

**D E S A**  
architecture

# Infill Incentive District Application Package The Baffert at 5 Points



December 2019

**Owner**  
KBL 747 LLC  
Tucson, AZ

**Architect**  
David E. Shambach, Architect, Inc.  
Tucson, AZ



Southwest Perspective



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## SPECIAL DISTRICTS APPLICATION FORM

**Special Districts Review Process Overview:** A project may be subject to various reviews and criteria depending on the scope of work, location and relevant sections of the Unified Development Code (UDC). Please note that your projects may not be subject to review by all review authorities used in the table below. The Special Districts review processes at Planning and Development Services Department (PDSD) include:

Review Process	Review Authorities	PDSD Planning Contact
<b>Rio Nuevo Area</b> <a href="#">[UDC Section 5.12.7]</a>	1. Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS) 2. Design Review Board (DRB)	María Gayosso – (520) 837-6972 Michael Taku – (520) 837-4963
<b>Historic Preservation Zone (HPZ)</b> <a href="#">[UDC Section 5.8]</a>	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS)	Michael Taku – (520) 837-4963 Jodie Brown – (520) 837-6968
<b>Infill Incentive District (IID)</b> <a href="#">[UDC Section 5.12]</a>	1. Design Professional 2. Neighborhood Historic Advisory Board 3. Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS) 4. Design Review Committee (IID-DRC)	María Gayosso – (520) 837-6972 Nick Ross – (520) 837-4029 Koren Manning – (520) 837-4028
<b>Main Gate District (MGD) Design</b> <a href="#">[MGD Ordinance]</a>	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission Plans Review Subcommittee (PRS) 3. Main Gate District Design Review Committee (MGD-DRC)	María Gayosso – (520) 837-6972 Koren Manning – (520) 837-4028
<b>Neighborhood Preservation Zone (NPZ)</b> <a href="#">[UDC Section 5.10]</a>	1. Design Professional	Nick Ross – (520) 837-4029 María Gayosso – (520) 837-6972
<b>Grant Road Investment District (GRID) Urban Overlay</b> <a href="#">[GRID Ordinance]</a>	1. Design Review Board	María Gayosso – (520) 837-6972 Nick Ross – (520) 837-4029
<b>Individual Parking Plan (IPP)</b> <a href="#">[UDC Section 7.4.5.A]</a>	1. Planning and Development Services, Tucson Department of Transportation, and other agencies as needed	Mark Castro – (520) 837-4979

### INSTRUCTIONS:

1. Complete Application form and compile submittal requirements
2. Submit pdf of all materials to [specialdistricts@tucsonaz.gov](mailto:specialdistricts@tucsonaz.gov)
3. Staff will schedule your pre-application meeting (if needed, typically required for major reviews)
4. At the pre-application meeting, staff will advise applicants on any additional UDC requirements to complete the application package to initiate the review process



# IID Application Form

12.24.2019

Special Districts Application Form



## SPECIAL DISTRICTS APPLICATION

Application Stage:  Pre-application  Application  
 Permit Activity Number \_\_\_\_\_ Case Number \_\_\_\_\_ Date Accepted: \_\_\_\_\_

### PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): The Baffert at 5 Points  
 Property Address: 747 S. 6th Avenue, Tucson, AZ 85701  
 Pima County Tax Parcel Number/s: 117-07-226A & 117-07-225A  
 Current Zoning: C-3  
 Applicable Overlay/ Special Districts:  
 Infill Incentive District  Rio Nuevo Area  
 Main Gate Overlay District  Grant Road Overlay District  
 Neighborhood Preservation Zone  Historic Preservation Zone

Neighborhood Association (if any): Armory Park Neighborhood  
 PROJECT TYPE (check all that apply):  
 New building on vacant land  Change of use to existing building  
 New building on developed land  Other \_\_\_\_\_  
 New addition to existing building

Description of Proposed Use: Mixed use development with housing and retail  
 Number of Buildings and Stories/Height of Proposed Structure(s): 1 Building - 3 Stories  
 Site Area (sq ft): (+/-)243936SF Area of Proposed Building (sq ft): (+/-)30075SF

### HISTORIC STATUS

Site is within a:  
 Historic Preservation Zone Please List: \_\_\_\_\_  
 National Register District Please List: Armory Park Historic Residential District  
 Site is/includes:  
 A contributing structure  Non-contributing structure  
 Is adjacent to a contributing structure  Vacant

### APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Dave Shambach  
 ROLE:  Property owner  Architect  Engineer  Attorney  Developer  
 Other: \_\_\_\_\_  
 EMAIL: architect@shambach.com PHONE: 5205053910  
 ADDRESS: 261 N Court Ave. Tucson, AZ 89701  
 PROPERTY OWNER NAME(S) (If ownership in escrow, please note): KBL 747 LLC  
 PHONE: 520-631-5907

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT\*  12/18/2019

\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date



## SPECIAL DISTRICTS APPLICATION CHECKLIST REQUIREMENTS

**PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

✗	1. <b>Application form</b> (signed by the Property Owner or Authorized Agent, include <b>letter of authorization</b> signed by property owner if needed).
✗	2. <b>Project statement</b> outlining project scope which describes how the project meets applicable design guidelines and outlines any requested modifications/exemptions
✗	3. Pima County assessor's record parcel detail and record map
✗	4. <b>Zoning review comments</b> issued by PDSD staff on development package or other submittal*
✗	5. <b>Documentation of neighborhood meeting</b> to include invitation, affidavit of mailing, sign-in sheet, agenda/materials and meeting notes (if applicable)*
✗	6. Color <b>aerial photograph</b> of subject property
✗	7. Color, labeled <b>photographs of project site existing conditions</b> (north, south, east and west elevations of all structures on the property)
✗	8. Color, labeled <b>photographs of the surrounding area</b>
✗	9. Color <b>photographs of precedent examples</b> in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable)
✗	10. <b>Site plan</b> (landscape plan and floor plans if applicable) drawn to scale at 11"x17", prepared in accordance to Section 2-06.0.0, in the Administrative Manual
✗	11. <b>Elevations</b> (and contextual elevations if applicable) drawn to scale at 11"x17", with dimensions and proposed materials noted (if applicable) prepared in accordance to Section 2-06.0.0.
✗	12. <b>Shade study</b> (for projects within the Rio Nuevo Area)
✗	13. <b>Renderings</b> depicting various views from the street level and birds eye view (recommended for major projects)
✗	14. <b>Samples of proposed materials</b> , if applicable, to include cut sheets and/or photographs of the type, color and texture of the proposed materials.
✗	15. <b>Applicable fees</b> (confirm with PDSD staff)*
	IF HISTORIC REVIEW REQUIRED
✗	16. Aerial photograph depicting the property's <b>Development Zone</b> . All building footprints within the development zone must be shown and labeled to indicate contributing/non-contributing status.
	17. Arizona Historic Property Inventory form (if available)
	IF REQUESTING INDIVIDUAL PARKING PLAN
✗	18. Parking narrative addressing items listed in UDC 7.4.5.A.4, sealed by a design professional licensed by the State of Arizona.

\*Required for final application only

Refer to Supplemental Information for additional instructions for these items. Additional application materials may be required based on scope of project.

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**Submitting your Application:** Once you have completed the Application Form and compiled the Submittal Requirements, submit a pdf of all materials to [specialdistricts@tucsonaz.gov](mailto:specialdistricts@tucsonaz.gov). For the final application, two hard copies of the application are also required. Please note, additional hard copies may be required by review bodies.

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## Letter of Authorization

12.24.2019

May 6, 2019

Larry Kappler, Managing Partner, KBL 747, LLC  
PO BOX 64669  
Tucson, AZ 85728

To Whom it May Concern,

As the managing partner for the above listed partnership I hereby give David E. Shambach, Architect, Inc. , David Shambach, his representative employees and his selected consultants permission to act on KBL 747 LLC's behalf in regards to any and all planning, zoning, historic or permit review issues associated with City of Tucson or miscellaneous Pima County related processes, reviews and permit submittals for the project known as the Baffert at 5 Points which is associated with parcels number 117-07-226A as well as parcel number 117-07-225A.

Any additional question concerning may directed to me at 520-631-5907 or the above address.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Larry Kappler', with a long horizontal flourish extending to the right.

Larry Kappler, KBL 747 LLC, President



## Neighborhood Meeting Summary

12.24.2019

IID/IPP-Required Neighborhood Meeting Minutes and summary:

In anticipation of the meeting DESA displayed 24X36 drawings and exhibits including the site plan, examples of building materials, as well as a rendered perspective.

The meeting was scheduled and started on November 20th at approximately 5:30PM.

David Shambach started the meeting by introducing the development team, KBL, and the architectural team, DESA. Dave requested the meeting participants sign in on the provided sign in sheets and noted that comment cards were available. Dave then introduced Chris Sauer, a member of the KBL team, as the teams listing real estate agent. Chris explained his overall experience and development strategy as well as the type of commercial tenants the group is currently seeking. Chris also briefly discussed the chain of ownership of the party and a history of the area, as well as the developer's vision for usable street-scapes, parking challenges, and overall property use issues.

Dave then presented the design and discussed the site layout, building concept, and organization, as well as design concepts. Building materials were discussed, as well as the importance of creating a pedestrian friendly experience that includes space for landscape materials, seating areas, and connection to the crosswalks at the corners of Stone, 6th Avenue and 18th St. Dave then proceeded to outline the parking requirements and specifically noted that the development plan parking calculations include an outdoor dining area; a significant amount of the ground floor commercial rental area is being planned as a restaurant of a type that would include night-time dining. Dave explained the difference between code required on-site parking, off-site parking, as well as parking lease agreements between commercial property owners and KBL. Special note was made of the rezoning effort, HC-3 to C-3, for this property, as well as the conditions required by the COT for zoning approval. The IID process was briefly discussed. Dave indicated that an IPP would be needed for this development and that the IID process generally allows for a 25% reduction in required on-site parking. Dave then identified that the proposed development includes 17 on-site parking spaces, with 14 of those spaces underground and dedicated to the 14 apartment units. Dave indicated that, per code, required on-site parking would be approximately 69-71 spaces and the developer will be seeking relief for approximately 35 spaces after code allowed deductions. Discussion included information that the developer will be adding 9-10, 90 degree on-street parking at his cost as part of the development. Dave opened the meeting for questions and the following issues seemed to be at the fore-front:

1. Parking counts and current code requirements
2. Effects of the development on parking particularly in the street adjacent to existing residential uses
3. Traffic patterns on Arizona Avenue
4. Noise and the possibility of music outside
5. Description of both the IID and IPP processes
6. Business hours of operation
7. Approved uses associated with the ground floor

Overall, the project was seen by several people as a positive addition to the neighborhood in use, scale, and design with potential parking issues being the biggest concern.

The meeting was adjourned at approximately 6:30PM by David Shambach

Minutes By:

David Shambach, Architect



# IID Application Package | The Baffert at 5 Points Neighborhood Meeting Invitation

12.24.2019



October 23rd, 2019

## Invitation To A Neighborhood Meeting

Re: Parcel 117-07-225A and 117-07-226A: 747 S 6<sup>th</sup> Ave.: Activity #: T19SA00166 IID #: 19-08

**Date:** Wednesday, November 20<sup>th</sup>, 2019  
**Time:** 5:30pm  
**Meeting Location:** Armory Park Center- Multi-Purpose Room  
**Purpose:** Infill Incentive District - Zoning Option- Individual Parking Plan Option- Neighborhood Meeting- Project Presentation  
**Project:** The Baffert at 5 Points-Mixed Use Project  
**Project Location:** 747 S. 6<sup>th</sup> Ave. Tucson, Arizona 85701

The property owners Larry, Becky and Karl Kappler along with their architect, David E. Shambach, Architect, invite you to join us as we present the vision and design for the Baffert at 5 Points mixed used commercial/ residential project.

This neighborhood meeting and presentation is being conducted as part of the Greater Infill Incentive District and the Parking Plan Option application processes. It is the intent of the property owners to submit this development to the City of Tucson, utilizing the IID review process to secure zoning, design and historical review approval. In addition, we will be seeking relief from providing full code required on-site parking by submitting an Individual Parking Plan as part of the site development package approval process. The owners will seek approval to reduce the off-street parking requirement from approximately 67 spaces to 17 spaces (+or-). It is the intent of the owners to augment on-street parking options by adding on-street parking on 18<sup>th</sup> Street as well as utilize parking lease agreements with adjacent property owners.

The Baffert at 5 Points, located at 747 S. 6<sup>th</sup> Avenue, is a new, mixed-use, 3 story, 30,000 SF(+/-) building that will become a unique destination for residents, retailers and surrounding neighborhoods.

The project includes underground apartment parking, market rate apartments along with retail and restaurant space at the ground floor. The housing use, located on the second and third floors, is comprised of 14 one- or two-bedroom residential units. A roof top garden is also being considered and would be for use by apartment dwellers only.

The project continues to support the trend of adding market rate housing to the area while including commercial suites to the street environment along 6<sup>th</sup> Avenue. New residents, local neighbors and destination visitors will serve as customers to The Baffert retail suites as well as existing surrounding businesses. This project will be constructed on currently empty and un-used parcels and will include improvements to public sidewalks, street landscaping and on street parking. Additionally, the project will adhere to conditions of a rezoning process that was approved by COT mayor and council on June 19, 2018.

The building design includes traditional brick elements and strives to convey a restrained and modern aesthetic by acting as a bridge that transitions between historic textures and contemporary materials. In

- David E. Shambach Architect, Inc. • 261 N. Court Ave • Tucson, Arizona 85701 •
- phone: 520-505-3910 • www.shambach.com •

addition, the design includes a concerted effort to create a comfortable and pedestrian friendly urban streetscape that includes shade, landscaping and architectural interest along this historically significant intersection.

**Meeting Agenda**

- I Introductions
- II Project Presentation
- III Discussion/ Points
  - Project Overview
  - Site plan
  - Parking
  - Individual Parking Plan Process
  - IID designation
  - Design Concepts
- IV Questions and Answers
- V Distribution of Comment Cards
- VI Adjournment

**Project Map**



For questions regarding this announcement or the neighborhood meeting contact Dave Shambach at David E. Shambach Architect, Inc (520) 505-3910 Ex 1 or [architect@shambach.com](mailto:architect@shambach.com)

Letters of consent or dissent may be presented to:

City of Tucson,  
Planning and Development Services (PDSD)  
201 North Stone  
Tucson, Arizona 85701

Att: Maria Gayosso



## The Baffert at 5 Points

The Baffert at 5 Points, located at 747 S. 6th Avenue, is a new, mixed-use, 3 story, ±30,000SF building that will become a unique destination for residents, retailers and surrounding neighborhoods. The project includes underground apartment parking, market rate apartments along with retail and restaurant space at the ground floor. The housing use is located on the second and third floors and are comprised of 14 one- or two-bedroom residential units.



### Meeting Agenda

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- VI Adjournment

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## **Comment Card**

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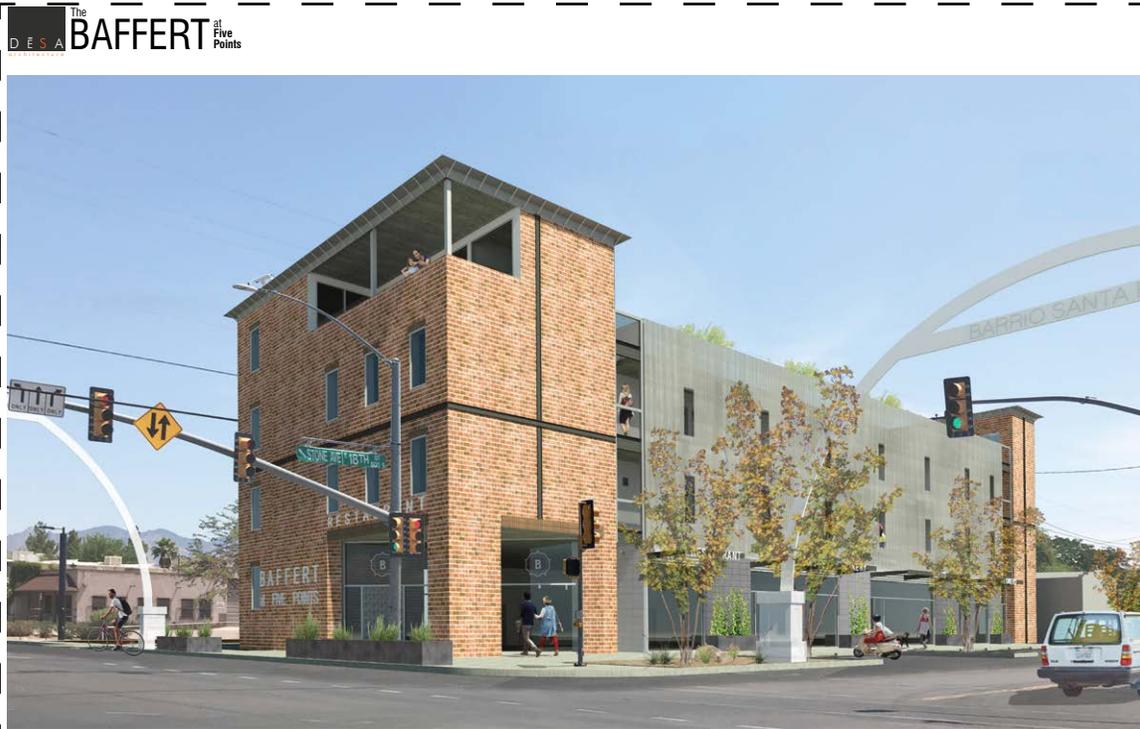
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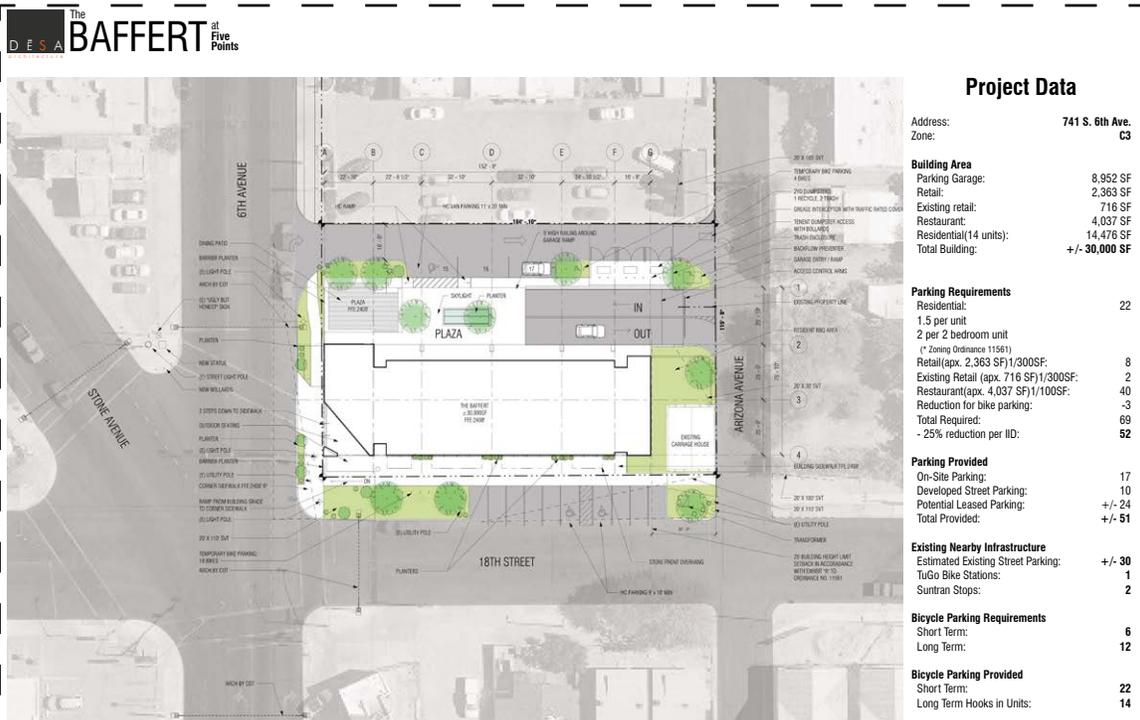
• David E. Shambach Architect, Inc. • 261 North Court Avenue • Tucson, Arizona 85701 • p. 520-505-3910 •

**24" x 36" Presentation Boards provided on the next two pages.**



**Southwest Perspective**

David E. Shambach, Architect, Inc. • 261 N. Court Avenue, Tucson, AZ 85701 • architect@shambach.com • 520.505.3910



**Site Plan**  
1/16" = 1' - 0"

David E. Shambach, Architect, Inc. • 261 N. Court Avenue, Tucson, AZ 85701 • architect@shambach.com • 520.505.3910

**The BAFFERT at Five Points**



Loft Apartment | Living & Kitchen



Loft Apartment | Balcony



Single Bedroom Apartment | Living



Single Bedroom Apartment | Kitchen

**Interior Perspectives**

David E. Shambach, Architect, Inc. • 261 N. Court Avenue, Tucson, AZ 85701 • architect@shambach.com • 520.505.3910

**The BAFFERT at Five Points**



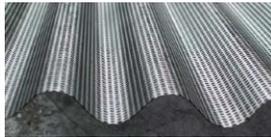
CAST IN PLACE CONCRETE AND GLASS



RAISED DECK PANELS



MULTI-COLORED BRICK



PERFORATED CORRUGATED PANEL



DECK INSERTED BINS



MOVEABLE PLANTERS




**Materials** **Rooftop Garden**

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# Neighborhood Meeting Sign-in

12.24.2019



## The Baffert at 5 Points

Wednesday November 20, 2019 at 5:30 PM

Armory Park Senior Center

220 S. 5<sup>th</sup> Avenue

### Sign In

Name:

Email

Jack + Jennie McLaino	
MATTHEW NOLI	MATTHEW.NOLI@TUCSONAZ.GOV
John Burr	jodabu@hotmail.com
Keith Bagwell	
Nathan RFA + Drann Rix	drix@email.arizona.edu
Tom + Darney Hulabaum	
John Hawk	Johnwhawk@comcast.net
Albert Elias	aelias11@gmail.com
JOANE HAYWOOD	JOANE.HAYWOOD@gmail.com
MARK CRUM	MARK.CRUM115@GMAIL.COM
Anthony	lkaplan@construction.net
Rebecca Kappeler	
Chris Sauer	
Paula Wilk	paulaw.2@outlook.com
Brian McClann	
MARTHA McLEMENTS	mmclements@earthlink.net
CHRIS GANS	(GANS 2329)MSN.COM
Diana Amado	diana.amado@tucsonaz.gov
Dave Shambach	architect@shambach.com
Zach Peters	zpeters@shambach.com



# Labels and Map Request

12.24.2019



## PLANNING & DEVELOPMENT SERVICES DEPARTMENT LABELS AND MAP REQUEST

Case Number: \_\_\_\_\_

Case Name: \_\_\_\_\_

Property Address: 747 S. 6th Ave. Tucson AZ 85701

Parcel Number: 117-07-226A & 117-07-225A

Nearest two cross streets of the property:  
6th Avenue  
18th st.

Applicant's Name: Zach Peters & Dave Shambach

Applicant's Phone: 520.505.3910

Applicant's Email: zpeters@shambach.com

Applicant's Signature: \_\_\_\_\_

### APPLICANT TO ATTACH THE FOLLOWING WITH THIS REQUEST:

- Check for \$220.00 addressed to the City of Tucson
- Assessor's Property or Properties Inquiry Printout
- Assessor's Block & Lot Map

### REQUESTED LABELS ARE FOR THE FOLLOWING PROCESS:

- |   |   |   |  |
|---|---|---|--|
| <input type="checkbox"/> B/A                  | <input type="checkbox"/> FLD                  | <input checked="" type="checkbox"/> IPP       | <input type="checkbox"/> Plan Amendment    |
| <input type="checkbox"/> DDO                  | <input checked="" type="checkbox"/> IID Major | <input type="checkbox"/> NPZ                  | <input type="checkbox"/> Rezoning          |
| <input type="checkbox"/> Differential Grading | <input type="checkbox"/> IID Minor            | <input type="checkbox"/> Original City Zoning | <input type="checkbox"/> Special Exception |

### FOR STAFF USE

#### LABELS NEED TO INCLUDE THE FOLLOWING:

- |  |  |
|--|--|
| <input type="checkbox"/> Aerial Map  | <input type="checkbox"/> Property Owners adjacent to fill site             |
| <input type="checkbox"/> Location Map                                      | <input type="checkbox"/> Council Office for the site                       |
| <input type="checkbox"/> Newspaper Map                                     | <input type="checkbox"/> Mayor's Office                                    |
| <input type="checkbox"/> Sign Map  | <input type="checkbox"/> Rezoning Map                                      |
| <input type="checkbox"/> Neighborhood Association Map                      | <input type="checkbox"/> Original City Zoning Map                          |
| <input type="checkbox"/> 300' Radius Mailing Labels (Property Owners)      | <input type="checkbox"/> Special Exception Map                             |
| <input type="checkbox"/> 50' Radius Mailing Labels (Property Owners)       | <input type="checkbox"/> Ordinance Map                                     |
| <input type="checkbox"/> Neighborhood Associations within 1 Mile           | <input type="checkbox"/> Approval/Protest Map                              |
| <input type="checkbox"/> Neighborhood Association Where Project is Located | <input type="checkbox"/> Case Maps   |
|  | <input type="checkbox"/> PDF & Photocopies of labels and notification maps |

Date received: \_\_\_\_\_ Date labels are due: \_\_\_\_\_

ACTIVITY #: \_\_\_\_\_

Labels and map(s) to be returned and PDF e-mailed to: \_\_\_\_\_

#### AZ Jet Mail (if applicable)

- Excel spreadsheet for 300'
- Excel spreadsheet for neighborhood Labels

**Mailing Labels**

12.24.2019



45160™

Go to [avery.com/templates](http://avery.com/templates)  
Use Avery Template 5160

Jonathan Rothschild  
Mayor  
255 W. Alameda ST  
Tucson, AZ 85701

Tod E. Santee  
N.A.-Armory Park  
619 S 3rd Ave  
Tucson, AZ 85701

Anne Cooper  
N.A.-Armory Park  
P.O. Box 2132  
Tucson, AZ 85712

John D. Burr  
N.A.-Armory Park  
P.O. Box 2132  
Tucson, AZ 85702

Shirley Roman (Chair)  
N.A.-Barrio Kroeger Lane  
906 W 21st St.  
Tucson, AZ 85745

Josefina Cardenas  
N.A.-Barrio Kroeger Lane  
902 W 21st St  
Tucson, AZ 85745

Matthew "Grady" Bautista  
N.A.-Barrio San Antonio  
530 S Star Ave  
Tucson, AZ 85719

Jacqueline Turchick  
N.A.-Barrio San Antonio  
402 S Star Ave  
Tucson, AZ 85719

Paul Horwath  
N.A.-Barrio San Antonio  
625 S Santa Rita Ave  
Tucson, AZ 85719

Clarissa Canez (VP Chair)  
N.A.-Barrio Santa Cruz  
1520 S Santa Cruz  
Tucson, AZ 85713

Columba Huarague  
N.A.-Barrio Santa Cruz  
911 W 25th St  
Tucson, AZ 85713

Jason Huarague (Chair)  
N.A.-Barrio Santa Cruz  
911 W 25th St  
Tucson, AZ 85713

Nicole Gonzales  
N.A.-Barrio Santa Rosa  
323 W. 19th Street  
Tucson, AZ 85701

Art Munoz  
N.A.-Barrio Santa Rosa  
Tucson, AZ

Yolanda Gonzales  
N.A.-Barrio Santa Rosa  
826 S. Rubio  
Tucson, AZ 85701

Pedro M Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Letitia A Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Bill Krauss  
N.A.-Downtown Neighborhood  
P.O. Box 733  
Tucson, AZ 85702

Eva-Marie Hube  
N.A.-Downtown Neighborhood  
1042 N Perry Ave  
Tucson, AZ 85705

Bob Freitas (Co-Pres)  
N.A.-El Presidio  
Tucson, AZ

Mary Jo Curtin  
N.A.-El Presidio  
233 N Main Ave  
Tucson, AZ 85701

Peggy Wilder (Co-Pres)  
N.A.-El Presidio  
Tucson, AZ

Maria Cadaxa  
N.A.-Iron Horse  
216 N 1st Ave  
Tucson, AZ 85705

Jennie Mullins (Chair)  
N.A.-Iron Horse  
522 E 8th St  
Tucson, AZ 85705

Erika Mitnik (Co-Chair)  
N.A.-Iron Horse  
121 N Euclid  
Tucson, AZ 85719

Raul E Ramirez (1st VP)  
N.A.-Menlo Park  
1931 W Brichta Dr  
Tucson, AZ 85745

Liza M. Grant  
N.A.-Menlo Park  
1016 W Congress St  
Tucson, AZ 85745

Zach Yentzer  
N.A.-Menlo Park  
214 S Grande Ave  
Tucson, AZ 85745

Peter Norback  
N.A.-Miles  
1428 E Miles  
Tucson, AZ 85719

Andrew Hayes  
N.A.-Miles  
Tucson, AZ



# Mailing Labels

12.24.2019

**AVERY**

45160™

Go to [avery.com/templates](http://avery.com/templates)  
Use Avery Template 5160

George Kalil  
N.A.-Millville  
931 S Highland  
Tucson, AZ 85719

Roger Becksted  
N.A.-Millville  
1070 E 20th St  
Tucson, AZ 85719

Nancy Robins  
N.A.-Pie Allen  
801 E 7th St  
Tucson, AZ 85719

Pat Homan  
N.A.-Pie Allen  
850 E. 7th St  
Tucson, AZ 85719

Colby Henley  
N.A.-Rincon Heights  
1140 E 10th St  
Tucson, AZ 85719

Amanda Smith  
N.A.-Rincon Heights  
1625 E 8th St  
Tucson, AZ 85719

Angela M. Quiroz  
N.A.-Santa Rita Park-West Ochoa  
448 E 22nd St  
Tucson, AZ 85713

Yolanda Quiroz  
N.A.-Santa Rita Park-West Ochoa  
440 E 22nd St  
Tucson, AZ 85713

Ernie Lujan  
N.A.-Santa Rita Park-West Ochoa  
1445 S 4th Ave  
Tucson, AZ 85713

Sara L. O'Neil (1st Co-Chair)  
N.A.-South Park  
P.O. Box 26302  
Tucson, AZ 85726

Earl O'Neil  
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TUCSON, AZ, 85701-2600

117080770  
DESERT DOORS HOLDINGS LLC  
111 S LANGLEY AVE  
TUCSON, AZ, 85710-1036

117081010  
SOCIETY OF ST VINCENT DE PAUL - TUCSON DIOCESAN COUNCIL  
820 S 6TH AVE  
TUCSON, AZ, 85701-2624

11707208A  
CUMMINGS FIVE POINTS LLC  
6017 E WENDREW LN  
TUCSON, AZ, 85711-2516

117080780  
HAWK 2011 REVOC TR ATTN: JOHN W HAWK TR  
3550 N OLIVE RD  
TUCSON, AZ, 85719-1830

117072040  
CITY OF TUCSON

11707210A  
DELAHANTY LYDIA M M3 & MORENO EUGENE C M3 & MORENO GEOLIA M M3  
915 E LEE ST  
TUCSON, AZ, 85719-3933

117080950  
HABITATION INVESTMENTS LLC  
1975 E KLEINDALE RD  
TUCSON, AZ, 85719-2336

11707207A  
EQUILIBRIUM 28 W 18TH ST LLC ATTN: SOFONIAS ASTATKE  
220 E 6TH ST  
TUCSON, AZ, 85705-8424

117080580  
MAYOU BETTY C & MICHAEL R JT/RS  
813 S 5TH AVE  
TUCSON, AZ, 85701-2705

117084340  
RCV PROPERTIES LLC  
PO BOX 13272  
TUCSON, AZ, 85732-3272

11707226A  
KBL 747 LLC  
PO BOX 64669  
TUCSON, AZ, 85728-4669

117080650  
MAVKO JONATHAN  
815 S 5TH AVE  
TUCSON, AZ, 85701-2705

117084350  
RCV PROPERTIES LLC  
PO BOX 13272  
TUCSON, AZ, 85732-3272

117072270  
BAGWELL ALAN KEITH & TROWBRIDGE CAROLYN ROYCE JT/RS  
744 S 5TH AVE  
TUCSON, AZ, 85701-2704

117080890  
WILKE MICHAEL & CHRISTINE JT/RS  
844 S 5TH AVE  
TUCSON, AZ, 85701-2706

117071970  
BOSSERT JADE LTD PROFIT SHARING PLAN AND TR AGREEMENT  
3151 W CAMINO ALTO  
TUCSON, AZ, 85742-8784

117072960  
LUCRO MARIE ANTONIETTE M3 & MONTANO MANUEL F & JESSIE M JT/RS 23  
2707 E 22ND ST  
TUCSON, AZ, 85713-2007

11708096B  
BENITEZ NORMA  
33 W 18TH ST  
TUCSON, AZ, 85701-2636

117072130  
GIBBS DAVID N & RIX DIANA CP/RS  
105 E 17TH ST  
TUCSON, AZ, 85701-2725

117080930  
COY MYRIAM  
804 S 6TH AVE  
TUCSON, AZ, 85701-2625

11707205A  
EPPERSON THOMAS W JR & DOROTHY ANN CP/RS  
8666 N PASEO NORTENO  
TUCSON, AZ, 85704-4757

117072150  
HAYWOOD D SLOANE LIVING TR  
707 S 6TH AVE  
TUCSON, AZ, 85701-2601

117080940  
SOCIETY OF ST VINCENT DE PAUL - TUCSON DIOCESAN COUNCIL  
820 S 6TH AVE  
TUCSON, AZ, 85701-2624

11707206A  
EQUILIBRIUM 28 W 18TH ST LLC ATTN: EQUILIBRIUM REALTY LLC  
220 E 6TH ST  
TUCSON, AZ, 85705-8424

117080840  
MORENO DINO S & MORENO DAVID & MORENO GILBERT ALL JT/RS  
2711 S CASTLE DR  
TUCSON, AZ, 85713-4571

117084360  
RCV PROPERTIES LLC  
PO BOX 13272  
TUCSON, AZ, 85732-3272

117072930  
PROANO CARLOTTA RASON  
723 S 5TH AVE  
TUCSON, AZ, 85701-2703

117080860  
SOCIETY OF ST VINCENT DE PAUL - TUCSON DIOCESAN COUNCIL  
820 S 6TH AVE  
TUCSON, AZ, 85701-2624

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PRIMAVERA FOUNDATION INC  
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WALKER JESSICA J & TAYLOR DANIEL  
3427 N WILSON AVE  
TUCSON, AZ, 85719-2457

117080570  
ELLIS MARY CARLISLE  
803 S 5TH AVE  
TUCSON, AZ, 85701-0000

117072240  
JACKSON ABBEY L  
738 S 5TH AVE  
TUCSON, AZ, 85701-2775

117081000  
SOCIETY OF ST VINCENT DE PAUL - TUCSON DIOCESAN COUNCIL  
820 S 6TH AVE  
TUCSON, AZ, 85701-2624

117080810  
BOHAC FRANK & MANLY-BOHAC GERTRUDE REVOC TR  
812 S 5TH AVE  
TUCSON, AZ, 85701-2706

117080800  
SUAREZ FAMILY LP ATTN: ROBERT SUAREZ  
3800 E CALLE DE SOTO  
TUCSON, AZ, 85716-5126

11708102A  
REISER SHANE M  
828 S RUSSELL AVE  
TUCSON, AZ, 85701-2634

11708088A  
TUCKER KENNETH R  
828 S 5TH AVE  
TUCSON, AZ, 85701-2706

117080820  
DEE ANTHONY  
822 S 5TH AVE  
TUCSON, AZ, 85701-2706

117071920  
PRIMAVERA FOUNDATION INC  
702 S 6TH AVE  
TUCSON, AZ, 85701-2600

117071940  
R + R DEVELOP LLC  
1001 E 17TH ST #125  
TUCSON, AZ, 85719-6771

117072000  
HILLMAN ROBERT REVOCABLE LIVING TR ATTN: ESTEY MARIE HILLMAN & LINDA A HOGBOO TR  
544 S 6TH AVE  
TUCSON, AZ, 85701-2314

11707196B  
PRIMAVERA FOUNDATION INC  
702 S 6TH AVE  
TUCSON, AZ, 85701-0000

117072010  
730 SOUTH STONE LLC  
240 S CLAUSEN CIR  
TUCSON, AZ, 85745-2828

11707212C  
ROBERTS W CHWIEVETZKI REVOC LIVING TR ATTN: MAUR CE ROBERTS TR  
10866 E LIMBERLOST RD  
TUCSON, AZ, 85749-9459

11707203A  
EPPERSON THOMAS W JR & DOROTHY ANN CPIRS  
8666 N PASEO NORTENO  
TUCSON, AZ, 85704-4757

11707211C  
MAXIMO SIMON H & SYLVIA B JT/RS  
2844 W CALLE ARANDAS  
TUCSON, AZ, 85745-2533

117072140  
CAMACHO ISAAH & JACKSON CAROLINE NICOLE CPIRS  
705 S 6TH AVE  
TUCSON, AZ, 85701-2601

117072090  
RUDMAN PARTNERSHIP  
4851 LYNDON B JOHNSON FWY STE 210  
DALLAS, TX, 75244-6004

117072220  
340 E YAVAPAI LLC  
PO BOX 64669  
TUCSON, AZ, 85728-4669

117073010  
ELIAS TERRY ANA BENEFICIARY TR  
733 S 5TH AVE  
TUCSON, AZ, 85701-2718

11707216A  
PHILABAUM THOMAS A & DABNEY M JT/RS  
820 S 2ND AVE  
TUCSON, AZ, 85701-3239

117072920  
FRIEL MICHAEL SEAN  
2347 E MABEL ST  
TUCSON, AZ, 85719-4348

117080830  
MILLER JEREMY J  
4143 VIA MARINA APT 915  
MARINA DEL REY, CA, 90292-5308

11707225A  
340 E YAVAPAI LLC  
PO BOX 64669  
TUCSON, AZ, 85728-4669

11707298A  
721 S 5TH AVE LLC  
11000 N BROADSTONE DR  
ORO VALLEY, AZ, 85737-8921

117080850  
SANDOVAL NOE C JR & ARLENE R JT/RS  
809 N ABREGO DR  
GREEN VALLEY, AZ, 85614-3329

117072990  
ELIAS LIVING TR  
1650 MARMORA AVE  
TUCSON, AZ, 85713-1019

117080790  
JUSSEAUME ROGER J FAMILY TR  
6363 S KYRENE RD STE 101  
TEMPE, AZ, 85283-1761



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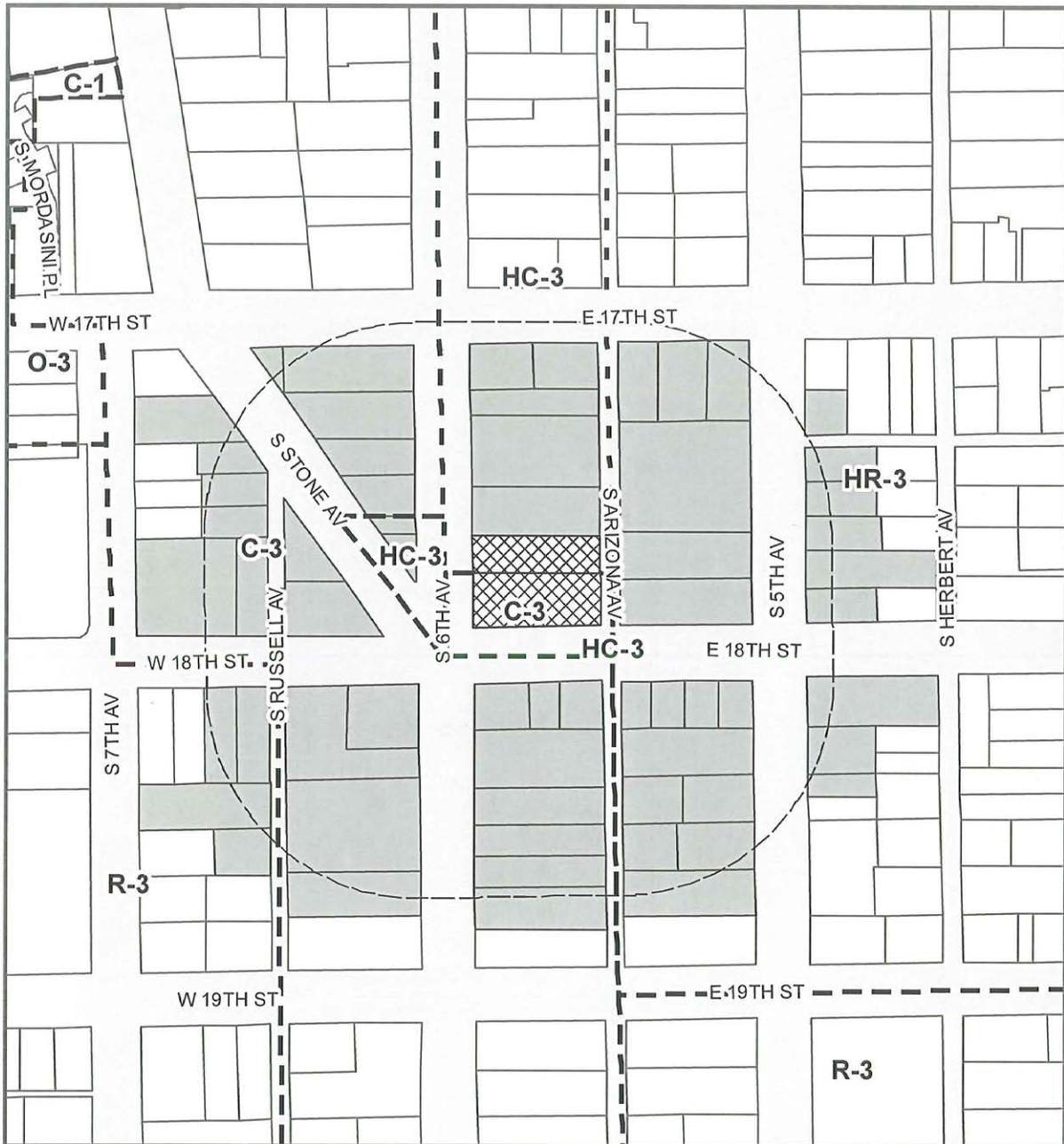
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820 S 6TH AVE  
TUCSON, AZ, 85701-2624

117081040  
THE FLASH TV LLC  
80 E PRIMOROSA  
TUCSON, AZ, 85716-0000

117084330  
RCV PROPERTIES LLC  
PO BOX 13272  
TUCSON, AZ, 85732-3272

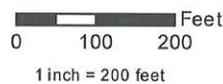
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**IID-19-08 - The Baffert at 5 Points**



-  Subject Property
-  Notification Area (300 ft. radius)
-  Zone Boundaries
-  Properties Notified

Address: 747 S 6th Avenue  
 Base Maps: Twp.14S Range13E Sec. 13  
 Ward: 6



# Mailing Certification

12.24.2019



## CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to \_\_\_\_\_

to be mailed to everyone on the mailing list on 11/5/19  
(date of mailing)

for the neighborhood meeting to be held on 11/20/19  
(date of neighborhood meeting)

*Jack Pote*  
(signature of applicant/applicant's agent)

11/5/19  
(date signed)

Documentation if available (such as receipt)



# Mailing Receipt

12.24.2019

DOWNTOWN TUCSON  
 141 S. 6TH AVE  
 TUCSON, AZ 85701-9998  
 038898-0727  
 (800)275-8777  
 11/05/2019 12:57 PM

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Total:			\$59.40

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 Clerk: 99



## Project Statement

12.24.2019

### **State the applicant's intention to use the IID zoning option in lieu of existing underlying zoning.**

The applicant and property owners are choosing to develop the property using the Infill Incentive District review and approval option in lieu of the underlying (C-3) zoning site development plan option. The property owners' authorization for the architect to act in his behalf are included in this submittal

### **Describe how the project is consistent with the IID purpose to create sustainable infill development.**

This project is ideally suited to meet the goals of the IID by utilizing several empty parcels and combining them into a moderately sized, mixed-use development. This parcel, which is at the gateway to several 5 Point area neighborhoods, would add market rate housing and retail space adjacent to the parcel commonly known as "the point", and contribute to the pedestrian connections associated with other urban commercial areas. The mid-rise scale is consistent with several older commercial and multi-family type housing projects while still being of its own place and time. Selected materiality and detailing, such as areas of brick and parapet cornice, harkens back to the past without attempting to replicate a historic building. In addition, profiled (corrugated) metal panels, glass and window treatments textures, and restrained color palate will create patterns and shadows that will add interest and reduce monotony of the overall design.

### **The ground floor and its relationship with 18th Street and 6th Avenue will allow for pedestrian movement,**

protection, and activity. Sidewalk width, shade elements, and landscaping will all contribute to a useable, walkable, and connected urban street scape. Planter placement, hardscapes, and the general layout of the southwest corner of building were designed to incorporate the crosswalks into a more attractive, safe, and usable part of the pedestrian circulation patterns. The ground floor retail area will create opportunity for commercial services that would be beneficial to the neighbor and extended community alike. The Added 14 units of either 1 or 2-bedroom market rate apartments would add to the area housing options within the 5 Points area.

### **Describe the benefits the project will bring to the adjacent properties and the surrounding area.**

The project will bring many benefits to the area with primary benefits being: improved pedestrian environment and connect ability; additional space for new small and moderately sized businesses; solidifying a unused parcel and corner as a part of the 5 points area while not completely overpowering the scale of existing and historically contributing buildings.

### **Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent properties.**

Due to the layout of the building, anticipated use, the adaption of an underground parking concept, as well as overall building utility organization, services, and access, very little to no impact is anticipated. Commercial signs and lighting will appear on 18th Street and 6th Avenue. All AC compressors and commercial kitchen exhaust vents are restricted to the roof and are surrounded by mechanical screens. Limited utilization of Arizona Avenue for vehicle use will be controlled via signage and turn direction elements. Furthermore, since the parcels used have been re-zoned from HC-3 to C-3, conditions now attached to this project includes restrictions to use, height, noise, and odors. Additionally, the owner will be contributing moneys to an APNA that will be used to construct additional buffer walls if required.

### **Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Design Standards (UDC 5.12.8.A)**

The integrated civil and landscape design includes, appropriate sidewalk widths, ADA access, shade trees, overhanging shade elements, planters, hardscape elements, adjacent on-street parking, bicycle parking areas, as well as a few intimate outdoor use areas to enhance the street-front experience. These elements have been designed and located to adhere to streetscape design standards as identified in UDC 5.12.8.A and beyond. The design is intended to encourage safe and comfortable pedestrian movement, and access to commercial and apartment uses, while creating a visually interesting and



## Project Statement

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urban street scape experience. Special emphasis was taken to direct pedestrians towards cross walks by using planters and plant materials in specific locations. Additionally, micro landscape basins are being used throughout to collect rainwater as part of a passive rainwater collection effort.

### **Describe how the project will support a safe streetscape coordinated with adjoining properties.**

The integrated civil and landscape design includes developer provided improvements along the entire perimeter of the development. The civil engineer has designed new curbing, ADA access ramps, and sidewalks throughout the project. Best practices and adherence with code required Site Visibility Triangles, access width, driveway turn radiuses, and more; all requirements have all been considered. Additionally, the design team has insured that existing desirable COT improvements, including traffic signals, street lighting, and future public art projects have been accommodated in the design.

### **Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC 5.12.8.B).**

The location of the parcel, overall design, site organization, and building layout all contribute to satisfying privacy and mitigation requirements per MTS (UDC 5.12.8.B). As located, the adjacent residential uses are primarily to the east, across Arizona Avenue. The development parcel includes an existing historic “carriage house” that sits on the south east corner of the parcel and will remain as part of the development design. This building will contribute to the transition of scale from the residential uses. Also, the new Baffert building itself is set back 30’ from the eastern property line and the east most part of the building includes the stair/ elevator tower. This tower does not include any views or access to the east, north, or south. The major orientation of this rectangular building is east-west; This directs all window views to be either the north, south, or west. Additionally, all apartment “picture “windows face north. This building orientation and overall window layout ensures that no views look directly to the east. All primary commercial entrances are either on the south or west exposures of the building and all commercial “service entrances” are located on the northern exposure. Since most of the onsite parking is below grade, outdoor lighting will be less intensive and intrusive. Roof access is limited and views to the east and west will be blocked by the stair enclosure on the east and to the west by the penthouse apartment. Transition to the public pedestrian walkways along 18th Street and 6th Avenue will include landscaping, hardscape elements, shade elements, appropriate light spread control in the form of shielded or cut off fixtures, as well as appropriate lighting levels for the street and the rear access services areas.

The one-way, service and delivery driveway is located to the north and includes movable trash dumpster with a completely screened enclosure. Day to day access to the dumpsters by the Baffert tenants is provided via a 3’ foot gate, located and facing away from the alley. Vegetation, along with screen walls and vegetated trellis, further protects the eastern (Armory Park) neighborhood from noise and views. All vehicles leaving the site to the east will be directed to 18th street.

### **Indicate whether the project will significantly impede solar energy options to adjacent properties.**

Due to the building’s location on the site, height limitation, and east-west orientation, we anticipate no significant impact for solar options on any of the adjacent properties.

### **Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.**

The native and drought tolerant plant palette utilizes evergreen and deciduous species that provide year-round color, foliage, texture, and interest. Up-right growth trees are used to provide shade and scale to the building. Shrubs, accents, and ground covers are used to provide visual and physical buffer from 18th Street and 6th Avenue. Vines are used to soften structures and enhance screening elements. Diverse palette reflects different sun exposures while minimizing water and irrigation needs of this urban garden.



## Project Statement

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### **Demonstrate how the proposed reduced off-street motor vehicle parking will not have an adverse impact on adjacent properties:**

The proposed uses' parking calculations were based on anticipation of a moderate sized restaurant that may ultimately inflated the required on-site parking count. In addition, the developer included a potential outdoor dining area as part of the base-line calculation. The developer decided to take this inclusive approach to have a most likely "worst case" parking count for this development. It is our opinion that reducing the on-site parking requirement for this development will not adversely affect adjacent properties due to the following reasons:

- 1) Each of the 14 apartments will have 1 assigned parking space located in a secured underground parking garage.
- 2) The addition of on-street parking near the apartment and commercial retail space entrances is directly accessible to and from the development.
- 3) Parking and trip patterns in this area and for this development indicates that a "staggered" trip and parking pattern is very likely.
- 4) In walking the area and reviewing aerial photos, there appears to be between 30 and 60, non-metered, on-street parking spaces within 400' of the site.
- 5) The developer intends to engage in a parking lease agreement for 20-24 spaces with the property owners of parcel 117-07-222, commonly known as Wanslee Auto.
- 6) Casual observation and multiple visits to the area indicate that current available street parking in the area, directly adjacent to "5 Points commercial streets", are rarely parked at capacity, and at many times throughout the day and evening, nearly deserted.
- 7) A majority of the existing commercial properties in the direct area of 5 Points seem to have adequate on-site parking for their own uses.
- 8) Connections to alternate transportation such as the 6th Avenue bike route, a Tugo Station at 5 Points Market, as well as 2 Suntran bus stops, are readily accessible.

### **Demonstrate how traffic generated by the off-street motor vehicle parking proposed in the application does not burden neighboring residential streets:**

Other than the Baffert's provided 17 on-site parking spaces utilizing Arizona Avenue for access and egress, all other parking, be it developed on street, available and existing on-street, or shared lease parking is part of a established traffic pattern that utilizes 6th Avenue and Stone as the primary access and circulation routes. We do not anticipate any reason this pattern would change in a significant manner.



## Permit Review Details

Permit: DP19-0220  
Parcel: 11707226A

Addresses:  
741 S 6TH AV

## Review Status: **Completed**

### Review Details

Show **10** entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
9/16/2019	SBEASLE1	START	PLANS SUBMITTED	Completed	None



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
9/17/2019	SBEASLE1	COT NON-DSD	ENVIRONMENTAL SERVICES	Approved	<p>The Environmental &amp; General Services Department has completed our review of the Development Package for the Baffert 5 project at 741 S. 6th Avenue. The proposal is to construct one building having 14 residential units with areas for food service and general merchandise sales.</p> <p>The waste generation calculations were reviewed and found to be correct. Two 2 cubic yard containers will be used to store refuse and one 2 cubic yard container will be used to store recycling materials. The containers will be stored in a concrete block enclosure located north of the proposed building. It is not stated on the plans, but we assume the building maintenance staff will roll the containers out of the enclosure and onto the adjacent north parking lot area for servicing. The servicing location should not have any overhead utility lines within 25 vertical feet of the containers. Please have the applicant add notes to either Sheet 1 or Sheet 3 describing the rolling out of the containers and locating them for servicing. Based on this review, the Environmental &amp; General Services Department approves the solid waste management plan for the Baffert 5 development.</p> <p>Please contact me if there are any questions concerning this review.</p> <p>Tom Ryan, P. E. City of Tucson - Environmental &amp; General Services Department</p>
9/17/2019	TOM MARTINEZ	OTHER AGENCIES	AZ DEPT TRANSPORTATION	Approved	<p>Regional Traffic Engineering has no comments on this submittal and supports its acceptance. The proposed location will have no impacts to any ADOT facilities. Thank you.</p> <p>Tom J. Martinez TMartinez@azdot.gov</p>
9/19/2019	ZELIN CANCHOLA	COT NON-DSD	TRAFFIC	Approved	None
10/9/2019	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	<p>ADMINISTRATIVE MANUAL</p> <p>SECTION 2-10.0.0: LANDSCAPE PLAN REQUIREMENTS</p> <p>4.1 Identification and Descriptive Data</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.</p> <p>The Development Plan will contain the following identification:</p> <p>Any relevant case numbers for reviews or modifications that affect the site.</p> <p>Include Case # DP19-0220 in the lower right corner of each sheet.</p> <p>Indicate graphically, where possible, compliance with conditions of rezoning and IID.</p> <p>The site is within the following overlay:</p> <p>5.12.9. GREATER INFILL INCENTIVE SUBDISTRICT (GIIS)</p> <p>Section 7.6, Landscaping and Screening</p> <p>Except as required by Section 5.12.8.B, Development Transition Standards, a complete or partial exception to Section 7.6, Landscaping and Screening Standards, may be granted if shade is provided for pedestrians and customers, such as along sidewalks, pedestrian circulation paths, and outdoor patios, in accordance with Section 5.12.6.A.2. The landscaping requirement may also be waived by the PDSO Director based on a written finding that the waiver is necessary to preserve the prevailing setback.</p> <p>Any one or more of the following types of landscaping and improvements may be used to comply with this section:</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>(1) Existing landscaping;            (2) Shade trees in the right-of-way;            (3) Green walls or green roofs; and/or            (4) Shade structures, such as awnings.</p> <p>Ensure that all Zoning and Engineering comments and concerns are addressed.</p> <p>Additional comments may apply.</p>
10/11/2019	PAUL CAMARENA	ZONING	REVIEW	Reqs Change	<p>CDRC TRANSMITTAL</p> <p>TO: Development Services Department            Plans Coordination Office</p> <p>FROM: Paul Camarena            PDSZ Zoning Review Section</p> <p>PROJECT: Baffert 5            Development Package (1st Review) 741 S 6TH AV            DP19-0220 - C-3 Zoning</p> <p>TRANSMITTAL DATE: October 10, 2019            DUE DATE: October 14, 2019</p> <p>COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.</p> <p>Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is September 13, 2020.
					SECTION 2-06.0.0: DEVELOPMENT PACKAGE (TENTATIVE PLATS AND SITE PLANS)
					CONTENT REQUIREMENTS
					2-06.4.1 - The name, mailing and email addresses, and phone number of the primary property owner of the site, the developer of the project, registrant(s), and other person(s), firm(s), or organization(s) that prepared the development package documents shall be provided on the right half of the cover sheet. The applicable registration or license number shall be provided if prepared by or with the assistance of a registered professional, such as a surveyor, architect, landscape architect, or engineer. All sealing shall be consistent with Arizona Board of Technical Registration guidelines.
					1. COMMENT: 2-06.4.1 - Provide a phone number for the owner/developer as noted by the standard above
					2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, DSMR, overlay, etc.) shall be provided adjacent to the title block on each sheet.
					2. COMMENT: 2-06.4.3 - Provide the development package case number, DP19-0220, adjacent to the title block on each sheet.



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>2-06.4.4.B - Identify major streets and regional watercourses within the square mile area and all streets that abut the subject property; and,</p> <p>3. COMMENT: 2-06.4.4.B - Remove the 18th street wash from the location map. Label the following on the location map: Main Ave, Cushing St, Church Ave and Broadway BL.</p> <p>2-06.4.4.C - Section, township, and range; section corners; north arrow; and the scale will be labeled.</p> <p>4. COMMENT: 2-06.4.4.C - Provide all section corners as noted by the standard above.</p> <p>2-06.4.7.A.1 - List as a general note: "Existing zoning is ____."</p> <p>5. COMMENT: 2-06.4.7.A.1 - Revise general note 2 on the cover sheet to state "Existing zoning is C-3 and HC-3 No zoning change requested for the project.</p> <p>2-06.4.7.A.2 - List the gross area of the site/subdivision by square footage and acreage.</p> <p>6. COMMENT: 2-06.4.7.A.2 -It appears that the parcel located to the north of the site is being combined with the project. A Pima County Tax Parcel Combo will be required for this development. Provide the combo documents on the next submittal of the DP</p> <p>2-06.4.7.A.3 - If the plan/plat has been prepared in conjunction with a rezoning application, add the following note next to the existing zoning note: "Proposed zoning is ____." List the applicable rezoning file number and conditions of approval. Also place the C9-__-__ (if applicable) and the plan/plat file</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					numbers in the lower right corner of each sheet.
					7. COMMENT: 2-06.4.7.A.3 - Zoning acknowledges the direct ordinance rezoning case C9-18-02 has been effectuated but the condition of rezoning are still applicable. Provide the rezoning conditions on the DP.
					2-06.4.7.A.6.a - List additional applications and overlays, by case number (if applicable), in lower right corner of each sheet. As a general note provide the type of application processed or overlays applicable, a statement that the project meets the criteria/conditions of the additional application or overlay, the case number, date of approval, what was approved, and the conditions of approval, if any.
					8. COMMENT: 2-06.4.7.A.6.a - Once the IID overlay application has gone through provide the information noted by the standard above. The applicable IID case number will be a "T19SE##### not an IID-19-## number.
					2-06.4.7.A.8 - For development package documents provide:
					2-06.4.7.A.8.a - Floor area for each building;
					9. COMMENT: 2-06.4.7.A.8.a - Clarify why there is a difference in floor area. The total building area listed in general note 6 is 21,268 square feet and the area listed on building #1 is 716 and on building #2 is 30,075.
					2-06.4.9.H.2 - Show future and existing sight visibility triangles. On a designated MS&R street, the sight visibility triangles are based on the MS&R cross-section.
					10. COMMENT: 2-06.4.9.H.2 - Provide the future sight visibility triangles on 6th Ave.



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces provided, fully dimensioned. As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.</p>
					<p>11. COMMENT: 2-06.4.9.H.5.a - It appears that this site requires 70 parking spaces and with the reduction of 3 spaces using UDC Article 7.4.5.E.3 the required would be 67 and there is only 17 on site spaces provided. The provided number needs to be revised as the off-site spaces shown along 18th do not count as all parking must be on-site per UDC Article 7.4.6.B. It appears that an IPP will be needed to approve this plan. Opting into the GIIS (Greater Infill Incentive Sub district) can reduce the required parking. If parking reduction is approved provide documentation with the development package submittal.</p>
					<p>12. The required accessible vehicle parking space calculation is not correct. Per UDC Article 5.12.9.C.2.b The number and location of accessible parking spaces required by the City's adopted Building Code shall not be reduced or eliminated and shall be based on the number of motor vehicle parking spaces required prior to any modification. Per the 2018 IBC Table 1106.1 51-75 vehicle parking spaces require 3 accessible spaces on site with one being Van accessible. It does not appear that there is a van accessible space on site and the accessible spaces shown along 18th do not count as provided.</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide, as a note, calculations for short and long term bicycle spaces required and provided.</p> <p>13. COMMENT: 2-06.4.9.H.5.d - It does not appear that the short bicycle parking is meeting the requirements of UDC Articles 7.4.9.C.2.a, &amp; .d. Clearly demonstrate on the plan that these requirements are met.</p> <p>14. COMMENT: Demonstrate on detail G Sheet 6 that the eastern most rack adjacent to the trash enclosures and the eastern most rack adjacent to the vehicle parking space meet the requirement of UDC Article 7.4.9.B.2.g</p> <p>2-06.4.9.J - If street dedication is not required or proposed and the project site is adjacent to a Major Street or Route, draw the Major Street right-of-way lines for those streets. (Add the MS&amp;R future sidewalk, right-of-way lines, sight visibility triangles, etc.)</p> <p>15. COMMENT: 2-06.4.9.J - Draw, dimension and label the future MS&amp;R future sidewalk, right of way lines and sight visibility triangles as noted by the standard above.</p> <p>2-06.4.9.L - All proposed easements (utility, sewer, drainage, access, etc.) are to be dimensioned and labeled as to their purposes and whether they will be public or private. The easements may have to be recorded and the recordation information added to the development package prior to approval.</p> <p>16. COMMENT: 2-06.4.9.L - An access easement maybe be required for pedestrian access on 18th St since the public sidewalk is apparently on a private property.</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>2-06.4.9.O - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown.</p>
					<p>17. COMMENT: 2-06.4.9.O - It appears that established area setbacks are being used. As this site borders on a street designated on the MS&amp;R map developing area setbacks are applicable for all streets that boarder this site. Setbacks can be potentially modified threwh the IID</p>
					<p>2-06.4.9.R - Show on-site pedestrian circulation and refuge utilizing location and the design criteria in Section 7-01.0.0, Pedestrian Access, of the Technical Standards Manual.</p>
					<p>18. COMMENT: 2-06.4.9.R - It appears that the parking on 18th St will over hang into the pedestrian circulation.</p>
					<p>2-06.4.9.T - Show refuse collection areas, including locations of dumpsters, screening location and materials, and vehicle maneuverability, fully dimensioned, and access route. If dumpster service is not proposed, indicate type of service. For specific information on refuse collection, refer to Section 8-01.0.0, Solid Waste and Recycle Disposal, Collection, and Storage, of the Technical Standards Manual. Refuse collection on all projects shall be designed based on that section, even if collection is to be contracted to a private firm.</p>
					<p>19. COMMENT: 2-06.4.9.T - Show vehicle maneuverability for refuse collection areas as noted by the standard.</p>
					<p>2-06.4.9.U - Indicate graphically, where possible, compliance with conditions of rezoning.</p>
					<p>20. COMMENT: 2-06.4.9.U - Provide the information noted by the standard above</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>***For additional information on the any standard presented in this memo, please refer to the City of Tucson "Unified Development Code" - Administrative Manual Section 2-06 or Technical Standards noted in the comments.  <a href="https://www.tucsonaz.gov/pdsd/all-codes-plans-determinations">https://www.tucsonaz.gov/pdsd/all-codes-plans-determinations</a></p> <p>If you have any questions about this transmittal, Contact Paul Camarena at (520) 837-4082 or by email <a href="mailto:Paul.Camarena@tucsonaz.gov">Paul.Camarena@tucsonaz.gov</a> or contact Steve Shields at (520) 837-4956 or email <a href="mailto:Steve.Shields@tucsonaz.gov">Steve.Shields@tucsonaz.gov</a></p> <p>RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package</p>
10/11/2019	PCAMARE1	ZONING HC	REVIEW	Reqs Change	See Zoning comments
10/11/2019	SBEASLE1	PIMA COUNTY	ADDRESSING	Reqs Change	<p>(The "attached PDF" mentioned below can be viewed on PRO in the "Documents" section)</p> <p>DP19-0220 / 1st Submittal / Baffert is being Returned for Corrections by Pima County Addressing. The attached pdf contains Addressing's comments. Please let me know if you have any questions.            Thank you,            Robin Freiman, Addressing Official            Pima County Development Services Department            201 N Stone AV - 4th Floor Tucson, AZ 85701            (520) 724-7570</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
10/14/2019	SBEASLE1	COT NON-DSD	PARKS & RECREATION	Approved	No planned or existing Tucson Parks and Recreation facilities are affected by this development. Howard B. Dutt, RLA Landscape Architect Tucson Parks & Recreation, (520) 837-8040 Howard.Dutt@tucsonaz.gov
10/14/2019	SBEASLE1	OTHER AGENCIES	TUCSON AIRPORT AUTHORITY	Reqs Change	<p>October 14, 2019 RE: DP19-0220 Baffert 5, Three-Story Mixed Use / 1st Submittal, Received September 16, 2019</p> <p>Thank you for the opportunity to comment on DP19-0220, Baffert 5, Three-Story Mixed Use; 1st Submittal, a development package application for an approximately 0.49 acre site, located northeast of the intersection of East 18th Street and South 6th Avenue. The property is zoned Historic Commercial Zone 3 (HC-3) with the proposed development being a mixed use building, which would contain both residential and commercial uses.</p> <p>This site is within the Tucson International Airport aviation easement requirements and public disclosure area, FAA traffic pattern airspace, and FAA Part 77 airspace.</p> <p>The Tucson Airport Authority conditionally approves the subject request contingent upon the following conditions of approval, as noted below. The below conditions were identified as Condition 14 of the Zoning Examiner's Conditions for the rezoning of this property under City of Tucson Rezoning case C9-18-02. The Tucson Airport Authority has included these same rezoning conditions, within the Conditions of Approval below, and requests the applicant revise the general notes of the development plan to include the below Conditions of Approval to aid in complying with the rezoning conditions.</p> <p>Conditions of Approval: 1. "According to the FAA Notice Criteria Tool, this project is located in proximity to a navigation facility and could impact navigation signal reception. The applicant shall file Form 7460 with the FAA at least 45 days before construction activities</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>begin for the project. Any cranes used which are used must also be identified with Form 7460. Please file Form 7460 at <a href="https://oeaaa.faa.gov/oeaaa/external/portal.jsp">https://oeaaa.faa.gov/oeaaa/external/portal.jsp</a>"</p> <p>2. "That prior to the City's approval of any construction permit for a permanent building, the property owner shall record the Avigation Easement, which discloses the existence, and operational characteristics of the Tucson International Airport to future owners or tenants of the property and further conveys the right to the public to lawfully use the airspace above the property. The content of such documents shall be according to the form and instructions provided.</p> <p>The current property owner or person authorized to sign on behalf of the current property owner shall complete, sign, and record the Avigation Easement. Please record the Avigation Easement with the Pima County Recorder's Office. Once the Avigation Easement is recorded please send a copy of the recorded easement to the Tucson Airport Authority by either email (send to <a href="mailto:srobidoux@flytucson.com">srobidoux@flytucson.com</a>) or to the mailing address provided below. Scott Robidoux, Senior Airport Planner Tucson Airport Authority 7250 South Tucson Boulevard, Suite 300 Tucson, AZ 85756"</p> <p>3. The following comments only pertain to the development of residential uses and shall not be applicable to any non-residential use:</p> <p>"The developer shall provide the Airport Disclosure Statement form, at time of sale, to the new property owners with new unit purchases. In the event the development of any residential uses does not involve the sale of new units, but is instead offering rental residential units to the public, the new tenant of the rental unit shall be provided a copy of the Airport Disclosure Statement form. The intent of the Airport Disclosure Statement form is to educate and notify the new residents that they are living near an airport. The content of such documents shall be according to the form and</p>



# UDC Compliance Review Comments

12.24.2019

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					instructions provided.
					The new property owner or new tenant shall forward a signed copy of the Airport Disclosure Statement form to the Tucson Airport Authority, using the mailing address provided below. Scott Robidoux, Senior Airport Planner Tucson Airport Authority 7250 South Tucson Boulevard, Suite 300 Tucson, AZ 85756"
					Please do not hesitate to contact me if you have any questions or concerns regarding this comment letter. I can be reached by email at srobidoux@flytucson.com or by telephone at 520-573-4811. Respectfully, Scott Robidoux, , Senior Airport Planner
					CC: Lisa Bowers

Showing 1 to 10 of 20 entries

Previous 1 2 Next

## Final Status

Show 10 entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description
10/24/2019	SBEASLE1	OUT TO CUSTOMER	Completed
10/24/2019	SBEASLE1	OUT TO CUSTOMER	Completed

Showing 1 to 2 of 2 entries

Previous 1 Next

## CYPRESS CIVIL DEVELOPMENT

strength + sustainability

10 December 2019

City of Tucson Planning & Development Services  
201 South Stone Avenue  
Tucson, Arizona 85701

**RE: Responses to Comments for The Baffert at Five Points – Development Package –  
1<sup>st</sup> Submittal – DP19-0220**

Cypress Civil Development has compiled the following responses to the various comment letters received from City of Tucson staff reviewers for the above-mentioned project. The responses are listed by heading below:

### **Comments dated September 11, 2019 from David Rivera - Zoning**

- Comment 1 – Complied. The owner’s phone number is provided on Sheet 1.
- Comment 2 – Complied. The Development Package numbers has been added to each sheet.
- Comment 3 – Complied. The location map has been revised as requested.
- Comment 4 – Complied. The location map has been revised as requested.
- Comment 5 – Complied. General note 2 has been revised.
- Comment 6 – Acknowledged. A lot combination process will be provided for the two parcels.
- Comment 7 – Complied. The rezoning conditions per Case C9-18-02 have been added on sheet 2 and the case number has been referenced on sheet 1.
- Comment 8 – Acknowledged. The IID number and compliance/reference notes will be added,
- Comment 9 – Complied. The floor areas have been corrected as requested.
- Comment 10 –Complied. 6<sup>th</sup> Avenue is shown to be at its ultimate right of Way per the MS&R map. TDOT has confirmed no ROW widening is required along the project area, and therefore no future right of way items have been incorporated in the plan.



# Cypress Civil Development Comment Responses

12.24.2019

p. 2 of 4 dated 12-10-2019

RE: The Baffert at Five Points– DP 1<sup>st</sup> Submittal Response – DP19-0220  
City of Tucson Planning & Development Services

Comment 11 –Complied. The parking calculation notes have been revised to note the provided stalls on-site.

Acknowledged. The IID and separate IPP approval will be provided for approval of the DP.

Comment 12 –Complied. The accessible parking calculation notes have been revised and the van accessible loading bay has been provided on the garage parking.

Comment 13 –Complied. Short term bicycle parking location on the north have been relocated to be within 50' of the public entrance.

Comment 14 –Complied. Detail 6 has been revised to meet the separation requirement.

Comment 15 –Complied. 6<sup>th</sup> Avenue is shown to be at its ultimate right of Way per the MS&R map. TDOT has confirmed no ROW widening is required along the project area, and therefore no future right of way items have been incorporated in the plan.

Comment 16 – Acknowledged. An access easement may need to be provided upon request.

Comment 17 –Acknowledged. Setbacks will be addressed within IID base on the MS&R criteria.

Comment 18 –Complied. The south public parking will overhang into the proposed sidewalk and a sidewalk reduction is provided 3.3' x4' at the SW corner which would be in compliance with 2010 ADA standards Section 403.5.1.  
5' sidewalk is provided past the pinch point on either side.

Comment 19 –Complied. The approach areas and turn path for the refuse service vehicle s is now shown. Direct access to the dumpster is not provided as approved by environmental services.

Comment 20 –Complied. Rezoning conditions have been noted on the DP and are graphically shown where applicable.



# Cypress Civil Development Comment Responses

12.24.2019

p. 3 of 4 dated 12-10-2019

RE: The Baffert at Five Points– DP 1<sup>st</sup> Submittal Response – DP19-0220

City of Tucson Planning & Development Services

## Comments dated October 11, 2019 – Robin Freeman – Pima County Addressing

Comment 1 – Complied. General note 7 has been revised as requested.

Comment 2 – Complied. Site address is to be 747 S 6<sup>th</sup> Avenue

Comment 3 – Complied. Legal description of the title block has been revised as requested.

Comment 4 – Complied. Recording information for Lot line adjustment is provided with this submittal.

Comment 5 – Complied. The location map has been corrected.

Comment 6 – Complied. Address of the existing building has been noted on Sheet 1.

## Comments dated October 17, 2019 from Robert Sherry – Plumbing

Comment 1 – Complied. A note has been added to clarify that the east line is to serve units above the first floor and does not require a backwater valve.

## Comments dated October 22, 2019 from John Van Winkle - Engineering

Comment 1 - Complied. A sidewalk reduction is provided 3.3' x4' at the SW corner which would be in compliance with 2010 ADA standards Section 403.5.1. 5' sidewalk is provided past the pinch point.

Comment 2 – Acknowledged. There are no pedestrian routes or safe pedestrian refuge areas within Arizona Ave. and pedestrian traffic is discouraged due to conflict with vehicular traffic at the driveway and Garage entry.

Comment 3 - Complied. Grades have been revised at the driveway to provide 6" except at the ADA stall.

Comment 4 – Complied. Service truck clear approach area and turn path is now shown. Direct access to the enclosures is not provided since bins are to be rolled out for service as approved by Environmental Services.

Comment 5 - Complied. The SVT has been adjusted to the edge of the travel lane and there is no conflict with the column.



# Cypress Civil Development Comment Responses

12.24.2019

p. 4 of 4 dated 12-10-2019

RE: The Baffert at Five Points– DP 1<sup>st</sup> Submittal Response – DP19-0220

City of Tucson Planning & Development Services

Comment 6 - Complied. Signage has been noted and detail is added in the detail sheet of the plan set as requested.

Comment 7 - Complied. The location of the sump discharge is now shown as requested

## Comments dated October 23, 2019 from John Beall – Community Planning

Comment 1 – Acknowledged. DP can be approved 30 days after Mayor and Council adopt the rezoning ordinance.

## Comments dated October 24, 2019 from Maria Gayosso – Design Professional.

Comment 1 – Acknowledged. IID will be submitted and submittal of the DP will follow.

## Comments dated October 9, 2019 from Andrew Connor – Landscape

Comment 1 – Complied. Zoning and engineering comments are being addressed as noted in this letter.

These comments addressed are the only comments received by CYPRESS for this project as of the date of this letter. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

**Cypress Civil Development**

Alberto Navarro

Project Manager



5/6/2019

Pima County Assessor's Office

Parcel Number: 117-07-225A

Property Address			
Street Number	Street Direction	Street Name	Location
735	S	6TH AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
340 E YAVAPAI LLC PO BOX 64669 TUCSON AZ 85728-4669	TUCSON LOT 10 BLK 122 EXC S10'

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2019	COMMERCIAL (1)	18.0	\$88,070	\$35,166	\$123,236	\$123,236	\$22,182
2020	COMMERCIAL (1)	18.0	\$88,070	\$35,166	\$123,236	\$123,236	\$22,182

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map:	2	Plat:	4	Block:	122
Tract:		Land Measure:	10,349.00F	Lot:	10
Census Tract:	900	File Id:	1	Group Code:	000
Use Code:	1830 (AUTO/LIGHT TRUCK LOT LEASE OR SALE)			Date of Last Change:	11/15/2018

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	02004 DEL	30

Recording Information (4)					
Sequence No.	Docket	Page	Date Recorded	Type	
20182850294	0	0	10/12/2018	WTDEED	
20143510754	0	0	12/17/2014	BTDEED	
20051220711	12581	3087	6/24/2005	JTDEED	
94127066	9822	1973	6/27/1994	JTDEED	

Commercial Characteristics				
Property Appraiser: Bill Boren Phone: (520) 724-3096				
Commercial Summary				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$15,704	\$0	\$35,166

Commercial Detail							
SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1996	290/3	0000000	0	\$34,514	\$15,704	PARKING LOT



### Notes (6)

<b>Created:</b> 12/29/2016 <b>Modified:</b> 12/29/2016	2017 split/combo batch 23094 back from section
<b>Created:</b> 8/2/2016 <b>Modified:</b> 8/2/2016	2017S No change to use code 1830. No change to Land/IMP class 1/0. Parcel 117-07-2250 becomes 225A and 226A. Transferred all CCS improvements. Updated CCS IMP 001, paving. Updated Photos in Book-Map
<b>Created:</b> 8/2/2016 <b>Modified:</b> 8/2/2016	2017S No change to use code 1830. No change to Land/IMP class 1/0. Parcel 117-07-2250 becomes 225A and 226A. Transferred all CCS improvements. Updated CCS IMP 001, paving. Updated Photos in Book-Map
<b>Created:</b> 7/27/2016 <b>Modified:</b> 7/27/2016	2017 reparcel releases batch 23094 to section&#8836;
<b>Created:</b> 7/22/2016 <b>Modified:</b> 7/22/2016	2017 reparcel 117-07-2250 combined with 117-07-2260 batch 23094 area calc w:\travcad\sq20161460324.dwg residue (12,197-1,848=10,349sf) per after Sq20161460324
<b>Created:</b> 1/5/2015 <b>Modified:</b> 1/5/2015	SQ20143510754 BENEFICIARY DEED FROM THOMAS WALTER JR & DOROTHY ANN EPPERSON

<http://www.asr.pima.gov/Parcel/Index>

1/2



# Pima County Assessor's Record Parcel Detail - 11707226A

12.24.2019

5/6/2019

Pima County Assessor's Office

Parcel Number: 117-07-226A

Property Address			
Street Number	Street Direction	Street Name	Location
741	S	6TH AV	Tucson
747	S	6TH AV	Tucson
749	S	6TH AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
KBL 747 LLC PO BOX 64669 TUCSON AZ 85728-4669	TUCSON LOT 11 & S10' LOT 10 BLK 122

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2019	RES OTHER (4)	10.0	\$143,814	\$122,961	\$12,296
2020	RES OTHER (4)	10.0	\$194,904	\$129,109	\$12,911

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map:	2	Plat:	4	Block:	122
Tract:		Land Measure:	14,045.00F	Lot:	11
Census Tract:	900	File Id:	1	Group Code:	000
Use Code:	0141 (SFR GRADE 010-4 URBAN SUBDIVIDED )			Date of Last Change:	10/3/2018

Sales Information (1)							
Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20151410399	1	4/2015	Commercial/Industrial	\$182,955	\$271,380	Y	X RJM

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	02004 DEL	30

Recording Information (7)					
Sequence No.	Docket	Page	Date Recorded	Type	
20161460324	0	0	5/25/2016	WTDEED	
20151410399	0	0	5/21/2015	WTDEED	
20143510754	0	0	12/17/2014	BTDEED	
20061941328	12905	6333	10/6/2006	WTDEED	
20051220711	12581	3087	6/24/2005	JTDEED	
94127066	9822	1973	6/27/1994	JTDEED	
0	2317	155	8/27/1964		



5/6/2019

Pima County Assessor's Office

Residential Characteristics					
Property Appraiser: Rachel Valenzuela Phone: (520) 724-7427					
Main Structure:					
Appraisal Date:	6/23/2017	Property Type:	Single Family Residence	Area ID:	Ed 30-010202-01-4
Processed:	12/31/1969	Building Class:	4	Physical Condition:	Good
Total Living Area:	720	Garage Type:	None	Effective Construction Year:	1972
Garage Capacity:	0	Stories:	1	Patio Type:	Covered
Rooms:	3	Patio Number:	1	Quality:	Fair
Pool Area:	0	Exterior Walls:	Brick	Valuation Type:	00
Roof Type:	Built Up	Total Main:	\$205,162	Heating:	Forced
Total Control:	\$205,162	Cooling:	Refrigeration	Total Actual:	\$194,904
Bath Fixtures:	3	FCV Adjustment Factor:	1.000	Enhancement:	\$0
Last Calc:	0125				

Permits (5)											
Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T16CM04096	SNEW ~ FINAL	08/19/2016	01/10/2017	TUC	\$28,524	715		09/29/2016	09/29/2016		297528
<b>Description:</b>											
T16CM04096	SNEW ~ FINAL	08/19/2016	01/10/2017	TUC	\$28,524	715		09/29/2016	12/21/2016		297528
<b>Description:</b>											
T16CM04096	SNEW ~ FINAL	08/19/2016	01/10/2017	TUC	\$28,524	715		09/29/2016	02/16/2017		297528
<b>Description:</b>											
T16CM04096	SNEW ~ FINAL	08/19/2016	01/10/2017	TUC	\$28,524	715		09/29/2016	03/20/2017		297528
<b>Description:</b>											
T16CM04096	SNEW ~ FINAL	08/19/2016	01/10/2017	TUC	\$28,524	715		09/29/2016	03/20/2017	06/23/2017	297528
<b>Description:</b>											

Notes (10)	
<b>Created:</b> 7/12/2018 <b>Modified:</b> 7/12/2018	Rezoning approved from HC-3 to C-3. Plans for multi use commercial/residential structure and renovation of the small carriage house on site.
<b>Created:</b> 10/30/2017 <b>Modified:</b> 10/30/2017	2019N - per lib note by #240 1040 > 0141
<b>Created:</b> 6/26/2017 <b>Modified:</b> 6/26/2017	2019N Deleted CCS IMP 001, Deleted IMP 002. Parcel sent to MASS
<b>Created:</b> 6/23/2017 <b>Modified:</b> 6/23/2017	former commercial building converted to living area. create as sfr on mass model for 2019n. rule b. update use code to 0141
<b>Created:</b> 12/29/2016 <b>Modified:</b> 12/29/2016	2017 split/combo batch 23094 back from section
<b>Created:</b> 8/10/2016 <b>Modified:</b> 8/10/2016	2017S-Update use code from 1770 to 1040. Update land class from 1/0 to 2/1 (class 2 at 66% class 1 at 34%). No change to IMP class at 1/0.
<b>Created:</b> 8/2/2016 <b>Modified:</b> 8/2/2016	2017S No change to use code 1770. No change to Land/IMP class 1/0. Parcel 117-07-2260 becomes 226A. Transferred all CCS improvements. Updated CCS IMP 001, from 828 sf to 720 sf. Created IMP 002, paving. Updated APEX/Photos in Book-Map.
<b>Created:</b> 7/27/2016 <b>Modified:</b> 7/27/2016	2017 reparcel releases batch 23094 to section&#8836;
<b>Created:</b> 7/22/2016 <b>Modified:</b> 7/22/2016	2017 reparcel 117-07-2260 combined with ptn 117-07-2250 batch 23094 area calc w:\travcad\sq20161460324.dwg (14,045sf) after Sq20161460324 & per req from Lawrence Kappler managing member of KBL 747, LLC
<b>Created:</b> 1/5/2015 <b>Modified:</b> 1/5/2015	SQ20143510754 BENEFICIARY DEED FROM THOMAS WALTER JR & DOROTHY ANN EPPERSON

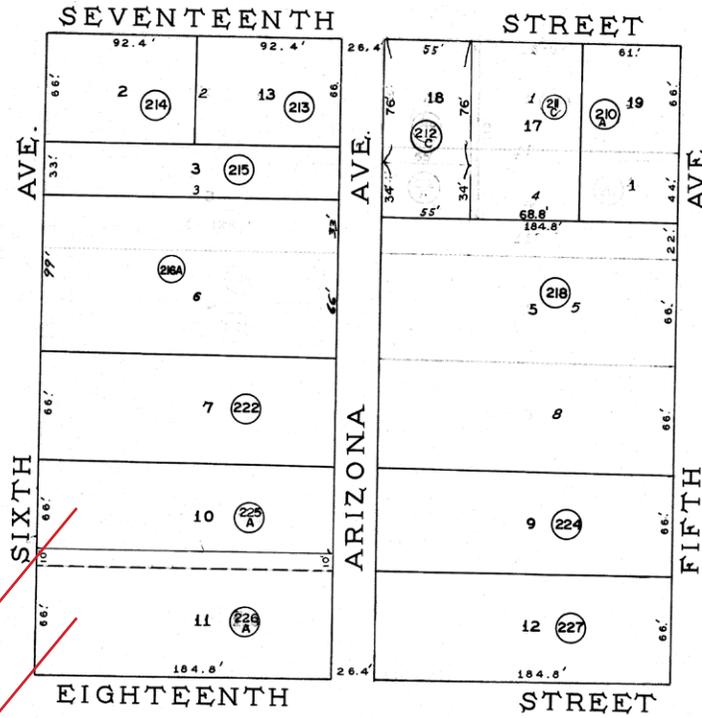


## ASSESSOR'S RECORD MAP

117-07  
15/19

## BLOCK 122, CITY OF TUCSON

122



11707225A

11707226A

SCALE-1"= 50'  
SEE BOOK 7 PAGE 54  
SEE BOOK 2, PAGE 4 M & P.  
2018-1

02004-122  
SCANNED

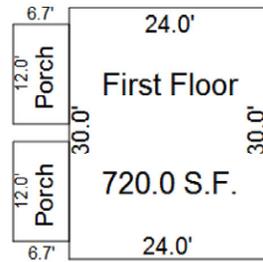
669(6)

SPERALLY TRADING CO. INC. K & B, N.Y. 19007



117-07-226A

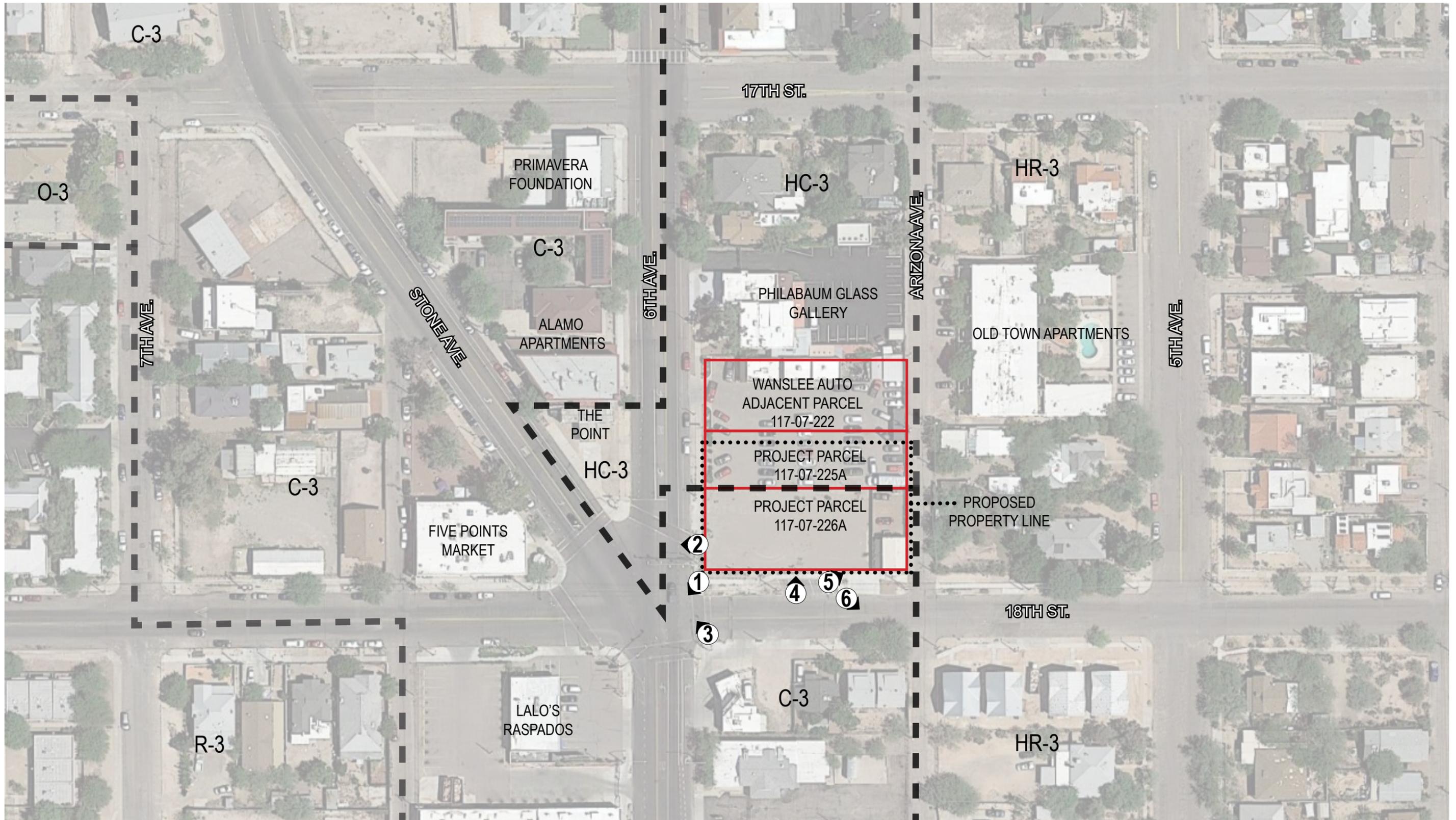
741 S 6TH AV



DRAWN PER F/C

8/02/2016

#511 H EMERY



1 VIEWS ON FOLLOWING PAGES     
  PARCEL BOUDARIES     
  ZONING BOUDARIES

**Aerial Plan**



# Site Context Photographs

12.24.2019



1. SW corner of 6th Avenue and 18th Street



2. 5 Points Market to the West of the project site

# Site Context Photographs

12.24.2019



3. NW corner of 6th Avenue and Stone Ave.



4. Project site and the Wanslee property to the north

# Site Context Photographs

12.24.2019



5. Carriage house on the SE corner of the project site



6. Residences to the south of the project

# Precedent Examples

12.24.2019

The architectural vocabulary of Armory Park is incorporated into the Project to facilitate a walkable and inviting space. The reinterpretation of the historic neighborhood elements such as masonry, building integrated landscape, and historic inspired signage, in addition to new design elements, such as bike corals, creates a space that compliments the historic neighborhoods while providing new amenities to the 5 Points area.



MASONRY



NORTHERN GLASS FACADE



BUILDING INTEGRATED LANDSCAPE



CORNICING



BRICK LINTELS



BIKE CORRAL



HISTORIC INSPIRED BUILDING SIGNAGE



LANDSCAPED SIDEWALK BUFFER

# DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS



IN THE NW 1/4 OF THE SE 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP  
3" = 1 MILE

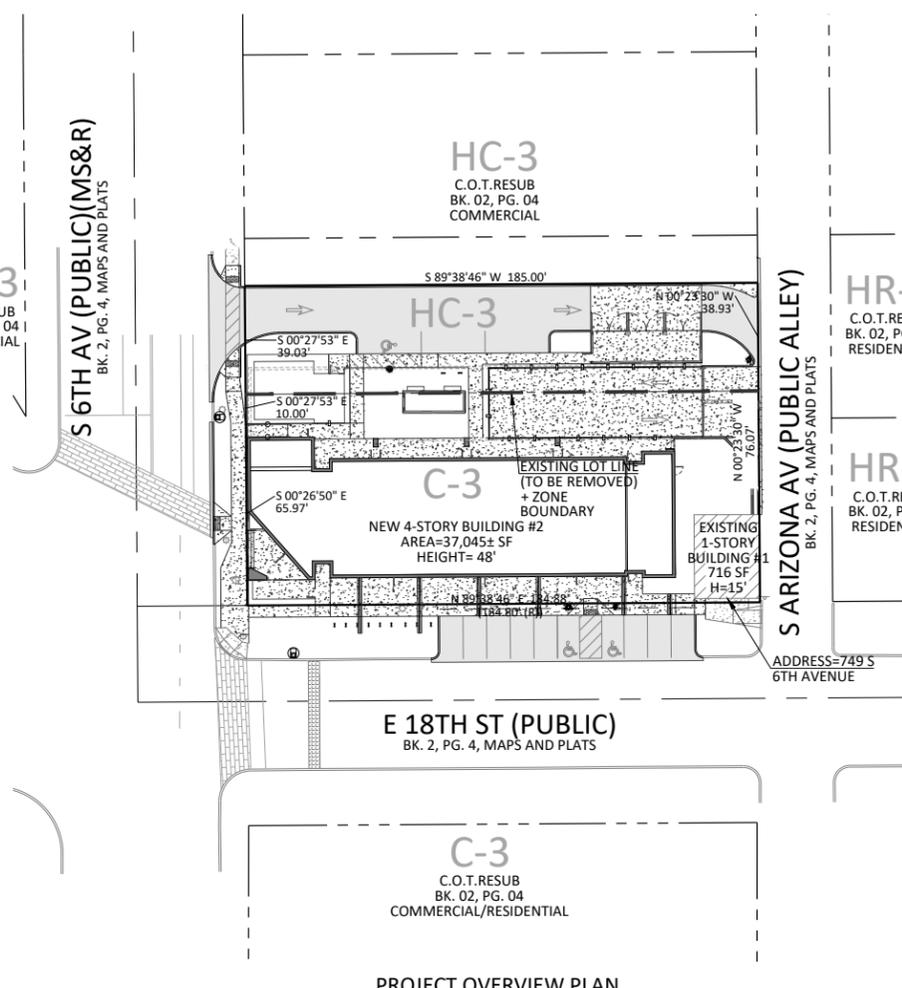
## GENERAL NOTES

- OWNER/DEVELOPER:  
KBL 747, LLC  
6239 EAST PLACITA AURELIA  
TUCSON, ARIZONA 85750
- THE EXISTING ZONING IS C-3 AND HC-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT
- THE EXISTING USE IS UNDEVELOPED. THE PROPOSED DEVELOPMENT IS MIXED USE: MULTI-FAMILY DWELLING, FOOD SERVICE, GENERAL MERCHANDISE SALES (EXCLUDING LARGE RETAIL ESTABLISHMENT). GENERAL MERCHANDISE SALES USE IS SUBJECT TO USE SPECIFIC STANDARDS OF 4.9.9.B.1.
- THERE WILL BE 14 PROPOSED RESIDENTIAL UNITS.
- USE AREA BREAKDOWN:  
MULTI-FAMILY DWELLING = 10,974 SF  
FOOD SERVICE (INCLUDING PATIO) = 4,037 SF  
GENERAL MERCHANDISE SALES = 2,336 SF
- THE GROSS SITE AREA IS 21,268 SQUARE FEET, OR 0.49 ACRES.
- THE TOTAL BUILDING GFA IS 23,078 SF.
- BUILDING #1  
EXISTING BUILDING GFA = 716
- BUILDING #2  
UNDERGROUND PARKING = 9,567  
GROUND FLOOR GFA = 6,062  
SECOND FLOOR GFA = 7,408  
THIRD FLOOR GFA = 7,408  
FOURTH FLOOR (LOFT, STAIRS & ELEVATOR) GFA = 1,610  
ROOF OCCUPIABLE GFA = 5,360  
TOTAL BUILDING GFA = 38,131
- THE TOTAL ON-SITE DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 21,257 SF. THE TOTAL OFF-SITE DISTURBED AREA IS APPROXIMATELY 4,349 SF.
- THE ASSESSOR'S PARCEL NUMBER(S) FOR THIS PROJECT IS A PORTION OF 117-07-225A AND 117-07-226A.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.

## GENERAL NOTES (cont.)

- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.  
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7' ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".  
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C-3 ZONING:  
  
RESIDENTIAL DENSITY CALCULATION:  
MAXIMUM = 87 UNITS/ACRE  
ACTUAL 14/0.49 = 29 UNITS /ACRE  
SITE COVERAGE CALCULATION: N/A  
  
MAXIMUM BUILDING HEIGHT -BLDG 1 PER C9-18-02 = 25'  
ACTUAL BUILDING HEIGHT = 15'  
  
MAXIMUM BUILDING HEIGHT -BLDG 2 PER C9-18-02 = 48'  
ACTUAL BUILDING HEIGHT = 48'  
  
BUILDING SETBACKS:  

	REQUIRED	PROVIDED
NORTH	0'	54.6' MIN.
EAST	0'	0' MIN.
SOUTH (STREET, FRONT)	21'	28.2' MIN.
WEST (STREET)	H=48'	0.5' MIN.
- PARKING REQUIREMENTS:  
  
MOTOR VEHICLE:  
FOOD SERVICE: 1 SPACE PER 100 SF  
REQUIRED = (4,037+716)/100 = 48 SPACES  
MULTI-FAMILY DWELLING: 1.5 SPACES PER 1 BEDROOM UNIT;  
2 SPACES PER 2 BEDROOM UNIT  
REQUIRED = (12\*1.5) + (2\*2) = 22 SPACES  
GENERAL MERCHANDISE: 1 SPACE PER 300 SF  
REQUIRED = 2,336/300 = 8 SPACES  
  
TOTAL REQUIRED (AFTER REDUCT., SEE NOTE BELOW) = 75 SPACES  
TOTAL PROVIDED = 17 ONSITE = 17 SPACES  
  
ACCESSIBLE SPACES REQUIRED = 2 SPACES  
ACCESSIBLE SPACES PROVIDED = 3 SPACES  
  
BICYCLE PARKING:  
SHORT TERM:  
FOOD SERVICE: 1 PER 2,000 SF (2 MIN.)  
REQUIRED = 4,037/2,000 = 2 SPACES  
MULTI-FAMILY DWELLING: 0.1 SPACES PER BEDROOM (2 MIN.)  
REQUIRED = 0.1x16 = 2 SPACES  
GENERAL MERCHANDISE: 1 PER 5,000 SF (2 MIN.)  
REQUIRED = 2,336/5,000 = 2 SPACES  
TOTAL REQUIRED = 6 SPACES  
TOTAL PROVIDED = 22 SPACES  
  
LONG TERM:  
FOOD SERVICE: 1 PER 12,000 SF (2 MIN.)  
REQUIRED = 4,037/12,000 = 2 SPACES  
MULTI-FAMILY DWELLING: 0.5 SPACES PER BEDROOM (2 MIN.)  
REQUIRED = 0.5x16 = 8 SPACES  
GENERAL MERCHANDISE: 1 PER 12,000 SF (2 MIN.)  
REQUIRED = 2,336/12,000 = 2 SPACES  
  
TOTAL REQUIRED = 12 SPACES  
TOTAL PROVIDED = 14 SPACES  
\*LONG-TERM SPACES ARE PROVIDED WITHIN EACH RESIDENTIAL UNIT, SEE DETAIL 2, SHEET 4.  
  
\*\*NOTE: DUE TO PROVIDING EXCESS BICYCLE PARKING, VEHICULAR SPACE REQUIREMENTS CAN BE REDUCED BY 1 PER 6 BIKE SPACES. 18 EXTRA BIKE SPACES ARE PROVIDED, REDUCING THE REQUIRED VEHICULAR PARKING BY 3 SPACES.  
  
LOADING ZONES REQUIRED = 0 SPACES  
LOADING ZONES PROVIDED = 0 SPACES



SCALE: 1"=30'

EXISTING		PROPOSED		LEGEND	
[Symbol]	SUBJECT PROPERTY BOUNDARY	[Symbol]	POWER POLE	[Symbol]	RIGHT-OF-WAY
[Symbol]	RIGHT-OF-WAY	[Symbol]	ELECTRIC PULL BOX	[Symbol]	OTHER PARCEL LINE
[Symbol]	ROADWAY CENTERLINE	[Symbol]	ELECTRIC TRANSFORMER	[Symbol]	CONTOUR
[Symbol]	CONTOUR	[Symbol]	COMMUNICATION PEDESTAL	[Symbol]	SPOT ELEVATION
[Symbol]	SPOT ELEVATION	[Symbol]	SEWER MANHOLE	[Symbol]	CURB
[Symbol]	CURB	[Symbol]	SEWER CLEANOUT	[Symbol]	ASPHALT
[Symbol]	ASPHALT	[Symbol]	FIRE HYDRANT	[Symbol]	CONCRETE
[Symbol]	CONCRETE	[Symbol]	WATER METER	[Symbol]	BRICK/PAVERS
[Symbol]	BRICK/PAVERS	[Symbol]	BACKFLOW PREVENTER	[Symbol]	PAINT STRIPE
[Symbol]	PAINT STRIPE	[Symbol]	WATER VALVE	[Symbol]	RAILING
[Symbol]	RAILING	[Symbol]	SURVEY MONUMENTATION AS NOTED	[Symbol]	WALL
[Symbol]	WALL	[Symbol]	PARKING SPACE COUNT	[Symbol]	STREET/SITE LIGHT
[Symbol]	STREET/SITE LIGHT	[Symbol]	ZONING DIVISION	[Symbol]	TRAFFIC LIGHT
[Symbol]	TRAFFIC LIGHT	[Symbol]	SVT	[Symbol]	STORM DRAIN PIPE
[Symbol]	STORM DRAIN PIPE	[Symbol]	RIGHT-OF-WAY	[Symbol]	STORM DRAIN MANHOLE
[Symbol]	RIGHT-OF-WAY	[Symbol]	RECORDED; CALCULATED DISTANCE	[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	RECORDED; CALCULATED DISTANCE	[Symbol]	RADIUS	[Symbol]	OVERHEAD ELECTRIC
[Symbol]	RADIUS	[Symbol]	PAVEMENT (ASPHALT)	[Symbol]	SEWER PIPE
[Symbol]	PAVEMENT (ASPHALT)	[Symbol]	CONCRETE	[Symbol]	WATER PIPE
[Symbol]	CONCRETE	[Symbol]	FINISHED GRADE	[Symbol]	UNKNOWN UTILITY
[Symbol]	FINISHED GRADE	[Symbol]	BACKWATER VALVE		

## GENERAL NOTES (cont.)

- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- WASTE STREAM CALCULATION:  
  
PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 15.92 TONS OF SOLID WASTE PER YEAR (EQUATING TO 204 GALLONS PER WEEK).  
  
A MINIMUM OF 4.4 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.  
  
THIS WILL BE ACCOMPLISHED BY TWO 2-CUBIC-YARD TRASH BIN AND ONE 2-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R); UDC SEC. 5.8, "H" HISTORIC PRESERVATION ZONE (HPZ)/"HL" HISTORIC LANDMARK (HL); UDC SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID).
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
- THIS DEVELOPMENT IS SUBJECT TO REZONING CONDITIONS PER CASE C9-18-02. SEE SHEET 2 FOR CONDITIONS.
- THIS DEVELOPMENT IS SUBJECT TO CONDITIONS PER CASE T19SEXXXX.

## SHEET INDEX

- COVER SHEET
- NOTES
- SITE PLAN
- GRADING + DRAINAGE PLAN
- UTILITIES + EASEMENTS PLAN
- DETAILS
- LANDSCAPE PLAN
- IRRIGATION PLAN
- LANDSCAPE DETAILS
- IRRIGATION DETAILS

## ARCHITECT

DAVID E. SHAMBACH ARCHITECT, INC.  
261 N COURT AV  
TUCSON, ARIZONA 85701  
ATTN: DAVID SHAMBACH  
PH: (520) 795-6171  
E: architect@shambach.com

LANDSCAPE ARCHITECT  
ARC STUDIOS INC.  
3117 EAST FLOWER STREET  
TUCSON, ARIZONA 85716  
ATTN: ERIC BARRETT  
PH: (520) 882-9655  
E: erb@arcstudiosinc.com

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				KBL 747 LLC PO BOX 64669 TUCSON, ARIZONA 85728-4669 ATTN: MR. LAWRENCE KAPPLER E: lkappler@tbrconstruction.net ph: 520-631-5907
				<b>SITE ADDRESS</b> 747 S 6TH AV TUCSON, ARIZONA 85701



CYPRESS PROJECT NO: 19.080  
2030 east speedway boulevard suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

**CYPRESS CIVIL DEVELOPMENT**  
strength + sustainability

LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

## DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS cover sheet



DP19-0220  
REF: C9-18-02; C9-74-19, T19SEXXXX

1 OF 10

**GENERAL PAVING + GRADING NOTES**

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):  

TOTAL CUT	TOTAL FILL	COMPOSITE
5050 CY	50 CY	5000 CY (C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

**GENERAL PAVING + GRADING NOTES (cont.)**

- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5" FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAN AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PSDS ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velocityhall.com/accelera/velohall/index.cfm?city=tucson&state=arizona>
- ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.
- IT IS THE OWNER'S RESPONSIBILITY TO VERIFY AND MITIGATE ANY POTENTIAL CONSTRUCTION IMPEDIMENTS DUE TO EXISTING ENCROACHMENTS BY ADJACENT PROPERTY OWNERS (WHETHER SITE WALLS, FENCES, OR OTHERWISE). CYPRESS CIVIL ASSUMES NO LIABILITY NOR RESPONSIBILITY FOR ANY ENCROACHMENTS OR FOR DELAYS TO THE APPROVAL PROCESS AS A RESULT THEREOF.

**EARTHWORK/MATERIALS TESTING + CERTIFICATION**

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY WESTERN TECHNOLOGIES INC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED FEBRUARY 6, 2019, WESTERN TECHNOLOGIES INC. PROJECT NO. 2928JH093.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT	
SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIPRAP OVER FILTER FABRIC
1:1 TO 2:1	GROUTED OR WIRE-TIED RIPRAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

NOTES:  
 - SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL  
 - FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE UNLESS OTHERWISE NOTED ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.  
 - SEE RIPRAP NOTES FOR SPECIFICATIONS.

**PIMA COUNTY GENERAL SEWER NOTES**

- VERTICAL CONTROL** -- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS BENCHMARK 7 AS RECORDED IN CITY OF TUCSON DEPARTMENT OF TRANSPORTATION SURVEY FIELD BOOK 2108 AT PAGE 33 DESCRIBED AS "4" ON THE NORTHEAST CORNER OF A CONCRETE STREET LIGHT ACCESS BOX AT THE NORTHWEST CORNER OF 6TH AVENUE AND 19TH STREET. THE ELEVATION OF SAID BENCHMARK IS **2407.18'**, NAVD 88 DATUM.
- HORIZONTAL CONTROL** -- THE BASIS OF BEARINGS FOR THIS PROJECT IS A LINE BETWEEN MONUMENTS FOUND ON SIXTH AVENUE AS RECORDED IN BOOK 7 OF SURVEYS AT PAGE 54, PIMA COUNTY, ARIZONA AND AS SHOWN ON THIS PLAT. THE BEARING OF SAID LINE IS **N 00°22'42" W**.
- ALL DESIGN STANDARDS, MATERIALS AND WORKMANSHIP FOR PUBLIC SANITARY SEWERS SHALL BE IN ACCORDANCE WITH THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCRWRD) ENGINEERING DESIGN STANDARDS 2016 (EDS 2016) AND THE STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION 2016 (SSDC 2016). SAID DOCUMENTS ARE AVAILABLE THROUGH THE PCRWRD WEBSITE ([www.pima.gov/wastewaterreclamation](http://www.pima.gov/wastewaterreclamation)).
- ONLY APPROVED PLANS** SHALL BE USED FOR THE CONSTRUCTION OF PUBLIC SANITARY SEWER FACILITIES. APPROVED PLANS REQUIRING DESIGN REVISIONS SHALL BE RESUBMITTED TO PIMA COUNTY FOR REVIEW AND RE-APPROVAL PRIOR TO START OF THE REVISED SEWER WORK.
- SEWER CONSTRUCTION SHALL NOT COMMENCE UNTIL: (A) THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) OR ITS DELEGATED AUTHORITY HAS ISSUED A CONSTRUCTION AUTHORIZATION FOR THIS PROJECT; (B) THE CONTRACTOR HAS OBTAINED A PCRWRD PUBLIC SEWER CONSTRUCTION PERMIT (CONTACT THE PCRWRD PERMITS SECTION AT (520) 724-6649 FOR PERMIT APPLICATION REQUIREMENTS); (C) THE CONTRACTOR'S FLOW MANAGEMENT PLAN HAS BEEN SUBMITTED THIRTY (30) CALENDAR DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING AND APPROVED BY PCRWRD FIELD ENGINEERING; AND (D) A PRE-CONSTRUCTION MEETING WITH THE ASSIGNED PIMA COUNTY PROJECT FIELD INSPECTOR OR SCHEDULED AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO COMMENCING WITH SEWER CONSTRUCTION.
- IMMEDIATELY REPORT ANY OF THE FOLLOWING TO THE PCRWRD OPERATIONS CONTROL CENTER (OCC) AT (520) 724-6500: ANY RELEASE OF SEWAGE, ANY DAMAGE TO THE PUBLIC SANITARY SEWER SYSTEM, OR THE DROPPING OF DEBRIS INTO A PUBLIC SANITARY SEWER MANHOLE. A PCRWRD REPRESENTATIVE WILL BE DISPATCHED TO THE SITE. THE CONTRACTOR SHALL TAKE IMMEDIATE ACTION TO CONTAIN A SANITARY SEWAGE OVERFLOW (SSO). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO REPAIR THE SYSTEM, MITIGATE THE RELEASE OF SEWAGE, DISINFECT THE RELEASE AREAS, AND ANY REGULATORY PENALTIES LEVIED ON PCRWRD FOR SEWAGE ENTERING A NATURAL DRAINAGE WAY OR STORM WATER DRAINAGE SYSTEM. THE CONTRACTOR SHALL REPAIR ALL DAMAGE AS DIRECTED AND APPROVED BY THE PCRWRD FIELD REPRESENTATIVE.
- STORM WATER AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY INSTALLED TO PROTECT PCRWRD MANHOLES AT THE BEGINNING OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTANTLY MAINTAIN STORM WATER AND SEDIMENT CONTROL MEASURES THAT PROTECT PCRWRD FACILITIES UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ALLOW STORM WATER, SEDIMENT, OR POTENTIAL POLLUTANTS FROM A CONSTRUCTION SITE TO ENTER A PCRWRD MANHOLE. THE CONTRACTOR SHALL ENSURE THAT THEIR FLOW MANAGEMENT OPERATIONS INCLUDE CONTROLS TO PREVENT ANY INTRODUCTION OF STORM WATER, SEDIMENT, OR POLLUTANTS INTO THE PUBLIC SANITARY SEWER SYSTEM. FAILURE TO CONFORM TO THESE REQUIREMENTS SHALL RESULT IN CANCELLATION OF THE SEWER CONSTRUCTION PERMIT.
- SPECIAL CARE SHALL BE TAKEN TO ENSURE DESIGN SLOPES ARE MAINTAINED. SEWERS CONSTRUCTED AT INSUFFICIENT SLOPES WILL NOT BE ACCEPTED BY PCRWRD FIELD ENGINEERING AND/OR ADEQ. CORRECTIVE ACTION, INCLUDING RE-CONSTRUCTION OF THE SEWER(S), WILL BE AT THE SOLE EXPENSE OF THE PROJECT OWNER/CONTRACTOR.
- THE CONTRACTOR SHALL ADJUST OR RECONSTRUCT ALL SANITARY SEWER MANHOLES TO FINISHED GRADE. ALL FRAMES AND COVER ADJUSTMENTS SHALL BE IN ACCORDANCE WITH PCRWRD SSDC 2016, DETAIL NOS. RWRD 211, 212, 304 OR 305 (AS APPLICABLE). THE CONTRACTOR SHALL PROTECT THE BENCH AND FLOW CHANNELS WITH A COVER PER PCRWRD SSDC 2016, DETAIL NO. RWRD 306. PRIOR TO COMMENCING ANY WORK TO THE MANHOLE AND REMOVE THE COVER AFTER ALL WORK IS COMPLETED. THE CONTRACTOR SHALL ENSURE THAT FRAMES AND COVERS ARE CLEAN AND FREE FROM ANY AND ALL ATTACHED MATERIALS (ASPHALT, CONCRETE, ETC.) AND THAT ALL VENT HOLES ARE OPEN AND CLEAR OF OBSTRUCTIONS, AS APPROVED BY THE PCRWRD FIELD ENGINEER. EXISTING FRAMES AND/OR COVERS THAT ARE DAMAGED OR CANNOT BE COMPLETELY CLEANED SHALL BE REPLACED WITH A NEW FRAME AND COVER IN ACCORDANCE WITH PCRWRD SSDC 2016, DETAIL NO. RWRD 213-218. COSTS ASSOCIATED WITH EXISTING FRAMES AND COVERS THAT ARE LOST OR DAMAGED DUE TO THE CONTRACTOR'S SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**REZONING CONDITIONS C9-18-02**

- A DEVELOPMENT PACKAGE IN SUBSTANTIAL COMPLIANCE WITH THE PRELIMINARY DEVELOPMENT PLAN (PDP) DATED JANUARY 29, 2018, AND THE REQUIRED REPORTS, IS TO BE SUBMITTED AND APPROVED IN ACCORDANCE WITH THE ADMINISTRATIVE MANUAL, SECTION 2-06. SHOULD THE APPROVED IID DESIGN NOT BE IN SUBSTANTIAL COMPLIANCE WITH THE PDP, THE IID APPROVAL WILL GOVERN.
- THE PROPERTY OWNER SHALL EXECUTE A WAIVER OF POTENTIAL CLAIMS UNDER A.R.S. SEC.12-1134 FOR THIS ZONING AMENDMENT AS PERMITTED BY A.R.S. SEC. 12-1134 (I) IN THE FORM APPROVED BY THE CITY ATTORNEY AND TITLED "AGREEMENT TO WAIVE ANY CLAIMS AGAINST THE CITY FOR ZONING AMENDMENT". THE COMPLETED WAIVER MUST BE FILED WITH PLANNING & DEVELOPMENT SERVICES BEFORE THE CASE WILL BE SCHEDULED FOR MAYOR AND COUNCIL ACTION.
- AN ARCHAEOLOGICAL ASSESSMENT AND SURVEY SHALL BE PERFORMED BY A QUALIFIED ARCHAEOLOGIST BEFORE ANY GRADING OR OTHER GROUND MODIFICATION TAKES PLACE. IF CULTURAL FEATURES OR REMAINS ARE FOUND, TESTING AND DATA RECOVERY SHALL BE COMPLETED AS NEEDED. COPIES OF TESTING PLANS, TESTING REPORTS, DATA RECOVERY PLANS AND FINAL REPORTS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY HISTORIC PRESERVATION OFFICE PRIOR TO CONSTRUCTION WORK COMMENCING. IF, DURING CONSTRUCTION, HUMAN REMAINS AND/OR ASSOCIATED BURIAL ITEMS ARE DISCOVERED, GROUND DISTURBING ACTIVITIES IN THE VICINITY OF THE DISCOVERY WILL CEASE, THE DISCOVERY SITE WILL BE SECURED, AND THE ARIZONA STATE MUSEUM WILL BE IMMEDIATELY NOTIFIED AS REQUIRED UNDER A.R.S. SEC. 41-865.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT SHALL BE AT NO EXPENSE TO THE PUBLIC.
- OWNER/DEVELOPER SHALL ENTER INTO A SEWER SERVICE AGREEMENT WITH PIMA COUNTY THAT SPECIFIES THE IMPROVEMENTS TO BE MADE TO PIMA COUNTY'S PUBLIC SEWERAGE SYSTEM, AND THE TIMING OF SAID IMPROVEMENTS.
- FIVE YEARS ARE ALLOWED FROM THE DATE OF INITIAL AUTHORIZATION TO IMPLEMENT AND EFFECTUATE ALL CODE REQUIREMENTS AND CONDITIONS OF THE REZONING.
- THE PROPOSED DEVELOPMENT AND ANY FUTURE DEVELOPMENT ON THE SITE TO BE REVIEWED FOR COMPATIBILITY WITH THE ADJACENT ARMORY PARK HPZ BY BOTH THE TPCHC, PRS AND ARMORY PARK HISTORIC ZONE ADVISORY BOARD.
- HISTORIC CARRIAGE HOUSE WILL BE SUBJECT TO STANDARD HPZ DESIGN REVIEW/DEMOLITION APPROVAL PROCESS FOR ANY FUTURE PROPOSED CHANGES.
- BUILDING HEIGHT WILL BE LIMITED TO NO HIGHER THAN FORTY-EIGHT ( 48') FEET, EXCEPT THAT THE EASTERN THIRTY (30) FEET OF THE PARCEL AS MEASURED FROM THE EASTERN PROPERTY LINE WILL BE LIMITED TO NO HIGHER THAN TWENTY-FIVE (25) FEET. BUILDING HEIGHTS STATED HEREIN INCLUDE MECHANICAL AND ACCESSORY EQUIPMENT AND FUNCTIONAL ELEMENTS. SHOULD BOTH THE ARMORY PARK HISTORIC DISTRICT ADVISORY BOARD AND THE TUCSON-PIMA COUNTY HISTORICAL COMMISSION PLANS REVIEW SUBCOMMITTEE COMMENT APPROVAL, DURING THE IID REVIEW, OF A HEIGHT FOR THE ELEVATOR SHAFT THAT EXCEEDS 48 FEET, THIS CONDITION WILL SUPPORT THAT APPROVED DESIGN.
- THE GROUND FLOOR OF THE BUILDING SHALL BE USED ONLY FOR NON-RESIDENTIAL USES.
- BALCONIES SHALL BE LIMITED TO THE NORTH SIDE OF THE BUILDING. THE PEDESTRIAN EXTERIOR CIRCULATION ON THE PROJECT'S SOUTH SIDE SHALL NOT BE CONSIDERED BALCONIES.
- SIX (6) INCH WIDE FENCE BLOCK OR GREATER (OR AS DETERMINED BY FUTURE DESIGN REVIEWS) SHALL BE USED FOR PERIMETER SCREEN WALLS.
- ALL WALLS VISIBLE FROM A PUBLIC RIGHT-OF-WAY AND/OR ADJACENT TO EXISTING RESIDENTIAL DEVELOPMENT, ARE TO BE GRAFFITI-RESISTANT AND INCORPORATE ONE (1) OR MORE VISUALLY APPEALING DESIGN TREATMENTS, SUCH AS THE USE OF TWO (2) OR MORE DECORATIVE MATERIALS LIKE STUCCO, TILE, STONE, OR BRICK; A VISUALLY INTERESTING DESIGN ON THE WALL SURFACE; VARIED WALL ALIGNMENTS, JOG, CURVE, NOTCH, SETBACK, ETC.); AND/OR TREES AND SHRUBS IN VOIDS CREATED BY THE WALL VARIATIONS, OR AS DETERMINED BY FUTURE DESIGN REVIEWS.
- THE APPLICANT SHALL FILE FORM 7460 WITH THE FAA AT LEAST 45 DAYS BEFORE CONSTRUCTION ACTIVITIES BEGIN FOR THE PROJECT. ANY CRANES USED WHICH ARE USED/MUST ALSO BE IDENTIFIED WITH FORM 7460. FILE FORM 7460 AT [HTTPS://OEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.JSP](https://oeaaa.faa.gov/oeaaa/EXTERNAL/PORTAL.JSP). PRIOR TO THE CITY'S APPROVAL OF ANY CONSTRUCTION PERMIT FOR A PERMANENT BUILDING, THE PROPERTY OWNER SHALL RECORD THE AVIGATION EASEMENT, WHICH DISCLOSES THE EXISTENCE, AND OPERATIONAL CHARACTERISTICS OF THE TUCSON INTERNATIONAL AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY AND FURTHER CONVEYS THE RIGHT TO THE PUBLIC TO LAWFULLY USE THE AIRSPACE ABOVE THE PROPERTY. THE CURRENT PROPERTY OWNER OR PERSON AUTHORIZED TO SIGN ON BEHALF OF THE CURRENT PROPERTY OWNER SHALL COMPLETE, SIGN, AND RECORD THE AVIGATION EASEMENT. RECORD THE AVIGATION EASEMENT WITH THE PIMA COUNTY RECORDER'S OFFICE. ONCE THE AVIGATION EASEMENT IS RECORDED, SEND A COPY OF THE RECORDED EASEMENT TO THE TUCSON AIRPORT AUTHORITY.
- THE DEVELOPER SHALL PROVIDE THE AIRPORT DISCLOSURE STATEMENT FORM, AT TIME OF SALE, TO NEW RESIDENTIAL PROPERTY OWNERS WITH NEW UNIT PURCHASES. IN THE EVENT THE DEVELOPMENT OF ANY RESIDENTIAL USE OFFERS RENTAL RESIDENTIAL UNITS TO THE PUBLIC, THE NEW TENANT SHALL BE PROVIDED A COPY OF THE AIRPORT DISCLOSURE STATEMENT FORM TO EDUCATE AND NOTIFY THE NEW RESIDENTS THAT THEY ARE LIVING NEAR AN AIRPORT. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS
- DEVELOPER WILL PAY FOR A CITY OF TUCSON ISSUED 24/7 PARKING PERMIT FOR THE TWO ADJACENT PARCELS TO THE PROPERTY'S EAST (738 S. 5TH AVE. AND 744 S. 5TH AVE.) FOR A PERIOD OF FIVE (5) YEARS BEGINNING ON OR BEFORE THE CONSTRUCTION START DATE.
- DEVELOPER WILL DONATE \$4000.00 TO APNA FOR THE SOLE PURPOSE OF CONSTRUCTING A BUFFER WALL TO MITIGATE NOISE/LIGHT FROM THE EASTERN PORTION OF THE SITE. PAYMENT MUST BE USED FOR CONSTRUCTION OF A WALL BY ISSUANCE OF PROJECT C O F O DATE, OR IT SHALL BE RETURNED TO THE DEVELOPER. DEVELOPER SHALL NOT BE RESPONSIBLE FOR REVIEWS, PERMITS OR BUILDING OF THE WALL.
- THE CITY SHALL NOT CITE THIS CASE AS A PRECEDENT IN OTHER SIMILAR REZONING/HPZ CASES.
- THE DEVELOPMENT SITE WILL CONTINUE TO QUALIFY AS "ADJACENT" UNDER 110 DEFINITIONS.
- IN ORDER TO BE REMOVED FROM THE HPZ IN THE FUTURE, THE WANSLEE PARCELS (733 S. STONE AVENUE AND PIN 117-07-203A) WILL BE REQUIRED TO GO THROUGH THE REZONING PROCESS, REGARDLESS OF WHAT DEVELOPMENT MAY OCCUR ON PARCELS IN THE VICINITY.
- A NON-OPAQUE SCREENING OF THE STAIRWELL ON THE EASTERN END OF THE PROJECT AT 747 S. 5TH AVENUE IS REQUIRED.
- HOURS OF OPERATION FOR ALL GROUND FLOOR COMMERCIAL, RETAIL AND THE RESTAURANT SHALL BE: SEVEN (7) DAYS A WEEK: 7AM - 11 PM.
- NOT LATER THAN SEPTEMBER 15, 2018, DEVELOPER WILL RECORD AN EXECUTED AGREEMENT BETWEEN DEVELOPER AND THE ARMORY PARK NEIGHBORHOOD ASSOCIATION THAT DEFINES PERMITTED AND EXCLUDED LAND USES AS DESCRIBED IN THE ATTACHED EXHIBIT 1. THE TERMS AND CONDITIONS OF THE EXECUTED AGREEMENT SHALL RUN WITH AND ATTACH TO THE PROPERTY, AND SHALL NOT TERMINATE IN THE EVENT OF THE SALE OR TRANSFER OF THE PROPERTY

**SURVEY NOTES**

- THE BASIS OF BEARINGS FOR THIS PROJECT IS A LINE BETWEEN MONUMENTS FOUND ON SIXTH AVENUE, AS RECORDED IN BOOK 7 OF SURVEYS AT PAGE 54, PIMA COUNTY, ARIZONA AND AS SHOWN ON THIS PLAT. THE BEARING OF SAID LINE IS **N 00°22'42" W**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS BENCHMARK NO. 7 AS RECORDED IN CITY OF TUCSON DEPARTMENT OF TRANSPORTATION SURVEY FIELD BOOK 2108 AT PAGE 33 DESCRIBED AS "4" ON THE NORTHEAST CORNER OF A CONCRETE STREET LIGHT ACCESS BOX AT THE NORTHWEST CORNER OF 6TH AVENUE AND 19TH STREET. THE ELEVATION OF SAID BENCHMARK IS **2407.18'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: ARROW LAND SURVEYING 3121 EAST KLEINDALE ROAD TUCSON, ARIZONA 85716 ATTN: MR. GREGORY W. BAUER, AZ RLS #35111 PH: (520) 881-2155
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				KBL 747 LLC PO BOX 64669 TUCSON, ARIZONA 85728-4669 ATTN: MR. LAWRENCE KAPPLER E: <a href="mailto:lkappler@tbrconstruction.net">lkappler@tbrconstruction.net</a> ph:520-631-5907
				<b>SITE ADDRESS</b> 747 S 6TH AV TUCSON, ARIZONA 85701



PRELIMINARY PLAT FOR SUBDIVISION OF LAND IN PIMA COUNTY, ARIZONA

CYPRESS PROJECT NO: 19.080

**CYPRESS CIVIL DEVELOPMENT**  
strength + sustainability

2030 east speedway boulevard suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cyresscivil.com

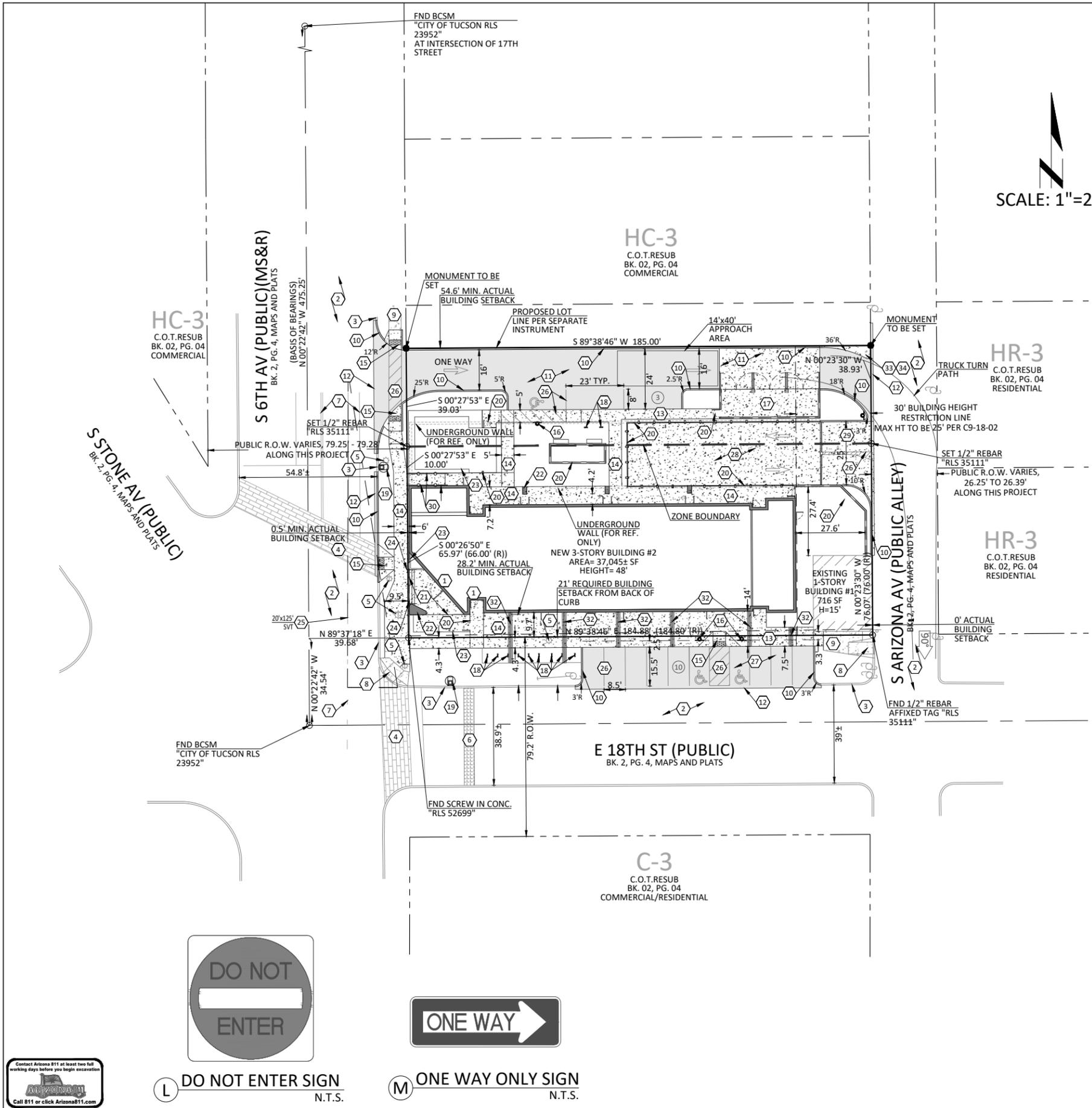
LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

**DEVELOPMENT PACKAGE FOR THE BAFFERT AT FIVE POINTS notes**

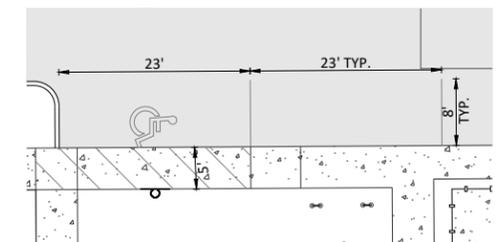
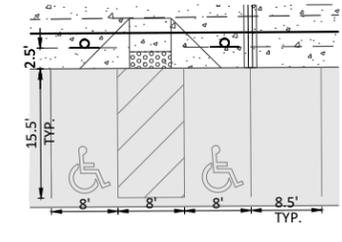


DP19-0220 REF: C9-18-02; C9-74-19, T19SE#####

2 OF 10



- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
  - 2 EXISTING ASPHALT TO REMAIN.
  - 3 EXISTING CURB TO REMAIN.
  - 4 EXISTING BRICK PAVERS TO REMAIN.
  - 5 EXISTING LIGHT/TRAFFIC SIGNAL TO REMAIN.
  - 6 EXISTING STORM DRAIN INLET STRUCTURE.
  - 7 EXISTING STRIPING TO REMAIN.
  - 8 EXISTING CURB ACCESS RAMP TO REMAIN.
  - 9 EXISTING CONCRETE SIDEWALK TO REMAIN.
  - 10 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 6. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
  - 11 NEW 3" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 6.
  - 12 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
  - 13 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL C, SHEET 6.
  - 14 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
  - 15 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207.
  - 16 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL D, SHEET 6.
  - 17 NEW TRASH ENCLOSURE. SEE DETAIL E, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
  - 18 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL F, SHEET 6. FOR RACK SPACING SEE DETAIL G, SHEET 6.
  - 19 FUTURE ART/AMENITY STRUCTURE. SEE COT PLAN NO. F-206-001.
  - 20 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
  - 21 NEW BUILDING OVERHANG PER BUILDING PLANS.
  - 22 NEW BUILDING COLUMN PER BUILDING PLANS.
  - 23 NEW PLANTERS PER BUILDING PLANS.
  - 24 NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL H, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
  - 25 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
  - 26 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
  - 27 NEW 2" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL I, SHEET 6.
  - 28 NEW 6" CONCRETE OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL J, SHEET 6.
  - 29 NEW GARAGE ACCESS RAMP PER STRUCTURAL PLANS.
  - 30 NEW ICC A117.1 SECTIONS 405 + 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL K, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
  - 31 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
  - 32 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. SEE DETAIL I, SHEET 6.
  - 33 NEW "DO NOT ENTER" SIGN (MUTCD #R5-1). SEE DETAIL L, THIS SHEET.
  - 34 NEW "ONE WAY" (RIGHT) SIGN (MUTCD #R6-1(R)). SEE DETAIL M, THIS SHEET.



**TYPICAL PARKING DETAIL SOUTH**  
SCALE: 1"=10'

**TYPICAL PARKING DETAIL NORTH**  
SCALE: 1"=10'

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				KBL 747 LLC PO BOX 64669 TUCSON, ARIZONA 85728-4669 ATTN: MR. LAWRENCE KAPPLER E: lkappler@tbrconstruction.net ph: 520-631-5907
				<b>SITE ADDRESS</b> 747 S 6TH AV TUCSON, ARIZONA 85701

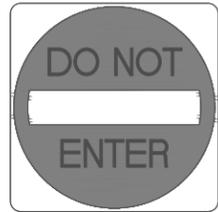


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strength + sustainability

LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

**DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS site plan**



**L DO NOT ENTER SIGN**  
N.T.S.



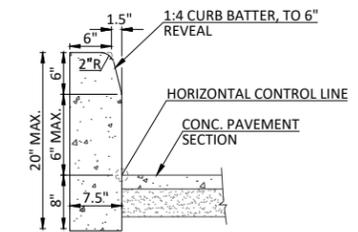
**M ONE WAY ONLY SIGN**  
N.T.S.



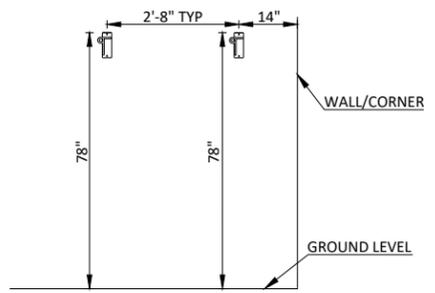
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3 of 10

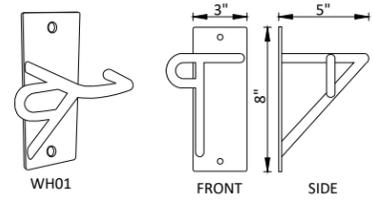
SCALE: 1"=20'  
C.I. = 1 FOOT



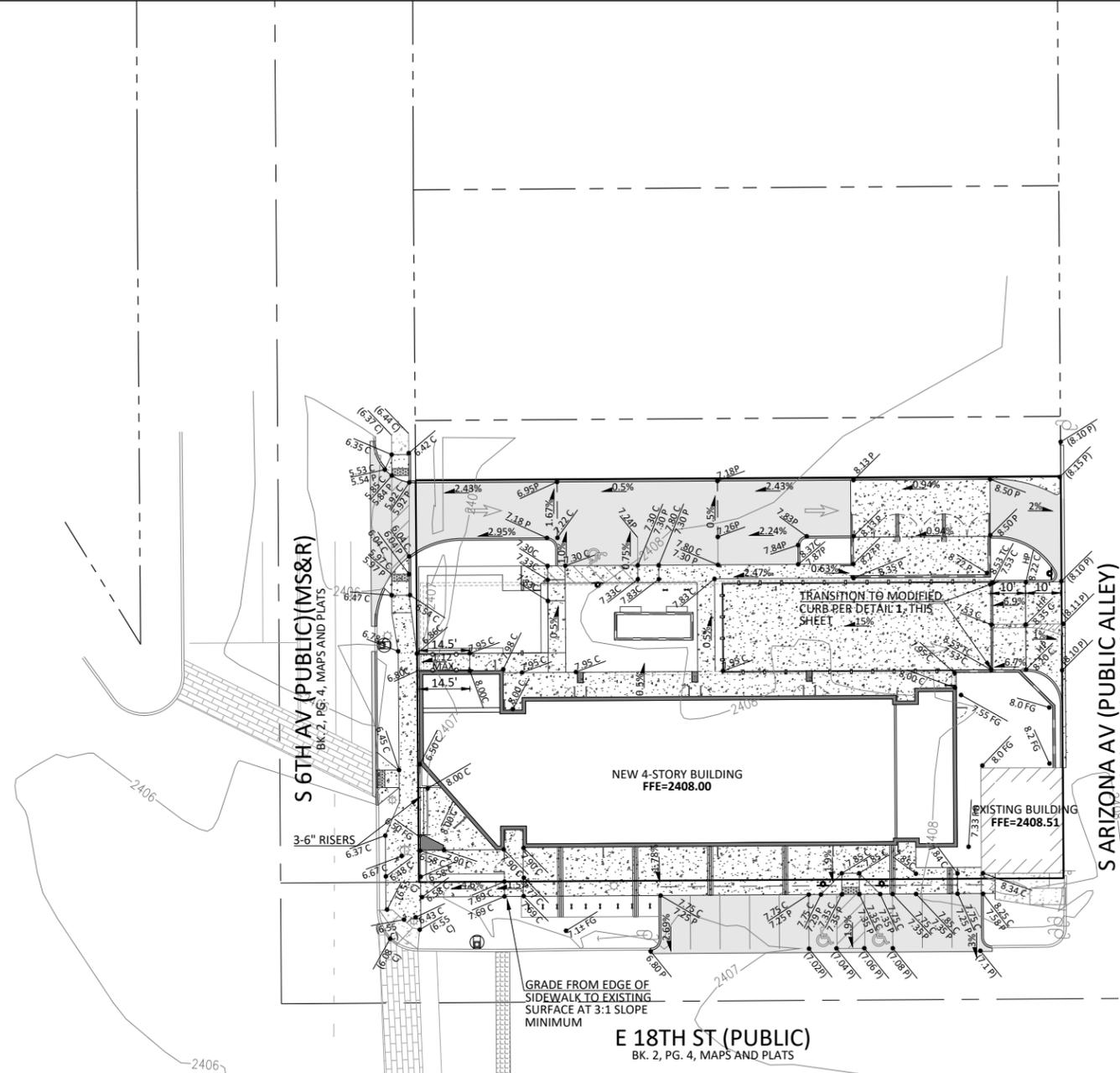
1 MODIFIED CONCRETE VERTICAL CURB  
SCALE: 1"=1'



- SPECIFICATIONS:
- 2 MOUNTING HOLES IDEALLY ACCEPT 3/8" FASTENERS
  - RECOMMENDED RACK SPACING 16" MIN. W/ VERTICAL SLAGGER
  - VERTICAL SLAGGER SHOULD BE 10"
  - GROUND TO TOP OF RACK SHOULD BE 68" FOR FIRST RACK
  - GROUND TO TOP OF SECOND RACK SHOULD BE 78"
  - ALLOW 1' BEFORE YOUR FIRST RACK AND BEYOND YOUR LAST RACK
  - USE PROPER EXPANSION BOLTS OR RAWL SPIKES FOR CONCRETE WALL
  - IF NOT ATTACHED TO STUDS, ADD 3/4" PLYWOOD BACKING
  - FINISH IS POWDER COAT BLACK
  - OVERALL DIMENSIONS: 8" X 3" X 5"
  - HOOK, BRACE, AND U-PIECE MADE OF 3/8" SOLID ROUND DOWEL
  - BASE PLATE CONSISTS OF 12 GAUGE SHEET METAL
  - 1 YEAR STANDARD MANUFACTURER'S WARRANTY



2 ALTERNATE LONG TERM BIKE HANGER  
INTERIOR N.T.S.



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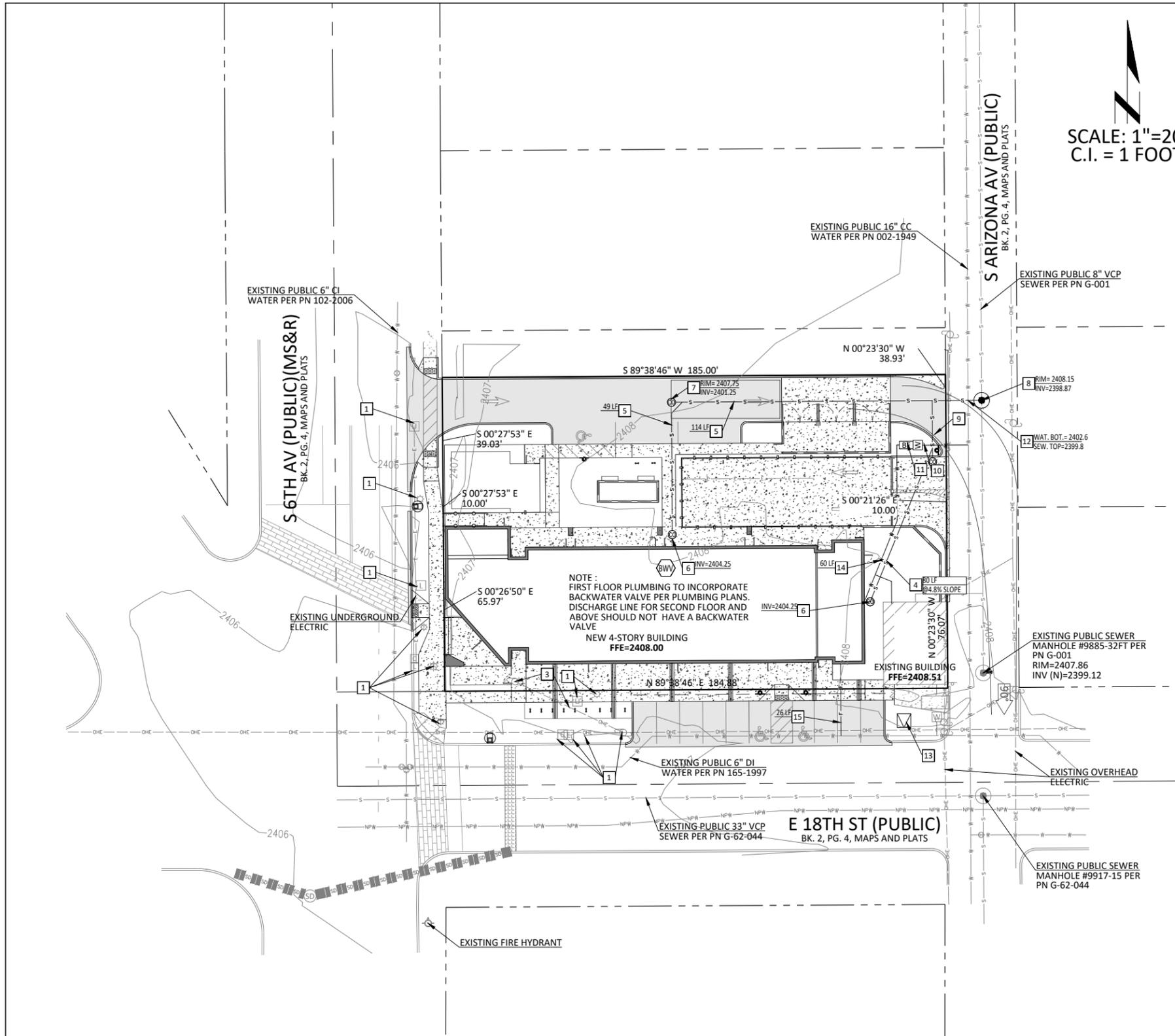
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**DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS**  
grading + drainage plan

DP19-0220  
REF: C9-18-02; C9-74-19, T19SE#####

4 OF 10



SCALE: 1"=20'  
C.I. = 1 FOOT

- UTILITY KEYNOTES**
- EXISTING UTILITY INFRASTRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
  - EXISTING UTILITY INFRASTRUCTURE TO BE REMOVED/RELOCATED. CONTRACTOR TO COORDINATE REMOVAL/RELOCATION WITH UTILITY COMPANY.
  - EXISTING POWER POLE. CONTRACTOR TO COORDINATE REMOVAL OR RELOCATION, AS REQUIRED, WITH TUCSON ELECTRIC POWER COMPANY.
  - NEW PRIVATE 4" PVC BCS SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - NEW PRIVATE 6" PVC SEWER LINE. PER SEPARATE PLAN.
  - NEW SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT(S).
  - NEW PRIVATE SEWER MANHOLE PER SEPARATE PLAN.
  - NEW PUBLIC SEWER MANHOLE OVER EXISTING SEWER LINE PER SEPARATE PLAN.
  - NEW 1" IRRIGATION SERVICE WITH 1/2" IRRIGATION METER AND BACKFLOW PREVENTER PER LANDSCAPE PLANS.
  - NEW 2" WATER SERVICE WITH 2" METER. CONTRACTOR TO COORDINATE WITH TUCSON WATER FOR INSTALLATION.
  - NEW 2" BACKFLOW PREVENTER PER PLUMBING PLANS
  - UTILITY CROSSING. SEE KEYNOTE FOR SEPARATION.
  - NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN.
  - NEW 2" PVC PRIVATE WATER LINE.
  - NEW 6" FIRE SERVICE LINE. CONTRACTOR TO COORDINATE WITH TUCSON WATER FOR INSTALLATION.

**UTILITY NOTE**

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

**PRIVATE UTILITY NOTES**

- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

**PRIVATE FIRE SUPPRESSION NOTES**

- INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 24.
- MINIMUM DEPTH OF BURY TO BE 36".
- SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
- SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
- RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
- TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

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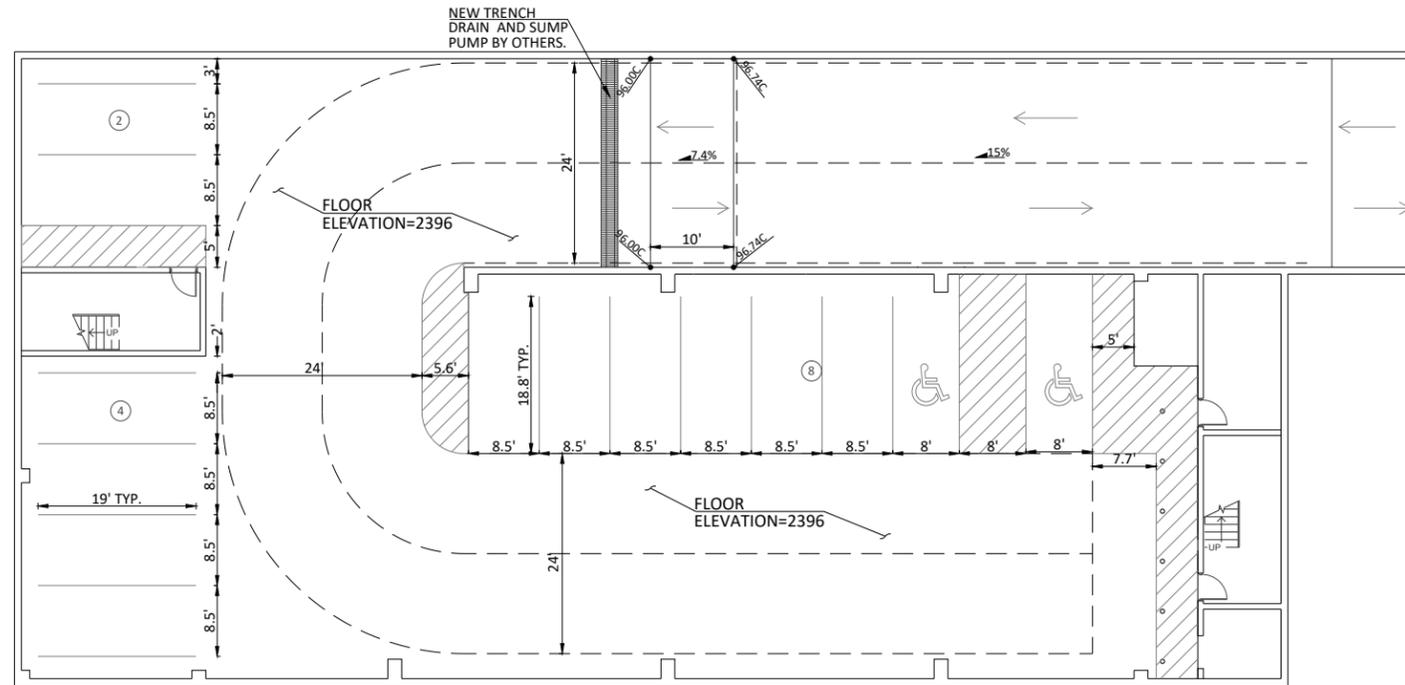
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LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

**DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS utilities + easements plan**

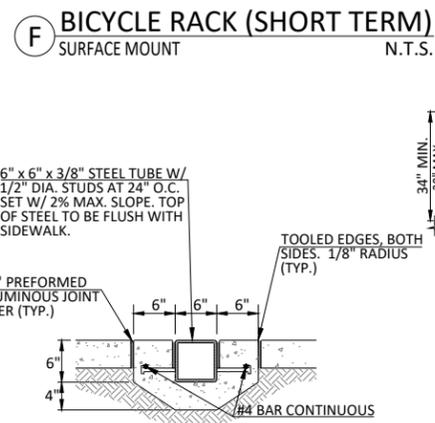
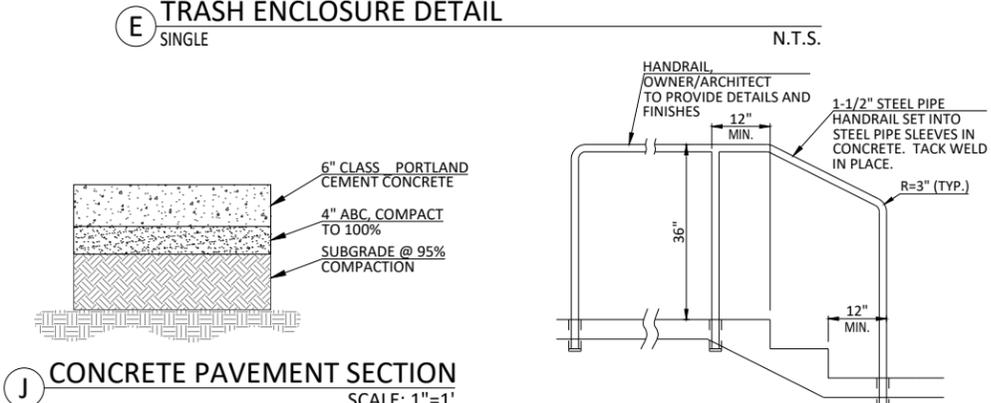
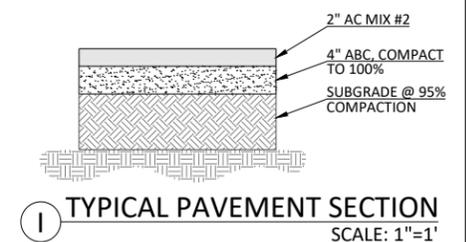
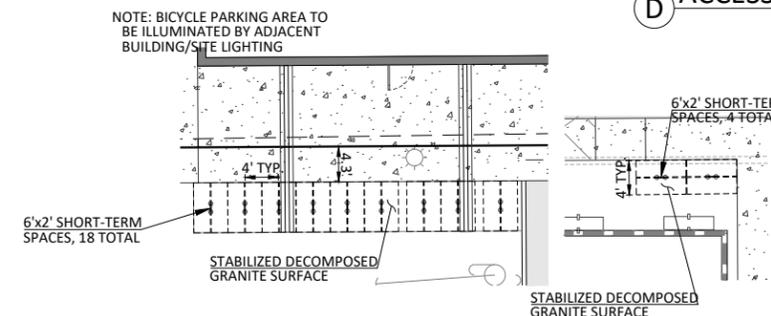
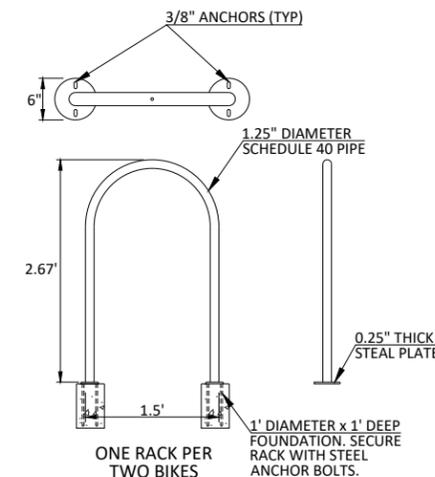
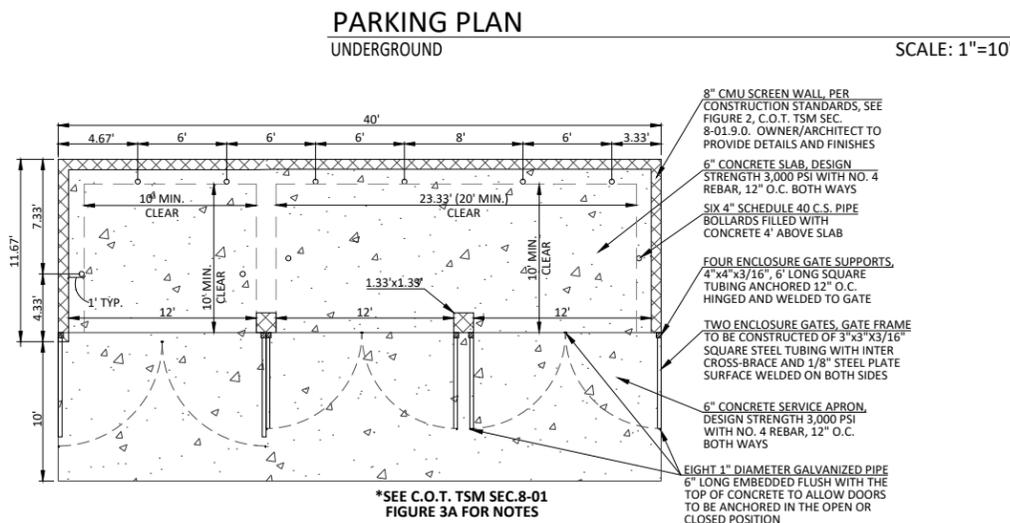
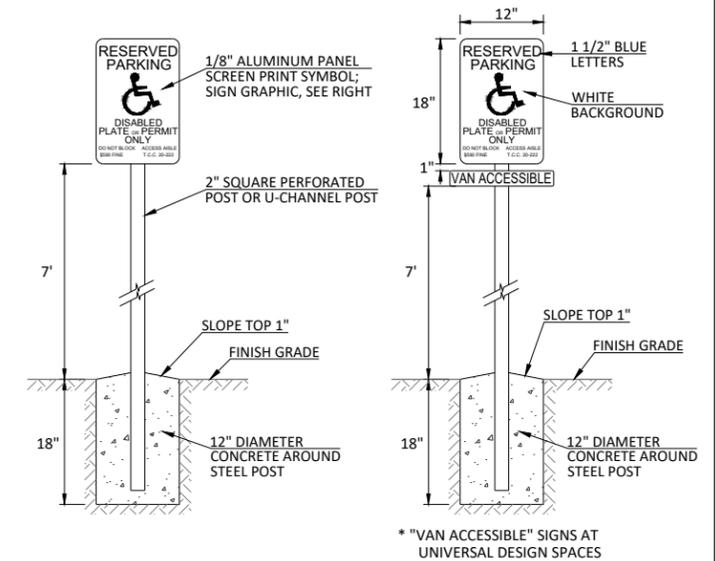
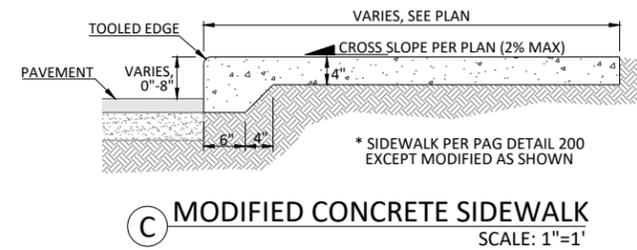


DP19-0220  
REF: C9-18-02; C9-74-19, T19SE#####



**A CONCRETE VERTICAL CURB**  
TYPE 2, H=6"  
SCALE: 1"=1'  
PAG DETAIL 209

**B TYPICAL PAVEMENT SECTION**  
SCALE: 1"=1'



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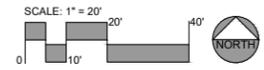
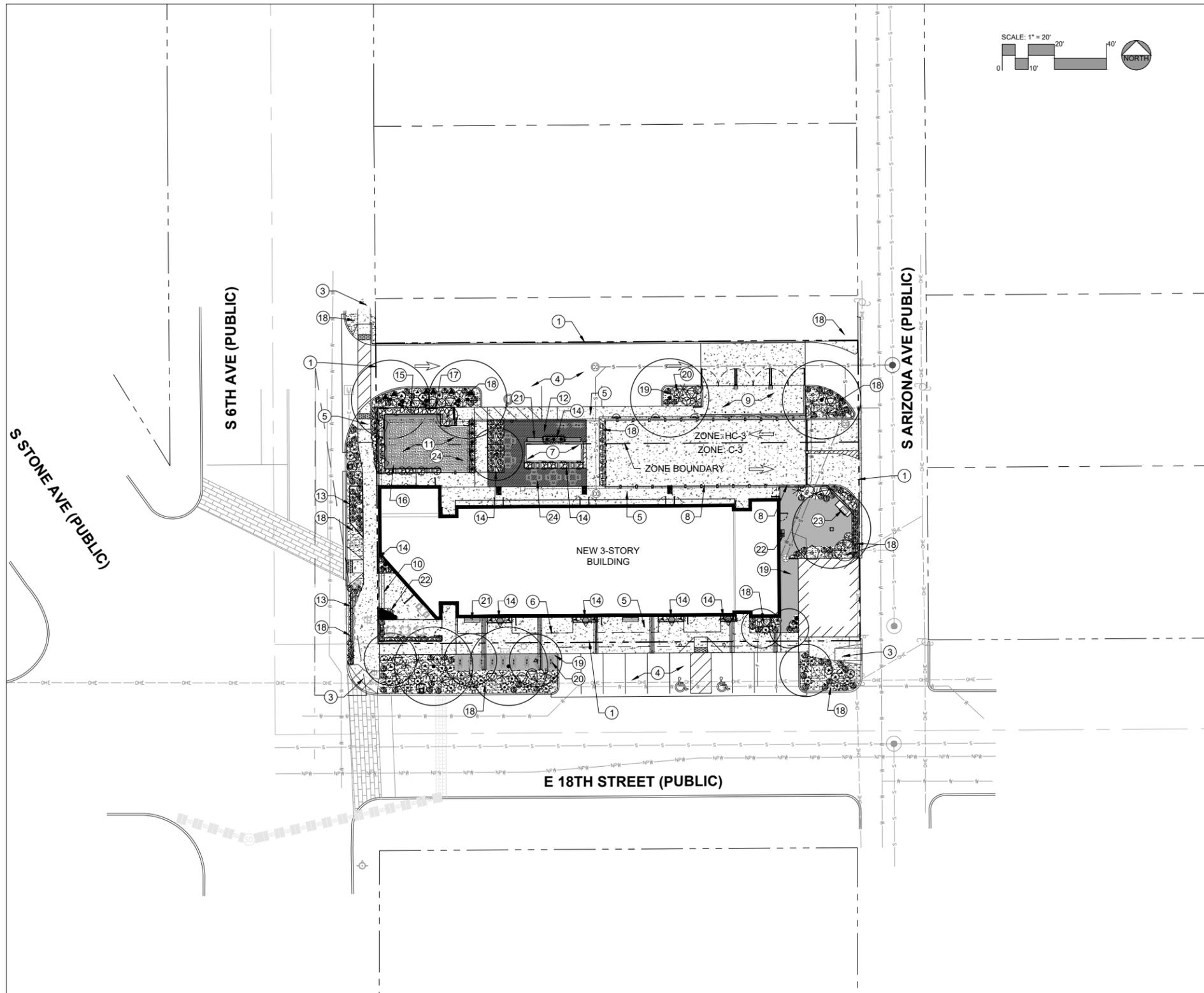
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**DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS details**



DP19-0220  
REF: C9-18-02; C9-74-19, T19SE#####



**LANDSCAPE LEGEND**

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
Olneya tesota ironwood	24" box 1.5" caliper	1
Fraxinus greggii little leaf ash	24" box 1.5" caliper	4
Celtis reticulata netleaf hackberry	24" box 1.5" caliper	6
Pistacia x 'Red Push' red push pistache	24" box 1.5" caliper	1
Acacia willardiana Palo blanco	24" box 1.5" caliper	2

Shrubs / Ground Covers	Size	Qty
Bauhinia lunarioides 'White' chihuahuan orchid shrub	5 gallon	2
Calliandra eriophylla native fairy duster	5 gallon	20
Bouteloua gracilis 'Blond Ambition' blond ambition blue grama	5 gallon	7
Calliandra californica baja fairy duster	5 gallon	13
Chrysacimnia mexicana damianita daisy	1 gallon	6
Tecoma stans 'glod star' gold star yellow bells	5 gallon	5
Justicia spicigera mexican honeysuckle	5 gallon	22
Setcreasea pallida purple heart	1 gallon	28

Vines	Size	Qty
Parthenocissus 'Hacienda Creeper' hacienda creeper	5 gallon	2
Trachelospermum jasminoides star jasmine	5 gallon	3
Podranea ricasoleana pink trumpet vine	5 gallon	2
Vitis californica 'Roger's Red' california grape	5 gallon	1
Antigonon leptopus 'Baja Red' red queen's wreath	5 gallon	11

Cacti / Succulents	Size	Qty
Agave geminiflora twin flower agave	5 gallon	4
Asclepias subulata desert milkweed	5 gallon	17
Pedilanthus bracteatus tall lady slipper	15 gallon	9
Euphorbia antisyphilitica candelilla	5 gallon	19
Nolina microcarpa beargrass	5 gallon	25
Yucca pallida pale leaf yucca	5 gallon	123
Pedilanthus macrocarpus slipper plant	15 gallon	8
Lophocereus schoti totem pole cactus	5 gallon	5
Cleistocactus strausii silver torch	5 gallon	4

**HARDSCAPE MATERIAL LEGEND**

Furnish and install all material per plans, details, and specs. Paver - Patio dining area

Acker-stone holland stone 1 - refer to details and specifications - 90° herringbone

**GROUND COVER MATERIAL LEGEND**  
Furnish and install all material per plans, details, and specs.  
Decorative rock 01 - Landscape areas  
type: screened rock  
size: 1/2"  
color: coco brown - pioneer materials  
depth: 2"  
notes: install in all landscape planting areas as indicated on plans

Decorative rock 02 - Bicycle parking / patio  
type: stabilized decomposed granite  
size: 3/8" minus  
color: palomino gold  
depth: 3"  
notes: stabilizer solutions stabilizer® w/ 15lbs of stabilizer® per ton of aggregate

Turf - Artificial turf  
pioneer materials artificial grass - walden w/ triple z zeolite infill, installed per specifications and details

**LANDSCAPE KEY NOTES**

- Property line
- Sight visibility triangle
- Existing sidewalk
- Pavement - refer to civil
- Concrete sidewalk - refer to civil
- Building/structure overhead, typ.
- Sky light - refer to architectural plans
- Wall/fence - refer to site plan
- Trash enclosure - refer to site plan
- Concrete steps
- Paver patio - refer to legend
- Artificial turf - refer to legend
- Steel planter - 8" height
- Steel planter - 24" height
- Steel planter - 36" height
- Bench attached to steel planter
- Trellis attached to steel planter
- Decorative rock 01 - all landscape areas, typ.
- Decorative rock 02 - stabilized dg
- Bicycle rack - function first design bikerib 2.0, standard finish
- Bench - landscape forms neoromantic bench, 69" backed, surface mount tab
- Waste/recycle receptacle
- Bbq island - colored concrete countertop, smooth stucco base, 36" professional outdoor built-in grill (lynx grill L36R-3 or approved equal)
- Site furnishing by others - shown for reference only

Refer to specifications for additional information on policies, performances, and products.

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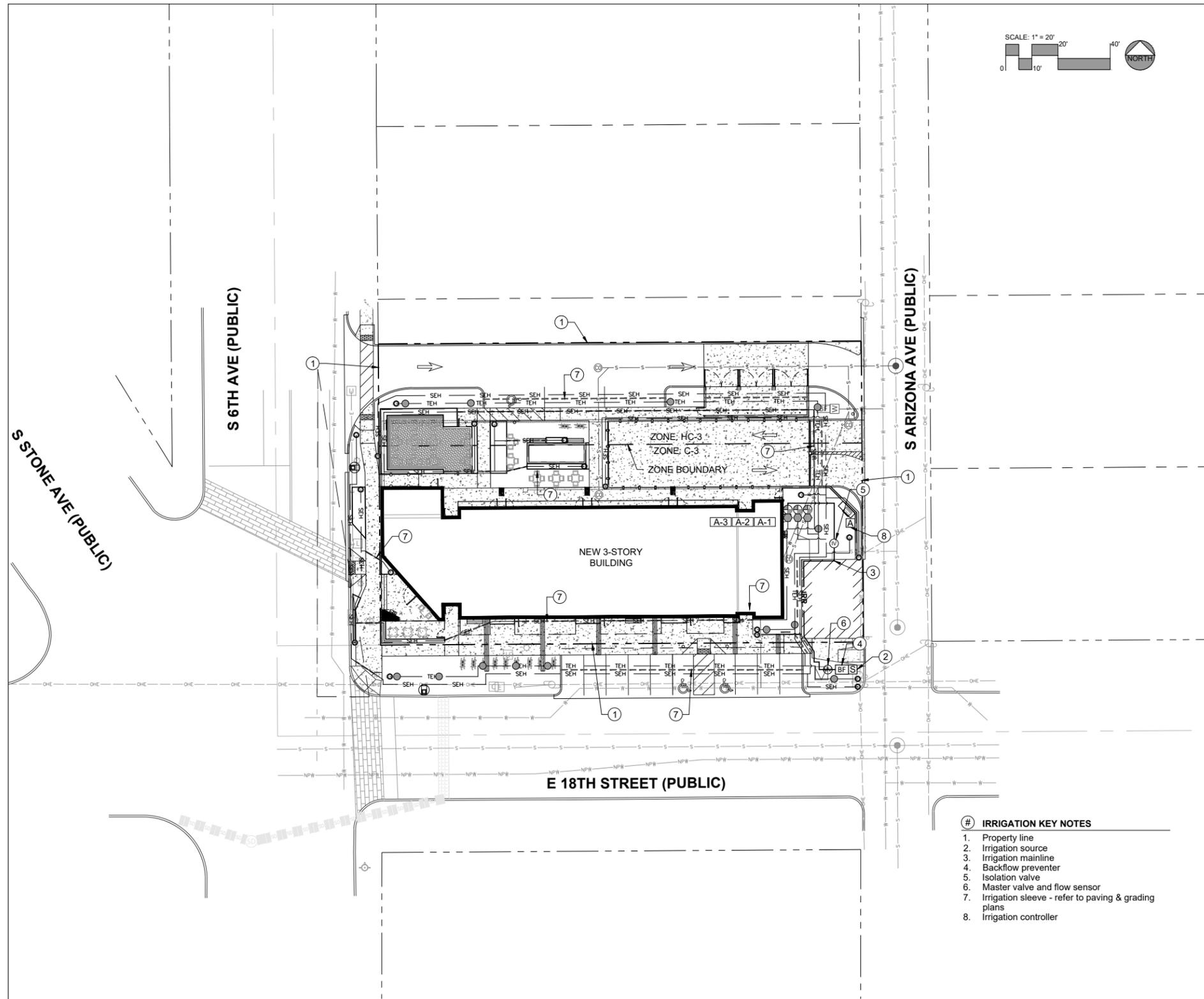
**DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS landscape plan**



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DP19-0220  
REF: C9-18-02; C9-74-19; T19SA

7 OF 10



- # IRRIGATION KEY NOTES**
- Property line
  - Irrigation source
  - Irrigation mainline
  - Backflow preventer
  - Isolation valve
  - Master valve and flow sensor
  - Irrigation sleeve - refer to paving & grading plans
  - Irrigation controller

Refer to specifications for additional information on policies, performances, and products.

**EMITTER SCHEDULE**

Plant Name	Type	Outlets	Gph	Gph outlet plant
<b>Trees</b>				
Oleña tesota	m	5	2.0	10.0
ironwood				
Fraxinus greggii	m	5	2.0	10.0
little leaf ash				
Celtis reticulata	m	5	2.0	10.0
netleaf hackberry				
Pistacia x 'Red Push'	m	6	2.0	12.0
red push pistache				
Acacia willardiana	m	4	2.0	8.0
palo blanco				
<b>Shrubs / Ground Covers</b>				
Bauhinia lunariodes 'White'	s/m	3	2.0	6.0
chihuahuan orchid shrub				
Calliandra eriophylla	s/m	2	1.0	2.0
native fairy duster				
Bouteloua gracilis 'Blond Ambition'	s/m	1	1.0	1.0
blond ambition blue grama				
Calliandra californica	s/m	2	1.0	2.0
baja fairy duster				
Chrysactinia mexicana	s/m	2	1.0	2.0
damianita daisy				
Tecoma stans 'glod star'	s/m	3	2.0	6.0
gold star yellow bells				
Justicia spicigera	s/m	2	2.0	4.0
mexican honeysuckle				
Setcreasea pallida	s/m	1	1.0	1.0
purple heart				
<b>Vines</b>				
Parthenocissus 'Hacienda Creeper'	s/m	2	2.0	4.0
hacienda creeper				
Trachelospermum jasminoides	s/m	2	2.0	4.0
star jasmine				
Podranea ricasoleana	s/m	2	2.0	4.0
pink trumpet vine				
Vitis californica 'Roger's Red'	s/m	2	2.0	4.0
california grape				
Antigonon leptopus 'Baja Red'	s/m	2	2.0	4.0
red queen's wreath				
<b>Cacti / Succulents</b>				
Agave gemniflora	s/m	1	0.5	0.5
twin flower agave				
Asclepias subulata	s/m	1	1.0	1.0
desert milkweed				
Pedilanthus bracteatus	s/m	1	1.0	1.0
tall lady slipper				
Euphorbia antisiphilitica	s/m	1	1.0	1.0
candellilla				
Nolina microcarpa	s/m	1	1.0	1.0
beargrass				
Yucca pallida	s/m	1	1.0	1.0
pale leaf yucca				
Pedilanthus macrocarpus	s/m	1	1.0	1.0
lady slipper				
Lophocereus schoti	s/m	1	1.0	1.0
totem pole cactus				
Cleistocactus strausii	s/m	1	1.0	1.0
silver torch				

**IRRIGATION LEGEND**

- furnish and install all material per plans, details, and specifications
- irrigation source / point of connection - irrigation meter - 3/4" (refer to civil water plans)
- reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
- irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
- irrigation controller - rain master rme 16-eg-w, 16 station
- master valve and flow sensor: master valve - superior 3100 n.o. - 1"; flow sensor - cst fsi-1 series - 1"
- isolation valve - 1-1/2" lead free brass ball valve
- remote control valve & filter - valve - irrigrol 700 series, 700-1
- irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
- tree line - sch. 40 pvc - 3/4" unless otherwise shown
- shrub line - sch. 40 pvc - 3/4" unless otherwise shown
- hose end cap
- pressure regulating filter - rain bird - prb-gkchk-100
- multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
- single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

**IRRIGATION VALVE SCHEDULE**

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-9		not used
A-2	1"	shrub	A-10		not used
A-3	1"	planter	A-11		not used
A-4		not used	A-12		not used
A-5		not used	A-13		not used
A-6		not used	A-14		not used
A-7		not used	A-15		not used
A-8		not used	A-16		not used

- VALVE SCHEDULE NOTES:**
- (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
  - Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

**IRRIGATION NOTES:**

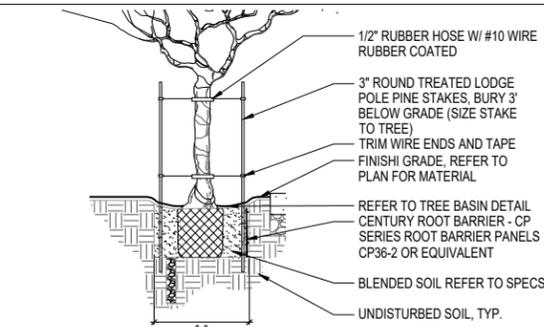
- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
- The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
- Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
- Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
- If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
- Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
- Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
- Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
- Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
- Contractor shall set additional programs on controller for deep root watering and plant growth from March thru June.
- Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
- Contractor shall have the irrigation functional, prior to start of planting.



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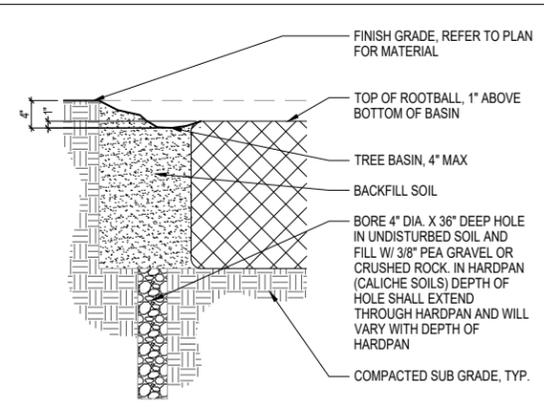
	<p>ARC STUDIOS PROJECT NO: 01-19043</p> <p><b>ARC STUDIOS</b> 3117 E. Flower Street Tucson, Arizona 85716 phone: 520.882.9655 www.arcstudiosinc.com</p>	<p><b>OWNER/DEVELOPER</b> KBL 747 LLC PO BOX 64669 TUCSON, ARIZONA 85728-4669 ATTN: MR. LAWRENCE KAPPLER E: lkappler@tbrconstruction.net ph: 520-631-5907</p>
<p>LOT 1 AND THE SOUTH 10 FEET OF LOT 2 OF CITY OF TUCSON, BOOK 2 OF MAPS AND PLATS AT PAGE 4, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA</p>		<p><b>SITE ADDRESS</b> 741 S 6TH AV TUCSON, ARIZONA 85701</p>
<p><b>DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS irrigation plan</b></p>		<p>8 OF 10</p>

DP19-0220  
REF: C9-18-02; C9-74-19; T19SA



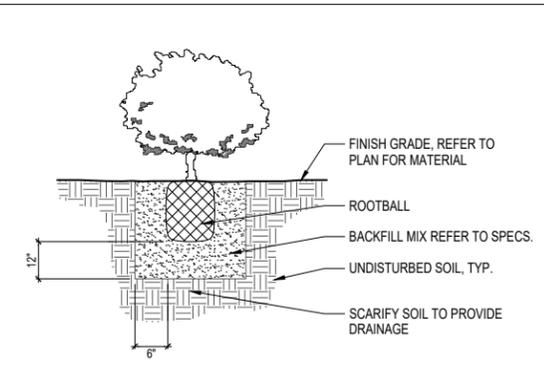
- NOTES:**
- DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
  - SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
  - SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
  - DO NOT COVER CROWN WITH SOIL.
  - ROOT GUARDS SHALL BE PROVIDED ON ALL SIDES WHERE ADJACENT HARDSCAPE IS WITHIN 10' OF THE TREE/PLANT.
  - REFER TO TREE STAKING DETAIL FOR ADDITIONAL INFORMATION.

1 15 GALLON & 24IN BOX - TREE PLANTING NTS



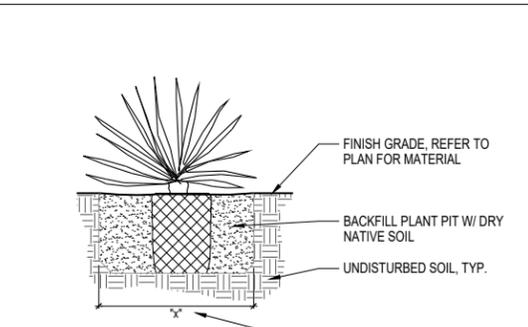
- NOTES:**
- TREE BASINS NOT TO EXCEED 4" DEPTH.
  - TOP OF ROOTBALL TO BE EXPOSED TO SURFACE.
  - BOTTOM OF PLANT PIT EQUAL TO DEPTH OF ROOTBALL.

2 TREE BASIN NTS



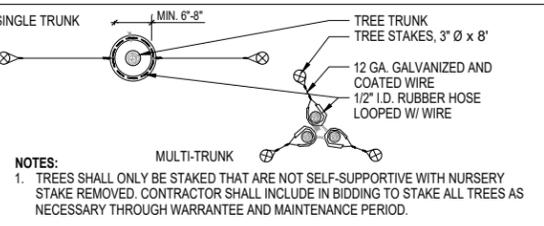
- NOTES:**
- SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT. DO NOT COVER CROWN WITH SOIL.
  - SETTLE BACKFILL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.

3 SHRUB PLANTING NTS



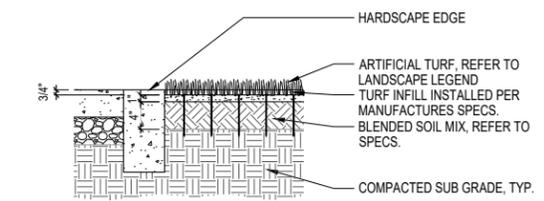
- NOTES:**
- SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT. DO NOT COVER CROWN WITH SOIL.
  - SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.

4 ACCENT PLANTING NTS



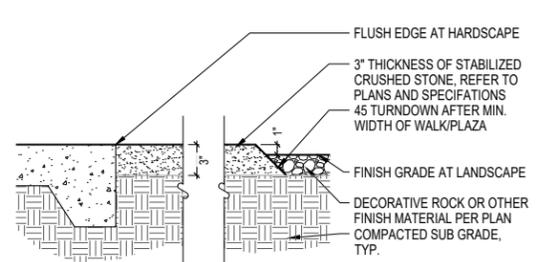
- NOTES:**
- TREES SHALL ONLY BE STAKED THAT ARE NOT SELF-SUPPORTIVE WITH NURSERY STAKE REMOVED. CONTRACTOR SHALL INCLUDE IN BIDDING TO STAKE ALL TREES AS NECESSARY THROUGH WARRANTY AND MAINTENANCE PERIOD.

5 TREE STAKING NTS



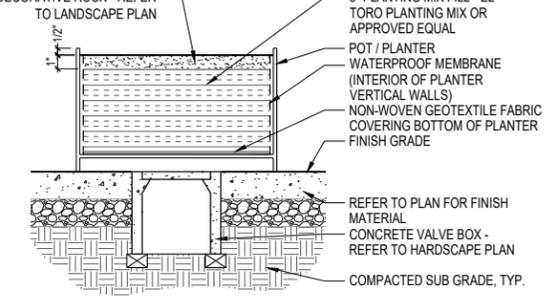
- NOTES:**
- REFER TO SPECIFICATIONS FOR ADDITIONAL TURF INSTALLATION REQUIREMENTS.
  - CONTRACTOR SHALL CONFIRM SUPPLIER AND PROVIDE SAMPLE FOR OWNER APPROVAL PRIOR TO INSTALLATION.
  - INFILL MATERIAL SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS.
  - STAGER AND VARY PATTERN OF TURF SEAMS.
  - SUB GRADE SHALL BE ESTABLISHED PRIOR TO TURF INSTALLATION.
  - ATTACH SEAMS WITH 1099 RUBBER AND GASKET ADHESIVE OR APPROVED EQUAL BY MANUFACTURE.
  - FINISH TURF GRADE SHALL BE UNIFORM, FREE OF ROUITS, BERMS, RIDGES, AND DEPRESSIONS.

7 ARTIFICIAL TURF AT HARDSCAPE NTS



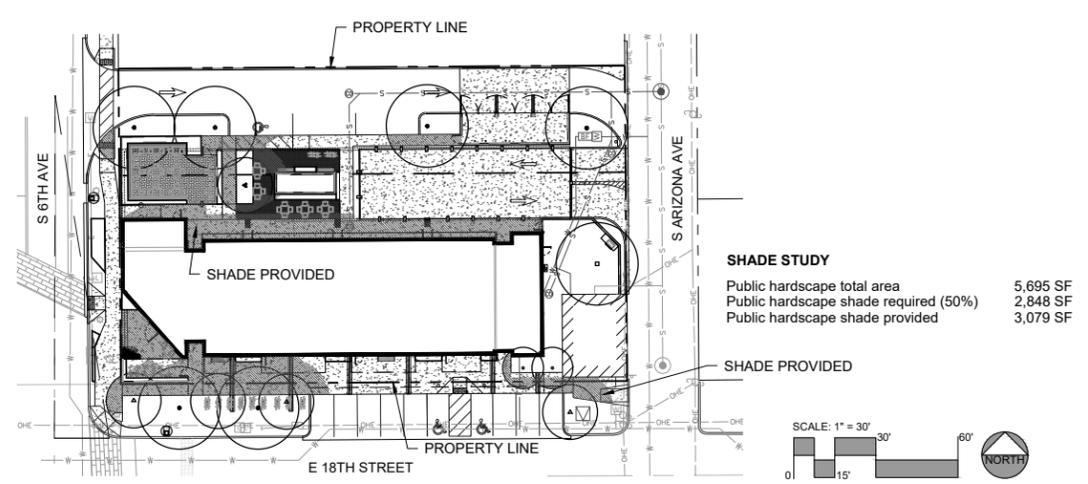
- NOTES:**
- CONTRACTOR SHALL PROVIDE MOCK UP FOR PATH INSTALLATION OF 10' SECTION FOR OWNER REPRESENTATIVE OR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONTINUATION OF WORK.
  - STABILIZED DG TO BE PREMIXED OFF SITE.
  - TOTAL DEPTH TO BE 3" MIN. AND COMPACTED IN TWO LIFTS.

8 STABILIZED DG AT LANDSCAPE / HARDSCAPE NTS



- NOTES:**
- EL TORO PLANT MIX, A BLEND OF COMPOSTED FINELY SCREENED EL TORO FOREST MULCH MIXED WITH FINELY SCREENED NATIVE TOPSOIL, WASHED MORTAR SAND, 90% SOIL SULFUR AND 16-20-0 AMMONIUM PHOSPHATE FERTILIZER OR APPROVED EQUAL PLANTING MIX.
  - CONTRACTOR SHALL ENSURE SUBGRADE DRAINS WITHIN 4 HOUR PERIOD. CONTRACTOR SHALL PROVIDE DRAINAGE CHIMNEYS 6' ON CENTER TO AREAS WHERE SUBGRADE DOES NOT DRAIN.

9 POT/PLANTER - PLANTING MIX NTS



**SHADE STUDY**

Public hardscape total area	5,695 SF
Public hardscape shade required (50%)	2,848 SF
Public hardscape shade provided	3,079 SF

- GENERAL LANDSCAPING NOTES:**
- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
  - For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
  - The Landscape Architect is to approve any and all substitutions.
  - Plant list quantities are provided for contractor's convenience only. Plans take precedence.
  - Exposed soil in planters shall be raked and free from rocks, weeds, etc.
  - Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
  - Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
  - Ground cover and/or decorative rock shall extend under shrubs unless noted.
  - After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
  - Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
  - All earthwork is to be done so that all water drains away from all structures.
  - All underground utilities are to be located before digging.
  - All plant material to be guaranteed for a period of one (1) year after final acceptance.
  - Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
  - In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
  - All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
  - Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
  - Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
  - All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
  - Final plant locations must be in compliance with all utility setback requirements.
  - Sleeve all pipes and wires under paved areas including streets and sidewalks.
  - Irrigation lines are shown schematically; locate all line in unpaved areas.
  - Locate all lines within the property line when possible.

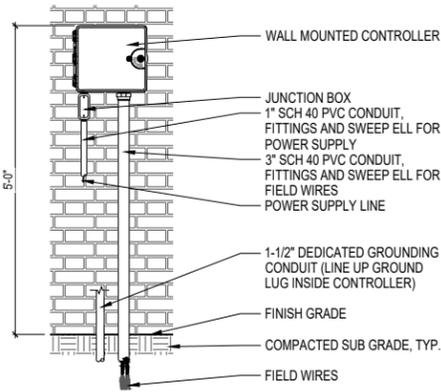
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
- The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.



NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				KBL 747 LLC PO BOX 64669 TUCSON, ARIZONA 85728-4669 ATTN: MR. LAWRENCE KAPPLER E: lkappler@tbrconstruction.net ph: 520-631-5907
				<b>SITE ADDRESS</b> 741 S 6TH AV TUCSON, ARIZONA 85701
				<b>DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS landscape details</b>

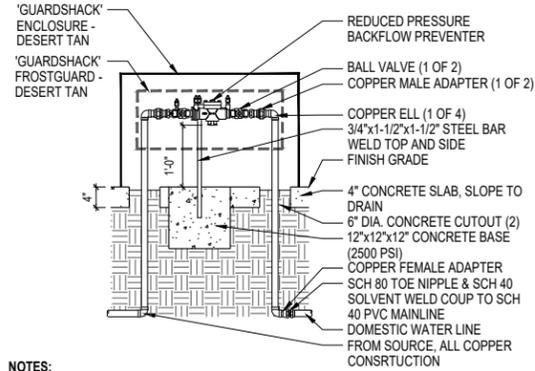
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DP19-0220 REF: C9-18-02; C9-74-19; T19SA 9 OF 10



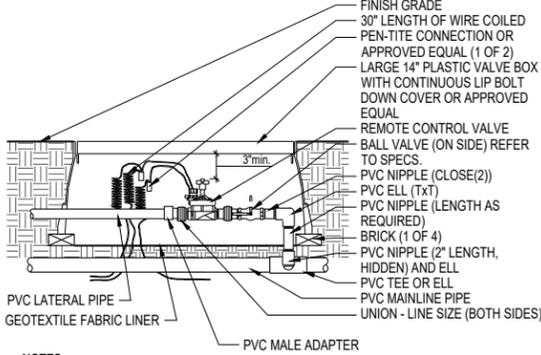
- NOTES:**
1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

**1 WALL MOUNTED CONTROLLER** NTS



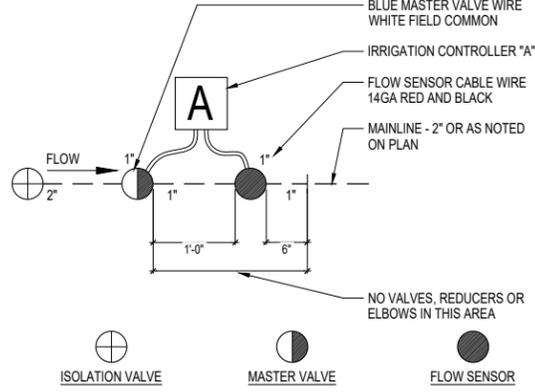
- NOTES:**
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
  2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)
  3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.

**2 REDUCED PRESSURE BACKFLOW PREVENTER** NTS



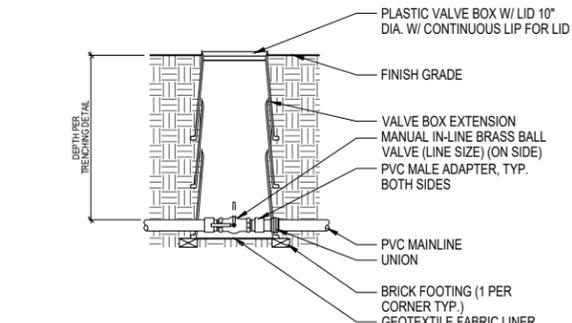
- NOTES:**
1. GREEN BOXES IN TURF AREAS.
  2. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
  3. PURPLE BOXES IN RECLAIMED SYSTEMS.

**3 MASTER VALVE ASSEMBLY** NTS



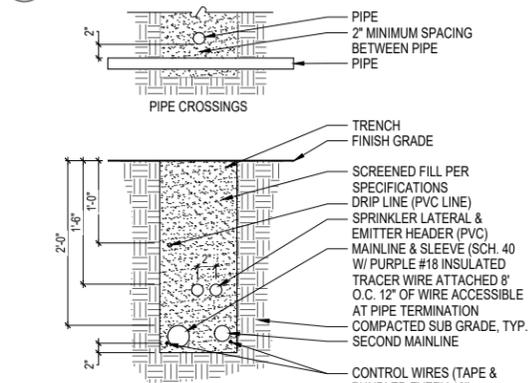
- NOTE:** INSTALL MASTER VALVE AND FLOW SENSOR PER REQUIRED 10 - 5 RULE. 10 TIMES DIAMETER BEFORE AND 5 TIMES DIAMETER AFTER FLOW SENSOR FREE OF REDUCERS AND CHANGE IN DIRECTION

**4 MASTER VALVE AND FLOW SENSOR DIAGRAM** NTS



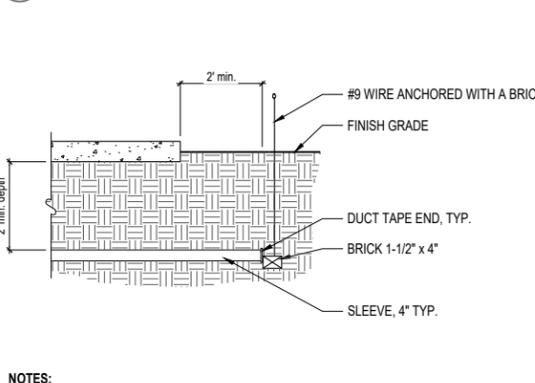
- NOTES:**
1. ADD BOX EXTENSIONS AS NECESSARY.

**5 ISOLATION BRASS BALL VALVE** NTS



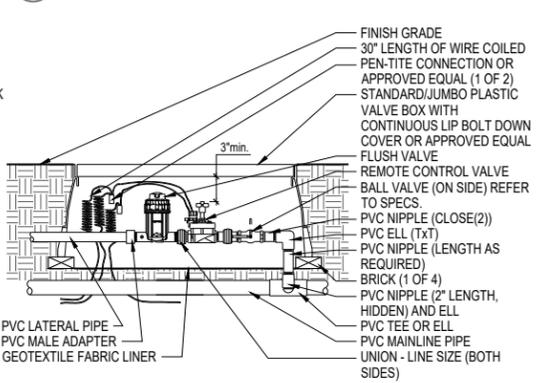
- NOTES:**
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
  2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.
  3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.
  4. 4" PIPE & LARGER SHALL BE 30" BELOW FINISH GRADE.

**6 IRRIGATION TRENCHING** NTS



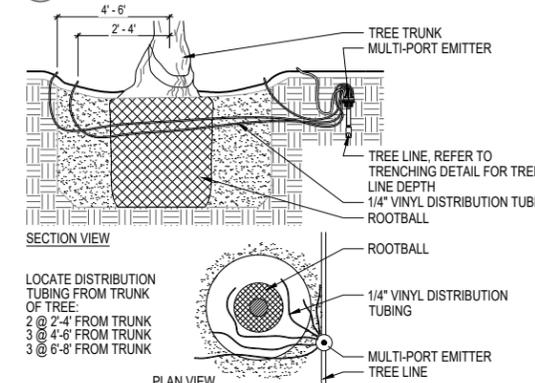
- NOTES:**
1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
  2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
  3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
  4. MECHANICALLY TAMP BACKFILL SOIL TO 95% PROCTOR.

**7 SLEEVING** NTS



- NOTES:**
1. PROVIDE DECODERS AS REQUIRED FOR 2-WIRE SYSTEMS
  2. GREEN BOXES IN TURF AREAS.
  3. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
  4. PURPLE BOXES IN RECLAIMED SYSTEMS.

**8 REMOTE CONTROL VALVE - DRIP/BUBBLER** NTS



- NOTES:**
1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

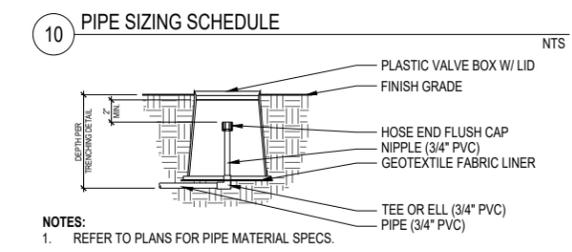
**9 MULTI-PORT EMITTER DRIP TUBING @ TREE** NTS

**10 PIPE SIZING SCHEDULE** NTS

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

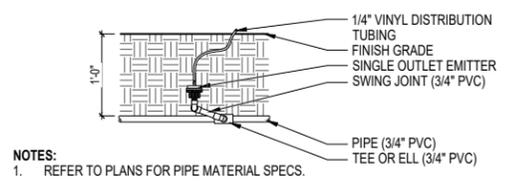
**NOTES:**

1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC. PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
2. MAIN LINE - SCH. 80 FITTINGS.
3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
4. PRESSURE TESTS, 4 HOURS:
  - MAIN LINE AT 150 PSI
  - LATERALS AND DRIP LINE AT 70 PSI



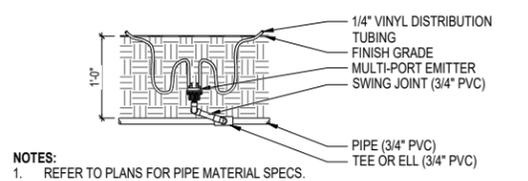
- NOTES:**
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

**11 HOSE END CAP** NTS



- NOTES:**
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

**12 SINGLE OUTLET EMITTER** NTS



- NOTES:**
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

**13 MULTI-PORT EMITTER** NTS



Refer to specifications for additional information on policies, performances, and products.

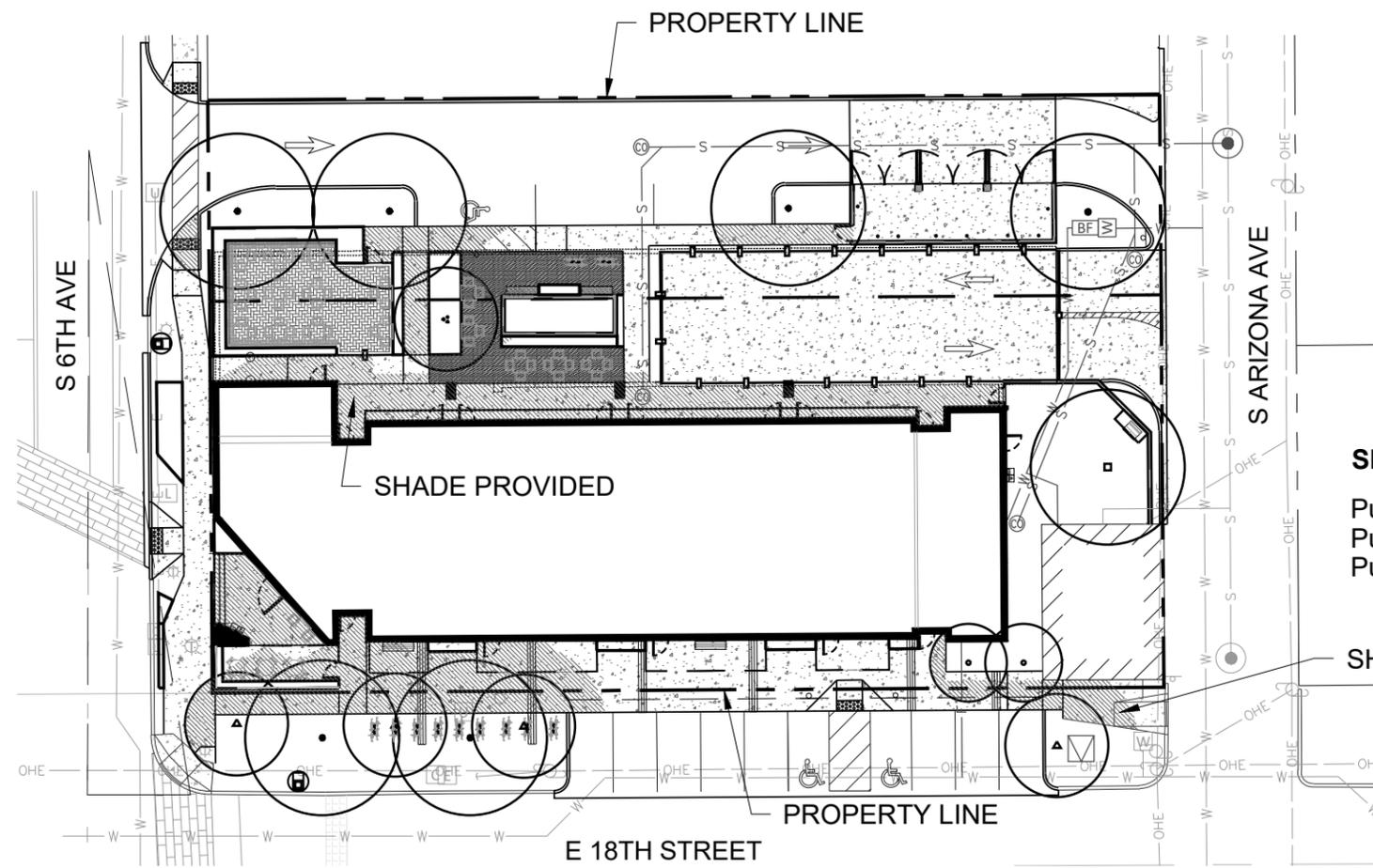
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				<b>SITE ADDRESS</b> 741 S 6TH AV TUCSON, ARIZONA 85701



ARC STUDIOS PROJECT NO: 01-19043  
**ARC STUDIOS**  
 39813  
 3117 E. Flower Street  
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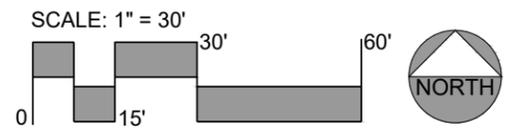
**DEVELOPMENT PACKAGE for THE BAFFERT AT FIVE POINTS irrigation details**



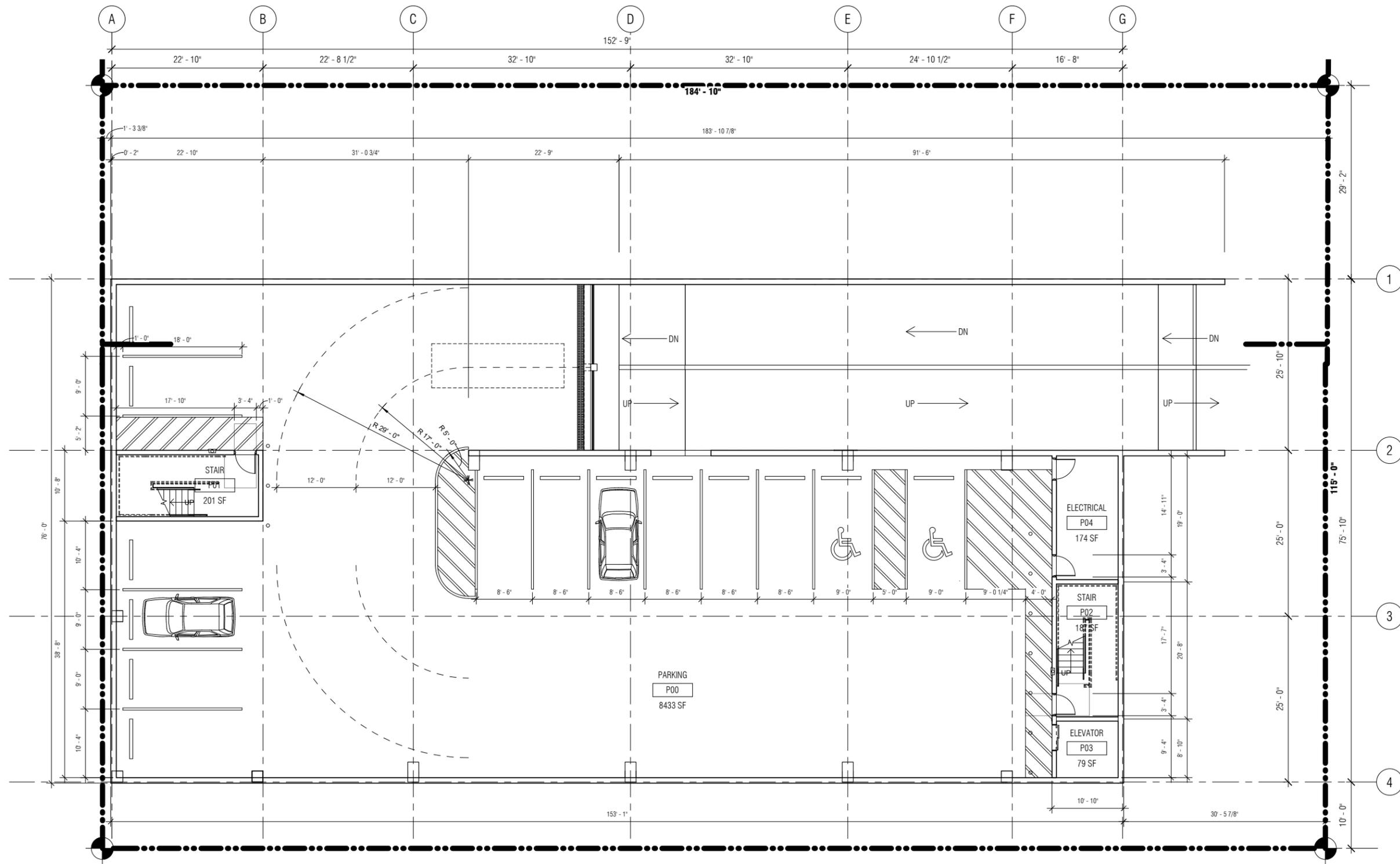
**SHADE STUDY**

Public hardscape total area	5,695 SF
Public hardscape shade required (50%)	2,848 SF
Public hardscape shade provided	3,079 SF

SHADE PROVIDED





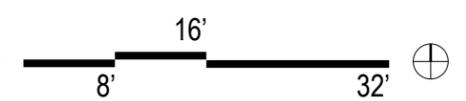


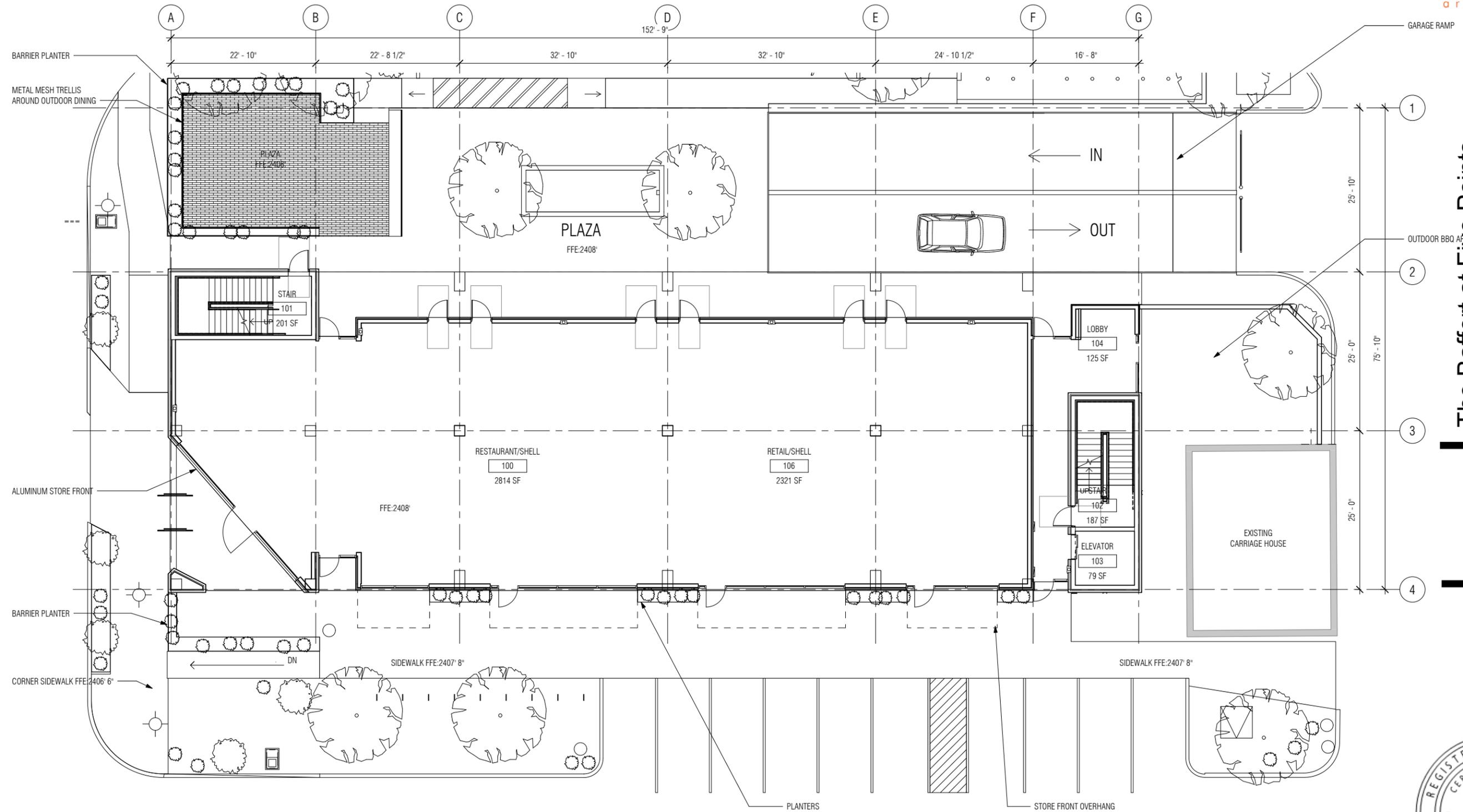
**The Baffert at Five Points**  
741 S. 6th Avenue  
Tucson, AZ 85701

**PLANS**



**Parking Plan**  
1/16" = 1' - 0"



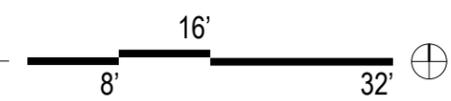


**The Baffert at Five Points**  
741 S. 6th Avenue  
Tucson, AZ 85701

PLANS

**First Floor Plan**

1/16" = 1' - 0"



David E. Shambach, Architect, Inc.

261 N. Court Avenue, Tucson, AZ 85701

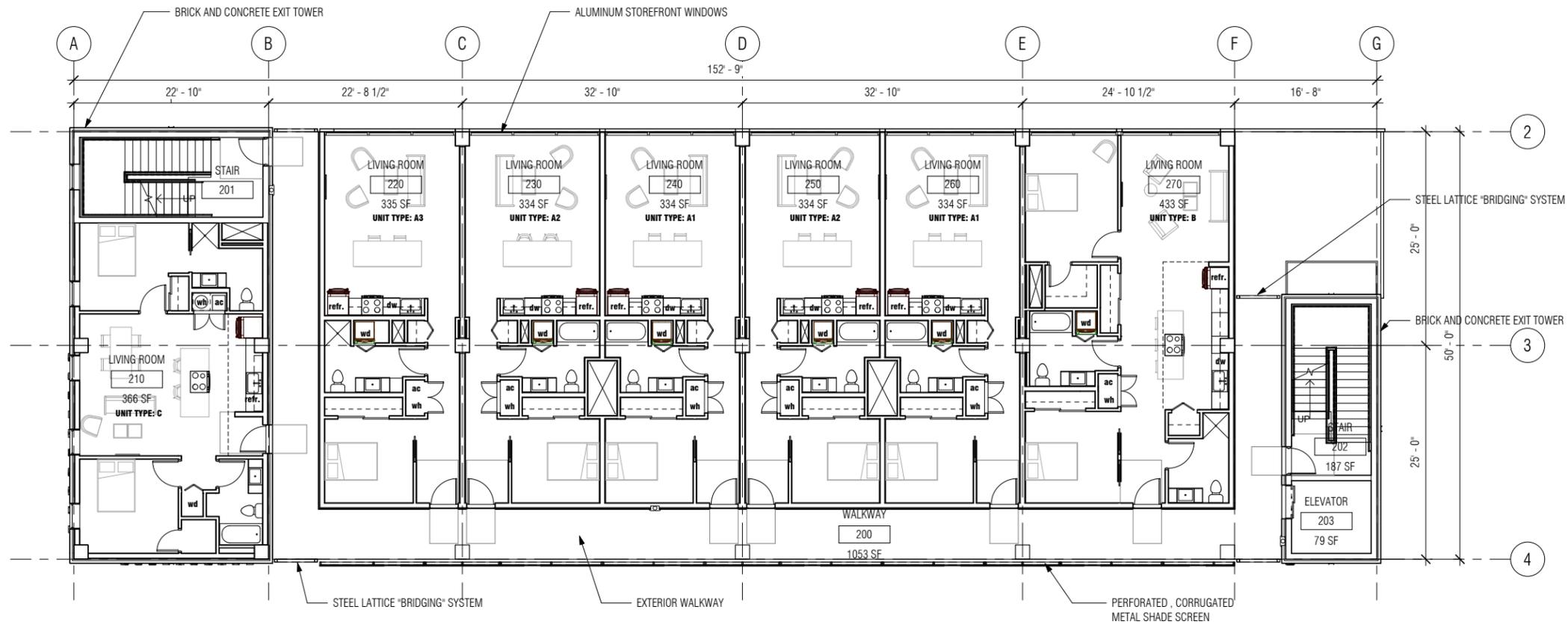
www.shambach.com

520.505.3910



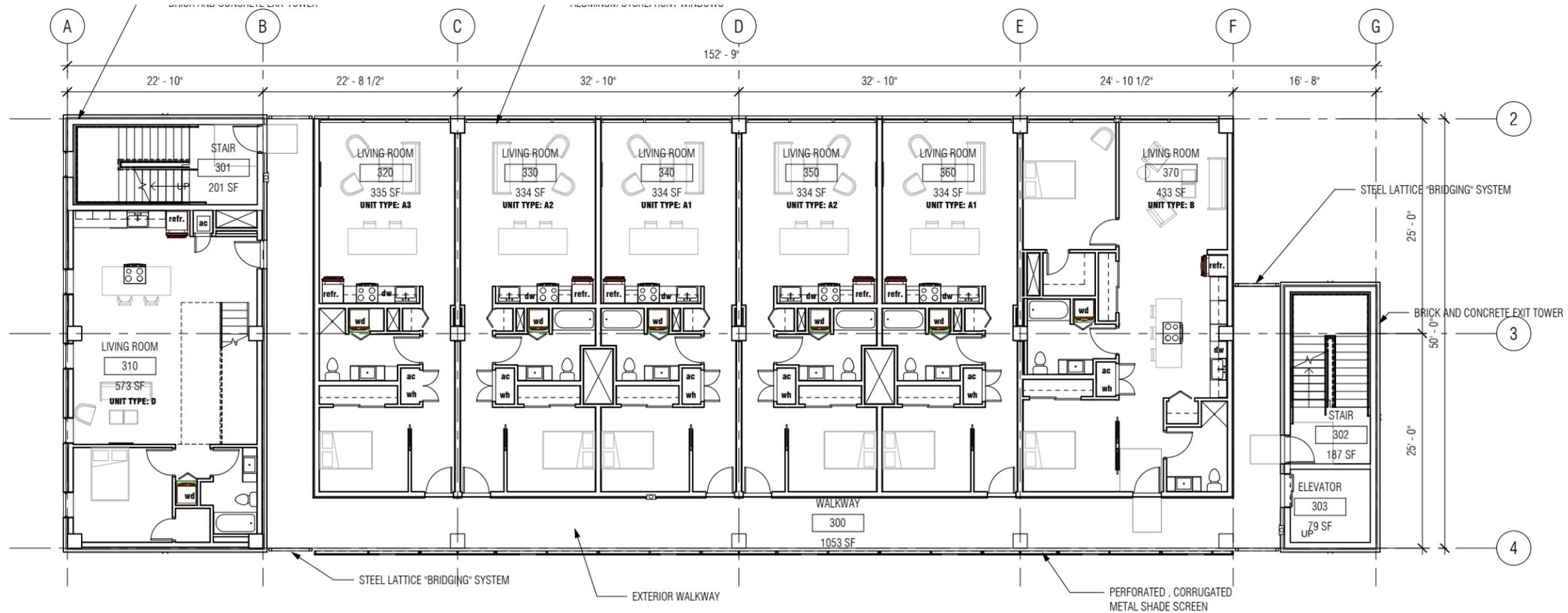
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**PLANS**



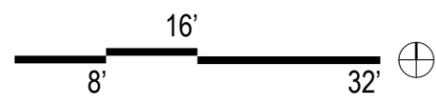
**Second Floor Plan**

1/16" = 1' - 0"



**Third Floor Plan**

1/16" = 1' - 0"

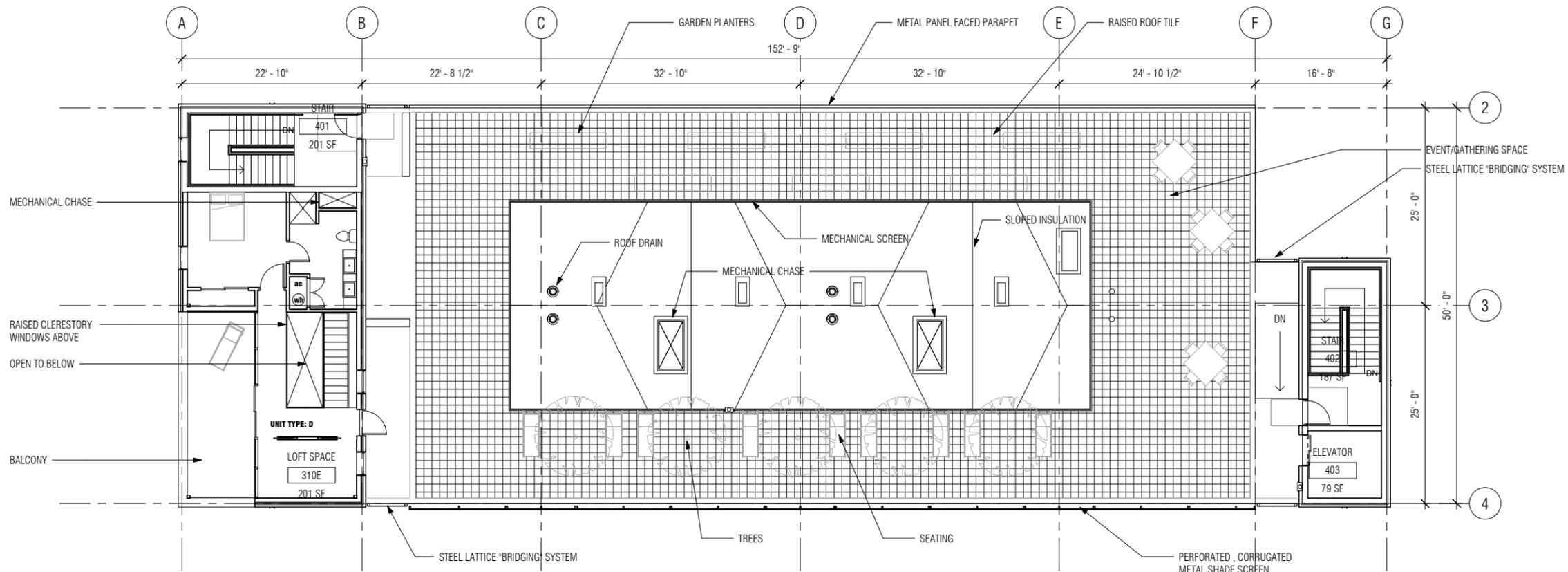


**The Baffert at Five Points**  
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PLANS

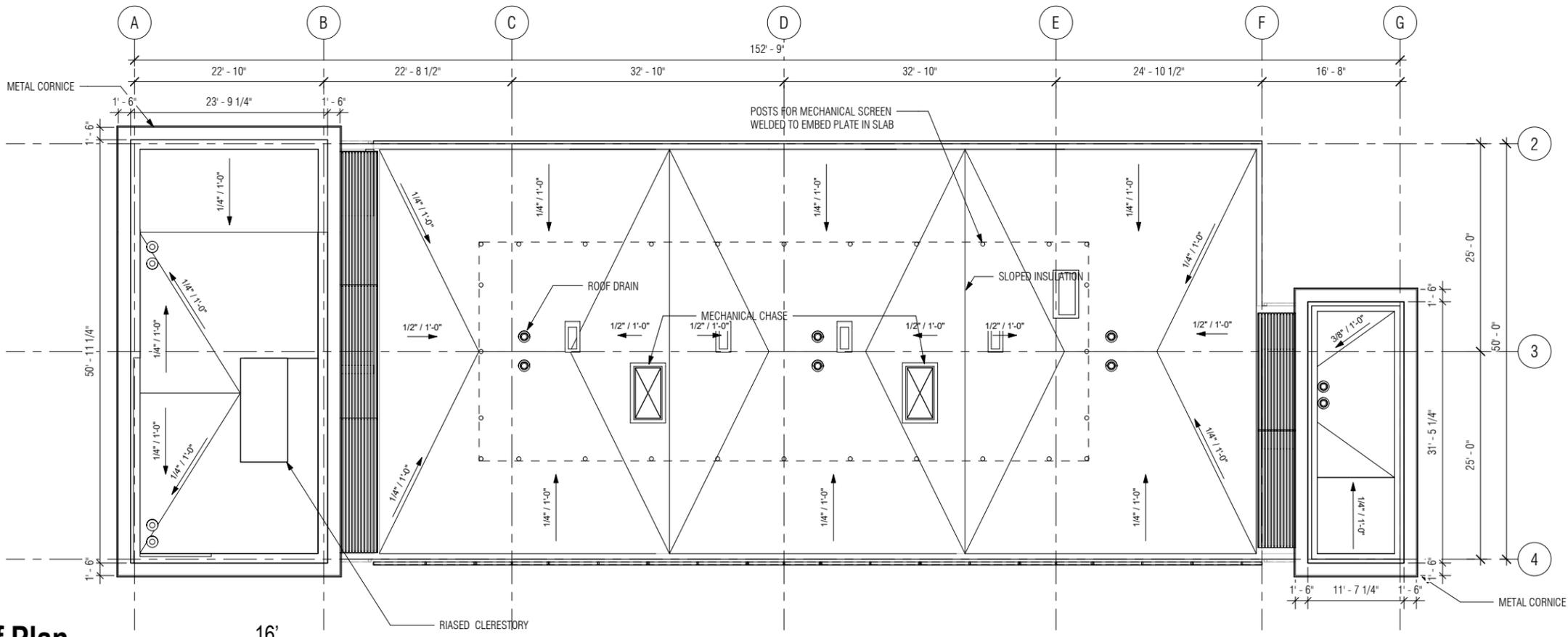


EXPIRES 6/30/20



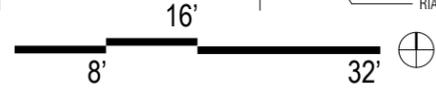
**Low Roof Plan**

1/16" = 1' - 0"



**High Roof Plan**

1/16" = 1' - 0"



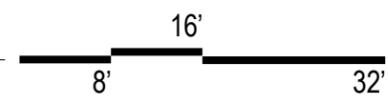


**The Baffert at Five Points**  
741 S. 6th Avenue  
Tucson, AZ 85701

**ELEVATION**

**South Elevation**

1/16" = 1' - 0"



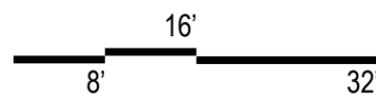


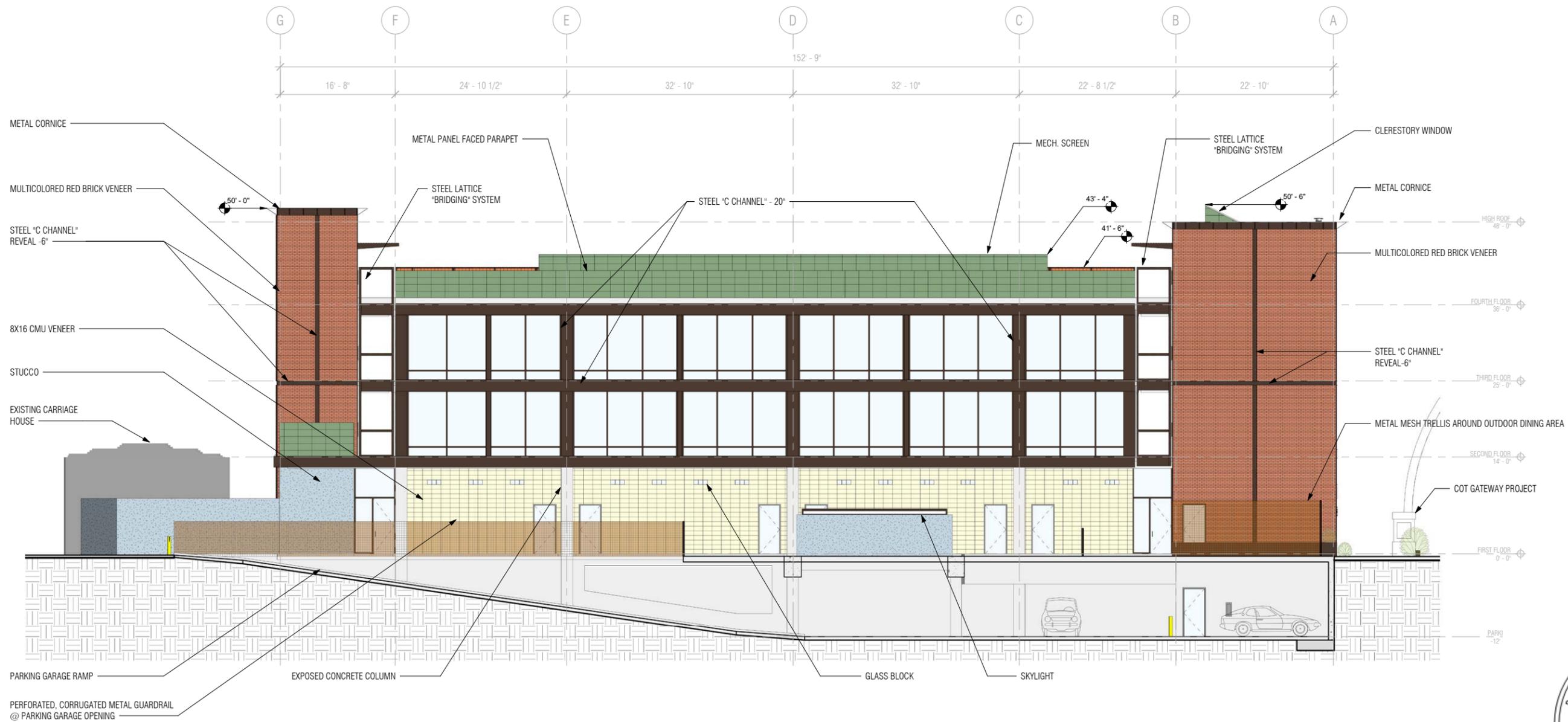
The Baffert at Five Points  
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ELEVATION

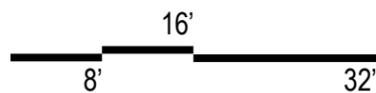
**West Elevation**

1/16" = 1' - 0"





**North Elevation**  
1/16" = 1' - 0"

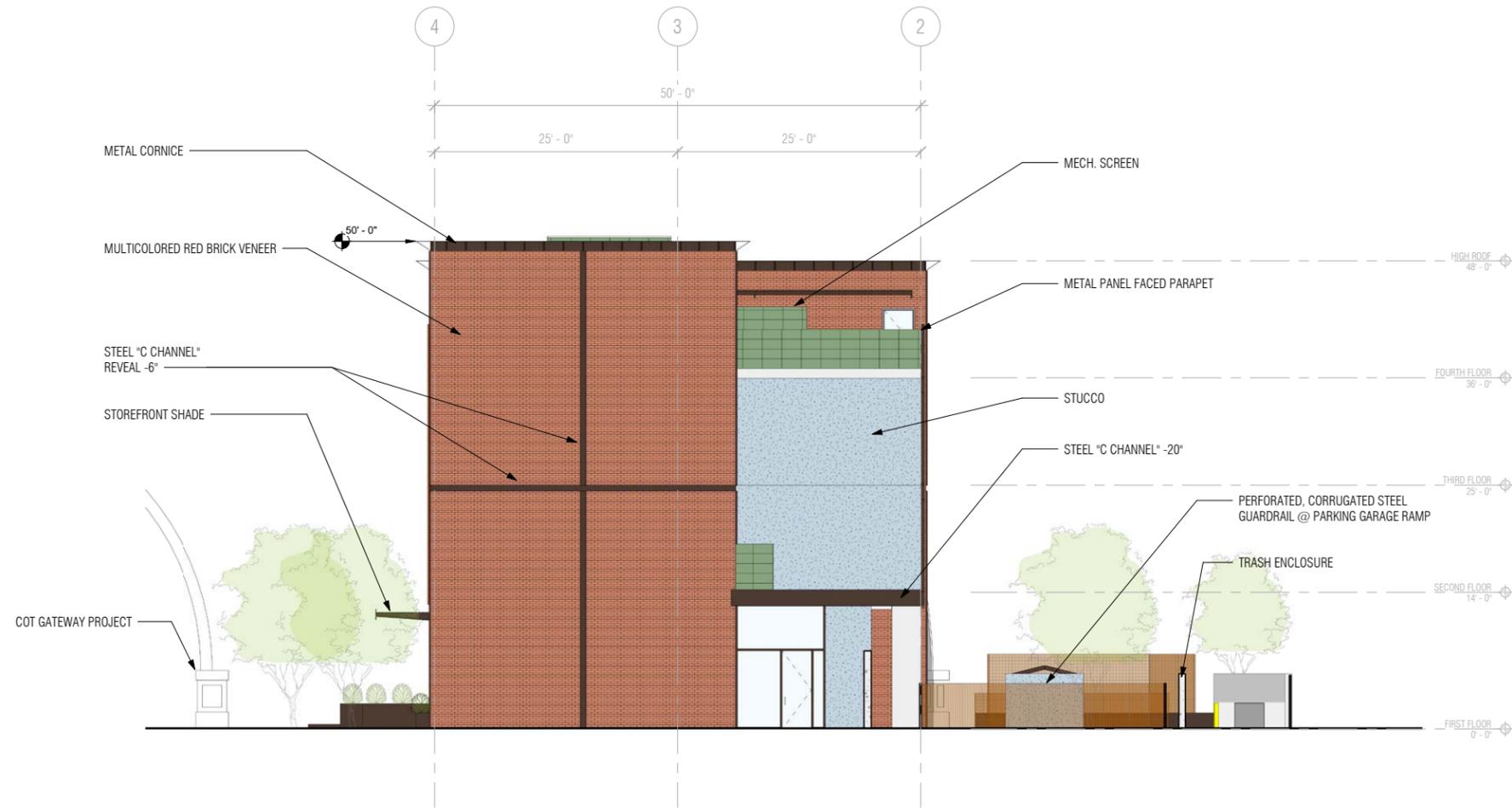


**The Baffert at Five Points**  
741 S. 6th Avenue  
Tucson, AZ 85701

**ELEVATION**



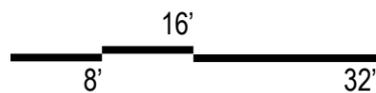
The Baffert at Five Points  
741 S. 6th Avenue  
Tucson, AZ 85701



ELEVATION

**East Elevation**

1/16" = 1' - 0"





Northwest



Southeast



Northeast



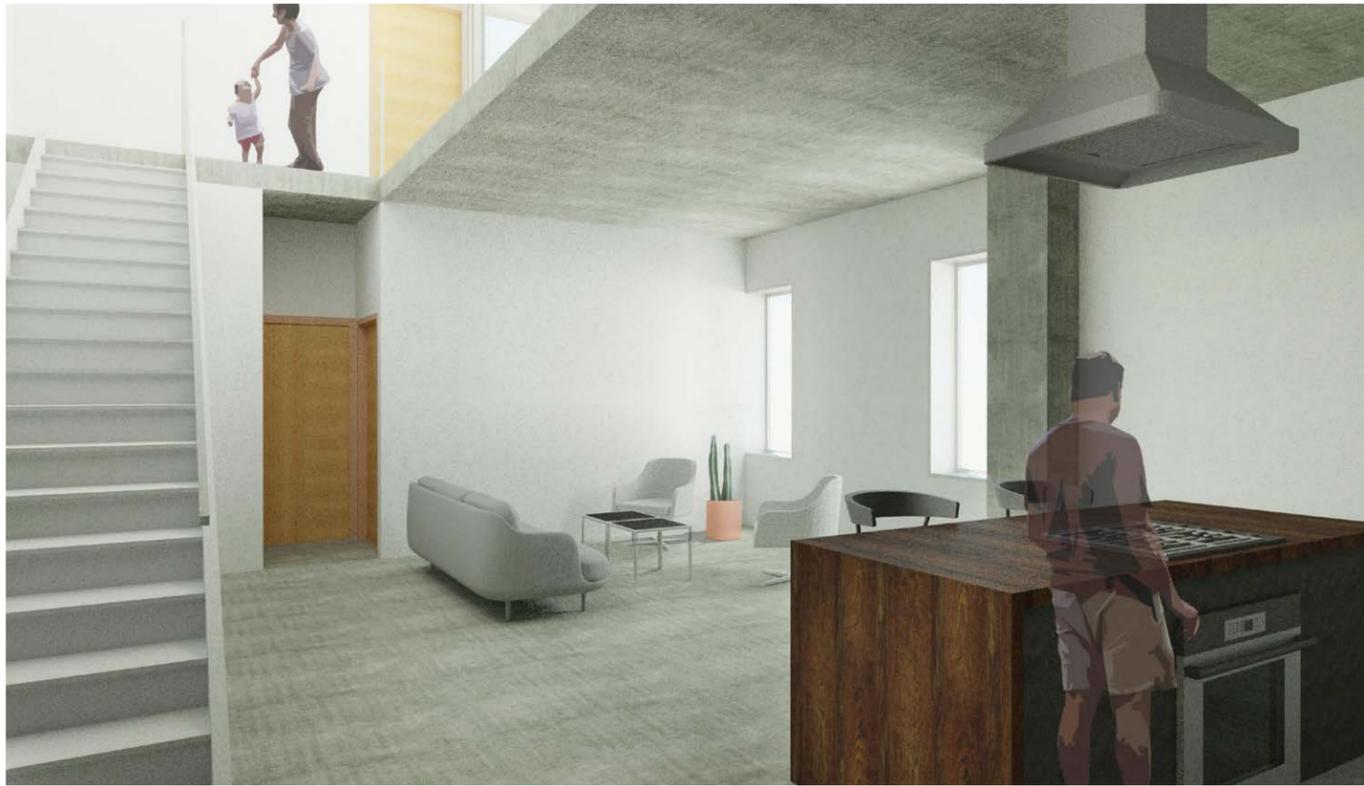
Storefront

## Perspective Views



**Perspective from South-west**

NTS



## Interior Perspectives

NTS



CAST IN PLACE CONCRETE AND GLASS



MULTI-COLORED RED BRICK - SUMMIT BRICK COMPANY



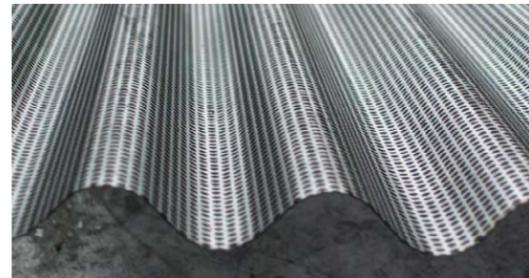
ARCADIA ALUMINUM STOREFRONT FRAMING



PRIMARY: DARK BRONZE



PERFORATED CORRUGATED PANEL - ATAS INTERNATIONAL, INC. - A13 CURVED PANEL



PRIMARY: COPPERTONE



ALTERNATE: SANDSTONE



STUCCO - DUNN-EDWARDS PAINT



PRIMARY: IROGON BLUE



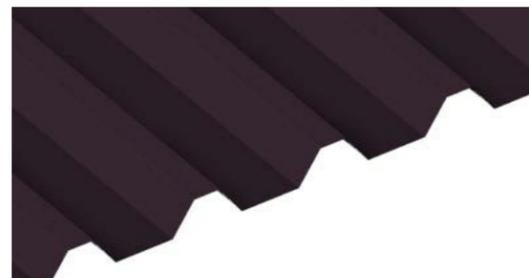
ALT.: TICKLED CROW



ALT.: MOENKOPI TAN



METAL PARAPET AND MECHANICAL PANELING - ATAS INTERNATIONAL, INC. - BELVEDERE 6" SHORT RIB



PRIMARY: PATINA GREEN



ALTERNATE: MEDIUM BRONZE



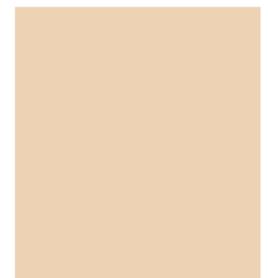
ALTERNATE: PATINA GREY



CMU VENEER



PRIMARY: GREY



ALTERNATE: TAN

## Material Samples and Colors

# Landscaping Concepts

12.24.2019



RAISED DECK PANELS



DECK INSERTED BINS



MOVEABLE PLANTERS



RECONFIGURABLE ORGANIC SHAPES



# Individual Parking Plan Narrative

**D E S A**  
architecture

# The Baffert at 5 Points



December 2019

**Owner**

KBL 747 LLC  
Tucson, AZ

**Architect**

David E. Shambach, Architect, Inc.  
Tucson, AZ



Southwest Perspective



# Parking Narrative

12.24.2019

## Parking Calculations and Sources

On-site parking calculations are on shown on the exhibit labeled Parking Concept Plan. Total UDC code baseline parking calculations indicates that 72 on-site vehicle parking spaces are required, before reductions. Reductions for excess bicycle parking equals 3 spaces while reduction for the development being within the Greater Infill Incentive District reduces the overall required parking by another 25%, or 17 spaces. These reductions drop the code required total for on-site parking to 52 spaces. The project is providing a total of 17 on site parking spaces, 14 of which are located in an underground parking garage and reserved exclusively for use by the apartment tenants. The developer is seeking to further reduce the required parking by an additional 35 space via the Individual Parking Plan evaluation process.

The developer has **estimated** that up to 4,270 SF of interior first floor and outdoor patio space **may** be categorized as “food service” and has used these estimates for the initial parking calculation.

The data source used and base line calculation where based on COT UDC standards section 7.4.4. Reductions calculated utilizing applicable sections of the UDC as well as Special District Provisions. Additionally, site visits where used to observe on-street parking patterns and determine if saturated parking conditions existed at peak times for this development, which has been determined to most likely be between 4-8PM Monday through Saturday.

### Hours of Operation and Peak Use

USE	Size/ SF	Park No.	Days	Time of Oper.
Summary Peak Hours	14 units	17	M/T/W/T/F/S/S	24 HRS
Com/ Retail	3,079	7	M/T/W/T/F/S	10AM-6PM
Com/ Food Service	4,363	29	M/T/W/T/F/S	12PM-10PM
<b>Includes IDD/ Bike Reduction</b>		<b>53</b>		

## Proposed Shared Parking Agreement

The Baffert At 5 Points developer, KBL 747, LLC, intends to lease 20-24 off site/ off street vehicle parking spaces from the adjacent commercial property at 735 S. 6th Avenue or more commonly identified, Wanslee Automotive. The owners of the Wanslee Automotive, 340 E. Yavapai, LLC, include members that are part of the KBL 747, LLC ownership structure. The two LLCs have agreed in principle to enter a shared parking lease agreement per the attached COT application and per COT requirements.

## Methods To Deter Negative Impacts To Historic Neighborhoods Within 300 Feet

The proposed reductions to required parking will not adversely affect nearby residential areas for several reasons. The primary of which is that other than the Baffert’s provided 17 on-site parking spaces utilizing Arizona Avenue for access and egress, all other parking, be it developed on-street, available and existing on-street, or shared lease parking is part of an overall and established traffic pattern that utilizes 6th and Stone Avenues as the primary access and circulation routes. We do not anticipate any reasons why this pattern would change in a significant manner. Furthermore, the underground parking garage should greatly reduce the overall effect of parking activities on the site itself as compared to a fully developed as required parking scheme.

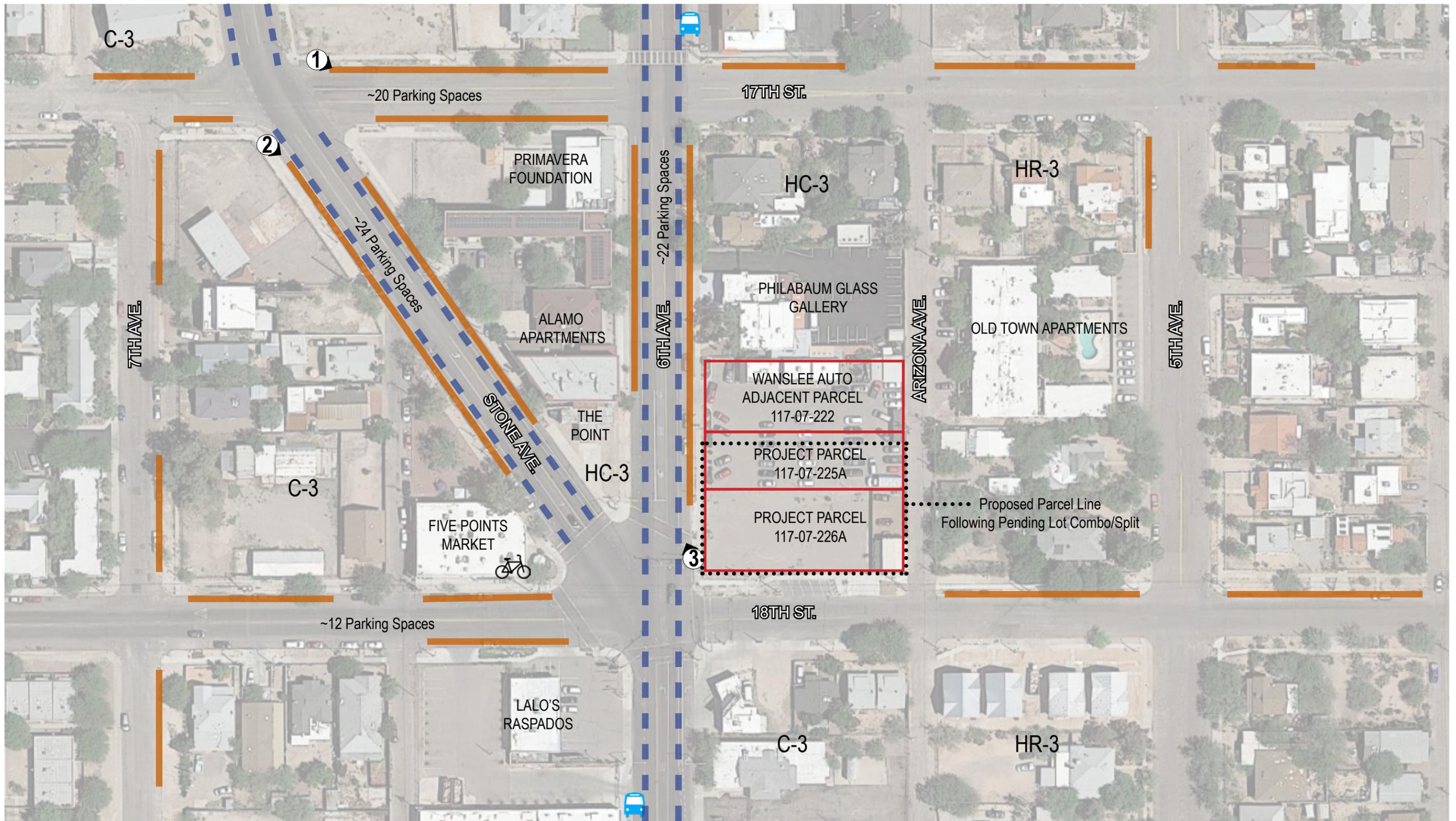


## Parking Narrative

12.24.2019

The architect offers these additional methods and justifications to the statements above as part of our request to reduce the developments parking requirement by 36 spaces.

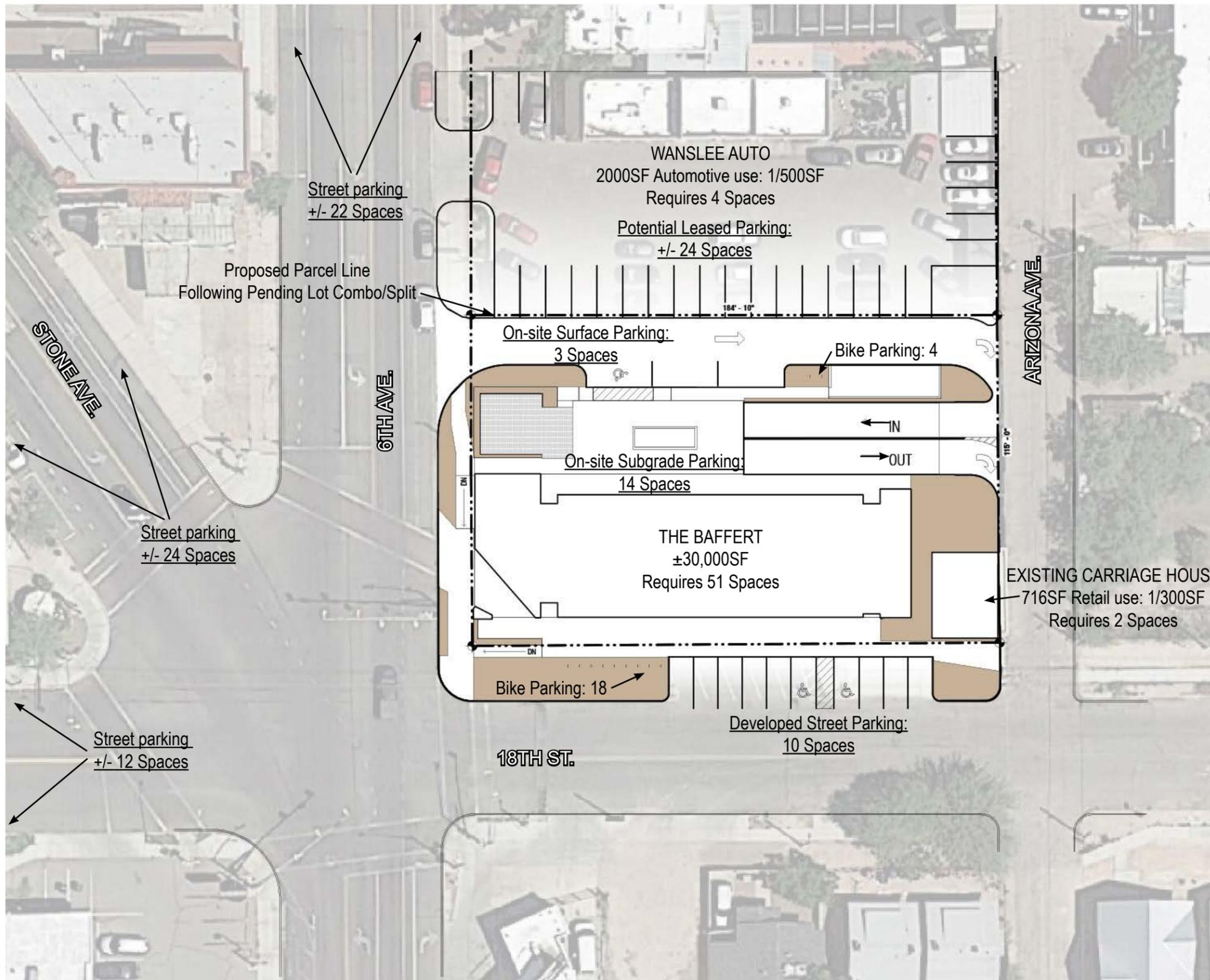
- 1) Each of the 14 apartments will have 1 assigned parking space located in a secured underground parking garage;
- 2) The addition of on-street parking near the apartment and commercial retail space entrances is directly accessible to and from the development. Designing 90 degree on-street parking stalls will allow ingress and egress to come from 6th Avenue rather than east and through Armory Park.
- 3) Parking and trip patterns in this area and for this development indicates that a “staggered” trip and parking pattern is very likely;
- 4) In walking the area and reviewing aerial photos, there appears to be between 30 and 60, non-metered, on-street parking spaces within 400’ of the site;
- 5) The developer intends to engage in a parking lease agreement for 20-24 spaces with the property owners of parcel 117-07-222, commonly known as Wanslee Auto;
- 6) Casual observation and multiple visits to the area indicate that current available street parking in the area, directly adjacent to “5 Points commercial streets”, are rarely parked at capacity, and at many times throughout the day and evening, nearly deserted;
- 7) A majority of the existing commercial properties in the direct area of 5 Points seem to have adequate on-site parking for their own uses;
- 8) Connections to alternate transportation such as the 6th Avenue bike route, a Tugo Station at 5 Points Market, as well as 2 Suntran bus stops, are readily accessible
- 9) Building orientation and location will assist in creating distance and buffers between the commercial activities and the neighborhood. Most commercial activities will be occurring at the intersections 18th St and 6th Avenue.
- 10) The developer will utilize right turn only signs at the egress locations for the service drive and parking garage. The developer further proposes the city concede a right turn only sign at the point Arizona Avenue connect with 18th St.



- ① VIEWS ON FOLLOWING PAGES
- ▭ PARCEL BOUDARIES
- 🚌 SUNTRAN STOP
- 🚲 TUGO BIKE STATION
- ▬ BIKE LANE
- ▬ AVAILABLE STREET PARKING WITHIN 600' NOT IN FRONT OF A RESIDENCE

**Aerial Plan**





**Project Data**  
**Address:** 747 S. 6th Ave.  
**Zone:** C3

**Parking Requirements**

Residential:	23
10 x 1.5 per 1 bedroom unit	
4 x 2 per 2 bedroom unit	
(* Zoning Ordinance 11561)	
Retail(apx. 2,363 SF)1/300SF:	8
Existing Retail (apx. 716 SF)1/300SF:	2
Restaurant(apx. 4,037 SF)1/100SF:	40
<b>Total Required per UDC:</b>	<b>72</b>
Reduction for bike parking(UDC 7.4.5.E.3):	-3
25% reduction per IID:	-17
<b>Total Required After Reductions:</b>	<b>53</b>
<b>On-site Parking Provided:</b>	<b>17</b>
<b>Seeking IPP Relief from:</b>	<b>36</b>

**Additional Parking Mitigation**

Developed Street Parking:	10
Potential Leased Parking:	+/- 24
<b>Total Available:</b>	<b>+/- 34</b>

**Existing Nearby Infrastructure**

Estimated Existing Street Parking:	+/- 75
TuGo Bike Stations:	1
Suntran Stops:	2

**ADA Spaces Required**

ADA Spaces Required	3
On-site ADA Spaces Provided	3
Additional Street ADA Spaces Provided	2
<b>Loading Zones Required</b>	<b>0</b>
<b>Bicycle Parking Requirements</b>	
Short Term:	6
Long Term:	12
<b>Bicycle Parking Provided</b>	
Short Term:	22
Long Term Hooks in Units:	14

**Parking Concept Plan**



# Photos - Available Parking on a Friday at 4pm

12.24.2019



View Looking East on 17th St.



View Looking South on Stone Ave.



View Looking North on 6th Ave.

# Historic Review Requirements

**D E S A**  
architecture

# The Baffert at 5 Points



December 2019

**Owner**

KBL 747 LLC  
Tucson, AZ

**Architect**

David E. Shambach, Architect, Inc.  
Tucson, AZ



Southwest Perspective



## Historic Design Review - Design Standards

12.24.2019

As noted in the project statement, the development site was rezoned from a HC-3 to a C-3 development zone. The conditions of this re-zone included limitations in height, use, setbacks, as well as being subject to a design review as administered by the Historic Preservation Officer.

### Special Comments on Heights and Setbacks

As a condition of the rezoning agreement the overall building height is limited to 48' above finish grade. This height limit includes mechanical equipment and screens. Elevator towers/ hoist-ways that extend beyond 48' will be allowed if the overall design is approved by the Armory Park Historic District Advisory board, as well as the Pima County Historical Commission Plans Review Sub-Committee. Additionally, the eastern 30' of site includes a building height limit of 25'.

The height limits of 48' have been, for the most part, maintained and within the conditions of Ordinance 11561. The exception is the eastern stair and elevator hoist way, which is shown as 50' above finish grade to accommodate required clearance above the elevator cabin. To maintain the restrained design concept, the designer chose a parapet solution that maintains the masonry form and hides mechanical equipment behind the unified masonry façade at the easternmost location.

Building Setbacks either adhere to the conditions of the recorded zoning ordinance or are consistent with existing setbacks found throughout the development area and along 6th Avenue

### Design Statement in Response to Section 5.8

The proposed 3 story building would be considered new construction and will be built without demolition of any existing structures. An existing renovated carriage house will remain as part of the overall development concept. The Baffert at 5 Points was designed to be of its own place and time without being a direct copy of any specific building while utilizing selected elements of many of the materials, forms, rhythms, massing, and detailing found throughout the immediate development area. To this end, the site was utilized in such a way as to concentrate uses and a larger building scale to the 6th Avenue and 18th Street edges, while providing architectural and streetscape amenities to this important gateway corner. The landscape placement and types will provide shade and will create changing patterns, colors, pedestrian refuge, use, and interest. Additionally, the Baffert at 5 Points design creates an appropriate and responsible connection with the neighboring streets. The building's placement on the site works well with the location of a soon to be constructed COT art project and should provide a graceful backdrop to the neighborhood arches that are part of that project.

The brick "book-ends" will be constructed of a mixed brick color pallet a to act as a textural buffer between the older buildings and the more contemporary apartment section of the building. Details throughout the design include, appropriate window proportions, brick headers, and a stylized metal cornice. The south facing corrugated and perforated metal sunshade element will create sun protection, visual interest, and shade patterns. Corrugated metal, brick, and stucco has been used throughout both the development area and the surrounding historic zones. The apartment north elevation is organized picture windows and steel trim pieces that create a contemporary expression while providing shading and protection from direct sun on most days. The building proportion and massing varies in height, scale, massing, openings, and materials. This organization helps the building form express different uses while the connecting structural framework unifies the composition.

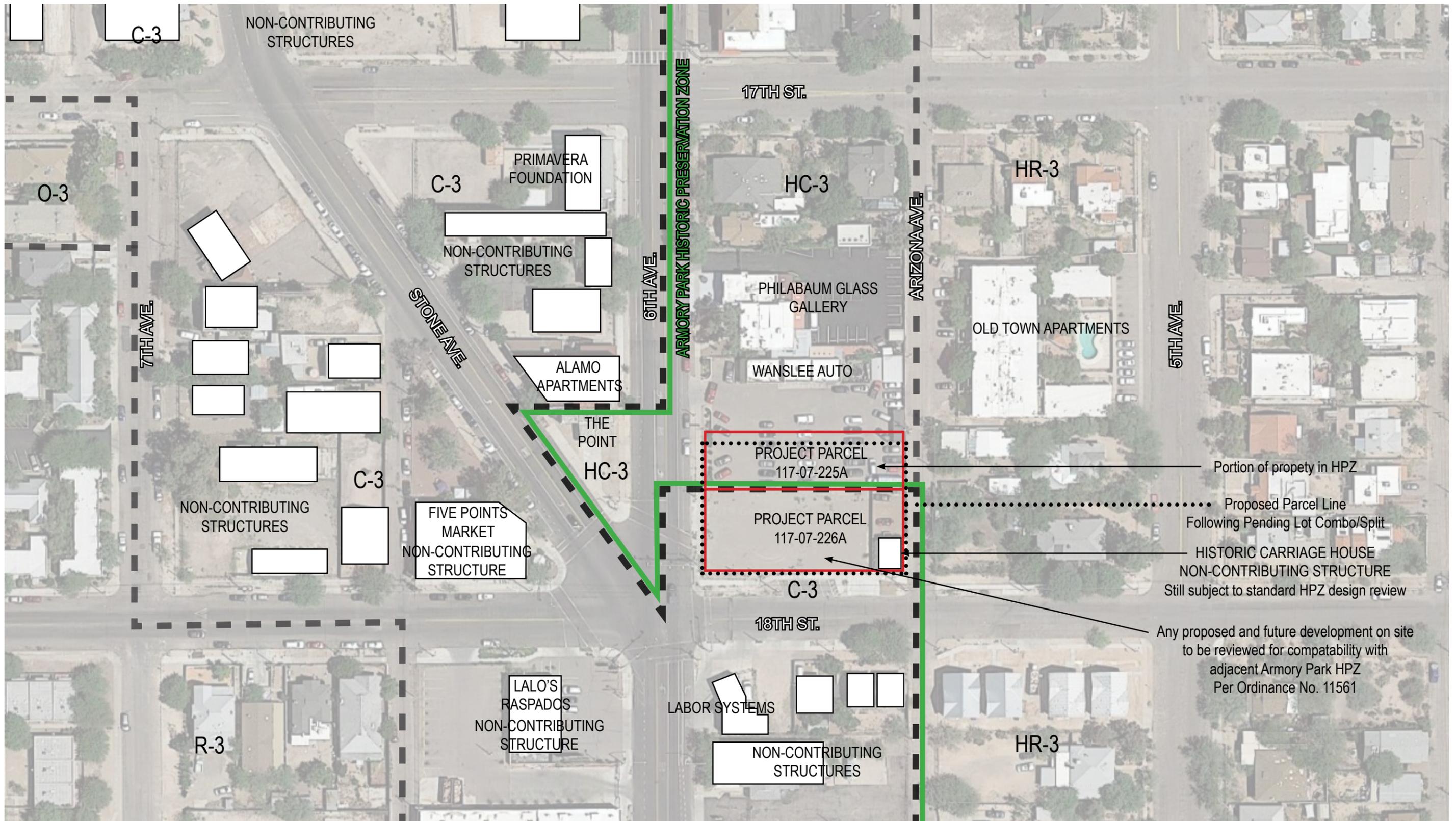


## Historic Design Review - Design Standards

12.24.2019

Alternating adjacent building masses can be found throughout the development zone. Additionally, the parapet roof form of the Baffert is utilized throughout the commercial areas of the development zone.

The project developer is working with utility providers to install new electrical lines below grade and out of sight by the general public. Additionally, meters will be either located in the garage or the back of the building. The developer anticipates some of the overhead lines along 18th street will be removed during construction, but not all. TEP has determined that relocating certain existing overhead lines would “cost hundreds of thousands of dollars if not millions” to relocate. The developer is planning for most, if not all, the major signage associated with the project to be attached directly to the building as raised letters. Additionally, some signage will be affixed to commercial storefronts and or attached to the metal cantilevered shade overhangs.



↑ VIEWS ON FOLLOWING PAGES

▭ PARCEL BOUDARIES

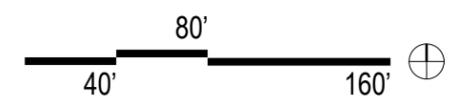
--- ZONING BOUDARIES

▭ HPZ BOUNDARY

▭ BUILDINGS IN DEVELOPMENT ZONE

**DEVELOPMENT ZONE BOUNDARY AND HPZ CONTRIBUTING STRUCTURES**

1" = 80'



# Offsite Parking Agreement

12.24.2019



Development Services Department  
201 North Stone Avenue  
P. O. Box 27210  
Tucson, Arizona 85701  
(520) 791-5550

## OFF-SITE, OFF-STREET VEHICLE PARKING INFORMATION PACKET

In situations where an applicant proposes to locate required off-street parking at an off-site location, as allowed by the Land Use Code (LUC), a site plan of the off-site parking area, the lease agreement for the parking, and a letter of intent (Parking Agreement) are required. These documents will be submitted with the building permit application or as part of the particular LUC compliance process being pursued and will include the following information.

### ZONING

The off-site, off-street parking location must have correct zoning. For example, a residentially zoned property cannot be used for parking for a retail project, or if the parking lot is the principal use, the property should have “P”, “C-1” or less restrictive zoning.

### SITE PLAN

The site plan of the property where the off-site parking will be located is a separate plan from the one required for the development plan.

#### A. Existing Parking Lot

If the off-site parking to be utilized exists and is part of another project, the off-site parking spaces may be used only if they are not being utilized as required parking for another use.

1. The site plan, together with calculations, is to indicate compliance for the proposed project and the existing development it serves.
2. The site plan is to provide as much information as necessary, such as zoning, improvements, and dimensions to determine whether the parking spaces are acceptable. Parking spaces that do not comply with minimal size, maneuvering, and surfacing requirements of the LUC cannot be used. Also needed is information on any other parking leases that may exist on the property.
3. The project number, legal description, and address of the existing project (on file with the Development Services Department (DSD)) are to be provided so that the site plan, together with the lease agreement, can be added to the record of the existing development. This will supersede any previous parking approval granted for that

# Offsite Parking Agreement

12.24.2019

## OFF-SITE, OFF-STREET VEHICLE PARKING INFORMATION PACKET

Page 2

site.

If the existing parking lot cannot be verified as an approved parking lot, it will be treated as a new use or as an expansion of an existing use. This may trigger a requirement for compliance with off-street parking, landscaping, or other LUC regulations for the entire existing parking lot and any of the existing land uses it serves. These issues should be checked before submitting.

### B. Currently Vacant Parcel

If the off-site parking is to be located on a piece of property that is currently vacant, the zoning on the property must allow parking as a principal use.

1. Application for building permits through site plan review is required to establish a record of the land use (parking lot).
2. The site plan will provide all the necessary information to indicate zoning compliance, including the number of parking spaces required and provided, paving, striping, landscaping, screening, etc.
3. The off-site parking site plan is to include the legal description of the property. The legal description is to be included with the building permit application as well, since staff has to review two different sites for compliance.

### C. Location Map

The site plan for the off-site parking is to include a location map indicating compliance with the distance requirements from the use to the off-site parking. The scale of the drawing is to be of appropriate size to accurately portray the distance.

## LEASE AGREEMENT

A lease agreement accompanies the site plan. It is required in all instances, including situations where the same owner owns both properties. The lease obligates the property owner, successors, and assigns to the conditions agreed upon as follows:

- A. The date of the agreement and the duration of the lease must be included. A minimum of five (5) years is required, with language providing the ability to extend the time, should alternative parking not be arranged.
- B. The language of the lease should address any possible cancellation of the lease and the intent that the required parking will be provided in an alternate location. The cancellation of the lease does not remove the obligation of the lessee from providing the required parking.



## Offsite Parking Agreement

12.24.2019

### OFF-SITE, OFF-STREET VEHICLE PARKING INFORMATION PACKET

Page 3

- C. The number of parking spaces that are being leased.
- D. The legal description of the property on which the parking spaces are being leased.
- E. Appropriate language granting lessee rights of use, ingress and egress on a 24-hour basis.
- F. A statement that the Zoning Administration will be notified upon any change to the lease that would lessen or delete any of the City's requirements. There should be a reasonable time period for the notification, prior to the change in the effective date of the lease.
- G. The lease is to include the notarized signatures of the lessee and lessor or the authorized agents. The lease will include documentation of the legal authority of the persons signing the lease to enter into such an agreement/

### PARKING AGREEMENT

A parking agreement, separate from the lease agreement, is to be submitted stating the intent of the lessee to comply with parking requirements, should be proposed lease be terminated. As mentioned previously, cancellation of the lease does not remove the obligation of the lessee from the parking requirement.

A copy of a typical parking agreement is attached.

Should there be any questions, please call the Planning and Development Services Department at 791-5550.



# Offsite Parking Agreement

12.24.2019

## PARKING AGREEMENT

I (we), \_\_\_\_\_  
\_\_\_\_\_

the Owner(s) of that certain property located at: \_\_\_\_\_,  
(the "Property"), Case File Number \_\_\_\_\_, have submitted to the City of Tucson a  
copy of an executed lease (the "Lease") to provide \_\_\_\_\_ off-site parking spaces to  
meet the parking requirements of the Land Use Code for the proposed use of the Property.

The Owner understands and agrees that approval, of the development plans for the Property is  
conditioned upon the Lease being in effect. The Owner(s) further agree(s) that, in the event the  
Lease is no longer in effect, the Owner(s) will notify the City of Tucson Zoning Administration  
of such fact within thirty (30) days after the date the Lease ceases to be in effect and will:

1. Provide \_\_\_\_\_ number of substitute parking spaces either on-site or off-site by  
presenting to the City an acceptable substitute Lease; or
2. Apply for and obtain a variance of \_\_\_\_\_ number of parking spaces from the Board  
of Adjustment.

The term "Owner(s)" shall mean the current Owner(s) of the Property and any successors or  
assigns of any Owner(s).

Date this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Owner(s):  
  
\_\_\_\_\_

City of Tucson, A Municipal Corporation:

By \_\_\_\_\_  
Development Services Director or Designee



# Zoning Determination Letter

12.24.2019



CITY OF  
TUCSON

PLANNING &  
DEVELOPMENT  
SERVICES  
DEPARTMENT

December 5, 2018

Mr. Larry Kappler  
P.O. Box 64669  
Tucson, AZ 85728

Subject: C9-C9-18-02 The Baffert at 5-Points

Dear Mr. Kappler:

On June 19, 2018 Mayor and Council adopted Ordinance No. 11561 establishing conditions of rezoning for the above referenced rezoning case. The ordinance became effective and the zoning changed to HC-3 on July 19, 2018. The case has been closed.

If you have any questions, please contact John Beall via e-mail address [john.beall@tucsonaz.gov](mailto:john.beall@tucsonaz.gov) or by telephone at 520-837-6966, or Peter McLaughlin via e-mail [peter.mclaughlin@tucsonaz.gov](mailto:peter.mclaughlin@tucsonaz.gov) or his telephone number 520-837-4898.

Sincerely,

John Beall  
Section Manager - Entitlements

C: Mr. Rory Juneman, Lazarus, Silvyn and Bangs

s:/rezoning/2018/C9-18-02



# Zoning Conditions - Ordinance No. 11561

12.24.2019

ADOPTED BY THE  
MAYOR AND COUNCIL

June 19, 2018

ORDINANCE NO. 11561

RELATING TO ZONING: AMENDING ZONING DISTRICT BOUNDARIES IN THE AREA LOCATED NEAR THE 5 POINTS INTERSECTION OF S. STONE AVENUE, S. 6<sup>TH</sup> AVENUE AND E. 18<sup>TH</sup> STREET IN CASE C9-18-02, THE BAFFERT AT 5-POINTS, HC-3 TO C-3 AND C-3 TO HC-3; AND SETTING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF TUCSON, ARIZONA, AS FOLLOWS:

SECTION 1. The zoning district boundaries in the area located near the 5 Points intersection of S. Stone Avenue, S. 6<sup>th</sup> Avenue and E. 18<sup>th</sup> Street are hereby amended from HC-3 to C-3 (747 S. 6<sup>th</sup> Ave.) and from C-3 to HC-3 (733 S. Stone and Parcel 117-07203A) as shown on the attached map marked Ordinance No. 11561 subject to compliance with the requirements attached hereto as Exhibit "A" set forth by the Mayor and Council on June 19, 2018.

SECTION 2. The Mayor and Council find that this rezoning complies and conforms with Plan Tucson and all applicable specific plans; including, in this case, the Old Pueblo South Community Plan.

SECTION 3. Notwithstanding any provision of the Tucson Code relating to lot split approval, no grading, grubbing, filling, excavation, construction, or other physical alteration of the site in furtherance of the project contemplated by this Ordinance shall occur prior to the effective date of the C-3 and HC-3 zoning classification.



# Zoning Conditions - Ordinance No. 11561

12.24.2019

SECTION 4. This Ordinance becomes effective thirty (30) days after it is adopted by the Mayor and Council and is available from the City Clerk.

SECTION 5. The provisions of this Ordinance, including the attached conditions, cannot be given effect individually, and to this end, the provisions of this Ordinance and the attached conditions are not severable.

SECTION 6. The various City officers and employees are authorized and directed to perform all acts necessary or desirable to give effect to this Ordinance.

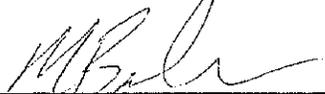
PASSED, ADOPTED, AND APPROVED by the Mayor and Council of the City of Tucson, Arizona, June 19, 2018.

  
MAYOR

ATTEST:

  
CITY CLERK

APPROVED AS TO FORM:

  
CITY ATTORNEY

REVIEWED BY:

  
CITY MANAGER

PG/tl 2/9  
5/29/18

## Zoning Conditions - Ordinance No. 11561

12.24.2019

### EXHIBIT "A" TO ORDINANCE No. 11561

Requirements for Rezoning Case C9-18-02 (The Baffert at 5-Points, HC-3 to C-3 and C-3 to HC-3) as established by Mayor and Council on June 19, 2018.

This ordinance is subject to the following conditions:

#### PROCEDURAL

1. A development package in substantial compliance with the preliminary development plan (PDP) dated January 29, 2018, and the required reports, is to be submitted and approved in accordance with the *Administrative Manual*, Section 2-06. Should the approved IID design not be in substantial compliance with the PDP, the IID approval will govern.
2. The property owner shall execute a waiver of potential claims under A.R.S. Sec.12-1134 for this zoning amendment as permitted by A.R.S. Sec. 12-1134 (I) in the form approved by the City Attorney and titled "Agreement to Waive Any Claims Against the City for Zoning Amendment". The completed Waiver must be filed with Planning & Development Services before the case will be scheduled for Mayor and Council action.
3. An archaeological assessment and survey shall be performed by a qualified archaeologist before any grading or other ground modification takes place. If cultural features or remains are found, testing and data recovery shall be completed as needed. Copies of testing plans, testing reports, data recovery plans and final reports shall be submitted to and approved by the City Historic Preservation Office prior to construction work commencing. If, during construction, human remains and/or associated burial items are discovered, ground disturbing activities in the vicinity of the discovery will cease, the discovery site will be secured, and the Arizona State Museum will be immediately notified as required under A.R.S. Sec. 41-865.
4. Any relocation, modification, etc., of existing utilities and/or public improvements necessitated by the proposed development shall be at no expense to the public.
5. Owner/developer shall enter into a Sewer Service Agreement with Pima County that specifies the improvements to be made to Pima County's public sewerage system, and the timing of said improvements.
6. Five years are allowed from the date of initial authorization to implement and effectuate all Code requirements and conditions of the rezoning.

#### LAND USE COMPATIBILITY

7. The proposed development and any future development on the site to be reviewed for compatibility with the adjacent Armory Park HPZ by both the TPCHC, PRS and Armory Park Historic Zone Advisory Board.
8. Historic carriage house will be subject to standard HPZ design review/demolition approval process for any future proposed changes.

{A0203168.DOCX}

## Zoning Conditions - Ordinance No. 11561

12.24.2019

EXHIBIT "A" TO ORDINANCE No. 11561

C9-18-02 The Baffert at 5-points, HC-3 to C-3 and C-3 to HC-3

Page 2 of 3

9. Building height will be limited to no higher than forty-eight ( 48') feet, except that the eastern thirty (30) feet of the parcel as measured from the eastern property line will be limited to no higher than twenty-five (25) feet. Building heights stated herein include mechanical and accessory equipment and functional elements. Should **both** the Armory Park Historic District Advisory Board and the Tucson-Pima County Historical Commission Plans Review Subcommittee recommend approval, during the IID review, of a height for the elevator shaft that exceeds 48 feet, this condition will support that approved design.
10. The ground floor of the building shall be used only for non-residential uses.
11. Balconies shall be limited to the north side of the building. The pedestrian exterior circulation on the project's south side shall not be considered balconies.
12. Six (6) inch wide fence block or greater (or as determined by future design reviews) shall be used for perimeter screen walls.
13. All walls visible from a public right-of-way and/or adjacent to existing residential development, are to be graffiti-resistant and incorporate one (1) or more visually appealing design treatments, such as the use of two (2) or more decorative materials like stucco, tile, stone, or brick; a visually interesting design on the wall surface; varied wall alignments, Jog, curve, notch, setback, etc.); and/or trees and shrubs in voids created by the wall variations, or as determined by future design reviews.
14. The applicant shall file Form 7460 with the FAA at least 45 days before construction activities begin for the project. Any cranes used which are used must also be identified with Form 7460. File Form 7460 at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>. Prior to the City's approval of any construction permit for a permanent building, the property owner shall record the Avigation Easement, which discloses the existence, and operational characteristics of the Tucson International Airport to future owners or tenants of the property and further conveys the right to the public to lawfully use the airspace above the property. The current property owner or person authorized to sign on behalf of the current property owner shall complete, sign, and record the Avigation Easement. Record the Avigation Easement with the Pima County Recorder's Office. Once the Avigation Easement is recorded, send a copy of the recorded easement to the Tucson Airport Authority.

The developer shall provide the Airport Disclosure Statement form, at time of sale, to new residential property owners with new unit purchases. In the event the development of any residential use offers rental residential units to the public, the new tenant shall be provided a copy of the Airport Disclosure Statement form to educate and notify the new residents that they are living near an airport. The content of such documents shall be according to the form and instructions

{A0203168.DOCX/}



# Zoning Conditions - Ordinance No. 11561

12.24.2019

EXHIBIT "A" TO ORDINANCE No. 11561

C9-18-02 The Baffert at 5-points, HC-3 to C-3 and C-3 to HC-3

Page 3 of 3

provided. The new property owner or new tenant shall forward a signed copy of the Airport

Disclosure Statement form to the Tucson Airport Authority at [srobidoux@flytucson.com](mailto:srobidoux@flytucson.com).

15. Developer will pay for a City of Tucson issued 24/7 parking permit for the two adjacent parcels to the property's east (738 S. 5<sup>th</sup> Ave. and 744 S. 5<sup>th</sup> Ave.) for a period of five (5) years beginning on or before the construction start date.
16. Developer will donate \$4000.00 to APNA for the sole purpose of constructing a buffer wall to mitigate noise/light from the eastern portion of the site. Payment must be used for construction of a wall by issuance of Project C of O date, or it shall be returned to the developer. Developer shall not be responsible for reviews, permits or building of the wall.
17. The City shall not cite this case as a precedent in other similar rezoning/HPZ cases.
18. The development site will continue to qualify as "adjacent" under IID definitions.
19. In order to be removed from the HPZ in the future, the Wanslee Parcels (733 S. Stone Avenue and PIN 117-07-203A) will be required to go through the rezoning process, regardless of what development may occur on parcels in the vicinity.
20. A non-opaque screening of the stairwell on the eastern end of the Project at 747 S. 6<sup>th</sup> Avenue is required.
21. Hours of operation for all ground floor commercial, retail and the restaurant shall be: Seven (7) days a week: 7am – 11pm.
22. Not later than September 15, 2018, Developer will record an executed agreement between Developer and the Armory Park Neighborhood Association that defines Permitted and Excluded Land Uses as described in the attached Exhibit 1. The Terms and Conditions of the executed agreement shall run with and attach to the property, and shall not terminate in the event of the sale or transfer of the property.

Exhibit 1 to Condition 22 : Rezoning Case C9-18-02

Permitted and Restricted Uses

The Baffert Five Points Mixed Use

1. Permitted Uses

The Rezoning shall include all those uses permitted by UDC Table 4.0-4 Permitted Uses C-3 Zone, except as noted below.

2. Excluded Land Uses shall include:

a. Restricted Adult Activities Use Group:

1. Adult Commercial Services
2. Adult Industrial Uses
3. Adult Recreation
4. Adult Retail Trade

b. Retail Trade Use Group:

1. Medical Marijuana Designated Caregiver Cultivation Location
2. Medical Marijuana Dispensary
3. Medical Marijuana Dispensary Off-site Cultivation Location
4. Medical Marijuana Qualifying Patient Cultivation location
5. Drug Paraphernalia Store: Drug Paraphernalia Store means any retail store selling paraphernalia commonly related to the use of any drug or narcotic, including, but not limited to, water pipes, pipe screens, hashish pipes, roach clips, coke spoons, bongs, and cigarette rolling paper, except that this term does not include the sale of cigarette rolling paper by a store that also sells loose tobacco or the sale by prescription of implements needed for the use of prescribed drugs or narcotics
6. Gun Shop: Gun Shop means any retail sales business engaged in selling, leasing, purchasing, or lending of guns, firearms, or ammunition.
7. Pawn Shop: Pawn Shop means an establishment primarily engaged in the business of lending money on the deposit or pledge of any article or jewelry, or purchasing any article or jewelry with an expressed or implied agreement or understanding to sell it back at a subsequent time at a stipulated price.
8. Liquor Store: Liquor store means a retail establishment which has fifty (50%) percent or more of the shelving or gross floor area devoted to the public display and sale of alcoholic beverages for off-site consumption.

c. Commercial Services Land Use Group:

1. Alcoholic Beverage Bar Only
2. Automotive Major Service and Repair
3. Trade Service and Repair: Major and Minor
4. Non-chartered financial institution: Check Cashing
5. Tattoo Parlor/Body-piercing Studio: Tattoo Parlor means an establishment whose business activity, either in terms of operation or as held out to the public, is the practice of placing designs, letters, figures, symbols, or other marks upon or under the skin of any person, using ink or other substance that results in the permanent coloration of the skin, by means of the use of needles or other instruments designed to contact or puncture the skin. Body-piercing Studio means an establishment whose business activity, either in terms of operation or as held out to the public, is the practice of creating an opening in the body of a person for the purpose of inserting jewelry or other decoration, and inserting jewelry or other decoration.

d. Civic Land Use Group:

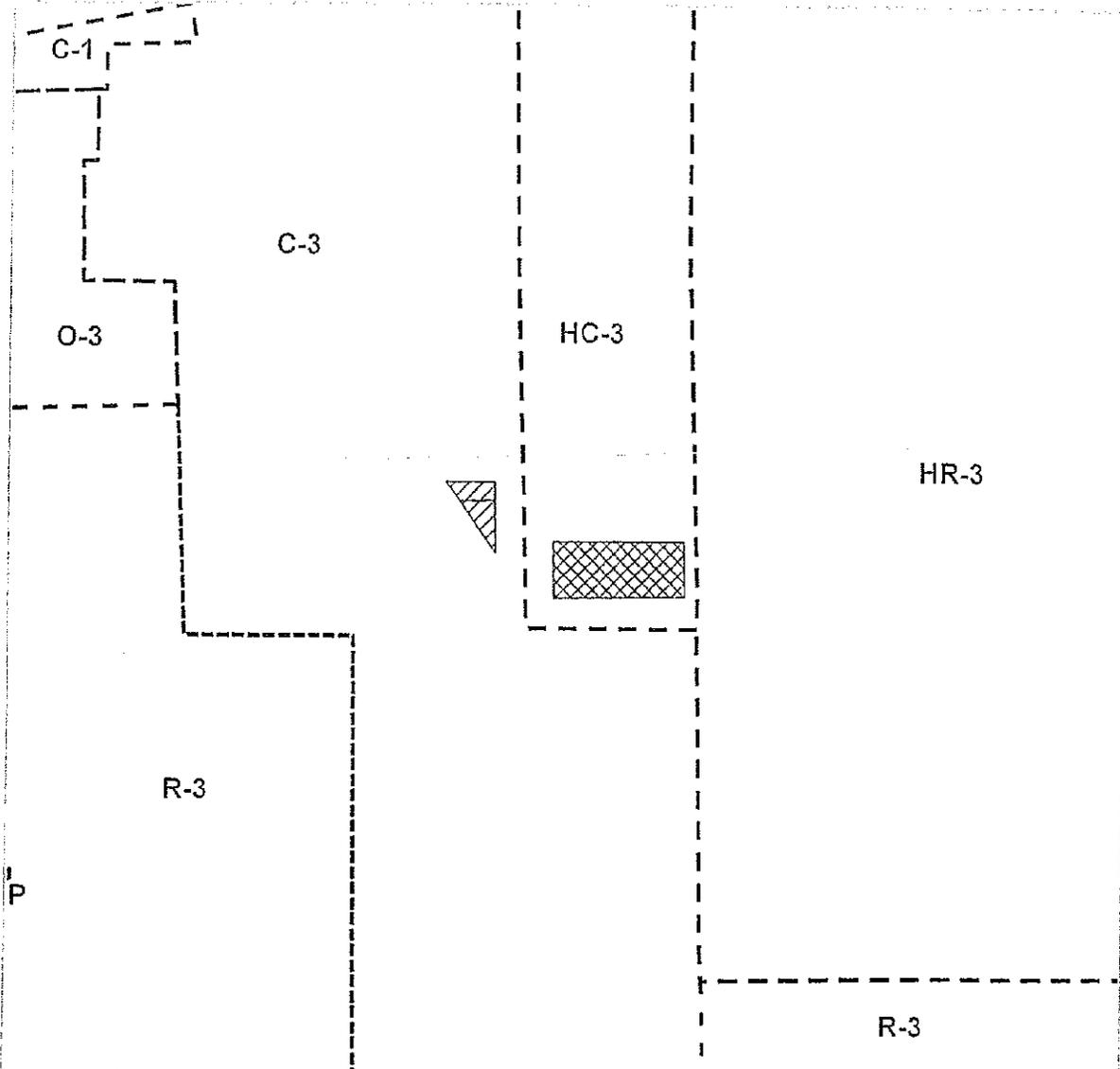
1. Correctional Use: Supervision Facility

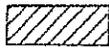
e. Residential Land Use Group

1. Group Dwelling

3. Special Exception Land Uses Permitted following the Unified Development Code, Mayor and Council Special Exception Procedure, Section 3.4.4.

C9-18-02 - The Baffert at Five-Points



 Area of Rezoning Request: From C-3 to HC-3  
Legal Description: TUCSON PT LOTS 9 & 12 E OF STONE AVE BLK 121

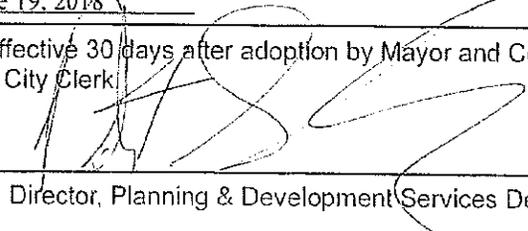
 Area of Rezoning Request: From HC-3 to C-3  
Legal Description: TUCSON LOT 11 & S10' LOT 10 BLK 122

Ordinance 11561  
Adoption Date June 19, 2018

0 100 200 Feet  
1 inch = 200 feet



Ordinance becomes effective 30 days after adoption by Mayor and Council and when it is made available by the City Clerk

  
\_\_\_\_\_  
Director, Planning & Development Services Department

