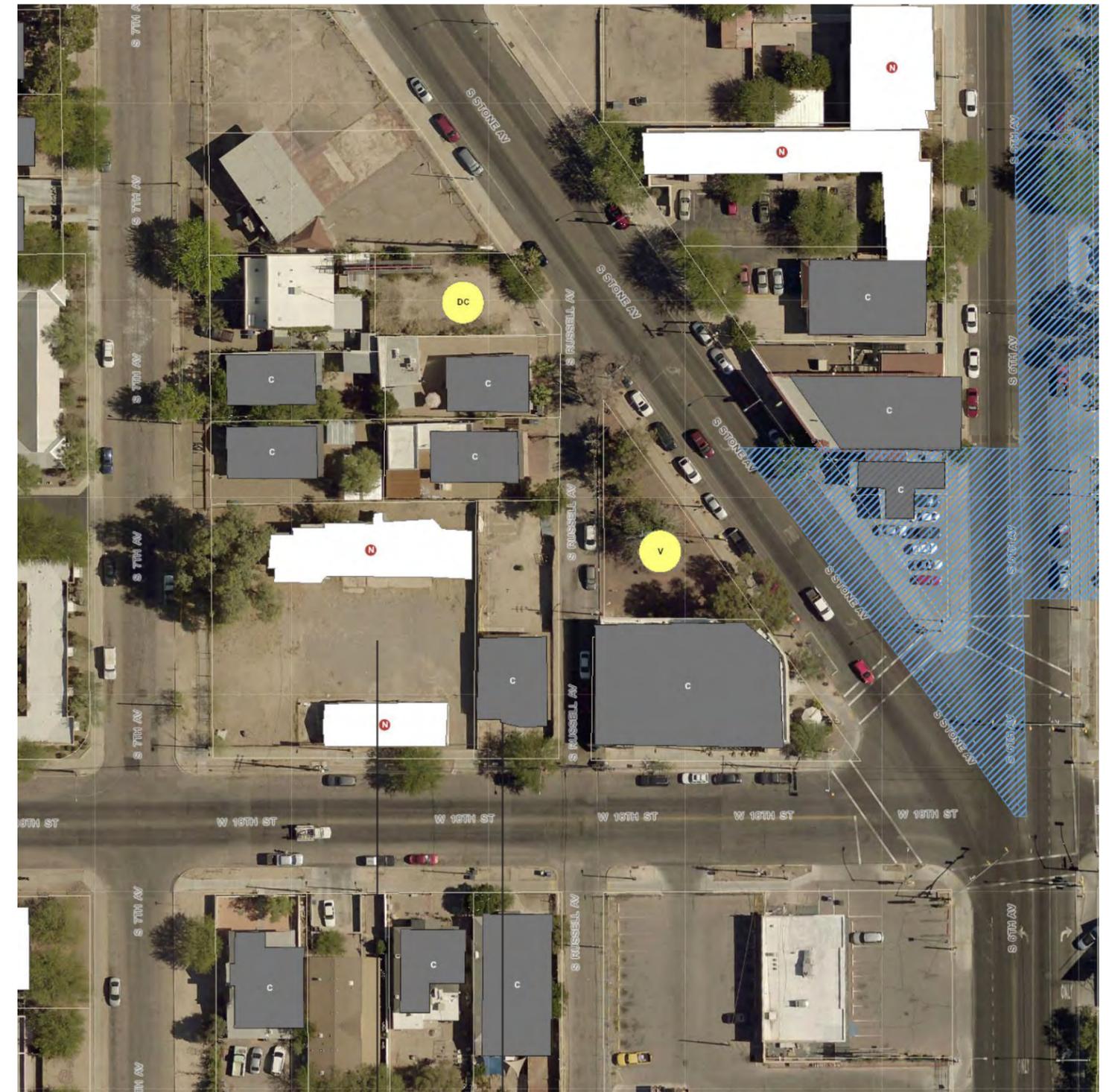
18 west 18<sup>th</sup> street is a modest single story craftsman bungalow built in the '20's known as the Chambers House. It is a contributing property to the Barrio El Libre Expansion Historic Preservation District and as such the exterior will be rehabilitated and windows and doors repaired without affecting the historic character of the structure. The property is Zoned Commercial (C-3). The interior will be remodeled to allow for a retail/mercantile (with accessory alcohol sales) type use without adding square footage outside the existing footprint of the home. We want the space to still feel like a home, and the retail use that moves in will be something that is complimentary to the Five Points Market and fits the idea that this house on the corner can be like a living room to the residents of the new homes on the adjacent lot and to the current residents of Barrio Viejo and Santa Rosa and Armory Park.

**proposed scope of work for historic structure**

Equilibrium and the design team are proposing to rehabilitate the structure at 18 w18th street in accordance with the US Secretary of the Interior's Standards for Rehabilitation 36 CFR 67.

- The exterior footprint and enclosed space of the structural, as well as, the street and side property lines will not be altered so the height, setback, proportion, site utilization, building form and rhythm will not change. (UDC section 5.8.9.A, B, C, D, G, J, and K).
- The historic character and distinctive craftsmanship elements will be retained and preserved. Any deteriorated features like wood rafter ends, fascia, wood windows and trim will be repaired/patched properly and repainted. (UDC section 5.8.9.H and I).
- The stucco elements and raised or relief details will be preserved, the new finish texture will closely match the texture determined to be the traditional finish. Most likely a traditional hand troweled or sand floated finish, both of which are appropriate to the era and style of the home. (UDC section 5.8.9.F).
- The roof will be replaced throughout. The actual roofing material is not known yet as the budget and final user for the building will determine this decision, but a composite shingle roof or a standing seam metal roof in a grey or charcoal color is proposed. Per Eric Vondy, SHPO historic preservation planner, the roof material may be changed from the traditional wood shake and updated without effecting its contributing status. (UDC section 5.8.9.E).
- The stucco finish coat will be an integral color traditional lime/cement/sand stucco in a white or off-white color, with the door, window and roofing trim painted a dark grey, and all other architectural details painted a lighter grey color. In keeping with the craftsman style the front door will be a traditional wood plank door, stained and sealed. The yard enclosure along the front street (18<sup>th</sup>) entry will be a masonry wall with a matching stucco finish, 4' tall to allow pedestrians to see into the front yard and the onto the porch. This front site wall will also conceal a required accessible ramp which is tucked into the south east corner and accesses the porch on the east side as to not obscure the view of the front facade. The side yard enclosure along the alley (Russell) will be an 8' tall wood fence, stained and sealed similar to the front door. There will be no overhead utilities, the main service panels for the electric, telephone, and data will be at the north east corner of the structure with underground service from new distribution pedestals. (UDC section 5.8.9.L)
- As a final user for the structure has not been determined, and final design for the signage has not been decided upon yet. The Owner will require all future users to provide signage that meets the requirements of UDC section 5.8.9.M.

We envision this project becoming a vital part of the already vibrant community that Barrio Viejo and Barrio Santa Rosa have fostered, we are committed to rehabilitating this historic property in a responsible manner that also fits with the aesthetic context of the neighborhood and the new buildings proposed on the adjacent lots.



28 w 18th street

18 w 18th street

aerial showing contributing properties and HPZ



existing south elevation  
18th street



existing north elevation

existing east elevation  
russell avenue



existing west elevation



## material board

the materials and colors of the historic building will compliment the palette of the new buildings while staying historically appropriate.



gray laminate architectural roof shingles

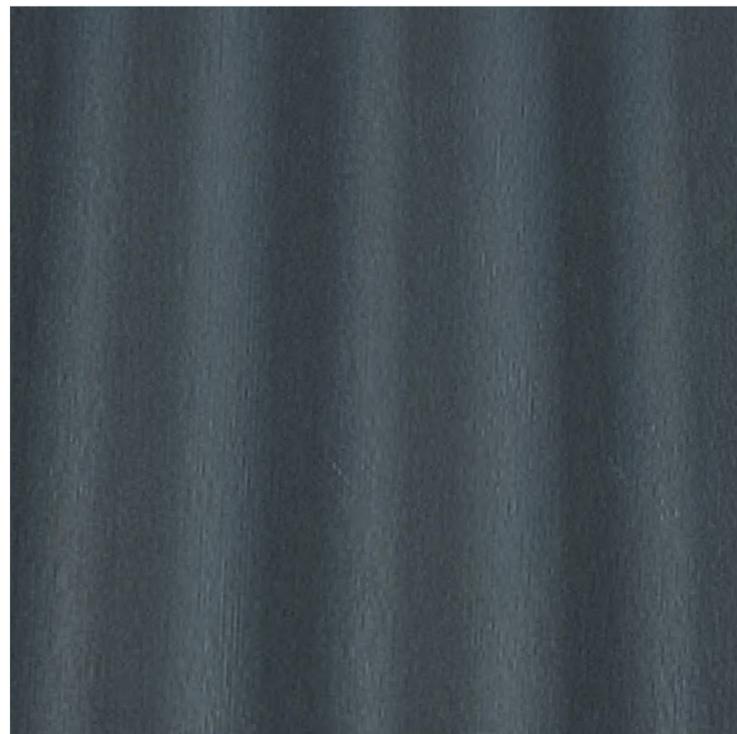


wood doors and gates

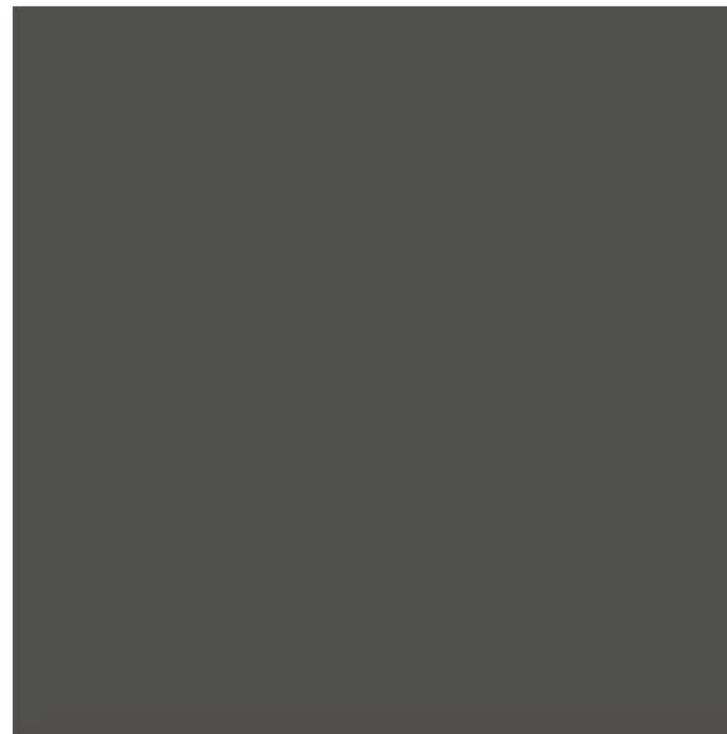


traditional hand troweled or floated sand finish stucco

black ore matte  
7/8" corrugated steel  
roof panels

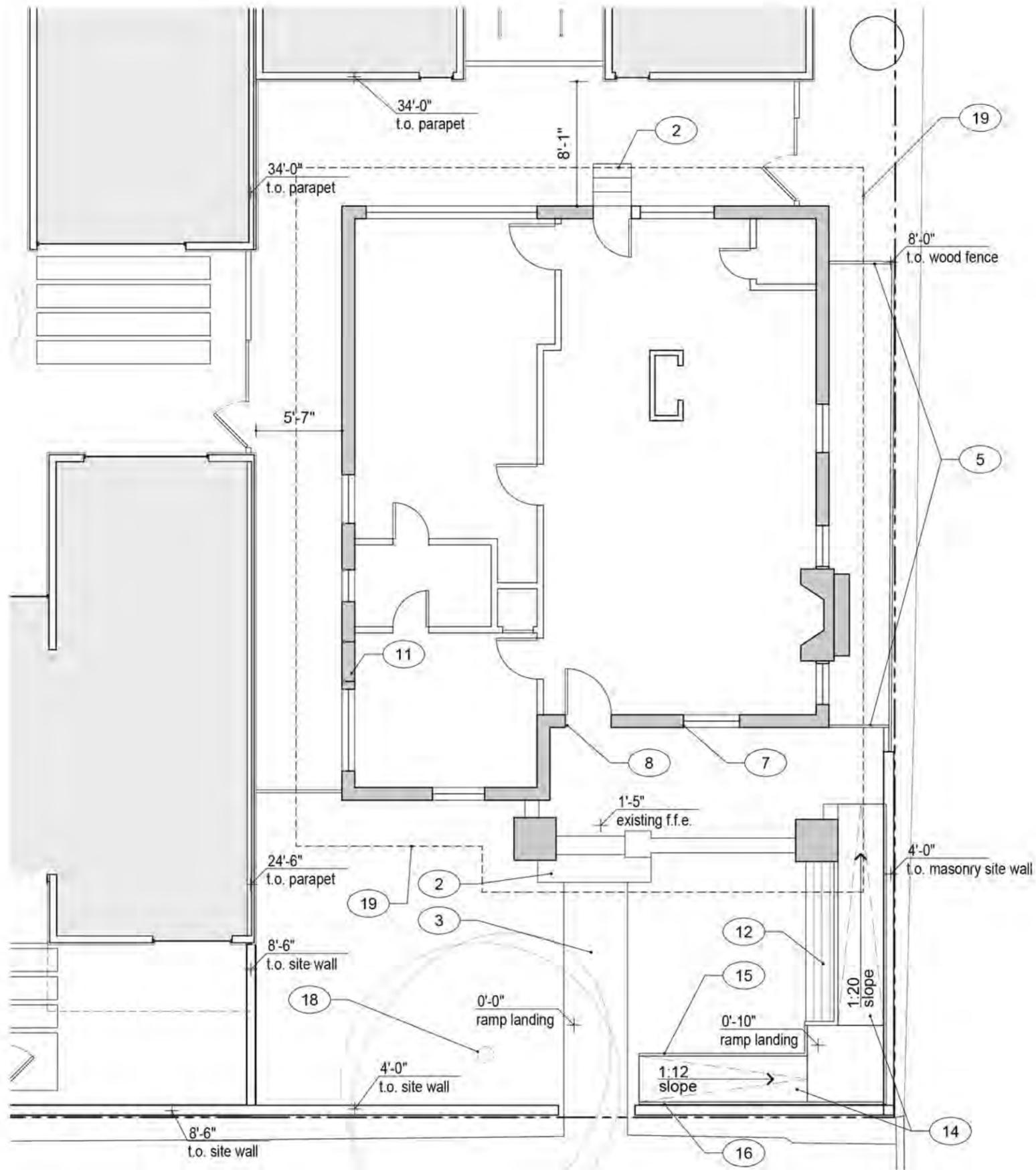


dark grey  
dunn edwards 6371  
window trim and rafters and fascia



grey  
dunn edwards 6368  
wood attic vent





**1 site plan**  
scale  $\frac{1}{8}'' = 1'-0''$



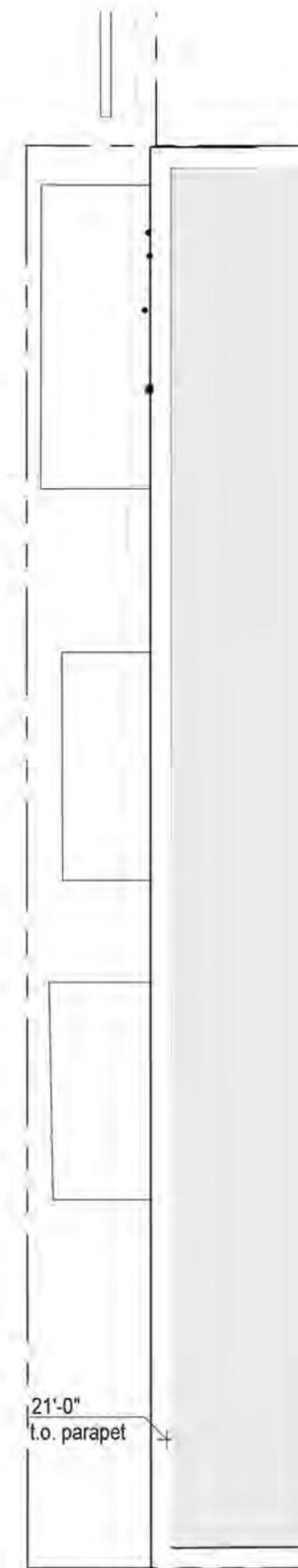
## general note

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- Per Eric Vondy, SHPO historic preservation planner, the roof material may be changed without effecting its contributing status.
- all elevations are measured from the adjacent grade.

## keyed note

(XX)

- existing building
- existing steps
- existing concrete walk way
- new grey shingle or metal roof
- wood fence, 8'-0"
- white stucco matching traditional historic finish
- existing window will be repaired in place. old glazing putty + glass removed. wood sash + frame repaired as needed. new sash cord provided to attach existing weights to existing sashes and new glass reinserted with new black glazing putty. frame + sash should be repaired with care to avoid painting glazing putty.
- front door frame will be repaired and a new craftsman style solid wood door with insert panel + glass tiles above the cross rail.
- wood fascia + rafter tail painted dark grey
- painted column cap, dark grey
- door opening not original. remove door and fill in opening with masonry and stucco to match
- wood bench along ramp
- wood attic vent painted grey
- concrete accessible ramp (hidden from street view by 4'-0" tall site wall)
- handrail, painted steel
- handrail, attached to site wall
- adobe screen wall
- new tree, see landscape drawings
- roof overhang above
- windows on north side of structure not original or historical. will replace existing windows with historically accurate wood windows as intended by the secretary of the interior's code 36CFR67
- low entry gate if needed



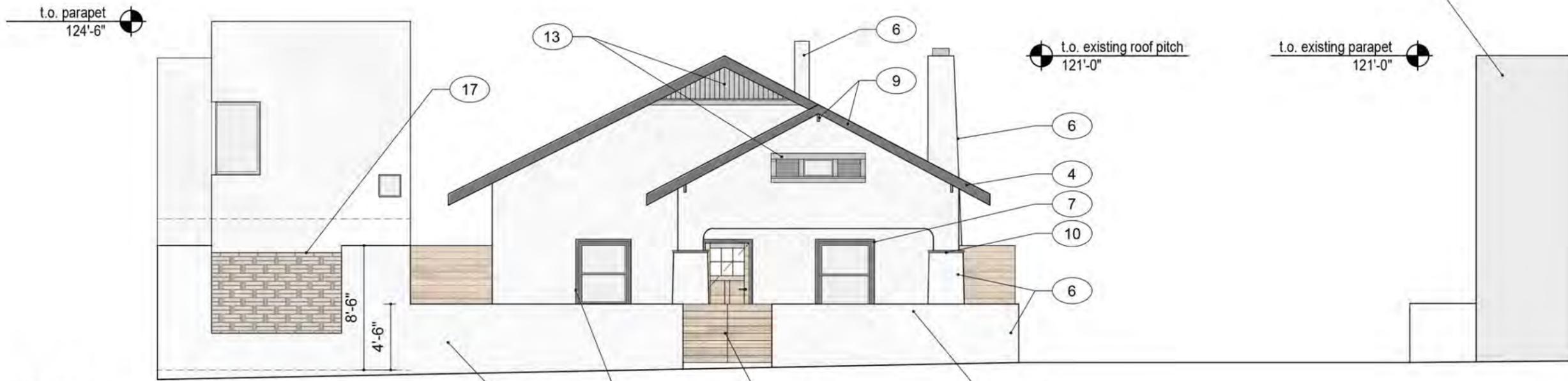
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- 12. wood bench along ramp
- 13. wood attic vent painted grey
- 14. concrete accessible ramp (hidden from street view by 4'-0" tall site wall)
- 15. handrail, painted steel
- 16. handrail, attached to site wall
- 17. adobe screen wall
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- 19. roof overhang above
- 20. windows on north side of structure not original or historical. will replace existing windows with historically accurate wood windows as intended by the secretary of the interior's code 36CFR67
- 21. low entry gate if needed



**1 south/18th street elevation**

scale  $\frac{1}{8}''=1'-0''$



**1 south/18th street elevation**

scale  $\frac{1}{8}''=1'-0''$

site wall + fence not shown so full elevation of building is unobstructed

# general note

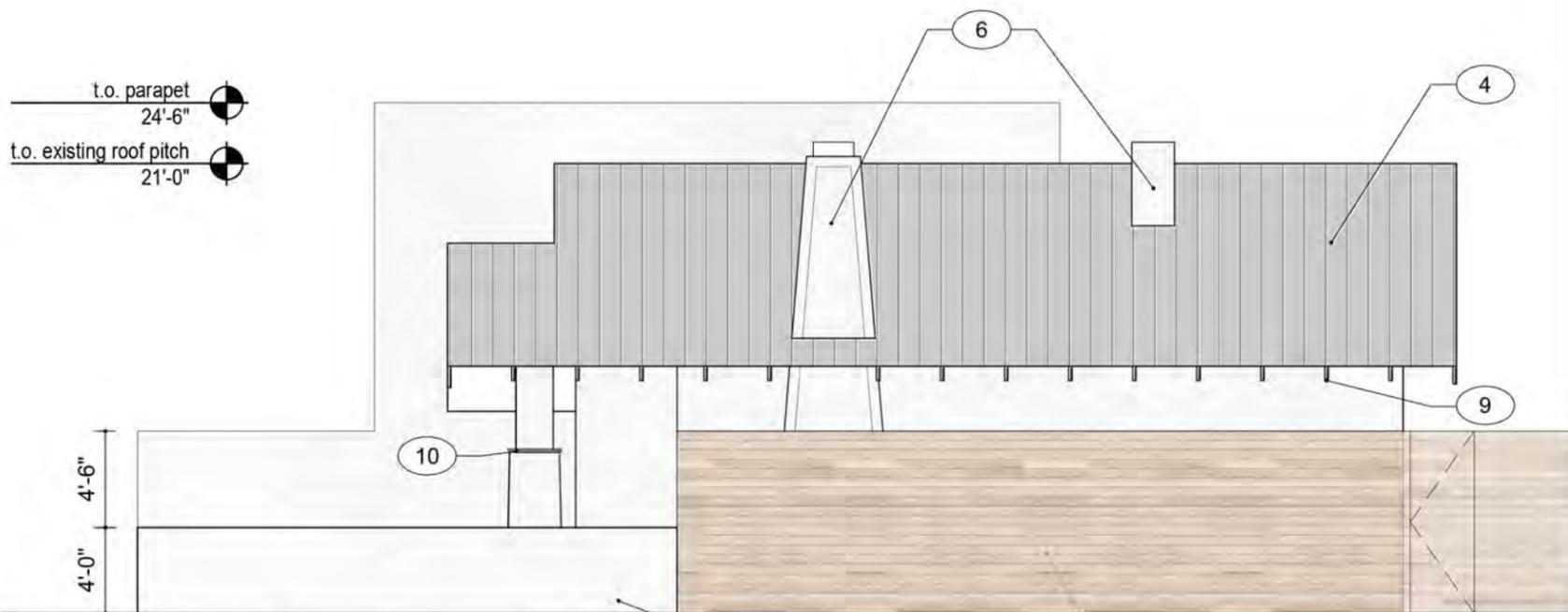
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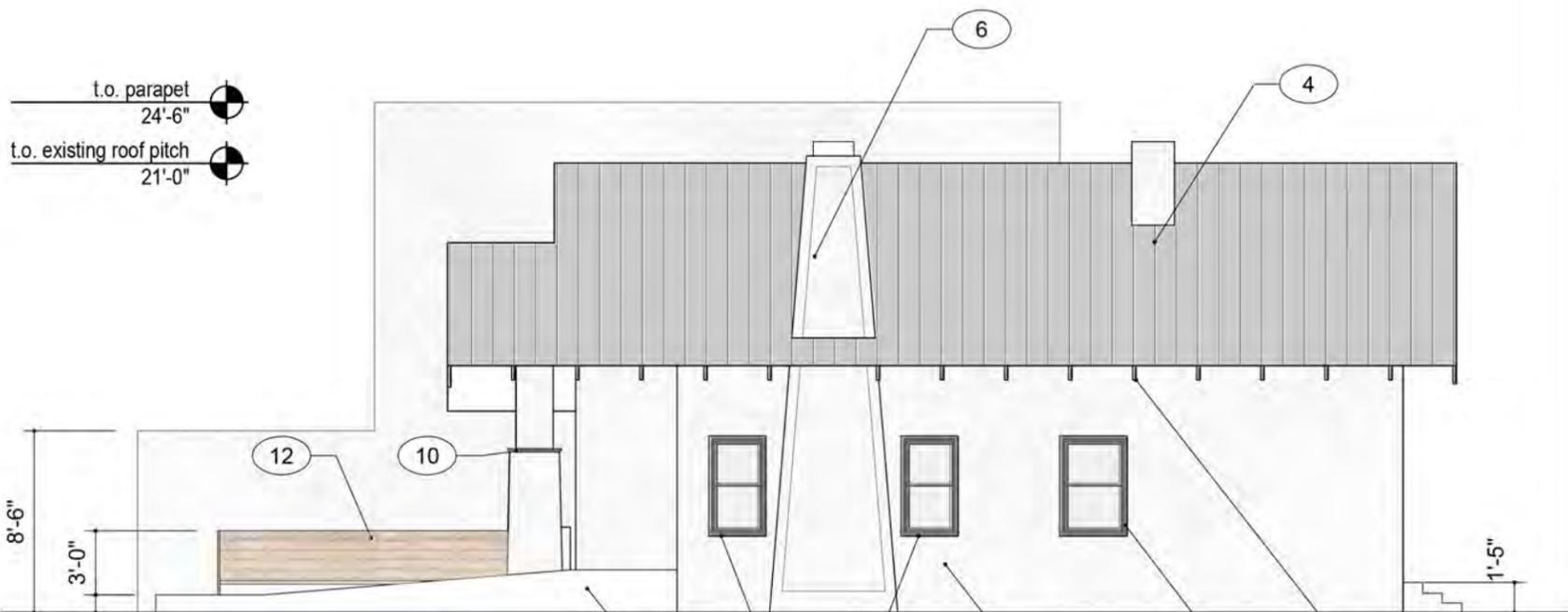
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- 2. existing steps
- 3. existing concrete walk way
- 4. new grey shingle or metal roof
- 5. wood fence, 8'-0"
- 6. white stucco matching traditional historic finish
- 7. existing window will be repaired in place. old glazing putty + glass removed. wood sash + frame repaired as needed. new sash cord provided to attach existing weights to existing sashes and new glass reinserted with new black glazing putty. frame + sash should be repaired with care to avoid painting glazing putty.
- 8. front door frame will be repaired and a new craftsman style solid wood door with insert panel + glass tiles above the cross rail.
- 9. wood fascia + rafter tail painted dark grey
- 10. painted column cap, dark grey
- 11. door opening not original. remove door and fill in opening with masonry and stucco to match
- 12. wood bench along ramp
- 13. wood attic vent painted grey
- 14. concrete accessible ramp (hidden from street view by 4'-0" tall site wall)
- 15. handrail, painted steel
- 16. handrail, attached to site wall
- 17. adobe screen wall
- 18. new tree, see landscape drawings
- 19. roof overhang above
- 20. windows on north side of structure not original or historical. will replace existing windows with historically accurate wood windows as intended by the secretary of the interior's code 36CFR67
- 21. low entry gate if needed

t.o. parapet 24'-6"  
t.o. existing roof pitch 21'-0"



**1 east/russell ave. elevation**  
scale 1/8" = 1'-0"

t.o. parapet 24'-6"  
t.o. existing roof pitch 21'-0"



**1 east/russell ave. elevation**  
scale 1/8" = 1'-0"  
low site wall not shown so full elevation of building is unobstructed

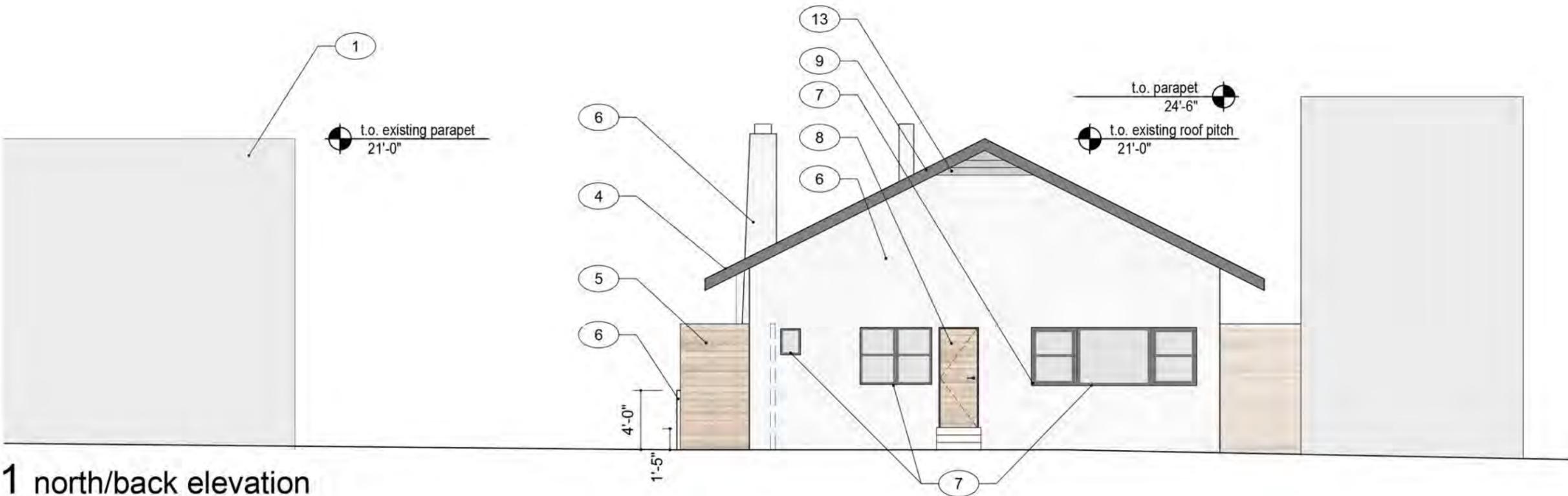
# general note

- The building at 18 west 18th street, Tucson, AZ is a contributing historic structure to the Barrio El Libre Expansion Historic District and will be rehabilitated per the U.S. Secretary of the Interior's Standards for Rehabilitation 36 CFR 67.
- Historic character and distinctive craftsmanship elements will be retained and preserved. Any deteriorated features like wood rafter ends, fascia, wood windows, and trim will be repaired/patched properly and repainted.
- The stucco elements and raised or relief details will be preserved, the new finish texture will closely match the texture determined to be the traditional finish.
- Per Eric Vondy, SHPO historic preservation planner, the roof material may be changed without effecting its contributing status.
- all elevations are measured from the adjacent grade.

# keyed note

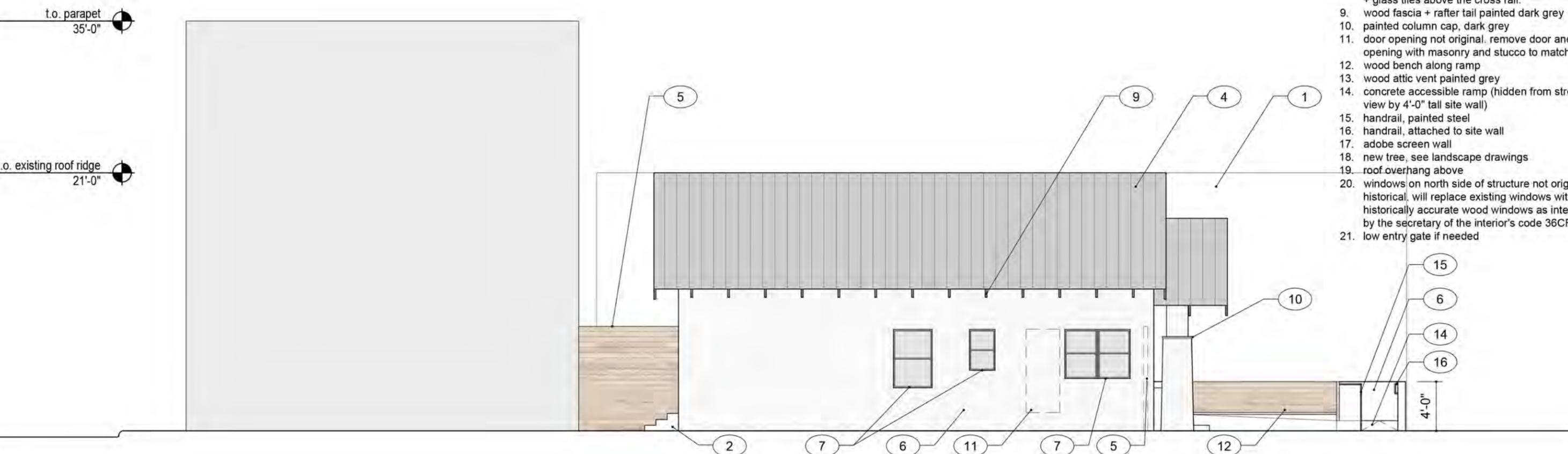
XX

- existing building
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**1 north/back elevation**

scale 1/8"=1'-0"



**1 west elevation**

scale 1/8"=1'-0"

## appendix

TSMR DS19-04 (approved)	...83
TPP DP18-0283 (not yet approved)	...89
TPP CoT Staff review comments	..103
Design Professional review comments	..115
IPP (not yet approved)	..121



City of Tucson  
 City Development Review Committee (CDRC)  
**Modification Request Application**  
**Parking Design (PDMR) or Technical Standard (TSMR)**

Upload this application and plan set per submittal requirements online at [www.tucsonaz.gov/file-upload-pdsd](http://www.tucsonaz.gov/file-upload-pdsd). Applicant will receive an email of the accepted submittal, fees, and activity number to search on [www.tucsonaz.gov/pro](http://www.tucsonaz.gov/pro). Questions or comments, contact [CDRC@tucsonaz.gov](mailto:CDRC@tucsonaz.gov).

Type(s) of associated review:

- Development Package (select 1 or more)
- |   |  |   |   |  |
|---|--|---|---|--|
| <input type="checkbox"/> Site/Plot Plan | <input type="checkbox"/> Landscape           | <input type="checkbox"/> Stormwater (SWPPP) | <input type="checkbox"/> Floodplain                   | <input type="checkbox"/> Tentative Plat (TP) |
| <input type="checkbox"/> Grading        | <input type="checkbox"/> Native Plant (NPPO) | <input type="checkbox"/> Water Harvesting   | <input type="checkbox"/> Environmental Resource (ERR) | <input type="checkbox"/> Flexible Lot (FLD)  |
- Land Division/Subdivision (select 1 only) (The following require separate submittal, list development package activity number(s): \_\_\_\_\_)
- |  |                                     |  |                                      |   |
|--|-------------------------------------|--|--------------------------------------|---|
| <input type="checkbox"/> Final Plat (FP) | <input type="checkbox"/> Block Plat | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Condominium | <input type="checkbox"/> Land Split/Reconfiguration |
|--|-------------------------------------|--|--------------------------------------|---|

Type(s) of associated site history or site modification: (check all applicable)

- |   |   |   |   |                                   |
|---|---|---|---|-----------------------------------|
| <input type="checkbox"/> Airport Environs (AEZ) | <input type="checkbox"/> Hillside Develop (HDZ) | <input type="checkbox"/> Corridor (SCZ/GCZ) | <input type="checkbox"/> Environmental Resource (ERZ) | <input type="checkbox"/> W.A.S.H. |
|---|---|---|---|-----------------------------------|
- (The following require separate submittal, list case/activity number(s): \_\_\_\_\_)
- |  |  |  |  |  |
|--|--|--|--|--|
| <input type="checkbox"/> Rio Nuevo (RNA) | <input type="checkbox"/> Historic Preserve (HPZ) | <input type="checkbox"/> Neighborhood Preserve (NPZ) |  |  |
|--|--|--|--|--|
- (The following require separate submittal, list case/activity number(s): \_\_\_\_\_)
- |                                     |   |  |  |  |
|-------------------------------------|---|--|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Planned Area (PAD) | <input type="checkbox"/> Board Adjust Variance | <input type="checkbox"/> Parking Design (PDMR)                 | <input type="checkbox"/> Infill Incentive District (IID) |
| <input type="checkbox"/> Rezoning   | <input type="checkbox"/> Special Exception  | <input type="checkbox"/> Design Develop (DDO)  | <input checked="" type="checkbox"/> Technical Standards (TSMR) | <input type="checkbox"/> Main Gate District (MGD)        |

Project Address: 18 West 18th Street Project Title: 18 W.18th St, Lots 1-18+ Block 1+ C.A. "A & "B"

Assessor Parcel Number(s): 117-17-206A, -207A

Description of Work and Land Use(s): Multi-Family Residential & Cocktail Lounge

Associated Development Package Activity Number: DP18-0283 Zoning: C-3

Applicant Name: Theresa Hadley Email: thadley@cypresscivil.com

Name of Company (if applicable): Cypress Civil Development Phone: 520.499.2456

Address: 2030 E Speedway Blvd Ste 110 City: Tucson State: AZ Zip: 85719

Type(s) of modification request:

PDMR or TSMR from UDC Article or TSM Section: \_\_\_\_\_ relief is requested for the following reasons:

See attached letter.

PDMR or TSMR from UDC Article or TSM Section: \_\_\_\_\_ relief is requested for the following reasons:

I understand that any application, plans and/or related documents submitted to Planning and Development Services for review may be viewed as a Public Record per Planning and Development Services Department Records Policy 2011-05.

I further understand that they may also be subject to review and approval by Pima County including but not limited to Wastewater, DEQ, ADEQ, Addressing and/or Health Department and that I am responsible for paying any separate fees incurred as a result of these reviews prior to a permit being issued or a Development Package being approved by the City of Tucson Planning and Development Services Department (PDSD). It is the responsibility of the Licensed Contractor or Architect to provide a letter to PSDS verifying their affiliation with the project for which this application is made. Failure to do so may result in revocation of this permit and all penalties incurred.

*Theresa Hadley*

4/17/19

Signature of Applicant/Representative of Project Owner

Date

The above signature attests that to the best of my knowledge, the information contained in this application is complete and correct.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.

22 April 2019

City of Tucson Planning & Development Services  
201 South Stone Avenue  
Tucson, Arizona 85701

**RE: Responses to Comments for 18 West 18<sup>th</sup> Street – TSMR (REF: DP-18-0283)**

Cypress Civil Development has compiled the following responses to the comments received from City of Tucson staff reviewers for the above-mentioned project. The responses are listed by heading below:

**Comments dated April 19, 2019 from David Rivera – Zoning**

Comment 1 – Complied. TSMR request #3 has been updated to reference TS 10-01.3.3.C.2.

Comment 2 – Complied. The design of the sidewalk has been modified from the first submittal of the DP, and now provides a 2' wide, 6" high wedge curb for vertical separation between the sidewalk and private street. Therefore, no ramps or driveway aprons are being proposed onsite. Please refer to the attached site exhibit, which will represent the configuration shown in future DP submittals.

These comments addressed are the only comments received by CYPRESS for this project as of the date of this letter. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,  
**Cypress Civil Development**



Blake Juank  
Project Engineer

22 April 2019

City of Tucson Planning & Development Services  
201 South Stone Avenue  
Tucson, Arizona 85701

**The following is a list of requested TSMR items for the 18 West 18<sup>th</sup> Street, Lots 1-18 (DP18-0283) Technical/Design Standards Modification Application:**

**1. TSM SECTION 08-01.5.1.A**

**Response:** Specific relief is being sought for the centralized on-site solid waste and recycle collection service by providing individual containers (APCs). Approval is required by ES on a case by case evaluation. APCs will be located in the existing Public Alley for trash/recycling needs of owners/tenants on the northern half of the property, and individual APCs will be provided for all owners on the southern half of the property that will roll out into the 18<sup>th</sup> Street ROW.

**2. TSM SECTION 10-01.2.1.B**

**Response:** Specific relief is being sought for a one-way private street cross section. The entrance into the site from South 7<sup>th</sup> Avenue and exit onto South Russell Avenue (Public Alley) will have a 15' width for one-way traffic, and a 17' width (including a 2' wedge curb) will be provided adjacent to parallel parking spaces to allow for maneuverability into the garages from the private street.

**3. TSM SECTION 10-01.3.3.C.2**

**Response:** Specific relief is being sought for the pedestrian circulation path to be located on only the south side of the private street. The private street will experience low traffic volumes, and the circulation route will be contained to the sidewalk provided between the buildings and the private street.

**4. TSM SECTION 10-01.4.1.A.1.a**

**Response:** Specific relief is being sought for a reduction of the sidewalk between the building and the private street from 5' to 4.5'. The private street will experience low traffic volumes as it is only intended for the use of the tenants/owners of the development.

These responses are intended to supplement the TSMR Application Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If you have any questions, please do not hesitate to contact the undersigned.

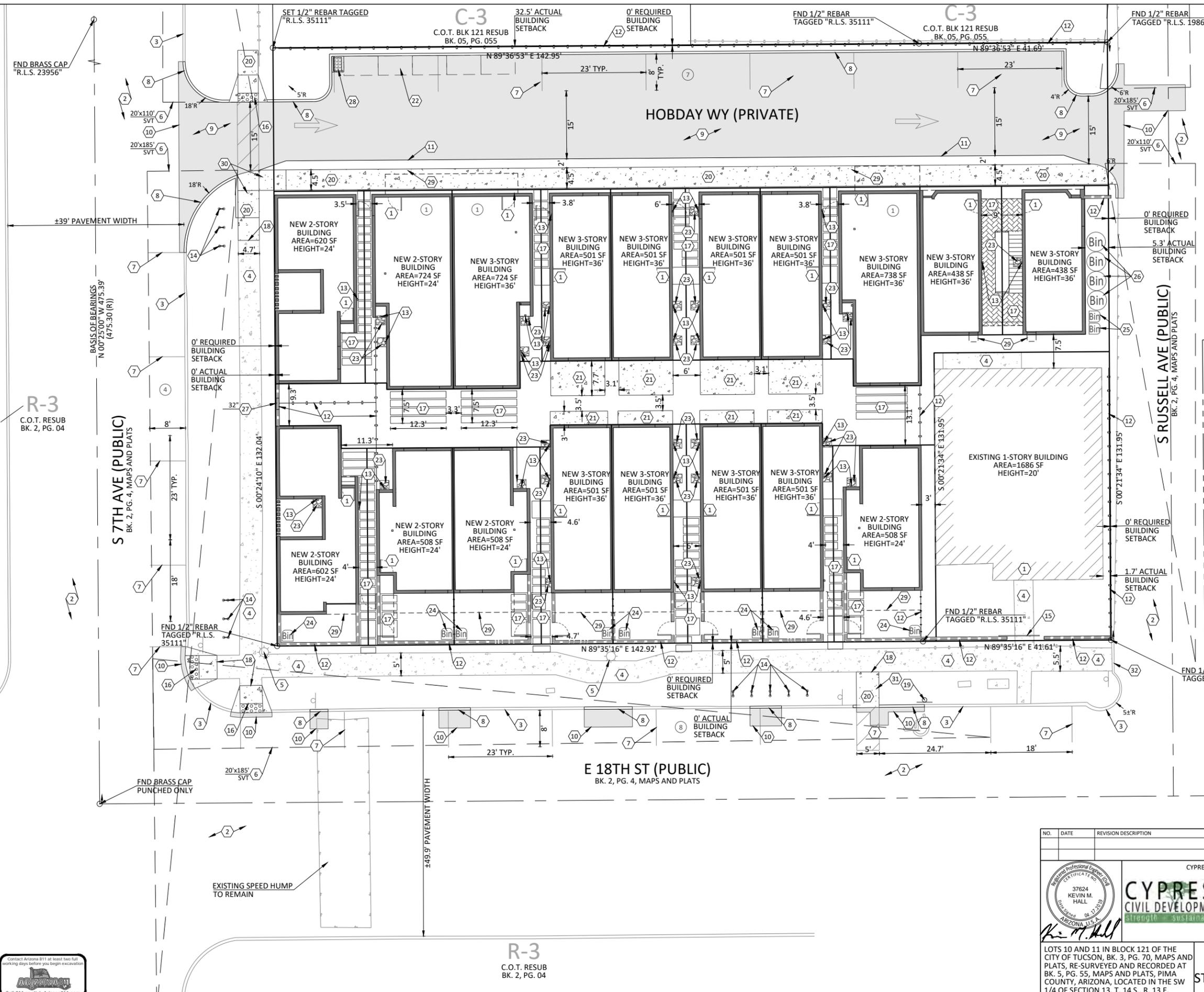
Sincerely,

**Cypress Civil Development**



Blake Junak

EIT



SCALE: 1"=10'

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
  - 2 EXISTING ASPHALT TO REMAIN.
  - 3 EXISTING CURB TO REMAIN.
  - 4 EXISTING CONCRETE/SIDEWALK TO REMAIN.
  - 5 EXISTING LIGHT TO REMAIN.
  - 6 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
  - 7 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
  - 8 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 7. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
  - 9 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 7.
  - 10 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
  - 11 NEW 6" HIGH WEDGE CURB, PER PAG DETAIL 209. SEE DETAIL C, SHEET 7.
  - 12 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
  - 13 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
  - 14 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL D, SHEET 7. FOR RACK SPACING SEE DETAIL E, SHEET 7.
  - 15 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
  - 16 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207.
  - 17 NEW BRICK/PAVERS/ALTERNATE HARDSCAPE PER LANDSCAPE PLANS. CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203 WHERE APPLICABLE.
  - 18 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
  - 19 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL F, SHEET 7.
  - 20 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
  - 21 NEW PATIO PER BUILDING PLANS.
  - 22 NEW UNDERGROUND DETENTION SYSTEM. 3 CHAMBERS IN 1 ROW. SEE DETAIL G, SHEET 7 FOR INFORMATION.
  - 23 NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL H, SHEET 7.
  - 24 NEW 95 GALLON APC TRASH CONTAINER.
  - 25 NEW 95 GALLON APC RECYCLE CONTAINER.
  - 26 NEW 300 GALLON APC TRASH CONTAINER.
  - 27 NEW WALL OPENING PER DETAIL 1, SHEET 5. SEE KEYNOTE FOR WIDTH.
  - 28 NEW CATCH BASIN (TYPE 1, SINGLE GRATE) PER PAG DETAIL 307.
  - 29 NEW BUILDING OVERHANG PER BUILDING PLANS.
  - 30 NEW CURB ACCESS RAMP PER DETAIL I, SHEET 7.
  - 31 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS.
  - 32 REMOVE AND REPLACE CURB AND SIDEWALK AS NECESSARY TO REMOVE BUMP BETWEEN STREET AND EXISTING SIDEWALK.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: VANESSA SANTUCCI PH: (520) 861-9712 E: monica@equilibriuminvest.com
				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85701



CYPRESS PROJECT NO: 18.086  
2030 east speedway boulevard suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

**CYPRESS CIVIL DEVELOPMENT**  
strength • sustainability

LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BK. 3, PG. 70, MAPS AND PLATS, RE-SURVEYED AND RECORDED AT BK. 5, PG. 55, MAPS AND PLATS, PIMA COUNTY, ARIZONA, LOCATED IN THE SW 1/4 OF SECTION 13, T. 14 S., R. 13 E.

**A TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES) site plan**

DP18-0283  
REF.

4 OF 11



R-3  
C.O.T. RESUB  
BK. 2, PG. 04

TPP  
DS18-0283

**GENERAL NOTES**

- OWNER/DEVELOPER:  
EQUILIBRIUM 28 W 18TH ST LLC  
C/O EQUILIBRIUM REALTY LLC  
220 EAST 6TH STREET  
TUCSON, ARIZONA 85705
- THE EXISTING ZONING IS C-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USES ARE MIXED, RESIDENTIAL AND AUTOMOTIVE SERVICE. THE PROPOSED USES OF THE DEVELOPMENT ARE **MULTI-FAMILY DEVELOPMENT (TOWN HOMES)** AND **ALCOHOLIC BEVERAGE SALES (EXCLUDING LARGE BAR)** AND IS SUBJECT TO USE SPECIFIC STANDARDS C-3 8.7.3.
- THE GROSS AREA OF THIS SUBDIVISION IS **25,704** SQUARE FEET, OR **0.59** ACRES. THE TOTAL NUMBER OF LOTS IS 19.
- THE TOTAL BUILDING GFA IS **11,502** SF, 9816 SF NEW, AND 1686 SF EXISTING. THE TOTAL NUMBER OF NEW UNITS IS 18. THE TOTAL PAVED AREA IS **4,554** SF ±.
- THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **25,704** SF.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- A PROPERTY OWNERS' ASSOCIATION WILL BE FORMED TO ACCEPT RESPONSIBILITY AND LIABILITY FOR CONSTRUCTION, MAINTENANCE, OPERATION, AND CONTROL OF ALL PRIVATE SEWERS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
  - PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
  - THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

**GENERAL NOTES (cont.)**

- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-3 ZONING:
 

RESIDENTIAL DENSITY CALCULATION:  
MAXIMUM =N/A PER UDC SEC. 5.12.9.C.1.c  
ACTUAL = 18/0.53 =33.8 UNITS/ACRE

SITE COVERAGE CALCULATION:  
MAXIMUM = 80%  
ACTUAL = 16,256/25,704 = 63%

MAXIMUM BUILDING HEIGHT = 60'  
ACTUAL BUILDING HEIGHT = 36' MAX.

BUILDING SETBACKS:

	REQUIRED	PROVIDED
NORTH	0'	31.7' MIN.
EAST (STREET)	0'	0.0' MIN.
SOUTH (STREET, FRONT)	0'	0.0' MIN.
WEST (STREET)	0'	0.0' MIN.

NOTE: FOR DIMENSIONAL STANDARDS PURPOSES, MULTIFAMILY DEVELOPMENT IS NOT CONSIDERED A RESIDENTIAL USE PER SECTION 6.3.3.C.

NOTE: WITHIN THE GREATER INFILL INCENTIVE SUBDISTRICT (GIIS), STREET YARD REQUIREMENTS ARE REDUCED OR EXEMPT PER SECTION 5.12.4.B, C.2.
- PARKING REQUIREMENTS:
 

NOTE: WITHIN GREATER INFILL INCENTIVE SUBDISTRICT (GIIS), MOTOR VEHICLE PARKING, BICYCLE PARKING, AND LOADING ZONE REQUIREMENTS ARE REDUCED PER 5.12.4.B, C.

MOTOR VEHICLE: 1.5 SPACES PER 1 BEDROOM UNIT + 2 SPACES PER 2 BEDROOM UNIT + 1 SPACE PER 505F GFA BAR

NOTE: PARKING REQUIREMENTS FOR GREATER INFILL INCENTIVE SUBDISTRICT: (REDUCE BY 25%)

TOTAL REQUIRED = ((8 X 1.5) + (10X2) + (1686/50)) X 0.75  
TOTAL REQUIRED= 49 SPACES

PROVIDED=	IN GARAGES	=3 SPACES
	IN PARKING LOT	=8 SPACES
	ON STREET BY PARKING AGREEMENT	=12 SPACES
	TOTAL PROVIDED=	23 SPACES

ACCESSIBLE SPACES REQUIRED = 1 SPACE  
ACCESSIBLE SPACES PROVIDED = 1 SPACE

BICYCLE PARKING:  
SHORT TERM: 0.1 SPACE PER BEDROOM (2 MIN.) + 1 PER 200 SF GFA BAR (2 MIN.)  
TOTAL REQUIRED = ((20 X 0.1) + (1686/200)) X 0.75  
TOTAL REQUIRED= 8 SPACES

TOTAL PROVIDED	= 8 SPACES
LONG TERM: 0.5 SPACE PER BEDROOM (2 MIN.) + 1 PER 1200 SF GFA BAR (2 MIN.)	
TOTAL REQUIRED = ((20 X 0.5) + (1686/1200)) X 0.75	TOTAL REQUIRED= 12 SPACES
TOTAL PROVIDED	= 18 SPACES

NOTE: LONG TERM BICYCLE PARKING PROVIDED FOR INSIDE DWELLING UNITS.

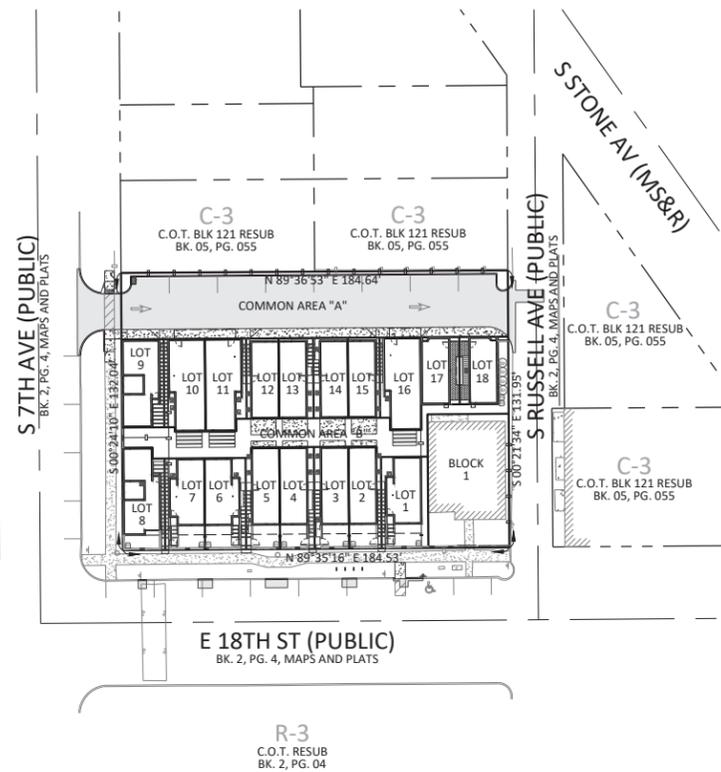
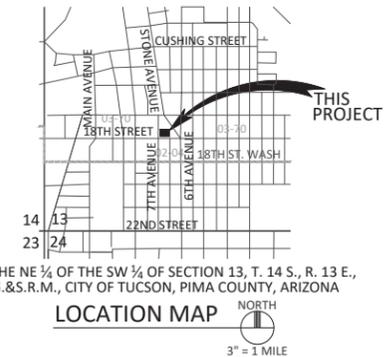
LOADING ZONES REQUIRED = 0 SPACES  
LOADING ZONES PROVIDED = 0 SPACES
- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- WALL MOUNTED MAIL SERVICE FOR EACH UNIT TO BE LOCATED NEAR THE STREET AND PARKING LOT ENDS OF THE SHARED CORRIDORS BETWEEN BUILDINGS.
- WASTE STREAM CALCULATION:
 

PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 107.8 TONS OF SOLID WASTE PER YEAR (EQUATING TO 1,382 GALLONS PER WEEK). A MINIMUM OF 6.8 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.

THIS WILL BE ACCOMPLISHED BY EIGHT 95-GAL. APC TRASH BINS, FOUR 300-GAL. APC TRASH BINS AND TWO 95-GAL. APC RECYCLING BINS BEING PICKED UP ONCE PER WEEK.
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
- TOTAL MILES OF NEW PUBLIC STREETS ARE 0.0 MILES.  
TOTAL MILES OF NEW PRIVATE STREETS ARE 0.027 MILES.
- THERE WILL BE NO FURTHER DIVISION OF LOTS WITHOUT THE EXPRESSED APPROVAL OF THE CITY OF TUCSON.

# TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" + C.A. "B"

## A GREATER INFILL INCENTIVE SUBDISTRICT DEVELOPMENT



LOT AREA TABLE			
LOT #	LOT AREA	ZONE	UNIT AREA
1	970.36 SF	C-3	508 SF
2	741.75 SF	C-3	501 SF
3	800.25 SF	C-3	501 SF
4	800.25 SF	C-3	501 SF
5	770.74 SF	C-3	501 SF
6	855.49 SF	C-3	508 SF
7	826.50 SF	C-3	508 SF
8	953.57 SF	C-3	602 SF
9	845.11 SF	C-3	620 SF
10	856.14 SF	C-3	724 SF
11	837.39 SF	C-3	724 SF
12	591.59 SF	C-3	501 SF
13	629.76 SF	C-3	501 SF
14	629.76 SF	C-3	501 SF
15	580.46 SF	C-3	501 SF
16	840.95 SF	C-3	738 SF
17	586.67 SF	C-3	438 SF
18	586.67 SF	C-3	438 SF
BLOCK 1	2,466.36 SF	C-3	1686 SF
C.A. "A"	5,845.90 SF	C-3	N/A
C.A. "B"	2,348.80 SF	C-3	N/A

**SHEET INDEX**

- |                               |                        |
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**ARCHITECT**

HAZELBAKER RUSH  
342 EAST MABEL STREET  
TUCSON, ARIZONA 85705  
ATTN: DALE RUSH  
PH: (520) 301-7273  
E: studio@ha-ru.co

**LANDSCAPE ARCHITECT**

ARC STUDIOS INC.  
3117 EAST FLOWER STREET  
TUCSON, ARIZONA 85716  
ATTN: ERIC BARRETT  
PH: (520) 882-9655  
E: erb@arcstudiosinc.com

NO.	DATE	REVISION DESCRIPTION	BY

37624  
KEVIN M. HALL  
ARIZONA U.S.A.

CYPRESS PROJECT NO: 18.086

2030 east speedway boulevard suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

**OWNER/DEVELOPER**  
EQUILIBRIUM 28 W 18TH ST LLC  
C/O EQUILIBRIUM REALTY LLC  
220 EAST 6TH STREET  
TUCSON, ARIZONA 85705  
ATTN: VANESSA SANTUCCI  
PH: (520) 861-9712  
E: monica@equilibriuminvest.com

**SITE ADDRESS**  
18 WEST 18TH STREET  
TUCSON, ARIZONA 85701

**A TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES) cover sheet**



**GENERAL PAVING + GRADING NOTES**

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):  

TOTAL CUT	TOTAL FILL	COMPOSITE
394 CY	331 CY	62 CY (C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.
- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.

**GENERAL PAVING + GRADING NOTES (cont.)**

- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDSO TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PDSO WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PDSO PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDSO ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velocityhall.com/accela/velohall/index.cfm?city=tucson&state=arizona>
- ANY REVISION TO THE GRADING PLAN **MAY** REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PDSO ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

**RIPRAP NOTES**

- RIPRAP MATERIAL SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 913. RIPRAP MATERIAL SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (d<sub>50</sub>=6"). THE RIPRAP LAYER SHALL BE 6 INCHES MINIMUM THICKNESS.
- THE GROUT FOR THE RIPRAP SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 914. THE TOTAL GROUT AND RIPRAP LAYER SHALL BE A MINIMUM THICKNESS OF 1.5d<sub>50</sub> INCHES (d<sub>50</sub>=6"). GROUT THICKNESS SHALL BE EQUAL TO 1.0d<sub>50</sub> AND RIPRAP ROCK SHALL BE EMBEDDED TO A DEPTH OF 0.5d<sub>50</sub>.
- FINISH GRADE ("FG") CALLOUTS ARE TO TOP OF RIPRAP, IN APPLICABLE AREAS.

**EARTHWORK/MATERIALS TESTING + CERTIFICATION**

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING, LLC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED 10/15/2018, PATTISON PROJECT NO. 18-150.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT	
SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIPRAP OVER FILTER FABRIC
1:1 TO 2:1	GROUTED OR WIRE-TIED RIPRAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

NOTES:  
 - SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL  
 - FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE **UNLESS OTHERWISE NOTED** ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.  
 - SEE RIPRAP NOTES FOR SPECIFICATIONS.

**SURVEY NOTES**

- THE BASIS OF BEARINGS FOR THIS PROJECT IS A LINE BETWEEN MONUMENTS FOUND ON 7TH AVENUE ACCORDING TO BOOK 42 AT PAGE 55. THE BEARING OF SAID LINE IS **N 00°25'00" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS A 2" ALUMINUM DISK WITH 60d NAIL STAMPED "CITY OF TUCSON RLS20373" LOCATED ON THE APPROXIMATE CENTERLINE OF SEVENTEENTH STREET, 103'± EAST OF STONE AVENUE. PIMA ASSOCIATION OF GOVERNMENTS DESIGNATION DL23. THE ELEVATION OF SAID BENCHMARK IS **2401.79'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:  
 ARROW LAND SURVEYING  
 3121 EAST KLEINDALE ROAD  
 TUCSON, ARIZONA 85716  
 ATTN: MR. GREGORY BAUER, AZ RLS #35111  
 PH: (520) 881-2155
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN, UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

**LEGEND**

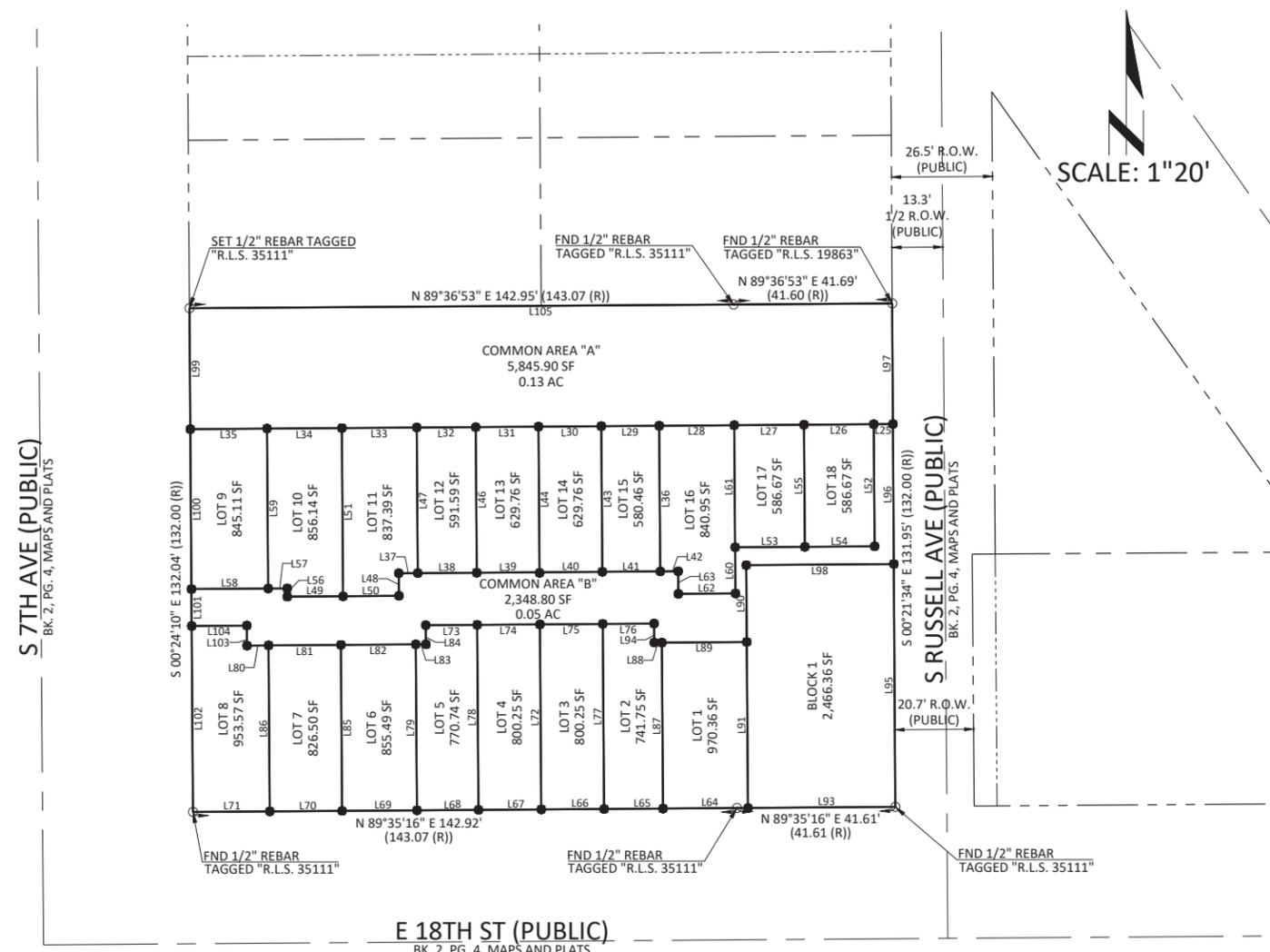
	PROJECT BOUNDARY		NEW MAIL BOX
	RIGHT-OF-WAY		NEW SIGN
	OTHER PARCEL LINE		NEW STREET/SITE LIGHT
	ROADWAY CENTERLINE		NEW 95 GAL AUTOMATED PLASTIC CONTAINER
	NEW EASEMENT		NEW 300 GAL AUTOMATED PLASTIC CONTAINER
	EXISTING CONTOUR		NEW SEWER
	NEW CONTOUR		NEW WATER
	SPOT ELEV. (NEW GRADE)		NEW FIRE SERVICE
	SPOT ELEV. (EXIST. GRADE)		NEW UNDERGROUND ELECTRIC
	ZONE BOUNDARY		NEW COMMUNICATION LINE
	EXISTING PAVEMENT EDGE		NEW GAS LINE
	EXISTING CURB		NEW SEWER CLEANOUT
	EXISTING CONCRETE		NEW SEWER MANHOLE
	NEW RIPRAP		NEW WATER METER
	EXISTING FENCE		NEW BACKFLOW PREVENTER
	NEW CURB		NEW WATER VALVE
	NEW PAINT STRIPE		NEW FIRE HYDRANT
	NEW ASPHALT		NEW ELECTRIC PULL BOX
	NEW CONCRETE		NEW ELECTRIC PEDESTAL
	NEW FENCE		NEW TRANSFORMER
	NEW WALL		NEW GAS METER
	EXISTING SIGN		SURVEY MONUMENTATION AS NOTED
	EXISTING STREET LIGHT		SURVEY MONUMENTATION TO BE SET
	EXISTING SEWER		PARKING SPACE COUNT
	EXISTING WATER		ZONING DIVISION
	EXISTING FIRE SERVICE		SIGHT VISIBILITY TRIANGLE
	EXISTING OVERHEAD ELECTRIC		RIGHT-OF-WAY
	EXISTING GAS LINE		CENTERLINE
	EXISTING SEWER MANHOLE		RECORDED; CALCULATED DISTANCE
	EXISTING SEWER CLEANOUT		RADIUS
	EXISTING WATER METER		PAVEMENT (ASPHALT)
	EXISTING BACKFLOW PREVENTER		CONCRETE
	EXISTING WATER VALVE		TOP OF CURB
	EXISTING FIRE HYDRANT		FINISHED GRADE
	EXISTING ELECTRICAL EQUIPMENT		LOW POINT
	EXISTING TELEPHONE PEDESTAL		HIGH POINT
	EXISTING POWER POLE		GRADE BREAK
	EXISTING GAS METER		FINISHED FLOOR ELEVATION
	EXISTING UNKNOWN UTILITY		FINISHED PAD ELEVATION
			RIGHT OFFSET
			LEFT OFFSET
			BACKWATER VALVE REQUIRED



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: VANESSA SANTUCCI PH: (520) 861-9712 E: monica@equilibriuminvest.com
				CYPRESS PROJECT NO: 18.086  <b>CYPRESS CIVIL DEVELOPMENT</b> 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA				
A TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES) notes + legend				SITE ADDRESS 18 WEST 18TH STREET TUCSON, ARIZONA 85701

DP

2 OF 11



SCALE: 1"=20'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L25	S 89° 35' 16" W	5.03'
L26	S 89° 35' 16" W	18.33'
L27	S 89° 35' 16" W	18.33'
L28	S 89° 35' 16" W	19.71'
L29	S 89° 35' 16" W	15.21'
L30	S 89° 35' 16" W	16.50'
L31	S 89° 35' 16" W	16.50'
L32	S 89° 35' 16" W	15.50'
L33	S 89° 35' 16" W	19.67'
L34	S 89° 35' 16" W	19.67'
L35	S 89° 35' 16" W	20.16'
L36	S 0° 24' 44" E	38.17'
L37	N 89° 35' 16" E	5.00'
L38	N 89° 35' 16" E	15.50'
L39	N 89° 35' 16" E	16.50'
L40	N 89° 35' 16" E	16.50'
L41	N 89° 35' 16" E	15.21'
L42	N 89° 35' 16" E	4.71'
L43	S 0° 24' 44" E	38.17'
L44	S 0° 24' 44" E	38.17'
L46	S 0° 24' 44" E	38.17'
L47	S 0° 24' 44" E	38.17'
L48	N 0° 24' 44" W	5.92'
L49	N 89° 35' 16" E	14.67'
L50	N 89° 35' 16" E	14.67'
L51	S 0° 24' 44" E	44.08'
L52	N 0° 24' 44" W	32.00'
L53	N 89° 35' 16" E	18.33'
L54	N 89° 35' 16" E	18.33'
L55	N 0° 24' 44" W	32.00'
L56	S 0° 24' 44" E	2.17'
L57	S 89° 35' 16" W	5.00'
L58	S 89° 35' 16" W	20.17'
L59	S 0° 24' 44" E	41.92'
L60	N 0° 24' 44" W	44.08'
L61	N 0° 24' 44" W	44.08'
L62	N 89° 35' 16" E	15.00'
L63	S 0° 24' 44" E	5.92'
L64	S 89° 35' 16" W	22.31'
L65	S 89° 35' 16" W	15.50'
L66	S 89° 35' 16" W	16.50'
L67	S 89° 35' 16" W	16.50'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L68	S 89° 35' 16" W	16.17'
L69	S 89° 35' 16" W	19.67'
L70	S 89° 35' 16" W	19.00'
L71	S 89° 35' 16" W	20.17'
L72	N 0° 24' 44" W	48.50'
L73	N 89° 35' 16" E	13.50'
L74	N 89° 35' 16" E	16.50'
L75	N 89° 35' 16" E	16.50'
L76	N 89° 35' 16" E	13.50'
L77	N 0° 24' 44" W	48.50'
L78	N 0° 24' 44" W	48.50'
L79	N 0° 24' 44" W	43.50'
L80	N 89° 35' 16" E	5.67'
L81	N 89° 35' 16" E	19.00'
L82	N 89° 35' 16" E	19.67'
L83	N 89° 35' 16" E	2.67'
L84	N 0° 24' 44" W	5.00'
L85	S 0° 24' 44" E	43.50'
L86	N 0° 24' 44" W	43.50'
L87	N 0° 24' 44" W	43.50'
L88	N 89° 35' 16" E	2.00'
L89	N 89° 35' 16" E	22.31'
L90	S 0° 24' 44" E	20.15'
L91	S 0° 24' 44" E	43.50'
L93	N 89° 35' 16" E	38.72'
L94	S 0° 24' 44" E	5.00'
L95	N 0° 21' 34" W	63.65'
L96	N 0° 21' 34" W	36.68'
L97	N 0° 21' 34" W	31.62'
L98	S 89° 35' 16" W	38.78'
L99	S 0° 24' 10" E	31.71'
L100	S 0° 24' 10" E	41.92'
L101	S 0° 24' 10" E	9.67'
L102	S 0° 24' 10" E	48.75'
L103	S 0° 24' 44" E	5.25'
L104	N 89° 35' 16" E	14.50'
L105	S 89° 36' 53" W	184.63'

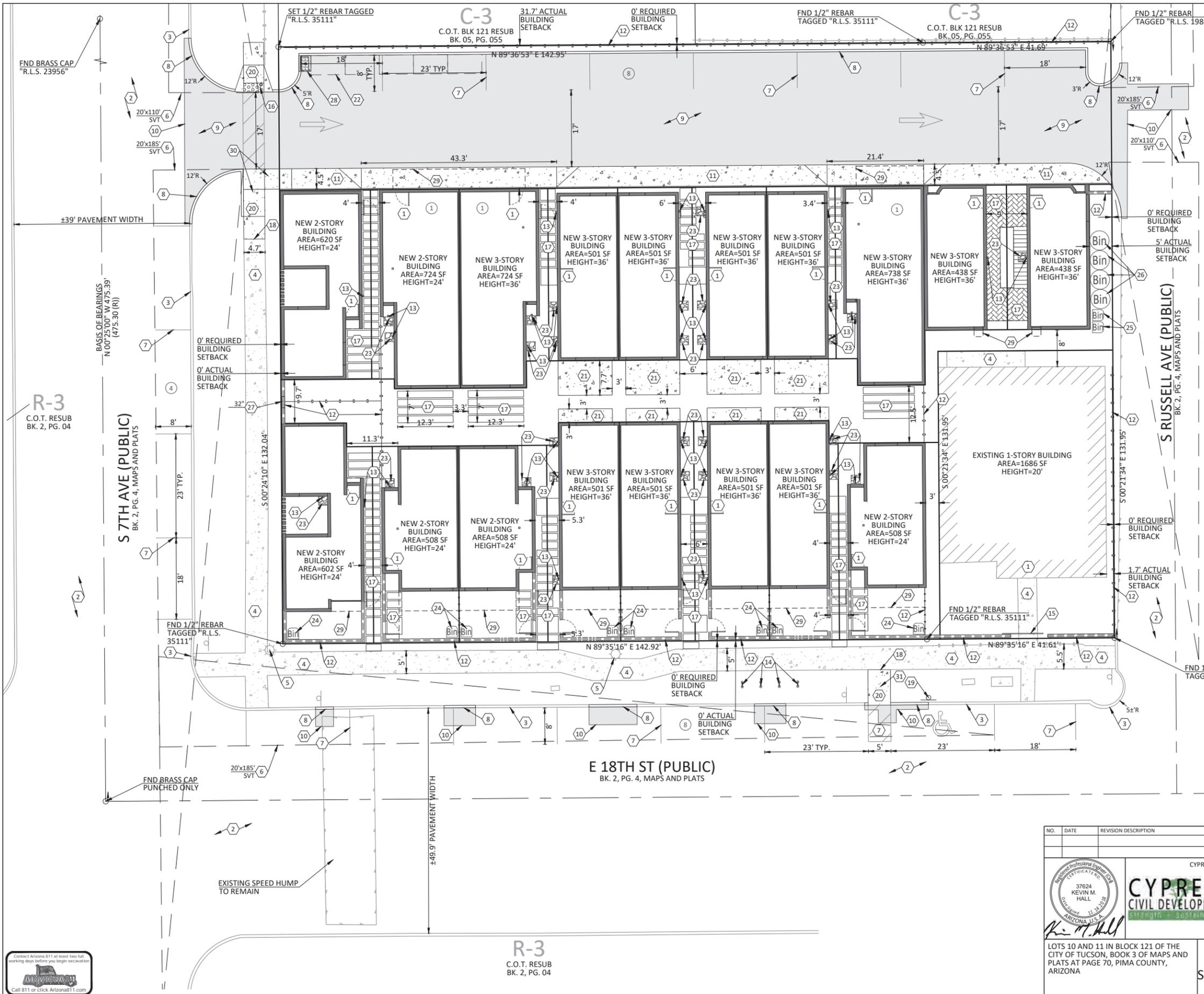
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: VANESSA SANTUCCI PH: (520) 861-9712 E: monica@equilibriuminvest.com
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SITES ADDRESS 18 WEST 18TH STREET TUCSON, ARIZONA 85701				

LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA

A TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES) property plan

DP  
3 OF 11





SCALE: 1"=10'

KEYNOTES

- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 5 EXISTING LIGHT TO REMAIN.
- 6 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 7 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 8 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 7. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
- 9 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 7.
- 10 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
- 11 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL C, SHEET 7.
- 12 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
- 13 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
- 14 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL D, SHEET 7. FOR RACK SPACING SEE DETAIL E, SHEET 7.
- 15 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
- 16 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207.
- 17 NEW BRICK/PAVERS/ALTERNATE HARDSCAPE PER LANDSCAPE PLANS. CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203 WHERE APPLICABLE.
- 18 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
- 19 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL F, SHEET 7.
- 20 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
- 21 NEW PATIO PER BUILDING PLANS.
- 22 NEW UNDERGROUND DETENTION SYSTEM. 3 CHAMBERS IN 1 ROW. SEE DETAIL G, SHEET 7 FOR INFORMATION.
- 23 NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL H, SHEET 7.
- 24 NEW 95 GALLON APC TRASH CONTAINER.
- 25 NEW 95 GALLON APC RECYCLE CONTAINER.
- 26 NEW 300 GALLON APC TRASH CONTAINER.
- 27 NEW WALL OPENING PER DETAIL 1, SHEET 5. SEE KEYNOTE FOR WIDTH.
- 28 NEW CATCH BASIN (TYPE 1, SINGLE GRATE) PER PAG DETAIL 307.
- 29 NEW BUILDING OVERHANG PER BUILDING PLANS.
- 30 NEW CURB ACCESS RAMP PER DETAIL I, SHEET 7.
- 31 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMP.

C-3  
C.O.T. BLK 121 RESUB  
BK. 05, PG. 055

C-3  
C.O.T. BLK 121 RESUB  
BK. 05, PG. 055

R-3  
C.O.T. RESUB  
BK. 2, PG. 04

R-3  
C.O.T. RESUB  
BK. 2, PG. 04

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: VANESSA SANTUCCI PH: (520) 861-9712 E: monica@equilibriuminvest.com
				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85701
				
<p>CYPRESS PROJECT NO: 18.086</p> <p>2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com</p>				
<p>LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA</p>				
<p>A TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES) site plan</p>				

DP  
4 OF 11

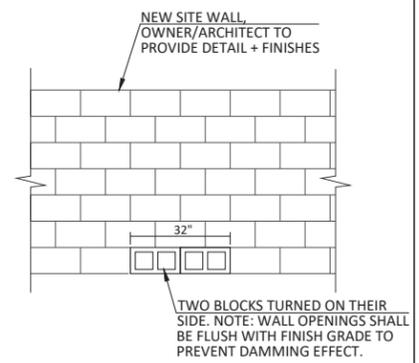
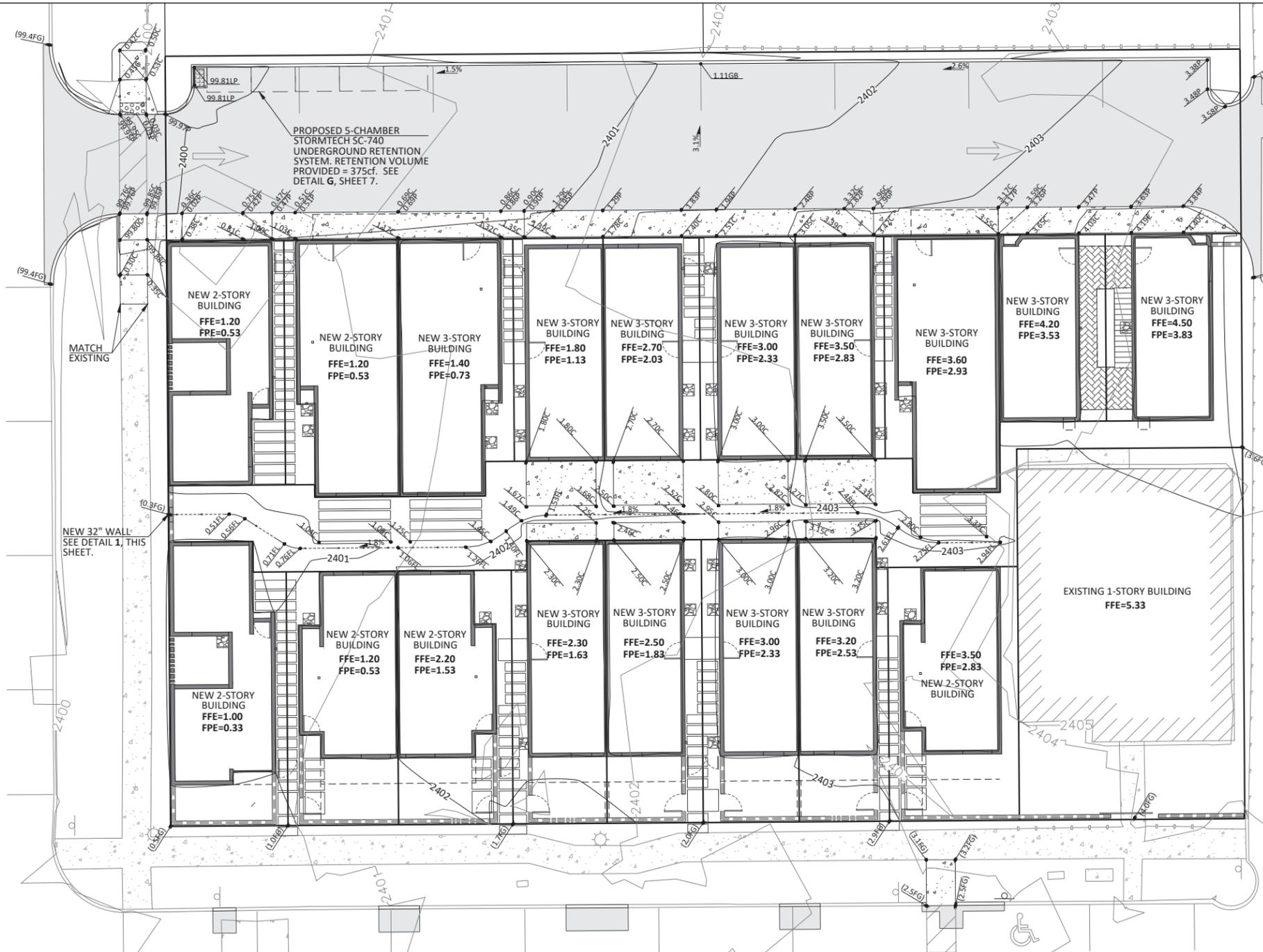


SCALE: 1"=10'  
C.I. = 1 FOOT

S 7TH AVE (PUBLIC)  
BK. 2, PG. 4, MAPS AND PLATS

S RUSSELL AVE (PUBLIC)  
BK. 2, PG. 4, MAPS AND PLATS

E 18TH ST (PUBLIC)  
BK. 2, PG. 4, MAPS AND PLATS



1 WALL OPENING DETAIL  
N.T.S.

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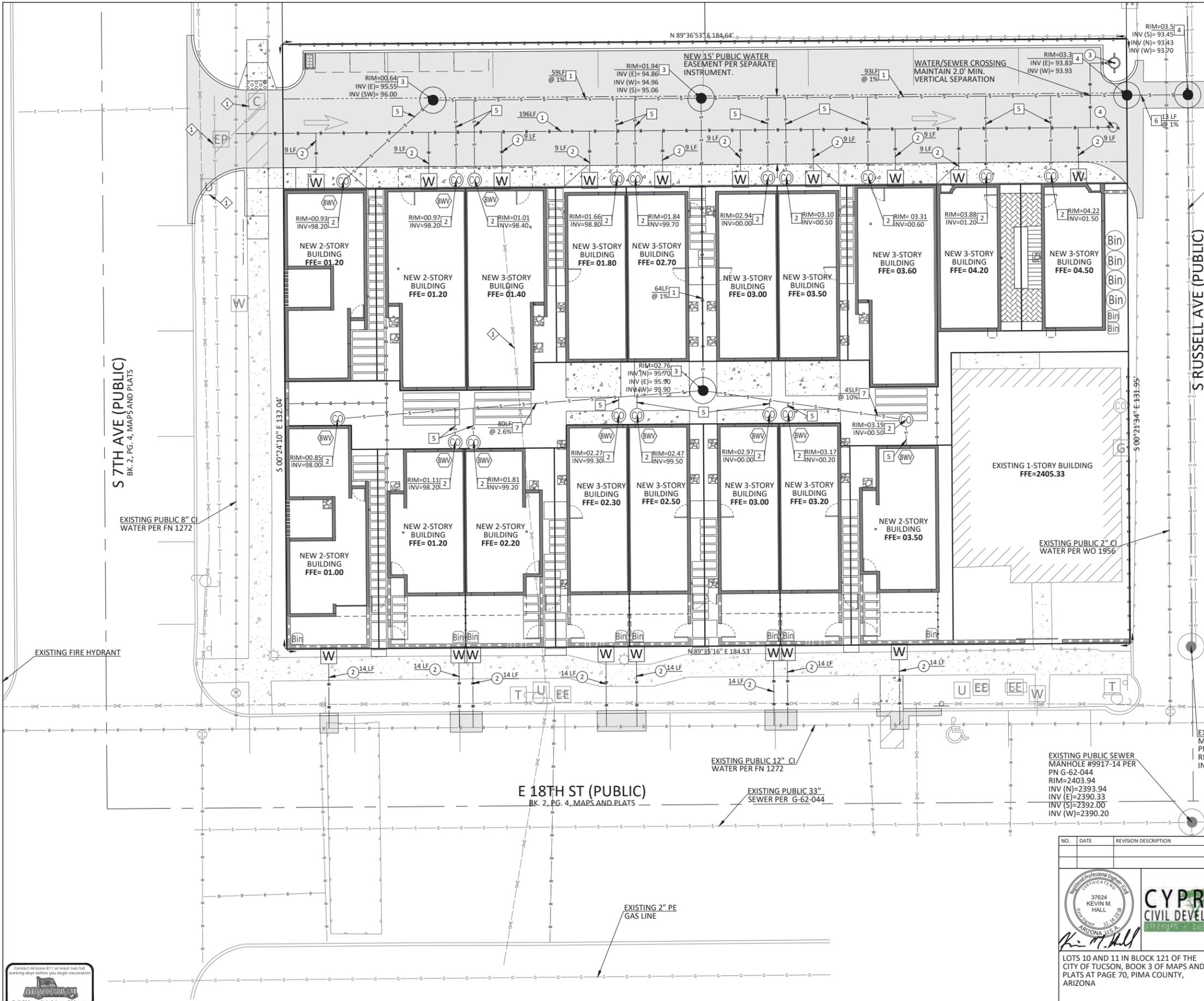
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DP  
5 OF 11





SCALE: 1"=10'  
C.I. = 1 FOOT

- SEWER KEYNOTES**
- 1 NEW PRIVATE 8" PVC SEWER LINE PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 2 NEW PRIVATE SEWER CLEANOUT PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 3 NEW PRIVATE SEWER MANHOLE PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 4 NEW PUBLIC SEWER MANHOLE PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
  - 5 NEW PRIVATE 4" PVC SEWER SERVICE. CONNECT TO MAIN PER RWDR DTL 401.
  - 6 NEW PUBLIC 8" PVC SEWER LINE PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 7 NEW PRIVATE 6" PVC SEWER LINE PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH AND SLOPE.
- WATER KEYNOTES**
- 1 NEW PUBLIC/PRIVATE 8" PVC WATER MAIN PER SEPARATE PLAN. SEE KEYNOTE FOR LENGTH.
  - 2 NEW 5/8" WATER SERVICE + 5/8" METER. SEE KEYNOTE FOR LENGTH.
  - 3 NEW PUBLIC 8" FIRE LINE AND HYDRANT.
  - 4 NEW MODIFIED DRAIN VALVE ASSEMBLY PER TUCSON WATER SD-400.
- OTHER UTILITY KEYNOTES**
- 1 EXISTING UTILITY INFRASTRUCTURE. CONTRACTOR TO COORDINATE ANY REMOVAL/REPLACEMENT WITH RESPECTIVE UTILITY COMPANY.

**UTILITY NOTE**

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POT-HOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

- PRIVATE UTILITY NOTES**
1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
  2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
  3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

- PRIVATE FIRE SUPPRESSION NOTES**
1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
  2. MINIMUM DEPTH OF BURY TO BE 36".
  3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
  4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
  5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
  6. TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

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				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85701

CYPRESS PROJECT NO: 18.086

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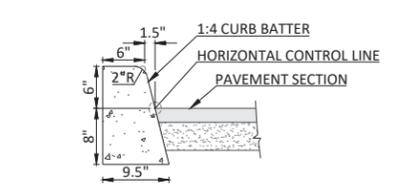
**CYPRESS CIVIL DEVELOPMENT**  
Strength - In - Design

Professional Engineer Seal:  
KEVIN M. HALL  
37624  
HALL  
ARIZONA U.S.A.  
11.18.19

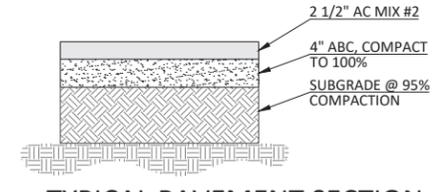
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA

**A TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES) utilities + easements plan**

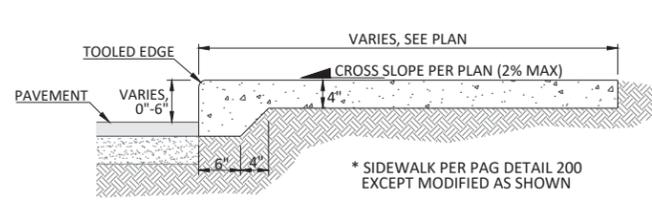




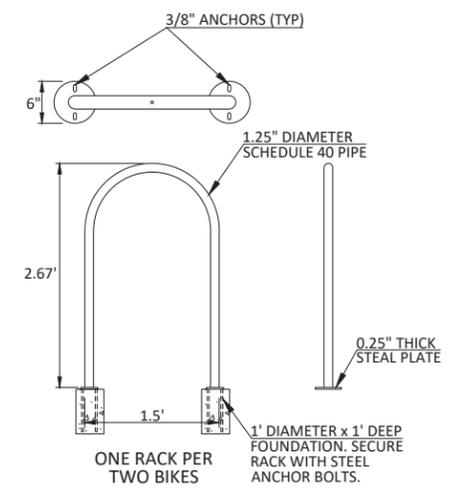
**A CONCRETE VERTICAL CURB**  
TYPE 2, H=6"  
PAG DETAIL 209  
SCALE: 1"=1'



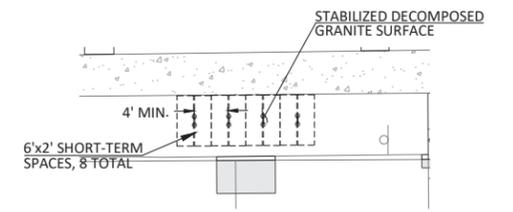
**B TYPICAL PAVEMENT SECTION**  
SCALE: 1"=1'



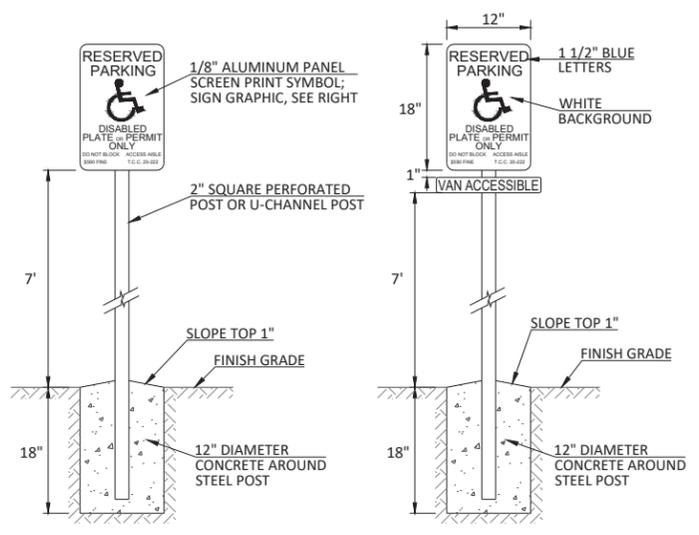
**C MODIFIED CONCRETE SIDEWALK**  
SCALE: 1"=1'



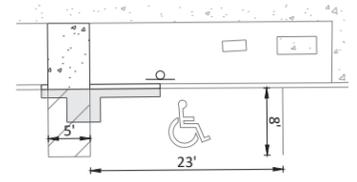
**D BICYCLE RACK (SHORT TERM)**  
SURFACE MOUNT  
N.T.S.



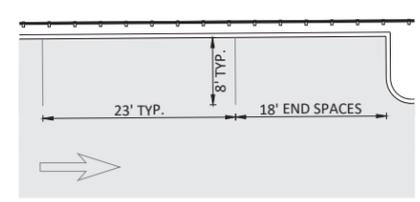
**E BIKE RACK/LOCKER SPACING**  
SCALE: 1"=10'



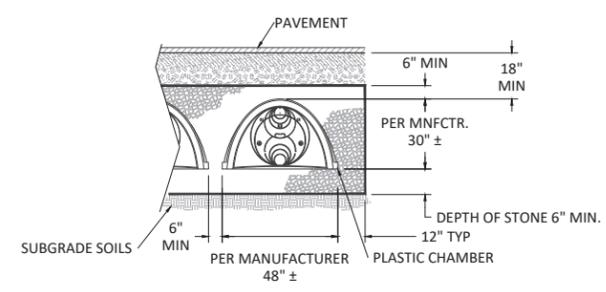
**F ACCESSIBLE SIGN AND POST**  
SCALE: 1"=1'



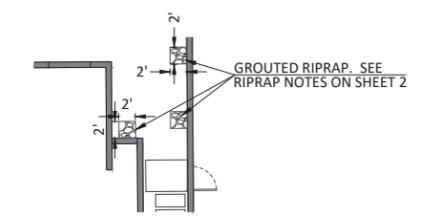
**TYPICAL PARKING DETAIL**  
ACCESSIBLE  
SCALE: 1"=10'



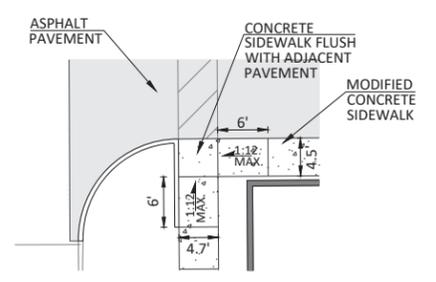
**TYPICAL PARKING DETAIL**  
PARKING LOT  
SCALE: 1"=10'



**G DETENTION CHAMBER SECTION**  
N.T.S.

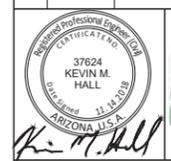


**H TYPICAL RIPRAP DIMENSIONS**  
SPLASHPADS  
SCALE: 1"=10'



**I CURB ACCESS RAMP**  
SCALE: 1"=10'

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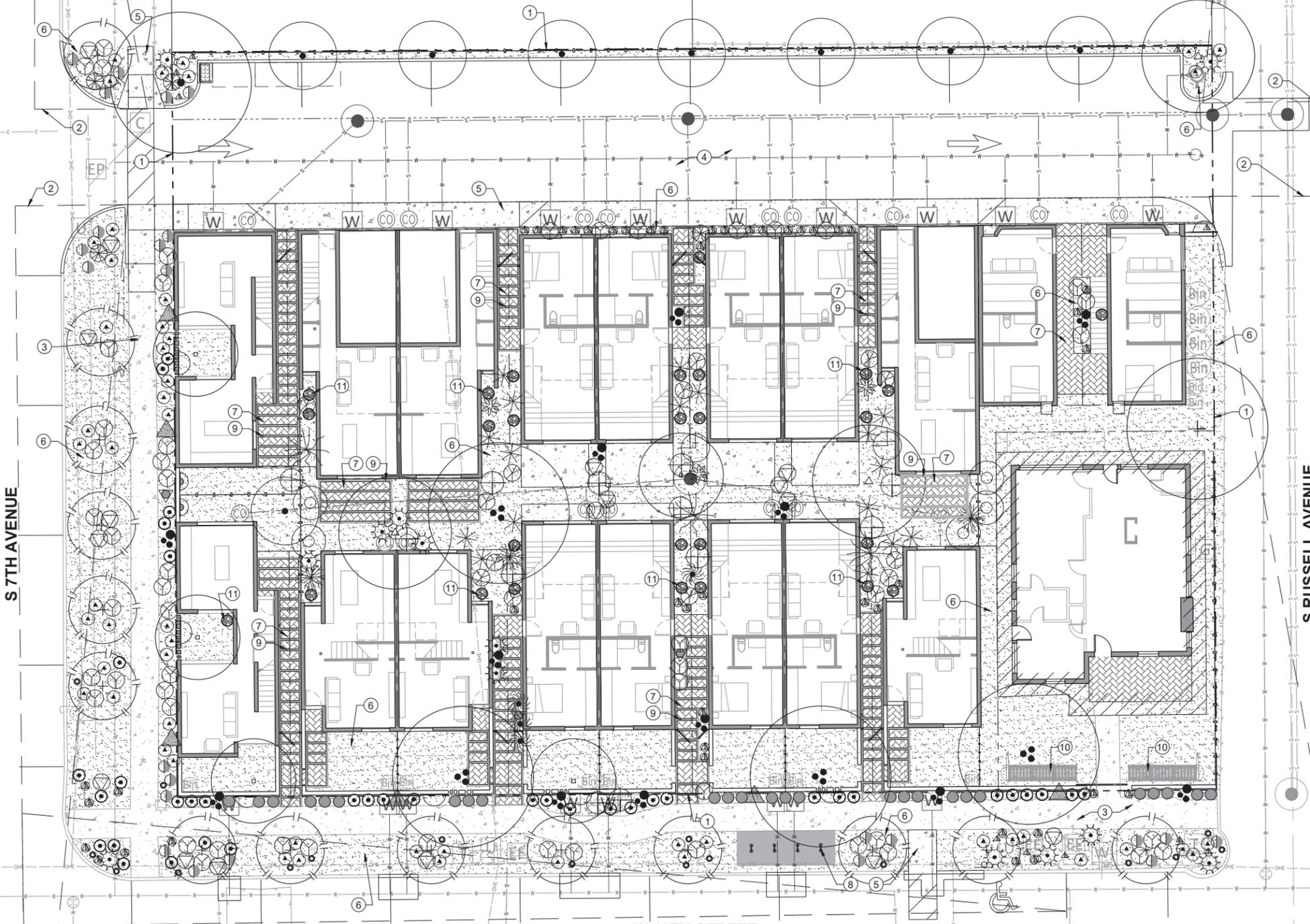
DP

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**GENERAL LANDSCAPING NOTES:**

- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
- For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
- The Landscape Architect is to approve any and all substitutions.
- Plant list quantities are provided for contractor's convenience only. Plans take precedence.
- Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
- Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
- Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
- Ground cover and/or decorative rock shall extend under shrubs unless noted.
- After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
- Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
- All earthwork is to be done so that all water drains away from all structures.
- All underground utilities are to be located before digging.
- All plant material to be guaranteed for a period of one (1) year after final acceptance.
- Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
- In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
- All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
- Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
- Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
- All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
- Final plant locations must be in compliance with all utility setback requirements.
- Sleeve all pipes and wires under paved areas including streets and sidewalks.
- Irrigation lines are shown schematically; locate all line in unpaved areas.
- Locate all lines within the property line when possible.
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
- The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.



**LANDSCAPE BORDER REQUIREMENTS Sec. 7.6.4.C**

North	South (18th Street)
no landscape border required	street border waived per iid zoning
East (Russell Avenue)	West (7th Avenue)
street border waived per iid zoning	street border waived per iid zoning

**CITY OF TUCSON RIGHT-OF-WAY NOTES:**

- It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Land Use Code (LUC) section.
- It is the owner responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.
- It is the owner responsible to keep vegetation from growing past the curb line clear, and keep a 15' high clear zone over the travel lane.
- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the

Right-of-Way (ROW) in the landscaped area, plants and irrigation may be destroyed without replacement or repair.

- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right-Of-Way excavation permit prior to construction within the ROW.
- Landscape and maintenance in the public ROW shall be maintained by the property owner of the development at no cost to the City of Tucson.

**GROUND COVER MATERIAL LEGEND**

- Furnish and install all material per plans, details, and specs.
- 01 Decorative rock
    - type: screened rock
    - size: 1/2"
    - color: desert brown - pioneer materials
    - depth: 2"
    - notes: install in all landscape planting areas
  - 02 Decorative rock - Patio/Walk
    - type: stabilized decomposed granite
    - size: 1/4" minus
    - color: santa fe gold
    - depth: 3"
    - notes: install at bicycle parking
  - 03 Decorative rock - Rip Rap
    - type: rip rap
    - size: 3 - 6"
    - color: desert brown
    - depth: 6"
    - notes: refer to civil paving plans, details and specifications

**# LANDSCAPE KEY NOTES**

- Property line
- Sight visibility triangle
- Existing sidewalk
- Pavement - refer to civil
- Concrete sidewalk - refer to civil
- Decorative rock typ. - all landscape areas

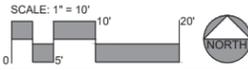
**PARKING TREE REQUIREMENTS Sec. 7.6.4.B**

Parking spaces provided	20
Trees required	5
Trees provided	5

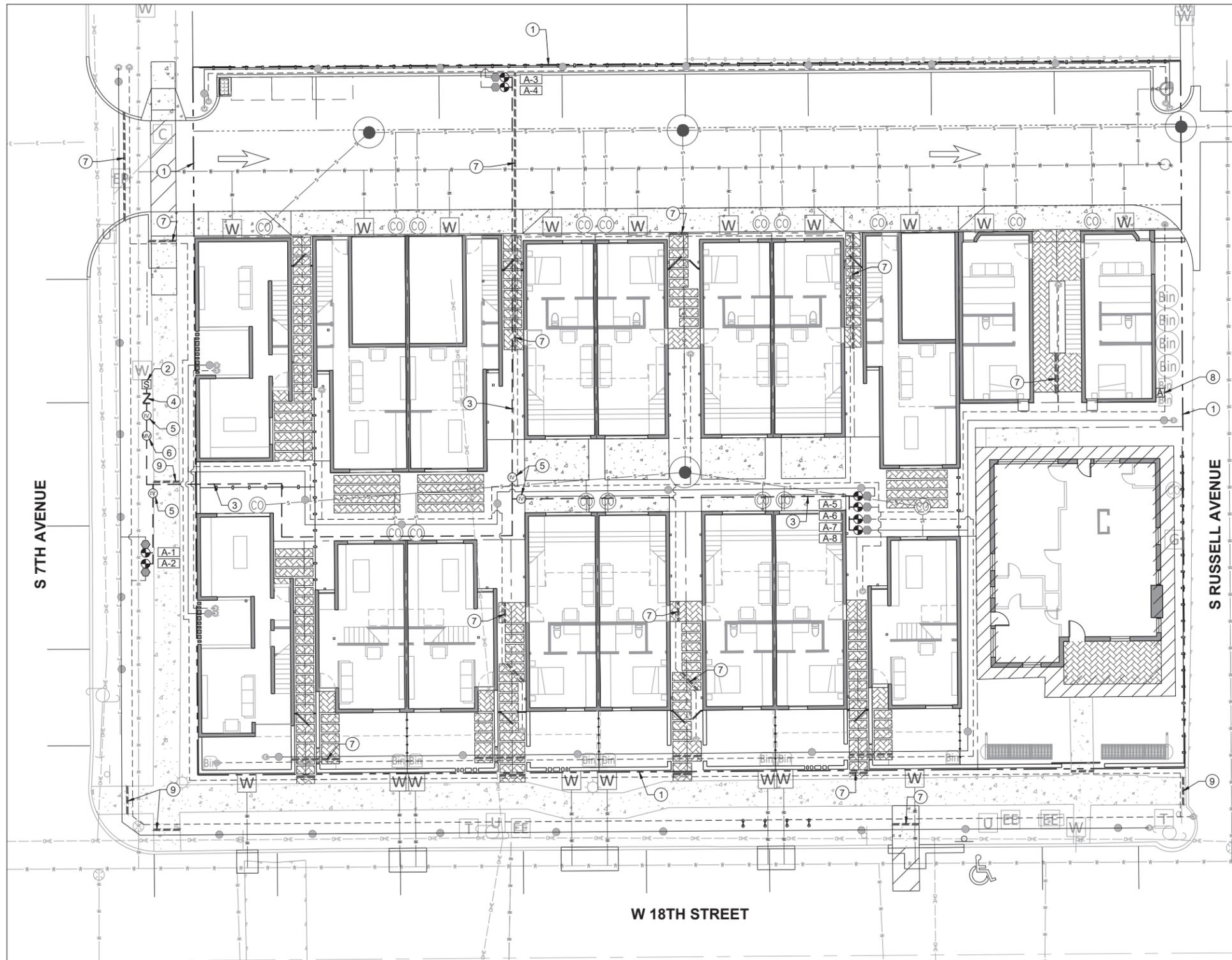
**LANDSCAPE LEGEND**

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
Prosopis velutina	24" box	4
velvet mesquite	1.5" caliper	
Olneya tesota	24" box	1
ironwood	1.5" caliper	
Chilopsis linearis 'Bubba'	24" box	3
semi-seedless desert willow	1.5" caliper	
Fraxinus greggii	24" box	14
littleleaf ash	1.75" caliper	
Parkinsonia florida	24" box	1
blue palo verde	1.5" caliper	
Acacia willardiana	24" box	5
palo blanco	1.5" caliper	
Shrubs / Ground Covers	Size	Qty
Caesalpinia cacalaco smoothie	15 gallon	8
smoothie thornless cascalote		
Senna nemophila	5 gallon	5
green cassia		
Salvia clevelandii	5 gallon	2
cleveland sage		
Justicia californica	5 gallon	12
chuparosa		
Bouteloua gracilis	1 gallon	52
blue grama		
Calliandra eriophylla	5 gallon	17
native fairy duster - false mesquite		
Hymenoxys acaulis	1 gallon	26
angelita daisy		
Justicia spicigera	5 gallon	14
mexican honeysuckle		
Berlandiera lyrata	1 gallon	24
chocolate flower		
Vines	Size	Qty
Parthenocissus 'Hacienda Creeper'	5 gallon	7
hacienda creeper		
Antigonon leptopus 'Baja Red'	5 gallon	2
red queen's wreath		
Cacti / Succulents	Size	Qty
Fouquieria macdougallii	15 gallon	3
tree ocotillo		
Fouquieria splendens	15 gallon	3
ocotillo		
Agave gemniflora	5 gallon	4
twin flower agave		
Nolina microcarpa	5 gallon	17
beargrass		
Agave attenuata	5 gallon	3
fox tail agave		
Asclepias subulata	5 gallon	51
desert milkweed		
Pedilanthus bracteatus	5 gallon	4
tall slipper plant		
Euphorbia antisyphilitica	5 gallon	13
candelilla		
Echinocactus grusonii	6" dia	17
golden barrel cactus		
Setcreasea pallida	1 gallon	45
purple heart		
Opuntia cacanapa 'Ellisiana'	5 gallon	10
Opuntia ficus indica	15 gallon	6
Aloe x 'blue elf'	5 gallon	38
blue elf aloe		
Lophocereus schoti	5 gallon	12
totem pole cactus		
Cleistocactus strausii	5 gallon	3
silver torch		



NO.	DATE	REVISION DESCRIPTION	BY
ARC STUDIOS PROJECT NO: 01-18051 ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com			
OWNER/DEVELOPER EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: PH: (520) E:			
SITE ADDRESS 18 WEST 18TH STREET TUCSON, ARIZONA 85701			
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**IRRIGATION LEGEND**

- irrigation source / point of connection - irrigation meter - 5/8" (refer to civil water plans)
- Z irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
- A irrigation controller - rain master rme 16-eg-w, 16 station
- M master valve and flow sensor: master valve - superior 3100 n.o. - 1"; flow sensor - cst fsi-t series - 1"
- ⊖ isolation valve - 1-1/2" lead free brass ball valve
- ⊕ remote control valve & filter - valve - irrigrol 700 series, 700-1
- irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
- tree line - sch. 40 pvc - 3/4" unless otherwise shown
- - - shrub line - sch. 40 pvc - 3/4" unless otherwise shown
- hose end cap
- pressure regulating filter - rain bird - prf-100-rby
- multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
- single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

**IRRIGATION VALVE SCHEDULE**

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-6	1"	shrub
A-2	1"	shrub	A-7	1"	shrub
A-3	1"	tree	A-8	1"	tree
A-4	1"	shrub	A-9		not used
A-5	1"	tree	A-10		not used

**VALVE SCHEDULE NOTES:**

- (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
- Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.
- Hand water cacti after installation.

**IRRIGATION NOTES:**

- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
- The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
- Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
- Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
- If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
- Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
- Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
- Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
- Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
- Contractor shall set additional programs on controller for deep root watering and plant growth from March thru June.
- Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
- Contractor shall have the irrigation functional, prior to start of planting.

**EMITTER SCHEDULE**

Trees	Type	Outlets	Gph outlet	Gph plant
Prosopis velutina	m	5	2.0	10.0
velvet mesquite				
Olneya tesota	m	5	2.0	10.0
ironwood				
Chilopsis linearis "Bubba"	m	5	2.0	10.0
semi-seedless desert willow				
Fraxinus greggii	m	4	2.0	8.0
littleleaf ash				
Parkinsonia florida	m	5	2.0	10.0
blue palo verde				
Acacia willardiana	m	4	2.0	8.0
palo blanco				

**Shrubs / Ground Covers**

Shrubs / Ground Covers	Type	Outlets	Gph outlet	Gph plant
Caesalpinia cacalaco smoothie	s/m	3	2.0	6.0
smoothie thornless cascalote				
Senna nemophila	s/m	2	2.0	4.0
green cassia				
Salvia clevelandii	s/m	2	1.0	2.0
cleveland sage				
Justicia californica	s/m	2	1.0	2.0
chuparosa				
Bouteloua gracilis	s/m	1	0.5	0.5
blue grama				
Calliandra eriophylla	s/m	1	1.0	1.0
native fairy duster - false mesquite				
Hymenoxys acaulis	s/m	1	1.0	1.0
angelita daisy				
Justicia spicigera	s/m	2	1.0	2.0
mexican honeysuckle				
Berlandiera lyrata	s/m	1	1.0	1.0
chocolate flower				

**Vines**

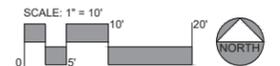
Vines	Type	Outlets	Gph outlet	Gph plant
Parthenocissus 'Hacienda Creeper'	s/m	2	2.0	4.0
hacienda creeper				
Antigonon leptopus 'Baja Red'	s/m	2	2.0	4.0
red queen's wreath				

**Cacti / Succulents**

Cacti / Succulents	Type	Outlets	Gph outlet	Gph plant
Fouquieria macdougalii	s/m	1	0.5	0.5
tree ocotillo				
Fouquieria splendens	s/m	1	0.5	0.5
ocotillo				
Agave gemniflora	s/m	1	1.0	1.0
twin flower agave				
Nolina microcarpa	s/m	2	1.0	2.0
beargrass				
Agave attenuata	s/m	1	1.0	1.0
fox tail agave				
Asclepias subulata	s/m	1	1.0	1.0
desert milkweed				
Pedilanthus bracteatus	s/m	1	1.0	1.0
tall slipper plant				
Euphorbia antisyphilitica	s/m	1	1.0	1.0
candelilla				
Echinocactus grusonii	s/m	0	0.0	0.0
golden barrel cactus				
Setcreasea pallida	s/m	1	1.0	1.0
purple heart				
Opuntia cacanapa 'Ellisiana'	s/m	0	0.0	0.0
spineless cacti				
Opuntia ficus indica	s/m	0	0.0	0.0
indiana fig				
Aloe x 'blue elf'	s/m	1	0.5	0.5
blue elf aloe				
Lophocereus schoti	s/m	1	0.5	0.5
totem pole cactus				
Cleistocactus strausii	s/m	1	0.5	0.5
silver torch				

**# IRRIGATION KEY NOTES**

- Property line
- Irrigation source
- Irrigation mainline
- Backflow preventer
- Isolation valve
- Master valve and flow sensor
- Irrigation sleeve - refer to paving & grading plans
- Irrigation controller
- Irrigation sleeve - bore under existing sidewalk



NO.	DATE	REVISION DESCRIPTION	BY

**OWNER/DEVELOPER**  
EQUILIBRIUM 28 W 18TH ST LLC  
C/O EQUILIBRIUM REALTY LLC  
220 EAST 6TH STREET  
TUCSON, ARIZONA 85705  
ATTN: PH: (520) E:

**SITE ADDRESS**  
18 WEST 18TH STREET  
TUCSON, ARIZONA 85701

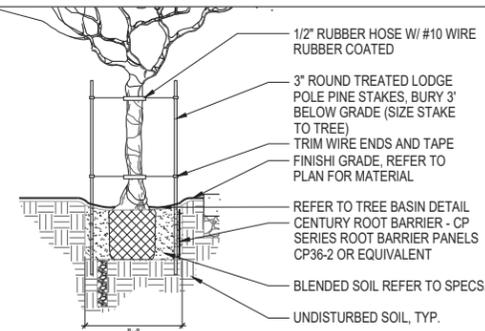
ARC STUDIOS PROJECT NO: 01-18051  
ARC STUDIOS  
3117 E. Flower Street  
Tucson, Arizona 85716  
phone: 520.882.9655  
www.arcstudiosinc.com

REGISTERED LANDSCAPE ARCHITECT  
39813  
ERIC R. BARRETT  
11/18  
EXPIRES 9/30/2021

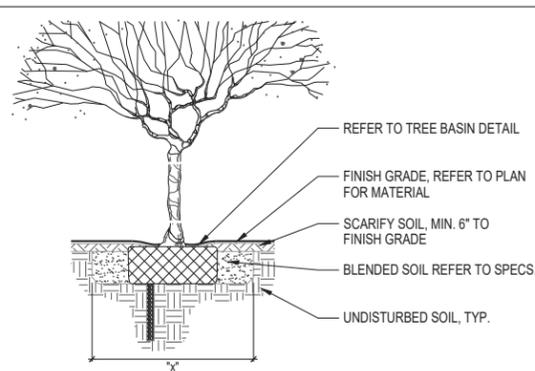
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LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA

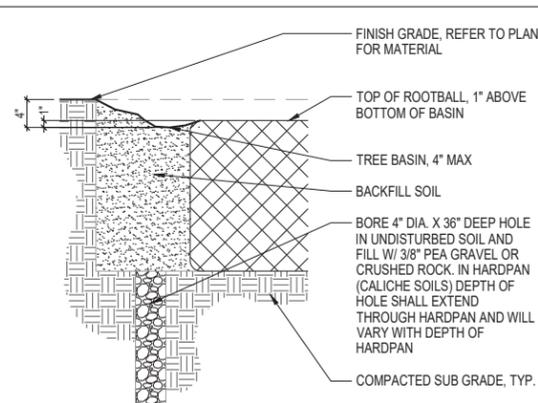
**TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A."A" (PRIVATE STREET/UTILITIES) + C.A."B" (OPEN SPACE/UTILITIES) irrigation plan**



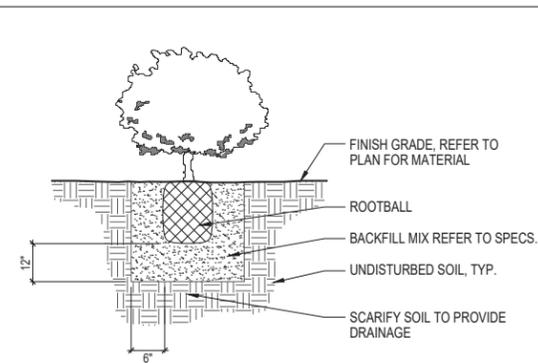
- NOTES:**
- DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
  - SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
  - SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
  - DO NOT COVER CROWN WITH SOIL.
  - ROOT GUARDS SHALL BE PROVIDED ON ALL SIDES WHERE ADJACENT HARDSCAPE IS WITHIN 10' OF THE TREE/PLANT.
  - REFER TO TREE STAKING DETAIL FOR ADDITIONAL INFORMATION.



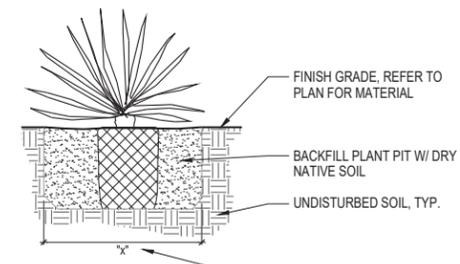
- NOTES:**
- DIMENSION "X" EQUALS FOUR (4) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
  - SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
  - SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
  - DO NOT COVER CROWN WITH SOIL.



- NOTES:**
- TREE BASINS NOT TO EXCEED 4" DEPTH.
  - TOP OF ROOTBALL TO BE EXPOSED TO SURFACE.
  - BOTTOM OF PLANT PIT EQUAL TO DEPTH OF ROOTBALL.



- NOTES:**
- SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
  - DO NOT COVER CROWN WITH SOIL.
  - SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.



- NOTES:**
- SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
  - DO NOT COVER CROWN WITH SOIL.
  - SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.

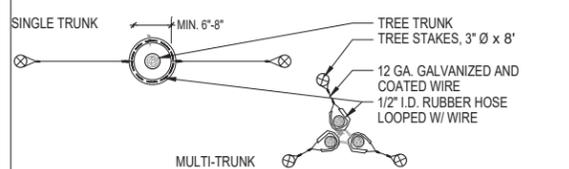
**1 15 GALLON & 24IN BOX - TREE PLANTING** NTS

**2 36IN BOX OR LARGER - TREE PLANTING** NTS

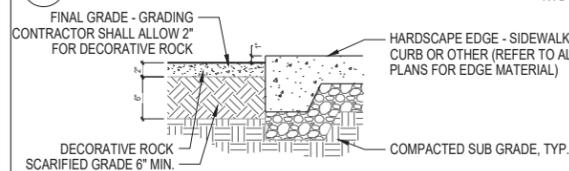
**3 TREE BASIN** NTS

**4 SHRUB PLANTING** NTS

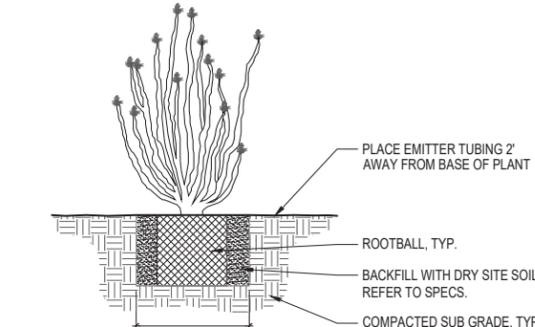
**5 ACCENT PLANTING** NTS



**6 TREE STAKING** NTS

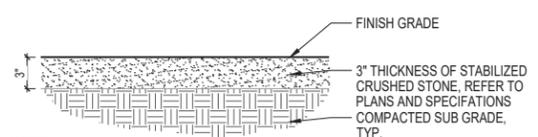


**7 FINAL GRADE HARDSCAPE TO DEC. ROCK** NTS



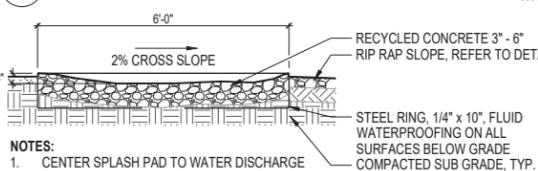
- NOTES:**
- DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
  - SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
  - SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
  - DO NOT COVER CROWN WITH SOIL.

**8 OCOTILLO PLANTING - CONTAINER** NTS



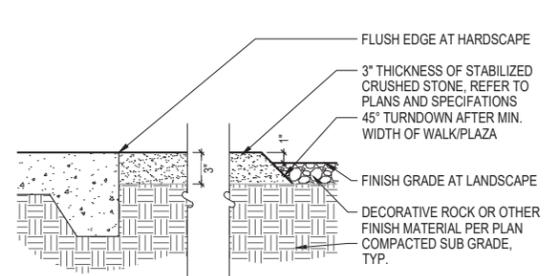
- NOTES:**
- STABILIZED DG TO BE PREMIXED OFF SITE.
  - TOTAL DEPTH TO BE 3" MIN. AND COMPACTED IN TWO LIFTS.

**9 STABILIZED DECOMPOSED GRANITE** NTS



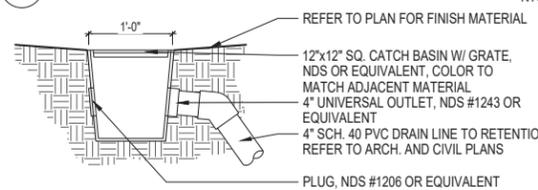
- NOTES:**
- CENTER SPLASH PAD TO WATER DISCHARGE FROM ROOF SCUPPER.
  - MAINTAIN 2% MIN. AWAY FROM BUILDING.

**10 STEEL RING SPLASH PAD** NTS

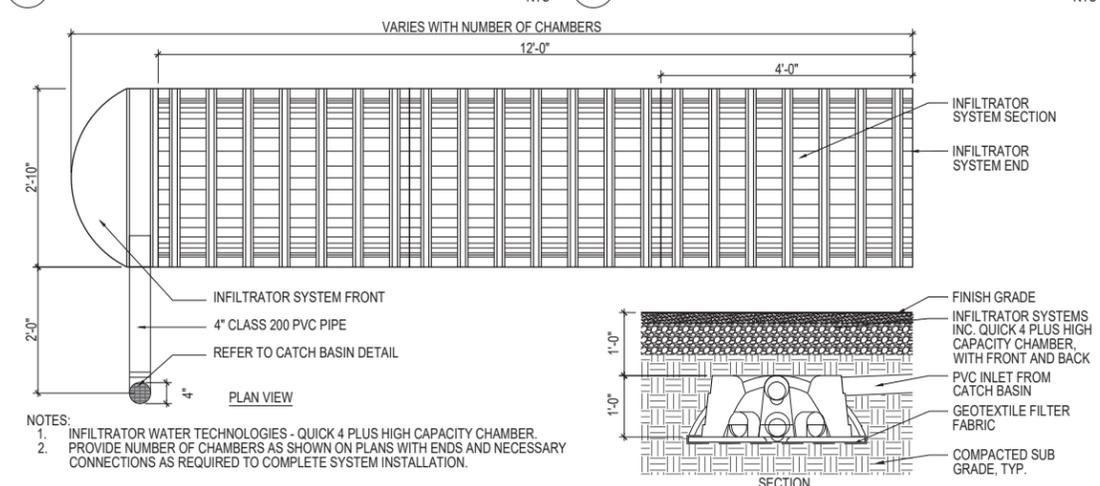


- NOTES:**
- CONTRACTOR SHALL PROVIDE MOCK UP FOR PATH INSTALLATION OF 10' SECTION FOR OWNER REPRESENTATIVE OR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONTINUATION OF WORK.
  - STABILIZED DG TO BE PREMIXED OFF SITE.
  - TOTAL DEPTH TO BE 3" MIN. AND COMPACTED IN TWO LIFTS.

**11 STABILIZED DG AT LANDSCAPE / HARDSCAPE** NTS

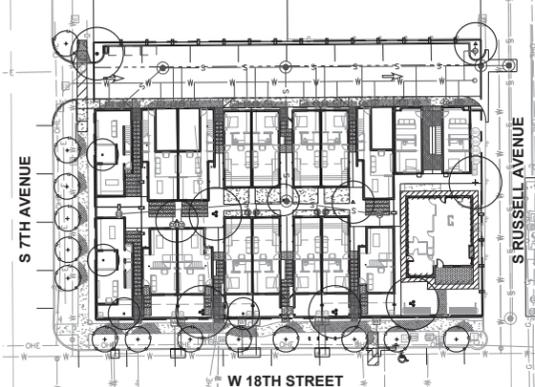


**14 CATCH BASIN** NTS



- NOTES:**
- INFILTRATOR WATER TECHNOLOGIES - QUICK 4 PLUS HIGH CAPACITY CHAMBER.
  - PROVIDE NUMBER OF CHAMBERS AS SHOWN ON PLANS WITH ENDS AND NECESSARY CONNECTIONS AS REQUIRED TO COMPLETE SYSTEM INSTALLATION.

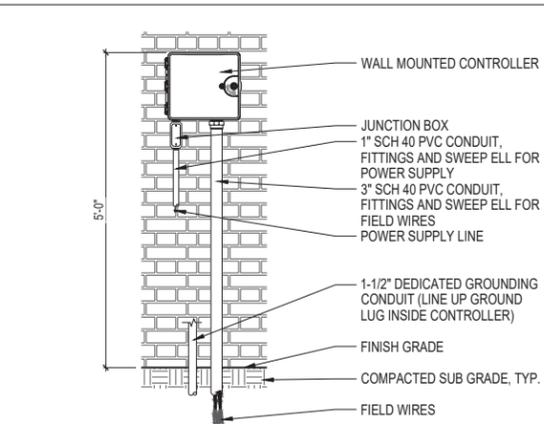
**13 INFILTRATOR SYSTEM** NTS



**12 SHADE STUDY PLAN** SCALE 1" = 40'

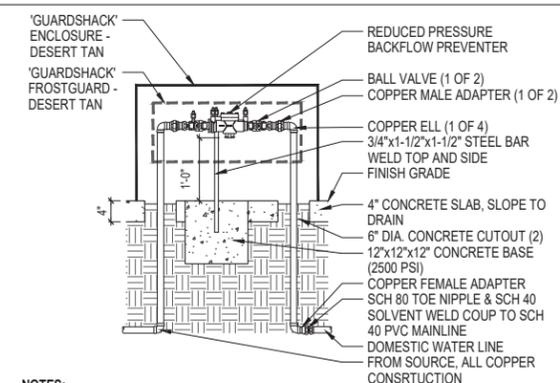
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: PH: (520) E:
				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85701
ARC STUDIOS PROJECT NO: 01-18051 <b>ARC STUDIOS</b> 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com				<b>TENTATIVE PLAT PACKAGE for 18 WEST 18TH STREET, LOTS 1-18 + BLOCK 1 + C.A."A" (PRIVATE STREET/UTILITIES) + C.A."B" (OPEN SPACE/UTILITIES) landscape details</b>
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA				





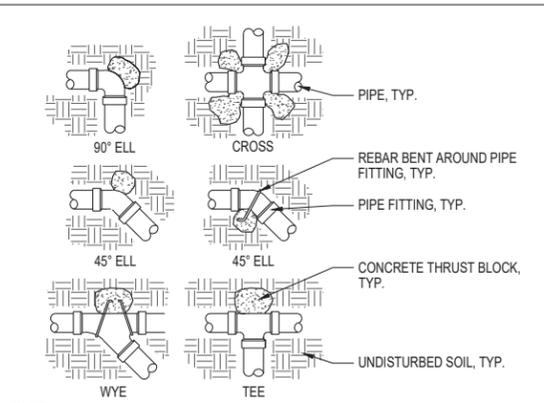
**NOTES:**  
1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

**1 WALL MOUNTED CONTROLLER** NTS



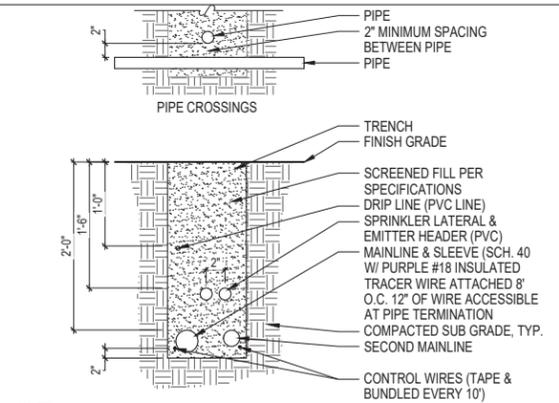
**NOTES:**  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.  
2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)  
3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.

**2 REDUCED PRESSURE BACKFLOW PREVENTER** NTS



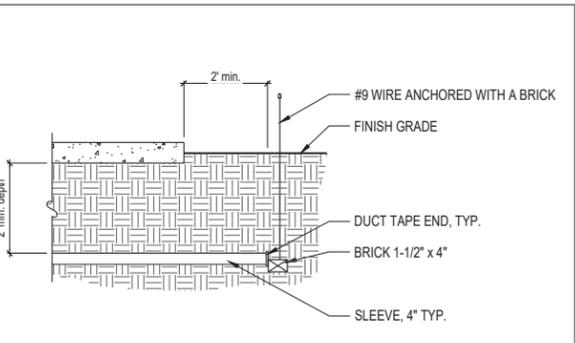
**NOTES:**  
1. SUPPLY LINES 2" IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.  
2. 1 CUBIC FOOT OF CONCRETE TO BE USED FOR EACH THRUST BLOCK.  
3. WRAP PLASTIC SHEETING AROUND PIPE WHERE IT CONTACTS CONCRETE.

**3 MAIN LINE THRUST BLOCK** NTS



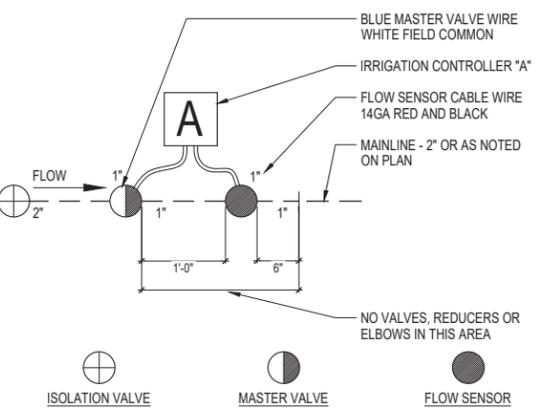
**NOTES:**  
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.  
2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.  
3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.  
4. 4" PIPE & LARGER SHALL BE 30" BELOW FINISH GRADE.

**4 IRRIGATION TRENCHING** NTS



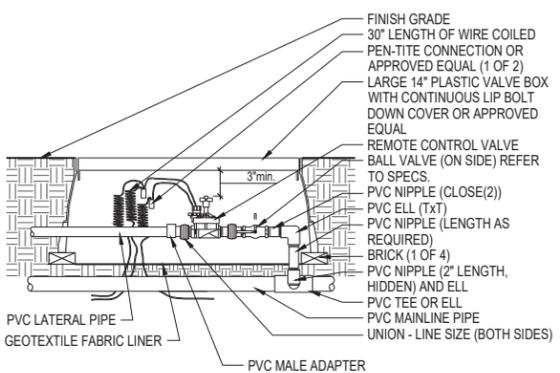
**NOTES:**  
1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.  
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.  
3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.  
4. MECHANICALLY TAMP BACKFILL SOIL TO 95% PROCTOR.

**5 SLEEVING** NTS



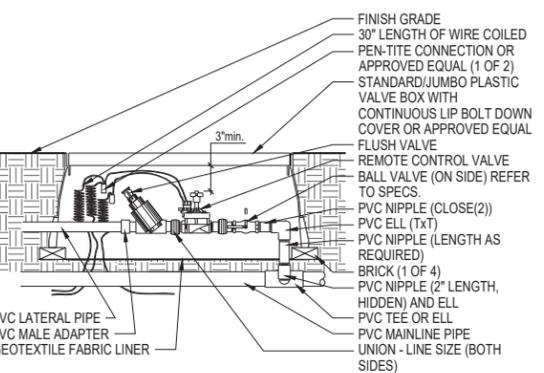
**NOTE:**  
INSTALL MASTER VALVE AND FLOW SENSOR PER REQUIRED 10 - 5 RULE. 10 TIMES DIAMETER BEFORE AND 5 TIMES DIAMETER AFTER FLOW SENSOR FREE OF REDUCERS AND CHANGE IN DIRECTION

**6 MASTER VALVE AND FLOW SENSOR DIAGRAM** NTS



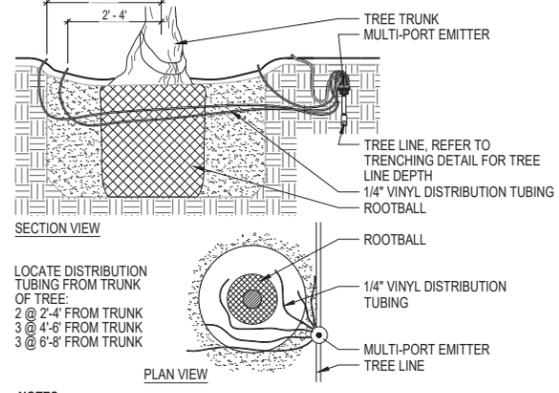
**NOTES:**  
1. GREEN BOXES IN TURF AREAS.  
2. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.  
3. PURPLE BOXES IN RECLAIMED SYSTEMS.

**7 REMOTE CONTROL VALVE ASSEMBLY** NTS



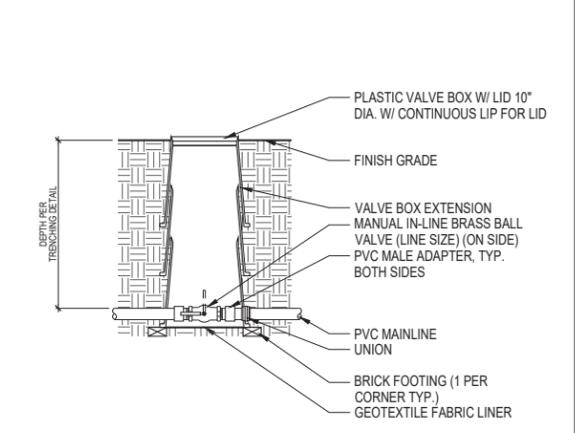
**NOTES:**  
1. PROVIDE DECODERS AS REQUIRED FOR 2-WIRE SYSTEMS  
2. GREEN BOXES IN TURF AREAS.  
3. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.  
4. PURPLE BOXES IN RECLAIMED SYSTEMS.

**8 REMOTE CONTROL VALVE - DRIP/BUBBLER** NTS



**NOTE:**  
1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

**9 MULTI-PORT EMITTER DRIP TUBING @ TREE** NTS



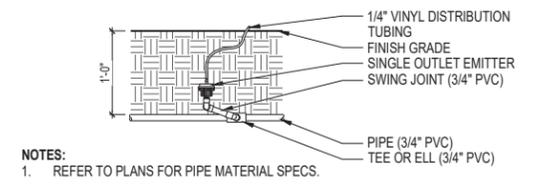
**NOTES:**  
1. ADD BOX EXTENSIONS AS NECESSARY.

**10 ISOLATION BRASS BALL VALVE** NTS

**NOTES:**  
1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC, PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.  
2. MAIN LINE - SCH. 80 FITTINGS.  
3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.  
4. PRESSURE TESTS, 4 HOURS:  
• MAIN LINE AT 150 PSI  
• LATERALS AND DRIP LINE AT 70 PSI

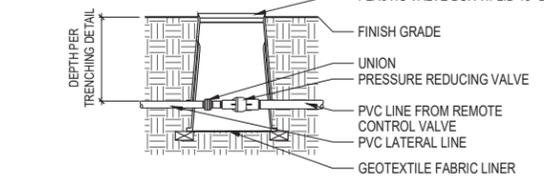
PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

**11 PIPE SIZING SCHEDULE** NTS

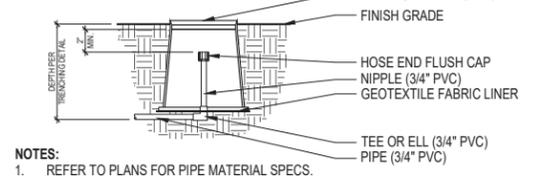


**NOTES:**  
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

**13 SINGLE OUTLET EMITTER** NTS

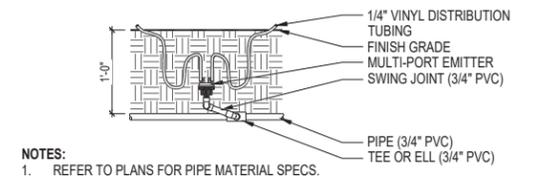


**15 PRESSURE REDUCING VALVE** NTS



**NOTES:**  
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

**12 HOSE END CAP** NTS



**NOTES:**  
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

**14 MULTI-PORT EMITTER** NTS

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# CoT staff review comments to TPP

11/26/2018	SBEASLE1	UTILITIES	SOUTHWEST GAS	Passed	Agency notified for information only.
11/26/2018	SBEASLE1	START	PLANS SUBMITTED	Completed	None
11/26/2018	SBEASLE1	OTHER AGENCIES	PIMA ASSN OF GOVTS	Passed	Agency notified for information only.
11/26/2018	SBEASLE1	OTHER AGENCIES	U. S. POST OFFICE	Passed	Agency notified for information only.
11/27/2018	SBEASLE1	TUCSON WATER NEW AREA DEVELOPMENT	REVIEW	Reqs Change	<p>**Attachment can be reviewed in Document table in PRO.**</p> <p>11/27/18 email:</p> <p>This application is incorrect, it should be parcels 117-07-207A, and 117-07-206A.</p> <p>Water availability was already processed by us for Cypress November 7th, see attached.</p> <p>Good day, Kellie Anderson Administrative Assistant Tucson Water-New Development Ph: (520) 837-2165</p>
11/29/2018	MASHFOR1	COT NON-DSD	FIRE	Reqs Change	Per the International Fire Code - Group R-3. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area. This project will be built under the International Building Code per Cypress Development (Blake), and as such will require sprinklers. The allowable area increase has also been maximized and as such this will further validate sprinklers.
12/3/2018	GARY WITTWER	COT NON-DSD	TDOT	Reqs Change	<p>12/03/18</p> <p>I am very concerned about the Ironwood trees being placed in the ROW so close to the walkway. Per your plans you are showing the canopy only reaching 12' in diameter. Most references show the tree to be 30' x 30'. While I do not think they will get this large in this setting, I do think they will reach 20'-25' and extending into the street. This is a very thickly vegetated tree as well and will be an issue for SVT for a few years as they are a slow growing tree. It is also a very thorny tree and may be a problem for pedestrians - especially in the one spot on 18th where the sidewalk narrows. I love this tree, but "Right Tree in the Right Location" applies here.</p> <p>Gary Wittwer</p>
12/14/2018	SBEASLE1	OTHER AGENCIES	TUCSON AIRPORT AUTHORITY	Reqs Change	<p>** Two PDF attachments can be viewed in Documents table in PRO**</p> <p>December 13, 2018</p> <p>Sharon Beasley City of Tucson Public Works Buildings - 201 North Stone Avenue Tucson, AZ. 85701</p>

Dear Ms. Beasley,

Thank you for the opportunity to comment on DP18-0283, 18 West 18th St; 1st Submittal, a development package application for an approximately 0.59 acre site, located northeast of the intersection of South 7th Avenue and East 18th Street. The property is zoned Commercial 3 (C-3), with the proposed development being residential townhomes and an alcoholic beverage sales use.

This site is within the Tucson International Airport avigation easement requirements and public disclosure area, FAA traffic pattern airspace, and FAA Part 77 airspace.

The Tucson Airport Authority conditionally approves the subject request contingent upon the following condition of approval, as noted below. This condition shall be identified in the general notes of the revised development plan.

Condition of approval:

1. "According to the FAA Notice Criteria Tool, this project is located in proximity to a navigation facility and could impact navigation signal reception. The applicant shall file Form 7460 with the FAA at least 45 days before construction activities begin for the project. It is highly recommended that the applicant file earlier than 45 days to provide the applicant with sufficient time to respond to any concerns which are identified by the FAA. Any cranes used which are used must also be identified with Form 7460. Please file Form 7460 at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>"

Although this project does not propose a change in plan designation or zoning the Tucson Airport Authority highly recommends the City of Tucson consider requiring the applicant to add the two following notes into the general notes of the revised development plans. This project is located approximately 5 ½ miles northwest of Tucson International Airport and is within FAA traffic pattern airspace, an area which would be subject to aircraft overflight and noise due to being in close proximity to Tucson International Airport.

The first proposed note would provide a means of assuring that future owners and tenants of the property are aware they are living near an airport and further assures the continued right of the City of Tucson, Tucson Airport Authority, and all persons lawfully utilizing the Tucson International Airport the right to utilize the airspace above or near the property. This would be accomplished through requiring the property owner to record the Avigation Easement. The second proposed note is meant to be a second method of notification, but only for residential related uses, that future property owners and tenants are living near an airport. The Tucson Airport Authority believes these two proposed notes help to support the City of Tucson Airport Environs Overlay Zone and supports Plan Tucson - Regional and Global Positioning policy 4 (RG-4).

1. "That prior to the City's approval of any construction permit for a permanent building, the property owner shall record the Avigation Easement which discloses the existence, and operational characteristics of the Tucson International Airport to future owners or tenants of the property and further conveys the right to the public to lawfully use the airspace above the property. The Avigation Easement shall be recorded in a manner with the Pima County recorder which shall document it as having title liability. The content of such documents shall be according to the form and instructions provided."

The current property owner or person authorized to sign on behalf of the current property owner shall complete, sign, and record the Avigation Easement. Please record the Avigation Easement with the Pima County Recorder's Office. Once the Avigation Easement is recorded please send a complete copy of the recorded easement document to Tucson Airport Authority by either email (send to [srobidouxflytucson.com](mailto:srobidouxflytucson.com)) or to the mailing address provided below.

Scott Robidoux  
Senior Airport Planner  
Tucson Airport Authority  
7250 South Tucson Boulevard

Suite 300  
Tucson, AZ 85756

2. "The developer shall provide the Airport Disclosure Statement form, at time of sale, to the new property owners with new unit purchases. In the event the development of any residential uses does not involve the sale of new units, but is instead offering rental residential units to the public, the new tenant of the rental unit shall be provided a copy of the Airport Disclosure Statement form. The intent of the Airport Disclosure Statement form is to educate and notify the new residents that they are living near an airport. The content of such documents shall be according to the form and instructions provided."

The new property owner or new tenant shall forward a signed copy of the Airport Disclosure Statement form to the Tucson Airport Authority, using the mailing address provided below.

Scott Robidoux  
Senior Airport Planner  
Tucson Airport Authority  
7250 South Tucson Boulevard  
Suite 300  
Tucson, AZ 85756

Please do not hesitate to contact me if you have any questions or concerns regarding this comment letter. I can be reached by email at [srobidoux@flytucson.com](mailto:srobidoux@flytucson.com) or by telephone at 520-573-4811.

Respectfully,  
Scott Robidoux, Senior Airport Planner  
cc file

12/14/2018	ZELIN CANCHOLA	COT NON-DSD	TRAFFIC	Reqs Change	<p>December 14, 2018 ACTIVITY NUMBER: DP18-0282 PROJECT NAME: 18 West 18th PROJECT ADDRESS: 18 West 18th PROJECT REVIEWER: Zelin Canchola TDOT</p> <p>Resubmittal Required: The following items must be revised and added to the Development package.</p> <ol style="list-style-type: none"> <li>1. The proposed new driveway on 7th Ave does not meet standard 18 feet curb return radius requirement. Show new driveway with 18 feet radius.</li> <li>2. New PAG standard ADA ramps will be required at the north east corner of 7th Ave, and 18th street.</li> <li>3. Ensure sidewalk connection to S Russell Ave meets ADA standards. It seems there is a bump onto the sidewalk area. Repair as needed.</li> <li>4. Closed any unused driveways. Show new curb along 17th for the existing opening.</li> <li>5. At time of construction a right of way permit will be required for work within the right of way.</li> </ol> <p>If you have any questions, I can be reached at 520 837 6659 or <a href="mailto:zelin.canchola@tucsonaz.gov">zelin.canchola@tucsonaz.gov</a></p>
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12/18/2018	SBEASLE1	PIMA COUNTY	ADDRESSING	Reqs Change	<p>**PDF attachment can be viewed in Documents table on PRO**</p> <p>DP18-0283, Request for review, 1st submittal, 18 W 18th St is being Returned for Corrections by</p>
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Pima County Addressing.  
 The attached pdf contains Addressing's comments.  
 Please let me know if you have any questions.  
 Thank you,  
 Robin Freiman  
 Addressing Official  
 Pima County Development Services Department  
 201 N Stone AV - 4th Floor  
 Tucson, AZ 85701  
 (520) 724-7570

12/20/2018	TOM MARTINEZ	OTHER AGENCIES	AZ DEPT TRANSPORTATION	Approved	12/20/18 Email from Tom Martinez:  Regional Traffic Engineering has no comments on this submittal and supports its acceptance. The development's location will have no impact to any ADOT facilities. Thank you.
12/20/2018	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Reqs Change	1. Reduced pressure backflow prevention assemblies are required at the water meter for buildings that have three or more stories or are greater than 34-feet in height as measured from the service level. Reference: Chapter XXVII, Article V, Section 27-72, the Tucson Code, <a href="http://www.tucsonaz.gov/files/water/docs/backflow-ordinance.pdf">http://www.tucsonaz.gov/files/water/docs/backflow-ordinance.pdf</a> 2. The water service pipe shall not be less than ¾" in diameter. Reference: Section 603.1, IPC 2012.
12/21/2018	DAVID RIVERA	ZONING	REVIEW	Reqs Change	CDRC TRANSMITTAL  TO: Development Services Department Plans Coordination Office  FROM: David Rivera PDSZ Zoning Review Section  PROJECT: 18 West 18th Street - Residential Development Single Family Attached Development Package (1st Review) 18 West 18th Street DP18-0283 - C-3 Zoning  TRANSMITTAL DATE: December 20, 2018 DUE DATE: December 24, 2018  COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.  Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is November 23, 2019.  SECTION 2-06.0.0: DEVELOPMENT PACKAGE (TENTATIVE PLATS AND SITE PLANS)

Section

2-06.3.0 FORMAT REQUIREMENTS

CONTENT REQUIREMENTS

2-06.4.2.B - A brief legal description and a statement as to whether the project is a re-subdivision are to be provided. On re-subdivisions, provide the recording information of the existing subdivision plat;

1. COMMENT: Revise the legal description to state the Book and Page is 5 / 55. The original block 121 was re-subdivided.

2-06.4.2.C - The number of proposed lots and common areas are to be noted. If the subdivision is a Flexible Lot Development (FLD), a condominium, or a similar type of residential subdivision utilizing special provisions of the UDC, it shall be so noted;

2. COMMENT: General note 4 states there are 19 lots. There are only 18 lots listed and one block, clarify. Maybe the note should state 18 lots and Block 1.

2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, DSMR, overlay, etc.) shall be provided adjacent to the title block on each sheet.

3. COMMENT: Provide the development package case number, DP18-0283, adjacent to the title block on each sheet.

Reference the IID case number in the lower right corner of all plan sheets.

2-06.4.4 - The project-location map to be located on the first sheet of the development package in the upper right corner, shall cover approximately one square mile, be drawn at a minimum scale of three inch equals one mile, and provide the following information.

2-06.4.4.B - Identify major streets and regional watercourses within the square mile area and all streets that abut the subject property; and,

4. COMMENT: Relocate the Cushing Street name to the west of Stone Avenue. (East of Stone is 14th street.)

2-06.4.4.C - Section, township, and range; section corners; north arrow; and the scale will be labeled.

5. COMMENT: Label the section corners at the south east corner, 13, 18, 23, and 24.

2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses.

6. COMMENT: This project has been listed under general 3 as Multi-family. However this is not an apartment complex and the use should be listed as single family attached. There are no

applicable Use Specific Standards for the residential use.

It's not clear what the Use Specific Standard list in General note 3 is for what use or where it came from, clarify. There is no U.S.S. for the Alcoholic Service or Residential use.

2-06.4.7.A.6 - If a plan or plat is prepared in conjunction with other applications or overlays or the parcel being developed is subject to conditions of an application processed previously, additional information must be added to the plan. Such applications and overlays include, but are not limited to: annexations; re-zonings; special exceptions; Board of Adjustment variances; Design Development Options; Technical Standard Modification Request; overlays (Airport Environs Zone, Environmental Resource Zone, Gateway Corridor Zone, Hillside Development Zone, Historic Preservation Zone, Major Streets and Routes, Rio Nuevo District, Scenic Corridor Zone, WASH); Modification of Development Regulations through the Downtown Area Infill Incentive District or Rio Nuevo District; Downtown Heritage Incentive Zone; or, Design Review Board. Provide the following information on the plan.

7. COMMENT: As noted in comment 3 above, list the IID case number in the lower right corner of all plan sheets. List as a general note the IID case number, date of approval and modifications requested and approved.

2-06.4.7.A.7 - If the property is part of a subdivision plat that is being reviewed or has been recorded, provide the case number in the lower right corner of each sheet. As a general note, indicate whether the project is part of a Flexible Lot Development (FLD), condominium, or another similar type project.

8. COMMENT: When the final plat case number is issued list the case number next to the title block of all plan sheets.

2-06.4.7.A.8.b - Percentage and area in square feet of building and accessory building coverage;

9. COMMENT: Per Table 6.3-4.A each lot has a maximum lot coverage of 80%. Revise the coverage calculations to list the lot coverage of each lot. There is no coverage requirement for the commercial use.

2-06.4.8.C - The following information regarding existing private or public right-of-way adjacent to or within the site shall be provided: the name, right-of-way width, recordation data, type and dimensioned width of paving, curbs, curb cuts, and sidewalks.

10. COMMENT: Approval of the one way private street will have to be processed through a Technical Standard Modification Request (TSMR).

The Parallel parking spaces must be 23 feet in length. The two end spaces are 18 feet and do not meet the conditions listed in UDC Section 7.4.6.D.2.c. Approval through a PDMR is required.

2-06.4.9.H.4 - Indicate if existing streets are public or private; provide street names, widths, curbs, sidewalks, and utility locations, all fully dimensioned.

11. COMMENT: The proposed private street does not meet the minimum street requirements and will have to be approved through a TSMR / PDMR review and approval process. See additional

Comments from the PDS Engineering Reviewer.

2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces provided, fully dimensioned. As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.

12. COMMENT: The vehicle parking calculations for the residential use must be revised. The residential use is not considered a Multi-family use and must be parked based on 2.25 spaces per residence. A total of 41 spaces for the residential use of which 5 spaces are for visitors are required.

The Alcoholic use requires a minimum of 34 vehicle parking spaces.

Separate the vehicle parking requirements per use. List the number required and number provided.

If the IID is used to reduce the number of vehicle parking spaces list the number of spaces required and provided for each use based on the IID.

Label the parking garages on the DP site sheets. Include a copy of the Parking agreement with the next submittal.

Where is the parking for the Commercial use provided?

2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide, as a note, calculations for short and long term bicycle spaces required and provided.

13. COMMENT: Bicycle parking is not required for single family development. (This development is not recognized as a Multi-family development.)

2-06.4.9.H.6 - If the project is phased, the phase under consideration shall be designed so those later phases are assured legal access. If such access is provided through the phase under consideration, public streets are required, or access easements must be delineated and dedicated for such use. If private easements are utilized, protective covenants establishing the right of access, maintenance and incorporation of future phases into this project are required.

14. COMMENT: Clarify if the Alcoholic use is to be developed at the same time as the residential use? Will it be permitted under separate permit application? If this project is phased indicate as such by providing calculations as required. This use may require additional review and separate permitting and DP.

2-06.4.9.O - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown.

15. COMMENT: The street building setbacks along 18th St., 7th Avenue, and Russell Avenue

					<p>area based on the developing area setbacks. 18th street is an ADT street of 1000 or greater with a setback requirement of 21 feet or the height from the back of existing or future curb location. Russell Ave. ADT is 01-140. 7th Ave. is a through street and is probably a 140 to 1,000 ADT, verify with PDS engineering or TDOT for ADT count for 7th Avenue. Apply the correct street perimeter building setbacks from each street including the interior private street. Apply the street setback based on the ADT utilizing UDC section 6.4.5.C-1 table.</p> <p>If utilizing the GIID section 5.12.9.C.1.b for setback reductions or waiver, provide the documentation for any setback reduction approval by the PDS Director and TDOT.</p> <p>Additional comments may be forthcoming based on the revisions or response to the above comments.</p> <p>2-06.4.9.R - Show on-site pedestrian circulation and refuge utilizing location and the design criteria in Section 7-01.0.0, Pedestrian Access, of the Technical Standards Manual.</p> <p>16. COMMENT: The proposed driveways on the private street do not provide for an accessible pedestrian route along the private street.</p> <p>Label the cross and longitudinal slopes for all pedestrian areas.</p> <p>17. This project includes private Common Areas that need to be maintained. Clarify if there are CC&amp;R's available for review or will they be submitted with the Final Plat.</p> <p>If you have any questions about this transmittal, Contact David Rivera on Tuesday or Wednesday at (520) 837-4957 or by email David.Rivera@tucsonaz.gov or contact Steve Shields any time during the week at (520) 837-4956 or email Steve.Shields@tucsonaz.gov</p> <p>RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package</p>
12/21/2018	DAVID RIVERA	H/C SITE	REVIEW	Reqs Change	See zoning comments
12/21/2018	ALEXANDRA HINES	DESIGN PROFESSIONAL	REVIEW	Reqs Change	<p>Submit IID application and letter of compiled modifications/exemptions/etc. from these development package comments.</p> <p>Provide IID approval in development package submittal.</p>
12/21/2018	LOREN MAKUS	ENGINEERING	REVIEW	Needs Review	<ol style="list-style-type: none"> <li>1. The use of APCs for this development requires the approval by Environmental Services. This should be documented through a TSMR.</li> <li>2. The terminal parallel parking spaces must be 23 feet in length or the space must be provided with maneuvering area at the end of the space. (UDC 7.4.6.D.2.c)</li> <li>3. The proposed street section is not a standard profile. A TSMR is required for the alternate section. (TSM 10-01.2.1.B)</li> <li>4. Sidewalk is required on both sides of the street. A TSMR is required to document CDRC approval of the exception. (TSM 2-01.3.3.C.2)</li> <li>5. The sidewalk between the street and the buildings must be 5 feet wide. (TSM 10.-01.4.1.A.1.a)</li> <li>6. The civil plans refer to the landscape plans for the pavers/alternative walking surface. The landscape plans refer to the architectural plans. Provide sufficient specification to demonstrate ADA compliance.</li> </ol>

- 7. Provide dimensions for adjacent rights-of-way. (AM 2-06.4.8.C)
- 8. When the IID process is complete, include the case number and all conditions of approval.

12/24/2018	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	<p>2-10.4.0 CONTENT REQUIREMENTS  The landscape plan shall include the following:  4.1 Identification and Descriptive Data  All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.  The landscape plan will contain the following identification in the lower right corner of each sheet:  2. Cross-reference to:  a. Rezoning case;  b. Subdivision case;  c. Board of Adjustment case;  d. Design Development Option case;  e. Development Review Board (DRB) case; and/or,  f. Any other relevant case number for reviews or modifications that affect the site.</p> <p>5.12.9. GREATER INFILL INCENTIVE SUBDISTRICT (GIIS)  Section 7.6, Landscaping and Screening  Except as required by Section 5.12.8.B, Development Transition Standards, a complete or partial exception to Section 7.6, Landscaping and Screening Standards, may be granted if shade is provided for pedestrians and customers, such as along sidewalks, pedestrian circulation paths, and outdoor patios, in accordance with Section 5.12.6.A.2. The landscaping requirement may also be waived by the PDSO Director based on a written finding that the waiver is necessary to preserve the prevailing setback.  c. Any one or more of the following types of landscaping and improvements may be used to comply with this section:  (1) Existing landscaping;  (2) Shade trees in the right-of-way;  (3) Green walls or green roofs; and/or  (4) Shade structures, such as awnings.  Indicate graphically, where possible, compliance with conditions of overly approval.</p> <p>Use of the Public Right-of-Way  The landscaping plan must be approved by the City Engineer or designee and complies with the City Engineer's standards on construction. Obtain permission for landscaping within ROW.</p> <p>Ensure that all Zoning and Engineering comments are addressed.</p> <p>Additional comments may apply upon subsequent reviews.</p>
1/3/2019	GLENN HICKS	COT NON-DSD	PARKS & RECREATION	Approved	<p>No existing or proposed Tucson Parks and Recreation facilities are affected by this development.</p> <p>Howard B. Dutt, RLA  Landscape Architect  Tucson Parks &amp; Recreation  (520) 837-8040  Howard.Dutt@tucsonaz.gov</p>

1/4/2019	LIZA CASTILLO	UTILITIES	TUCSON ELECTRIC POWER	Approved	<p>January 4th 2019</p> <p>WR# 6258582 DSD_CDRC@tucsonaz.gov</p> <p>SUBJECT: TENTATIVE PLAT PACKAGE for 18 WEST 18TH 18 W 18th DP18-0283</p> <p>Tucson Electric Power Company has reviewed and approved the development plan. Existing facilities are not in conflict.</p> <p>In order to apply for electric service, call the New Construction Department at (520) 918-8300. Submit a final set of plans including approved site, electrical load, paving off-site improvements and irrigation plans, if available include a CD with the AutoCAD version of the plans.</p> <p>If easements are required, they will be secured by separate instrument. Your final plans should be sent to: Tucson Electric Power Company Attn: Rich Harrington New Business Project Manager P. O. Box 711 (DB-101) Tucson, AZ 85702</p> <p>520-917-8726</p> <p>Should you have any technical questions, please call the area Designer, Martin Rodriguez at (520) 917-8787.</p> <p>Sincerely, Cassie Pettitt Admin Assistant, Design</p> <p>Tucson Electric Power 4350 E. Irvington Road, Tucson, AZ 85714 Post Office Box 711, Tucson, AZ 85702</p>
1/7/2019	SBEASLE1	ENV SVCS	REVIEW	Reqs Change	<p>Environmental &amp; General Services has reviewed the Site/Plat Grading/IID for the proposed 18 W 18th Street development. It is proposed to construct 18 new town homes. There is on existing one story building in the southeast corner of the subject parcel.</p> <p>Paragraph 8-01.5.1 in Section 8 of the Tucson City Code requires that all new multi-family projects consisting of a minimum of 6 units to provide centralized on-site solid waste and recycle collection services. Utilization of individual plastic containers (APCs) for six or more new dwelling units requires approval by Environmental &amp; General Services on a case by case evaluation.</p> <p>The applicant is proposing to provide eight 95 gallon APC's for refuse storage, two 95 gallon APC's for recycling storage and four 300 gallon APC's for refuse storage. Given the space limitations and refuse vehicle maneuvering restrictions, Environmental &amp; General Services would approve the use of APC's at this site.</p> <p>Please have the applicant address / clarify the following points as the project continues:</p>

Does the wall / fence extend along the east side of the site to the northeast corner? If so, how will the 300 gallon APCs be accessed by the residents and how will they be serviced?

Will the residents on the south side of the development roll their 95 gallon APCs to the new street on the north side of the site?

Thank you.

Tom Ryan, P. E.  
City of Tucson - Environmental & General Services Department

1/7/2019	SBEASLE1	ZONING- DECISION LETTER	REVIEW	Reqs Change	<p>Plans Returned for Corrections (RFC) Notice: DP18-0283 Project Description: E PLAT/GRADING/IID - 18 W 18TH ST LOTS 1-18 + BLOCK 1 + C.A. "A" (PRIVATE STREET/UTILITIES) + C.A. "B" (OPEN SPACE/UTILITIES)</p> <p>The review has been completed and a resubmittal is required. To see review comments, visit PRO at <a href="http://www.tucsonaz.gov/PRO">www.tucsonaz.gov/PRO</a>, then search by activity number. (If not shown yet, check back later as data flows to PRO periodically throughout the day.)</p> <p>Prepare a Comment Response Letter detailing changes to the plan and which review comments are the necessary corrections have been made to the plans, go to the PDSF Filedrop web page. Please Number in the "Project Description" field and name the files as directed, for example, second (2nd) set "2_Plan_Set.pdf". Submit the following items to the PDSF Filedrop at <a href="http://www.tucsonaz.gov/file-upload-pdsf">www.tucsonaz.gov/file-upload-pdsf</a>. The plans will then re-enter a 20-working-day review cycle.</p> <ol style="list-style-type: none"> <li>1) Comment Response Letter</li> <li>2) Corrected plan set with all documents</li> <li>3) Items requested by review staff</li> </ol> <p>The current fee balance is \$2,073.50 (see image below). Review fees must be paid prior to the second review. Please include your activity number on the checkstub.</p> <p>John Van Winkle, copied, is the Project Manager to contact with any questions, email: <a href="mailto:John.VanWinkle@tucsonaz.gov">John.VanWinkle@tucsonaz.gov</a> or phone (520) 837-5007. Thank you.</p> <p>Sharon Beasley City of Tucson Planning and Development Services Attn: Cashier 201 N. Stone Avenue, First Floor Tucson, AZ 85701</p>
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design professional  
review comments to  
IID pre-app submittal

**Design Professional Review Comments**

**Date:** 18 February 2019

**To:** Maria Gayosso, Lead Planner  
 Planning and Development Services  
 City of Tucson  
 201 N. Stone Avenue  
 Tucson, AZ 85701

**From:** R. Fe Tom, AIA, Design Professional

**Project:** **Case # IID-19-04**  
 Project Name: 18 W 18  
 Address: 18 & 28 W. 18th ST, 735 S. 7th AV  
 Parcel #: 117-07-207A & 117-07-206A  
 Related Activity Number: # DP18-0283

**Re:** Design Professional Preliminary IID Major Review Comments for Case # IID-19-04

The purpose of this review is to provide a **Preliminary Major Design Review of Infill District Case # IID-19-04: 17 & 28 West 18th Street, dated 1/14/2019 with related Development Package # DP18-0283, dated 1/14/2019 and Preapplication Meeting Notes, dated 1/28/2019.**

<b>5.12.8: GENERAL IID ZONING OPTION DESIGN STANDARDS for a Major Design Review</b>	
	Comments
<b>5.12.8.A: Streetscape Design</b>	
<b>5.12.8.A.1: Pedestrian-orientation:</b> Project shall comply with all UDC Sections 5.12.8.A.1.a through 5.12.8.A.1.h	
5.12.8.A.1.a: Architectural elements/details at the first 2 floor levels.	Residential units of 2-3 stories: <ul style="list-style-type: none"> <li>• Identify material finishes</li> <li>• Provide details at windows and doors.</li> <li>• Verify if there are parapet caps.</li> </ul> Commercial Historic 1-story building: <ul style="list-style-type: none"> <li>• N/A</li> </ul>
5.12.8.A.1.b: Provide window, window displays, or visible activity on at 50% of the frontage.	Residential units of 2-3 stories: <ul style="list-style-type: none"> <li>• Identify exterior material finishes</li> <li>• unit 16 crowds the existing historic building, perhaps it can be adjusted.</li> </ul> Commercial Historic 1-story building: <ul style="list-style-type: none"> <li>• Remove or lower existing walls that block the view of the historic structure from the street.</li> <li>• The street wall may compromise the historic significance of this structure</li> </ul>

5.12.8.A.1.c: Façade shall be no longer than 50' without architectural details	Provide façade materials and details.
5.12.8.A.1.d: Front door shall be visible from the street and visually high lighted by graphic, lighting or similar features	Residential units of 2-3 stories: <ul style="list-style-type: none"> <li>• Gate seem to work</li> </ul> Commercial Historic 1-story building: <ul style="list-style-type: none"> <li>• Remove the fence and gate will help to better identify front door.</li> </ul>
5.12.8.A.1.e: Retail/Commercial Trade Uses that encourage street level pedestrian activity are preferred on the 1st floor of multi-story buildings	Commercial Historic 1-story building: <ul style="list-style-type: none"> <li>• Removing the fence will encourage street level pedestrian activity.</li> <li>• Retail seems to be hidden away from the public</li> </ul>
5.12.8.A.1.f: Sidewalks may be widened to allow for sidewalk dining.	N/A
5.12.8.A.1.g: To the extent practicable, bus pull-out shall be provided where bus stops are currently located	N/A
5.12.8.A.1.h: If Drive-Through service is proposed, it shall not interfere with pedestrian access to site from right-a-way	N/A
<b>5.12.8.A.2: Shade:</b> Shade shall be provided for at least 50% of all sidewalks and pedestrian paths	<ul style="list-style-type: none"> <li>• Landscape plans seem to comply with shade requirements. Provide shade calculation to meet the 50% requirement</li> </ul>
<b>5.12.8.B: Development Transition Standards</b>	
5.12.8.B.1: <u>Applicability</u> Where a project abuts an affected residential property or duplex dwelling the developing site shall comply with this section	
5.12.8.B.2: <u>Mitigation of Taller Structures</u>	
5.12.8.A.2.a: Within the GIIS; the maximum building height is 25 feet within 30 feet of the property line adjacent to an affected residential property.	<ul style="list-style-type: none"> <li>• Identify if there are residences adjacent to this project</li> <li>• Provide dimensioned drawings to verify if this issue applies.</li> </ul>
5.12.8.B.b: <u>Building Bulk Reduction:</u>  Where a <a href="#">building</a> façade faces a property line <a href="#">adjacent</a> to a single-family detached or duplex residential property, the proposed design provides an effective way of breaking up the mass so that the building mass of the façade is less imposing.	If this project is adjacent to single family homes, then provide further detailed elevations and sections in relationship to North residential property should be provided.

<p>5.12.8.B.2.c and d: Reduce views into adjacent residential yards from 2<sup>nd</sup> floor windows and balconies</p>	<ul style="list-style-type: none"> <li>• Balconies along the north property side can see into adjacent residential yards, view should be screened if applicable.</li> </ul>
<p>5.12.8.B.1.e: Buildings shall be oriented so as to reduce views onto an affected residential property</p>	<ul style="list-style-type: none"> <li>• Provide additional detailed drawings to verify if this issue applies.</li> </ul>
<p>5.12.8.B.1.f: Buffers and/or screening shall be provided between a developing site and affected residential properties</p>	<ul style="list-style-type: none"> <li>• Clarify if there will be a fence provided along the North property line and show height on the Landscape drawing.</li> </ul>
<p>5.12.8.B.3: <u>Mitigation of Service Areas</u></p> <p>Service area shall be mitigated to reduce the noise and view of the service features, reduce the emission of offensive odors to owners or occupants of adjacent properties or create a nuisance or hazard beyond the property lines of the project site, and prevent vibrations that are discernible beyond the property lines of the projects.</p>	<ul style="list-style-type: none"> <li>• For residential units along 18th street, trash bins have been located within courtyards. Identify where the bins will be picked up.</li> <li>• Additional trash bins have been located adjacent to residential unit along Russell Avenue.</li> <li>• Proposed plan will need approval from Environmental Services Department.</li> </ul>
<p>5.12.8.B.4: <u>Mitigation of Parking Facilities and Other Areas</u></p> <p>Where the site has parking areas or an area with noise and outdoor lighting features, the areas shall be screened from affected residential property by a combination of a wall or opaque non-chain link fence with a vegetative hedge or a row of trees that shall be dense enough to screen views onto the development site.</p>	<ul style="list-style-type: none"> <li>• Provide information for site wall along north property line.</li> <li>• Provide additional site context, such as site sections with site information and relationship to north adjacent property.</li> </ul>
<p><b>5.12.8.C: Alternative Compliance</b></p> <p>The PDSD Director may approve an urban design best practice option for compliance with Section 5.12.8.A, Streetscape Design and Section 5.12.8.B Development Transition Standards.</p>	<p>Provide best practice as needed for PDSD approval.</p>
<p><b>5.12.8.D: Utilities</b></p> <p>Plans shall include information on the layout and demonstrate availability of utilities such as water, wastewater, natural gas, electric, and telecommunication utilities.</p>	<p>Provide drawing for approval from City agencies.</p>
<p><b>5.12.8.E: Parking</b></p>	

<p>5.12.8.E.1.a and b: Parking spaces located on-site or off-site within 1/4 mile of site with a City approved shared parking agreement</p>	<ul style="list-style-type: none"> <li>• Provide drawing and calculations for approval by City agencies.</li> <li>• Provide calculations for parking provided vs. required.</li> </ul>
<p>5.12.8.E.2: Required vehicle and bicycle parking may be reduced pursuant to an IID Parking Plan in accordance with Section 7.4.5.A.</p>	<ul style="list-style-type: none"> <li>• Provide drawing and calculations for approval by City agencies.</li> <li>• Provide calculations for parking provided vs. required.</li> </ul>
<p>5.12.8.E.3: Where Parking is provided, the parking area must comply with the standards of Section 7.4.6.C and D.</p>	<ul style="list-style-type: none"> <li>• Provide drawing and calculations for approval by City agencies.</li> <li>• Provide calculations for parking provided vs. required.</li> </ul>
<p>5.12.8.E.4: Parking must be in a parking structure with the ground floor of the parking structure screened from view.</p>	<p>N/A</p>
<p>5.12.8.E.4.a: Exception: Parking may be located on a surface parking lot if it is determined by the PDSO Director to be impracticable to be located elsewhere and other options are not available. If located onsite, parking areas must be located at the rear or side of the building.</p>	<ul style="list-style-type: none"> <li>• Provide drawing and calculations for approval by City agencies.</li> <li>• Provide calculations for parking provided vs. required.</li> </ul>
<p>5.12.8.E.5: <u>Special IID Parking Agreement</u>:</p>	
<p>5.12.8.E.5.a: A percentage of long-term residential parking may be located in a <a href="#">City</a> public parking garage by an agreement with Park Tucson if the <a href="#">project</a> is of significant economic benefit to the <a href="#">City</a> to allow this option.</p> <p>5.12.8.E.5.b: The agreement must be reviewed by PDSO, the <a href="#">Design Professional</a>, Park Tucson and approved by the <a href="#">City</a> Manager.</p>	<ul style="list-style-type: none"> <li>• Identify what is required for both residential use and commercial use vs. what is provided.</li> <li>• Identify requested adjusted parking for City review.</li> </ul>
<p><b>5.12.9: GREATER INFILL INCENTIVE SUBDISTRICT (GIIS)</b></p>	
<p><b>5.12.8.A: GIIS Land Uses</b></p>	
<p>5.12.9.A.2: Retail Trade Group allows "Food and Beverage Sales</p>	<p>Verify approval with PDSO for these uses</p>
<p><b>5.12.9.C: Exceptions</b></p>	
<p>5.12.9.C.1.b: <u>Street Perimeter Yard</u> :  Perimeter yard requirements may be reduced or waived if the PDSO Director determines that</p>	<ul style="list-style-type: none"> <li>• Provide drawing and calculations for approval by City agencies.</li> </ul>

<p>the request is consistent with the Major Streets and Route Plan.</p>	
<p>5.12.9.C.2.a: <u>Parking:</u>  Parking as required by Section 7.4, <i>Motor Vehicle and Bicycle Parking</i>, may be reduced up to 25 percent. Parking may be decreased by more than 25 percent per a written agreement with the Park Tucson, or in accordance with Section 5.1.2.6.M IID Parking Plan,</p>	<ul style="list-style-type: none"> <li>• Verify parking plan approval with Park Tucson.</li> <li>• Identify Accessible Parking spaces.</li> </ul>
<p>5.12.9.C.4. <u>Solid Waste Collection:</u>  On-site refuse collection container <a href="#">standards</a> governing access, type, and location may be modified if the Environmental Services Department determines that no public health or traffic safety issue is created.</p>	<ul style="list-style-type: none"> <li>• Refer to comments for item 5.12.8.B.3</li> <li>• Verify with Environmental Services Department</li> </ul>
<p>5.12.9.C.5. <u>Landscaping and Screening:</u></p>	
<p>5.12.9.C.5.b. Except as required by Section 5.12.8.B, Development Transition Standards, a complete or partial exception to Section 7.6 Landscaping and Screening Standards, may be granted if shade is provided for pedestrians and customers, such as along sidewalks, pedestrian circulation paths, and outdoor patios, in accordance with Section 5.12.6.A.2. The landscaping requirement may also be waived by the PDSO Director based on a written finding that the waiver is necessary to preserve the prevailing setback.</p>	<ul style="list-style-type: none"> <li>• Verify there is enough shade along sidewalks</li> </ul>
<p>5.12.9.C.5.c. Any one or more of the following types of landscaping and improvements may be used to comply with this section:</p> <ol style="list-style-type: none"> <li>(1) Existing landscaping;</li> <li>(2) Shade trees in right-of- way</li> <li>(3) Green walls or green roofs</li> <li>(4) Shade <a href="#">structures</a>, such as awnings.</li> </ol>	<ul style="list-style-type: none"> <li>• Identify which landscape improvements are being used in order to comply with this section.</li> </ul>

This concludes the Preliminary Major Design Review of Infill District Case # IID-19-04.

Design Professional Reviewer: Richard Fe Tom, AIA

IPP



CITY OF TUCSON PLANNING & DEVELOPMENT SERVICES  
INDIVIDUAL PARKING PLAN (IPP) APPLICATION

APPLICANT

Name DALE RUSH  
Company Name HARU STUDIO, LLC  
Address 342 E MABEL STREET  
City TUCSON State ARIZONA Zip 85705  
Phone \_\_\_\_\_ Cell 520-301-7273 Email DALE@HA-RU.CO

OWNER

Name SOFOKIAS ASAKE  
Company Name EQUILIBRIUM REAL ESTATE INVESTMENT,  
Address 220 E 6<sup>TH</sup> STREET  
City TUCSON State ARIZONA Zip 85705  
Phone 520-861-9712 Cell \_\_\_\_\_ Email YANESSA@EQUILIBRIUMINVEST.COM

GENERAL INFORMATION

Address 18 + 28 W 18<sup>TH</sup> STREET  
Location (major cross streets) 18<sup>TH</sup> STREET + STONE AVE.  
Parcel Number 117-07-207A Township 14.0 Range 13.0 E Section 13  
Existing Use: MECHANIC / AUTO-REPAIR  
Existing Zoning: C-3 Property Size in Acres: 5,491 sf + 18,902 sf = 24,393 sf  
Distance to R-3 or more restrictive zone or Historic Preservation Zone: 0' ADJACENT TO HPZ  
For projects *within* 300 feet of R-3 or more restrictive zone or Historic Preservation Zone, provide the following dates:  
Pre-application Conference \_\_\_\_\_ Neighborhood Meeting \_\_\_\_\_

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## PROPOSED USE/DEVELOPMENT

Proposed use/development: \_\_\_\_\_

Check all of the following that apply to the proposed use/development:

- New development or development of a site.
- Change of use in an existing development.
- Expansion of existing use.
- Addition of a new use to an existing development.
- Parking is provided on-site.
- Parking is provided off-site per UDC § 7.4.6.B.1.
- Project site is within 300 feet of R-3 or more restrictive zone or Historic Preservation Zone.
- Single-use development.
- Multiple-use development.
- Project can accommodate shared parking arrangements for uses with alternate hours of operation and peak-use times.
- Outdoor seating area(s).
- Outdoor loudspeakers or music (live or recorded).
- Combined residential and non-residential development in a single structure or unified development.
- Project site is within 1,320 feet (1/4 mile) of a transit stop or public parking facility.
- Religious use where the parking plan will accommodate weekend and evening use.
- Residential care services or housing developments for the elderly or individuals with physical disabilities.
- A food service use within a multiple use development where motor vehicle parking is provided at one (1) space per one hundred (100) square feet gross floor area and outdoor seating area during peak use times.
- An alcoholic beverage service use within a multiple use development where motor vehicle parking is provided at one (1) space per fifty (50) square feet gross floor area during peak use times.
- Accessible parking spaces required by the City of Tucson's adopted Building Codes have not been reduced or eliminated.
- Project site is located within the Infill Incentive District (IID).
- IID zoning option applies to the project site.

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## SUBMITTAL REQUIREMENTS

- Completed "Individual Parking Plan" application, signed by owner or authorized agent.
- Appropriate fees payable to the "City of Tucson".
- One (1) copy of the Pima County Assessor Parcel Detail (<http://www.asr.pima.gov/index.aspx>).
- One (1) copy of the Pima County Assessor Record Map.
- Individual Parking Plan Narrative, sealed by a design professional licensed by the State of Arizona, addressing each of the following:
  - Number of required parking spaces. Indicate the data source used in establishing the number of required parking spaces. Provide justification and methodology used (as applicable) to establish the number of required spaces.
  - Hours of operation and peak use time(s) of each use.
  - Existing and proposed shared parking agreements, when applicable. The shared parking agreement must be prepared in a manner acceptable to the Director.

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**SUBMITTAL REQUIREMENTS (continued)**

*For projects within three hundred (300) feet of R-3 or more restrictive zone or Historic Preservation Zone, the narrative must address the following:*

- How the proposal will not cause a safety hazard, noise, or parking impacts on an adjacent existing neighborhood.
- Methods to avoid potential increases in noise and light intrusion.
- Methods to deter vehicular access into adjacent residential neighborhoods using signage or other means.
- Methods to prevent drive-through traffic or habitual parking within adjacent residential neighborhoods or commercial development.
- ❑ Three (3) copies of the Development Package sealed by a design professional licensed by the State of Arizona, prepared in compliance with Administrative Manual Section 2-06 and including the following information:
  - Number of required parking spaces per UDC § 7.4.4, including the number of accessible parking spaces required by the City of Tucson's adopted Building Codes.
  - Number of required parking spaces per the IPP narrative.
  - Number of proposed parking spaces, including accessible parking spaces.
  - Location of parking spaces, including accessible parking spaces.
  - Existing and proposed site conditions and uses, including any available on-street parking.
  - Site access and traffic circulation patterns.
  - Location and distance from the project site to existing residential neighborhoods.
  - Neighborhoods adjacent to the site with a Residential Parking Permit program.
  - Availability, location, and distance to alternate modes of transportation.
  - Evidence that all required parking for the proposed uses will either be on-site or at an approved off-site parking location.
  - Location of all outdoor lighting.
  - Other information deemed appropriate by the Director.
- ❑ For projects within three hundred (300) feet of R-3 or more restrictive zone or Historic Preservation Zone, provide the following documentation of the required neighborhood meeting:
  - Copy of notice mailed to affected parties
  - Proof of mailing which can be any of the following:
    - Certified Mailing
    - US Post Office Mailing forms
    - Mailing list stamped by postal clerk
  - Sign-in sheet
  - Summary of meeting discussion. Include date, time and place of meeting
- ❑ Traffic Study (if applicable).
- ❑ Other information deemed appropriate by the Director: \_\_\_\_\_

Fees payable to the City of Tucson:

- ❑ \$291.50 (if more than three hundred (300) feet from R-3 or more restrictive zone or Historic Preservation Zone)
- ❑ \$511.50 (if within three hundred (300) feet of R-3 or more restrictive zone or Historic Preservation Zone)

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**SIGNATURES**

I (We) represent that the information in this application and the supporting materials are true and accurate to the best of my (our) knowledge.

I acknowledge that if the development is operated in a manner that violates the conditions of approval of the requested Individual Parking Plan, or causes adverse land use impacts, the use may be suspended or terminated in accordance with UDC § 10.2.6.

\_\_\_\_\_  
Owner signature

\_\_\_\_\_  
date



\_\_\_\_\_  
04.12.2019

\_\_\_\_\_  
Applicant/Agent signature (if not owner)

\_\_\_\_\_  
date

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact Mark Castro or Russlyn Wells at (520) 791-5550.

Revised 05/19/15

## 18w18 individual parking plan narrative

18 West 18 (the "Project") is located at the northeast corner of 7<sup>th</sup> Avenue and W 18<sup>th</sup> Street. The Project is within the Greater Infill Incentive Sub-District's ("GIIS"). The following is a request for reduction in required on-site parking, as allowed by Unified Development Code ("UDC") per § 7.4.4, Table 7.4.4-1. The Project requests a parking reduction allowing the Project 10 on-site parking spaces and the rest of the required spaces found in the ample open on-street spaces provided within a 1 block radius.

### project background

#### project overview |

The Project will be mixed use with 16 single family residences (2 bedroom and 3 bedroom units), 6 studio apartments, and the repurposing of a 1,190 sf historic residential home into a retail/tavern establishment. See Site Plan SP1 (page 31). The existing residential building is a contributing property to the Barrio El Libre Expansion Historic Preservation District and will be preserved and rehabilitated in a way approved by the TPCHC-Plans Review Subcommittee. Parking is provided on site for the three largest single family units in the form of attached carports. Additional on-site parking is provided in 7 parallel parking spaces along the new private street (Hobday Way) on the north side of the development. The balance of the parking load for the Project can be supported by the available on-street parking in the immediate area. An analysis of existing on-street parking conditions in the neighborhood are detailed in the parking survey shown on PA-1 thru PA-6 (pages 25-30).

The residential uses will have similar requirements to other residential uses in the nearby Barrio neighborhoods. The majority of the parking load may not be needed during the typical workday hours (M-F, 8am-5pm). The hours of operation for the commercial portion of the project will be similar to other commercial/retail around the Tucson downtown and five pointes area. Retail related parking load may spike in the mid to late afternoon hours throughout the week, with the load for the alcohol sales use peaking in the later afternoon and evenings Thursday, Friday and Saturday. Making the parking demand highest where those three uses overlap late afternoon and evening late in the week.

While this Project is mostly single family dwellings on separate lots, the development has more density and is targeting a more urban demographic. We feel using the parking standards laid out in the UDC for multifamily projects of similar densities is more appropriate to establish a baseline parking requirement.

Per UDC Table 7.4.4-1:

Studio apartment	1/unit	6 units =	6 spaces
2 bedroom unit	2/unit	14 units =	28 spaces
3 bedroom unit	2.25/unit	2 units =	4.5 spaces
Total residential load			= 38.5 spaces
Total residential load after reduction*			= 29 spaces
Total after bike reduction (1:6 bikes)			= <u>26 spaces</u>

The commercial use will be a hybrid of retail display and sales and a neighborhood beer and wine tavern. The existing building is too small for a commercial kitchen so a restaurant or food sales use will not happen, and because the Owners are pursuing zoning approvals at this point and full build-out and occupancy is probably several months or even a year away, a defined use cannot be established without a defined operator. We are seeking approvals on a vague and flexible use and are open to restrictions on occupant load which in turn would restrict the parking load. The existing building is 1,190sf of gross interior area. As a hybrid use half the space would be dedicated to general retail sales, and half the space to tavern or alcohol sales.

Per UDC Table 7.4.4-1

Commercial services (retail)	1/300sf	x 595sf =	2 spaces
Alcohol sales (tavern)	1/ 50sf	x 595sf =	12 spaces
Total commercial load			= 14 spaces
Total commercial load after reduction*			= <u>10 spaces</u>

\*Per UDC 5.12.9.C.2 a proposed development project in the GIIS may reduce the required motor vehicle parking by 25%.

nearby transit + alternative transportation amenities |

The Project is nearby several public transit amenities with the closest one being The Tucson Go Bike Station (TUGO). This is located on the corner of Stone avenue and 18<sup>th</sup> Street along the pedestrian walk way on the south side of “Five Points Market”. Sun Tran Bus services, the #18 route, currently stops in several spots along 6<sup>th</sup> avenue within a ¼ mile of the Project location. Both services are within a reasonable walking distance for the new residents of the Project. See TUGO Bike Station + Bus Station Proximity Map (pages 22-23). The extensive bike path network in Tucson is also easily access from the Project location with major bike lanes traversing north south along Stone, 6<sup>th</sup>, and 4<sup>th</sup> avenues connecting residents and patrons to South Tucson, Downtown Tucson, and the University of Arizona campus in less than 15 minutes by bicycle. The bike route along 18<sup>th</sup> street connect users to the share used paths along the Santa Cruz River and the Aviation Bikeway. By providing long term bike storage for each residence, and short term storage for 24 bikes in the right of way adjacent to the Project along 7<sup>th</sup> avenue and 18<sup>th</sup> street, along with proximity to the TUGO bike share station we think residents and patrons will be highly encouraged to take advantage of Tucson’s climate and city provided amenities to ride their bikes as an alternative to using the automobile.

### **neighborhood street parking study**

The Barrio Viejo and Barrio Santa Rosa historic dwellings are often dense row house apartments without much outdoor space, or single family structures on small lots that offer no off-street parking. Several residents of these neighborhoods (if they own a vehicle) park on the street often a block or two away from their front door. This is a part of living in the dense urban fabric of a historic neighborhood, and a compromise that rarely is an inconvenience, but more an opportunity to participate and enjoy your community on short (1-2 minute) walks to and from your car.

The Project’s location is surrounded by blocks and blocks of available on-street parking. In order to determine if the street parking in the immediate area could accommodate this new parking load a study of the existing parking condition was performed. In a one block radius from the Project location there are 202 public on-street parking spaces not controlled by the Residential Permit parking program. For four days (Tuesday, Thursday, Saturday, and Sunday) at various times of day (7am-10pm) a survey of available spaces and their locations in the neighborhood was documented. The total raw data of this analysis can be provided, but a snap shot of a typical weekday and a typical weekend day is provided in the Neighborhood Parking Analysis – PA1 thru PA6 (pages 25-30). The findings show that during the day between 10am and 2pm the parking load peaks due to the lunch crowd at Five Points Market, but that of the 202 on-street spaces there are, on average, 110-120 spaces available. In the evenings through the early mornings between 6pm and 8am the next day, when people are home and the local businesses are closed, there is, on average, 170-180 spaces available.

### **effects of transit oriented development + alternative transportation on parking**

The demand for “vehicle optional” housing is on the rise, especially with younger millennials and older empty nesters. More and more often people are becoming economically minded about transportation and the need for personal vehicles. A study done by the Urban Land Institute (“ULI”) shows that 52% of Americans would like to live in a place where they do not need to use a car very often. When this study focuses on just millennials, the percent jumps from 52% of all Americans to 63% of millennials.<sup>1</sup> Those wishing to live in vehicle optional housing often look for transit oriented developments (“TOD”). A TOD is a mixed-use development with higher density housing and either integrated or nearby commercial uses, all located near transit stops or alternate transportation means. TOD’s often offer less vehicle parking spaces reducing the cost of housing to the resident and encouraging alternate modes of transportation. The Project location is near one TUGO Bike Station, four Sun Link Bus Stations, and is within a one mile walking distance from the major Downtown Tucson area.

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<sup>1</sup> Page 7, 24, Urban Land Institute: American in 2015, A ULI Survey of Views on Housing, Transportation and Community. Washington, D.C.; the Urban Land Institute, 2015

TOD's are shown to reduce vehicle trips and parking demand, likely because they attract residents who want to drive less. TOD's tend to attract childless singles or couples on a wide age spectrum: often younger working professionals or older empty nesters.<sup>2</sup> On average, TOD households are almost twice as likely to not own a personal vehicle than non-TOD households.<sup>3</sup>

Bike Share programs are also a huge factor on the decrease in demand for personal vehicles. A 2015 Transit Reviews study noted that among 5 major cities studied 3 bikeshare programs created a substitution rate for car trips at or slightly below 20%.<sup>4</sup> This substitution rate indicates that bikeshare programs offer a viable alternative to conventional personal vehicle transportation as well as personal vehicle ownership. A study on the TUGO Bikes shows that from November 2018 to January 2019 more than 23,400 miles have been travel and over 15,600 pounds of CO2 emissions have been saved because the public has chosen to use TUGO Bike Share instead of driving.<sup>5</sup> These bike shares have not only had a positive impact on the environment around us but have also had a positive impact on the lifestyle and fitness of the public who have decide to use the TUGO Bike Stations. See Attachment 5 – Bike Share Map.

### **effects of carshare and rideshare programs on personal vehicle ownership**

As motor vehicle manufacturers incorporate more and more technology into personal vehicles for safety, or fuel efficiency, or just entertainment and convenience purposes, it's obvious the initial cost of buying a car has increased, but the total cost of maintaining and repairing that car has drastically increased as well. A 2018 study by the AAA shows that, on average, personal vehicle ownership costs the owner \$8,849 per year per automobile (not including the actual cost of the car).<sup>6</sup> An online financial education source sponsored by the US Dept. of Energy and the University of Texas shows that purchasing and owning a vehicle over a 5 year period may cost \$13,385/year while using a rideshare service like Uber or Lift may cost \$12,280/year.<sup>7</sup> This calculator doesn't account for walking or biking or taking public transportation for any trips needed. With the actual cost of personal vehicles increasing, and the rise of legitimate and affordable rideshare services, and the real potential for autonomous driving vehicles in the 5-10 year future it seems (at least in more densely populated urban areas) the need for personally owned motor vehicles will be decreasing rapidly and with it the need for parking spaces required within a development's property lines.

### **parking reduction request**

We ask the Parking Director and PDS staff to allow the multi-family metric defined in UDC Table 7.4.4-1 be applied to this single family development. We also request the commercial space be allowed a hybrid use and the 1 space per 300sf metric for retail use be applied to half the area of the commercial use and the other half will be 1 space per 50sf for alcohol sales. This application of the parking required coupled with the GIS reduction of 25% would result in a total parking load of 36 spaces. The proposed plans for the development account for 10 on-site parking spaces. Therefore, at peak parking demand 26 on-street spaces will be allocated to this Project and given there are approximately 110-120 available spaces within a one block distance from the Project this new parking demand should be easily accommodated.

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<sup>2</sup> Page 3. National Academies of Sciences, Engineering, and Medicine. 2008. *Effects of TOD on Housing, Parking, and Travel*. Washington, DC: The National Academies Press. <https://doi.org/10.17226/14179>

<sup>3</sup> Page 26. *Effects of TOD on Housing, Parking, and Travel*

<sup>4</sup> Page 104. Elliot Fishman (2015) Bikeshare: A Review of Recent Literature, *Transport Reviews*, 36:1.

<sup>5</sup> Page 4, Tugo Bike Share: Operation Report; Shift Transit January 31<sup>st</sup>, 2019  
[https://www.tucsonaz.gov/files/bicycle/documents/TugoReport\\_Jan2019\\_website.pdf](https://www.tucsonaz.gov/files/bicycle/documents/TugoReport_Jan2019_website.pdf)

<sup>6</sup> Page 8,9. AAA Association Communication (2018) *Your Driving Costs*, 2018 Edition

<sup>7</sup> <https://www.rideordrive.org>

This reduction request is appropriate for the Project for several different reasons:

1. The Project location is directly adjacent to a TUGO Bike Station, the Tucson Bike path network, and a major bus route.
2. The Barrio Viejo and Barrio Santa Rosa neighborhoods set a precedent of residents parking on-street within a block or two of their dwelling.
3. The Project location is less than a mile away from the major Tucson downtown area, providing a dwelling location within walking distance for those who work in or around downtown or allowing the residents access to every major type of transportation method in Tucson. It also creates housing for those who would like to eliminate the need for personal vehicles and still have access to the amenities and advantages of alternative transportation.
4. The commercial use will serve the immediate neighborhood more than patrons from elsewhere in the city. It may be a neighborhood pub/tavern, or the local bodega for groceries or small pre-prepped meals on your way home. It could also be a local newsstand or bookstore where you can have a coffee while you read and relax before starting your day, or a beer while checking out a new book before you head home for the night. In all cases we feel half or possibly a majority of the patrons will be from the nearby area and not needing to park a car.

**conclusion**

Based on the research provided and the adequate amount of available public on-street parking, as well as, the 10 on-site parking spaces provided, the parking reduction acquiescent of the Project should meet the needs and demands of the new parking load.

Thank you for the diligent time that is needed in reviewing the parking plan and design package for 18 West 18<sup>th</sup> development project. If there are any questions about the information above or the attached documentation, we would be more than happy to answer them.

Sincerely,



dale rush, principal in-charge

haru studio  
520-301-7273  
dale@ha-ru.co  
www.ha-ru.co



Expires 12.31.2021

**7.4.4. REQUIRED NUMBER OF MOTOR VEHICLE PARKING SPACES****A. Calculation of Required Motor Vehicle Parking Spaces for Multiple or Mixed Use Development**

The total number of required spaces for a multiple or mixed use development is 90% of the sum of the amount required for each separate principal use in Section 7.4.4.B, *Minimum Number of Motor Vehicle Spaces Required*. The square footage of Entertainment, Food Service (i.e., restaurants), and/or Alcoholic Beverage Service (i.e., bars) uses may not be included in the calculation for multiple or mixed use parking requirements. The parking requirements for these uses are calculated individually in accordance with Section 7.4.4.B, *Minimum Number of Motor Vehicle Spaces Required*.

**1. Exceptions**

The calculation for a multiple or mixed use development does not apply to Shopping Centers, Golf Course, Religious, Travelers' Accommodation, and Lodging uses. Refer to Section 7.4.4.B, *Minimum Number of Motor Vehicle Spaces Required*, for multiple or mixed use motor vehicle parking requirements pertaining to these uses.

**B. Minimum Number of Motor Vehicle Parking Spaces Required**

The minimum number of required motor vehicle parking spaces is provided below in Table 7.4.4-1.

<b>TABLE 7.4.4-1: MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED</b>	
<b>Land Use Group/Class</b>	<b>Motor Vehicle Parking Required</b>
<b>AGRICULTURAL USE GROUP</b>	0 required
<b>CIVIC USE GROUP</b>	1 space per 300 sq. ft. GFA, except as follows:
Cemetery	1 space per 25 burial plots or columbarium units, unless a private street system is provided and designed to permit on-street parking
Civic Assembly; Membership Organization; and Religious Use	1 space per 100 sq. ft. GFA in all combined public assembly areas or areas where religious services are held, whichever is applicable  For multiple or mixed use development where Religious Use is the principal land use, the total number of motor vehicle spaces required is the number required for the Religious Use or the sum of those required for other uses on the site, whichever is greater
Cultural Use - Zoo	Parking area equal to 30% of the area occupied by the zoo
Educational Use*	
Grades K - 8	1 space per 10 students plus 1 space per 300 sq. ft. of floor area in office use
Grades 9 - 12	1 space per 5 students  *Passenger drop-off areas are required for Grades K-12 per Section 4.9.3.E.7
Postsecondary Institutions; Instructional Schools	1 space per 200 sq. ft. GFA
<b>COMMERCIAL SERVICES USE GROUP</b>	1 space per 300 sq. ft. GFA, except as follows:
Alcoholic Beverage Service (including Large Bar)	1 space per 50 sq. ft. GFA
Animal Service	1 space per 400 sq. ft. GFA
Automotive Washing	
Full-Service	1 space per 500 sq. ft. GFA, including service bays, wash tunnels, office, and retail areas
Self-Service	0 required
Billboard	0 required
Day Care - Home Occupation	No additional parking required above what is required for the residential use
Entertainment (including Large Dance Halls)	1 space per 5 fixed seats or 1 space per 50 sq. ft. GFA
Food Service	1 space per 100 sq. ft. GFA and outdoor seating areas
Medical Service - Extended Health Care	1 space per 2 beds
Medical Service - Major	1 space per bed.
Medical Service - Outpatient	1 space per 200 sq. ft. GFA
Parking	0 required.
Transportation Service	1 space per 300 sq. ft. GFA of administrative or professional office area only
Travelers' Accommodation, Campsite	1 space per campsite
Travelers' Accommodation, Lodging	1 space per rental unit plus 1 space per 300 sq. ft. GFA of conference, restaurant, retail, bar, and banquet space.
Vehicle Storage	None (0) required
<b>INDUSTRIAL USE GROUP</b>	1 space per 1,000 sq. ft. GFA, except as follows:
Household Goods Donation Center	1 space per 300 sq. ft. GFA.
Salvaging and Recycling	1 space per 5,000 sq. ft. of lot area plus 1 space per 300 sq. ft. of sales and office area
<b>RECREATION USE GROUP</b>	1 space per 100 sq. ft. GFA, except as follows:
Golf Course	3 spaces per hole plus 50% of parking required for retail, restaurant, and/or bar associated with the golf course
Driving Range	1 space per fixed tee
Athletic Fields	15 spaces per field

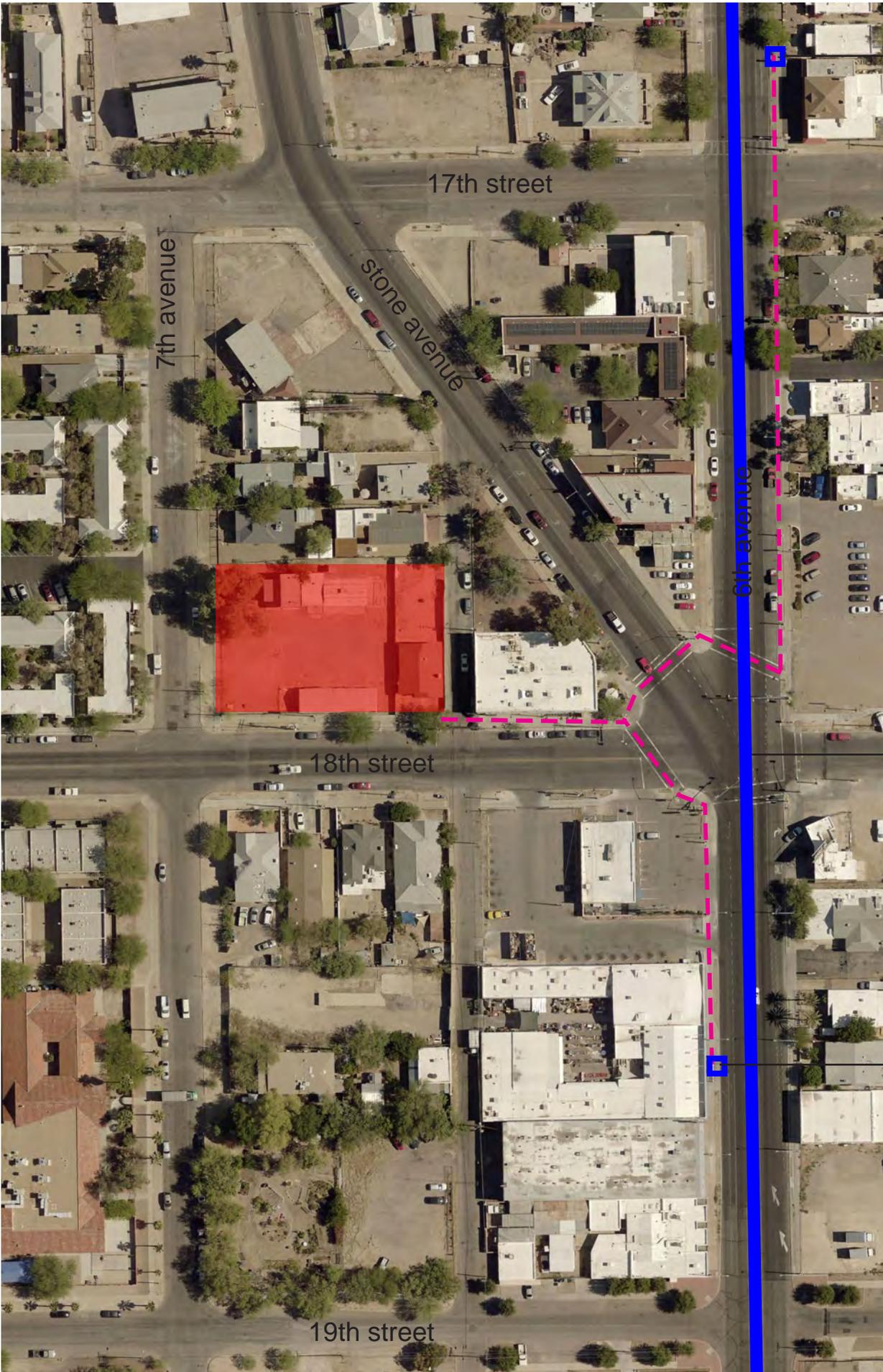
Batting Cage	1 space per batting cage
Billiard/Pool Halls	1 space per 200 sq. ft. GFA
Bowling Alley	3 spaces per lane
Court - Basketball or Volleyball	5 spaces per court or 3 spaces per half court, if only a half court is provided
Court - Tennis or Racquetball	2 spaces per court
Health/Exercise Club/Gymnasium	1 space per 200 sq. ft. GFA
Miniature Golf Course	1 space per tee plus 1 space per 75 sq. ft. GFA
Rifle and Pistol Range	1 space per firing lane
Rodeo Arena	1 space per 2,500 sq. ft. of lot area minus the main arena area
Skating Rink	1 space per 200 sq. ft. GFA
Swimming Pool	0 required, if water surface area is less than 1,000 sq. ft.; 1 space per 200 sq. ft. of entire pool, if water surface area is 1,000 sq. ft. or more
<b>RESIDENTIAL USE GROUP</b>	
Family Dwelling; Mobile Home Dwelling	The number of parking spaces required is based on the following:
Single-Family and Mobile Home Dwellings	2 spaces per dwelling unit plus visitor parking required at a ratio of 0.25 space per unit. Exception. Single-family dwellings in the R-1 zone must comply with Section 4.9.7.B.7
Multifamily Dwellings - 0-70 units/acre	The number of spaces per dwelling unit is based on the number of bedrooms in each unit as follows: <ul style="list-style-type: none"> <li>• Studio, less than 400 sq. ft. GFA - 1.00 space per dwelling unit</li> <li>• Studio, more than 400 sq. ft. GFA, and 1 Bedroom - 1.50 spaces per dwelling unit</li> <li>• Two Bedrooms - 2.00 spaces per dwelling unit</li> <li>• Three Bedrooms - 2.25 spaces per dwelling unit</li> <li>• Four or More Bedrooms - 2.50 spaces per dwelling unit</li> </ul>
Multifamily Dwellings - Over 70 units/acre	1.25 spaces per dwelling unit
Projects of any density for the elderly or the physically disabled	0.75 space per dwelling unit
Group Dwelling	0.5 space per resident plus 2 spaces for the resident family
Dormitory, Fraternity, or Sorority	0.7 space per resident. On projects where rent/lease of space is by the bedroom, the requirement is 0.85 space per bedroom or 2.00 spaces per dwelling unit, whichever is greater
Residential Care Services:	
1 - 5 Residents	3 spaces
6 - 10 Residents	4 spaces
11 - 15 Residents	5 spaces
16 - 20 Residents	6 spaces
21 or more Residents	1 space per 2 beds
<b>RETAIL TRADE USE GROUP</b>	
1 space per 300 sq. ft. GFA, except as follows:	
Auctions	1 space per 100 sq. ft. of seating area only
Farmers' Market (when operated outdoors only) and Swap Meets	1 space per 300 sq. ft. of display and sales area only, excluding vehicular use areas
Furniture, Carpet or Appliance Store	1 space per 400 sq. ft. GFA
Gasoline Sales without Food and Beverage Sales	1 space per employee but not less than 2 spaces
Medical Marijuana Dispensary Off-Site Cultivation Location	1 space per 2,000 sq. ft. of storage area for the first 20,000 sq. ft. of storage area plus 1 space per 10,000 sq. ft. of storage area for over 20,000 sq. ft. of storage area, with a minimum of 2 spaces
Shopping Center	1 space per 300 sq. ft. GFA
Vehicle Sales	1 space per 400 sq. ft. GFA of show room, retail, and office area, plus 1 space per 10,000 sq. ft. of gross lot area, plus 1 space per 300 sq. ft. GFA of Automotive and Vehicle Repair use
<b>STORAGE USE GROUP</b>	
Commercial Storage; Hazardous Material Storage	1 space per 5,000 sq. ft. GFA, plus 1 space per 5,000 sq. ft. of outdoor storage area for the first 20,000 sq. ft. of outdoor storage area, plus 1 space per 10,000 sq. ft. of outdoor storage area over 20,000 sq. ft. of outdoor storage area
Personal Storage	0 required for storage units, if storage units have direct vehicular access, and a minimum of 2 spaces for any associated office. 1 space per 4,000 sq. ft. GFA, if storage units do not have direct vehicular access, and a minimum of 2 spaces for any associated office
<b>UTILITIES USE GROUP</b>	
1 space per 500 sq. ft. GFA, with a minimum of 2 spaces per facility	
<b>WHOLESALE USE GROUP</b>	
1 space per 2,000 sq. ft. of storage area for the first 20,000 sq. ft. of storage area plus 1 space per 10,000 sq. ft. of storage area for over 20,000 sq. ft. of storage area	

(Am. Ord. 11171, 5/20/2014; Am. Ord. 11199, 9/9/2014; Am. Ord. 11328, 12/8/2015)

#### 7.4.5. REDUCTIONS AND EXCEPTIONS

##### A. Individual Parking Plan

1. The PSD Director may approve a modification to the number of required motor vehicle parking spaces on new and existing sites through an Individual Parking Plan (IPP).



820' to bus stop north of 19th from east edge of site

#18 bus route

500' to bus stop south of 18th from east edge of site



bike routes

115' to tugo bike share from east edge of site

parking analysis

18 w 18

reference plan	1	2 tuesday					3 thursday				4 5 6 saturday				7 sunday			average open parking spaces			
		7am-9am	9am-12pm	12pm-3pm	3pm-6pm	6pm-10pm	8am	10am-12pm	12pm-2pm	2pm-6pm	10am	12pm-2pm	2pm-6pm	6pm-10pm	8am	12pm-12pm	12pm-5pm	weekday mid day	weekday after 5pm	weekend mid day	weekend evening
18th street btwn 6th and 7th ave	spaces provided	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20
	cars observed	3	17	7	3	3	9	15	14	13	12	13	7	4	2	12	1	13	8	12	4
	spaces open	17	3	13	17	17	11	5	6	7	8	7	13	16	18	8	19	7	12	8	16
	percent available	85%	15%	65%	85%	85%	55%	25%	30%	35%	40%	35%	65%	80%	90%	40%	95%	34%	60%	38%	80%
18th street btwn 7th and 8th ave	spaces provided	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27
	cars observed	2	10	6	3	4	4	5	6	5	9	6	5	5	5	5	4	7	4.5	7	4.7
	spaces open	25	17	21	24	23	23	22	21	22	18	21	22	22	22	22	23	20	22.5	20	22.3
	percent available	93%	63%	78%	89%	85%	85%	81%	78%	81%	67%	78%	81%	81%	81%	81%	85%	75%	83%	75%	83%
7th avenue btwn 17th and 18th st	spaces provided	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25
	cars observed	8	7	9	9	8	9	10	7	6	12	16	6	9	8	8	8	8	7	12	7.7
	spaces open	17	18	16	16	17	16	15	18	19	13	9	19	16	17	17	17	17	18	13	17.3
	percent available	68%	72%	64%	64%	68%	64%	60%	72%	76%	52%	36%	76%	64%	68%	68%	68%	67%	72%	52%	69%
7th avenue btwn 18th and 19th st	spaces provided	23	23	23	32	32	23	23	23	32	32	32	32	32	32	32	32	23	32	32	32
	cars observed	2	15	19	5	3	12	13	11	12	24	17	3	3	3	2	1	15	7.5	14	2.3
	spaces open	21	8	4	27	29	11	10	12	20	8	15	29	29	29	30	31	9	24.5	18	29.7
	percent available	91%	35%	17%	84%	91%	48%	43%	52%	63%	25%	47%	91%	91%	91%	94%	97%	37%	77%	55%	93%
stone avenue btwn 17th and 18th st	spaces provided	29	29	29	29	29	29	29	29	29	29	29	29	29	29	29	29	29	29	29	29
	cars observed	5	23	6	4	3	12	13	13	9	20	21	10	8	11	27	6	14	6	23	8
	spaces open	24	6	23	25	26	17	16	16	20	9	8	19	21	18	2	23	15	23	6	21
	percent available	83%	21%	79%	86%	90%	59%	55%	55%	69%	31%	28%	66%	72%	62%	7%	79%	53%	79%	22%	72%
russell ave btwn stone and 18th st	spaces provided	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5	5
	cars observed	5	5	5	5	2	5	5	5	4	4	5	4	3	4	5	3	5	3	5	3.3
	spaces open	0	0	0	0	3	0	0	0	1	1	0	1	2	1	0	2	0	2	0	1.7
	percent available	0%	0%	0%	0%	60%	0%	0%	0%	20%	20%	0%	20%	40%	20%	0%	40%	0%	40%	7%	33%
17th street btwn stone and 8th ave	spaces provided	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27	27
	cars observed	1	1	0	2	5	10	7	5	3	3	11	3	6	7	9	9	3	4	8	6
	spaces open	26	26	27	25	22	17	20	22	24	24	16	24	21	20	18	18	24	23	19	21
	percent available	96%	96%	100%	93%	81%	63%	74%	81%	89%	89%	59%	89%	78%	74%	67%	67%	88%	85%	72%	78%
19th street btwn 6th and 7th ave	spaces provided	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20	20
	cars observed	0	1	3	1	1	3	3	2	1	6	4	0	0	0	0	0	2	1	3	0
	spaces open	20	19	17	19	19	17	17	18	19	14	16	20	20	20	20	20	18	19	17	20
	percent available	100%	95%	85%	95%	95%	85%	85%	90%	95%	70%	80%	100%	100%	100%	100%	100%	89%	95%	83%	100%
19th street btwn 7th and 8th ave	spaces provided	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26
	cars observed	7	6	10	1	3	9	10	7	4	9	6	4	5	5	4	4	8	3.5	6	4.3
	spaces open	19	20	16	25	23	17	16	19	22	17	20	22	21	21	22	22	18	22.5	20	21.7
	percent available	73%	77%	62%	96%	88%	65%	62%	73%	85%	65%	77%	85%	81%	81%	85%	85%	68%	87%	76%	83%
cars parked illegally or closer together		1	8																		
total spaces provided in 1 block radius		202	202	202	211	211	202	202	202	211	211	211	211	211	211	211	211	202	211	211	211
total cars observed in survey area		34	93	65	33	32	73	81	70	57	99	99	42	43	45	72	36	77	44.5	90	40.3
total available parking spaces in survey area		168	109	137	178	179	129	121	132	154	112	112	169	168	166	139	175	125	166.5	121	170.7
percent available		83%	54%	68%	84%	85%	64%	60%	65%	73%	53%	53%	80%	80%	79%	66%	83%	62%	79%	57%	81%

residential parking demand	26	26	13	13	26	26	26	13	13	26	26	26	21	26	26	26	21	26	demand assumes 100% load in the mornings and evenings with a 50% load during the day
commerical parking demand	10	0	5	5	10	10	0	5	5	10	10	0	10	10	10	0	5	8	demand assumes 0% load in the mornings, 50% load during the day, 100% load in evenings
parking provided on site	10	10	7	7	10	10	10	7	7	10	10	10	8	10	10	10	8	10	provided on-site assumes carpools are empty during the work day
available parking after project demand		152	98	126	152	153	113	110	121	128	96	89	143	142	150	121	151	surveyed available, minus demand, plus provided	
percent available		75%	48%	62%	72%	72%	56%	54%	60%	61%	46%	42%	68%	67%	71%	57%	71%	0% 100%	

residential parking demand

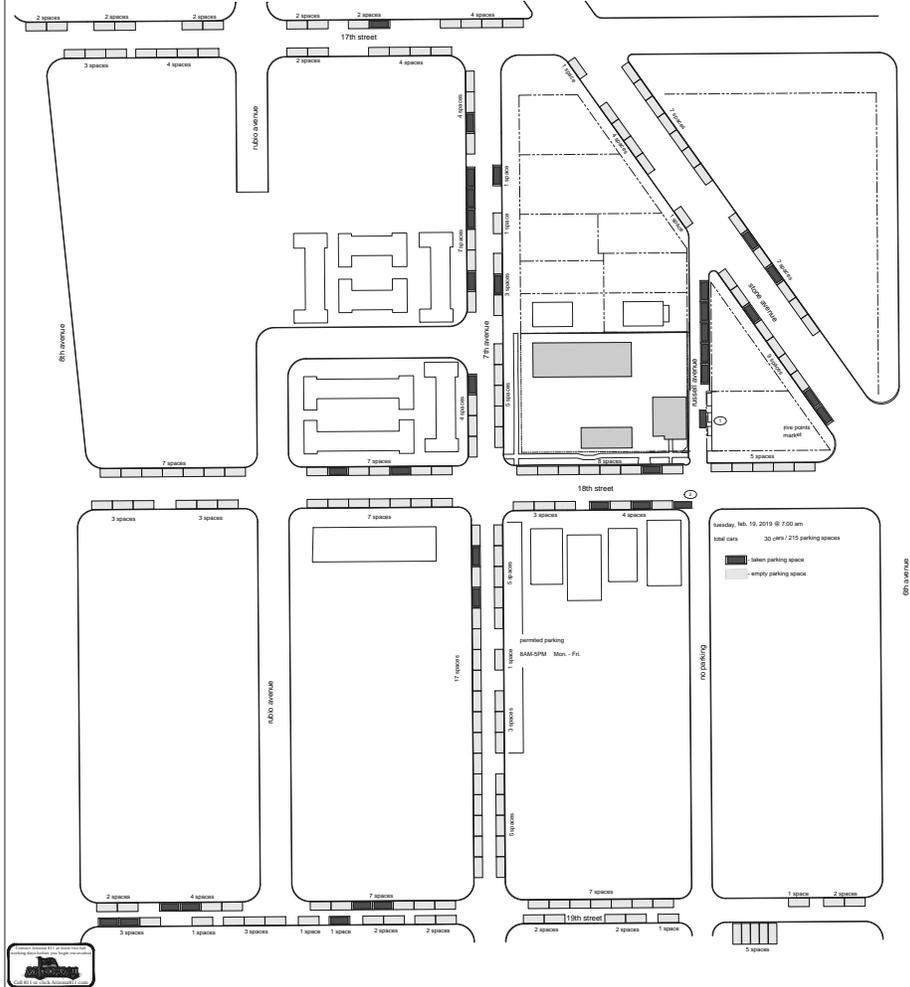
	# of units	# of spaces
studio	1 per unit	6
2 bedroom	2 per unit	14
3 bedroom	2.25 per unit	2
residential demand		39
25% reduction		10
bike rack reduction		3
residential parking demand		26

commerical parking demand

	area	
retail	300 sf per space	595
alcohol sales	50 sf per space	595
commerical demand		14
25% reduction		4
commerical parking demand		10

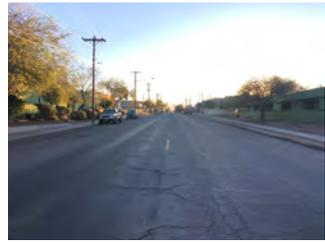


Expires 12.31.2021



1 parking plan  
week 1" = 50'0"

tuesday 2.19.19 @ 7:00am



- cars shown are parked legally either in front of curb cuts or in no parking areas.
- cars parked closer than standard 22', allowing more parking than considered for survey.

18th street looking east  
42 cars on the street  
42 spaces open



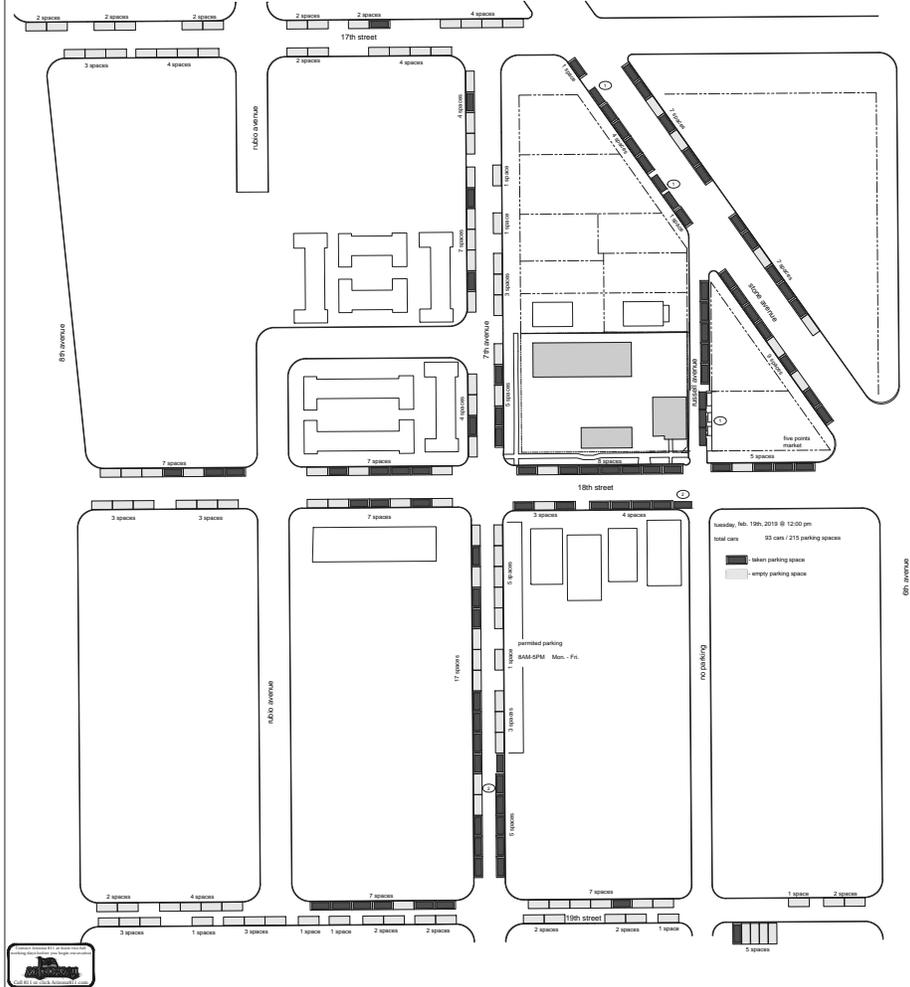
7th avenue looking north  
10 cars on the street  
8 spaces open



18th street looking west  
7 cars on the street  
39 spaces open

NO.	DATE	REVISION/DESCRIPTION	BY
OWNER/DEVELOPER			
EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: VANESSA LANE PH: (520) 861-9712 E: vanessa@equilibriuminvest.com			
SITE ADDRESS			
18 WEST 18TH STREET TUCSON, ARIZONA 85703			
 			
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA			
INDIVIDUAL PARKING PLAN for 18 WEST 18TH STREET			PA-1

DP-18-0283  
REF: IID-191501



2 parking plan  
week 1" = 50'0"

tuesday 2.19.19 @ 12:00pm



- cars shown are parked legally either in front of curb cuts or in no parking areas.
- cars parked closer than standard 22', allowing more parking than considered for survey.

18th street looking east  
27 cars on the street  
20 spaces open



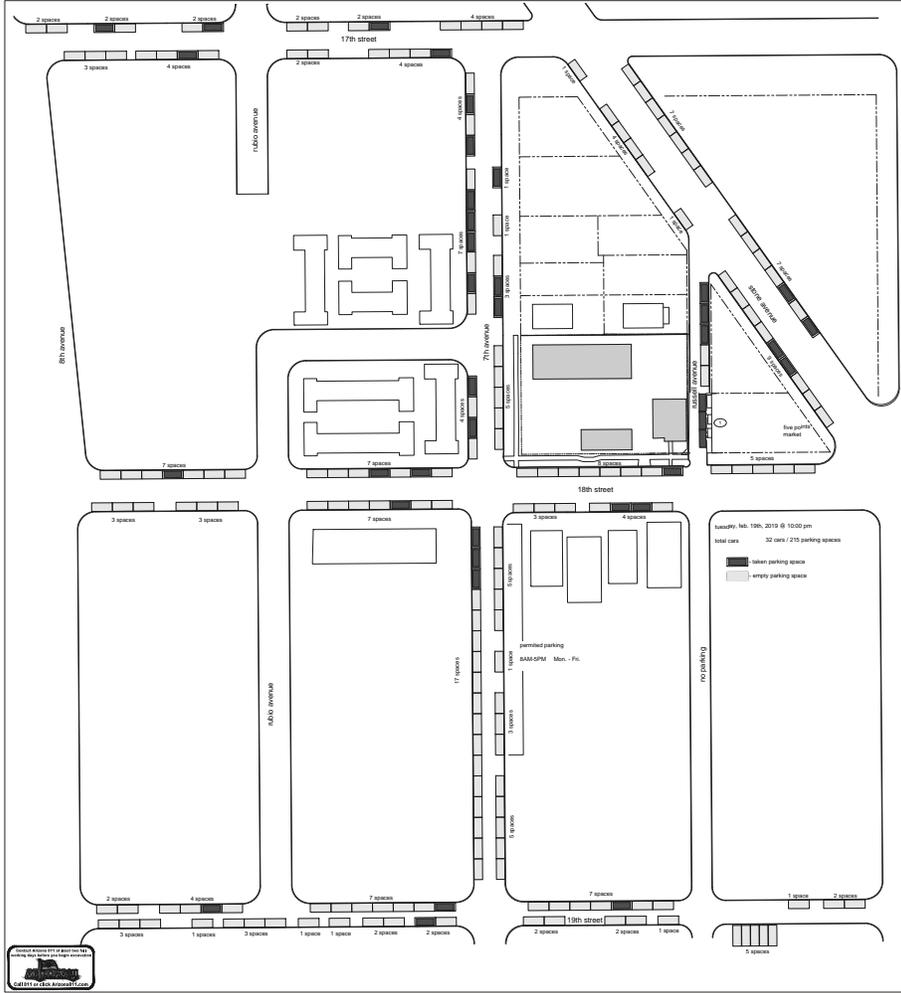
7th avenue looking north  
22 cars on the street  
16 spaces open



18th street looking west  
27 cars on the street  
20 spaces open

NO.	DATE	REVISION/DESCRIPTION	BY
OWNER/DEVELOPER			
EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: VANESSA LANE PH: (520) 861-9712 E: vanessa@equilibriuminvest.com			
SITE ADDRESS			
18 WEST 18TH STREET TUCSON, ARIZONA 85703			
 			
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA			
INDIVIDUAL PARKING PLAN for 18 WEST 18TH STREET			PA52

DP-18-0283  
REF: IID-191501



### 3 parking plan

tuesday 2.19.19 @ 10:00pm

images below were taken at 6pm, but were very similar to conditions observed at 10pm. photographs taken at night were not usable.



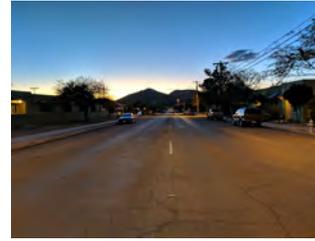
- cars shown are parked illegally either in front of curb cuts or in no parking areas.
- cars parked closer than standard 22', allowing more parking than considered for survey.

18th street looking east  
 7 cars on the street  
 40 spaces open

the residential parking demand that is very low, leaving almost all of the spaces on 18th st. and 7th ave. open.



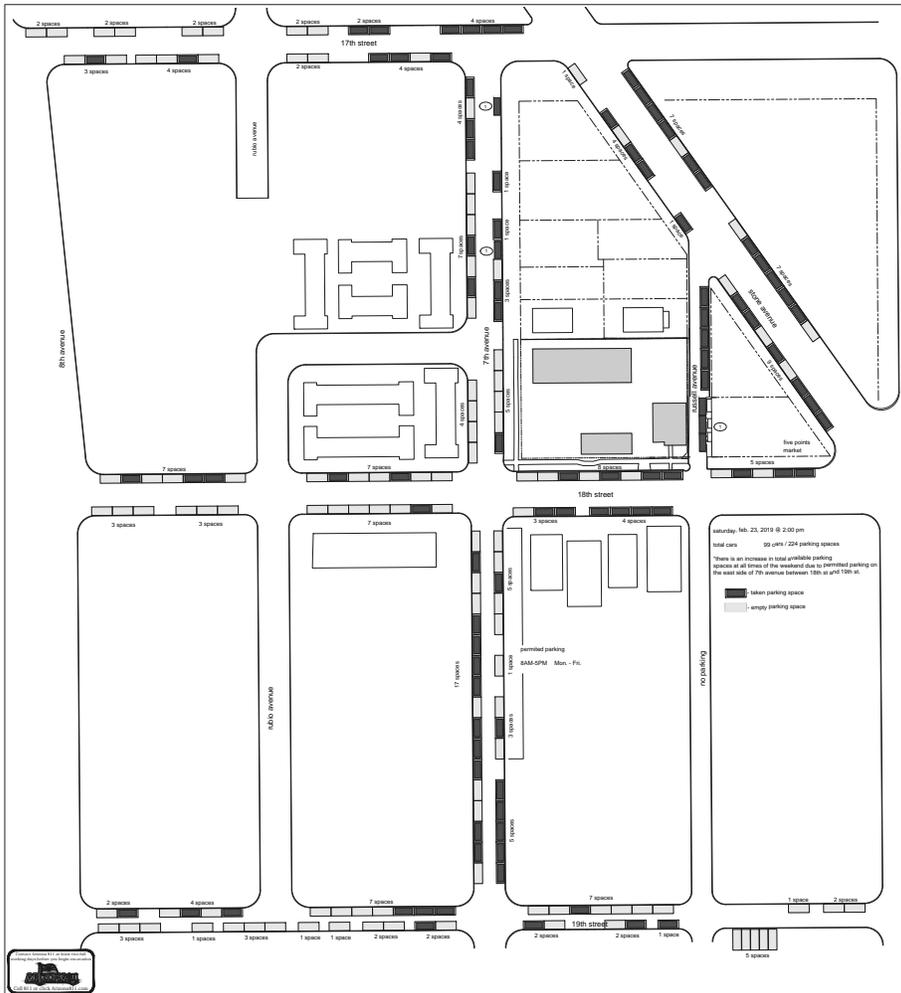
7th avenue looking south  
 11 cars on the street  
 46 spaces open



18th street looking west  
 7 cars on the street  
 40 spaces open

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: Vanessa Lane PH: (520) 861-9712 E: vanessa@equilibriuminvest.com
 				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85705
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA				
<b>INDIVIDUAL PARKING PLAN for</b> <b>18 WEST 18TH STREET</b>				<b>PA-3</b>

DP-18-0283  
 REF: IID-191501



### 4 parking plan

saturday 2.23.19 @ 2:00pm



- cars shown are parked illegally either in front of curb cuts or in no parking areas.
- cars parked closer than standard 22', allowing more parking than considered for survey.

7th street looking south  
 22 cars on the street  
 19 spaces open

high seating parking demand from 10am to 2pm for the brunch and lunch crowd at five points market, even with the demand there are several open spaces in the project vicinity, especially west of the area.



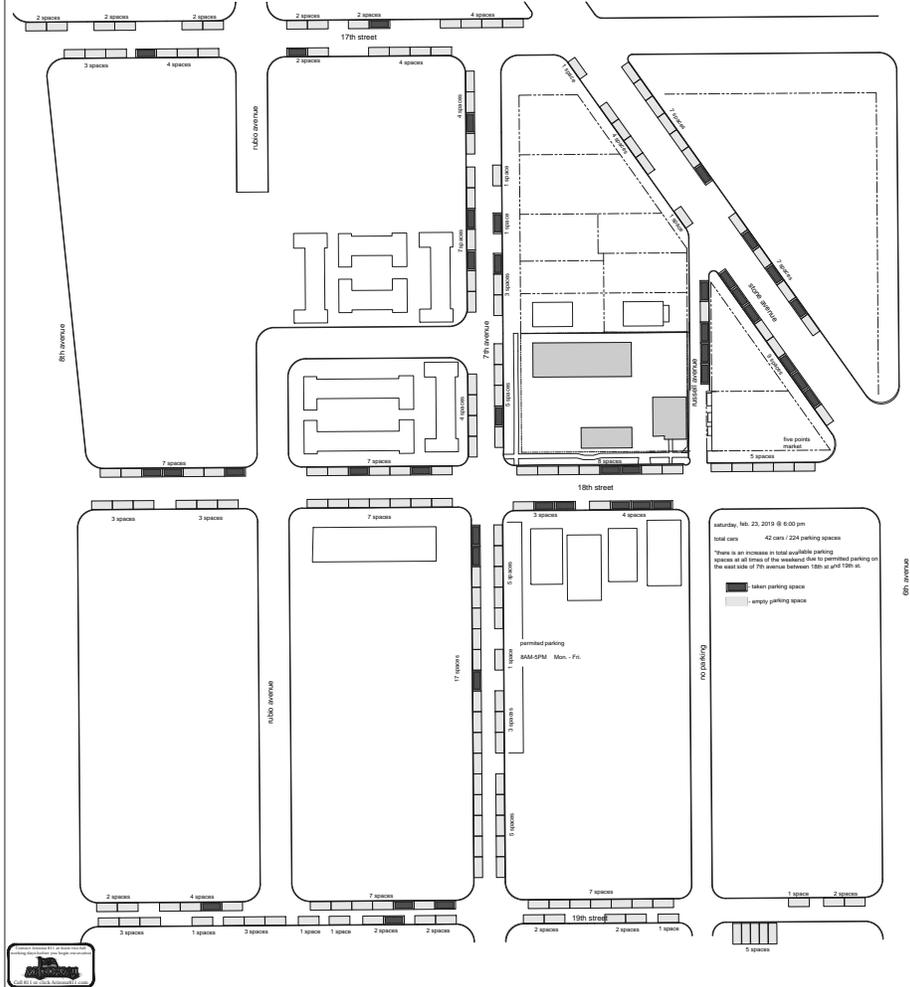
18th avenue looking west  
 19 cars on the street  
 28 spaces open



7th street looking north  
 22 cars on the street  
 19 spaces open

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: Vanessa Lane PH: (520) 861-9712 E: vanessa@equilibriuminvest.com
 				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85705
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA				
<b>INDIVIDUAL PARKING PLAN for</b> <b>18 WEST 18TH STREET</b>				<b>PA-4</b>

DP-18-0283  
 REF: IID-191501



**5 parking plan**   
 saturday 2.23.19 @ 6:00pm

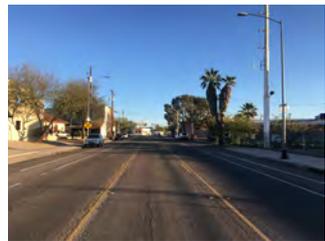


- cars shown are parked illegally either in front of curb cuts or in no parking areas.
- cars parked closer than standard 22', allowing more parking than considered for survey.

7th street looking north  
 8 cars on the street  
 48 spaces open



18th street looking east  
 12 cars on the street  
 38 spaces open



18th street looking south  
 12 cars on the street  
 19 spaces open

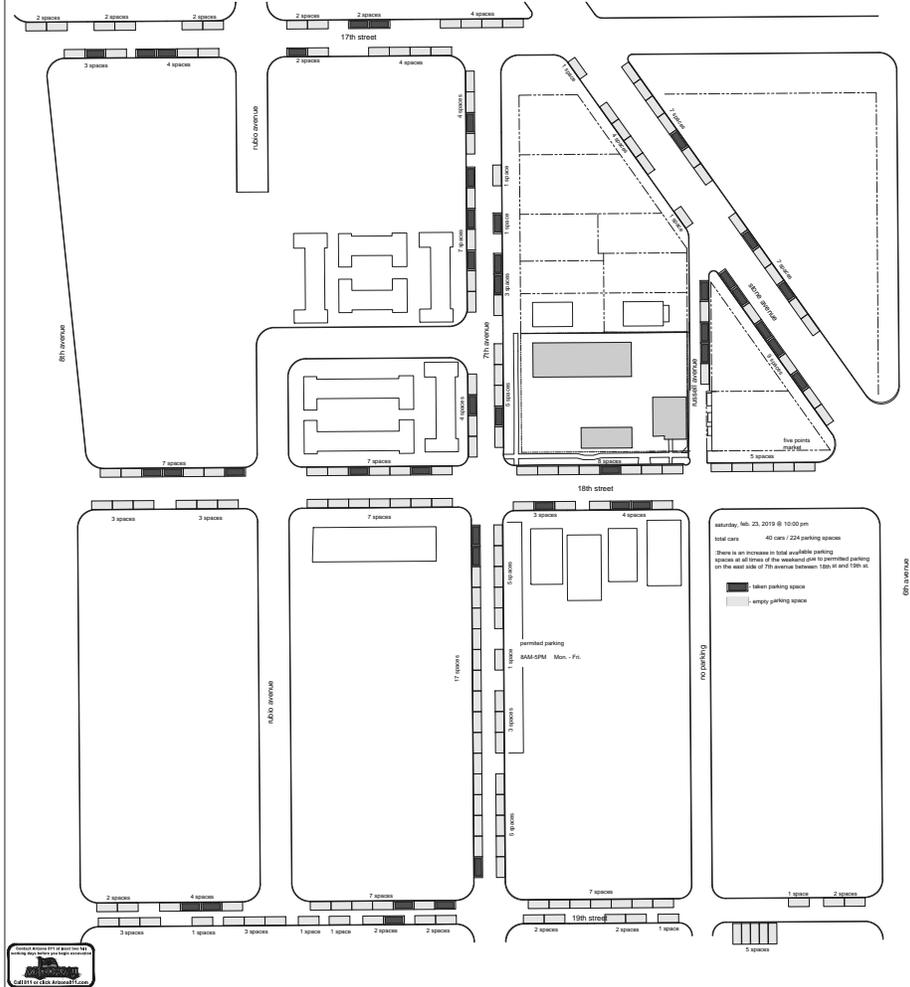
Thursday, Feb. 23, 2019 @ 6:00 pm  
 total cars 42 cars / 224 parking spaces  
 There is an increase in total available parking spaces on all sides of the roadway due to permitted parking on the east side of 7th Avenue between 18th st and 19th st.

- mean parking space
- empty parking space

permitted parking  
 8AM-5PM Mon. - Fri.  
 no parking

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: Vanessa Lane PH: (520) 861-9712 E: vanessa@equilibriuminvest.com
 				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85703
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA				
<b>INDIVIDUAL PARKING PLAN for</b> <b>18 WEST 18TH STREET</b>				<b>PA-5</b>

DP-18-0283  
 REF: IID-191501



**6 parking plan**   
 saturday 2.23.19 @ 10:00pm



- cars shown are parked illegally either in front of curb cuts or in no parking areas.
- cars parked closer than standard 22', allowing more parking than considered for survey.

7th street looking north  
 10 cars on the street  
 48 spaces open



18th street looking east  
 12 cars on the street  
 38 spaces open



18th street looking south  
 12 cars on the street  
 19 spaces open

Thursday, Feb. 23, 2019 @ 10:00 pm  
 total cars 40 cars / 224 parking spaces  
 There is an increase in total available parking spaces on all sides of the roadway due to permitted parking on the east side of 7th Avenue between 18th st and 19th st.

- mean parking space
- empty parking space

permitted parking  
 8AM-5PM Mon. - Fri.  
 no parking

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				EQUILIBRIUM 28 W 18TH ST LLC C/O EQUILIBRIUM REALTY LLC 220 EAST 6TH STREET TUCSON, ARIZONA 85705 ATTN: Vanessa Lane PH: (520) 861-9712 E: vanessa@equilibriuminvest.com
 				<b>SITE ADDRESS</b> 18 WEST 18TH STREET TUCSON, ARIZONA 85703
LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA				
<b>INDIVIDUAL PARKING PLAN for</b> <b>18 WEST 18TH STREET</b>				<b>PA-6</b>

DP-18-0283  
 REF: IID-191501

**general information**

parcels: 117-07-206A & 117-07-207A  
 existing zoning: C-3 (no change requested)  
 site area: 25,704sf  
 16 single family residences on individual lots  
 one multi-family building with 6 studio apartments  
 one retail/alcohol sales use in existing building

bicycle parking required:

use	short term	long term
retail / al sales	2 minimum	0 per UDC 7.4.8.B.1.a(1)
multifamily apartment	2 minimum	3 (6 units x 0.5 bikes)
single family	0	0

provided	24	4
non-required	20	

motor vehicle reduction 1 space per 6 non-required bike spaces.  
 UDC 7.4.5.E.3

residential parking demand:

studio	1 space/unit	06 units	06 spaces
2 bed units	2 spaces/unit	14 units	28 spaces
3 bed units	2 1/4 spaces/unit	02 units	05 spaces

residential demand	39 spaces
25% reduction	10 spaces

residential parking demand 29 spaces

commercial parking demand:

retail	300 sf/space	595sf	02 spaces
alcohol sales	50 sf/space	595sf	12 spaces

commercial demand	14 spaces
25% reduction	04 spaces

commercial parking demand 10 spaces

peak use parking demand	39 spaces
bike parking reduction 1 space/6 bikes	- 3 spaces
total peak use parking demand for project	36 spaces

on-site parking provided = 7 parallel spaces on Hobday Way  
 3 garage spaces attached to units 3,5, & 13  
 maximum parking demand, on-street = 26 spaces  
 minimum parking typically available on street = 109 spaces

handicapped accessible space not required for single family residences  
 commercial spaces plus R-3 spaces = 10 + 6 = 16 spaces  
 per IBC 1106.1 - one accessible parking space required.  
 one handicap accessible parking space provided on 18th in front of commercial use.

access / parking aisle width of private street:  
 private street (hobday way), parking layout,  
 sidewalk, and curb design per the approved  
 TSMR case number DS19-04, included in  
 appendix to this submittal

**general note**

- a. on street parking can be found in the surrounding one block area. refer to sheets PA-1 through PA-6 and daily parking data analysis page 24.

**keyed note**

- typical existing on-street parallel parking space, 23'x8'. spaces at end with pull out-in access are 18'x8'.
- new handicapped accessible parallel parking with striped accessible sidewalk ramp.
- new parallel parking space along private street (23'x8').
- curb cut for private street with gutter, curb, and sloping access per CoT standards.
- planted space between curb and fence.
- roll up curb and gutter with sidewalk on south side of private street. see approved TSMR DS19-04
- short term bicycle parking in R.O.W.
- long term bicycle parking for apartments.

7th avenue

four parallel parking spaces

4

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

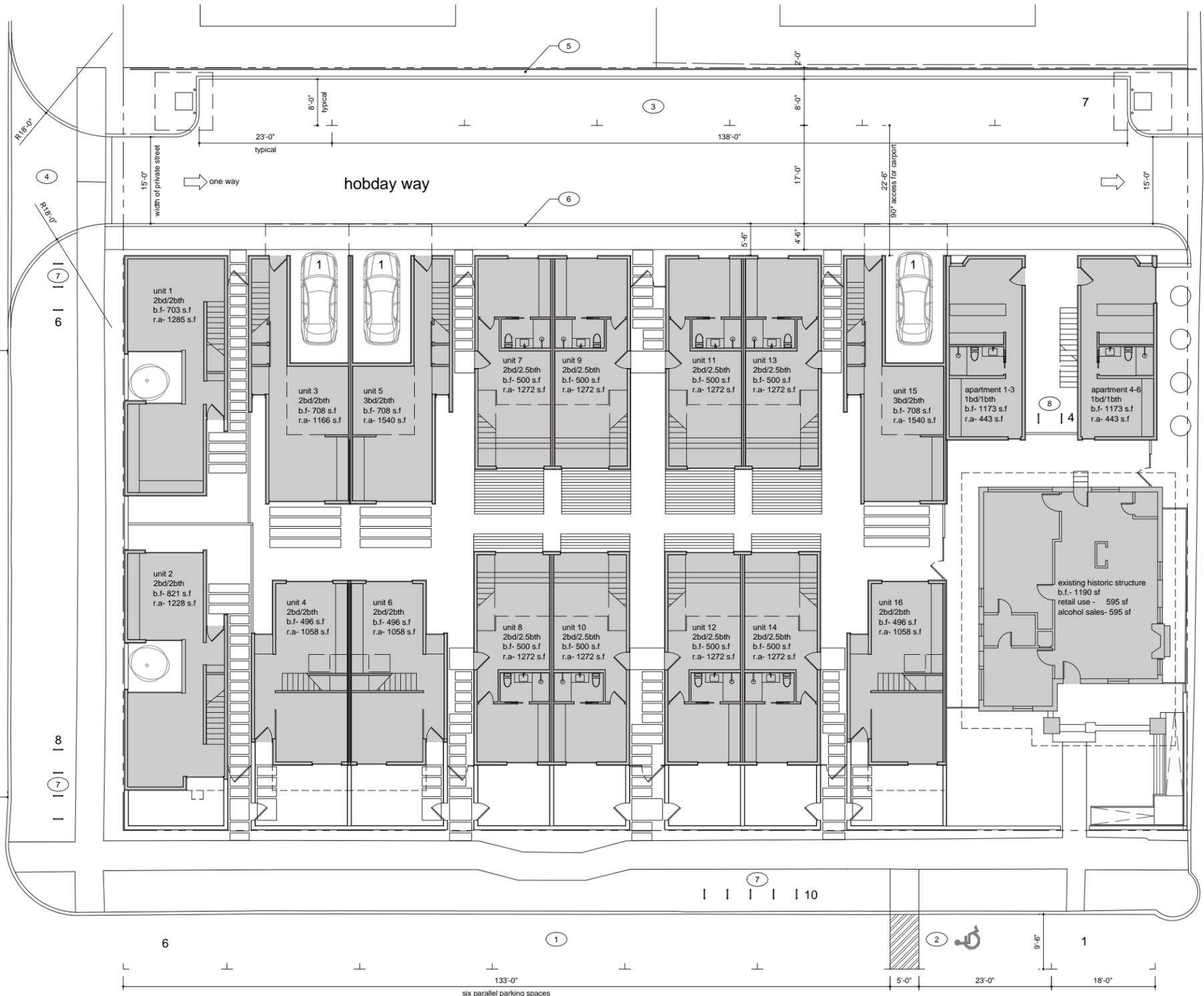
8'-0"

8'-0"

8'-0"

8'-0"

8'-0"



18th street

NO.	DATE	REVISION DESCRIPTION	BY
			OWNER/DEVELOPER
			EQUILIBRIUM 28 W 18TH ST LLC
			C/O EQUILIBRIUM REALTY LLC
			220 EAST 6TH STREET
			TUCSON, ARIZONA 85705
			ATTN: Vanessa Lane
			PH: (520) 861-9712
			E: vanessa@equilibriuminvest.com
			SITE ADDRESS
			18 WEST 18TH STREET
			TUCSON, ARIZONA 85701



**hazebaker rush**  
 342 e mabel street  
 tucson, arizona 85705  
 web: www.ha-ru.co

LOTS 10 AND 11 IN BLOCK 121 OF THE CITY OF TUCSON, BOOK 3 OF MAPS AND PLATS AT PAGE 70, PIMA COUNTY, ARIZONA

INDIVIDUAL PARKING PLAN for  
 18 WEST 18TH STREET

**SP-1**

DP-18-0283  
 REF: IID-191501

