

# INFILL INCENTIVE DISTRICT DESIGN PACKAGE for HILTON DUAL BRAND HOTEL

May 2019

## OWNER

Stone Avenue North, LLC  
3573 East Sunrise Drive, Suite 225  
Tucson, Arizona

## PREPARED FOR

Fayth Hospitality  
5442 Belmont Avenue  
Dallas, Texas 75206



CYPRESS  
CIVIL DEVELOPMENT

SEAVER FRANKS  
ARCHITECTS INC. AIA

Fayth HOSPITALITY

HILTON DUAL BRAND HOTEL



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**INFILL INCENTIVE DISTRICT - APPLICATION**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT





**APPLICATION**

Case Number \_\_\_\_\_

Date Accepted: \_\_\_\_\_

**PROPERTY LOCATION INFORMATION**

Property Development (Project) Name (IF APPLICABLE): 141 S Stone Redevelopment

Property Address: 141 South Stone Avenue

Applicable Area/Neighborhood/Overlay: Downtown Core Subdistrict

Zoning: C-3 Historic Status: \_\_\_\_\_

Block 225 "City of Tucson" in Book 3 Page 70 Maps & Plats, being a portion of the N.W. 1/4 of Section 13,  
Legal Description: T-14-S, R-13-E of the G.&S.R.M., Pima County, Arizona

Pima County Tax Parcel Number/s: 117-13-1620, -1610, -1630, -1640, -1650, -1660, and -1670

Site and Building Area (sq ft): Gross site area: 35,557 SF (0.82 acres) Building Area: 163,710 SF

**APPLICANT INFORMATION** (The person processing the application and designated to receive notices):

APPLICANT NAME: Theresa Hadley - Cypress Civil Development

EMAIL: thadley@cypresscivil.com

PHONE: ( 520 ) 499.2456 FAX: ( 520 ) 337.7280

ADDRESS: 2030 E Speedway Blvd Ste 110 Tucson, AZ 85719

PROPERTY OWNER NAME (If ownership in escrow, please note): Fayth Hospitality - Greg Fay

PHONE: ( 214 ) 210.2845 FAX: ( ) Email: greg.fay@faythosp.com

PROJECT TYPE (check all that apply):  
( ) New building on vacant land  
( ) New addition to existing building  
( ) Change of use to existing building  
 New building on developed land  
( ) Other

Related Permitted Activity Number(s): \_\_\_\_\_

DESCRIPTION OF USE: Travelers Accomodation, Lodging, Retail

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

*Theresa Hadley*  
SIGNATURE OF OWNER/APPLICANT

10/26/18  
Date

**Hilton Dual Brand Hotel**  
**IID Application**  
Attachment 1

<b>Parcel No.</b>	<b>Address</b>	<b>Historic Status</b>	<b>Legal Description</b>
117-13-1610	23 E Ochoa St	No structures	TUCSON LOT 8 BLK 225
117-13-1620	141 S Stone Ave	No structures	TUCSON LOT 9 BLK 225
117-13-1630		No structures	TUCSON N11' M/L LOT 2 BLK 225
117-13-1640		No structures	TUCSON LOT 2 BLK 225
117-13-1650		No structures	TUCSON PTN N4.70' LOT 3 BLK 225
117-13-1660		No structures	TUCSON LOT 3 EXC PAR 13 BLK 225
117-13-1670	195 S Stone Ave	No structures	TUCSON LOT 6 BLK 225



## SUBMITTAL REQUIREMENTS

**PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

✓	1. <b>Application</b> form (signed by the Property Owner or Authorized Agent – include letter of authorization).
✓	2. Written <b>summary</b> of neighborhood meeting with sign in sheet and agenda (if applicable).
✓	3. Project <b>statement</b> outlining scope of work.
✓	4. UDC compliance review <b>comments</b> (obtained at the 1 <sup>st</sup> floor).
✓	5. Pima county assessor's record parcel <b>detail</b> and record map.
✓	6. Color aerial <b>photograph</b> of subject property (if applicable).
✓	7. Color, labeled <b>photographs</b> of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
✓	8. Color <b>photographs</b> of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
✓	9. Site <b>Plan</b> (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
✓	10. <b>Elevations</b> (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
✓	11. <b>Samples</b> , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
✓	12. <b>PDF</b> of all above listed items (number of hard copies may be required).
✓	13. Applicable <b>fees</b> (payable to City of Tucson).
✓	14. (Other)

\*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

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*For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.*

*By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.*



**CASE INFORMATION**

*(To be completed by PDSD staff at pre-application meeting)*

**CASE INFORMATION**

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Case Number (E.g. HPZ-14-11, IID-15-01):

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Related Permitted Activity Number(s):

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Review Process (E.g. HPZ, DDO, IID – Major/Minor):

---

Applicable Fees:

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Pre-Application Accepted by:

---

Pre-Application Meeting scheduled for:

---

Additional Notes:

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Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

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***Stone Avenue North, LLC***  
***3573 E. Sunrise Drive, Suite 225***  
***Tucson, AZ 85718***

November 7, 2018

Ms. Carolyn Laurie  
City of Tucson - Planning and Development Services Department  
201 North Stone Avenue  
Tucson, Arizona 85701

**RE: 141 South Stone Hotel**

Dear Carolyn,

This shall serve as a limited authorization letter that will allow Cypress Civil Development to act as an authorized agent of Stone Avenue North, LLC for the sole and singular purpose of submitting a Development Package and Infill Incentive District (IID) Application documents for the above referenced project.

Please feel free to contact the undersigned should there be any questions.

Sincerely,

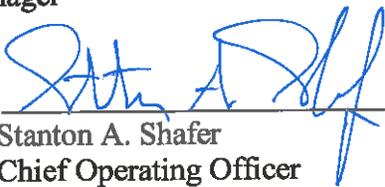
**STONE AVENUE NORTH, LLC**, an Arizona  
limited liability company

By: Holualoa Stone North, LLC, an Arizona  
limited liability company

Its: Sole Member

By: Holualoa Capital Management, LLC, an  
Arizona limited liability company

Its: Manager

By:   
Stanton A. Shafer  
Chief Operating Officer  
Telephone: 520-615-1094  
Facsimile: 520-615-1896  
Email: [stan@holualoa.com](mailto:stan@holualoa.com)



**PROJECT SUMMARY/INTRODUCTION – HILTON DUAL BRAND HOTEL**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT



## **Project Summary**

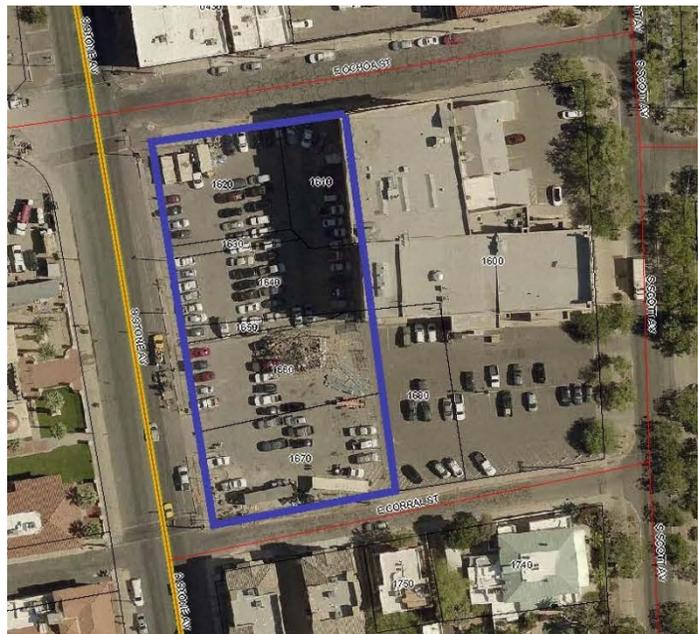
The Hilton Dual Brand Hotel (“Project”) is an exciting hotel development that will bring much-needed traveler’s accommodations and new ground-level retail to the growing downtown core. Fayth Hospitality Group, LLC (“FHG”) is developing the Project, located at the southeast corner of South Stone Avenue and East Ochoa Street, further bounded by East Corral Street to the south and the Scottish Rite Temple complex to the east. The Project will add 199 hotel rooms to the downtown core area that has been identified as being deficient of hotel accommodations. The Project is located within short walking distance to the modern streetcar and is within walking/biking distance of numerous transit stops and businesses within the downtown Tucson (“Downtown”) area. The Project’s retail component adds new commercial space to the Stone Avenue frontage and the Project provides a complementary development to the St. Augustine’s church complex housing the local Catholic Church Diocese regional administrative offices and meeting spaces. Overall, the Project will continue to help expand downtown development to the south along the Stone Avenue corridor.

The Project is located in the Armory Park National Register Historic District and a City designated historic zone (HO-3) is located to the southeast of the southeast corner of the project area. FHG understands that development in this area must seek to preserve the existing historic and cultural aspects of the area while providing the much-needed hotel rooms to Tucson’s downtown core. FHG has designed the Project to strike this balance, and has engaged local consultants that are sensitive to the importance that Tucson places on this area.

FHG also has conducted extensive outreach to engage the surrounding stakeholders, including neighboring property owners, merchants and neighborhood associations. During numerous meetings with stakeholders, FHG has listened to the concerns and comments and answered numerous questions. This application includes a summary of the outreach completed to date.

## **Property Overview**

The Project area, as shown here, fronts Ochoa Street, Stone Avenue and Corral Street. Immediately east is the existing Scottish Rite Temple complex. Currently the project area is a fully paved parking lot in use as a construction staging yard for the work being done at the St. Augustine’s campus on the west side of Stone Avenue. The Project area is within the Downtown Core Sub-district (DCS) of the Infill Incentive District (IID) as explained in Section 5.12 of the City of Tucson’s Unified Development Code.



## **Proposed Development**

FHG is constructing a six-story Hilton Dual Brand Hotel consisting of 199 rooms, a parking garage, breakfast room area and retail space. The “dual brand” hotel concept is a relatively new trend that allows hotel developers to construct properties that can cater to a larger client base due to more options being provided to the visitor. In this instance, the dual branding consists of a portion of the hotel, 76 rooms, being a Hampton Inn product and the other portion, 123 rooms, being a Home2 Suites product. The different brands, both Hilton products, will have rooms on the same floors within the building and will share the other amenity spaces within the hotel to include the lobby, check-in, garage and pool/courtyard areas. Overall, the Project will:

- ◆ Provide 1,500 sq. ft. (+/-) of new ground-floor retail space.
- ◆ Place 199 hotel rooms in the downtown core, near the Sun Link modern streetcar and Sun Tran’s Ronstadt Station facility, allowing guests easy access to downtown Tucson, 4<sup>th</sup> Avenue and the University of Arizona.

FHG’s target market for the Project is visitors of all ages that come to Tucson for any number of activities, personal and business, who want to stay in a vibrant downtown area with access to multiple modes of transportation. The Project will benefit the area by adding clients that will frequent downtown Tucson’s restaurants, bars, and retail businesses. The Project is designed as a transit-oriented development that will attract residents who will use multiple modes of transportation, including walking, biking, car-share, the Sun Link streetcar, and the Sun Tran bus system. The Project will also add approximately 1,500 sq. ft. of new retail/commercial space and approximately 1,400 sq. ft. of meeting space. There will be no restaurants or bars within the hotel so guests will be encouraged to patronize local downtown establishments.

## **Developer Overview**

Fayth Hospitality Group is a privately-owned hotel development company based in Dallas, Texas. FHG focuses on the development and acquisition of select service hotels throughout the continental United States. Both of its principals, Greg Fay and Randy Churchey, each have over 25 years of hotel experience at both public and private hotel companies. Greg and Randy have extensive relationships with Hilton spanning almost 25 years. FHG has development projects in Denver, Colorado, Tucson and Phoenix, Arizona. This project is a key investment for FHG due to its importance to both Hilton and the Tucson community. FHG is committed to delivering an exceptional hotel to serve both the local Tucson community and those visiting it.

## **Project Team Overview**

FHG recognizes the importance of using local consultants who know and understand the unique aspects of designing and building a project in Tucson. As a result, it has chosen the following local consultants for the Project:

Local Architect – Seaver Franks Architects: Seaver Franks has been a leading architecture firm in Tucson and southern Arizona for decades and has worked on numerous residential and commercial projects.

Civil Engineer – Cypress Civil Development: Cypress is one of Tucson’s most successful civil engineering firms, working throughout the region on projects in all areas of development. Their committed team of engineers and planners are dedicated to bringing clients’ visions to life while enforcing sustainable engineering practices in the spirit of creating long lasting developments.

### **Project Scope of Work Questions**

The IID application provides nine questions to help define a project’s scope of work. Below are the responses to the questions for the Hilton Dual Brand Hotel project (“Project”).

**1. State the applicant’s intention to use the IID zoning option in lieu of existing underlying zoning.**

The applicant and property developers are choosing to develop the Project using the IID zoning option in lieu of the underlying zoning (C-3). The property owners’ authorizations are included with this application.

**2. Describe how is the project is consistent with the IID purpose to create sustainable infill development.**

The IID’s first purpose statement is to encourage sustainable infill development that supports the creation of urban neighborhoods that are pedestrian and transit-oriented and benefits the IID, the major activity centers in the area, and the City as a whole, while promoting compatibility with existing residential and non-residential properties and neighborhoods (Unified Development Code § 15.12.1.A). The Project fully meets this purpose statement for a variety of reasons.

The Project will contribute to the urban environment developing in and around the downtown core. The Project is a transit-oriented development (“TOD”) in that it is located within short distances of Tucson’s main attractions to include the convention center, downtown amenities, the 4<sup>th</sup> Avenue shopping district and the University of Arizona. The Project design encourages guests to use multiple modes of transportation – walking, biking, transit, car shares – as alternatives to automobiles. It also provides pedestrian exists to Ochoa Street and Stone Avenue, has areas of commercial space, and a robust streetscape along Stone Avenue, all of which encourage pedestrian activity along the streetscapes. Through a TOD design that encourages walking and biking (equaling fewer vehicle trips), the Project will support the urban neighborhood developing in and around it.

The Project also is compatible with and will enhance these areas. By using the streets and sidewalks more, Project guests will activate the areas’ streetscapes and frequent its local

businesses (i.e., become new customers). The Project is designed as an urban hotel, providing clients an option between two distinct brands. The location is tailored to attract people of all walks of life who want to stay in the downtown area and have easy access to the surrounding accommodations. As this demographic will visit the hotel year-round and frequent the area's businesses, they will contribute and enhance the area.

**3. Describe the benefits the project will bring to the adjacent properties and the surrounding area.**

The Project will bring much-needed hotel rooms to the Downtown area where there currently is a deficiency of hotel rooms as the area continues to grow and re-develop. The Project's addition of 199 hotel rooms will increase density in this area to help meet the room demand. Each of the hotel customers will also serve as transit riders and customers to numerous businesses in the Downtown core and outlying areas. The City's urban core will benefit from increases to density, as the new hotel guests become new customers to the surrounding businesses.

The Project will also bring approximately 1,500 sq. ft. of new retail space to the Downtown core continuing to add diversity to the retail options making the Downtown area even more attractive to retailers than it is today.

The Project will also contribute significantly to Tucson's overall economy, both during and after construction. It is anticipated that the project will be constructed by a contractor utilizing local trade contractors thus creating employment opportunities that don't exist today. The Project also will generate State construction sales tax and City construction sales tax. Once opened, the Project will create at least 35 new jobs, not including the jobs created by the local retail spaces.

**4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent property.**

The Project will not create any adverse nuisance effects to the adjacent properties. The Project's commercial space is set on currently busy street frontages and its proposed retail/commercial uses will not create appreciable noise or odor. All retail space will be enclosed, therefore reducing noise. The Project will contain accommodations to provide breakfast to customers but there would only be minor food preparation onsite so there will be no major exhausts that produce odors. The Project's trash service (residential and commercial) will be fully enclosed in a trash room, and only will be rolled to the Corral Street right-of-way on trash day.

The Project's elements will also not create any nuisance issues. The hotel rooms will not have balconies, and windows will have limited openings. The single terrace area, where the pool and outdoor space is located, is to be located on the third floor of the building and screened in some fashion to abate any noise generated from guests utilizing the space. The building will not contain significant glass elements on the upper floors, and therefore will not create glare.

**5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Design Standards (UDC Sec. 5.12.8.A).**

The Project complies with the IID's Streetscape Design Standards as follows:

- **Architectural Elements:** The Project contains numerous architectural elements within the first two floors on all street frontages. The Stone Avenue frontage will include shade canopies, expanded glazing along the retail store fronts, and a prominent outdoor public space with landscaping, planter seating and a shade trellis. Along Ochoa Street is the location of the main entry in to the hotel. At this location there is a drive-thru porte-cochere at the main entry. The south (along Corral Street) and east facades are more "hidden" as they occur along a small, one-way local street (Corral) and against an existing development, respectively. These facades will entail architectural treatment of the first two floors to blend with the design of the building along the other frontages as well as provide design consistency above the second floor.

In addition, all street frontages use a combination of materials and colors to enhance the design. These are found in the enclosed materials and color palette, and include metal, glass and stucco elements. The wide variety of architectural elements throughout the Project's first two levels meets this IID standard.

- **Glazing and Visible Activity:** The proposed project includes a combination of storefront windows, retail uses and hotel lobby activities, and a plaza area along its frontage. The calculation for percentage is as follows:  
Total frontage (3 sides) = 514 L.F.  
50% requirement = 257 L.F.  
Glazing on north side = 116  
Glazing on west side = 65  
Plaza on west side = 79  
Total of features = 260 L.F. (52%)
- **Façade Length:** All façade planes have architectural elements spaced less than 50 ft. apart, thus meeting the IID standard. The proposed project includes a porte cochere entrance with overhang, angled walls, storefront glazing, shade canopies, a living wall indention, driveway openings and material reveals for façade modulation.
- **Entrance Doors:** All main entrance doors to the Project are identifiable from the street and meet the IID standard. The main building entrance along Ochoa Street includes a drive-thru porte cochere that identifies the entry and accentuates it from the overall façade. The Stone Avenue retail entrances are framed with floor to ceiling storefront glazing and accentuated by a metal shade canopy, setting it apart from the other west façade elements.

- *First Floor Commercial*: The proposed Project has two (2) retail spaces and the hotel lobby use at the street on East Ochoa Street and South Stone Avenue. Each of these commercial uses will encourage street-level pedestrian activity and therefore meet the IID standard.
- *Sidewalks*: All sidewalks constructed by the Project will comply with City standards and will maintain or increase the existing sidewalk widths.
- *Shade*: The Project provides shade on 72 percent of all sidewalks and pedestrian access paths as measured on June 21<sup>st</sup> at 2pm, thus exceeding the IID's minimum requirement of 50 percent (5,928 sq. ft. of total hardscape, 4,246 sq. ft. shaded). Shade is provided by a combination of building canopies, shade trellis and tree canopies.

**6. Describe how the project will support a safe streetscape coordinated with adjoining properties.**

The Project's streetscape design will safely integrate with, and greatly enhance, the existing Stone Avenue, Ochoa Street and Corral Street streetscapes. The Project's Stone Avenue frontage includes planter areas and shade trees that will create a sense of separation between the pedestrian walkway and Stone Avenue vehicular traffic. The planters will also discourage pedestrians from jaywalking across Stone Avenue by limiting access to the street. In addition, there will be a public space with increased vegetation and a water feature located approximately mid-block which will provide a pedestrian refuge rest area. The Project's Ochoa Street frontage will primarily be occupied by the drive-thru port-au-cochere but will also incorporate pedestrian connectivity from east-to-west through the area. The Project will work to encourage pedestrians in the area to use the crosswalks at Stone Avenue and Ochoa Street to safely cross the streets.

The Project is especially mindful of the intersection of Stone Avenue and Ochoa Street. Ochoa Street is developing as a pedestrian connection between the convention center to the west and the downtown core area to the east and north. Current reconstruction of Ochoa to the immediate west will include enhanced pedestrian walking areas, colored concrete in the vehicle areas and vegetation throughout. This Project will continue this pedestrian-oriented vision and is supportive of further redevelopment of Ochoa Street immediately to the north of the hotel entry.

The Project will integrate with the existing streetscapes along Stone Avenue, Ochoa Street and Corral Street. Sidewalk widths will meet current Code requirements and landscaping will improve upon the existing pedestrian areas. When complete, the streetscapes adjacent to the Project will be significantly improved, enhancing a visible area within the Downtown Core.

**7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC Sec. 5.12.8.B).**

There is one two-story, single-family residential dwelling unit near the Project, located immediately south across the Corral Street right-of-way. In addition, there is also a multi-family development directly south of the hotel, and immediately west of the aforementioned single-family dwelling. The Project's first two floors along the south frontage will be screened as this is the area of the garage for the hotel. The garage will be mechanically vented so the walls will be solid, to guarantee the neighbors will be fully screened from headlights, and any noises that may be generated in the garage. Service equipment enclosures will be screened with gates consisting of perforated metal panels. Planters with vines and trellises are included on the south elevation. The Project will consult with the adjacent neighboring property owners regarding this design.

**8. Indicate whether the project will significantly impede solar energy options to adjacent properties.**

Due to the Project's proximity, i.e. located on the east side of the street coupled with the physical features of the adjacent existing developments, it is anticipated that the Project does not significantly impede solar energy options of the adjacent properties. Aerial photos show there currently are no solar arrays on the properties adjacent to the Project. For the future, the Project's shade has the following impact on surrounding properties:

- East of the Project: no significant shade impacts on the roof of the Scottish Rite property immediately east of the Project.
- North across Ochoa Street: no shade on the roofs of the properties across Ochoa Street from the Project, except possibly in the winter afternoon.
- West across Stone Avenue: no shade on roofs of the adjacent properties.
- South across Corral Street: no shade on the roofs of the adjacent properties.

**9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.**

The Project will provide drought tolerant and native landscaping, as shown on the enclosed landscape plan. The Project landscaping is a key element to enhancing the look and feel of the streetscape and interior residential areas. This design is detailed in the enclosed landscape plan.



**PIMA COUNTY ASSESSOR'S RECORD PARCEL DETAIL & MAP**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER** **FRANKS**  
ARCHITECTS INC. A.T.A.

**CYPRESS**  
CIVIL DEVELOPMENT



**Parcel Number: 117-13-1610**

Property Address			
Street Number	Street Direction	Street Name	Location
23	E	OCHOA ST	Tucson

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON LOT 8 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$65,499	\$65,499	\$11,790
2019	COMMERCIAL (1)	18.0	\$65,534	\$65,534	\$11,796

Property Information					
<b>Township:</b>	14.0	<b>Section:</b>	13	<b>Range:</b>	13.0E
<b>Map &amp; Plat:</b>	3/9	<b>Block:</b>	225	<b>Tract:</b>	
<b>Rule B District:</b>	1	<b>Land Measure:</b>	5,500.00F	<b>Lot:</b>	00008
<b>Census Tract:</b>	100	<b>File Id:</b>	1	<b>Group Code:</b>	000
<b>Use Code:</b>	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK)			<b>Date of Last Change:</b>	4/12/2017

Valuation Area				
<b>District Supervisor: RAMON VALADEZ District No: 2</b>				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	

<b>Commercial Characteristics</b>				
Property Appraiser: Donald Burton Phone: (520) 724-7426				
<b>Commercial Summary</b>				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$4,979	\$0	\$0

<b>Commercial Detail</b>					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1986	290/3	\$13,986	\$4,979	PARKING LOT

<b>Petition Information (12)</b>			
Tax Year	Owner's Estimate	Petition	Work Up
2015	\$10,000		
2014	\$20,000		
2013	\$20,000		
2012	\$20,000		
2011	\$16,500		
2009	\$11,018		
2008	\$37,050		
2007	\$28,000		
2006	\$28,000		
2004	\$19,000		
2003	\$38,000		
2002	\$25,000		

<b>Notes (8)</b>	
<b>Created:</b> 7/15/2013 <b>Modified:</b> 7/15/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 10/16/2007 <b>Modified:</b> 10/16/2007	Space count corrected to 10 for 2009. Entire parking lot (161-167) contains 113 spaces.
<b>Created:</b> 11/21/2005 <b>Modified:</b> 11/21/2005	2006 B-LEVEL OK
<b>Created:</b> 8/2/2005 <b>Modified:</b> 8/2/2005	2006 A-LEVEL OK
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. CONVERTED TO CCS. CORRECT 4DUC (2621->2630). USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/12/2003 <b>Modified:</b> 12/12/2003	B-LEVEL OK

**Parcel Number: 117-13-1620**

Property Address			
Street Number	Street Direction	Street Name	Location
141	S	STONE AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON LOT 9 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$93,712	\$92,321	\$16,618
2019	COMMERCIAL (1)	18.0	\$93,207	\$93,207	\$16,777

Property Information					
<b>Township:</b>	14.0	<b>Section:</b>	13	<b>Range:</b>	13.0E
<b>Map &amp; Plat:</b>	3/9	<b>Block:</b>	225	<b>Tract:</b>	
<b>Rule B District:</b>	1	<b>Land Measure:</b>	7,198.00F	<b>Lot:</b>	00009
<b>Census Tract:</b>	100	<b>File Id:</b>	1	<b>Group Code:</b>	000
<b>Use Code:</b>	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK)			<b>Date of Last Change:</b>	4/12/2017

Valuation Area				
<b>District Supervisor: RAMON VALADEZ District No: 2</b>				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	

**Commercial Characteristics**

Property Appraiser: Donald Burton Phone: (520) 724-7426

**Commercial Summary**

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$13,957	\$0	\$0

**Commercial Detail**

SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	2002	290/3	\$22,727	\$13,957	PARKING LOT

**Petition Information (8)**

Tax Year	Owner's Estimate	Petition	Work Up
2015	\$10,000		
2014	\$31,000		
2013	\$31,000		
2012	\$31,000		
2011	\$21,000		
2009	\$36,237		
2003	\$20,000		
2002	\$30,000		

<b>Notes (10)</b>	
<b>Created:</b> 7/15/2013 <b>Modified:</b> 7/15/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 10/16/2007 <b>Modified:</b> 10/16/2007	Land measure changed from square footage to parking spaces for 2009. 20 spaces on this parcel. Total in this parking lot (161-167) is 113 spaces.
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/3/2002 <b>Modified:</b> 12/3/2002	2004: 2630 CL 3 25% RULE B
<b>Created:</b> 11/26/2002 <b>Modified:</b> 11/26/2002	PARKING LOT. THIS PARCEL HAS BEEN PAVED OVER AND USED AS PART OF PARKING LOT. CORRECT 4DUC (0021->2630) AND RATIO (.16->.25) FOR 2004.
<b>Created:</b> 10/6/2002 <b>Modified:</b> 10/6/2002	FOR 2004 - ALL IMPS CLEARED OFF PARCEL - CHANGE USE FROM 0920 TO 0021 - DELETE IMP CLASS AND RATIO
<b>Created:</b> 6/25/2002 <b>Modified:</b> 6/25/2002	BLDG DESTROYED BY FIRE 6/02. REDUCE TO SALVAGE VALUE. CORRECT 4DUC (1040->0920) AND RATIO (.25->.16)
<b>Created:</b> 6/24/2002 <b>Modified:</b> 6/24/2002	FIRE IN BUILDING JUNE 23, 2002

Parcel Number: 117-13-1630

Property Address			
Street Number	Street Direction	Street Name	Location

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON N11' M/L LOT 2 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$11,038	\$11,038	\$1,987
2019	COMMERCIAL (1)	18.0	\$11,044	\$11,044	\$1,988

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map & Plat:	3/9	Block:	225	Tract:	
Rule B District:	1	Land Measure:	924.00F	Lot:	00002
Census Tract:	100	File Id:	1	Group Code:	000
Use Code:	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK )			Date of Last Change:	4/12/2017

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	

<b>Commercial Characteristics</b>				
Property Appraiser: Donald Burton Phone: (520) 724-7426				
<b>Commercial Summary</b>				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$871	\$0	\$0

<b>Commercial Detail</b>					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1987	290/3	\$2,448	\$871	PARKING LOT

<b>Petition Information (12)</b>			
Tax Year	Owner's Estimate	Petition	Work Up
2015	\$2,000		
2014	\$3,000		
2013	\$3,000		
2012	\$3,000		
2011	\$2,500		
2009	\$3,552		
2008	\$5,850		
2007	\$5,120		
2006	\$5,120		
2004	\$3,000		
2003	\$6,000		
2002	\$4,000		

**Notes (7)**

<b>Created:</b> 7/15/2013 <b>Modified:</b> 7/15/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 11/21/2005 <b>Modified:</b> 11/21/2005	2006 B-LEVEL OK
<b>Created:</b> 8/2/2005 <b>Modified:</b> 8/2/2005	2006 A-LEVEL OK
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. CONVERTED TO CCS. CORRECT 4DUC (2621->2630). USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/12/2003 <b>Modified:</b> 12/12/2003	B-LEVEL OK

**Parcel Number: 117-13-1640**

Property Address			
Street Number	Street Direction	Street Name	Location

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON LOT 2 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$76,049	\$76,049	\$13,689
2019	COMMERCIAL (1)	18.0	\$76,104	\$76,104	\$13,699

Property Information					
<b>Township:</b>	14.0	<b>Section:</b>	13	<b>Range:</b>	13.0E
<b>Map &amp; Plat:</b>	3/9	<b>Block:</b>	225	<b>Tract:</b>	
<b>Rule B District:</b>	1	<b>Land Measure:</b>	6,200.00F	<b>Lot:</b>	00002
<b>Census Tract:</b>	100	<b>File Id:</b>	1	<b>Group Code:</b>	000
<b>Use Code:</b>	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK )			<b>Date of Last Change:</b>	4/12/2017

Valuation Area				
<b>District Supervisor: RAMON VALADEZ District No: 2</b>				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	

<b>Commercial Characteristics</b>				
Property Appraiser: Donald Burton Phone: (520) 724-7426				
<b>Commercial Summary</b>				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$7,842	\$0	\$0

<b>Commercial Detail</b>					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1986	290/3	\$22,028	\$7,842	PARKING LOT

<b>Petition Information (12)</b>			
Tax Year	Owner's Estimate	Petition	Work Up
2015	\$10,000		
2014	\$30,000		
2013	\$30,000		
2012	\$30,000		
2011	\$18,500		
2009	\$25,797		
2008	\$44,850		
2007	\$31,500		
2006	\$31,500		
2004	\$23,000		
2003	\$46,000		
2002	\$15,000		

<b>Notes (8)</b>	
<b>Created:</b> 7/15/2013 <b>Modified:</b> 7/15/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 10/16/2007 <b>Modified:</b> 10/16/2007	Space count changed to 26 for 2009. Recount done 3-8-07-total spaces for entire parking lot (161-167) is 113.
<b>Created:</b> 11/21/2005 <b>Modified:</b> 11/21/2005	2006 B-LEVEL OK
<b>Created:</b> 8/2/2005 <b>Modified:</b> 8/2/2005	2006 A-LEVEL OK
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. CONVERTED TO CCS. CORRECT 4DUC (2621->2630). USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/12/2003 <b>Modified:</b> 12/12/2003	B-LEVEL OK

Parcel Number: 117-13-1650

Property Address			
Street Number	Street Direction	Street Name	Location

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON PTN N4.70' LOT 3 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$3,741	\$3,741	\$673
2019	COMMERCIAL (1)	18.0	\$3,748	\$3,748	\$675

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map & Plat:	3/9	Block:	225	Tract:	
Rule B District:	1	Land Measure:	250.00F	Lot:	00003
Census Tract:	100	File Id:	1	Group Code:	000
Use Code:	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK )			Date of Last Change:	4/12/2017

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	

<b>Commercial Characteristics</b>				
Property Appraiser: Donald Burton Phone: (520) 724-7426				
<b>Commercial Summary</b>				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$996	\$0	\$0

<b>Commercial Detail</b>					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1986	290/3	\$2,797	\$996	PARKING LOT

<b>Petition Information (12)</b>			
Tax Year	Owner's Estimate	Petition	Work Up
2015	\$500		
2014	\$1,000		
2013	\$1,000		
2012	\$1,000		
2011	\$750		
2009	\$1,793		
2008	\$1,750		
2007	\$1,750		
2006	\$1,750		
2004	\$1,000		
2003	\$2,000		
2002	\$1,000		

<b>Notes (8)</b>	
<b>Created:</b> 9/3/2013 <b>Modified:</b> 9/3/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 10/16/2007 <b>Modified:</b> 10/16/2007	Land measure changed to 3 parking spaces for 2009; recount done 3-8-07. Total parking lot (161-167) contains 113 spaces.
<b>Created:</b> 11/21/2005 <b>Modified:</b> 11/21/2005	2006 B-LEVEL OK
<b>Created:</b> 8/2/2005 <b>Modified:</b> 8/2/2005	2006 A-LEVEL OK
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. CONVERTED TO CCS. CORRECT 4DUC (2621->2630). USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/12/2003 <b>Modified:</b> 12/12/2003	B-LEVEL OK

Parcel Number: 117-13-1660

Property Address			
Street Number	Street Direction	Street Name	Location

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON LOT 3 EXC PAR 13 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$95,148	\$95,148	\$17,127
2019	COMMERCIAL (1)	18.0	\$95,214	\$95,214	\$17,139

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map & Plat:	3/9	Block:	225	Tract:	
Rule B District:	1	Land Measure:	7,800.00F	Lot:	00013
Census Tract:	100	File Id:	1	Group Code:	000
Use Code:	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK )			Date of Last Change:	4/12/2017

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	

<b>Commercial Characteristics</b>				
Property Appraiser: Donald Burton Phone: (520) 724-7426				
<b>Commercial Summary</b>				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$9,336	\$0	\$0

<b>Commercial Detail</b>					
SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1980	290/3	\$26,224	\$9,336	PARKING LOT

<b>Petition Information (12)</b>			
Tax Year	Owner's Estimate	Petition	Work Up
2015	\$13,000		
2014	\$45,000		
2013	\$45,000		
2012	\$45,000		
2011	\$23,500		
2009	\$29,879		
2008	\$50,000		
2007	\$39,500		
2006	\$39,500		
2004	\$27,000		
2003	\$54,000		
2002	\$20,000		

<b>Notes (8)</b>	
<b>Created:</b> 9/3/2013 <b>Modified:</b> 9/3/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 10/16/2007 <b>Modified:</b> 10/16/2007	Space count changed to 25 for 2009. Recount done 3-8-07. Total spaces in this parking lot (161-167) is 113.
<b>Created:</b> 11/21/2005 <b>Modified:</b> 11/21/2005	2006 B-LEVEL OK
<b>Created:</b> 8/2/2005 <b>Modified:</b> 8/2/2005	2006 A-LEVEL OK
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. CONVERTED TO CCS. CORRECT 4DUC (2621->2630). USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/12/2003 <b>Modified:</b> 12/12/2003	B-LEVEL OK

**Parcel Number: 117-13-1670**

Property Address			
Street Number	Street Direction	Street Name	Location
195	S	STONE AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON AZ  85718-3206	TUCSON LOT 6 BLK 225

Valuation Data					
Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2018	COMMERCIAL (1)	18.0	\$96,014	\$96,014	\$17,283
2019	COMMERCIAL (1)	18.0	\$96,085	\$96,085	\$17,295

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map & Plat:	3/9	Block:	225	Tract:	
Rule B District:	1	Land Measure:	7,800.00F	Lot:	00006
Census Tract:	100	File Id:	1	Group Code:	
Use Code:	2630 (PARKING LOT SEP PARC PVT OR PAY TO PARK )			Date of Last Change:	4/12/2017

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
Condo Market	DOR Market	MFR Neighborhood	SFR Neighborhood	SFR District
60	31	CB_DOWNTOWN	01020201	30

**Recording Information (5)**

Sequence No.	Docket	Page	Date Recorded	Type
20152670560	0	0	9/24/2015	WTDEED
91076762	9066	1068	6/24/1991	
0	7079	996	7/22/1983	
0	290	513	1/1/1753	
0	4466	629	3/16/1973	

**Commercial Characteristics**

Property Appraiser: Donald Burton Phone: (520) 724-7426

**Commercial Summary**

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$10,207	\$0	\$0

**Commercial Detail**

SEQ-SECT	Const Year	Model / Grade	RCN	RCNLD	Model Description
001-001	1980	290/3	\$28,671	\$10,207	PARKING LOT

**Petition Information (12)**

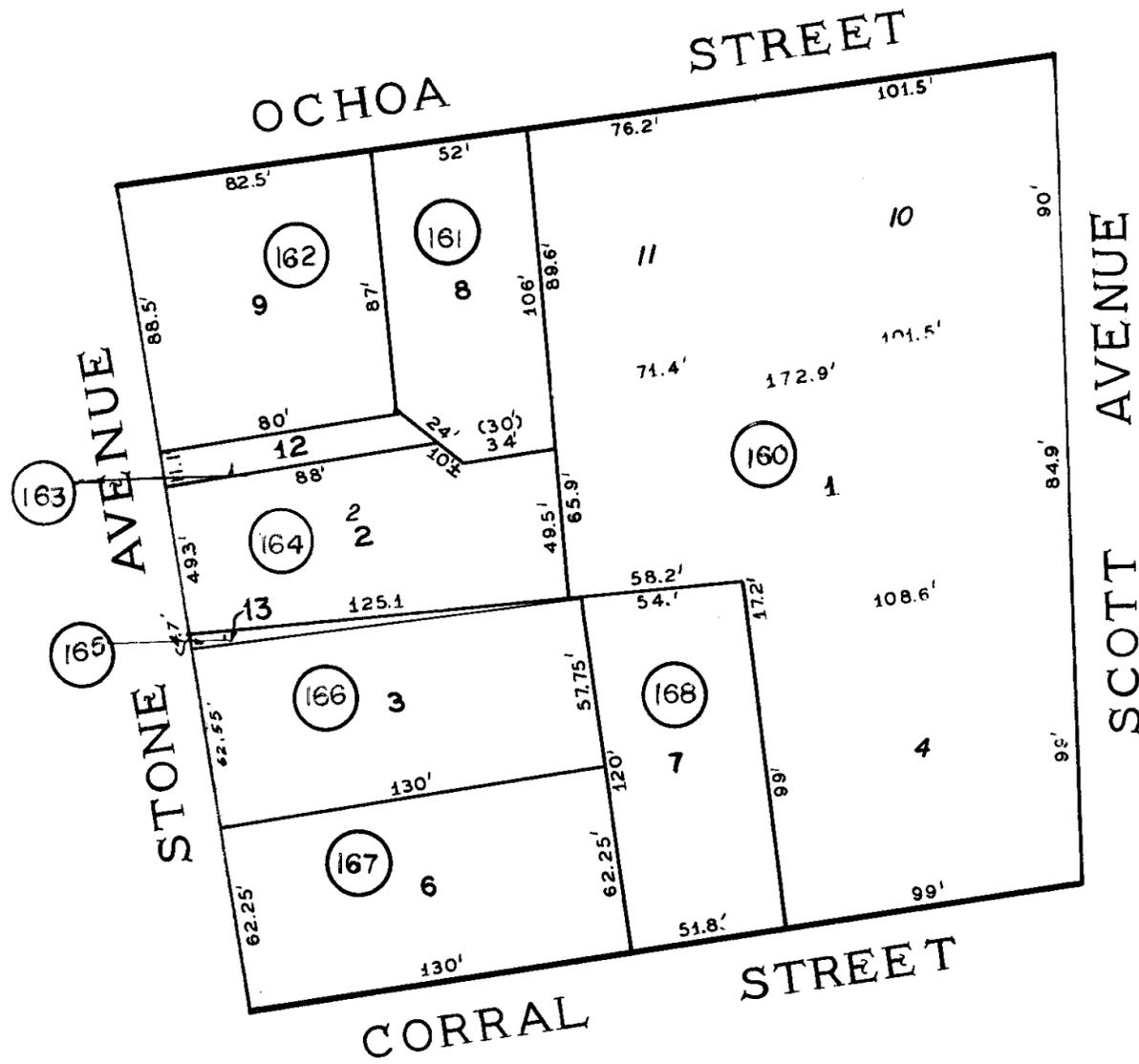
Tax Year	Owner's Estimate	Petition	Work Up
2015	\$13,000		
2014	\$45,000		
2013	\$45,000		
2012	\$45,000		
2011	\$23,500		
2009	\$30,658		
2008	\$50,000		
2007	\$39,500		
2006	\$39,500		
2004	\$27,000		
2003	\$54,000		
2002	\$15,000		

<b>Notes (8)</b>	
<b>Created:</b> 9/3/2013 <b>Modified:</b> 9/3/2013	PETITION 2014 B LEVEL RULE A (PARCELS 117-13-1610 THRU 117-13-1670)
<b>Created:</b> 8/21/2012 <b>Modified:</b> 8/21/2012	PETITION 2013 B LEVEL RULE A
<b>Created:</b> 10/17/2008 <b>Modified:</b> 10/17/2008	2009 SBOE LEVEL: REVIEWED & ADJUSTED .
<b>Created:</b> 10/16/2007 <b>Modified:</b> 10/16/2007	Space count corrected to 26 for 2009. Recount done 3-8-07. Total parking lot (161-167) count is 113.
<b>Created:</b> 11/21/2005 <b>Modified:</b> 11/21/2005	2006 B-LEVEL OK
<b>Created:</b> 8/2/2005 <b>Modified:</b> 8/2/2005	2006 A-LEVEL OK
<b>Created:</b> 11/1/2004 <b>Modified:</b> 11/1/2004	PAID PARKING LOT. CONVERTED TO CCS. CORRECT 4DUC (2621->2630). USED WITH 161, 162, 163, 164, 165, 166 AND 167.
<b>Created:</b> 12/12/2003 <b>Modified:</b> 12/12/2003	B-LEVEL OK

# ASSESSOR'S RECORD MAP

## BLOCK 225, CITY OF TUCSON

117-13  
13/15



SCALE - 1" = 50'

SEE BOOK 3, PAGE 9, M & P.

**INCENTIVE DISTRICT RESPONSE/DCS MODIFICATION REQUESTS/RIO NUEVO  
AREA RESPONSE**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER** **FRANKS**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT



## INCENTIVE DISTRICT RESPONSE

The following provides a description outlining the proposed scope of work for the HILTON DUAL BRAND HOTEL – a hotel development as it relates to the Infill Incentive District (IID) overlay zone:

The Hilton Dual Brand Hotel development project is located at the southeast corner of Stone Avenue and Ochoa Street, extending south to Corral Street. The project is located within the Downtown Core Sub-District (DCS) and Rio Nuevo Area (RNA) of the Infill Incentive District overlay zone (IID). This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the DCS, as regulated by Section 5.12 of the UDC, the Development will be required to comply with the following:

- 1) Permitted uses listed within Section 5.12.10.A, and 5.12.9.A;  
Travelers' Accommodations - Lodging
- 2) Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID's Development Transition Element requires less;  
Allowable height C-3 = 75'
- 3) Historic Properties, Landmarks, and Structures within the Infill Incentive District;  
No demolition or alterations are proposed to any contributing, listed, or eligible to be listed structure within the development area.
- 4) When provided, landscaping shall be in accordance with the City's drought-tolerant plant list;  
Plants have been selected from the approved list.
- 5) Bicycle parking shall be provided when motor vehicle parking is provided. The required number of bicycle parking spaces may be reduced pursuant to Section 5.12.8.E;  
Bicycle parking will be provided as required.
- 6) Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation;  
No Native Plants exist at the site.

## DOWNTOWN CORE SUB-DISTRICT (DCS) MODIFICATION REQUESTS:

- 1) *Major Streets and Routes Setback Zone:*  
**Request:** Per UDC Section 5.12.10.C.1 – relief from the MS&R setbacks is allowed for projects within the DCS. The proposed project is located within the DCS, and as such, the proposed development seeks relief from the requirements of the Major MS&R

setbacks. Doing so creates a unique pedestrian friendly environment that maximizes the development footprint with setbacks and perimeter yards congruent with adjacent parcels.

2) *Minimum Perimeter Yard:*

**Request:** Per UDC Section 5.12.10.C.2 – relief from the minimum perimeter yard standard is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain a building footprint that is congruent with the surrounding buildings within this development zone. Also, in order to create a unique pedestrian friendly environment that maximizes the transit-oriented development’s footprint, relief from the minimum perimeter yard requirement is necessary. This request includes relief from the street perimeter yard setbacks to the north, west and south as well as the setback to the east where the adjacent zone is R-3 and would normally require a 1-1/2H setback.

3) *Motor Vehicle Parking:*

**Request:** Per UDC Section 5.12.10.C.5 – relief from minimum vehicular and bicycle parking standards is allowed for projects within the DCS. The proposed project is located within the DCS and Downtown Parking District. As such the proposed development seeks relief from the UDC requirements for on-site Motor Vehicle Parking. An Individual Parking Plan will accompany the development in order to explain and address the parking deficiency proposed. Other urban environment parking alternatives are available, including metered on-street spaces as well as spaces within surface lots and other public garages.

Bicycle parking will continue to be provided per UDC Section 7.4 requirements.

4) *Landscaping/Screening:*

**Request:** Per UDC Section 5.12.10.C.7 – relief from landscaping and screening standards is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain a building footprint that is congruent with the surrounding buildings within this development zone. Also, in order to create a unique pedestrian friendly environment that maximizes the transit-oriented development’s footprint, relief from the landscaping and screening requirement is necessary. Where available and applicable, drought tolerant trees and plants will be installed to assist with maintaining the minimum 50% shade coverage for pedestrian paths.

5) *Native Plant Preservation:*

**Request:** Per UDC Section 5.12.10.C.8 – relief from Native Plant Preservation standards is allowed for projects within the DCS. The proposed project does not contain a drainage corridor or any native plants on the project site.

6) *Environmental Services:*

**Request:** Per UDC Section 5.12.10.D.2 – modifications to the on-site refuse collection standards are allowed for projects within the DCS. Due to the site’s constraints, and the building’s design to create a sustainable, transit-oriented development, a modification is necessary to accommodate the waste and recycle removal. Waste and recycle containers will remain hidden from pedestrian view during normal business hours through storage options within the architectural footprint, providing easy and secure access for tenants and building management. Trash will be collected along Corral Street. A management plan will be implemented to include the requirement that the building management be responsible to escort the trash containers from the on-site trash enclosure to the pickup location along Corral Street and return said enclosures following pickup.

**RIO NUEVO AREA (RNA) RESPONSE:**

**Building Design Standards – UDC section 5.12.7**

1. *The proposed buildings shall respect the scale of those buildings located in the development zone and serve as an orderly transition to a different scale. Building heights with vastly different scale than those on adjacent properties should have a transition in scale to reduce and mitigate potential impacts. In areas undergoing change, long-range plans should be consulted for guidance as to appropriate heights;*

**Response:** The project underlying zone of C-3 allows a maximum height of 75 feet. The proposed building height is 75 feet, with some building characteristics incorporated to maintain an appropriate scale with the surrounding properties. The podium level of the building includes a band from 30-33 feet high. The lower portion below that incorporates a combination of overhangs, shade canopies and trellises, windows and material variations to provide a pedestrian scale to the neighboring buildings across the streets to the north, west and south. The west elevation also includes a reduction in the building height to 33 feet for 50% of the frontage. The only adjacent neighboring building is to the east, with a height of approximately 56-58 feet. The St. Augustine’s Cathedral domes across the street to the west top out at 90 feet.

2. *All new construction shall maintain the prevailing setback existing within its development zone;*

**Response:** As part of the Downtown Core Subdistrict, this project may request an exemption from Perimeter Yard Setback standards. The Scottish Rite building to the east, the existing buildings to the north, and the Stone Avenue Homes Townhome development to the south, all immediately adjacent, maintain a zero lot line setback. The new building will provide minimal setbacks, and maintain a congruent footprint within the development zone.

- 3. All new construction shall provide scale-defining architectural elements or details at the first two floor levels, such as windows, spandrels, awnings, porticos, cornices, pilasters, columns and balconies;*

**Response:** The proposed project utilizes a deep overhang at the porte cochere on the north, with storefront glazing and a lobby main entrance. The 2<sup>nd</sup> floor on north and west include additional windows and overhangs. To the west there are two (2) retail store entrances with storefront glazing and overhead shade canopies. Also on the west is a large planted living wall, with a plaza area, shade trellises, a water feature and park benches. The south elevation will include trellises with planted vines, service equipment enclosures screened with gates consisting of perforated metal panels.

- 4. Every commercial building frontage shall provide windows, window displays, or visible activity within the adjacent building at the ground floor level, with a minimum of 50 percent of the building frontage providing such features;*

**Response:** The proposed project includes a combination of storefront windows, retail uses and hotel lobby activities, and a plaza area along its frontage.

- 5. A single plane of a façade at the street level may not be longer than 50 feet without architectural relief or articulation by features such as windows, trellises and arcades;*

**Response:** See included elevation. The proposed project includes a porte cochere entrance with overhang, angled walls, storefront glazing, shade canopies, a plaza with alcove shaded by an overhang and trellis, driveway openings and material reveals for façade relief and articulation.

- 6. Building façade design shall include pedestrian-scaled, down-shielded, glare controlled exterior building and window lighting;*

**Response:** Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture without distracting from the elements of the façade, but also be in full compliance with the Dark Sky Ordinance. Additionally the proposed project includes down-shielded lighting at overhangs and canopies, and some wall and window lighting to enhance the retail and hotel uses and highlight the architectural features.

- 7. The front doors of all commercial and government buildings shall be visible from the street and visually highlighted by graphics, lighting, marquees, or canopies;*

**Response:** The proposed project includes down-shielded lighting, overhangs and canopies, and graphics at the hotel and retail entrances.

8. *Modifications to the exterior of historic buildings shall complement the overall historic context of the downtown and respect the architectural integrity of the historic façade;*

**Response:** No modifications to historic buildings are proposed. This project consists entirely of new building construction but strives to adhere to the existing historic aesthetic within this development area.

9. *Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare;*

**Response:** Architectural details and features such as recessed windows, overhangs and canopies are incorporated throughout the design, and provide both depth and shadow interplay to the building appearance. Upper level windows also incorporate shadow boxes and some shade canopies to further reduce reflective glare. The south windows include louvered shade to reduce glare.

10. *Safe and adequate vehicular parking areas designed to minimize conflicts with pedestrians and bicycles shall be provided;*

**Response:** Vehicular traffic into the property will occur at the north frontage where the port-au-cochere is located and at the two driveways into the interior garage along the west frontage. The port-au-cochere entry area is to be designed so that pedestrians will not conflict with vehicles due to a sidewalk along the outer edge of the driveway thru the port-au-cochere area. The two driveways along the west frontage will be well marked areas thus creating predictable locations for pedestrians.

11. *Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structures or vegetation, where permitted by the City of Tucson;*

**Response:** This project will utilize a combination of architectural building features and new canopy trees and trellises to provide adequate shading for pedestrians.

12. *Colors may conform to the overall color palette and context of the downtown area or subarea or may be used expressly to create visual interest, variety, and street rhythms. The rationale for an expressive or idiosyncratic use of color shall be described in the site plan submittal;*

**Response:** The color palette for this project have been determined with consideration of the existing color scheme prevalent within the Downtown development area (see Elevations). Metal and EIFS siding with stucco texture, glass, aluminum storefront frames, and painted metal canopies make up the dominating palette of the building exterior.

13. *New buildings shall use materials, patterns, and elements that relate to the traditional context of the downtown area or subarea;*

**Response:** The proposed materials and pattern were chosen for similarity and compatibility with materials prevalent throughout the Downtown area.

14. *Twenty-four hour, street level activity is encouraged by providing a mixture of retail, office and residential uses within each building;*

**Response:** This project proposes retail and pedestrian activity at the street level and is a hotel use which operates at all hours of the day. This will provide activity during both normal working hours and evening social hours.

15. *Primary public entrances shall be directly accessed from a sidewalk along a street rather than from a parking lot. Public access to commercial and governmental buildings shall be provided at sidewalk grade. The primary floor of, and access to, residential structures may be elevated. Secondary access may be provided from off-street parking areas;*

**Response:** The primary public pedestrian entry for the building will be from Ochoa Street and will be highlighted by the aforementioned porte-cochere and main building entry and promote a pedestrian friendly refuge environment. A public amenity space along the Stone Avenue frontage is programmed for site permeability and to offer a public space in apposition and concordance with the St. Augustine's Cathedral entrance to the west across Stone Avenue.

**STAKEHOLDER OUTREACH SUMMARY**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

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**Hilton Dual Brand Hotel  
Stakeholder Outreach Summary**

The Hilton Dual Brand Hotel project is the second hotel development to be constructed in the downtown core area. As the project is bringing in new short-term stay accommodations to the area, FHG has been sensitive to the concerns of the area’s stakeholders, including those that live, work and own property in the area (“Stakeholders”).

To ensure open communication with the Stakeholders, FHG has conducted extensive outreach to the neighboring associations, property owners and business owners. At each of these meetings, FHG has provided an overview of the project, answered questions, and listened to the feedback. While FHG will continue this outreach, the following is a list of the outreach conducted to date:

<b>Stakeholder Group</b>	<b>Date</b>	<b>Attendees</b>	<b>Description</b>
Roman Catholic Diocese of Tucson	3 Meetings	3	Project overview
Scottish Rite	4 Meetings	5	Project overview and organizing neighborhood meeting
Udall Foundation building owners	2 Meetings	4	Review Project with neighboring property owner.
Peach Properties	7 Meetings	4	Review Project with neighboring property owner.
Ochoa Parking Lot Owner	2 Meetings	3	Review Project with neighboring property owner.
Holualoa Companies	2 Meetings	3	Review Project with neighboring property manager regarding MCCORMICK RENTAL HOMES.
Holualoa Companies	1 Meeting	3	Review Project with neighboring property owners about parking garage at northwest corner of Ochoa and Stone.
City of Tucson	09/27/2018	5	Initial meeting with City staff
Ochoa Street Meeting	10/03/2018	15+	Discussed the Diocese plans for Ochoa Street
Tucson Parkwise	10/19/2018	10	Discussion of the removal and adjustment of parking
Rio Nuevo Board Meeting	10/23/2018	20	Discussion about hotels coming to the area

City of Tucson	11/15/2018	17	Official Infill Incentive District Pre-Application meeting.
Armory Park Neighbors	01/09/2019	10	Project overview
Neighborhood Meeting	01/10/2019	25+	Official Neighborhood Meeting providing Project overview and neighbor input

EXISTING PHOTO STUDY

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

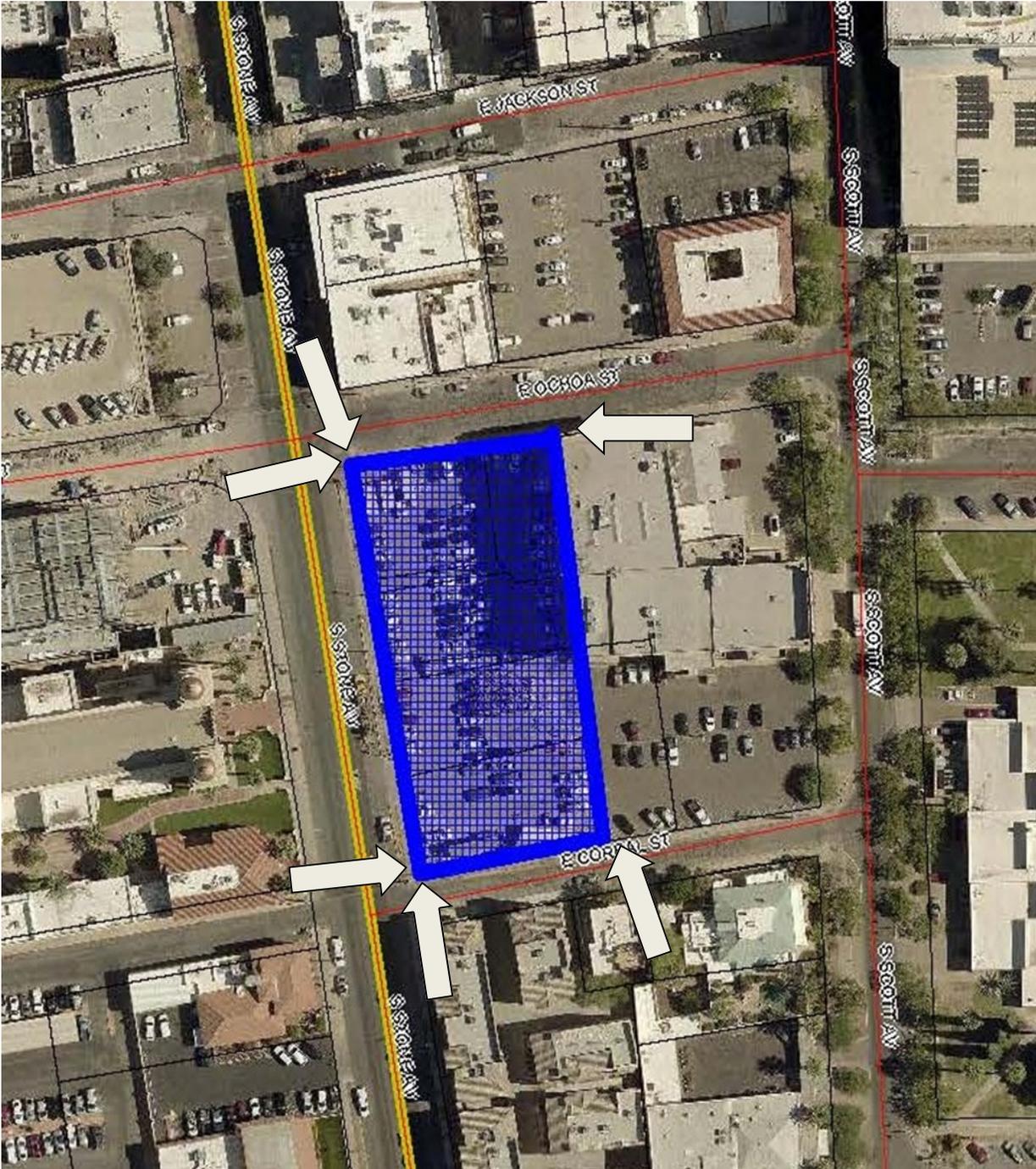
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# EXISTING PHOTO INDEX

The following pages show images taken from various locations adjacent to the Hilton Dual Brand Hotel development area. Please refer to this page to orient the following photos with the surrounding area.





# SOUTHWEST CORNER

This picture displays the existing conditions at the south frontage of the site, along Corral Street looking east from the southwest corner. This photo displays the existing streetscape along Corral Street.



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HILTON DUAL BRAND HOTEL

# SOUTHWEST CORNER

This picture displays the existing conditions at the west frontage of the site, along Stone Avenue looking north from the southwest corner. This photo displays the existing streetscape along Stone Avenue.



# SOUTHEAST CORNER

This picture displays the existing conditions along the east property line adjacent to the Scottish Rite property looking north from the southeast corner.



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# NORTHEAST CORNER

This picture displays the existing conditions along the north frontage of the site, along Ochoa Street looking west from the northeast corner. This photo displays the existing streetscape along Ochoa Street.



# NORTHWEST CORNER

This picture displays the existing conditions along the north frontage of the site, along Ochoa Street looking east from the northwest corner. This photo displays the existing streetscape along Ochoa Street.



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**HILTON DUAL BRAND HOTEL**

# NORTHWEST CORNER

This picture displays the existing conditions along the west frontage of the site, along Stone Avenue looking south from the northwest corner. This photo displays the existing streetscape along Stone Avenue.



ARCHITECTURAL PRECEDENCE

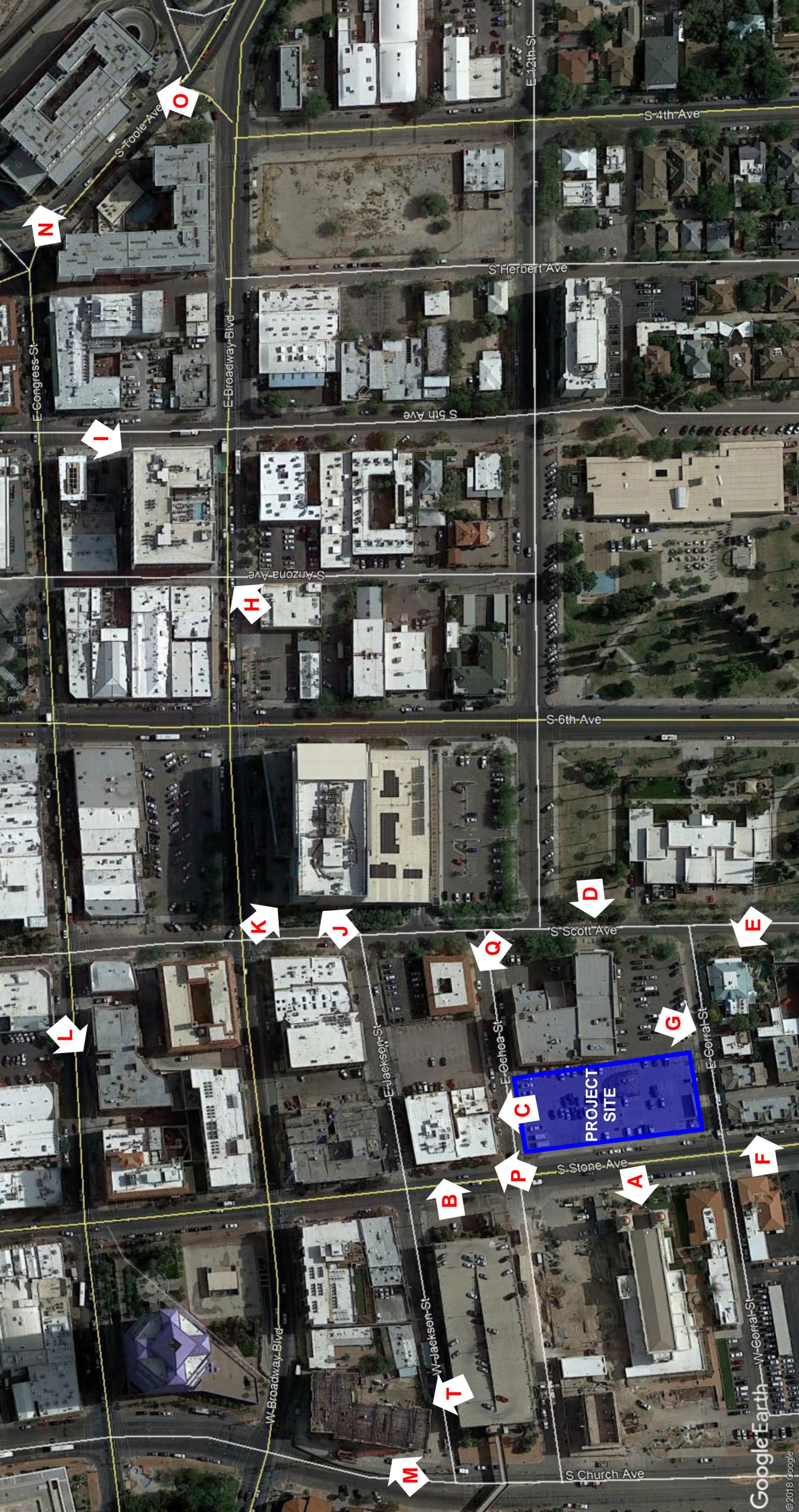
**HILTON DUAL BRAND HOTEL**

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S Toole Ave

N

E Congress St

I

E Broadway Blvd

H

S Arizona Ave

E 12th St

S 4th Ave

S Herbert Ave

S 5th Ave

S 6th Ave

S Scott Ave

K

J

Q

E

L

E Jackson St

E Cochran St

G

E Corral St

C

S Stone Ave

B

P

A

F

W Broadway Blvd

W Jackson St

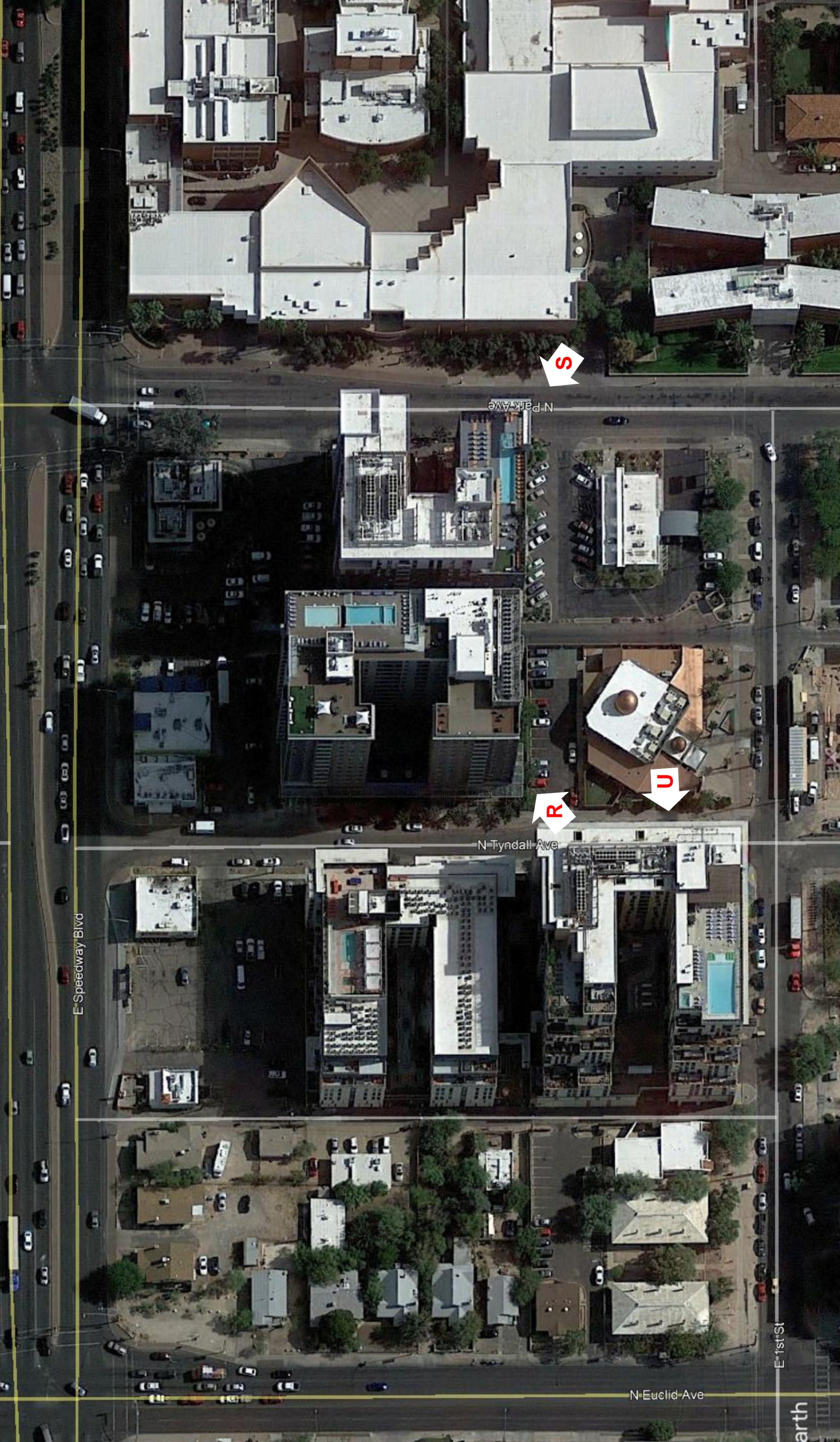
T

M

S Church Ave

W Corral St

PROJECT SITE



S

R

U

E-Speedway Blvd

N-Tyndall-Ave

N-Park-Ave

N-Euclid-Ave

E-1st-St

arth

# ARCHITECTURAL PRECEDENCE—A



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# ARCHITECTURAL PRECEDENCE 'y'



**HISTORIC PROPERTY OVERVIEW**

**HILTON DUAL BRAND HOTEL**





**Hilton Dual Brand Hotel  
Historic Property Overview**

The Hilton Dual Brand Hotel project (“Project”) has no existing buildings or historic structures located on the site. However, there are contributing historic properties and a City Historic Zone immediately adjacent to the project. In addition, the Project lies within the Armory Park National Register Historic district. The IID requires that all developments using its urban overlay standards have no negative impact on the status of the historic properties in and around the project. Specifically, a project cannot use the IID if it causes a historic property to be demolished or delisted from the National Historic Register (U.D.C. § 5.12.6.E.3-4). The following are the adjacent historic properties:

Parcel No	Address	Structure/Historic Status Description
117-13-1620	123 South Stone Avenue	<b>Contributing</b> structure in the Armory Park District. This structure currently is an office building.
117-13-0430	18 & 20 East Ochoa Street	<b>Non-Contributing</b> structure in the Armory Park District. This structure currently is commercial use.
117-13-1600	33 East Ochoa Street	<b>Non-Contributing</b> structure in the Armory Park District. This structure currently a Fraternal Organization.
117-13-1600	150 South Scott Avenue	<b>Contributing</b> structure in the Armory Park District. This structure currently religious use.
117-13-1600	160 South Scott Avenue	<b>Contributing</b> structure in the Armory Park District. This structure currently a Fraternal Organization.
117-13-1750	21 East Corral Street	<b>Contributing</b> structure in the Armory Park District. This structure currently a residence.
117-13-1620	72 West Ochoa Street	<b>Contributing</b> structure in the Armory Park District and on the National Register of Historic Places. This structure currently a religious and educational use.
117-13-156B	192 South Stone Avenue	<b>Contributing</b> structure on the National Register of Historic Places. This structure currently a religious use.



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



## Office Building

123 S. Stone Ave.

Historic Contributing Property



## Scottish Rite Cathedral

160 S. Scott Ave.

Historic Contributing Property



## La Placita

Parking Garage

211 S. Church Ave.

Noncontributing Property

## Cathedral Square

Conference & Education Center

192 S. Stone Ave.

Noncontributing Property

## St. Augustine Cathedral

192 S. Stone Ave.

Nat. Register of Historic Places



## Blenman House

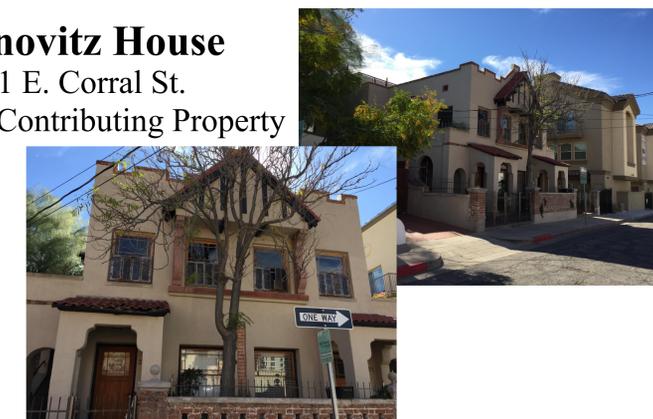
204 S. Scott Ave.

Historic Contributing Property

## Banovitz House

21 E. Corral St.

Historic Contributing Property



## Diocese Building

192 S. Stone Ave.

Noncontributing Property

## Residential Condominiums

201 S. Stone Ave.

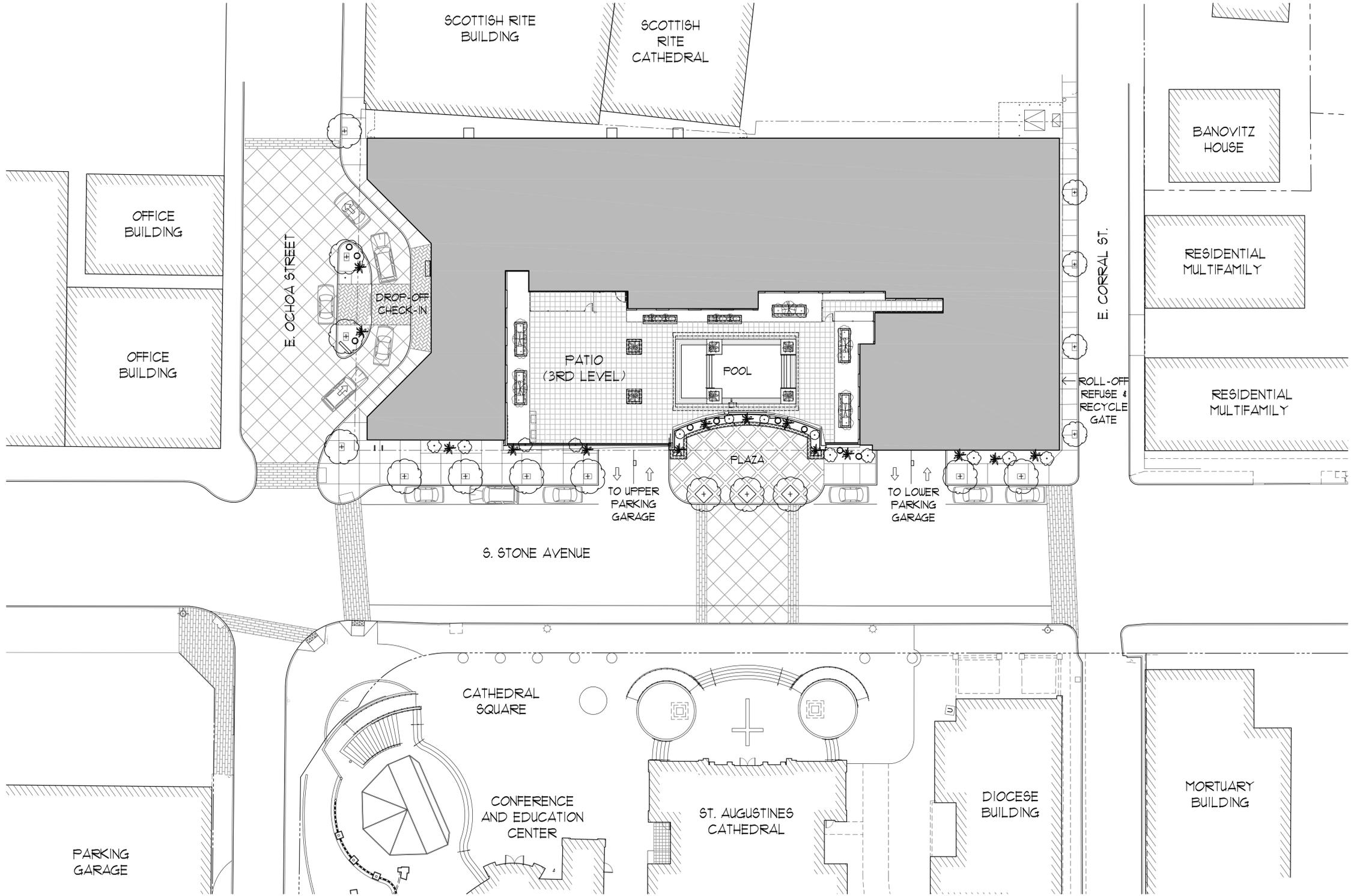
Noncontributing Property

**BUILDING DESIGN INFORMATION**



# HILTON Dual Brand Hotel

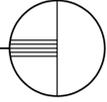
141 SOUTH STONE AVENUE



**SITE PLAN**

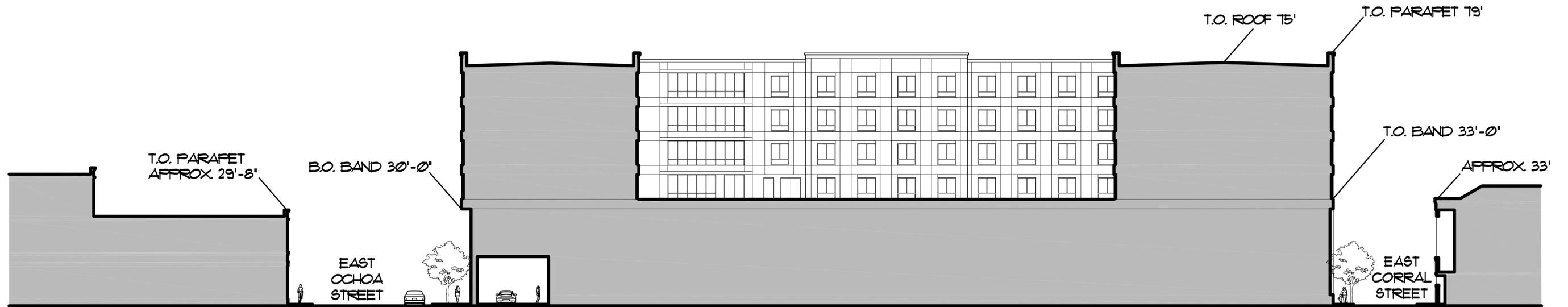
June 5, 2019

NORTH



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



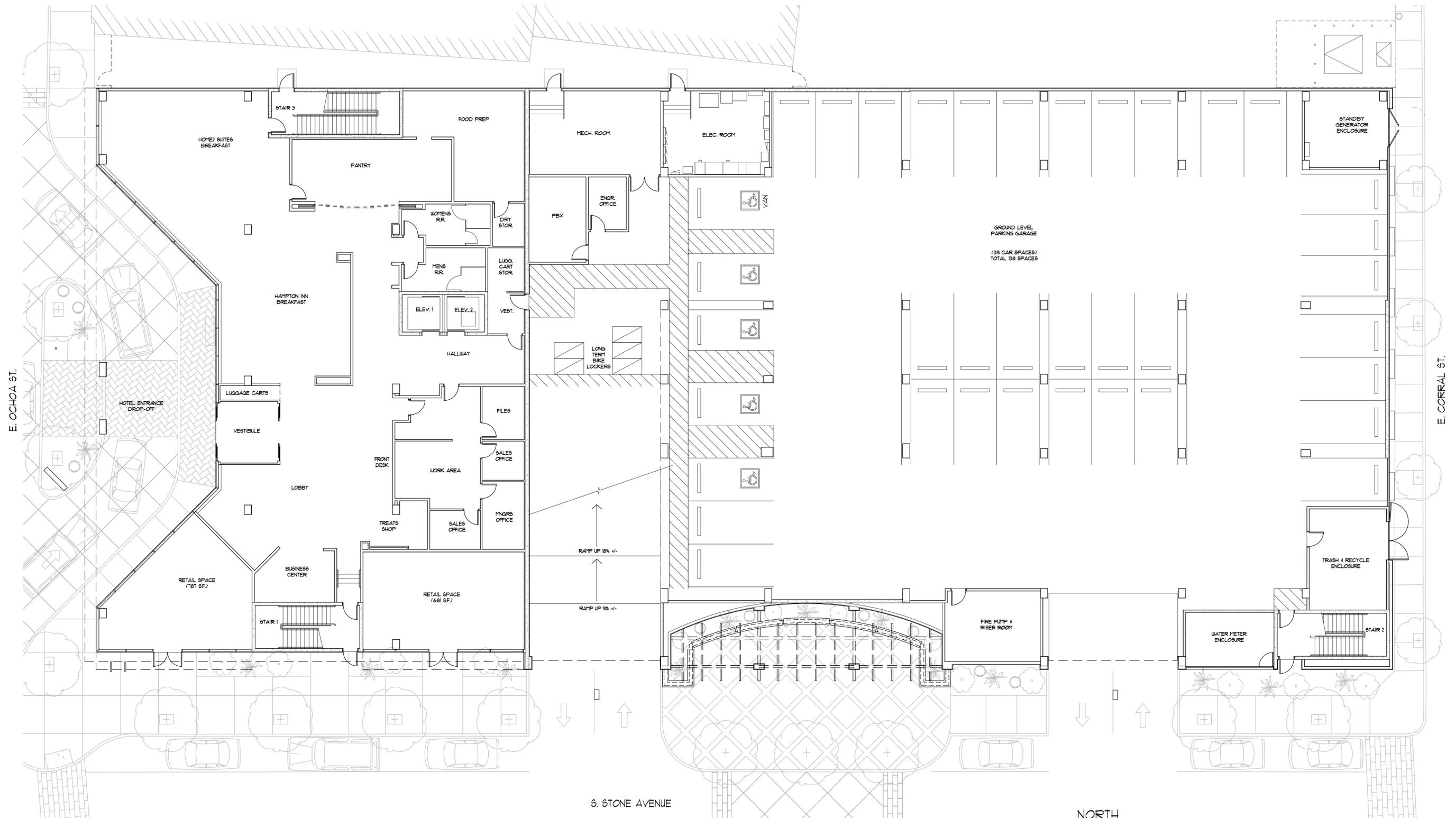
SITE SECTION (LOOKING EAST)



SITE SECTION (LOOKING NORTH)

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE

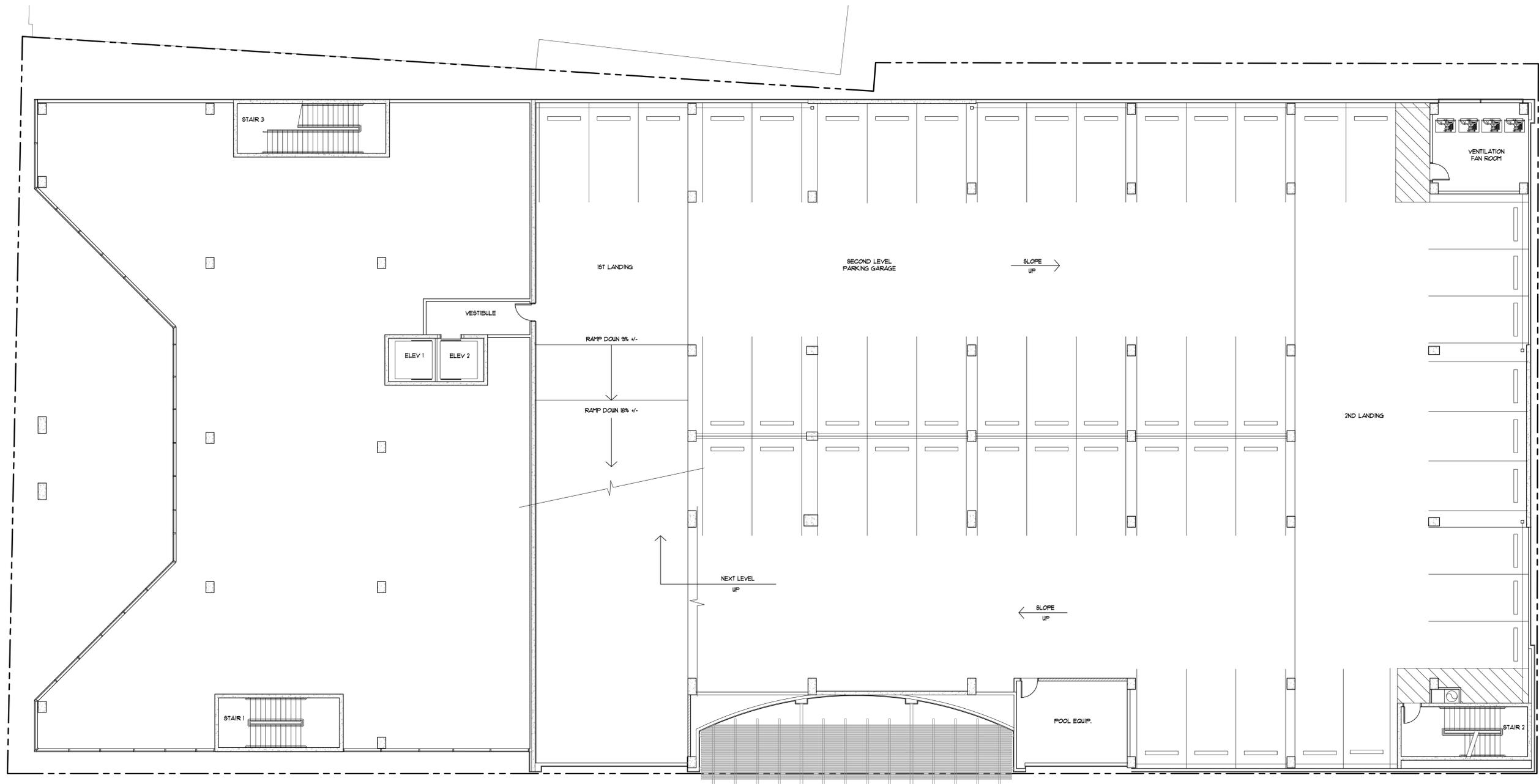


## FLOOR PLAN - 1st LEVEL GARAGE

June 5, 2019

# HILTON Dual Brand Hotel

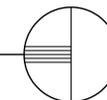
141 SOUTH STONE AVENUE



**FLOOR PLAN - 2nd LEVEL GARAGE**

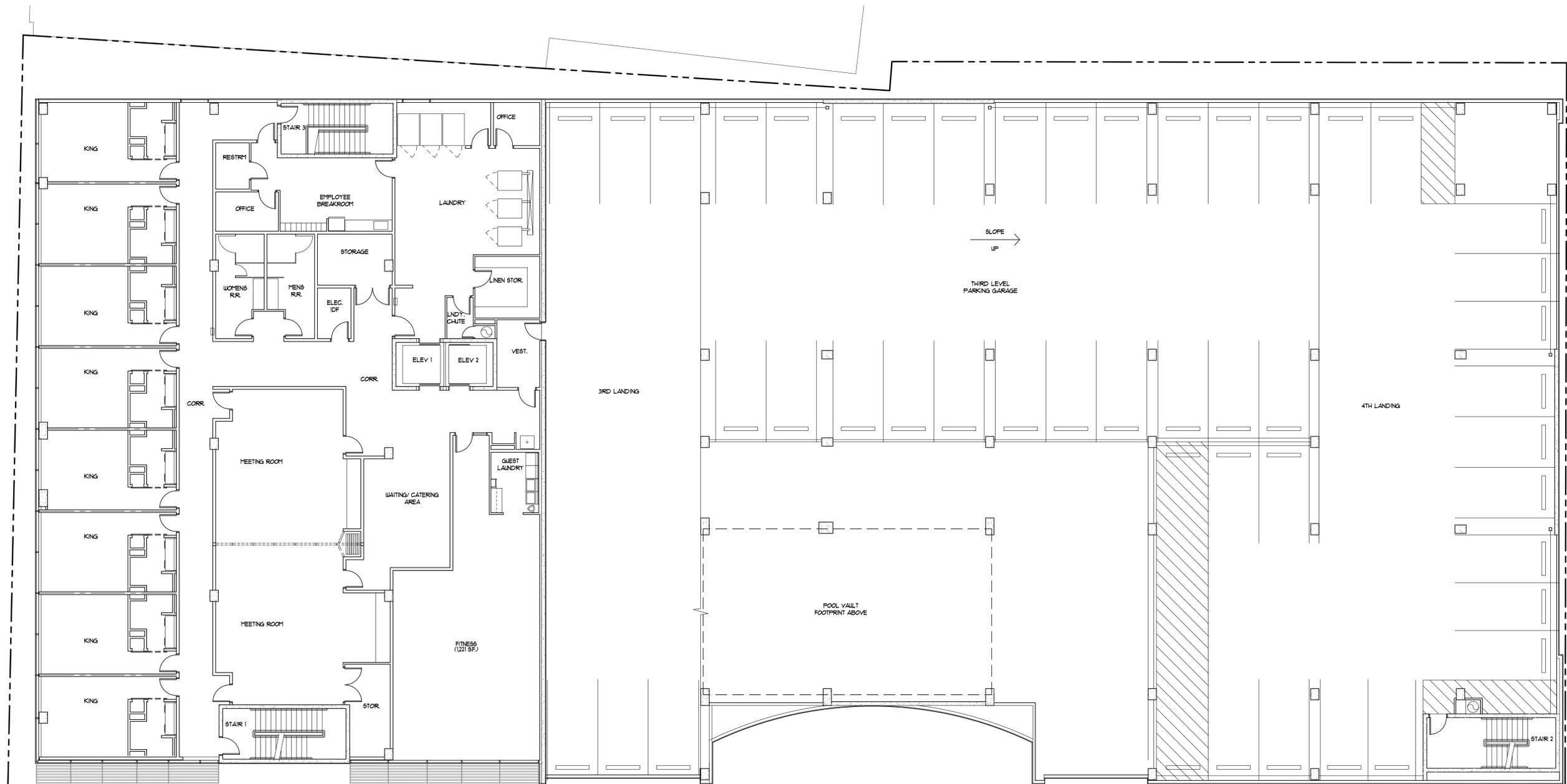
June 5, 2019

NORTH



# HILTON Dual Brand Hotel

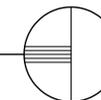
141 SOUTH STONE AVENUE



**FLOOR PLAN - 3rd LEVEL GARAGE**

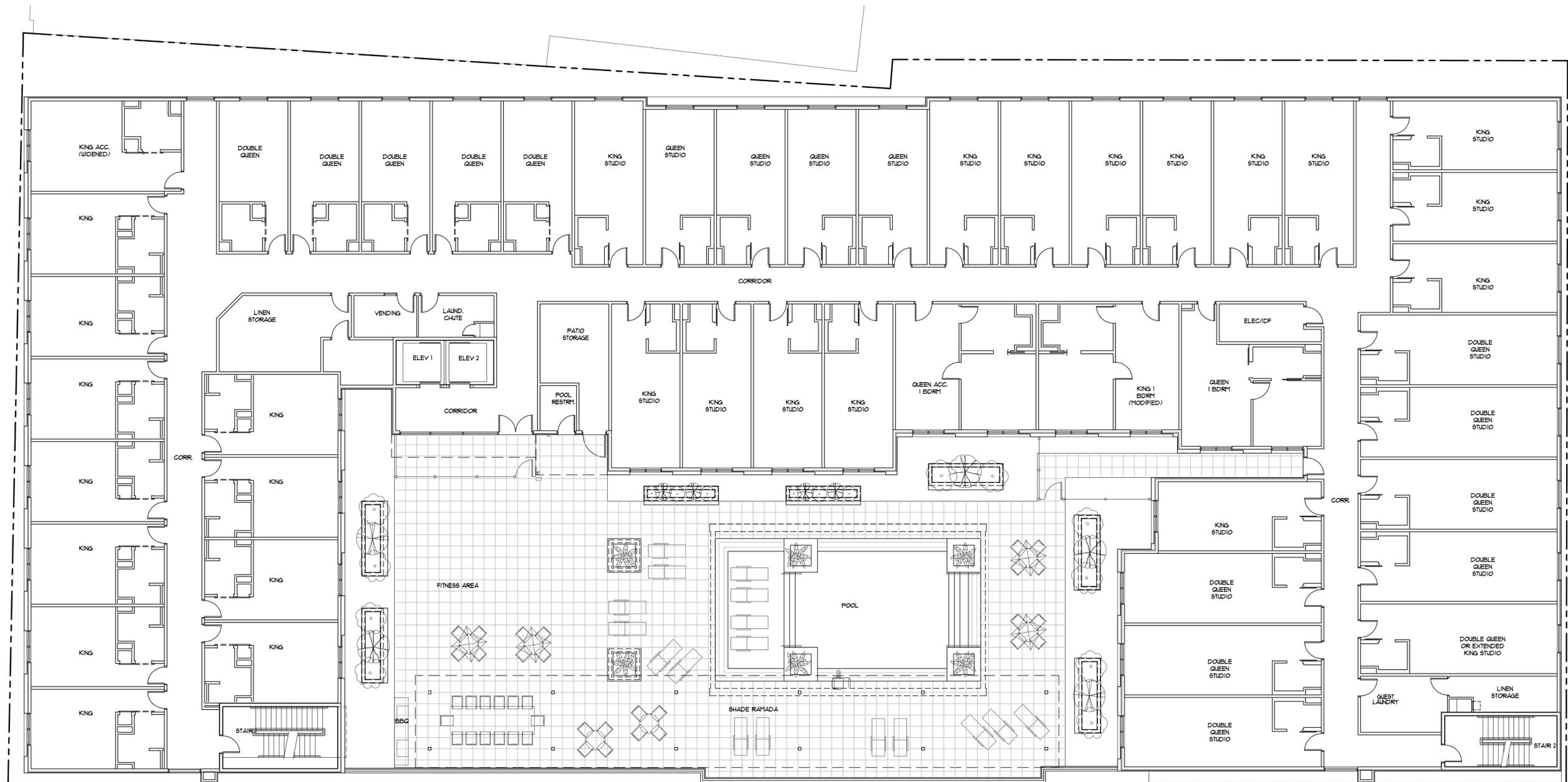
June 5, 2019

NORTH



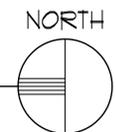
# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



FLOOR PLAN - 3rd LEVEL HOTEL

June 5, 2019



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



PERSPECTIVE FROM NORTHWEST

June 5, 2019

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



PERSPECTIVE AERIAL FROM WEST

June 5, 2019

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



PERSPECTIVE FROM WEST

June 5, 2019

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



**NORTH ELEVATION (FACING E. OCHOA ST.)**

SCALE: 1/20" = 1'-0"

June 5, 2019



**NORTH ELEVATION (INSIDE POOL/PATIO AREA)**

SCALE: 1/20" = 1'-0"

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



WEST ELEVATION (FACING S. STONE AVE.)

SCALE: 1/20" = 1'-0"

June 5, 2019

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



**SOUTH ELEVATION (FACING E. CORRAL ST.)**

SCALE: 1/20" = 1'-0"

June 5, 2019



**SOUTH ELEVATION (INSIDE POOL/PATIO AREA)**

SCALE: 1/20" = 1'-0"

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



**EAST ELEVATION (FACING SCOTTISH RITE PROP.)**

SCALE: 1/20" = 1'-0"

June 5, 2019

# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE

## Metal Wall Panels Smooth Texture



## EIFS Wall Panels Stucco Texture



## Metal Screen Panels Perforated Metal



## Building Color Palette

SW 6356  
Copper Mountain

SW 6354  
Armagnac

SW 6094  
Sensational Sand

SW 6113  
Interactive Cream

SW 0035  
Indian White

SW 6074  
Spalding Gray

SW 7020  
Black Fox

## Windows and Doors Curtainwall & Storefront Glazing System



## Exposed Metal Structure Louvered Shade Canopies, Ramadas, Railings and Screen Frames



# HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



*Quercus buckleyi*  
Red Rock Oak



*Russelia equisetiformis*  
Firecracker Bush



*Euonymus japonicus 'Microphyllus'*  
Boxleaf Euonymus



*Agave desmettiana*  
Smooth Agave



*Euphorbia antisyphilitica*  
Candelilla



*Lophocereus schottii monstrosus*  
Totem Pole Cactus



*Pedilanthus macrocarpus*  
Slipper Plant



*Aloe barbadensis*  
Aloe



*Nassella tenuissima*  
Mexican Feather Grass



*MacFadyena unguis-cati*  
Cat Claw Vine



*Campsis Radicans*  
Trumpet Creeper



*Lantana x 'New Gold'*  
New Gold Lantana



*Lantana montevidensis*  
Trailing Lantana



*Gaillardia x grandiflora 'Arizona Sun'*  
Arizona Sun Blanket Flower



*Dietes iridioides*  
Butterfly Iris

**APPENDIX**

**HILTON DUAL BRAND HOTEL**

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**#1 – NEIGHBORHOOD MEETING DOCUMENTATION**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

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## Neighborhood Meeting Summary

### Hilton Dual Brand Hotel – Infill Incentive District Project

**Project Overview:** The project is on the southeast corner of South Stone Avenue and West Ochoa Street extending south along Stone Avenue to East Corral Street (the “Project”). It will be developed by Fayth Hospitality (“Fayth”) pursuant to the Infill Incentive District (“IID”). The Hotel will incorporate Homes2 Suites and Hampton Inn products, both under the Hilton Brand.

**Meeting Date & Time:** Thursday, January 10th, 2019, 6:00 p.m. to 8:00 p.m.

**Location:** Tucson Scottish Rite Cathedral  
Arizona Ballroom  
160 South Scott Avenue  
Tucson, Arizona

**Meeting Invitation & Mailing:** All properties within the 300-ft. notification area and all registered neighborhood associations within 1 mile were sent a meeting invitation letter via First-class Mail in conformance with the City’s Unified Development Code § 3.2.2(C)(3). The mailing occurred on December 18, 2018, using City-generated mailing labels. See attached invitation letter.

**Attendance:** Approximately 26 neighbors and/or representatives from neighborhood associations attended per the attached sign-in sheet.

**Project Team:** The Project Team in attendance were:

- Kevin Hall, Cypress Civil Development
- Gregory Fay, Fayth Hospitality
- Michael Desmarteau, Seaver Franks Architects
- Michael Franks, Seaver Franks Architects
- Samantha Thompson, Cypress Civil Development

**Meeting Synopsis:** Mr. Hall opened the meeting by welcoming the attendees and introducing the Project Team. Mr. Fay stood up and gave a brief overview of the Hilton brand and detail about the two (2) specific brands that would be in this building. Mr. Hall then provided an overview of the Project’s goals and statistics, including the Project’s anticipated rooms (199), parking spaces (135) and building height (maximum six stories).

The Project's target market will be both short and long term guests who prefer to be in the Downtown Core or near the Tucson Convention Center.

Mr. Hall described the IID-standard modifications that we will request for the Project, as allowed by the IID. He explained the IID process moving forward, including that this meeting is the beginning of that process. He then showed the Project site plan and walked through how the site will function. This explanation included the location of the commercial/retail tenant spaces and hotel areas, the location of parking and loading areas, and how pedestrians, both guests and the public, will circulate in and around the Project.

Mr. Desmarteau finished the presentation by discussing the building design and showing the Project's current conceptual renderings. The Project Team then took questions and comments from attendees. The meeting concluded at approximately 7:30 pm, with some staying longer to discuss the project and ask further questions.

**Q&A Topics:** The question and comment period lasted approximately an hour and touched on numerous topics. Below is a summary of the questions and comments organized by issues, along with a summary of the Project team's responses:

- Parking:** There were several questions and comments about the Project's available parking. The residents are concerned about guests parking in the surrounding neighborhoods, and how the parking deck across Stone Avenue is not a guarantee. Other attendees supported the Project's use of the IID's reduced parking numbers, as they believe less parking will encourage the use of alternative modes of transportation (transit, bicycles, ridesharing). Residents also asked if extra parking would be offered to the public for a fee.

The Project Team explained that it anticipates 135 vehicle spaces will meet the Project's anticipated guest parking demand. It believes demand will be less due to the Project's type, location and the availability of alternate transportation modes. The Project's location is ideal for guests without vehicles as it is near downtown and the University, and is near bus and street-car stops. The team discussed growing trends in urban projects that show hotel guests are less likely to bring cars and more likely to use ride share options. They anticipate the Project will see the same trend.

Attendees asked what would happen if the demand exceeds 135 spaces, and would Fayth be willing to make additional partnerships to facilitate that. An attendee also asked whether Fayth will consider providing consistently vacant spaces to the public. Fayth is open to this if feasible and has consistent vacancies.

Other attendees were concerned with the noise and lights coming from the parking deck area on the south side of the building toward the adjacent residences. The Project Team assured that between the screening/wall and the façade that no car lights would shine into residential windows.

Regarding commercial spaces, the IID does not require the Project to provide these spaces. The Project will incorporate metered spaces on Stone Ave., and will rely on those for its commercial parking spaces.

•Improving Pedestrian Experience: An attendee asked that Fayth support current efforts to improve the area's pedestrian experience and make Ochoa Street a main pedestrian corridor. However, a concern was expressed that having the lobby located on Ochoa Street would actually increase vehicle traffic and negate the pedestrian corridor. The Project team agreed to keep this in mind during the final design phase.

•Trash Collection: A concern was voiced about where and how the trash would be collected on Corral Street. Since the proposition is to keep the trash inside the building until collection time, some attendees argued that that could potentially block the driveways of neighbors. The Project Team assured the attendees that the specifics of the trash location were still being examined and every effort would be made to avoid that. The Project Team stated they are also working with TEP in regards to the overhead powerlines and how to avoid any conflict there as well.

•Proximity to Scottish Rite: A question was asked about how close the Project would be to the existing building and how the Project Team would handle the vibrations. The Project Team stated that the hotel will be anywhere from five (5) to eleven (11) feet away and the vibrations and any other effects will be monitored.

•Public Transit: The Project Team was asked if they would be offering Street Car/Bus/TuGo Bike passes to their guests to encourage public transit use. Fayth agreed that this could be offered. Another concern was regarding the bike lane and its preservation during and after construction. The project team will be working with Park Tucson and TDOT to ensure Stone Avenue is accessible.

•Food and Drink Options: One question was regarding whether or not there would be a restaurant and/or bar in the Hotel. There will only be breakfast served to guests and no bar present.

- *Design Feedback:* There was a variety of feedback on the Project's design. Some felt the design does not integrate with the surrounding historic and contributing buildings, and others commented that the design was "just like every other new box building". There was a request to enhance the pedestrian experience along Stone Avenue by providing additional seating and widening the sidewalk by inseting the façade. The Project Team stressed that we are at the beginning of the IID and building design process, and that we will adjust the design based on comments from this and future meetings. Many commented that they were unable to see the South and East elevations because renderings were not presented. The Project Team was also asked about the street lights on Stone Ave. and if they would be preserving the current theme. To both of these comments the Project Team responded that they are still in the early stages of design and that it will be evolving with input from these meetings and future reviews.

JANUARY 10, 2019  
IID NEIGHBORHOOD MEETING

FAYTH HOSPITALITY  
SEAVER FRANKS ARCHITECTS  
CYPRESS CIVIL DEVELOPMENT

# HILTON DUAL BRAND HOTEL

# PRESENTATION OUTLINE

- Introduction
  - IID Design Package Process
  - Historical/Architectural Precedence
- Development Team
- Hilton Dual Brand Concept
- Hampton Inn / Home 2 Suites
- Project Overview
  - Location
  - Project Goals
  - Proposed Site Layout
- Infill Incentive District
  - IID & DCS
  - Requested Modifications
- Project Renderings
- Question & Answer

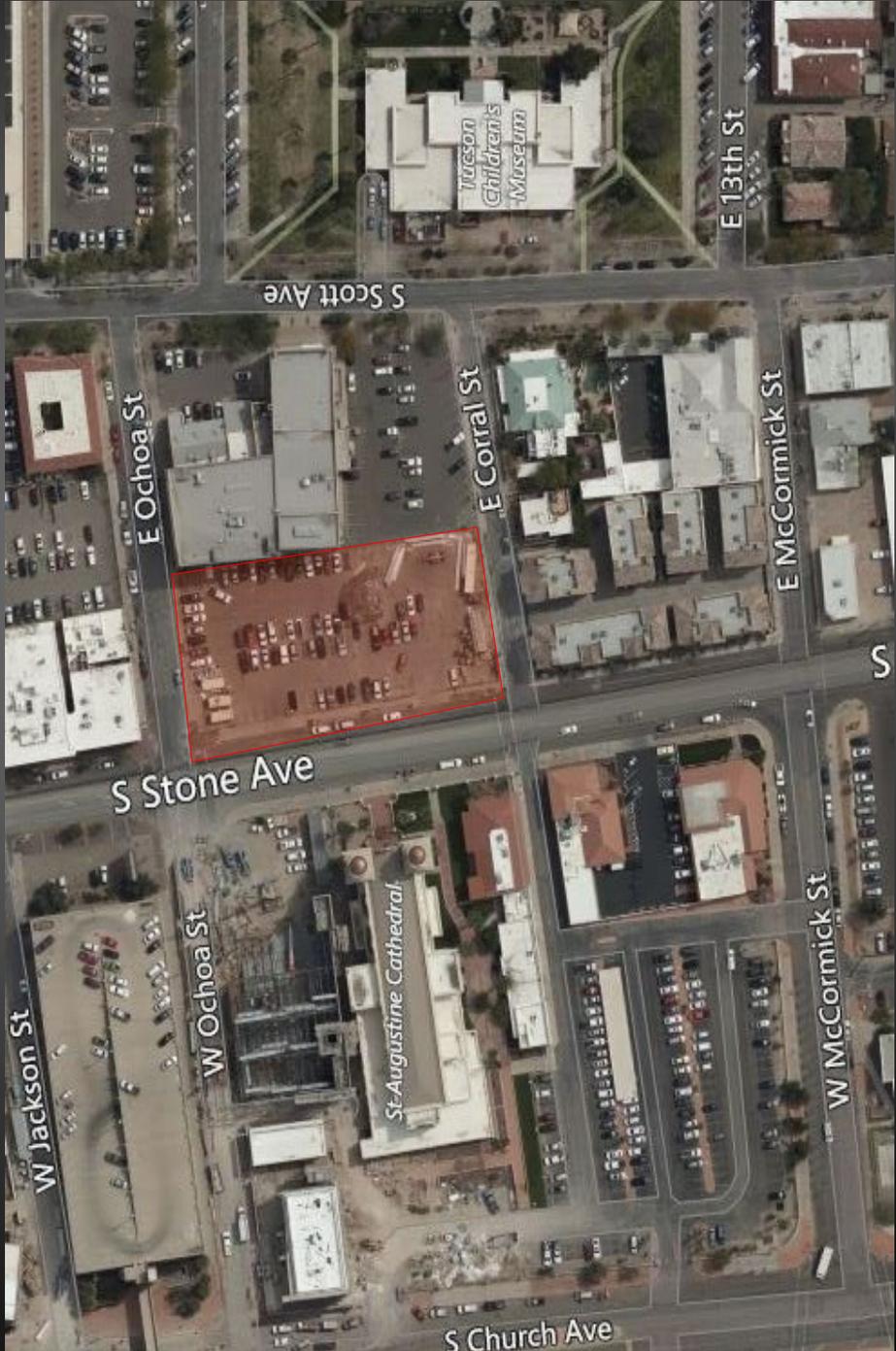
# DEVELOPMENT TEAM



# HILTON DUAL BRAND CONCEPT



# PROJECT OVERVIEW



# PROJECT OVERVIEW

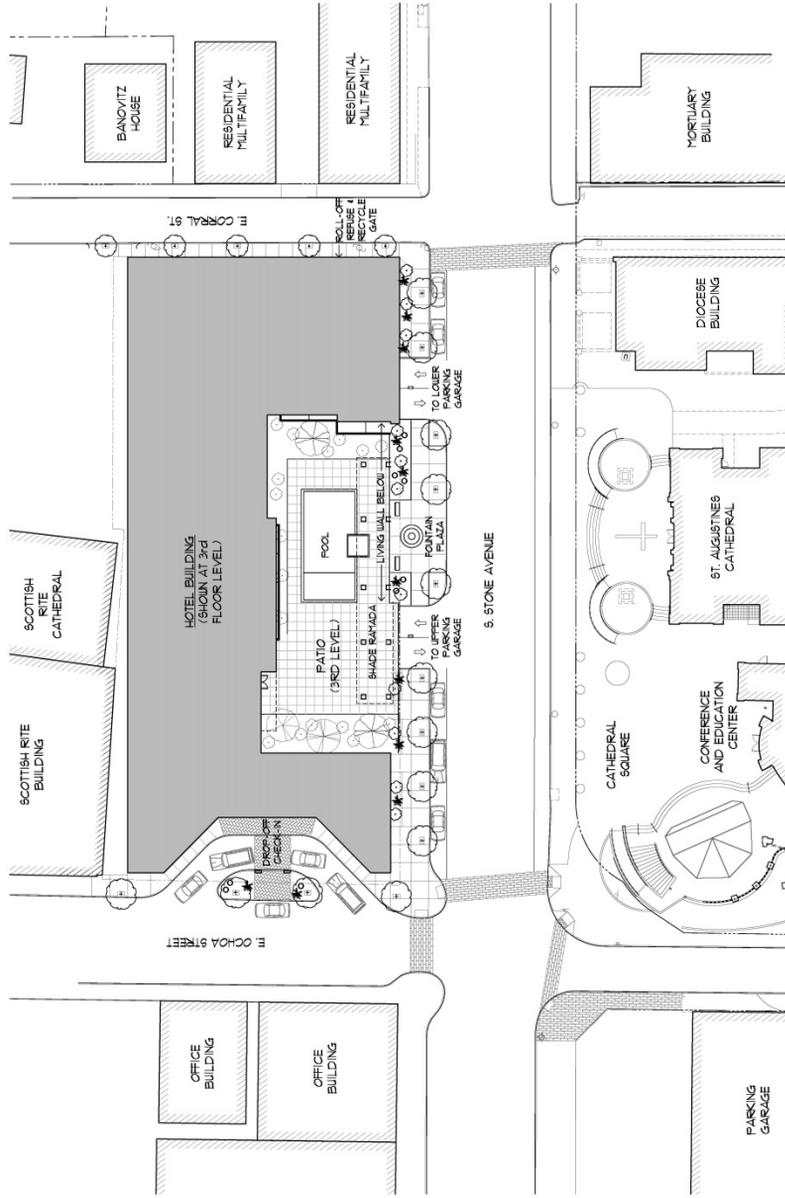
- Goals:
  - Provide much needed hotel rooms in Downtown Core
  - Create a sustainable and transit-oriented environment for visitors
  - Activate the location to assist with a pedestrian friendly East-West corridor along Ochoa Street

# PROPOSED SITE LAYOUT



# PROPOSED SITE LAYOUT

## HILTON Dual Brand Hotel 141 SOUTH STONE AVENUE



SITE PLAN

# INFILL INCENTIVE DISTRICT

- **INFILL INCENTIVE DISTRICT (IID)**
  - An optional overlay zone that allows certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.
- **DOWNTOWN CORE SUBDISTRICT (DCS)**
  - Development is intended to take advantage of the Modern Street Car project, and promote high-density infill transit-oriented development.
  - Development incentives for this zone include greater developable footprint and reduced parking requirements.

# INFILL INCENTIVE DISTRICT

- Requested modifications :
  - Major Streets & Routes setbacks
  - Street perimeter yards
  - Motor Vehicle & Bicycle parking
  - Off-street loading
  - Landscaping & Screening
  - Native Plant Preservation
  - Solid waste collection

# INFILL INCENTIVE DISTRICT

- IID Design Package Process (Major Design Review)
  - Pre-application conference w/ City Staff and Design Professional – 12/16/2018
  - ★ Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile) – 01/10/2019
  - Summarize Neighborhood Meeting
  - Submit Design Package to City Staff
  - Tucson/Pima County Historical Commission Review & Recommendation
  - Meet & review Design Package with Design Professional
  - Design Review Committee Review & Recommendation
  - Planning & Development Services Director – Review findings and issues DECISION

# HISTORICAL/ARCHITECTURAL PRECEDENCE

## HILTON Dual Brand Hotel 141 SOUTH STONE AVENUE



**Office Building**  
123 S. Stone Ave.  
Historic Contributing Property



**Scottish Rite Cathedral**  
160 S. Scott Ave.  
Historic Contributing Property



**La Placita**  
Parking Garage  
211 S. Church Ave.  
Noncontributing Property

**Cathedral Square**  
Conference & Education Center  
192 S. Stone Ave.  
Noncontributing Property

**St. Augustine Cathedral**  
192 S. Stone Ave.  
Nat. Register of Historic Places



**Diocese Building**  
192 S. Stone Ave.  
Noncontributing Property

**Residential Condominiums**  
201 S. Stone Ave.  
Noncontributing Property



**Blenman House**  
204 S. Scott Ave.  
Historic Contributing Property



**Banovitz House**  
21 E. Corral St.  
Historic Contributing Property



NEIGHBORHOOD VICINITY MAP



# PROJECT RENDERINGS

HILTON Dual Brand Hotel  
141 SOUTH STONE AVENUE



FaytH HOSPITALITY

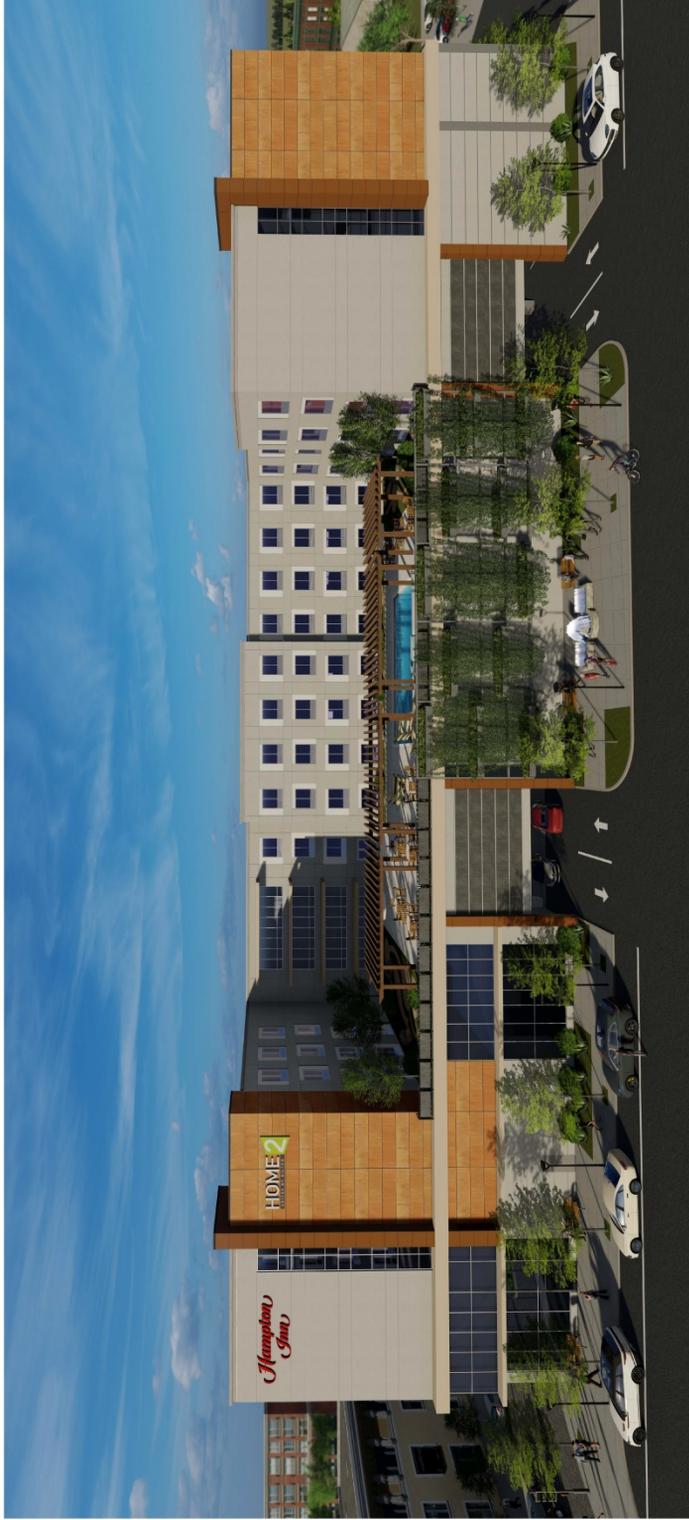
PERSPECTIVE (FROM NORTHWEST)

SEAVER FRANKS  
ARCHITECTS INC AIA

SEAVER FRANKS  
ARCHITECTS INC AIA

# PROJECT RENDERINGS

## HILTON Dual Brand Hotel 141 SOUTH STONE AVENUE



Fayt HOSPITALITY

PERSPECTIVE (FROM WEST)

SEAVER FRANKS  
ARCHITECTS INC AIA

SEAVER FRANKS  
ARCHITECTS INC AIA

# QUESTIONS & ANSWERS

- Questions?
- Contact information:
  - Samantha Thompson– Cypress Civil Development  
[sthompson@cypresscivil.com](mailto:sthompson@cypresscivil.com)

THANK YOU FOR COMING!



17 December 2018

**RE: Use of the Infill Incentive District (IID) Optional Overlay – Hampton Inn/Home2 Suites Hotel – 141 South Stone Avenue**

Dear Neighbor:

We will be holding a neighborhood meeting to discuss the requested use of the Infill Incentive District (IID) Optional Overlay standards for a proposed hotel development project located at 141 South Stone Avenue. The goal of the development project is to redevelop the subject downtown property, which currently consists of a paved parking lot, with approximately 200 hotel rooms and the associated amenities and parking while incorporating the adjacent historical architecture flavor into the overall development scheme.

You are invited to attend the meeting on:

**Date:** January 10, 2019  
**Time:** 6:00pm to 8:00pm  
**Location:** Tucson Scottish Rite Cathedral, Arizona Ballroom  
**160 South Scott Avenue**  
Southwest corner of South Scott Ave and East Ochoa Street  
Scottish Rite Cathedral parking lot will be available for all attendees

We encourage public participation and, in addition to questions presented in person at the meeting, you may also direct questions or comments to Samantha Thompson at [sthompson@cypresscivil.com](mailto:sthompson@cypresscivil.com) or (520) 499-2456 prior to the public meeting.

The purpose of this meeting will be to present the proposed development, explain relative details, the use of the IID, and hear any constructive ideas that you may have relating to our proposal. We encourage you to attend the meeting, provide insight about the area and the surrounding neighborhoods, and ask any questions you may have regarding the potential project and/or the use of the IID at this location. Our goal with this process is to be able to respond to your ideas and make every effort to become a welcomed future neighbor. We look forward to meeting with you personally.

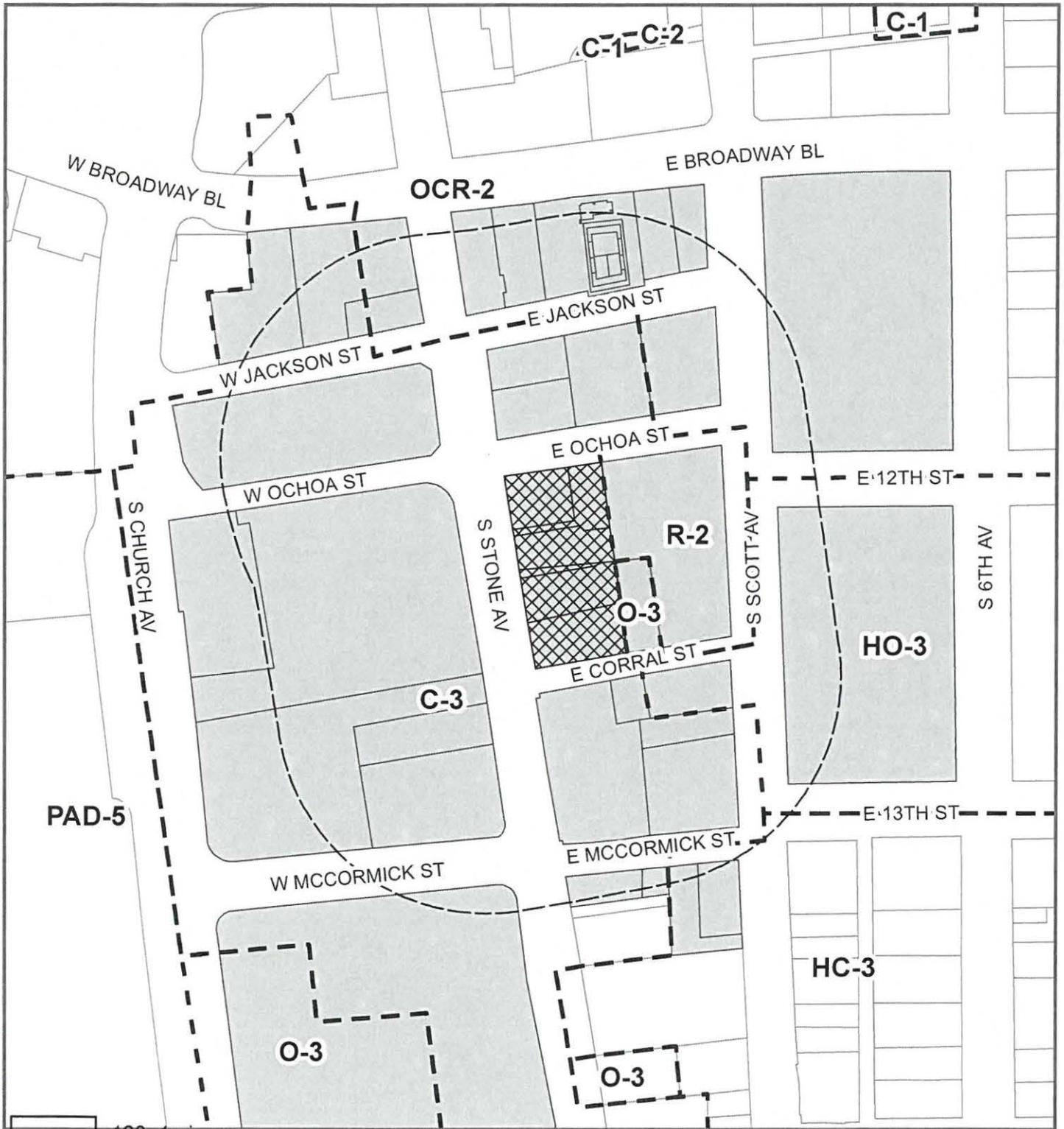
If you have any questions, please do not hesitate to contact Samantha. Thank you for your time and consideration.

Sincerely,

**Cypress Civil Development**

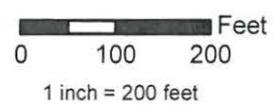


Samantha Thompson  
Project Assistant  
(520) 499-2456  
[sthompson@cypresscivil.com](mailto:sthompson@cypresscivil.com)



- 123\_1mi
- Subject Property
- Notification Area (300 ft. Radius)
- Zone Boundaries
- Properties Notified

Address: 141 S Stone Ave  
 Base Maps: Twp.14S Range13E Sec. 13  
 Ward: 6





**CERTIFICATION OF MAILING**

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to \_\_\_\_\_

to be mailed to everyone on the mailing list on 12/18/2018,  
(date of mailing)

for the neighborhood meeting to be held on 01/11/2019.  
(date of neighborhood meeting)

  
(signature of applicant/applicant's agent)

02/14/2019  
(date signed)

Documentation if available (such as receipt)

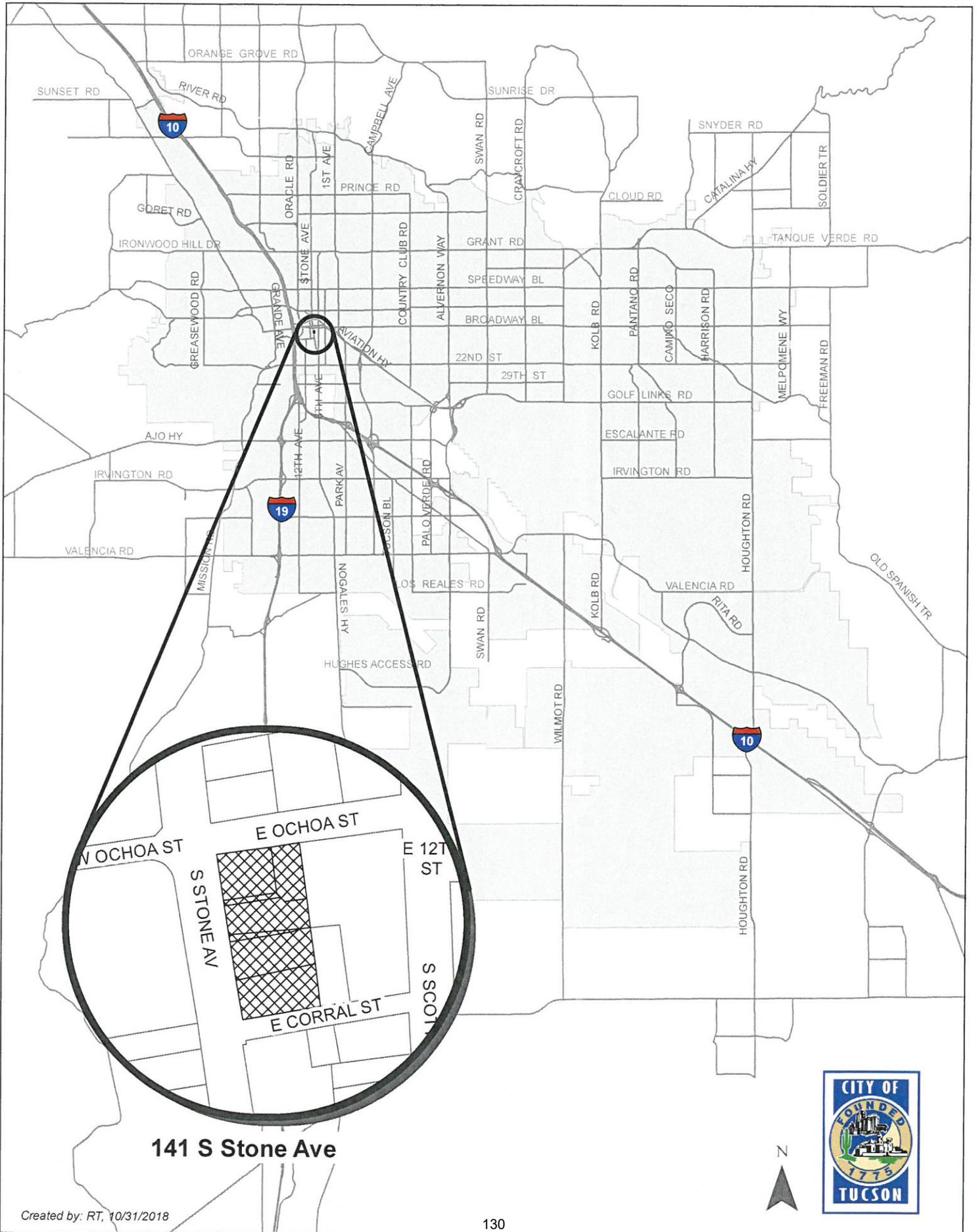






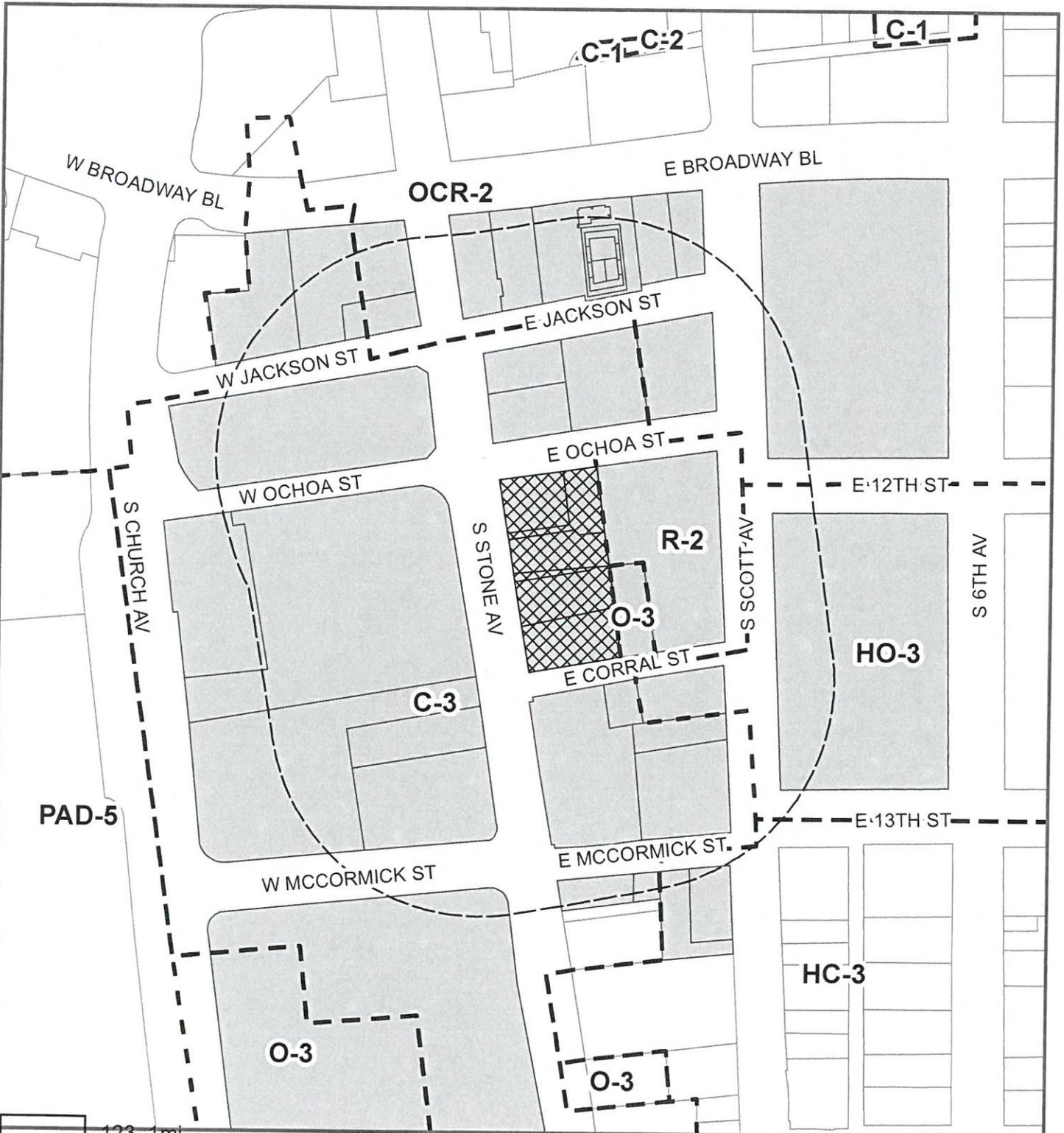


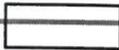
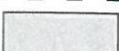
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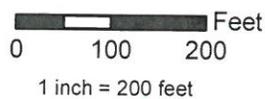
**141 S Stone Ave**

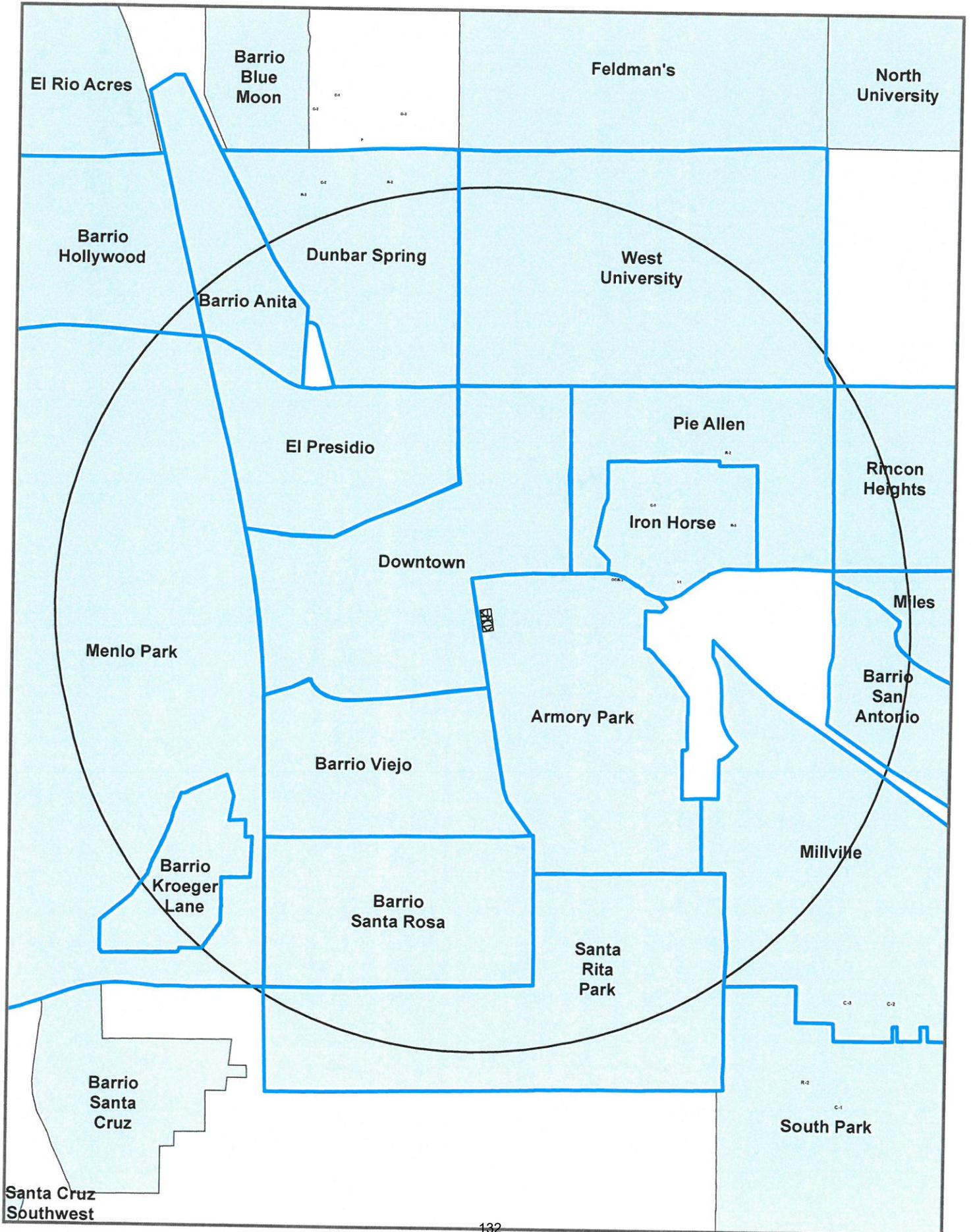




-  123\_fm1
-  Subject Property
-  Notification Area (300 ft. Radius)
-  Zone Boundaries
-  Properties Notified

Address: 141 S Stone Ave  
 Base Maps: Twp.14S Range13E Sec. 13  
 Ward: 6





Jonathan Rothschild  
Mayor  
255 W. Alameda ST  
Tucson, AZ 85701

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Letitia A Gonzales  
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Eva-Marie Hube  
N.A.-Downtown Neighborhood  
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Karen Greene  
N.A.-Dunbar Spring  
1023 N Perry Ave  
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Eva (Co-Secretary)  
N.A.-Dunbar Spring  
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Natasha Winnik  
N.A.-Dunbar Spring  
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Peggy Wilder (Co-Pres)  
N.A.-El Presidio  
Tucson, AZ

Bob Freitas (Co-Pres)  
N.A.-El Presidio  
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Peter Norback  
N.A.-Miles  
1428 E Miles  
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931 S Highland  
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1070 E 20th St  
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N.A.-Pie Allen  
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Pat Homan  
N.A.-Pie Allen  
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Deb Dedon  
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Amanda Smith  
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Tucson, AZ 85733

MARGARET BLY  
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LENOR GLOVER  
N.A.-West University  
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Regina Romero  
Ward 1  
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Richard Fimbres  
Ward 5  
4300 S. Park Av  
Tucson, AZ 85714

Steve Kozachik  
Ward 6  
3202 E. 1st St  
Tucson, AZ 85716

Expires 02/05/2019

117130360 GW 2006 TR ATTN: GWENDOLYN WEINER PO BOX 121938 FORT WORTH, TX, 76121-1938	117130400 130 SOUTH SCOTT LLC ATTN: DON SEMRO 70 W CUSHING ST TUCSON, AZ, 85701-2218	117131830 CARRILLO REALTY INVESTMENTS LLC ATTN: LOIS CARRILLO 410 N JOESLER CT TUCSON, AZ, 85716-5246
117131610 STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON, AZ, 85718-3206	117130420 RALLY POINT APARTMENTS LP 504 W 29TH ST TUCSON, AZ, 85713-3353	11713027A COPE PROPERTIES LLC 1477 W COMMERCE CT TUCSON, AZ, 85746-6016
117131750 SCHWABE RON & PATRICIA CP/RS 44 E BROADWAY BLVD STE 300 TUCSON, AZ, 85701-1710	11713156C SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH-TUCSON ATTN: REAL PROPERTY DEPT PO BOX 31 TUCSON, AZ, 85702-0031	117131640 STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON, AZ, 85718-3206
117132200 RIO NUEVO MULIPURPOSE FACILITIES DISTRICT 451 N BONITA AVE TUCSON, AZ, 85745-2750	11713182A CARRILLO REALTY INVESTMENTS LLC ATTN: LOIS CARRILLO 410 N JOESLER CT TUCSON, AZ, 85716-5246	117131650 STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON, AZ, 85718-3206
117140750 MORENO FAMILY TRUST & MICHAEL ARTURO ZEN & ELIAS ALBERTO VILA WARRAHAD ZEN & ELIAS ALBERTO VILA VOLUNTARIES TRUST 748 S 4TH AVE TUCSON, AZ, 85701-2718	117132170 RIO NUEVO MULIPURPOSE FACILITIES DISTRICT 451 N BONITA AVE TUCSON, AZ, 85745-2750	117131680 MASONIC-SCOTTISH RITE CATHEDRAL ASSN PO BOX 391 TUCSON, AZ, 85702-0391
11713044B MIMI LA PLACITA PARKING LLC ATTN: HSL LA PLACITA LLC 3901 E BROADWAY BLVD TUCSON, AZ, 85711-3452	11713039B COPE PROPERTIES LLC 1477 W COMMERCE CT TUCSON, AZ, 85746-6016	11713223A DAVILA SUZANA REVOC LIVING TR ATTN: CAFE POCO COSA 110 E PENNINGTON ST # 100 TUCSON, AZ, 85701-1508
117132190 RIO NUEVO MULIPURPOSE FACILITIES DISTRICT 451 N BONITA AVE TUCSON, AZ, 85745-2750	117130410 RIO NUEVO MULIPURPOSE FACILITIES DISTRICT 451 N BONITA AVE TUCSON, AZ, 85745-2750	117132250 FITCH LIVING TR ATTN: MORGAN L & PATRICIA R FITCH TR 44 E BROADWAY BLVD STE 403 TUCSON, AZ, 85701-1703
117132210 RIO NUEVO MULIPURPOSE FACILITIES DISTRICT 451 N BONITA AVE TUCSON, AZ, 85745-2750	117130430 123 S STONE LLC ATTN: RON SCHWABE 44 E BROADWAY BLVD STE 300 TUCSON, AZ, 85701-1710	11713039A WEST POINT APARTMENTS LP 504 W 29TH ST TUCSON, AZ, 85713-3353
117132270 44 E BROADWAY LLC 44 E BROADWAY BLVD STE 300 TUCSON, AZ, 85701-1710	11713156B SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH-TUCSON ATTN: REAL PROPERTY DEPT PO BOX 31 TUCSON, AZ, 85702-0031	117131630 STONE AVENUE NORTH LLC 3573 E SUNRISE DR STE 225 TUCSON, AZ, 85718-3206
11720024A SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH TUCSON PO BOX 31 TUCSON, AZ, 85702-0031	11713177C CITY OF TUCSON REAL ESTATE DIVISION ATTN: PROPERTY MANAGEMENT 6340 N CAMPBELL AVE STE 170 TUCSON, AZ, 85718-3182	117131730 JENNINGS JON LIVING TR ATTN: ERIC OXMAN & BARBARA GIBBONS TR 721 N 4TH AVE TUCSON, AZ, 85705-8446

117132180  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

11713037A  
GW 2006 TR ATTN: GWENDOLYN WEINER  
PO BOX 121938  
FORT WORTH, TX, 76121-1938

11714073B  
FIMBRES FAMILY LLC ATTN: NORMA FIMBRES DANYO  
1515 GLEN OAKS BLVD  
PASADENA, CA, 91105-1053

117131600  
MASONIC-SCOTTISH RITE CATHEDRAL ASSN  
PO BOX 391  
TUCSON, AZ, 85702-0000

117170580  
CITY OF TUCSON .  
, ,

117131620  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

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CITY OF TUCSON .  
, ,

117131720  
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

11713029A  
CITY OF TUCSON REAL ESTATE DIVISION ATTN: PROPERTY MANAGEMENT  
PO BOX 27210  
TUCSON, AZ, 85726-7210

117131740  
JENNINGS JON LIVING TR ATTN: ERIC OXMAN & BARBARA GIBBONS TR  
721 N 4TH AVE  
TUCSON, AZ, 85705-8446

117131660  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

11714072A  
SACCAN RONALD R SURVIVORS TR 50% & SACCAN NANCY C BYPASS TR 50% ATTN: RONALD R SACCAN TR  
6001 A1A PMB 8001  
VERO BEACH, FL, 32963-1014

117131670  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117140740  
FIMBRES FAMILY LLC ATTN: NORMA FIMBRES DANYO  
1515 GLEN OAKS BLVD  
PASADENA, CA, 91105-1053

117132220  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

11717023E  
UNISOURCE ENERGY CORP ATTN: TAX DIRECTOR MAIL STOP HQW602  
PO BOX 711  
TUCSON, AZ, 85702-0711

117132260  
ARIZONA BOARD OF REGENTS 220 W 6TH ST  
PO BOX 210300  
TUCSON, AZ, 85721-0001

117130320  
ARIZONA PIONEERS HISTORICAL SOCIETY  
949 E 2ND ST  
TUCSON, AZ, 85719-4840

Expires 02/05/2019

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Pedro M Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Letitia A Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Bryan Rawlins  
N.A.-Downtown Neighborhood  
1 W Broadway, Apt 602  
Tucson, AZ 85701

Eva-Marie Hube  
N.A.-Downtown Neighborhood  
1042 N Perry Ave  
Tucson, AZ 85705

Karen Greene  
N.A.-Dunbar Spring  
1023 N Perry Ave  
Tucson, AZ 85705

Eva (Co-Secretary)  
N.A.-Dunbar Spring  
Tucson, AZ

Natasha Winnik  
N.A.-Dunbar Spring  
Tucson, AZ

Peggy Wilder (Co-Pres)  
N.A.-El Presidio  
Tucson, AZ

Bob Freitas (Co-Pres)  
N.A.-El Presidio  
Tucson, AZ

Mary Jo Curtin  
N.A.-El Presidio  
233 N Main Ave  
Tucson, AZ 85701

Erika Mitnik (Co-Chair)  
N.A.-Iron Horse  
121 N Euclid  
Tucson, AZ 85719

Maria Cadaxa  
N.A.-Iron Horse  
216 N 1st Ave  
Tucson, AZ 85705

Jennie Mullins (Chair)  
N.A.-Iron Horse  
522 E 8th St  
Tucson, AZ 85705

Gene Einfrank  
N.A.-Menlo Park  
212 S. Avenida del Sembrador  
Tucson, AZ 85745

Wendy Sterner  
N.A.-Menlo Park  
1039 W Congress  
Tucson, AZ 85745

Adalberto Ballesteros III  
N.A.-Menlo Park  
402 S Melwood Av  
Tucson, AZ 85745

Andrew Hayes  
N.A.-Miles  
Tucson, AZ

Peter Norback  
N.A.-Miles  
1428 E Miles  
Tucson, AZ 85719

George Kalil  
N.A.-Millville  
931 S Highland  
Tucson, AZ 85719

Roger Becksted  
N.A.-Millville  
1070 E 20th St  
Tucson, AZ 85719

Nancy Robins  
N.A.-Pie Allen  
801 E 7th St  
Tucson, AZ 85719

Pat Homan  
N.A.-Pie Allen  
850 E. 7th St  
Tucson, AZ 85719

Colby Henley  
N.A.-Rincon Heights  
1140 E 10th St  
Tucson, AZ 85719

Deb Dedon  
N.A.-Rincon Heights  
1327 E 10th St  
Tucson, AZ 85719

Amanda Smith  
N.A.-Rincon Heights  
1625 E 8th St  
Tucson, AZ 85719

Angela M. Quiroz  
N.A.-Santa Rita Park-West Ochoa  
448 E 22nd St  
Tucson, AZ 85713

Yolanda Quiroz  
N.A.-Santa Rita Park-West Ochoa  
440 E 22nd St  
Tucson, AZ 85713

Ernie Lujan  
N.A.-Santa Rita Park-West Ochoa  
1445 S 4th Ave  
Tucson, AZ 85713

JUDY SENSIBAR  
N.A.-West University  
P.O. Box 42825  
Tucson, AZ 85733

MARGARET BLY  
N.A.-West University  
P.O. Box 42825  
Tucson, AZ 85733

LENOR GLOVER  
N.A.-West University  
PO Box 42825  
Tucson, AZ 85733

Regina Romero  
Ward 1  
940 W. Alameda St  
Tucson, AZ 85745

Richard Fimbres  
Ward 5  
4300 S. Park Av  
Tucson, AZ 85714

Steve Kozachik  
Ward 6  
3202 E. 1st St  
Tucson, AZ 85716

Expires 02/05/2019

117130360  
GW 2006 TR ATTN: GWENDOLYN WEINER  
PO BOX 121938  
FORT WORTH, TX, 76121-1938

117131610  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117131750  
SCHWABE RON & PATRICIA CP/RS  
44 E BROADWAY BLVD STE 300  
TUCSON, AZ, 85701-1710

117132200  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

117140750  
MASONIC-SCOTTISH RITE CATHEDRAL ASSN  
748 S 4TH AVE  
TUCSON, AZ, 85701-2718

11713044B  
MIMI LA PLACITA PARKING LLC ATTN: HSL LA PLACITA LLC  
3901 E BROADWAY BLVD  
TUCSON, AZ, 85711-3452

117132190  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

117132210  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

117132270  
44 E BROADWAY LLC  
44 E BROADWAY BLVD STE 300  
TUCSON, AZ, 85701-1710

11720024A  
SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH TUCSON  
PO BOX 31  
TUCSON, AZ, 85702-0031

117130400  
130 SOUTH SCOTT LLC ATTN: DON SEMRO  
70 W CUSHING ST  
TUCSON, AZ, 85701-2218

117130420  
RALLY POINT APARTMENTS LP  
504 W 29TH ST  
TUCSON, AZ, 85713-3353

11713156C  
SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH-TUCSON ATTN: REAL PROPERTY DEPT  
PO BOX 31  
TUCSON, AZ, 85702-0031

11713182A  
CARRILLO REALTY INVESTMENTS LLC ATTN: LOIS CARRILLO  
410 N JOESLER CT  
TUCSON, AZ, 85716-5246

117132170  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

11713039B  
COPE PROPERTIES LLC  
1477 W COMMERCE CT  
TUCSON, AZ, 85746-6016

117130410  
RIO NUEVO MULIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

117130430  
123 S STONE LLC ATTN: RON SCHWABE  
44 E BROADWAY BLVD STE 300  
TUCSON, AZ, 85701-1710

11713156B  
SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH-TUCSON ATTN: REAL PROPERTY DEPT  
PO BOX 31  
TUCSON, AZ, 85702-0031

11713177C  
CITY OF TUCSON REAL ESTATE DIVISION ATTN: PROPERTY MANAGEMENT  
6340 N CAMPBELL AVE STE 170  
TUCSON, AZ, 85718-3182

117131830  
CARRILLO REALTY INVESTMENTS LLC ATTN: LOIS CARRILLO  
410 N JOESLER CT  
TUCSON, AZ, 85716-5246

11713027A  
COPE PROPERTIES LLC  
1477 W COMMERCE CT  
TUCSON, AZ, 85746-6016

117131640  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117131650  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117131680  
MASONIC-SCOTTISH RITE CATHEDRAL ASSN  
PO BOX 391  
TUCSON, AZ, 85702-0391

11713223A  
DAVILA SUZANA REVOC LIVING TR ATTN: CAFE POCO COSA  
110 E PENNINGTON ST # 100  
TUCSON, AZ, 85701-1508

117132250  
FITZ LIVING TR ATTN: MORGAN L & PATRICIA R FITZ TR  
44 E BROADWAY BLVD STE 403  
TUCSON, AZ, 85701-1703

11713039A  
WEST POINT APARTMENTS LP  
504 W 29TH ST  
TUCSON, AZ, 85713-3353

117131630  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117131730  
JENNINGS JON LIVING TR ATTN: ERIC OXMAN & BARBARA GIBBONS TR  
721 N 4TH AVE  
TUCSON, AZ, 85705-8446

117132180  
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

11714073B  
FIMBRES FAMILY LLC ATTN: NORMA FIMBRES DANYO  
1515 GLEN OAKS BLVD  
PASADENA, CA, 91105-1053

117170580  
CITY OF TUCSON .  
''

117200250  
CITY OF TUCSON .  
''

11713029A  
CITY OF TUCSON REAL ESTATE DIVISION ATTN: PROPERTY MANAGEMENT  
PO BOX 27210  
TUCSON, AZ, 85726-7210

117131660  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117131670  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117132220  
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

117132260  
ARIZONA BOARD OF REGENTS 220 W 6TH ST  
PO BOX 210300  
TUCSON, AZ, 85721-0001

117130320  
ARIZONA PIONEERS HISTORICAL SOCIETY  
949 E 2ND ST  
TUCSON, AZ, 85719-4840

11713037A  
GW 2006 TR ATTN: GWENDOLYN WEINER  
PO BOX 121938  
FORT WORTH, TX, 76121-1938

117131600  
MASONIC-SCOTTISH RITE CATHEDRAL ASSN  
PO BOX 391  
TUCSON, AZ, 85702-0000

117131620  
STONE AVENUE NORTH LLC  
3573 E SUNRISE DR STE 225  
TUCSON, AZ, 85718-3206

117131720  
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT  
451 N BONITA AVE  
TUCSON, AZ, 85745-2750

117131740  
JENNINGS JON LIVING TR ATTN: ERIC OXMAN & BARBARA GIBBONS TR  
721 N 4TH AVE  
TUCSON, AZ, 85705-8446

11714072A  
SACON RONALD AS SURVING TR & SACON WENDY DEPASS TR & RONALD & SACON TR  
6001 A1A PMB 8001  
VERO BEACH, FL, 32963-1014

117140740  
FIMBRES FAMILY LLC ATTN: NORMA FIMBRES DANYO  
1515 GLEN OAKS BLVD  
PASADENA, CA, 91105-1053

11717023E  
UNISOURCE ENERGY CORP ATTN: TAX DIRECTOR MAIL STOP HQW502  
PO BOX 711  
TUCSON, AZ, 85702-0711

Expires 02/05/2019

# REQUEST FOR MAILING LABELS & ADDRESS VERIFICATION

Project Address 141 S Stone Hotel

Project Location (cross streets): 141 South Stone Avenue (S Stone Ave & E Ochoa St)

Applicant/Agent Name Theresa Hadley - Cypress Civil Development

Mailing Address 2030 E Speedway Blvd Ste 110 Tucson, AZ 85719

Phone 520.499.2456

 10/26/18  
Applicant/Agent Signature Date

**Please attach the following.** Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Assessor's Property Inquiry Printout (APIQ)<br>(one printout for each lot included in the project) | <input checked="" type="checkbox"/> Assessor's Block & Lot Map         |
| <input checked="" type="checkbox"/> Legal Description  | <input checked="" type="checkbox"/> Aerial with boundaries highlighted |

## LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- |   |   |
|---|---|
| <input type="checkbox"/> Environment Resource Zone                        | <input type="checkbox"/> WASH Ordinance               |
| <input type="checkbox"/> Hillside Development Zone                        | <input type="checkbox"/> Scenic Corridor Zone         |
| <input type="checkbox"/> Design Development Option                        | <input type="checkbox"/> Board of Adjustment          |
| <input type="checkbox"/> Design Development Option ( <b>Full Notice</b> ) | <input type="checkbox"/> MDR Limited Notice           |
| <input type="checkbox"/> Rezoning/SE                                      | <input checked="" type="checkbox"/> Other: <u>IID</u> |

## THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

### PROCESSING FEE

\$220.00       Check Number: \_\_\_\_\_       Cash

Charge Account: \_\_\_\_\_

Date Received: \_\_\_\_\_ Date Due: \_\_\_\_\_

Requested By: \_\_\_\_\_ Due To: \_\_\_\_\_

Request to Staff:     JR      Processing Staff: SM        

Comments: \_\_\_\_\_

Hilton Dual Brand Hotel Tucson  
IID/DRC Follow-up to Review Comments

In response to the Design Professional review comment letters, and the subsequent DRC study session, the Project Team has compiled a revised design package. It has been our goal to incorporate design improvements, and incorporate suggestions that will in our hopes, satisfy the DRC concerns, improve the final design and ultimately the outcome of the project.

The following is a brief summary of the primary review comments, and explanation of the design response. The graphic slides in the design package should clarify in further detail.

1. Comment:

West Façade – still does not respond in a substantial enough way to the iconic symmetry of the east-facing façade of the San Augustine Cathedral.

Response:

The bump out of the curb has been reshaped to be symmetrical with the Cathedral centerline.

The parking structure has been recessed an additional 10' for a total of 14' in from property line.

The pedestrian table indicated on the site plan will be further pursued with TDOT. The applicant is fully in favor of this.

2. Comment:

Shade and Glare – sun glare from south façade facing residential, and north portion of the first level west façade.

Response:

Louvered shade elements have been added in front of the windows on the south elevation.

The retail spaces on the west façade include louvered 4' shade canopies, and cantilevered building overhangs. The addition of any full cutoff shade elements would be objectionable to retailers, but the addition of more shade trees on the sidewalk would be beneficial if the city will allow it.

3. Comment:

Color – the yellowish/cream color did not play an important role in the chosen color palette.

Response:

The colors from the neighboring properties were collected, and the palette has been revised accordingly.

4. Comment:

Cornice – the proposed small cornice does not respond to its historic neighbors.

Response:

The proposed cornice has been revised to a larger scale on the most prominent facades.

#2 – DOWNTOWN STREETScape INTERIM POLICY – RESPONSE LETTER

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER** **FRANKS**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT



**The following letter addresses the Downtown Streetscape Interim Policy for the HILTON DUAL BRAND HOTEL IID Design Package Application:**

The Hilton Dual Brand Hotel development project is located at the southeast corner of Stone Avenue and Ochoa Street, and bordered on the south by Corral Street. The project is located within the Downtown Core Sub-District (DCS) and Rio Nuevo Area (RNA) of the Infill Incentive District overlay zone (IID). As a part of the DCS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, the following statements are offered as they relate to the City of Tucson's Downtown Streetscape Interim Policy:

*1. Trees;*

**Response:** Trees will be, at time of installation, of 15 gallon minimum size. It is the goal of this development to provide a unique streetscape experience and, as such, will be providing the following plant species in addition to the existing species already located adjacent to the site: Silver Texas Mountain Laurel, Red Rock Oak, and Bottle Tree. Encumbrances to Pedestrian, Vehicular, and Environmental Services movement will be monitored by building management, and a management plan will be put in place to ensure clear movement by all affected parties.

*2. Pavers;*

**Response:** Grey concrete currently exists as the predominant hardscape material along Ochoa Street, Stone Avenue, and Corral Street. The development proposes to utilize a mixture of enhanced concrete paving patterns, decorative concrete paving, and/or brick pavers in specific areas to provide visual relief from the other areas of regular concrete. The design specifics are not fully developed as of the date of this package and will be developed going forward.

*3. Paving;*

**Response:** Grey concrete paving along with enhanced concrete paving patterns and decorative concrete paving will be provided both on and off-site, and will serve as the predominant hardscape material for private and nonpublic pedestrian zones. To maintain consistency with the surrounding areas, a mixture of smooth grey, medium broom, and other finishes per the architectural program will be utilized. The design specifics are not fully developed as of the date of this package and will be developed going forward.

*4. Street furniture;*

**Response:** No street furniture currently exists along the project frontages. The development plans to provide street furniture in the form of bicycle racks, benches, trash receptacles, and raised planters will be added along the Stone Avenue frontage. All planters or furniture will be a neutral sage green-grey earth tone, natural/rustic steel, or black.

*5. Planters and pots;*

**Response:** ADA compatible steel tree grates will be utilized along Stone Avenue and Corral Street where trees are proposed to be planted. Any raised planters will be limited to a height of 12 to 20 inches, be of steel construction, and be of similar color to other street furniture elements.

*6. Pedestrian lighting;*

**Response:** Existing pedestrian and street lighting will remain within the public rights-of-way to the greatest extent possible. Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture, without distracting from the elements of the façade, but be in full compliance with the City of Tucson Outdoor Lighting Code.

These responses are intended to supplement the Infill Incentive District submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

**Cypress Civil Development**



Kevin M. Hall, PE  
Principal

**#3 – MS&R SETBACK RELIEF NARRATIVE**



**RE: Major Streets & Routes Use Modification and Relief Request for the HILTON DUAL BRAND HOTEL Development**

Cypress Civil Development has compiled the following narrative responses for City of Tucson staff for the above mentioned project. The responses are listed by heading below:

**Description of Project:**

The proposed project is for a new six-story dual brand hotel use on seven (7) existing parcels at the southeast corner of South Stone Avenue and East Ochoa Street, and bordered on the south by East Corral Street – APN #'s 117-13-1610, -1620, -1630, -1640, -1650, -1660 and -1670. The proposed development would include the construction of permanent building structures within the future MS&R Right-of-way area of South Stone Avenue.

The proposed project is seeking to utilize the Infill Incentive District – Downtown Sub-District (DCS), and as such modification requests in conjunction with this waiver request have been submitted as part of the IID, and include but are not limited to: reduction to the UDC Landscape & Screening standards, the UDC Perimeter Yard standards, and UDC Building Setback standards.

It must be acknowledged that there are numerous buildings to the north and south of the subject property along South Stone Avenue that currently utilize a 0' lot line development standard and any future widening of South Stone Avenue would require the acquisition and demolition of these structures. It is our opinion that based upon the aforementioned the likelihood of a future expansion of South Stone Avenue is highly unlikely, and therefore the dedication of any property for future right-of-way would take away the pedestrian orientation and character of the area.

**Description of the proposed use of future MS&R Right-of-Way:**

The proposed MS&R Right-of-Way will be utilized for the proposed project, with development of the structures and streetscape improvements. It is the intent of the project to utilize the existing property/right-of-way boundary, as it exists today, with a 0 foot building setback – consistent and congruent with the neighboring properties. The proposed project plans to improve the pedestrian oriented environment along South Stone Avenue through significant streetscape improvements that include landscaping, furniture, shading, and other elements outlined in the Downtown Interim Streetscape Policy. These improvements will create an active and permeable pedestrian environment to an otherwise underutilized stretch along South Stone Avenue, and encourage pedestrian activity with a safer and cooler environment.

**Street name(s) of the requested MS&R setback relief:**

South Stone Avenue.

**Width of relief needed:**

The relief needed is 6' along South Stone Avenue.

**How the modification allows the development to provide an improvement that is better integrated into the design character of the immediate neighborhood:**

The proposed project is within the Downtown Core Sub-District (DCS) of the Infill Incentive District overlay zone (IID) which means a vast majority of the development in the area utilized a 0-foot lot line development standard at the time of construction. It should also be noted that numerous buildings in the area are listed, eligible to be listed, or are currently contributing to a historic district, which under the IID are all protected classes from demolition. In order to maintain congruency and to develop a site commensurate with the surrounding development that promotes a strong pedestrian oriented environment, a 0-foot lot line standard must be utilized. It is the opinion of the development team that based upon the aforementioned likelihood of a future expansion of South Stone Avenue is highly unlikely, and would require the acquisition and demolition of treasured historical Tucson assets and other existing buildings, allowing the proposed project the opportunity to utilize the proposed MS&R area for permanent development and streetscape improvements would continue with the theme and character currently present within the area.

**How the proposal will not cause a safety hazard, noise, or parking impacts on an adjacent neighborhood:**

The proposed project will provide both on-site and on-street (off-site) parking. Said on-site parking will be accessed solely from South Stone Avenue and along with the improved streetscape measures will create a safe, and active, pedestrian environment. The DCS of the IID encourages activity along the street frontage, and this project will provide such activity along what is currently a vacant stretch of South Stone Avenue. The use of the MS&R Right-of-Way for will not cause a safety hazard, noise, or a negative impact on parking within the adjacent neighborhoods.

**How the modification does not impede sight visibility at points of ingress into, egress from, or within the vehicular use area for either vehicular or pedestrian traffic:**

The proposed project will provide vehicular ingress & egress along South Stone Avenue with the main entry/porte cochere being located along Ochoa Street. Currently South Stone Avenue is a lightly traveled, two-lane, two-way street, and it is the intent of this project to not disturb that existing traffic patterns. As such, site visibility for ingress/egress traffic turning into and out of the site will not be impeded and vehicular/pedestrian conflict

should be minimized through additional streetscape and safety measures as a result of the development.

This narrative is intended to highlight the main aspects of the proposed project and the requested relief from the MS&R Right-of-Way. A Development Package has been submitted for review by the City of Tucson Development Services staff indicating the proposed site access. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

**Cypress Civil Development**

A handwritten signature in black ink that reads "Kevin M. Hall". The signature is written in a cursive style with a large, stylized "K" and "H".

Kevin M. Hall, PE  
Principal



**#4 – CITY OF TUCSON CDRC PRE-APP COMMENTS**

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT



CDRC Thursday Pre-Submittal Transmittal  
PDSZ Zoning Review

FROM: Elisa Hamblin, AICP   
Lead Planner  
PDSZ Zoning Review Section

PROJECT: South Stone Hotel  
Address: 141 S Stone Ave  
Parcels: 117131620, 117131610, 117131630, 117131640, 117131650, 117131660, 117131670  
Zoning: C-3  
Existing Use: Parking  
Proposed Use: Hotel (Travelers Accommodation, Lodging)

TRANSMITTAL DATE: September 27, 2018

COMMENTS:

1. The proposal is for a multi-story hotel with associated retail and meeting space. Due to the existing seven parcels on site, a lot combination will be required.
2. If proceeding through the Infill Incentive District zoning option, an IID Plan would be required. The proposal would also be subject to IID major design review.
3. If proceeding with the underlying zoning, a Development Package meeting the standards of AM 2-06.0.0 would be required. This site is also subject to the Rio Nuevo Area zoning design standards.
4. Tucson Fire Department has no comments relative to the proposal.
5. The comments provided are preliminary and are not to be assumed as a complete review of the proposal. During the Development Package review process, a full review will be made by Zoning to assure compliance with the applicable UDC development criteria and Technical Standards.

If you have any questions please contact me at [elisa.hamblin@tucsonaz.gov](mailto:elisa.hamblin@tucsonaz.gov) or (520) 837-4966.



#5 – DEVELOPMENT PACKAGE – DP19-0018 – 1<sup>ST</sup> SUBMITTAL

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT



**GENERAL NOTES**

- OWNER/DEVELOPER:  
FAYTH HOSPITALITY  
5442 BELMONT AVENUE  
DALLAS, TEXAS 75206
- THE EXISTING ZONING IS C-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS PARKING. THE PROPOSED USE OF THE DEVELOPMENT IS TRAVELERS ACCOMMODATION, LODGING AND IS SUBJECT TO USE SPECIFIC STANDARDS 4.8.6.
- THE GROSS SITE AREA IS 35,558 SQUARE FEET, OR 0.82 ACRES.
- THE TOTAL BUILDING GFA IS 163,710 SF. THE TOTAL PAVED AREA IS 2347 SF ±.
- THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 35,558 SF.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
  - PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2" MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
  - THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

**16. DIMENSIONAL STANDARDS:**

RESIDENTIAL DENSITY CALCULATION: N/A

SITE COVERAGE CALCULATION: N/A

MAXIMUM BUILDING HEIGHT 75'  
ACTUAL BUILDING HEIGHT 79'

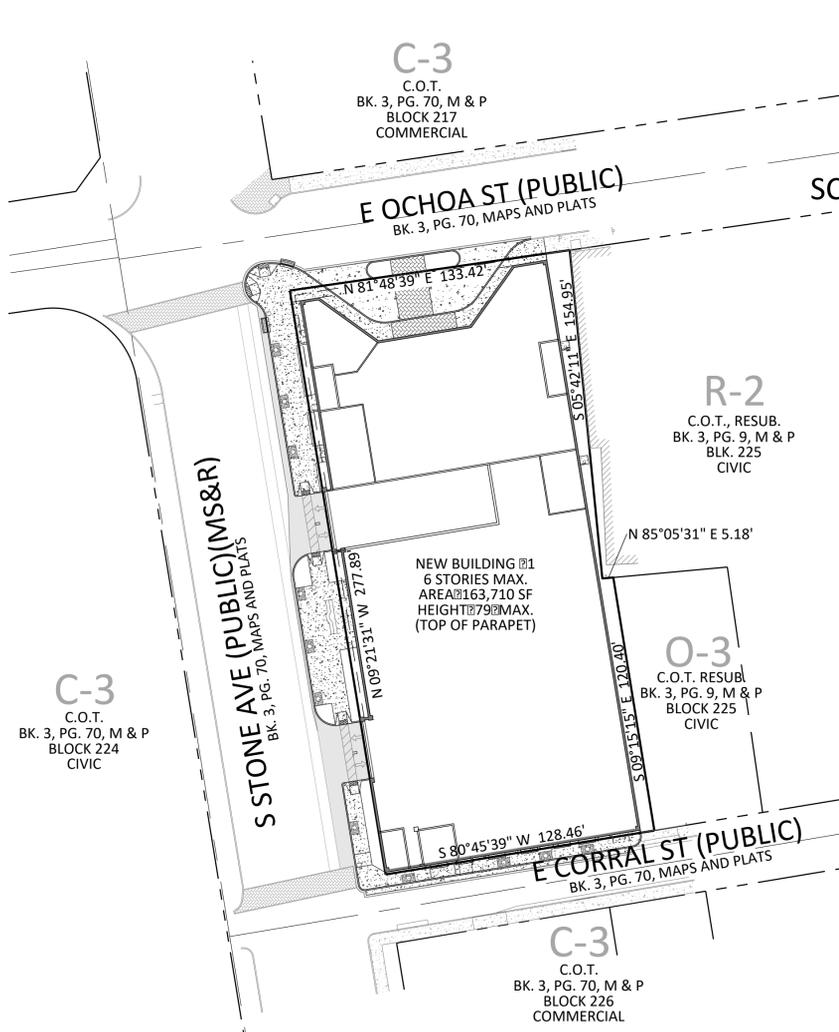
BUILDING SETBACKS:	REQUIRED	PROVIDED
NORTH	0'	3.1' MIN.
EAST	0'	0.1' MIN.
SOUTH	0'	0' MIN.
WEST	0'	0' MIN.

NOTE: WITHIN THE DOWNTOWN CORE SUBDISTRICT (DCS), DIMENSIONAL STANDARDS MAY BE MODIFIED OR EXEMPT PER SECTION 5.12.10.C.

**GENERAL NOTES (continued)**

- PARKING REQUIREMENTS FOR TRAVELERS ACCOMMODATION, LODGING:
    - MOTOR VEHICLE: 1 SPACE PER RENTAL UNIT 1 SPACE PER 300 SF GFA OF CONFERENCE, RESTAURANT, RETAIL, BAR & BANQUET
    - SPACES REQUIRED @ (195/6,080/300) 215 SPACES
    - TOTAL REQUIRED @ 25% REDUCTION 161 SPACES
    - TOTAL PROVIDED 139 SPACES
    - ACCESSIBLE SPACES REQUIRED 5 SPACES
    - ACCESSIBLE SPACES PROVIDED 5 SPACES
  - BICYCLE PARKING:
    - SHORT TERM: 2 SPACES 1 SPACE PER 6,000 SF GFA OF CONFERENCE, RESTAURANT, BAR AND/OR BANQUET SPACE (50 MAX.)
    - TOTAL REQUIRED @ 2(6,000/6,080) 3 SPACES
    - TOTAL PROVIDED 4 SPACES
    - LONG TERM: 1 SPACE PER 20 GUEST ROOMS (2 MIN.)
    - TOTAL REQUIRED @ 195/20 10 SPACES
    - TOTAL PROVIDED 10 SPACES
  - LOADING ZONES REQUIRED 0 SPACES
  - LOADING ZONES PROVIDED 0 SPACES
- NOTE: PARKING REQUIREMENTS MAY BE MODIFIED PER IID PROCESS. SEE IID NOTES, SHEET 2.
- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
  - MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
  - WASTE STREAM CALCULATION:
    - PER TUCSON CITY CODE 15-10.1(E) THIS SITE PRODUCES APPROXIMATELY 8,775 GALLONS PER WEEK.
    - A MINIMUM OF 43.4 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.
    - A TRASH COMPACTOR WILL BE ON SITE WHICH WILL REDUCE THE AMOUNT OF WASTE TO APPROXIMATELY 11 CUBIC-YARDS (TOTAL).
    - THIS WILL BE ACCOMPLISHED BY ONE 6-CUBIC-YARD TRASH BIN AND ONE 6-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
  - THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R) UDC SEC. 5.7, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID). THE PROJECT IS ALSO WITHIN THE RIO NUEVO TAX INCREMENT FINANCING DISTRICT.
  - ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
  - THE ASSESSOR'S PARCEL NUMBERS FOR THIS PROJECT ARE 117-13-1610, 117-13-1620, 117-13-1630, 117-13-1640, 117-13-1650, 117-13-1660, AND 117-13-1670.

# DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES



PROJECT OVERVIEW PLAN

**SHEET INDEX**

- |                               |                                 |
|-------------------------------|---------------------------------|
| 1. COVER SHEET                | 8. LANDSCAPE SCHEDULE AND NOTES |
| 2. NOTES                      | 9. LANDSCAPE PLAN               |
| 3. SITE PLAN                  | 10. IRRIGATION PLAN             |
| 4. PARKING PLAN               | 11. LANDSCAPE DETAILS           |
| 5. GRADING & DRAINAGE PLAN    | 12. IRRIGATION DETAILS          |
| 6. UTILITIES & EASEMENTS PLAN | 13. IRRIGATION DETAILS          |
| 7. DETAILS                    |                                 |

SCALE: 1" = 40'

	PROJECT BOUNDARY
	RIGHT-OF-WAY
	OTHER PARCEL LINE
	ROADWAY CENTERLINE
	SECTION LINE
	EXISTING EASEMENT
	NEW EASEMENT
	EXISTING CONTOUR
	NEW CONTOUR
	SPOT ELEV. (NEW GRADE)
	SPOT ELEV. (EXIST. GRADE)
	GRADING LIMITS
	EXISTING CURB
	EXISTING PAINT STRIPE
	EXISTING CONCRETE
	NEW CONCRETE
	NEW CURB
	NEW PAINT STRIPE
	NEW ASPHALT
	EXISTING PARKING METER
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN PIPE
	EXISTING SEWER
	EXISTING WATER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING COMMUNICATION LINE
	EXISTING GAS LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER CLEANOUT
	EXISTING WATER METER
	EXISTING BACKFLOW PREVENTER
	EXISTING WATER VALVE
	EXISTING TRANSFORMER
	EXISTING COMMUNICATION MANHOLE
	EXISTING LIGHT PULL BOX



IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP

**LEGEND**

	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING UNKNOWN MANHOLE
	NEW STORM DRAIN PIPE
	NEW SEWER
	NEW WATER
	NEW FIRE SERVICE
	NEW SEWER CLEANOUT
	NEW SEWER MANHOLE
	NEW WATER METER
	NEW BACKFLOW PREVENTER
	NEW WATER VALVE
	NEW FIRE CONNECTION
	NEW IRRIGATION BOX
	NEW TRANSFORMER
	SURVEY MONUMENTATION AS NOTED
	PARKING SPACE COUNT
	ZONING DIVISION
	SIGHT VISIBILITY TRIANGLE
	RIGHT-OF-WAY
	RADIUS
	PAVEMENT (ASPHALT)
	CONCRETE
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	GRADE BREAK
	EXISTING SIGN
	EXISTING STREET LIGHT

**ARCHITECT**

SEAVER FRANKS ARCHITECTS INC AIA  
2552 NORTH ALVERNON WAY  
TUCSON, ARIZONA 85712  
ATTN:  
PH: (520) 795-4000  
E: seaverfrank@seaverfrank.com  
**LANDSCAPE ARCHITECT**  
NORRIS DESIGN  
418 NORTH TOOLE AV  
TUCSON, ARIZONA 85701  
ATTN: AMY WEBB  
PH: (520) 622-9565  
E: amywebb@norris-design.com

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
				<b>SITE ADDRESS</b> 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701



CYPRESS CIVIL DEVELOPMENT  
strength + sustainability  
2030 east speedway  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA

## DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES

cover sheet



**GENERAL PAVING & GRADING NOTES**

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):  

TOTAL CUT	TOTAL FILL	COMPOSITE
1,255 CY	24 CY	1,231 CY (C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

**GENERAL PAVING & GRADING NOTES (continued)**

- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5" FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDSO TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PDSO WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PDSO PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDSO ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://pdsocivil.com/accelerate/halfdelcom/cso&search=arizona>
- ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PDSO ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

**EARTHWORK/MATERIALS TESTING & CERTIFICATION**

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY TERRACON CONSULTANTS, INC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REVISED REPORT, DATED NOVEMBER 8, 2018, TERRACON PROJECT NO. 63185081.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

**SURVEY NOTES**

- THE BASIS OF BEARINGS FOR THIS PROJECT IS A STRAIGHT LINE BETWEEN TWO FOUND SURVEY MONUMENTS ON SCOTT AVENUE AS SHOWN ON THIS MAP AND THE SURVEY MAP RECORDED IN BOOK 76 AT PAGE 70 OF SURVEYS, RECORDS OF PIMA COUNTY, AZ. THE BEARING OF SAID LINE IS **S 02°45'57" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS BENCHMARK #29, A CHISELED "X" ON THE BASE OF THE 2ND STREET LIGHT SOUTH OF OCHOA STREET, EAST SIDE OF STONE AVENUE ACCORDING TO CITY OF TUCSON FIELD BOOK 1989X, PAGE 3. THE ELEVATION OF SAID BENCHMARK IS 2,388.121', NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:  
ALTA ARIZONA LAND SURVEY, INC.  
2025 WEST RUTHRAUFF ROAD, SUITE 125  
TUCSON, ARIZONA 85705  
ATTN: MR. TODD A. HOUT, AZ RLS #35543  
PH: (520) 398-6651
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

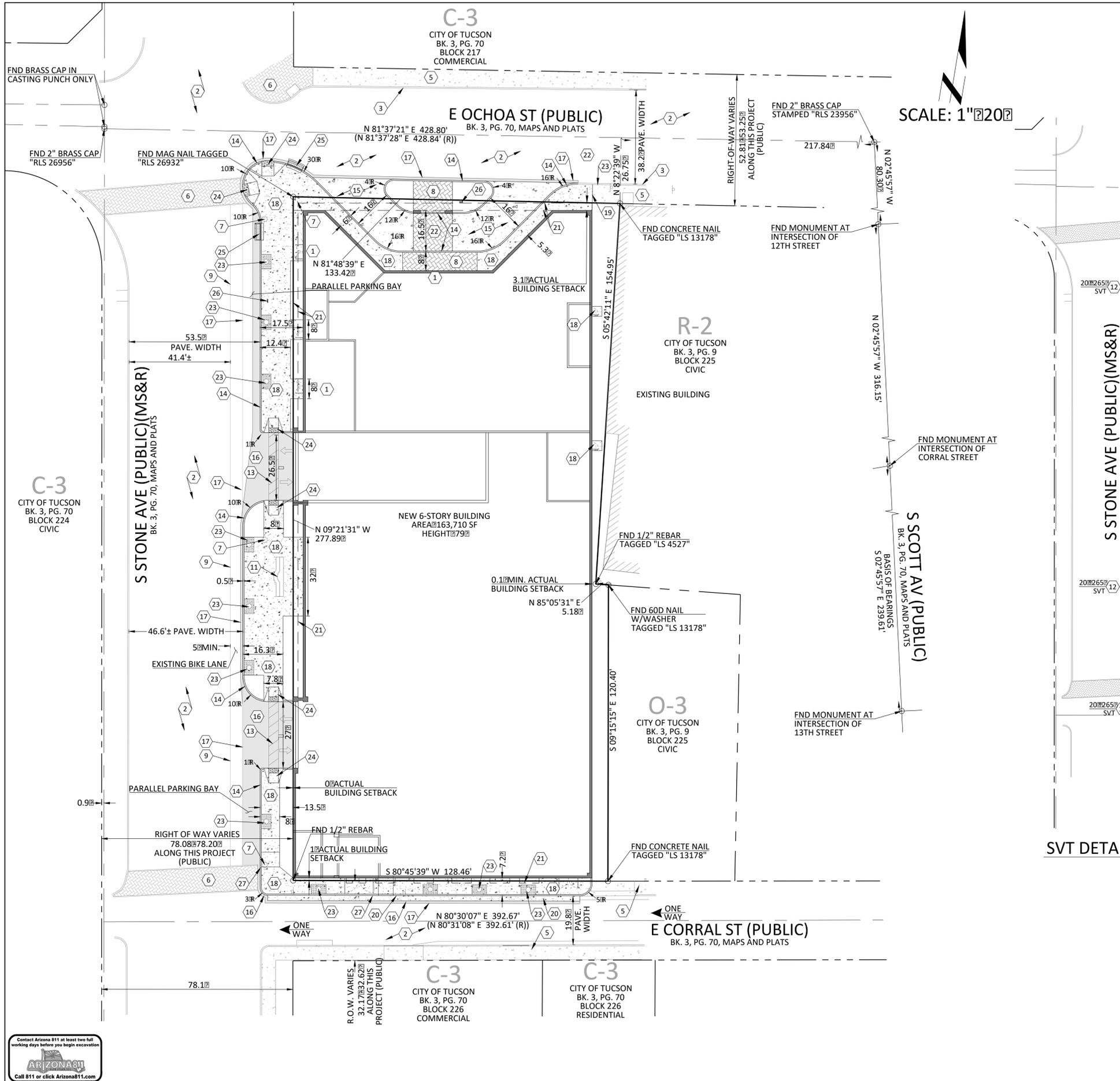
**IID NOTES (CASE # \_\_\_\_\_)**

THIS PROJECT IS SUBJECT TO THE CONDITIONS STATED IN IID CASE # \_\_\_\_\_, APPROVED \_\_\_\_\_, LISTED BELOW:

- 
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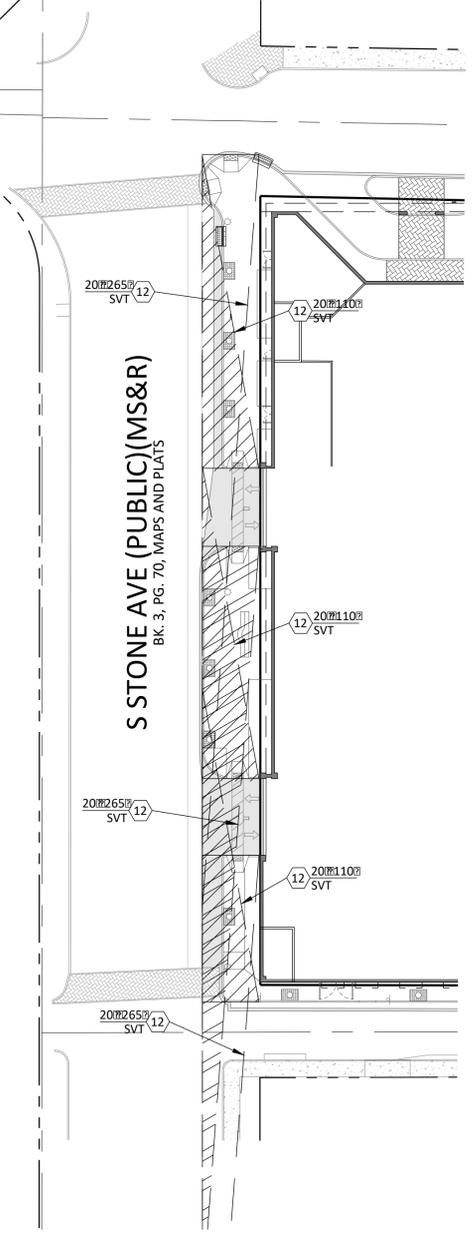


NO.	DATE	REVISION DESCRIPTION	BY	<b>OWNER/DEVELOPER</b> FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
		CYPRESS PROJECT NO: 18.088  <b>CYPRESS CIVIL DEVELOPMENT</b> strength + sustainability 2030 east speedway suite 110 tucson, arizona 85719 ph: 520.499.2456 e: info@cyprcsscivil.com		<b>SITE ADDRESS</b> 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				<b>DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES</b>  



SCALE: 1"=20'

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
  - 2 EXISTING ASPHALT TO REMAIN.
  - 3 EXISTING CURB TO REMAIN.
  - 4 EXISTING CURB ACCESS RAMP TO REMAIN.
  - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
  - 6 EXISTING BRICK TO REMAIN.
  - 7 EXISTING LIGHT TO REMAIN.
  - 8 NEW PEDESTRIAN BRICK PAVERS.
  - 9 EXISTING STRIPING TO REMAIN.
  - 10 EXISTING PARKING METER TO REMAIN.
  - 11 NEW SITE AMENITY.
  - 12 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
  - 13 NEW STRIPED CROSSWALK.
  - 14 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 7. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
  - 15 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 7. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
  - 16 NEW 3" AC PAVEMENT OVER 6" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 7.
  - 17 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
  - 18 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
  - 19 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
  - 20 NEW 6" VERTICAL CURB AND GUTTER (TYPE 1(G)) PER PAG DETAIL 209. SEE DETAIL D, SHEET 7. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
  - 21 NEW BUILDING OVERHANG PER BUILDING PLANS.
  - 22 NEW TRAFFIC RATED BRICK PAVERS. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
  - 23 NEW TREE GRATE/PLANTER PER LANDSCAPE PLANS.
  - 24 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207.
  - 25 NEW CATCH BASIN (TYPE 1, DOUBLE GRATE) PER PAG DETAIL 307.
  - 26 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL E, SHEET 7. FOR RACK SPACING SEE DETAIL F, SHEET 7.
  - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.



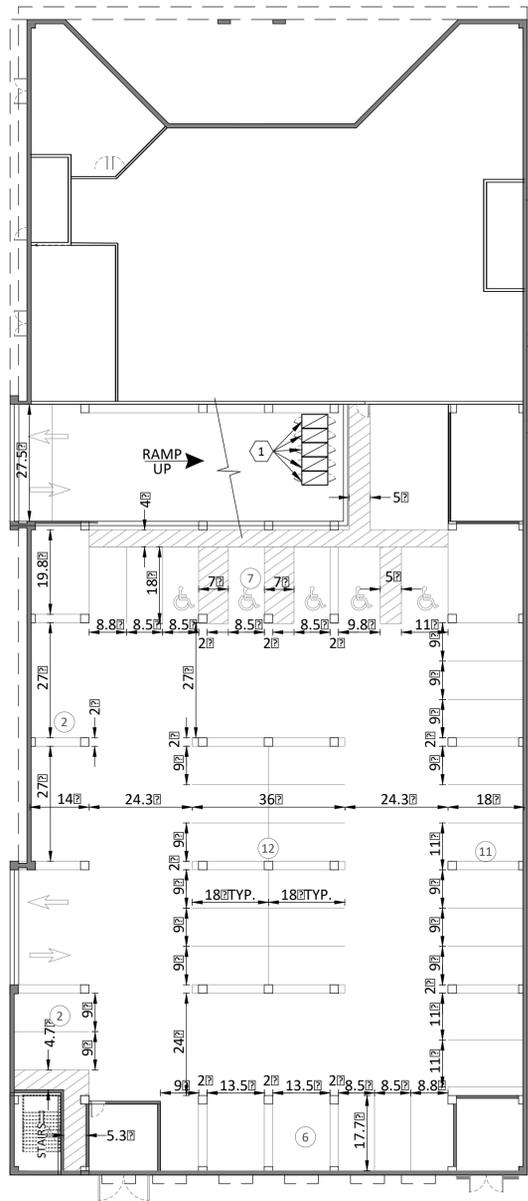
SVT DETAIL SCALE: 1"=30'

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
				<b>CYPRESS CIVIL DEVELOPMENT</b> strength + sustainability 2030 east speedway, suite 110 phoenix, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				<b>SITE ADDRESS</b> 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701

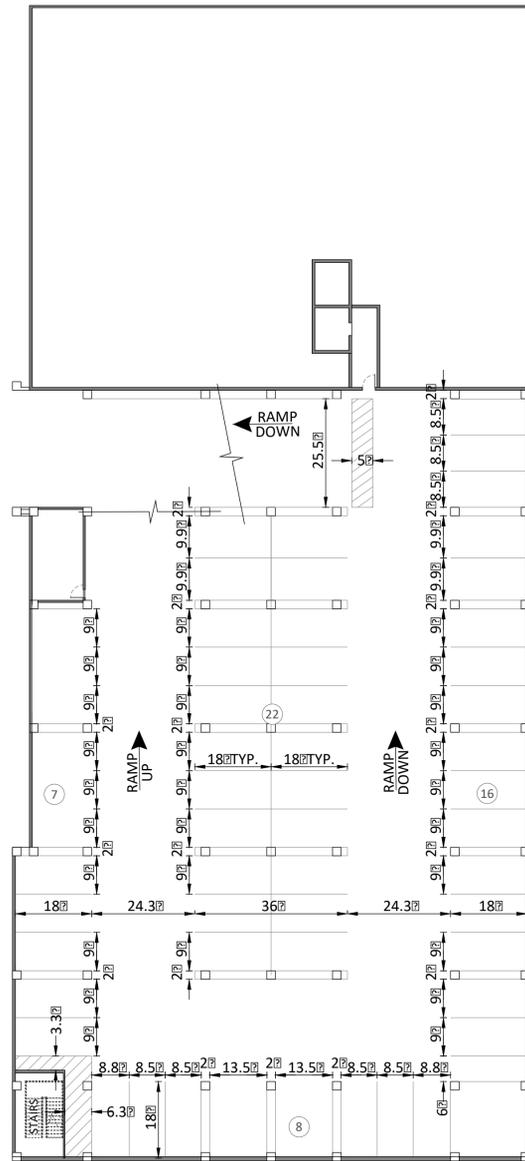
DEVELOPMENT PACKAGE for  
HAMPTON INN / HOME2 SUITES  
sheet 2 of 2

DP  
3 OF 13

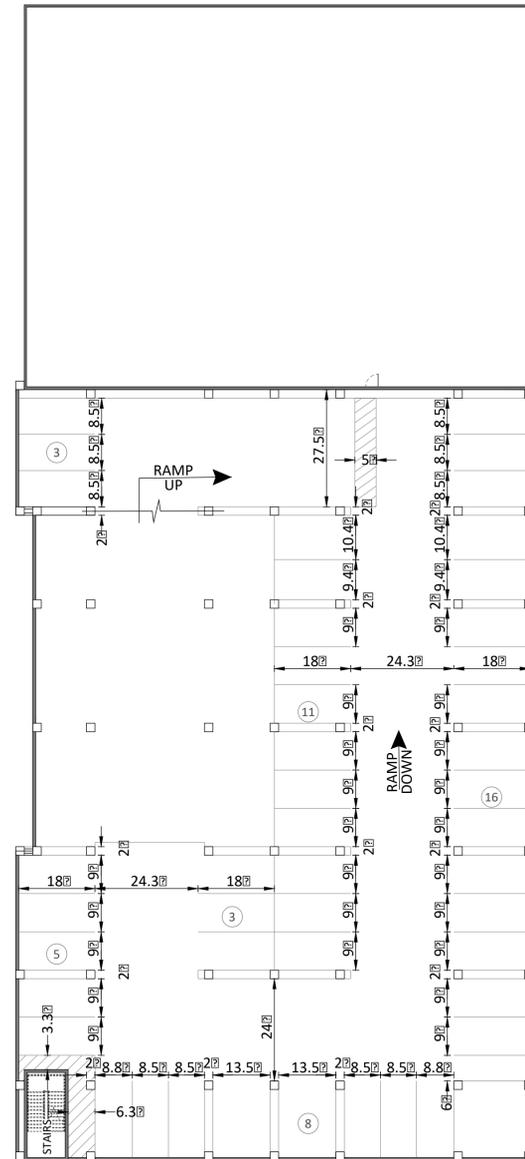




PARKING PLAN  
 LEVEL 1 1"=20'



PARKING PLAN  
 LEVEL 2 1"=20'

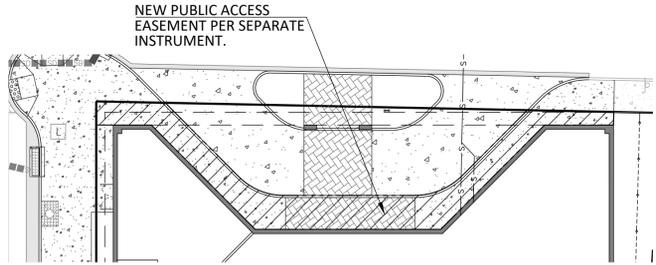
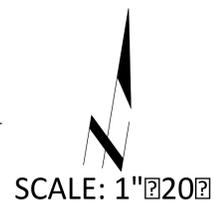
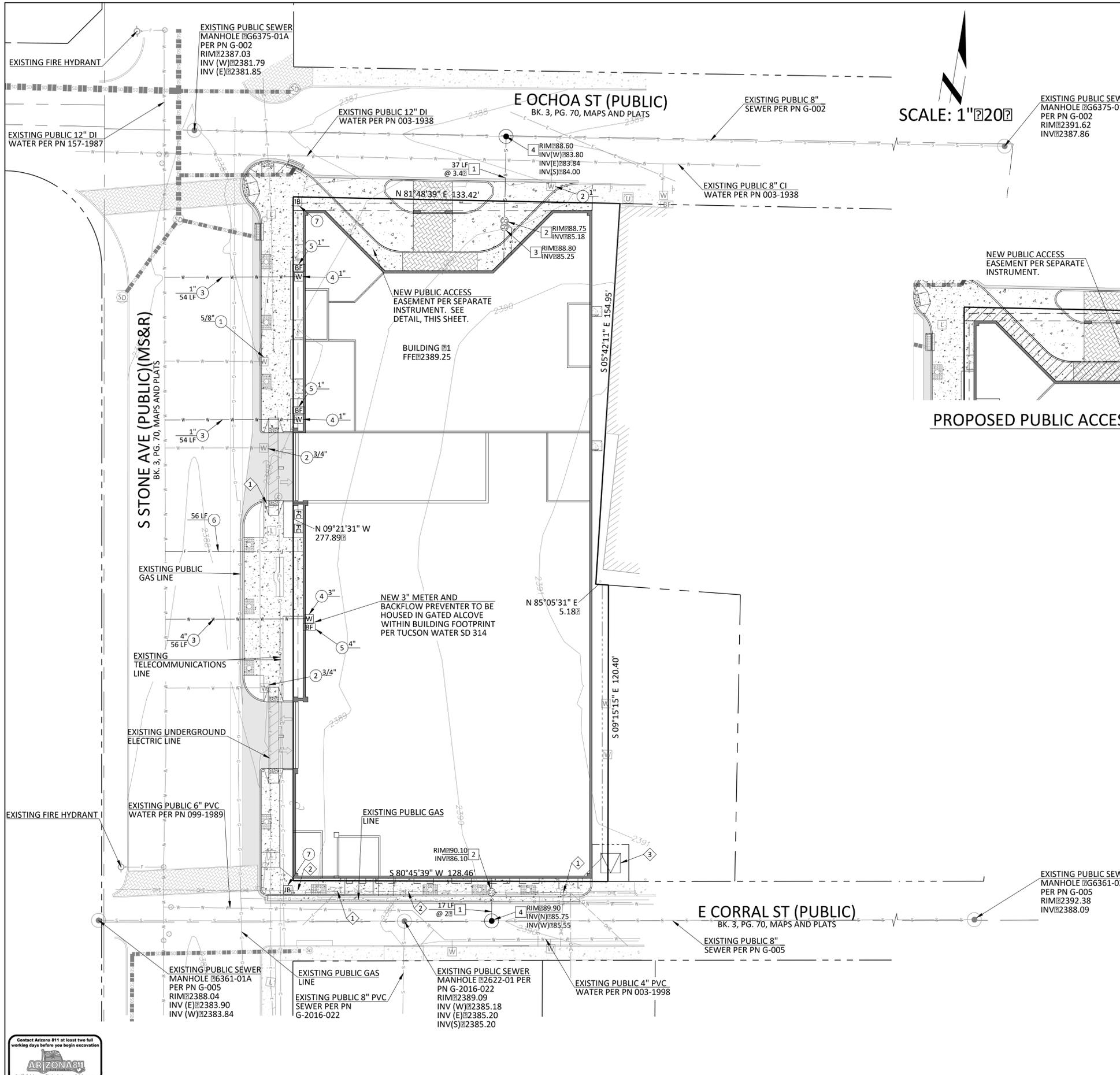


PARKING PLAN  
 LEVEL 3 1"=20'

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				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
CYPRESS PROJECT NO: 18.088 2030 east speedway Suite 110 Chandler, Arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com				
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				
DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES paring plan				







PROPOSED PUBLIC ACCESS EASEMENT DETAIL  
1"=20'

- SEWER KEYNOTES**
- 1 NEW PUBLIC/PRIVATE 8" PVC SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - 2 NEW PRIVATE SEWER CLEANOUT (TO SERVE UPPER FLOORS). SEE KEYNOTE FOR RIM AND INVERT(S).
  - 3 NEW PRIVATE SEWER CLEANOUT WITH BACKWATER VALVE (TO SERVE 1ST FLOOR). SEE KEYNOTE FOR RIM AND INVERT(S).
  - 4 NEW PUBLIC SEWER MANHOLE. SEE KEYNOTE FOR RIM AND INVERT(S).

- WATER KEYNOTES**
- 1 EXISTING WATER SERVICE STUB TO REMAIN FOR LANDSCAPE SERVICE CONNECTION.
  - 2 EXISTING WATER SERVICE STUB TO BE REMOVED.
  - 3 NEW PVC WATER SERVICE. SEE KEYNOTE FOR SIZE.
  - 4 NEW WATER METER. SEE KEYNOTE FOR SIZE.
  - 5 NEW BACKFLOW PREVENTER. SEE KEYNOTE FOR SIZE
  - 6 NEW PRIVATE 6" DIP FIRE SERVICE.
  - 7 NEW IRRIGATION JUNCTION BOX, SEE LANDSCAPE PLANS.

- OTHER UTILITY KEYNOTES**
- 1 EXISTING POWER POLE AND GUY WIRE. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH UTILITY COMPANY.
  - 2 EXISTING OVERHEAD ELECTRIC LINES. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH UTILITY COMPANY.
  - 3 NEW ELECTRIC TRANSFORMER PER SEPARATE PLAN.

**UTILITY NOTE**

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

**PRIVATE UTILITY NOTES**

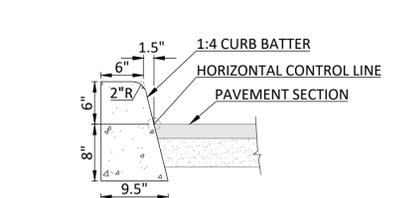
1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

**PRIVATE FIRE SUPPRESSION NOTES**

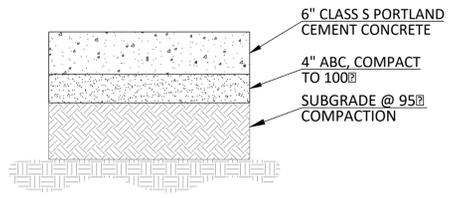
1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
2. MINIMUM DEPTH OF BURY TO BE 36".
3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
6. TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

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				<b>SITE ADDRESS</b> 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
CYPRESS PROJECT NO: 18.088 <b>CYPRESS CIVIL DEVELOPMENT</b> strength + sustainability 2030 east speedway, suite 110 phoenix, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com				
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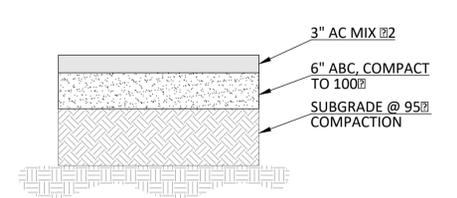




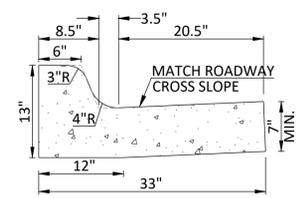
**A CONCRETE VERTICAL CURB**  
TYPE 2, H<sub>6</sub>" SCALE: 1"=1'  
PAG DETAIL 209



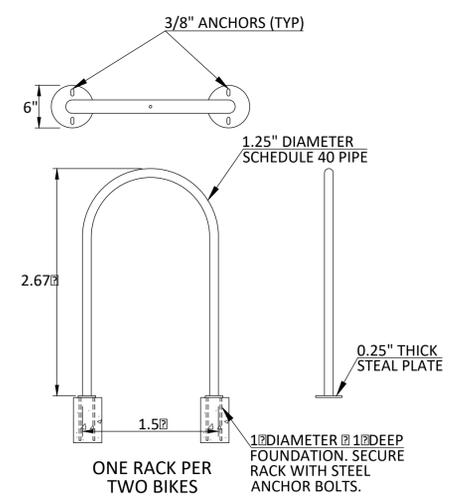
**B CONCRETE PAVEMENT SECTION**  
SCALE: 1"=1'



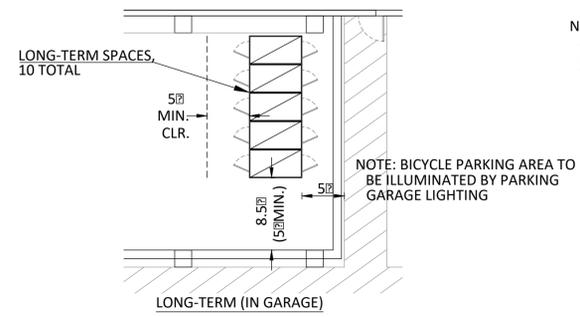
**C TYPICAL PAVEMENT SECTION**  
SCALE: 1"=1'



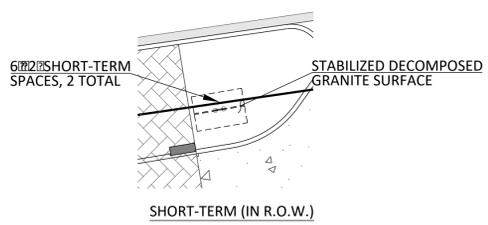
**D CONCRETE VERTICAL CURB & GUTTER**  
TYPE 1 (G), H<sub>6</sub>" SCALE: 1"=1'  
PAG DETAIL 209



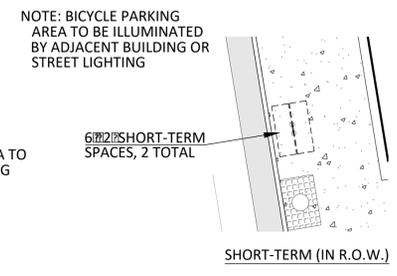
**E BICYCLE RACK (SHORT TERM)**  
SURFACE MOUNT N.T.S.



**F BIKE RACK/LOCKER SPACING**  
SCALE: 1"=10'



**G BICYCLE LOCKER (LONG TERM)**  
DOUBLE N.T.S.



NOTE: BICYCLE PARKING AREA TO BE ILLUMINATED BY ADJACENT BUILDING OR STREET LIGHTING



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				CYPRESS PROJECT NO: 18.088 <b>CYPRESS CIVIL DEVELOPMENT</b> strength + sustainability 2030 east speedway, o'fallon, illinois 6110 phone: 520.499.2456 email: info@cypresscivil.com
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701

DEVELOPMENT PACKAGE for  
**HAMPTON INN / HOME2 SUITES**  
developed by

**IRRIGATION GENERAL NOTES**

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
3. THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
4. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
5. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK THE IRRIGATION CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
6. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND ITS COMPONENTS.
7. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
8. ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED, OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
9. ALL VALVE BOXES / LIDS SHALL BE PLASTIC WITH LOCKING COVERS. COLOR TO BE DESERT TAN. INSTALL PER THE CONSTRUCTION DETAILS.
10. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND SPACED 1'-0" APART WHEN GROUPED TOGETHER. LOCATE MINIMUM 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE.
11. GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT [www.asic.org/Design\\_Guides.aspx](http://www.asic.org/Design_Guides.aspx). FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT HUNTER INDUSTRIES (800) 733-2823.
12. CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE IRRIGATION CONTROLLER TO THE END OF ALL MAINLINE BRANCHES SERVING THAT CONTROLLER. COIL 30" LENGTH MIN. OF SPARE WIRES IN A 10" ROUND VALVE BOX.
13. CONTROLLER WIRE SHALL BE 14GA MIN. UL APPROVED WIRE, COLOR CODED PER VALVE, TAPED AND BUNDLED EVERY 10'. CONTRACTOR SHALL USE UL APPROVED WIRE STRIPPER AND WATERPROOF CONNECTIONS AT ALL SPLICES AND CONNECTIONS POINTS.
14. CONTRACTOR SHALL INSTALL TRACER WIRE IN ALL PRESSURE MAINLINE TRENCHES. SEE IRRIGATION DETAILS FOR MORE INFORMATION.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
16. PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
17. THE CONTRACTOR SHALL STAKE THE LOCATION OF THE MAINLINE, DRIP IRRIGATION LINES, CONTROL VALVES, GATE VALVES, ETC. AND SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
18. LAYOUT DRIP LATERALS PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. BURY 3/4" DRIP LATERALS AND STAKE IN PLACE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
19. TREES, SHRUBS, GROUND COVER AND CACTI SHALL BE IRRIGATED BY MULTI-PORT OUTLET EMITTERS. SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.

**IRRIGATION SLEEVING NOTES**

1. INSTALLATION OF SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF WORK.
2. THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES, UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
3. ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
4. SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, VALVE CONTROL AND COMMUNICATION WIRES, LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

SLEEVED PIPE SIZE/WIRE QTY.	REQUIRED SLEEVE SIZE AND QTY.
PIPING	2" PVC (1)
CONTROL WIRES	2" PVC (1)

**IRRIGATION SCHEDULE**

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
<b>POC#</b>	IRRIGATION POINT OF CONNECTION	NA	5/8" Water Meter (Existing)	See Civil Utility Plans	
<b>M</b>	IRRIGATION METER	NA	5/8" Water Meter (Existing) Meter #15552729	See Civil Utility Plans	
<b>■</b>	BACKFLOW PREVENTER	FEBCO	3/4" Backflow Preventer (825YA)	In GuardShack Enclosure	D1/S12
<b>NOT SHOWN</b>	SECURITY ENCLOSURE	GUARD SHACK	Lift-off Enclosure (GS-5) 10"W X 18"H X 12"L Frostguard Blanket (FG-1)	Color: Tan Place adjacent to building	D2/S12
<b>☐</b>	IRRIGATION CONTROLLER	HUNTER	I-CORE (IC-600-M)	Metal Cabinet Wall Mounted POC: 2 Valves	D3/S12
<b>◆</b>	SENSOR	HUNTER	ET Sensor (Solar-Sync-WSS-SEN)	Wall mount	D3/S12
<b>✕</b>	GATE VALVE	WATTS	Carson Round Valve Box (910) Bronze Gate Valve (WGV-X)	Size per line size	D4/S12
<b>☐</b>	JUNCTION BOX	CHRISTY	Concrete Utility Box (B24) Reinforced Concrete Lid (B24D) 12" Extension (B24X12)	Set Concrete Lid at Grade	D1/S13
<b>⊕</b>	VALVE ASSEMBLY DRIP	HUNTER	Carson Jumbo Valve Box (1220) Sch. 80 PVC Ball Valve 1" Drip Zone Control Kit (ICZ-101-25)		D2/S13
<b>—</b>	PVC SLEEVING	NA	2" Sch. 40 PVC	Size per notes	D5/S12
<b>- - - - -</b>	SERVICE LINE	NA	3/4" Type K Copper	Irrigation Meter to Backflow Preventer	D6/S12
<b>— POC —</b>	PVC MAINLINE	NA	3/4" Sch. 40 PVC		D6/S12
<b>TREE</b> <b>SHRUB</b>	DRIP LATERAL	NA	3/4" Sch. 40 PVC		D6/S12
<b>- - - - -</b>	END CAP	NA	Carson Round Valve Box (910) Hose End Flush Cap		D6/S13

VALVE CALLOUTS		EMITTER SCHEDULE		
	PLANT TYPE	RAIN BIRD	XBT-10-6	1-1 GPH Outlet
	ACCENTS	Rain Bird	XBT-10-6	2-1 GPH Outlet
	GROUNDCOVERS	Rain Bird	XBT-10-6	2-1 GPH Outlet
	SHRUBS	Rain Bird	XBT-10-6	2-1 GPH Outlets
	TREES	Rain Bird	XBT-20-6	6-2 GPH Outlets

- NOTES**
1. ALL VALVE BOXES SHALL BE TAN IN COLOR. INSTALL FLUSH WITH FINISH GRADE.
  2. EMITTER SCHEDULE IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL ADJUST EMITTER SIZE AND NUMBER OF EMITTERS BASED ON THE NEEDS OF INDIVIDUAL PLANTS OR PLANT HYDROZONES.
  3. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XBT SERIES THREADED RISER MULTI-PORT EMITTERS.
  4. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
  5. RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING.

**IRRIGATION POINT OF CONNECTION NOTES**

1. POINT OF CONNECTION: TAP DOWNSTREAM OF THE 5/8" WATER METER (SEE CIVIL UTILITY PLANS) LOCATED WEST OF THE PARKING GARAGE ENTRY WITH 3/4" TYPE K COPPER PIPE AT A DEPTH OF 24" OR PER LOCAL CODES, WHICHEVER IS GREATER, AND EXTEND TO BACKFLOW PREVENTER. INSTALL ONE 3/4" BACKFLOW PREVENTER IN SECURITY ENCLOSURE WITH A FROST BLANKET. EXTEND 1" TYPE K COPPER A MINIMUM 30" HORIZONTAL FROM EDGE OF CONCRETE PAD, TRANSITION TO AND EXTEND 3/4" SCH. 40 PVC MAINLINE TO VALVES AS SHOWN.
2. CONTROLLER LOCATION: THE ICORE (IC-600-M) CONTROLLER IS LOCATED ON THE SOUTHWEST SIDE OF THE BUILDING AS INDICATED ON THE PLAN. CONNECTION TO 120 VOLT POWER, ALL NECESSARY CONDUIT, AND ALL RELATED EQUIPMENT SHALL CONFORM TO ALL LOCAL AND NATIONAL CODES AND PROVIDE GROUNDING PER MANUFACTURER SPECIFICATIONS AND ASIC RECOMMENDATIONS. REFER TO ELECTRICAL AND ARCHITECTURAL PLANS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ADDITIONAL INFORMATION REGARDING POWER FOR THE CONTROLLER.
3. SOLAR SYNC SENSOR LOCATION: MOUNT WIRELESS SOLAR SYNC SENSOR ON THE FASCIA OF THE WEST WALL OF THE BUILDING IN A LOCATION IN FULL SUN AND OPEN TO THE WEATHER. SOLAR SYNC SENSOR SHALL BE NO MORE THAN 200' FROM RECEIVER. MOUNT WIRELESS RECEIVER ON OR ADJACENT TO THE IRRIGATION CONTROLLER.
4. THE CONTRACTOR SHALL CONFORM TO ALL NATIONAL AND LOCAL CODES AND SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL BACKFLOW PREVENTER, IRRIGATION CONTROLLER, SOLAR SYNC SENSOR LOCATION AND SENSOR MOUNTING SYSTEM TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
5. WATER PRESSURE: THE SYSTEM HAS BEEN DESIGNED FOR A REQUIRED MINIMUM STATIC PRESSURE OF 50 PSI AND MAXIMUM FLOW OF 15 GPM. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE IRRIGATION SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY THE OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE DESIGN PRESSURE.

**LANDSCAPE GENERAL NOTES**

1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VERSUS THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT IMMEDIATELY.
2. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
4. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.
5. SIGHT VISIBILITY TRIANGLES SHALL HAVE A CLEAR ZONE WHICH IS FREE OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS BETWEEN 30 INCHES AND 72 INCHES IN HEIGHT.
6. MAINTENANCE: ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING.
7. ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEEDDED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER.
8. THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. PLANT SIZE, LOCATION AND SPACING:
  - 9.A. TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY.
  - 9.B. ALL SHRUBS AND GROUNDCOVERS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
10. PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES, EXISTING PRESERVED VEGETATION, AND OTHER FIELD CONDITIONS. CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
11. REMOVE TREES AND GRIND STUMPS, GRIND TREE STUMPS MIN. 1' BELOW FINISH GRADE, LEGALLY DISPOSE OF OFF-SITE.
12. THE CONTRACTOR SHALL SCHEDULE UTILITY LOCATION SERVICES AND TAKE EXTREME CARE WHILE WORKING WITHIN THE PROJECT AREA AS TO NOT DISTURB ANY EXISTING UTILITIES OR STRUCTURES ON OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND OR REPAIRING ANY EXISTING STRUCTURES OR UTILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
13. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE PROPERTY LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
14. NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE OF ANY INSPECTIONS AND /OR APPROVALS OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
15. THE CONTRACTOR SHALL WARRANTY THE TREES, IRRIGATION SYSTEM AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR. ALL OTHER PLANT MATERIAL TO BE WARRANTED FOR 90 DAYS.
16. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES ON SLOPES EXCEEDING 3:1.
17. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A MINIMUM PERIOD OF ONE YEAR. AS NECESSARY OR AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE THE CONTRACTOR SHALL REMOVE STAKING AND GUYING, PRIOR TO THE FINAL, ONE YEAR WALK THROUGH.
18. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.

**TDOT STANDARD NOTES FOR PLANTING IN THE RIGHT OF WAY (ROW)**

1. IT IS THE OWNER'S RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA CLEAR OF VEGETATION AT ALL TIMES, PER LAND USE CODE (LUC) SECTION.
2. IT IS THE OWNER RESPONSIBILITY TO KEEP A 5' WIDE BY 7' TALL CLEAR PEDESTRIAN ACCESS OPEN ACROSS THE ENTIRE PROPERTY.
3. IT IS THE OWNER RESPONSIBLE TO KEEP VEGETATION FROM GROWING PAST THE CURB LINE CLEAR, AND KEEP A 15' HIGH CLEAR ZONE OVER THE TRAVEL LANE.
4. FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
5. THE OWNER UNDERSTANDS THAT IF THE CITY OF TUCSON TRANSPORTATION DEPARTMENT OR ANY UTILITY COMPANY NEEDS TO WORK WITHIN THE ROW IN THE LANDSCAPED AREA, PLANTS AND IRRIGATION MAY BE DESTROYED WITHOUT REPLACEMENT OR REPAIR.
6. THE OWNER TAKES FULL LIABILITY FOR THIS LANDSCAPE AND IRRIGATION, AND ANY DAMAGE TO ROADWAY, SIDEWALK AND UTILITIES.
7. THE ONLY PRIVATE IRRIGATION EQUIPMENT THAT IS ALLOWED WITHIN THE ROW ARE LATERAL LINES, TUBING AND EMITTERS THAT ARE NOT UNDER CONSTANT PRESSURE. ALL OTHER EQUIPMENT MUST BE ON PRIVATE PROPERTY. (EXCLUDING WATER METER)
8. CONTRACTOR TO OBTAIN A RIGHT OF WAY PERMIT PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

**LANDSCAPE LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES: SEE DETAILS 3, SHEET 11				
	Sophora secundiflora Silver Sierra™	Silver Texas Mountain Laurel	15 GAL	2
	Quercus buckleyi	Red Rock Oak	15 GAL	11

SHRUBS: SEE DETAIL 4, SHEET 11				
	Russelia Equisetiformis	Firecracker Bush	5 GAL	28

ACCENTS: SEE DETAIL 5, SHEET 11				
	Euphorbia antispyllitica	Candelilla	5 GAL	42
	Pedilantus macrocarpus	Lady's Slipper	5 GAL	13

GROUNDCOVER: SEE DETAIL 4, SHEET 11				
	Sphagneticola trilobata	Yellow Dot	1 GAL	35
	Tradescantia pallida	Purple Heart	1 GAL	49

INERT GROUNDCOVERS: SEE DETAIL 6, SHEET 11				
	3/8" Screened Rock - at a depth of 3". Color: Desert Gold Manufacturer: Pioneer Sand. Ph. (520) 624-0200			1,336 SF

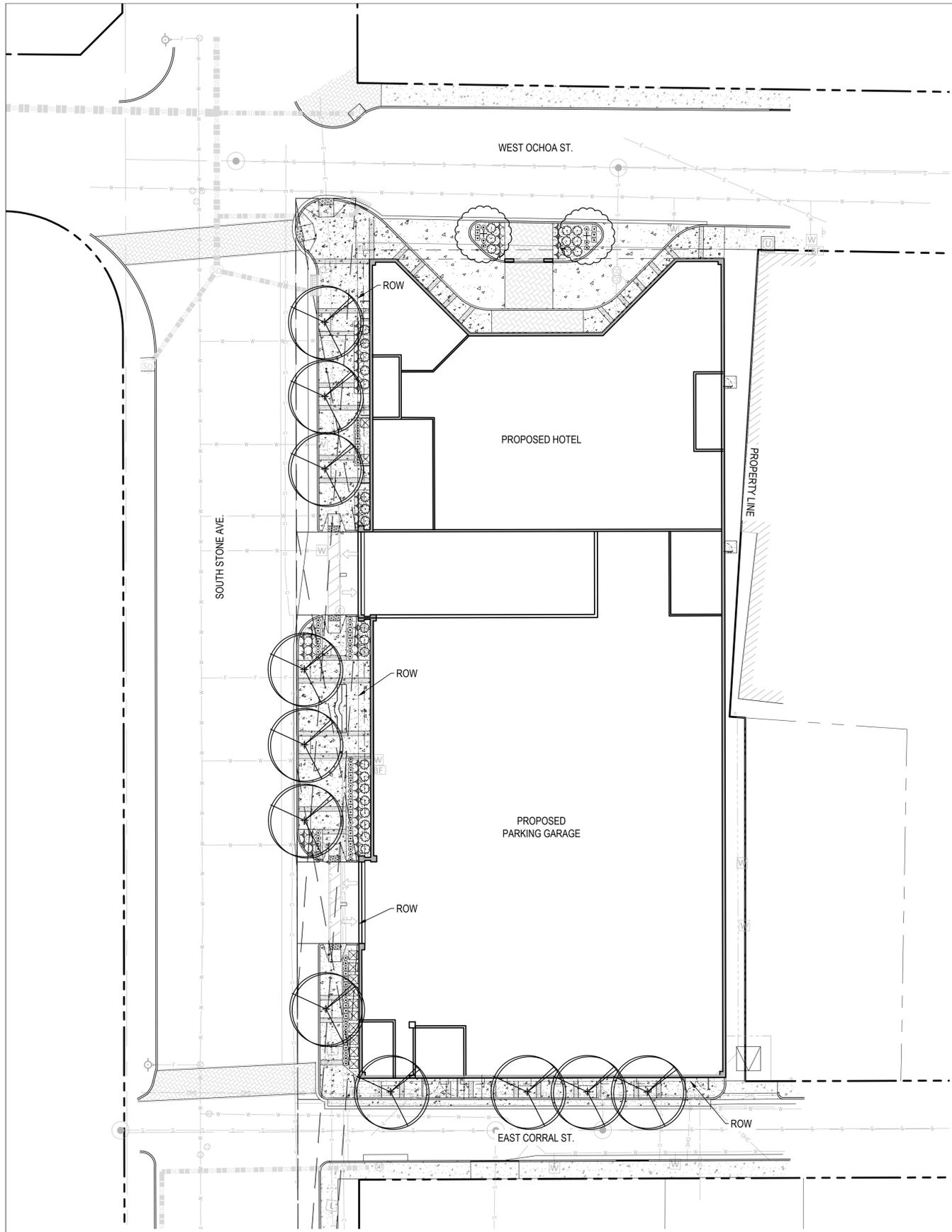
SITE FURNISHINGS				
	48" x 72" Tree Grate Model: 9636 Manufacturer: Ironsmith Ph. (602) 852-0500 See Detail 1, Sheet 11			11

**HARDSCAPE LEGEND**

CONCRETE PAVING: SEE DETAIL 1, SHEET 11				
	Natural Gray Concrete Finish: TBD			4,001 SF
	Integral Colored Concrete Color: TBD Finish: TBD			536 SF

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
				CYPRESS PROJECT NO: 18.088  418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565  www.norris-design.com
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
<b>DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES LANDSCAPE NOTES AND SCHEDULES</b>				<b>8 OF 13</b>





**LANDSCAPE LEGEND**

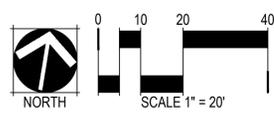
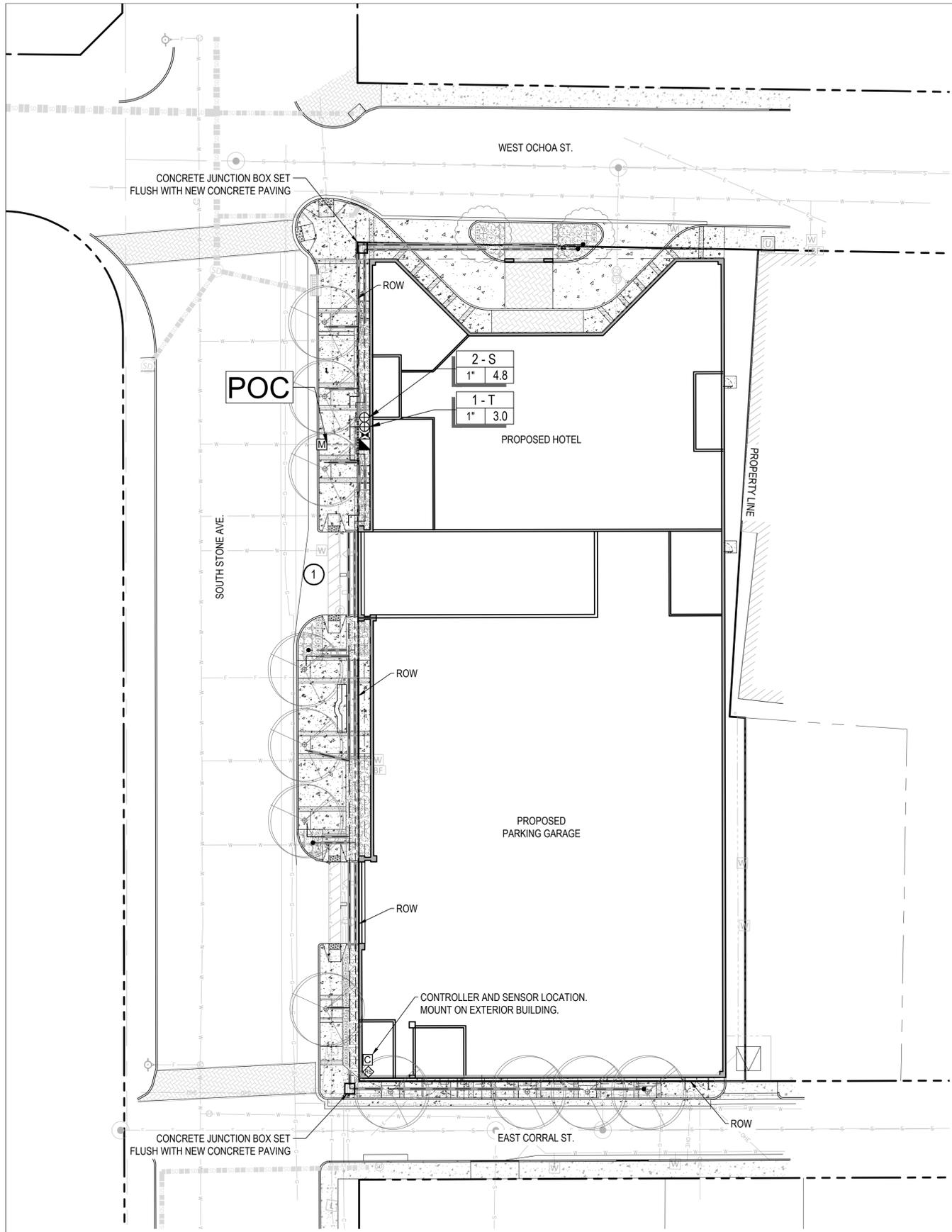
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES: SEE DETAILS 3, SHEET 11				
	<i>Sophora secundiflora</i> Silver Sierra™	Silver Texas Mountain Laurel	15 GAL	2
	<i>Quercus buckleyi</i>	Red Rock Oak	15 GAL	11
SHRUBS: SEE DETAIL 4, SHEET 11				
	<i>Russelia Equisetiformis</i>	Firecracker Bush	5 GAL	28
ACCENTS: SEE DETAIL 5, SHEET 11				
	<i>Euphorbia antispyllitica</i>	Candelilla	5 GAL	42
	<i>Pedilantus macrocarpus</i>	Lady's Slipper	5 GAL	13
GROUNDCOVER: SEE DETAIL 4, SHEET 11				
	<i>Sphagneticola trilobata</i>	Yellow Dot	1 GAL	35
	<i>Tradescantia pallida</i>	Purple Heart	1 GAL	49
INERT GROUNDCOVERS: SEE DETAIL 6, SHEET 11				
	3/8" Screened Rock - at a depth of 3". Color: Desert Gold Manufacturer: Pioneer Sand. Ph. (520) 624-0200			1,336 SF
SITE FURNISHINGS				
	48"x72" Tree Grate Model: 9636 Manufacturer: Ironsmith Ph. (602) 852-0500 See Detail 1, Sheet 11			11

**HARDSCAPE LEGEND**

CONCRETE PAVING: SEE DETAIL 1, SHEET 11			
	Natural Gray Concrete Finish: TBD		4,001 SF
	Integral Colored Concrete Color: TBD Finish: TBD		536 SF



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				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
				<p>CYPRESS PROJECT NO: 18.088</p> <p>418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565 www.norris-design.com</p> <p><b>NORRIS DESIGN</b> Planning   Landscape Architecture   Branding</p>
<p>BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS &amp; PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&amp;S.R.M., PIMA COUNTY, ARIZONA</p>				
<p>DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES LANDSCAPE PLAN</p>				<p>SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701</p>
				<p>DP 9 OF 13</p>



**IRRIGATION SCHEDULE**

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
POC#	IRRIGATION POINT OF CONNECTION	NA	5/8" Water Meter (Existing)	See Civil Utility Plans	
M	IRRIGATION METER	NA	5/8" Water Meter (Existing) Meter #15552729	See Civil Utility Plans	
▣	BACKFLOW PREVENTER	FEBCO	3/4" Backflow Preventer (825YA)	In GuardShack Enclosure	D1/S12
NOT SHOWN	SECURITY ENCLOSURE	GUARD SHACK	Lift-off Enclosure (GS-5) 10"W X 18"H X 12"L Frostguard Blanket (FG-1)	Color: Tan Place adjacent to building	D2/S12
⊞	IRRIGATION CONTROLLER	HUNTER	I-CORE (IC-600-M)	Metal Cabinet Wall Mounted POC: 2 Valves	D3/S12
◇	SENSOR	HUNTER	ET Sensor (Solar-Sync-WSS-SEN)	Wall mount	D3/S12
✕	GATE VALVE	WATTS	Carson Round Valve Box (910) Bronze Gate Valve (WGV-X)	Size per line size	D4/S12
□	JUNCTION BOX	CHRISTY	Concrete Utility Box (B24) Reinforced Concrete Lid (B24D) 12" Extension (B24X12)	Set Concrete Lid at Grade	D1/S13
⊕	VALVE ASSEMBLY DRIP	HUNTER	Carson Jumbo Valve Box (1220) Sch. 80 PVC Ball Valve 1" Drip Zone Control Kit (ICZ-101-25)		D2/S13
—	PVC SLEEVING	NA	2" Sch. 40 PVC	Size per notes	D5/S12
---	SERVICE LINE	NA	3/4" Type K Copper	Irrigation Meter to Backflow Preventer	D6/S12
— POC	PVC MAINLINE	NA	3/4" Sch. 40 PVC		D6/S12
— TREE	DRIP LATERAL	NA	3/4" Sch. 40 PVC		D6/S12
— SHRUB	DRIP LATERAL	NA	3/4" Sch. 40 PVC		D6/S12
— END CAP	END CAP	NA	Carson Round Valve Box (910) Hose End Flush Cap		D6/S13

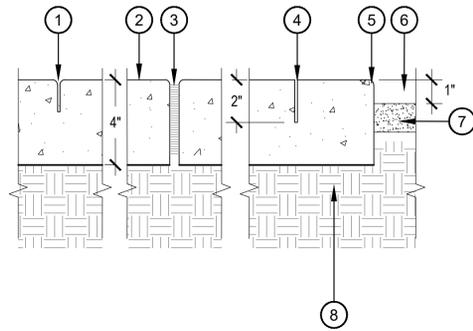
VALVE CALLOUTS	EMITTER SCHEDULE		
	PLANT TYPE	EMITTER	OUTLET
ACCENTS	Rain Bird XBT-10-6	1-1 GPH Outlet	
GROUNDCOVERS	Rain Bird XBT-10-6	2-1 GPH Outlet	
SHRUBS	Rain Bird XBT-10-6	2-1 GPH Outlets	
TREES	Rain Bird XBT-20-6	6-2 GPH Outlets	

- NOTES**
1. ALL VALVE BOXES SHALL BE TAN IN COLOR. INSTALL FLUSH WITH FINISH GRADE.
  2. EMITTER SCHEDULE IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL ADJUST EMITTER SIZE AND NUMBER OF EMITTERS BASED ON THE NEEDS OF INDIVIDUAL PLANTS OR PLANT HYDROZONES.
  3. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XBT SERIES THREADED RISER MULTI-PORT EMITTERS.
  4. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
  5. RAIN BIRD DBC-025 DIFFUSER BUG CAP ON ALL 1/4" DISTRIBUTION TUBING.

- IRRIGATION KEY NOTES**
1. IRRIGATION EQUIPMENT IS SHOWN FOR GRAPHIC CLARITY. ALL MAINLINES, LATERALS, VALVES ETC SHALL BE LOCATED WITHIN PLANTING AREAS. IRRIGATION MAINLINE AND LATERAL ROUTING AND EQUIPMENT INSTALLATION SHALL BE ADJUSTED TO AVOID CONFLICTS WITH ELECTRICAL UTILITY, LIGHTING, DRAIN INLETS AND STORM WATER DRAINAGE FIXTURES. CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS AND THE OWNER'S REPRESENTATIVE DURING LAYOUT OF SYSTEM. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS UNABLE TO BE AVOIDED AND PROVIDE ADJUSTED LOCATIONS OF ANY AND ALL EQUIPMENT ON AS-BUILT DRAWINGS.



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				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
CYPRESS PROJECT NO: 18.088				
418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565 www.norris-design.com				<b>SITE ADDRESS</b> 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				<b>DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES</b>  <b>IRRIGATION PLAN</b>
				DP 10 OF 13

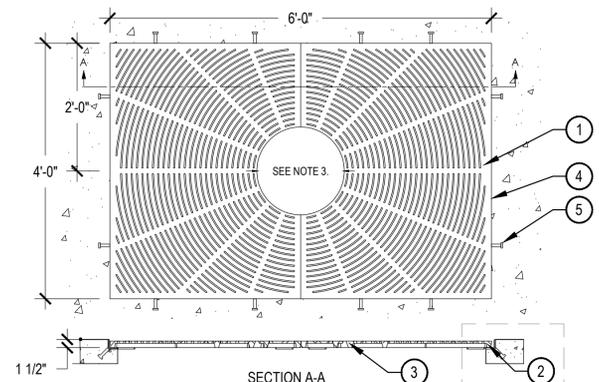


- 1 TOOLED JOINT, 1/4" RADIUS SPACE EQUAL TO WIDTH OF WALK UNLESS NOTED OTHERWISE. DEPTH TO 1/3" CONCRETE THICKNESS MIN
- 2 CONCRETE PAVING. REFER TO SURFACING SCHEDULE FOR COLOR AND FINISH.
- 3 FIBER EXPANSION JOINT WITH TRAFFIC SEALANT
- 4 SAW CUT JOINT, 1/8" X 2" DEPTH. DRY CUT JOINT TO AVOID SPALLING. JOINTS SHALL BE CUT WITHIN 24 HOURS OF INSTALLATION
- 5 1/4" RADIUS TOOL EDGE
- 6 FINISH GRADE
- 7 INERT GROUND COVER REFER TO SURFACING SCHEDULE.
- 8 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTE:  
 1. C.I.P. CONCRETE PER PLANS AND SPECS. CONTROL JOINTS AS SHOWN ON PLANS WITH EXPANSION JOINTS @ 24' O.C. MAX. OR WHERE NOTED.  
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI. AT 28 DAYS.

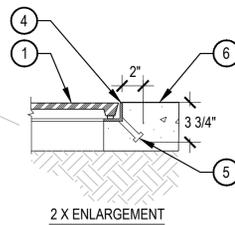
### 1 CONCRETE PAVING

SCALE: 3" = 1'-0"



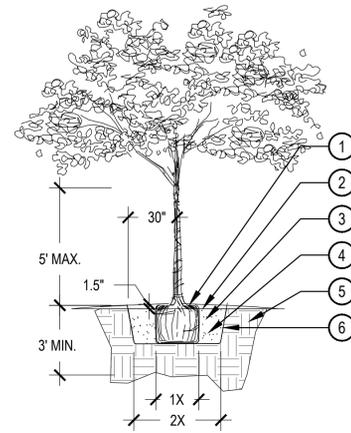
- 1 TREE GRATE PER SCHEDULE
- 2 1/2" x 1" x 1/4" THICK GRINDING PADS FOR LEVELING - TYP. 4 OR MORE PLACES
- 3 1" RIBS
- 4 1-3/4" X 1-3/4" X 1/4" STEEL ANGLE FRAME
- 5 CONCRETE ANCHORS 1/2 NELSON ANCHORS MACHINE WELDED TO FRAME
- 6 PAVING PER SCHEDULE

NOTE:  
 1. SLOT WIDTH IS 1/4" MAXIMUM, MEETS ADA COMPLIANCE.  
 2. GRATE CAST FROM GRAY IRON  
 3. TREE OPENING SIZE 16"  
 4. STEEL ANGLE FRAME REQUIRED  
 5. FOR INSTALLATION USE MODEL M4800F  
 6. OUTER FRAME DIM. IS 3/4" ± 1/8" GREATER THAN GRATE.  
 7. FRAME JIG WELDED FROM 1-3/4" X 1-3/4" X 1/4" STEEL ANGLE TO ASTM A36.



### 2 TREE GRATE

SCALE: NTS

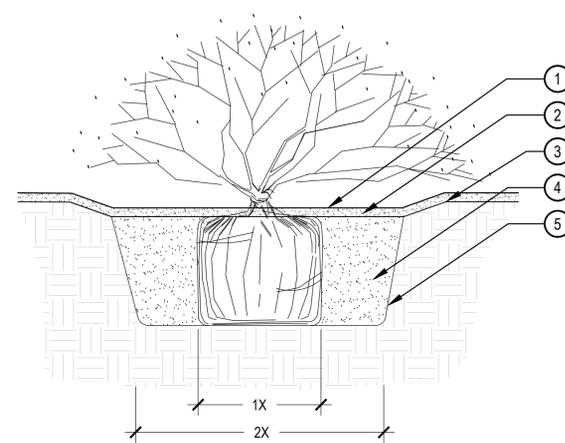


- 1 FINISH GRADE
- 2 PLANT 1.5" ABOVE FINISH GRADE. SLOPE BACKFILL AWAY FROM TRUNK.
- 3 BACKFILL WITH NATIVE SOIL AND WATER SETTLE.
- 4 HOLE SIZE: 2X WIDTH OF ROOTBALL.
- 5 LOOSEN SOIL 3X WIDTH OF ROOTBALL.
- 6 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:  
 1. SET TOP OF ROOTBALL (1.5" ABOVE ADJACENT GRADE) ORGANIC MULCH AS REQUIRED.  
 2. INSTALL BERM ON DOWNSIDE OF SLOPES FOR TREES ON GRADE OF 5:1 OR GREATER.

### 3 SINGLE-TRUNK TREE PLANTING

SCALE: NTS

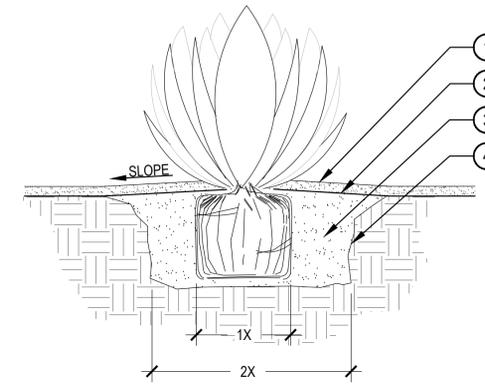


- 1 FINISH GRADE
- 2 INERT GROUND COVER PER SCHEDULE
- 3 3" DEEP WELL, BLEND TO FINISHED GRADE
- 4 BACKFILL NATIVE SOIL, THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER, SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM
- 5 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:  
 1. DO NOT DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER.  
 2. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.  
 3. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.

### 4 SHRUB / GROUND COVER PLANTING

SCALE: NTS

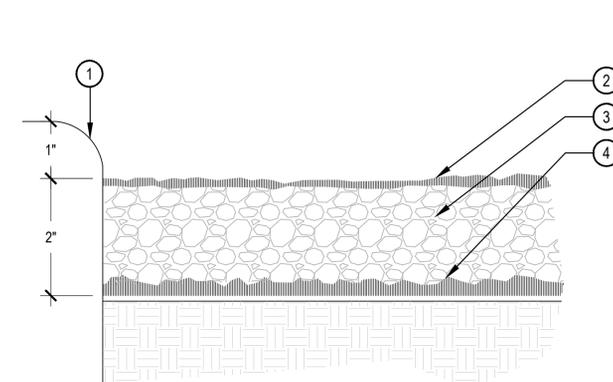


- 1 TOP OF D.G.
- 2 FINISH GRADE
- 3 BACKFILL NATIVE SOIL, THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER, SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM.
- 4 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:  
 1. DO NOT CREATE BASIN AT BASE OF ACCENT.  
 2. SLOPE BACKFILL AWAY FROM PLANT.  
 3. USE DRY SITE SOIL ONLY IN PIT -- NO MULCH.

### 5 ACCENT / CACTI PLANTING

SCALE: NTS



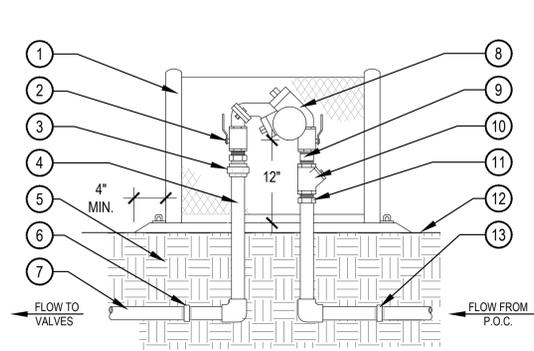
- 1 MIN. 1" REVEAL ON ALL PAVED SURFACES - GRADE FOR MATERIAL DEPTH AND REVEAL
- 2 FINAL APPLICATION OF PRE-EMERGENT HERBICIDE.
- 3 GROUND COVER PER SCHEDULE
- 4 APPLY PRE-EMERGENT HERBICIDE TO SUBGRADE

NOTE:  
 1. APPLY PRE-EMERGENT HERBICIDE PER LABEL DIRECTIONS AND RATE.

### 6 INERT GROUND COVER

SCALE: 1/2" = 1'-0"

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CYPRESS PROJECT NO: 18.088				<b>NORRIS DESIGN</b> Planning   Landscape Architecture   Branding 418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565 www.norris-design.com
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<b>DEVELOPMENT PACKAGE for            HAMPTON INN / HOME2 SUITES</b> LANDSCAPE DETAILS				<b>DP</b> 11 OF 13

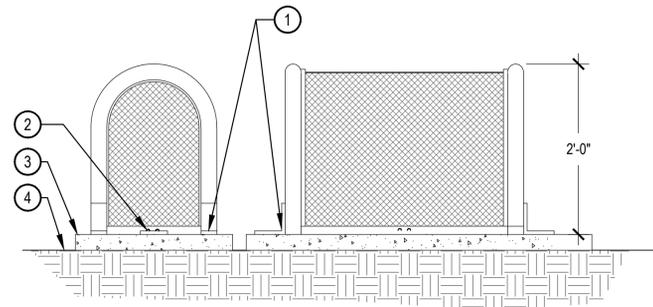


- 1 BACKFLOW ENCLOSURE # GS-1
- 2 BALL VALVE
- 3 BRASS UNION
- 4 TYPE K COPPER PIPE
- 5 COMPACTED SUBGRADE
- 6 PVC ADAPTOR 30" BEYOND UNIT
- 7 PVC MAINLINE
- 8 REDUCED PRESSURE BACKFLOW PREVENTER WITH BALL VALVES
- 9 BRASS NIPPLE
- 10 BRASS WYE STRAINER (100 MESH)
- 11 COPPER ADAPTER
- 12 FINISH GRADE
- 13 PVC ADAPTOR 30" BEYOND UNIT

NOTE:  
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.  
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.  
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.  
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/2" OR LARGER.

### 1 BACKFLOW PREVENTER

SCALE: NTS

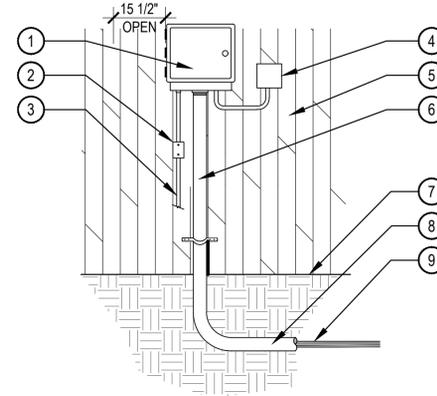


- 1 WELDED BRACKETS - BOTH ENDS
- 2 DRILL TWO 5/16" HOLES CENTERED FOR LOCKING BRACKET
- 3 4" CONCRETE PAD
- 4 FINISH GRADE

NOTE:  
 1. INSTALL GUARDSHACK GS1 = 10" W x 24" H x 22" L LIFT-OFF UNIT 51 POWDER COATED STEEL GUARD SHACK PER MANUFACTURER'S SPECIFICATIONS.  
 2. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.  
 3. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005  
 4. PROVIDE KEYED PADLOCK, MASTER LOCK MODEL #957 W/ (2) TWO KEYS FOR LOCKING SECURITY ENCLOSURE.

### 2 LIFT-OFF BACKFLOW ENCLOSURE

SCALE: NTS

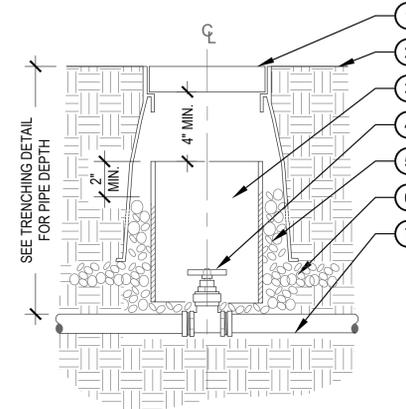


- 1 CONTROLLER MOUNT AT EYE-LEVEL PER MANUFACTURER'S RECOMMENDATIONS
- 2 DISCONNECT SWITCH
- 3 120 POWER SOURCE IN STEEL CONDUIT
- 4 RAIN SENSOR PER SCHEDULE
- 5 BUILDING EXTERIOR WALL
- 6 RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES
- 7 FINISH GRADE
- 8 CONDUIT TO EXTEND 5 FT. BEYOND WALL
- 9 UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.

NOTE:  
 1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.  
 2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.  
 3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.  
 4. PROVIDE LOCK FOR ENCLOSURE.

### 3 WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS

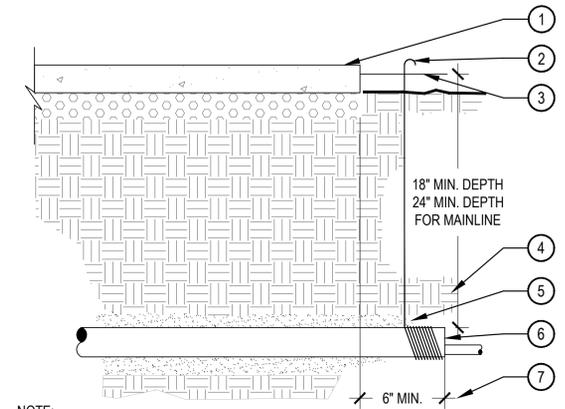


- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 2" CL 160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED.
- 6 3" DEPTH 3/4" GRAVEL EXTEND 6" BEYOND EDGE OF BOX
- 7 PVC MAINLINE AS PER PLAN

NOTE:  
 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.  
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.  
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

### 4 GATE VALVE 3" & SMALLER

SCALE: NTS

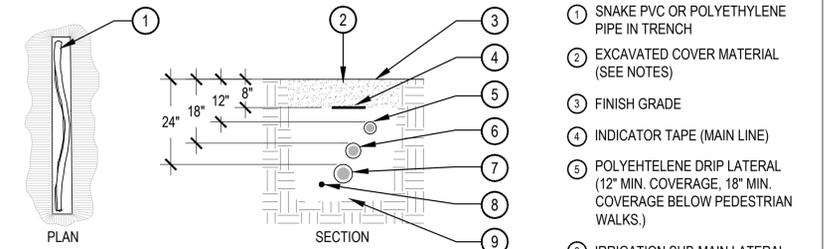


- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- 3 FINISH GRADE / TOP OF DG.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 6 PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

NOTE:  
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.  
 2. CAP SLEEVES UNTIL USE.  
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.  
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.  
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

### 5 IRRIGATION SLEEVE

SCALE: NTS



NOTE:  
 1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.  
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.  
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.  
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS  
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.  
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH.  
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.  
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.  
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.  
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

### 6 IRRIGATION TRENCH

SCALE: NTS

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
CYPRESS PROJECT NO: 18.088				 Planning   Landscape Architecture   Branding
 418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565 www.norris-design.com				
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701

DEVELOPMENT PACKAGE for  
 HAMPTON INN / HOME2 SUITES  
 IRRIGATION DETAILS

DP  
 12  
 OF  
 13

#6 – INDIVIDUAL PARKING PLAN

**HILTON DUAL BRAND HOTEL**

*Fayt* **HOSPITALITY**

**SEAVER** **FRANKS**  
ARCHITECTS INC. AIA

**CYPRESS**  
CIVIL DEVELOPMENT

# INDIVIDUAL PARKING PLAN for HILTON DUAL BRAND HOTEL

MAY 2019

## OWNER

Stone Avenue North, LLC  
3573 East Sunrise Drive, Suite 225  
Tucson, Arizona

## PREPARED FOR

Fayth Hospitality  
5442 Belmont Avenue  
Dallas, Texas 75206



CYPRESS  
CIVIL DEVELOPMENT

SEAVER FRANKS  
ARCHITECTS INC. AIA

Fayth HOSPITALITY

HILTON DUAL BRAND HOTEL

08 May 2019

City of Tucson Development Services  
201 North Stone Avenue  
Tucson, Arizona 85701

**RE: Individual Parking Plan for the Hampton Inn/Home2 Suites (DP19-0018)**

The Hampton Inn/Home2 Suites development (hereinafter the “PROJECT”) is located at 141 South Stone Avenue, and is a new development that is proposing to build a dual brand Hilton Hotel. The project has been designed and will be constructed under the governance of the City of Tucson’s Unified Development Code (UDC) and the Infill Incentive District (IID) standards. The Development Package (DP19-0018) was originally submitted on January 10, 2019 without any off-site parking agreement with a private party in place as it was deemed this wasn’t required. The purpose of this Individual Parking Plan (IPP) request is to modify the parking requirements as it relates to the project’s commercial use, and reflect typical current parking demands for hotels in Tucson and other urban areas.

The PROJECT is located in a C-3 zone and currently is developed with a parking lot. Per the UDC Article 7.4.4 the required number of parking spaces is 1 space per 300 square feet of gross floor area of conference, restaurant, retail, bar and banquet space; and 1 space per hotel room (*see Attachment 1 – Applicable Parking Codes*). The PROJECT nets 4,729 square feet of retail, meeting and restaurant use area and 199 guest rooms which results in a requirement to provide 215 parking spaces on-site.

The PROJECT currently proposes an on-site parking garage, which will contain 138 spaces and is utilizing the Infill Incentive District Ordinance to receive a 25% reduction to reduce the required on-site parking to 161 spaces. This equates to a 23 parking space shortage on-site.

Per UDC Article 7.4.5.A.3 this PROJECT meets one (1) of the development type/permitted use criteria for an IPP request: .b) Project is within 1,320 feet (one-fourth mile) of a transit stop.

The PROJECT is adjacent to multiple alternative transit opportunities, including the Sun Link Street Car and Sun Tran Bus service. The Sun Link Street Car currently stops along Broadway Boulevard, in front of Visit Tucson building at the southwest corner of Broadway and Church. Sun Tran Bus services currently stop along Church Avenue at the corner of Church Avenue and Ochoa Street. Both service stops are adjacent and within direct pedestrian access to the PROJECT (*see Attachment 2 – Public Transportation*).

In addition, the PROJECT is also adjacent to other alternative transportation opportunities including the City of Tucson’s Bike Share Program (TUGO) with a station being located adjacent to the PROJECT at Church and McCormick (in front of the TCC) (*see Attachment 3 – Bike Share Map*).

In terms of additional public parking facilities, the PROJECT is located less than 1,300 feet of two City of Tucson public parking garage facilities: the Pennington Street Garage located along Pennington Street between Scott Avenue and 6<sup>th</sup> Avenue; and the Main Library Garage located along Alameda Street between Church Avenue and Stone Avenue. The Pennington Street Garage contains 711 public spaces and is accessible 24/7/365. The Main Library Garage contains 266 public spaces and is open 7 days a week with specific daytime hours of operation (*see Attachment 4 – Public/Other Parking Facilities*).

The PROJECT is also located adjacent to on-street metered parking spaces to include immediately in front of the hotel along Stone Avenue (6 spaces) and along multiple public right-of-ways surrounding the project including Church Avenue, Jackson Street, McCormick Street and Cushing Street. Within 1,000 feet of the PROJECT, there are approximately 152 metered, on-street parking spaces.

In addition to City owned and operated public parking facilities, the PROJECT is located close to the La Placita Garage - which offers approximately 500 parking spaces available for public hourly, daily, and monthly lease. The garage was originally intended to serve the over 200,000 square feet of office development of the former La Placita Village, which is currently being demolished and being replaced with a new development that will provide its own on-site parking facilities; increasing the available use of the garage for the general public. There is also the parking garage at the AC Marriott Hotel located less than 1,300 feet to the northeast of the project. This garage includes 200 parking spaces with approximate 50% utilization on average so the surplus spaces are available for paid usage to the public (*see Attachment 4 – Public/Other Parking Facilities*).

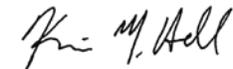
Being a lodging use, the PROJECT experiences the highest parking demands during the evening. The 138 parking spaces provided on-site have been deemed more than sufficient to handle demand per the hotel’s owner/developer and based on parking demand by exhibited by hotels in the immediate Tucson area as well as around the country. In the present day hotels are finding that the Code required parking is more than sufficient for their guests and so their parking garages have been opened for public usage to capitalize on the surplus of parking available. This is due in large part to the increase in efficient access to public transit, close proximity to dining and entertainment options and an increase in rideshare services (*see Attachment 5 – Hotel Parking Study*).

It is important to note that the PROJECT is within 300 feet of an R-2 zone and Historic Preservation Zone – both to the south and east (*see Attachment 6 – Zoning Map*). The R-2 zoned area is currently occupied by the Tucson Scottish Rite Cathedral and contains no residential uses. The

portion of the Armory Park Historic Preservation Zone (HO-3) within the 300 foot radius is a multi-family residential structure along the south side of Corral Street. The on-street parking in front of the multi-family residential parking is not open to the public or metered, and is reserved as part of the Residential Permit Parking program, therefore should not be negatively impacted by potential PROJECT attendees.

In conclusion, the combined 138 parking spaces on-site, 152 on-street metered spaces, the City operated Public Parking garages (Pennington & Main Library), the privately owned garages available for public use, and the publicly available multi-modal transportation offerings (Sun Link, Sun Tran, TUGO), provide adequate access and parking opportunities to meet the requirements and demand of the PROJECT and the shortage of 23 parking spaces from the required amount is not seen as a deterrent to the success of the PROJECT.

Sincerely,  
**Cypress Civil Development**



Kevin Hall, P.E.

Principal

[kmhall@cypresscivil.com](mailto:kmhall@cypresscivil.com)



- Attachment 1 – Applicable Parking Codes
- Attachment 2 – Public Transportation
- Attachment 3 – Bike Share Map
- Attachment 4 – Public/ Other Parking Facilities
- Attachment 5 – Hotel Parking Study
- Attachment 6 – Zoning Map
- Attachment 7 – Development Plan – DP19-0018

## 7.4.4. REQUIRED NUMBER OF MOTOR VEHICLE PARKING SPACES

### A. Calculation of Required Motor Vehicle Parking Spaces for Multiple or Mixed Use Development

The total number of required spaces for a multiple or mixed use development is 90% of the sum of the amount required for each separate principal use in Section 7.4.4.B, Minimum Number of Motor Vehicle Spaces Required. The square footage of Entertainment, Food Service (i.e., restaurants), and/or Alcoholic Beverage Service (i.e., bars) uses may not be included in the calculation for multiple or mixed use parking requirements. The parking requirements for these uses are calculated individually in accordance with Section 7.4.4.B, Minimum Number of Motor Vehicle Spaces Required.

#### 1. Exceptions

The calculation for a multiple or mixed use development does not apply to Shopping Centers, Golf Course, Religious, Travelers' Accommodation, and Lodging uses. Refer to Section 7.4.4.B, Minimum Number of Motor Vehicle Spaces Required, for multiple or mixed use motor vehicle parking requirements pertaining to these uses.

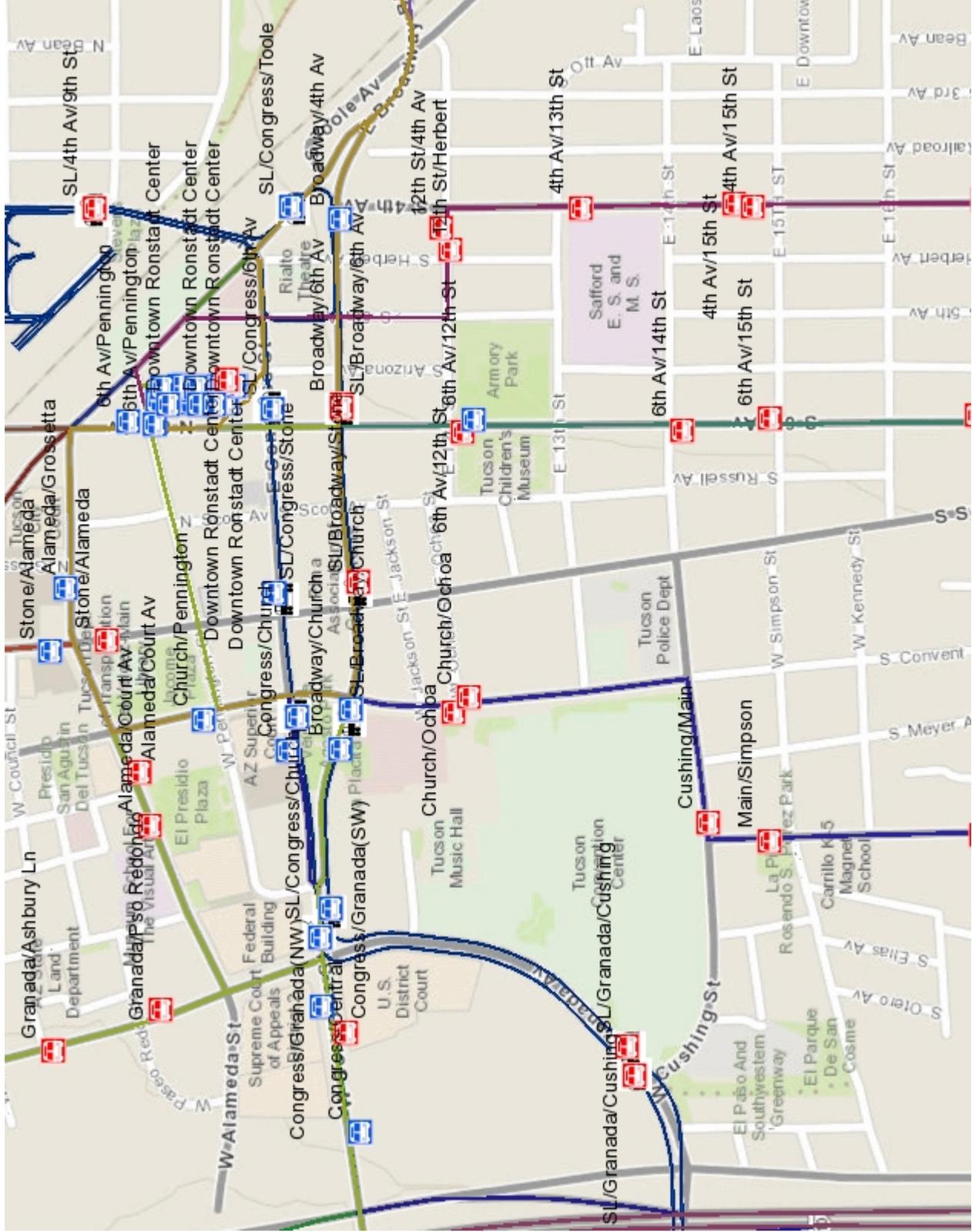
### B. Minimum Number of Motor Vehicle Parking Spaces Required

The minimum number of required motor vehicle parking spaces is provided below in Table 7.4.4-1.

**TABLE 7.4.4-1 : MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED**

Land Use Group/Class	Moto Vehicle Spaces Required
Travelers' Accommodation, Lodging	1 space per rental unit plus 1 space per 300 sq. ft. GFA of conference, restaurant, retail, bar, and banquet space.
Shopping Center	1 space per 300 sq. GFA

# 141 South Stone Ave - Public Transit



## Legend

- Bus Stops
- No Shelter
- Shelter
- Sun Tran Bus Routes
- 10th/12th Ave
- 22nd St
- 6th St/Wilmot
- Ajo Way
- Averson Way
- Benson Highway
- Broadway
- Campbell Ave
- Congress/Silverbell
- Country Club/29th St
- Cravcroft/Ft Lowell
- Euclid/N 1st Ave
- Flowing Wells
- Glenn/Swan
- Grande
- Grant Road
- La Cholla
- Midvale Park
- Mission Road
- Oracle/Ina
- Pantano
- Pima/West Speedway
- Pueblo Gardens
- S 12th Ave
- S 6th Ave
- S Park Ave
- Speedway
- Stone Ave
- Valencia
- Express Bus Routes
- all other values>

## Notes

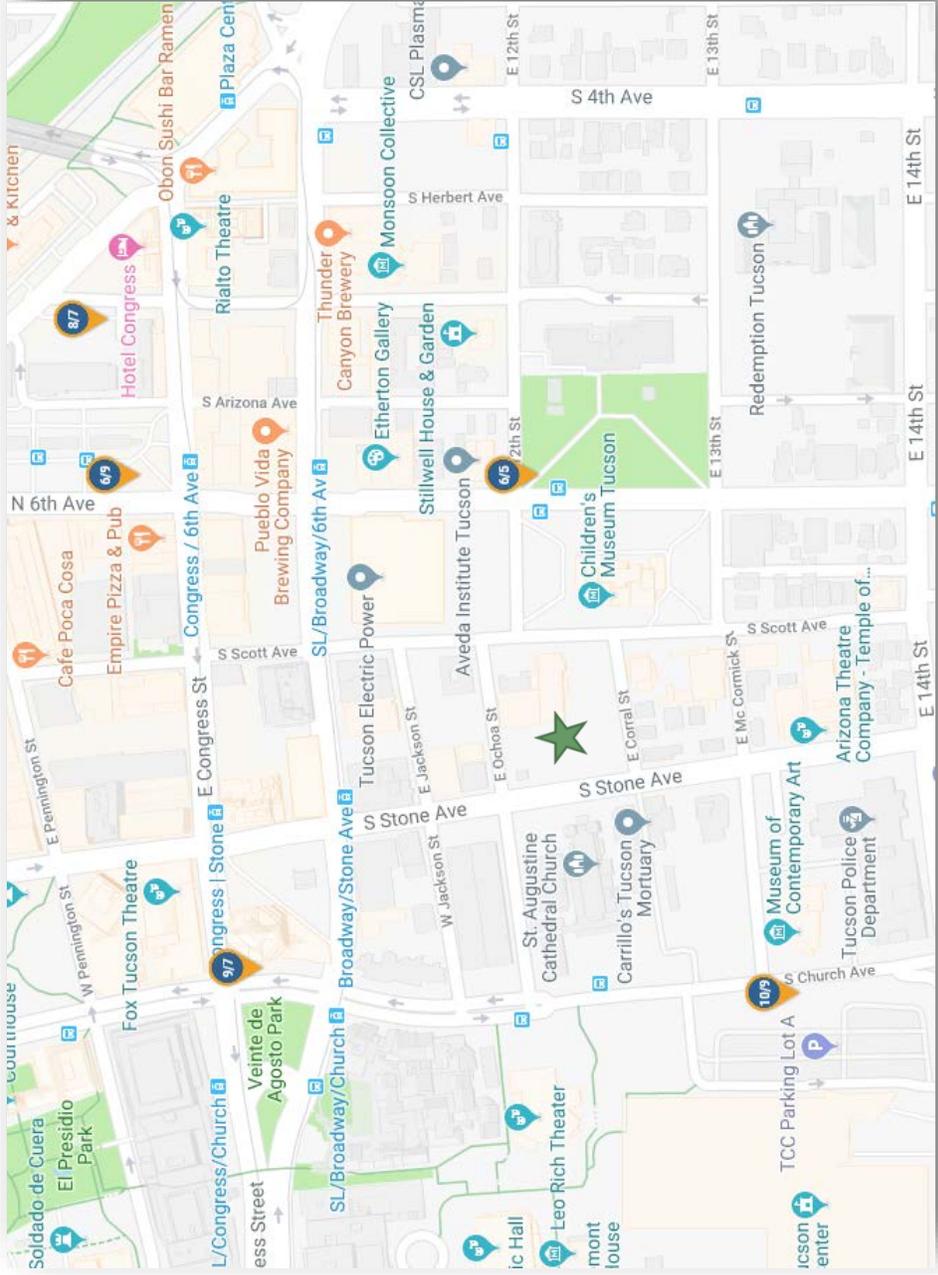
0.3 0 0.14 0.3 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

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# 141 South Stone Avenue – Bike Share Map







HAWKINS COLE

# 2019 PARKING STUDY

**Project** Dual branded Hampton Inn and Home 2 Suites in Downtown Tucson

**Location** East side of Stone Avenue, south of Ochoa St. just north of Corral St.  
(141 S. Stone Avenue)

**Description** 199-room hotel with 6 stories; main entrance along Ochoa St.

**Parking** 3-level garage located within first 2 stories (138 spaces including 5 handicap, 10 interior bicycle stalls and 6 metered curb parking)

**Developer** Fayth Hospitality Group, LLC



According to a City of Tucson parking study, there are 10,960 parking spaces located in Downtown Tucson with the majority located in public facilities. Peak hour occupancy at 12:00 PM on Fridays is 50%. Parking is currently underutilized. Parking garages in the highest demand area reach 85% occupancy during high demand times. The city's study indicates that parking spaces near The Tucson Convention Center (TCC) are underutilized; primarily those west of TCC along Granada.

Historic governmental regulations typically require one parking space for each hotel room with additional spaces for employees, F & B space and meeting space. The demand for parking spaces at hotels has been decreasing over the last several years due to the following:

- Majority of new hotel development is in limited service and select service sectors. Meeting rooms and F&B are limited, so parking for these areas is minimal.
- Significant advancement in Uber and Lyft ride services provides a more enjoyable and less expensive service as compared to taxi rides. Hotel guests that were uncomfortable with taxis are using Uber and Lyft and not leasing vehicles. Vehicle leases are decreasing at the airport as well.
- Governmental programs which promote ride sharing, transit services and green first initiatives

# PARKING USAGE PERCENTAGE

## Tucson Hotels Parking Utilization

Parking space usage from AC, University Marriott and aLoft University hotels ranges from 30% to 50% of the guests. Only thirty (30) percent of the guests at the University Marriott arrive with a vehicle.

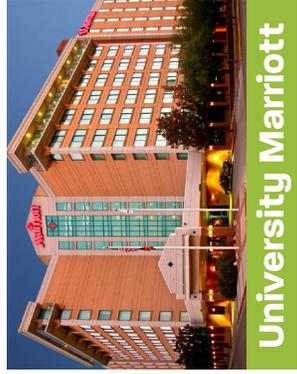


**AC Downtown**

# OF ROOMS 136

LOCATION Urban

EST. % OF GUESTS 50%



**University Marriott**

# OF ROOMS 250

LOCATION Urban

EST. % OF GUESTS 30%



**aLoft University**

# OF ROOMS 154

LOCATION Urban

EST. % OF GUESTS 50%



**Embassy Skyline**

# OF ROOMS 119

LOCATION Suburban

EST. % OF GUESTS 80%

## Non-Tucson Hotels

Non-Tucson urban hotels situated in major downtown areas such as Houston, New Orleans, etc. are also experiencing significant declines in hotel parking utilization. Data indicates that no more than 50% of these guests will utilize hotel parking.

OWNER	# OF ROOMS	LOCATION	EST. % OF GUESTS PARKING
Woodbine Southwest	1500+	urban	40%
Southwest Value Partners	1500+	urban	25%
ZMC Hotels	1500+	suburban	80%

*Information provided by hotel owners/general managers.*

## Reasons Why Demand is Less for Downtown Hotels vs. Suburban Hotels

- Efficient access to public transit, light rail, etc. for guests and employees
- Guests can operate without a vehicle on account of proximity to restaurants, venues and job centers
- Downtown hotels typically charge an overnight parking fee for guests while suburban hotels typically do not
- Guests prefer not to drive in Downtown environments

## Other Indications of Change

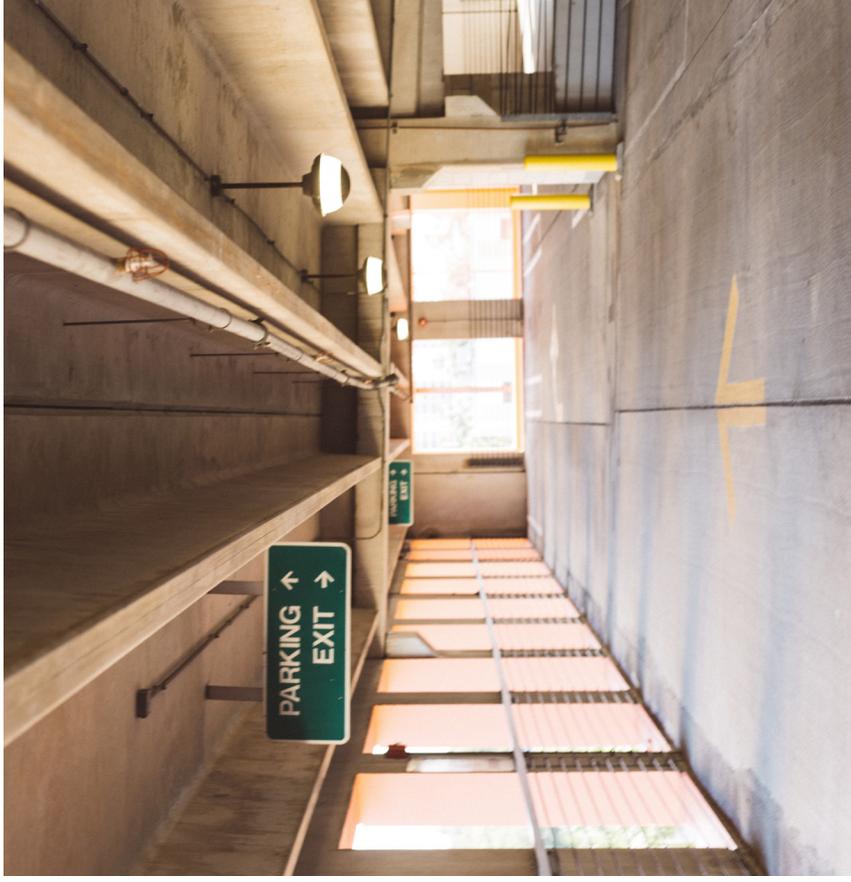
- Large parking providers such as airports are seeing revenue decline in their garages and lots due to an increasing number of travelers utilizing Uber and Lyft services.
- Drop off, pickup and delivery demands are impacting short-term parking and demand along curbside, metered spaces, etc. Drop off lanes are emerging as important design elements
- ACE Parking, a large national garage operator, indicates that demand for hotels is declining due to Uber, etc.
- A 2017 study by Certify (a business traveler company) indicates that 68% of business travelers choose Uber of Lyft with 25% choosing rental vehicles and 7% taxis.
- Decreasing vehicle ownership is having an impact on land use planning in downtowns across the country. The ration of spaces per unit for apartments and hotels is decreasing whereas for condominiums is stable (due to condo owners concern of resale). One interesting trend is that some parking structures are being designed and constructed to allow for future conversion into additional retail, office and hotel space and housing. Clearly, the marketplace sees demand for these spaces decreasing at hotels, housing and offices in downtown areas.

BRAND/LOCATION	NUMBER OF ROOMS	OCCUPANCY	PARKING SPACES	PARKING SPACE OCCUPANCY
Full service Los Angeles Airport	1,234	88.7	1,424	29.5
Full service San Diego Convention Center	1,190	84.1	894	31.6
Full service Houston Convention Center	1,200	71.9	1,600	24.5
Full Service Austin Convention Center	800	79.2	600	36.9
DoubleTree Spokane City Center Hotel	375	66.5	302	21.7
Embassy Downtown Austin	259	84.1	286	14.1
Hilton Suites Phoenix	226	60.2	158	20.1
Full Service Dallas Lincoln Center	500	63.1	543	15.3
Full service Portland (Oregon)	782	76.7	150	42.0
Embassy Sacramento	242	80.3	136	72.9

This above information was provided by Hilton Hotels and was collected during years 2013 to 2017.

### Kimley Horn 2016 Parking White Paper

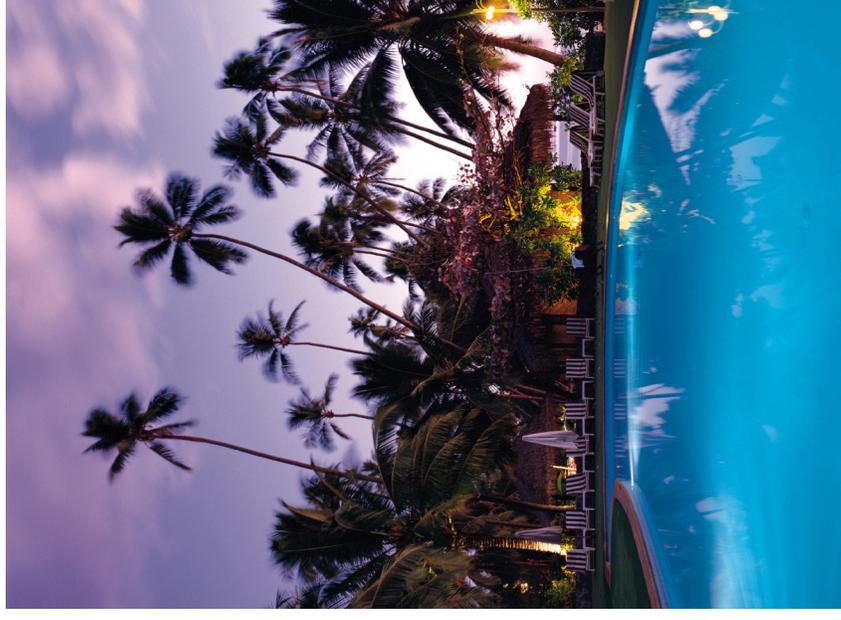
LOCATION	PARKING SPACE DEMAND PER ROOM
Durham, North Carolina	39%
Asheville, North Carolina	60%
Tempe, Arizona	34%
St. Petersburg, Florida	31%
Arlington, Virginia	71%



### Tucson Airport Authority 2017 Economic Impact Study

	ALL VISITORS	BUSINESS	LEISURE
Reason for Visit	100%	37%	56%
Nights in Southern Arizona	4.8	3.9	5.0
Percent Staying in Hotel	69.5	94.1	53.5
Percent Leasing Vehicle	43.9	51.8	38.8

The above data indicates that only 43.9% of the travelers arriving at Tucson International Airport lease a vehicle. The remaining guests are utilizing family, Lyft, Uber, etc. This percentage continues to decrease as services from Lyft and Uber become more popular and convenient.



# PROJECTED PARKING REQUIREMENTS

## MAXIMUM PROJECTED GUEST PARKING FOR HAMPTON/HOME2

	Occupancy	Rooms Occupied	Parking Usage	Required Spaces for Guests
199 rooms	90%	179	60%	107
199 rooms	80%	159	60%	96
199 rooms	70%	139	60%	83
<b>Likely Projected Guest Parking for Hampton/Home2</b>				
199 rooms	90%	179	50%	89
199 rooms	80%	159	50%	79
199 rooms	70%	139	50%	69
<b>Maximum Projected Total Parking for Hampton/Home2</b>				
Guest Parking	Employees	Retail	Total	
107	15	10	132	
96	15	10	121	
83	15	10	108	
<b>Likely Projected Parking for Hampton/Home2</b>				
89	15	10	114	
79**	15	10	104	
69	15	10	94	

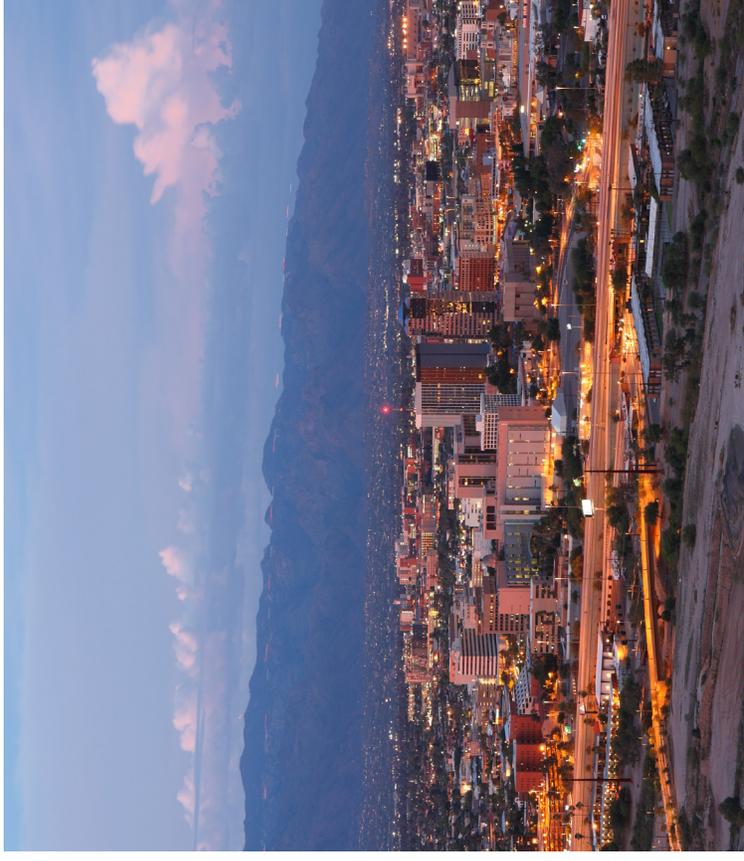
# PROJECT SUMMARY

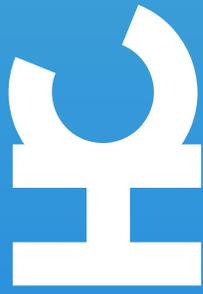


HAWKINS COLE

Demand for hotel guest parking is changing rapidly; due primarily to the shared ride (Uber, Lyft, etc.) phenomenon. The requirement to provide one parking space per guest room in urban or downtown hotels is no longer supported by guests' desires or needs. This is evident nationally as well as locally.

The subject Hampton/Home2 project will require no more than 132 guest parking spaces at 90% occupancy. Likely, demand is nearer to 104 spaces.





**HAWKINS COLE**  
**HOSPITALITY & INVESTMENT**

FOR MORE INFORMATION PLEASE

**CONTACT**

**Jerry Hawkins**  
Designated Broker  
520 222 2525

[jerry.hawkins@hawkinscole.com](mailto:jerry.hawkins@hawkinscole.com)

**Kimbra Cole**  
Principal  
520 370 8273

[kimbra.cole@hawkinscole.com](mailto:kimbra.cole@hawkinscole.com)

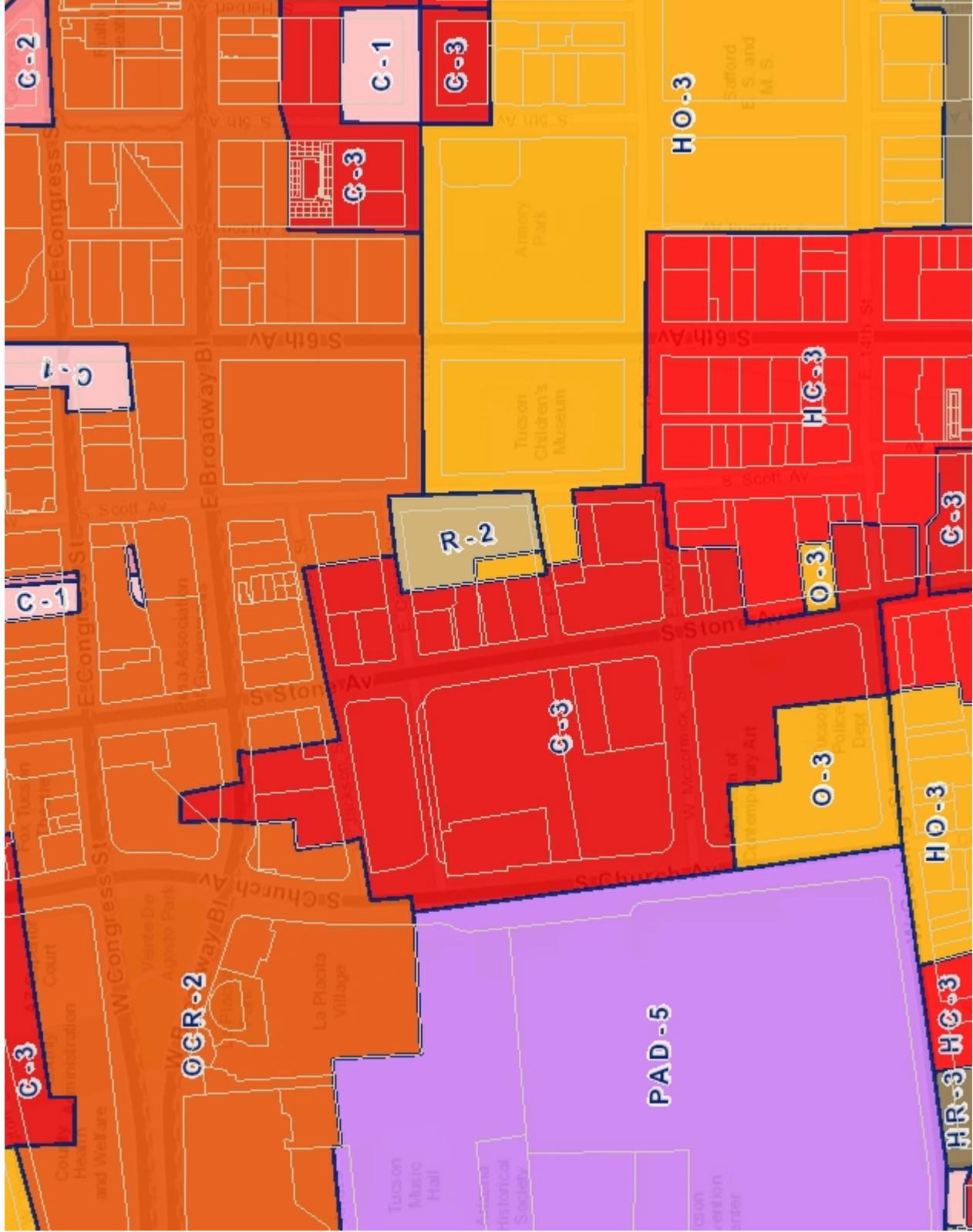
Hawkins Cole Hospitality & Investment Real Estate does not own the photos used in this proposal and does not profit from the use of them in any way. Members of the ownership LLC all hold real estate licenses in the State of Arizona. Information herein is based on the current opinion of the Brokers, involves known and unknown risks and is not guaranteed. Interested Parties should independently verify all facts and assumptions.

# 141 South Stone Ave - Zoning Map



## Legend

- Parcels
- Tucson Zoning
  - PAD-5
  - PAD-26
  - R-1
  - HR-1
  - NR-1
  - R-2
  - NR-2
  - R-3
  - HR-3
  - NR-3
  - C-1
  - C-2
  - HC-2
  - C-3
  - HC-3
  - HNC
  - O-1
  - HO-1
  - O-2
  - HO-2
  - O-3
  - HO-3
  - P
  - HP
  - RX-1
  - HRX-1
  - RX-2
  - HRX-2
  - SR
  - HSR
  - PI



## Notes

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.1 Miles

0.07

0

0.1

# DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES

- GENERAL NOTES**
- OWNER/DEVELOPER:  
FAYTH HOSPITALITY  
5442 BELMONT AVENUE  
DALLAS, TEXAS 75206
  - THE EXISTING ZONING IS C-3. NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
  - THE EXISTING USE IS PARKING. THE PROPOSED USE OF THE DEVELOPMENT IS TRAVELS ACCOMMODATION, LODGING AND IS NOT SUBJECT TO ANY USE SPECIFIC STANDARDS.
  - THE GROSS SITE AREA IS 35,558 SQUARE FEET, OR 0.82 ACRES.
  - THE TOTAL BUILDING GFA IS 177,824 SF.
  - THE TOTAL ON-SITE DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 35,558 SF. THE OFF-SITE DISTURBED AREA IS 5,865 SF ±.
  - THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
  - DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
  - NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 1001.501, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
  - ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
  - ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
  - ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
  - MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
  - A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
  - ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.  
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE.  
- SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7' ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".  
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS-SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
  - DIMENSIONAL STANDARDS PER C-3 ZONE:  
RESIDENTIAL DENSITY CALCULATION: N/A (NON-RESIDENTIAL)  
SITE COVERAGE CALCULATION: N/A\*  
MAXIMUM BUILDING HEIGHT = 75'  
ACTUAL BUILDING HEIGHT = 75'

BEHAVIORAL STANDARDS PER C-3 ZONE:  
NORTH - 0\*  
EAST - 0\*  
SOUTH - 0\*  
WEST - 0\*  
\*NOTE: WITHIN THE DOWNTOWN CORE SUBDISTRICT (DCS), DIMENSIONAL STANDARDS MAY BE MODIFIED OR EXEMPT PER SECTION 5.12.10.C.

BEHAVIORAL STANDARDS PER C-3 ZONE:  
NORTH - 3.4' MIN.  
EAST - 4.3' MIN.  
SOUTH - 0.4' MIN.  
WEST - 0.3' MIN.

BEHAVIORAL STANDARDS PER C-3 ZONE:  
NORTH - 0\*  
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- GENERAL NOTES (cont.)**
- PARKING REQUIREMENTS FOR TRAVELERS' ACCOMMODATION, LODGING:  
MOTOR VEHICLE:  
UDC: 1 SPACE PER RENTAL UNIT + 1 SPACE PER 300 SF GFA OF CONFERENCE, RESTAURANT, RETAIL, BAR & BANQUET
  - SPACES REQUIRED = (1x199)+(4,729/300) = 215 SPACES  
TOTAL REQUIRED @25% REDUCTION (IID) = 161 SPACES  
TOTAL PROVIDED = 138 SPACES
  - IID: PER THE INFILL INCENTIVE DISTRICT OVERLAY A 25% REDUCTION IN REQUIRED PARKING IS ALLOWED
  - IPP: PER INDIVIDUAL DEVELOPMENT, THE REQUIRED PARKING FOR THIS PROJECT IS \_\_\_\_\_ SPACES.  
ACCESSIBLE SPACES REQUIRED = 5 SPACES  
ACCESSIBLE SPACES PROVIDED = 5 SPACES
  - BICYCLE PARKING:  
SHORT TERM: 2 SPACES + 1 SPACE PER 6,000 SF GFA OF CONFERENCE, RESTAURANT, BAR AND/OR BANQUET SPACE (50 MAX.)  
TOTAL REQUIRED = 2+(4,729/6,000) = 3 SPACES  
TOTAL PROVIDED = 4 SPACES
  - LONG TERM: 1 SPACE PER 20 GUEST ROOMS (2 MIN.)  
TOTAL REQUIRED = 199/20 = 10 SPACES  
TOTAL PROVIDED = 10 SPACES
  - LOADING ZONES REQUIRED = 0 SPACES  
LOADING ZONES PROVIDED = 0 SPACES
  - A FREESTANDING MONUMENT SIGN IS PROPOSED WITHIN THIS DEVELOPMENT. NO PARKING AREA LIGHTING IS PROPOSED.
  - MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
  - WASTE STREAM CALCULATION:  
PER TUCSON CITY CODE 15-10.1(E) THIS SITE PRODUCES APPROXIMATELY 9,301 GALLONS PER WEEK  
A MINIMUM OF 46.0 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.  
A TRASH COMPACTOR WILL BE ON SITE WHICH WILL REDUCE THE AMOUNT OF WASTE TO APPROXIMATELY 11 CUBIC-YARDS (TOTAL).
  - THIS WILL BE ACCOMPLISHED BY ONE 4-CUBIC-YARD TRASH BIN AND ONE 4-CUBIC-YARD RECYCLING BIN BEING PICKED UP TWICE PER WEEK.
  - THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA (MS&R); UDC SEC. 5.7, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID). THE PROJECT IS ALSO WITHIN THE RIO NUEVO TAX INCREMENT FINANCING DISTRICT.
  - ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
  - THE ASSESSOR'S PARCEL NUMBERS FOR THIS PROJECT ARE 117-13-1610, 117-13-1620, 117-13-1630, 117-13-1640, 117-13-1650, 117-13-1660, AND 117-13-1670.
  - DEVELOPER WILL COMBINE ALL PARCELS ASSOCIATED WITH THIS DEVELOPMENT PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
  - DEVELOPER WILL DEDICATE A PUBLIC ACCESS EASEMENT ALONG THE NORTHERN PORTION OF THE SITE, AS SHOWN ON SHEET 6 OF THIS PLAN, ON THE FORM PROVIDED BY CITY TRANSPORTATION PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.

BEHAVIORAL STANDARDS PER C-3 ZONE:  
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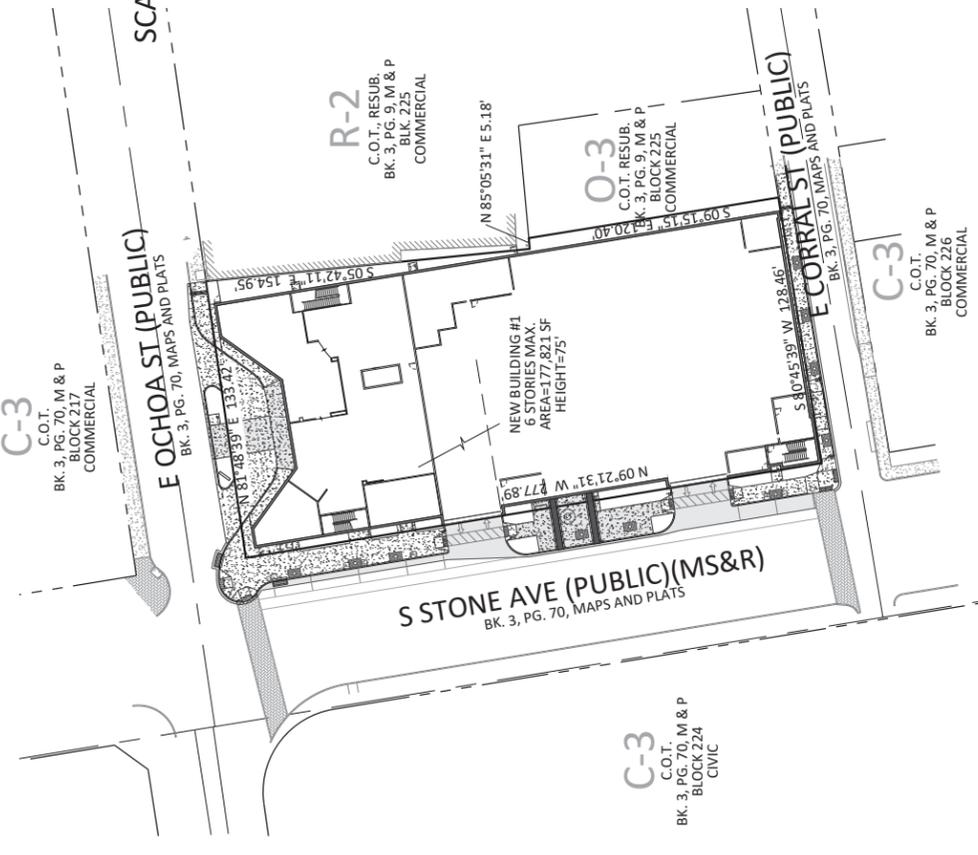
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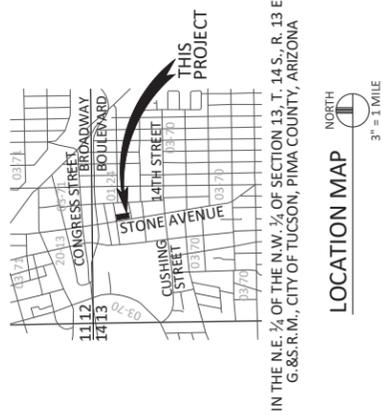
SCALE: 1"=40'



## PROJECT OVERVIEW PLAN

## SHEET INDEX

- COVER SHEET
- NOTES
- PARKING PLAN
- GRADING + DRAINAGE PLAN
- UTILITIES + EASEMENTS PLAN
- DETAILS
- DETAILS
- LANDSCAPE SCHEDULE AND NOTES
- LANDSCAPE PLAN
- IRRIGATION PLAN
- LANDSCAPE DETAILS
- IRRIGATION DETAILS
- IRRIGATION DETAILS



## LEGEND

PROJECT BOUNDARY	EXISTING POWER POLE
RIGHT-OF-WAY	EXISTING FIRE HYDRANT
OTHER PARCEL LINE	EXISTING UNKNOWN MANHOLE
ROADWAY CENTERLINE	NEW STORM DRAIN PIPE
SECTION LINE	NEW SEWER
EXISTING EASEMENT	NEW WATER
NEW EASEMENT	NEW FIRE SERVICE
EXISTING CONTOUR	NEW SEWER CLEANOUT
NEW CONTOUR	NEW SEWER MANHOLE
SPOT ELEV. (NEW GRADE)	NEW WATER METER
SPOT ELEV. (EXIST. GRADE)	NEW BACKFLOW PREVENTER
GRADING LIMITS	NEW WATER VALVE
EXISTING CURB	NEW FIRE CONNECTION
EXISTING PAINT STRIPE	NEW IRRIGATION BOX
EXISTING CONCRETE	NEW TRANSFORMER
NEW CONCRETE	SURVEY MONUMENTATION AS NOTED
NEW CURB	PARKING SPACE COUNT
NEW PAINT STRIPE	ZONING DIVISION
NEW ASPHALT	SIGHT VISIBILITY TRIANGLE
EXISTING PARKING METER	RIGHT-OF-WAY
EXISTING STORM DRAIN MANHOLE	RADIUS
EXISTING STORM DRAIN PIPE	PAVEMENT (ASPHALT)
EXISTING SEWER	CONCRETE
EXISTING WATER	FINISHED GRADE
EXISTING UNDERGROUND ELECTRIC	FINISHED FLOOR ELEVATION
EXISTING OVERHEAD ELECTRIC	GRADE BREAK
EXISTING COMMUNICATION LINE	EXISTING SIGN
EXISTING GAS LINE	EXISTING STREET LIGHT
EXISTING SEWER MANHOLE	ARCHITECT
EXISTING SEWER CLEANOUT	SEAFER FRANKS ARCHITECTS INC/CAIA
EXISTING WATER METER	2552 NORTH ALVERNON WAY
EXISTING BACKFLOW PREVENTER	TUCSON, ARIZONA 85712
EXISTING WATER VALVE	ATTN: MICHAEL DESMARTEAU
EXISTING TRANSFORMER	PH: (520) 795-4000
EXISTING COMMUNICATION MANHOLE	E: michael@seaverfranks.com
EXISTING LIGHT PULL BOX	LANDSCAPE ARCHITECT
	NORRIS DESIGN
	418 NORTH TOOLE AV.
	TUCSON, ARIZONA 85701
	ATTN: ANA WIEBE
	PH: (520) 622-9565
	E: awebb@norris-design.com

REF: ID-18-08  
DP19-0018

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OF  
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DEVELOPMENT PACKAGE for  
HAMPTON INN / HOME2 SUITES  
cover sheet

CYPRESS CIVIL DEVELOPMENT  
37824 KIMBERLY HALL  
TUCSON, ARIZONA 85719  
PH: 520.499.2456  
E: info@cypresscivil.com

CYPRESS PROJECT NO. 18.088  
2030 east speedway boulevard  
suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

BLOCK 225 "CITY OF TUCSON" IN BOOK 3,  
PAGE 70 OF MAPS & PLATS, BEING A  
PORTION OF THE N.W. 1/4 OF SECTION  
13, T-14-S, R-13-E OF THE G.&S.R.M., CITY  
OF TUCSON, PIMA COUNTY, ARIZONA



### GENERAL PAVING + GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS MUST CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):  
TOTAL CUT 1,255 CY  
TOTAL FILL 24 CY  
COMPOSITE 1,231 CY(C)
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTON, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OBSTACLE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTON AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

### GENERAL PAVING + GRADING NOTES (cont.)

- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6". EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 5' TO THE FINISH TOP OF CURB/CONCRETE (17'C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON SITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYE, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, THE INSPECTOR OR GENERAL ENGINEERING INSPECTORS, CALL THE TUCSON PERMITTING SYSTEM AT 520-499-2456. SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT OR CONTACT PSDS ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.webcityhall.com/faceid/volohall/index.cfm?city=tucson&state=arizona>
- ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

### EARTHWORK/MATERIALS TESTING + CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY TERRACON CONSULTANTS, INC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REVISED REPORT, DATED NOVEMBER 8, 2018, TERRACON PROJECT NO. 63185081.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING ALL AS-TWOENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

### SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS A STRAIGHT LINE BETWEEN TWO FOUND SURVEY MONUMENTS ON SCOTT AVENUE AS SHOWN ON THIS MAP AND THE SURVEY MAP RECORDED IN BOOK 76 AT PAGE 70 OF SURVEYS, RECORDS OF PIMA COUNTY, AZ. THE BEARING OF SAID LINE IS **S 02°45'57" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS BENCHMARK #29, A CHISELED "X" ON THE BASE OF THE 2ND STREET LIGHT SOUTH OF OCHOA STREET, EAST SIDE OF STONE AVENUE ACCORDING TO CITY OF TUCSON FIELD BOOK 1989X, PAGE 3. THE ELEVATION OF SAID BENCHMARK IS **2,388.121**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:  
ALTA ARIZONA LAND SURVEY, INC.  
37024 KENNEDY ROAD, SUITE 125  
TUCSON, ARIZONA 85705  
ATTN: MR. TODD A. HOUT, AZ RLS #35543  
PH: (520) 398-6651
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN, UNLESS NOTED OTHERWISE. SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10 FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

### IID NOTES (CASE \_\_\_\_\_)

- THIS PROJECT IS SUBJECT TO THE CONDITIONS STATED IN IID CASE # \_\_\_\_\_, APPROVED \_\_\_\_\_, LISTED BELOW:
- -

NO.	DATE	REVISION DESCRIPTION	BY

CYPRESS PROJECT NO. 18.088  
2030 east speedway boulevard suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

**CYPRESS CIVIL DEVELOPMENT**  
ESTABLISHED 1988

**OWNER/DEVELOPER**  
FAYTH HOSPITALITY  
5442 BELMONT AVENUE  
DALLAS, TEXAS 75206  
ATTN: MR. GREG FAY  
PH: (561) 307-2015  
E: greg.fay@faythosp.com

**SITE ADDRESS**  
141 SOUTH STONE AVENUE  
TUCSON, ARIZONA 85701

**REF: IID-18-08**  
**DP19-0018**

**2**  
OF  
**13**

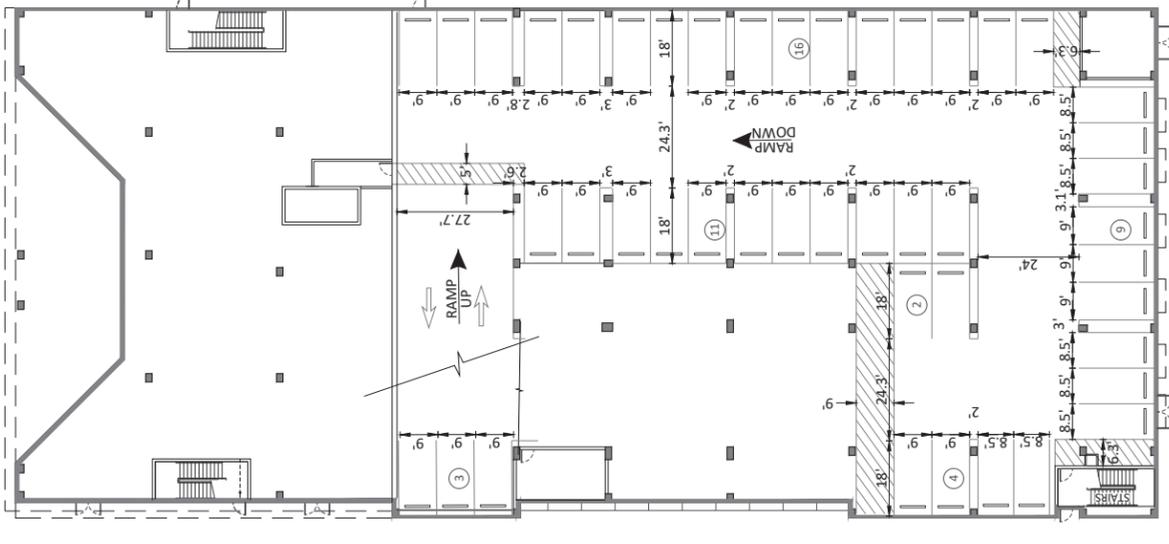
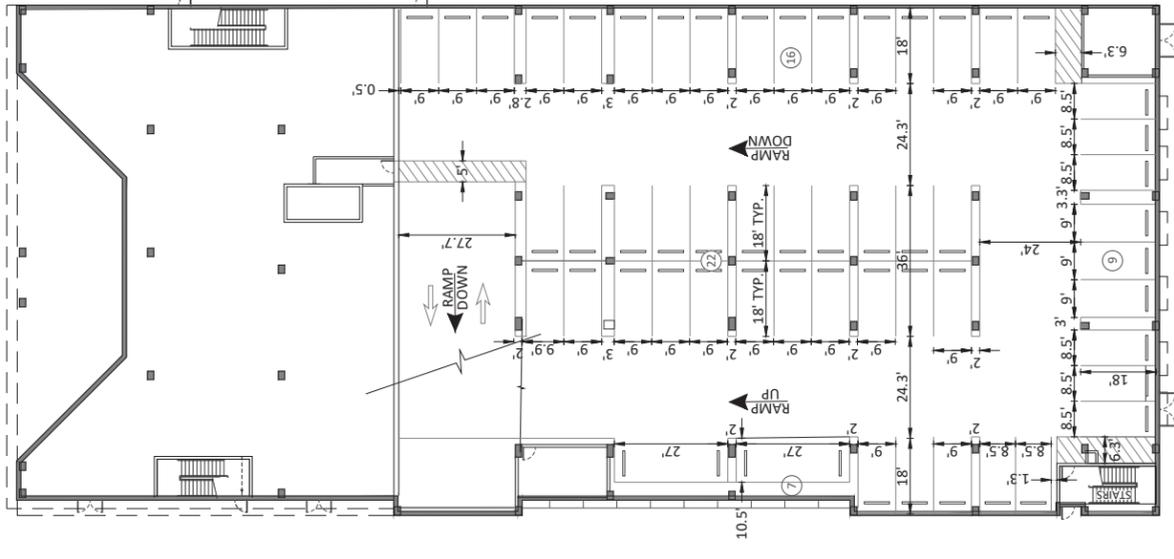
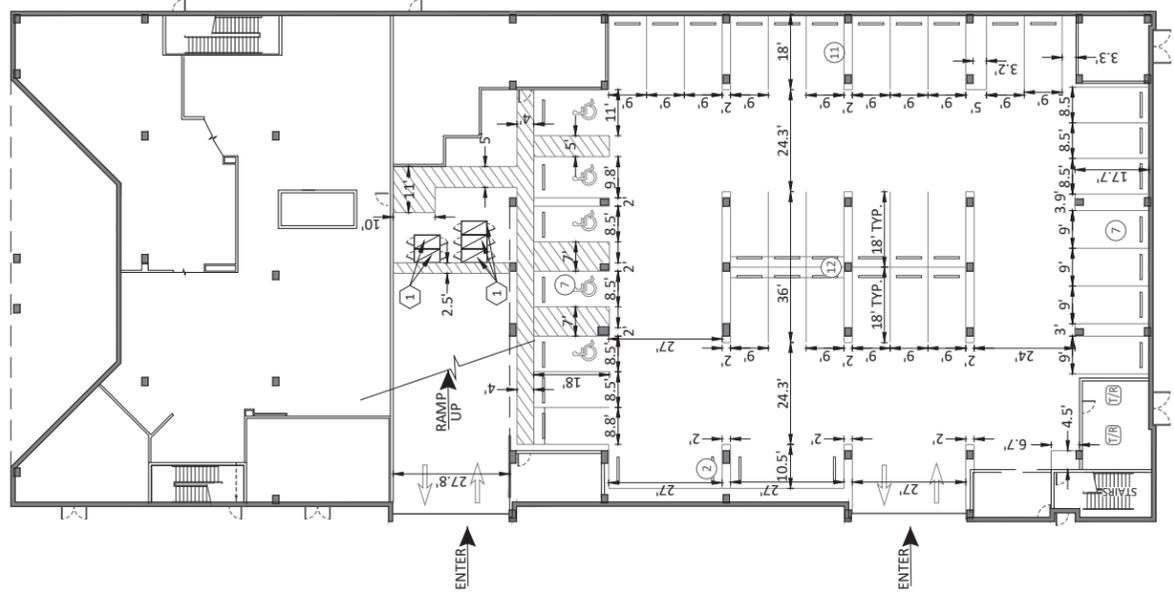
**DEVELOPMENT PACKAGE for**  
**HAMPTON INN / HOME2 SUITES**  
**notes**

BLOCK 225 "CITY OF TUCSON" IN BOOK 3, PAGE 70 OF MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA





KEYNOTES  
 1 NEW LONG TERM BICYCLE PARKING. SEE DETAIL G, SHEET 7.



PARKING PLAN  
LEVEL 1 (39 SPACES) 1"=20'

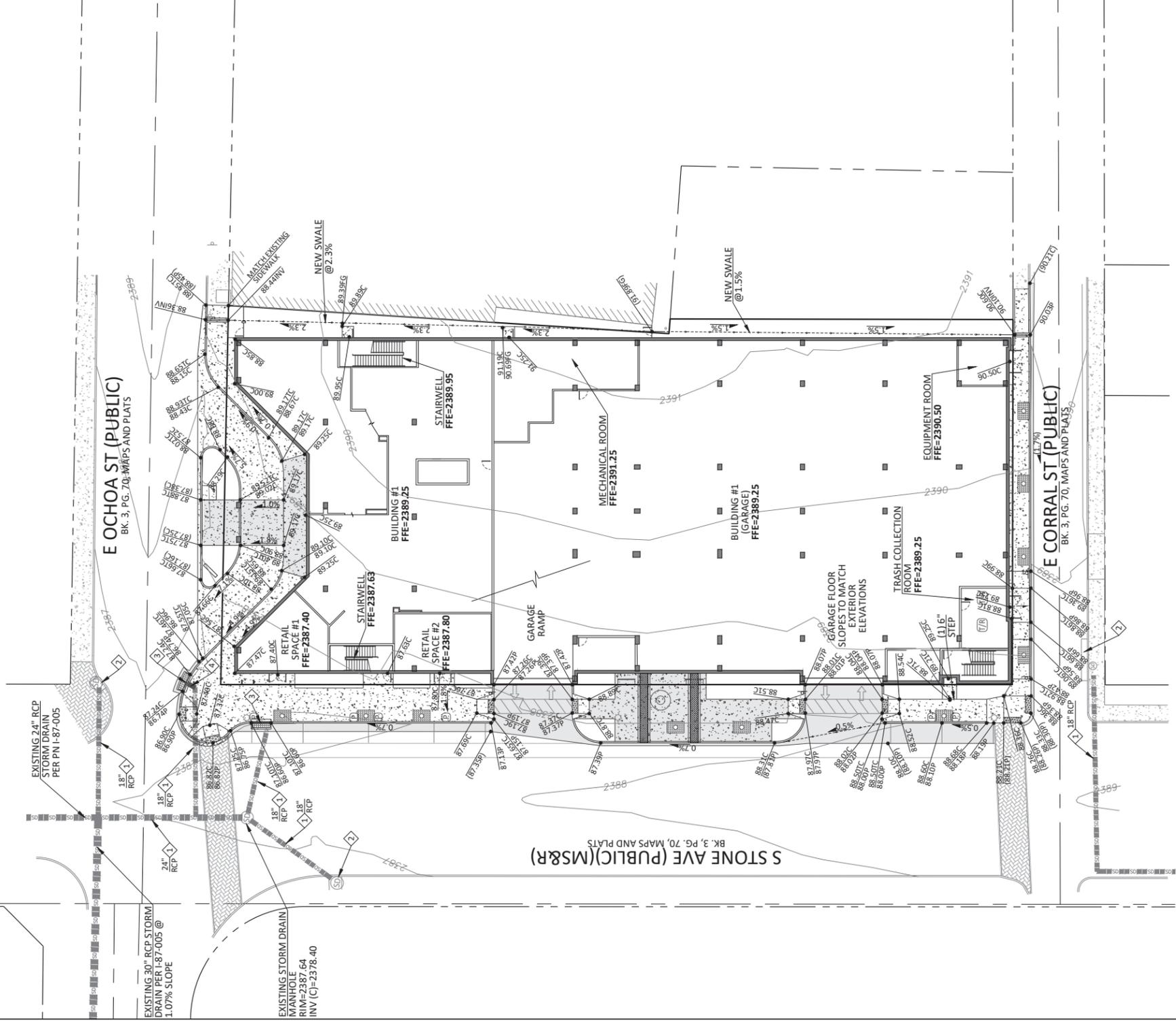
PARKING PLAN  
LEVEL 2 (54 SPACES) 1"=20'

PARKING PLAN  
LEVEL 3 (45 SPACES) 1"=20'

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS, 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
CYPRESS PROJECT NO. 18.088 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com			<b>CYPRESS</b> CIVIL DEVELOPMENT 37824 KEVIN M. HALL CIVIL ENGINEER 37824 KEVIN M. HALL CIVIL ENGINEER 37824 KEVIN M. HALL CIVIL ENGINEER	
SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701			DEVELOPMENT PACKAGE for <b>HAMPTON INN / HOME2 SUITES</b> parking plan	
BLOCK 225 "CITY OF TUCSON" IN BOOK 3, PAGE 70 OF MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				



SCALE: 1"=20'  
C.I. = 1 FOOT



**STORM DRAIN KEYNOTES**

- 1 EXISTING STORM DRAIN TO REMAIN. SEE KEYNOTE FOR SIZE AND MATERIAL.
- 2 EXISTING CATCH BASIN TO REMAIN.
- 3 NEW CATCH BASIN (TYPE 1, DOUBLE) PER PAG DETAIL 307 TO REPLACE EXISTING CATCH BASIN. CONNECT TO EXISTING STORM DRAIN PIPE. SEE OFFSITE IMPROVEMENT PLAN FOR MORE DETAIL.
- 4 NEW 18" RCP STORM DRAIN. CONNECT EXISTING PIPE TO NEW CATCH BASIN, APPROX. 3 LF.

**STORM DRAIN NOTES**

1. SUBSTITUTION OF ANY MATERIALS FOR CONSTRUCTION OF STORM DRAIN WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE ENGINEER OF WORK.
2. STORM DRAINS ARE TO BE CONSTRUCTED IN COMPLIANCE WITH PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, SECTIONS 501 AND 505. THESE MAY BE MODIFIED AND/OR SUPPLEMENTED BY THE REQUIREMENTS OF THESE PLANS.
3. RCP STORM DRAIN SHALL BE AMERON REINFORCED CONCRETE PIPE, CLASS 1500 (MINIMUM) OR EQUIVALENT. PIPE AND BEDDING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PAG DETAIL 108.

**OWNER/DEVELOPER**  
FAYTH HOSPITALITY  
5442 BELMONT AVENUE  
DALLAS, TEXAS, 75206  
ATTN: MR. GREG FAY  
PH: (561) 307-2015  
E: greg.fay@faythosp.com

**CYPRESS CIVIL DEVELOPMENT**  
20300 east speedway boulevard  
suite #110  
tucson, arizona 85719  
ph: 520.499.2456  
e: info@cypresscivil.com

**CYPRESS CIVIL DEVELOPMENT**  
Strength in Sustainability

**REVISION**

NO.	DATE	REVISION DESCRIPTION

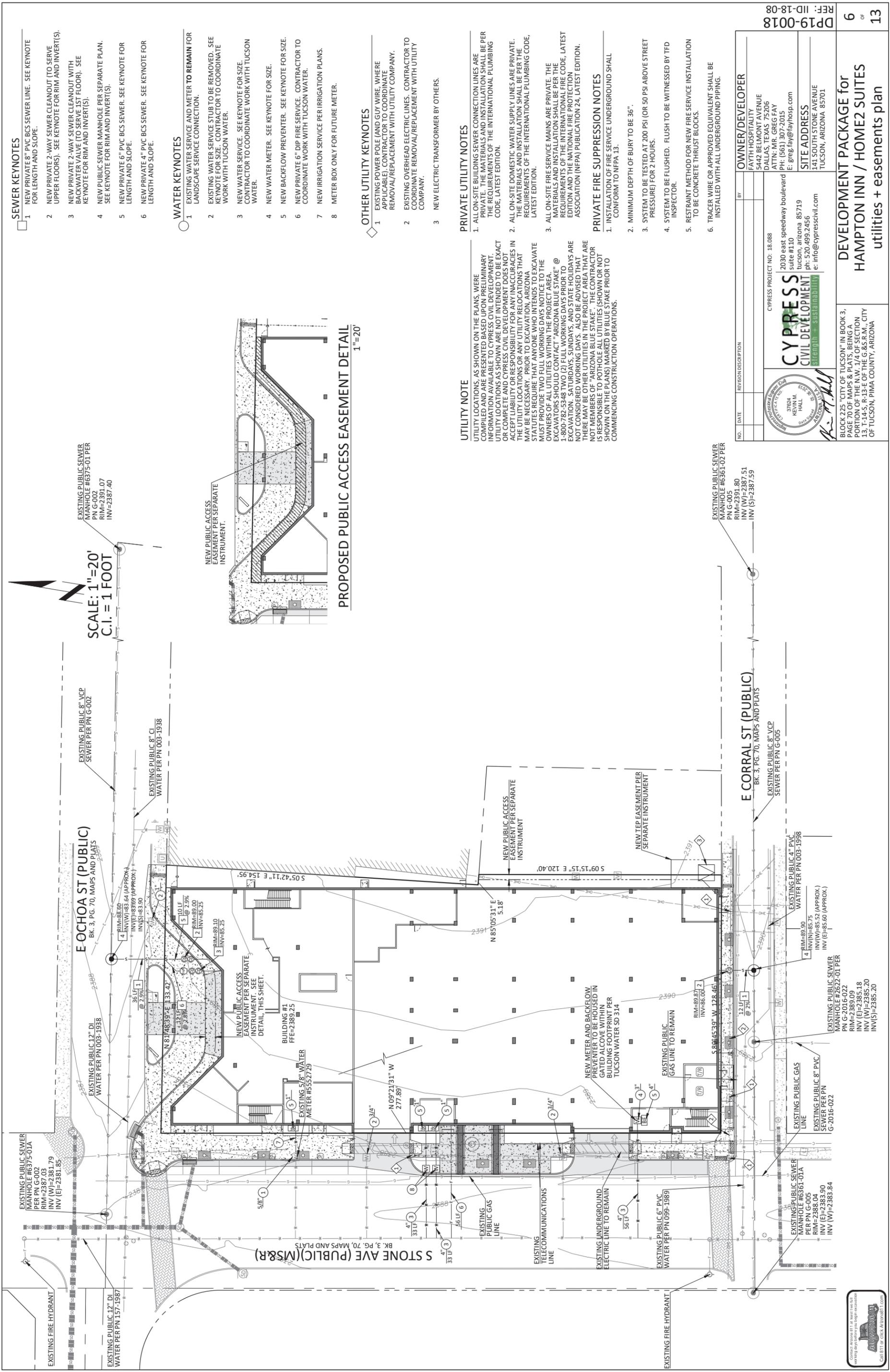
**APPROVED**  
37824  
KEVIN M. HALL  
DATE: 01/09/20  
REGISTERED PROFESSIONAL ENGINEER  
EXPIRES: 01/09/25  
ARIZONA

**DEVELOPMENT PACKAGE for**  
**HAMPTON INN / HOME2 SUITES**  
grading + drainage plan

BLOCK 225 "CITY OF TUCSON" IN BOOK 3,  
PAGE 70 OF MAPS & PLATS, BEING A  
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13, T-14-S, R-13-E OF THE G.&S.R.M., CITY  
OF TUCSON, PIMA COUNTY, ARIZONA



Call 811 or call AzDCA.com



- SEWER KEYNOTES**
- NEW PRIVATE 8" PVC BCS SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - NEW PRIVATE 2-WAY SEWER CLEANOUT (TO SERVE UPPER FLOORS). SEE KEYNOTE FOR RIM AND INVERT(S).
  - NEW PRIVATE 2-WAY SEWER CLEANOUT WITH BACKWATER VALVE (TO SERVE 1ST FLOOR). SEE KEYNOTE FOR RIM AND INVERT(S).
  - NEW PUBLIC SEWER MANHOLE PER SEPARATE PLAN. SEE KEYNOTE FOR RIM AND INVERT(S).
  - NEW PRIVATE 6" PVC BCS SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.
  - NEW PRIVATE 4" PVC BCS SEWER. SEE KEYNOTE FOR LENGTH AND SLOPE.

- WATER KEYNOTES**
- EXISTING WATER SERVICE AND METER TO REMAIN FOR LANDSCAPE SERVICE CONNECTION.
  - EXISTING WATER SERVICE STUB TO BE REMOVED. SEE KEYNOTE FOR SIZE. CONTRACTOR TO COORDINATE WORK WITH TUCSON WATER.
  - NEW WATER SERVICE. SEE KEYNOTE FOR SIZE. CONTRACTOR TO COORDINATE WORK WITH TUCSON WATER.
  - NEW WATER METER. SEE KEYNOTE FOR SIZE.
  - NEW BACKFLOW PREVENTER. SEE KEYNOTE FOR SIZE.
  - NEW PRIVATE 6" DIP FIRE SERVICE. CONTRACTOR TO COORDINATE WORK WITH TUCSON WATER.
  - NEW IRRIGATION SERVICE PER IRRIGATION PLANS.
  - METER BOX ONLY FOR FUTURE METER.

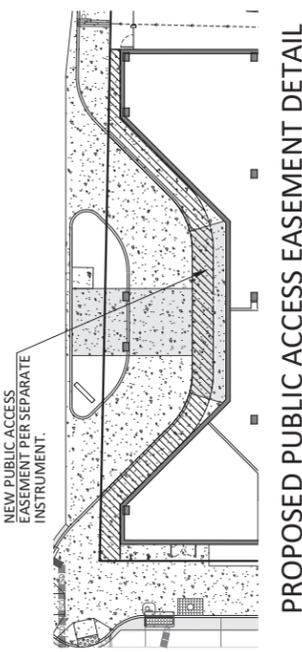
- OTHER UTILITY KEYNOTES**
- EXISTING POWER POLE (AND GUY WIRE, WHERE APPLICABLE), CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH UTILITY COMPANY.
  - EXISTING OVERHEAD ELECTRIC LINES. CONTRACTOR TO COORDINATE REMOVAL/REPLACEMENT WITH UTILITY COMPANY.
  - NEW ELECTRIC TRANSFORMER BY OTHERS.

- PRIVATE UTILITY NOTES**
- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
  - ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
  - ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

- PRIVATE FIRE SUPPRESSION NOTES**
- INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
  - MINIMUM DEPTH OF BURY TO BE 36".
  - SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
  - SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
  - RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
  - TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

**UTILITY NOTE**

UTILITY LOCATIONS AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.



**PROPOSED PUBLIC ACCESS EASEMENT DETAIL**  
1"=20'

REF: ID-18-08  
DP19-0018

**CYPRESS CIVIL DEVELOPMENT**  
37024 KEVIN M HALL  
PH: (520) 499-2456  
E: info@cypresscivil.com

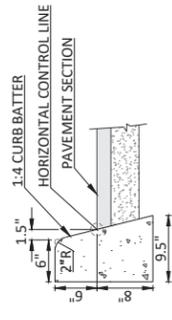
**OWNER/DEVELOPER**  
FAYTH HOSPITALITY  
5442 BELMONT AVENUE  
DALLAS, TEXAS, 75206  
ATTN: MR. GREG FAY  
PH: (561) 307-2015  
E: greg.fay@fayhosp.com

**SITE ADDRESS**  
141 SOUTH STONE AVENUE  
TUCSON, ARIZONA 85701

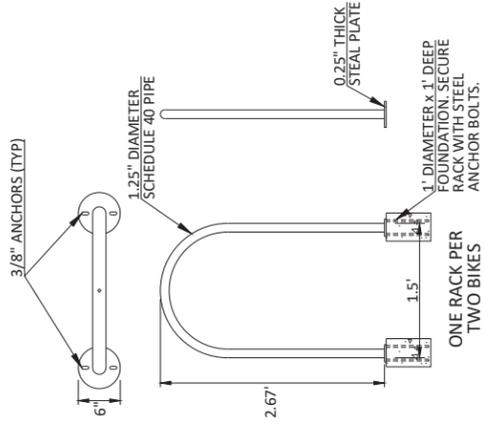
**DEVELOPMENT PACKAGE for**  
**HAMPTON INN / HOME2 SUITES**  
utilities + easements plan

BLOCK 225 "CITY OF TUCSON" IN BOOK 3, PAGE 70 OF MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

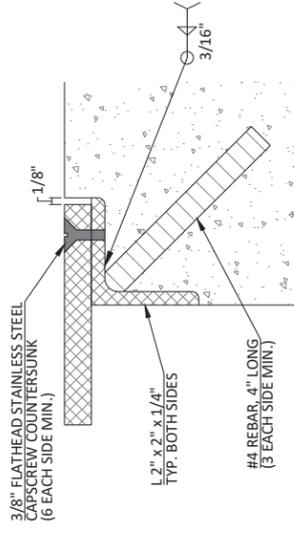




**A** CONCRETE VERTICAL CURB  
TYPE 2, H=6"  
SCALE: 1"=1"  
PAG DETAIL 209



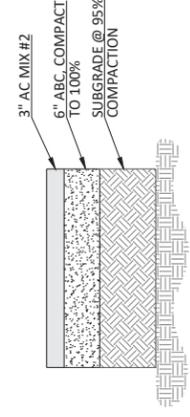
**E** BICYCLE RACK (SHORT TERM)  
SURFACE MOUNT  
N.T.S.



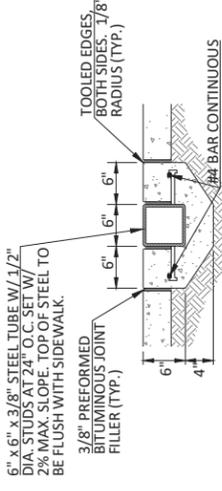
**BRACKET**  
SCALE: N.T.S.

- NOTES:
1. DIMENSION 'B' EQUALS 'A'+1'-0".
  2. STEEL DIAMOND PLATE SHALL BE GIVEN ONE SHOP COAT OF PAINT NO.1 PER STD. SPEC. SECTION 1002. EXPOSED METAL SHALL BE PAINTED WITH TWO COATS OF SSPC PAINT NO. 5 PER STD. SPEC. SECTION 1002.
  3. HEIGHT EQUALS CURB FACE HEIGHT.
  4. FOR CURB AND GUTTER, USE 2" TRANSITIONS TO VERTICAL CURB.
  5. FOR MULTIPLE SCUPPERS PROVIDE 4" BETWEEN ADJACENT PANELS OF STEEL DIAMOND PLATE. INTERMEDIATE POSTS FOR BARRICADE RAILINGS SHALL BE PLACED MIDWAY BETWEEN ADJACENT PANELS.
  6. STEEL DIAMOND PLATE SHALL BE PERFORMED AS ONE PIECE. CONFORMING TO THE REQUIRED SCUPPER DIMENSIONS. PLATES SHALL NOT BE SPLICED.

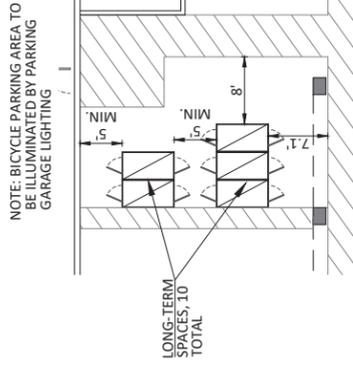
**H** SIDEWALK SCUPPER  
TYPE 2  
AS NOTED  
PAG DETL 205



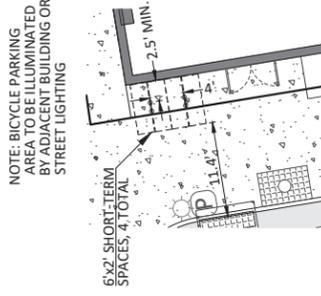
**B** TYPICAL PAVEMENT SECTION  
SCALE: 1"=1"



**C** SIDEWALK SCUPPER  
TYPE 1  
SCALE: 1"=1"  
PAG DTL 204

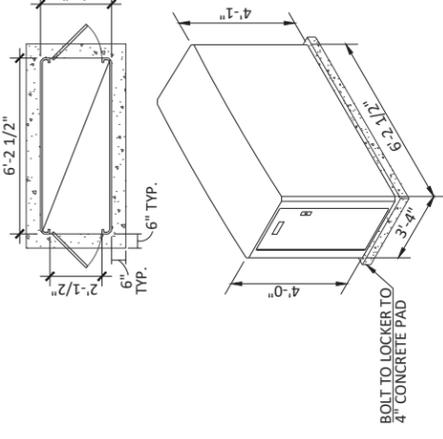


LONG-TERM (IN GARAGE)

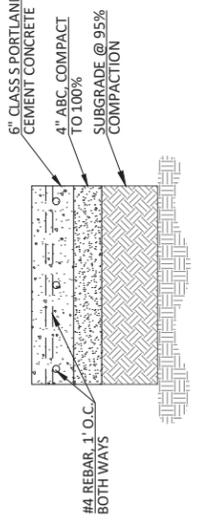


SHORT-TERM (IN R.O.W.)

**F** BIKE RACK/LOCKER SPACING  
SCALE: 1"=10"



**G** BICYCLE LOCKER (LONG TERM)  
DOUBLE  
N.T.S.



**D** CONCRETE PAVEMENT SECTION  
SCALE: 1"=1"

NO.	DATE	REVISION DESCRIPTION	BY

CYPRESS PROJECT NO. 18.088  
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suite #110  
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31611th - 33316 thibault  
ARIZONA

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E: greg.fay@faythosp.com

SITE ADDRESS  
141 SOUTH STONE AVENUE  
TUCSON, ARIZONA 85701

DEVELOPMENT PACKAGE for  
**HAMPTON INN / HOME2 SUITES**  
details

BLOCK 225 "CITY OF TUCSON" IN BOOK 3,  
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