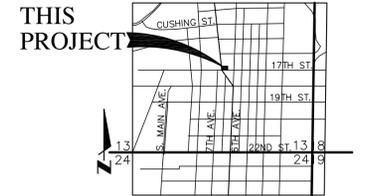


DEVELOPMENT PACKAGE FOR 601 SOUTH STONE AVENUE DP19-0



LOCATION MAP
SCALE: 1"=3 MILES
SECTION 13, T-14-S, R-13-E
G & SRM, CITY OF TUCSON
PIMA COUNTY, ARIZONA
LATITUDE 32°12'49"
LONGITUDE 110°57'56"
PIMA COUNTY DATUM

PERMITTING NOTES

1. EXISTING ZONING IS C-3.
2. GROSS AREA IS 9,674 SQUARE FEET (0.22 ACRES).
3. EXISTING USE OF THE PROPERTY IS VACANT LAND. PROPOSED USE OF THE PROPERTY IS COMMERCIAL MIXED USE AND RESIDENTIAL SINGLE FAMILY.
4. THERE WILL BE 5 INDIVIDUAL PROPERTIES. TWO WILL BE MIXED USE WITH COMMERCIAL AND RESIDENTIAL AND THREE WILL BE RESIDENTIAL UNITS ONLY.
5. THIS PROJECT IS SUBJECT TO THE GREATER INFILL INCENTIVE SUB-DISTRICT (GIIS).
6. THE FLOOR AREA OF BUILDING #1 IS 1808 SQUARE FEET. THE FLOOR AREA OF BUILDING #2 IS 1697 SQUARE FEET. THE FLOOR AREA OF BUILDING #3 IS 2003 SQUARE FEET. THE FLOOR AREA OF BUILDING #4 IS 1507 SQUARE FEET. THE FLOOR AREA OF BUILDING #5 IS 2491 SQUARE FEET.
7. AREA OF BUILDING AND ACCESSORY BUILDING COVERAGE IS AS FOLLOWS:
LOT 1: COVERAGE IS 1714.5 SF (85%).
LOT 2: COVERAGE IS 1540.3 SF (76%).
LOT 3: COVERAGE IS 1343.0 SF (63%).
LOT 4: COVERAGE IS 1332.0 SF (70%).
LOT 5: COVERAGE IS 1278.1 SF (80%).
8. TOTAL EXISTING BUILDING COVERAGE IS 0 SQUARE FEET. TOTAL PROPOSED BUILDING AREA IS 5165.4 SQUARE FEET OR 53.4 PERCENT.
9. TOTAL AREA OF EXISTING VEHICULAR USAGE AREA IS 1216 SQUARE FEET (STREET PARKING). TOTAL AREA OF PROPOSED VEHICULAR USAGE AREA IS 1920 SQUARE FEET. CHANGE IN VEHICULAR USAGE AREA IS AN INCREASE OF 61 PERCENT.

GREATER INFILL INCENTIVE SUB DISTRICT (GIIS) GENERAL NOTES, CASE #T19xxx, IID 19-xx-xx

PURSUANT TO UDC SECTION 5.12.9, THE APPLICANT REQUESTS THE FOLLOWING:

1. **PARKING SPACE REDUCTION (UDC 5.12.9.C.2.a):** THIS PROJECT IS SEEKING A TWENTY-FIVE PERCENT REDUCTION OF THE REQUIRED PARKING SPACES IN ACCORDANCE WITH SECTION 5.12.9.C.2.a. THE PROPOSED DEVELOPMENT WILL PROVIDE RESIDENTIAL HOUSING THAT WILL BE WITHIN WALKING DISTANCE TO DOWNTOWN TUCSON. IT IS ANTICIPATED THAT A PORTION OF THE RESIDENTS MAY NOT OWN VEHICLES.
2. **PERIMETER YARD REDUCTION (UDC 5.12.9.C.1.b):** THIS PROJECT IS SEEKING A REDUCTION IN THE REQUIRED PERIMETER YARDS ALONG STONE AVENUE AND 17TH STREET AVENUE TO ACCOMMODATE THE DEVELOPMENT LAYOUT IN ACCORDANCE WITH SECTION 5.12.9.C.1.b. ALONG STONE AVENUE IT IS REQUESTED THAT THE PERIMETER YARD BE ELIMINATED FOR THE PROPOSED BUILDING. THIS WILL MATCH THE CURRENT BUILDING CONDITION OF OTHER STRUCTURES IMMEDIATELY NORTH OF THE PROJECT. ALONG 17TH STREET, IT IS REQUESTED THAT THE PERIMETER YARD BE ELIMINATED AS WELL.
3. **LANDSCAPING AND SCREENING REQUIREMENTS (UDC 5.12.9.C.5):** THIS PROJECT IS SEEKING THE FOLLOWING REDUCTION IN SCREENING AND LANDSCAPING IN ACCORDANCE WITH UDC SECTION 5.12.9.C.5 FOR THE FOLLOWING AREAS:

STONE AVENUE: BUILDING#1: NO SCREENING, NO LANDSCAPING, WHICH IS CONSISTENT WITH THE EXISTING ADJACENT STRUCTURES ALONG STONE AVENUE.
17TH STREET: BUILDINGS #2 THROUGH #5: NO SCREENING, NO LANDSCAPING, WHICH IS CONSISTENT WITH THE IMPROVEMENTS TAKING PLACE IN THE DOWN TOWN AREA.

GENERAL NOTES

1. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
2. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTRIBUTED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
3. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
4. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
5. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
6. MAINTENANCE AND OPERATION OF THE PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
7. A SINGLE PROPERTY OWNER, PROPERTY MANAGEMENT COMPANY, OR HOME OWNERS ASSOCIATION (HOA), WILL BE RESPONSIBLE FOR THE MANAGEMENT AND MAINTENANCE OF THE SOLID WASTE COLLECTION SERVICES AND STORAGE AREA(S) FOR ALL DEVELOPMENT/RESIDENTIAL OCCUPANTS.
8. THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R).

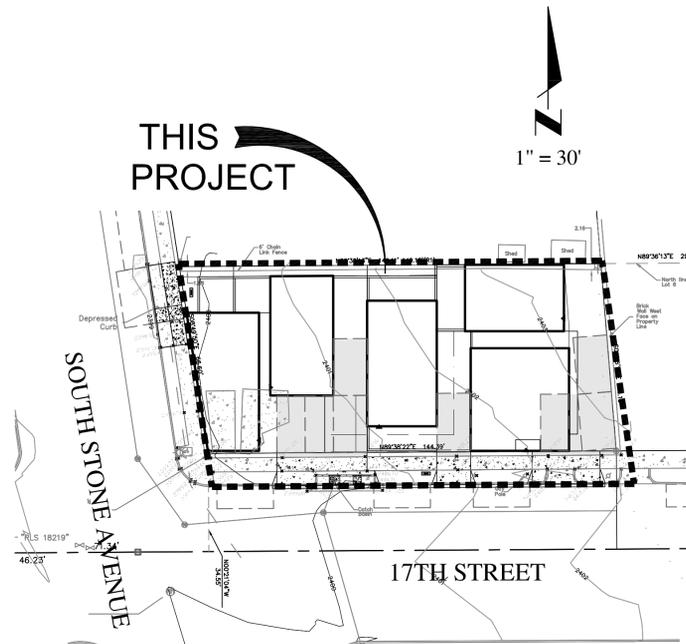
SOLID WASTE/RECYCLING NOTES

WASTE STREAM CALCULATIONS:

1. USE: RESIDENTIAL, 5 UNITS
(0.0057 TONS/SF, TOTAL SF = 8495 SF)
0.0057x8495 SF = 48.42 TONS/YEAR
USE: BUSINESS, TOTAL SF = 2081 SF
0.0013x2081 = 2.71 TONS/YEAR
TOTAL: 48.42 + 2.71 = 51.13 TONS/YEAR
2. SIZE AND COLLECTION FREQUENCY
51.1 TONS/YEAR / 52 WEEKS/YR = 0.983 TONS/WK
0.983 TONS/WK X 2000 LBS/TON = 1966.4 LBS WEEK
1966 LBS/WK / 3 LBS/GAL = 655.5 GALS/WK
655.5 GAL/WK / 201.97 GAL/CY = 3.24 CUBIC YARDS
3. RECYCLE = 50% OF TOTAL WASTE
0.50 X 3.24 CYs = 1.62 CYs WASTE
0.50 X 3.24 CYs = 1.62 CYs RECYCLE

COLLECTION: UTILIZE SINGLE 1 CUBIC YARD ROLLING CONTAINERS FOR EACH BUILDING, ONE 1-YARD WASTE AND ONE 1-YARD RECYCLE, SHALL BE COLLECTED 1 TO 2 TIMES PER WEEK. COLLECTION TO BE ON STONE AVENUE.

PROJECT OVERVIEW



BASIS OF ELEVATION

BASIS OF ELEVATION: 2411.74(NAVD88) C.O.T. BM 48, FIELD BOOK 1989X, PG4 "X" ON TOP OF CURB AT NW CORNER OF 4TH AVENUE AND 17TH STREET.

BASIS OF BEARING

BASIS OF BEARING: SOUTH 89°55'00" EAST UPON THE NORTH LINE OF SECTION 25, TOWNSHIP 14 SOUTH, RANGE 14 EAST, ACCORDING TO THE SUBJECT TITLE REPORT.

OWNER/DEVELOPER
INNOVATIVE LIVING, LLC
475 SOUTH STONE AVENUE
TUCSON AZ, 85701
CONTACT: PAOLO DE LORENZO
PHONE: (520)-230-5340
EMAIL: InnovativeLiving_llc@yahoo.com

ARCHITECT
STUDIO CABAN
475 SOUTH STONE AVENUE
TUCSON AZ, 85701
CONTACT: PAUL REIMER
SEAL # 49327
PHONE: (520)-230-5340
EMAIL: Paul@StudioCaban.com

ENGINEER
CASCADE ENGINEERING & DRAINAGE, INC.
PO BOX 68197
ORO VALLEY, AZ 85737
CONTACT: ROSS LAMBERSON, P.E.
SEAL # 26857
PHONE: (520)-425-1937
EMAIL: cascadeeng@comcast.net

LANDSCAPE ARCHITECT
GRS LANDSCAPE ARCHITECTURES, LLC
35974 SOUTH DESERT SUN DRIVE
TUCSON AZ, 85739
CONTACT: GREG SHINN
SEAL # 22405
PHONE: (520)-909-4678
EMAIL: gregs@grslandscapewarchiects.com

SURVEYOR
ARROW LAND SURVEY, INC.
3121 EAST KLEINDALE ROAD
TUCSON AZ, 85716
CONTACT: GREG BAUER
SEAL # 35111
PHONE: (520)-881-2155
EMAIL: GBauer@arrowlandsurvey.com

PIMA COUNTY ADDRESSING



LEGEND

- PROJECT LOCATION BOUNDARY
- PROPERTY LINE
- EDGE OF PROPOSED BUILDING
- EXISTING SPOT ELEVATION
- EXISTING SEWER LINE W/MH
- EXISTING WATER LINE W/VALVE
- PROPOSED VERTICAL CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED GRADE
- NUMBER PARKING SPACES PROVIDED

SHEET INDEX:

- SHEET 1.....COVER SHEET
- SHEET 2.....SITE PLAN
- SHEET 3.....GRADING AND DRAINAGE PLAN
- SHEET 4.....UTILITIES PLAN
- SHEET 5.....DETAILS AND SECTIONS
- SHEET 6.....LANDSCAPE PLAN
- SHEET 7.....IRRIGATION PLAN
- SHEET 8.....CONSTRUCTION DETAILS

DP19-0

CASCADE ENGINEERING & DRAINAGE, INC. <small>P.O. BOX 68197 ORO VALLEY, AZ 85737 (520) 425-1937 cascadeeng@comcast.net</small>		<small>Expires: 03/31/2020</small>
SITE ADDRESS: 601 S. Stone Avenue Tucson, AZ 85701		COVER SHEET
DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE		
Scale: 1" = 30' Contour Interval: 1 Date: 8.5.19	Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA	SHEET NO. 1 of 7





BUILDING #1:

COMMERCIAL/RESIDENTIAL MIX USE
 3 STORY BUILDING
 GROUND FLOOR COMMERCIAL 1070 S.F.
 2ND/3RD STORY'S RESIDENTIAL 1808 S.S.
 HEIGHT = 37'-6"

BUILDING #2:

RESIDENTIAL
 2 STORY BUILDING
 1697 SQUARE FEET
 HEIGHT = 25'-0"

BUILDING #3:

COMMERCIAL/RESIDENTIAL MIX USE
 2 STORY BUILDING
 GROUND FLOOR COMMERCIAL 1011 S.F.
 2ND STORY RESIDENTIAL 992 S.F.
 HEIGHT = 25'-0"

BUILDING #4:

RESIDENTIAL
 2 STORY BUILDING
 1507 SQUARE FEET
 HEIGHT = 25'-0"

BUILDING #5:

RESIDENTIAL
 3 STORY BUILDING
 2491 SQUARE FEET
 HEIGHT = 34'-0"

PARKING REQUIREMENTS:

RESIDENTIAL

	REQUIRED SPACES	ONSITE SPACES	OFFSITE SPACES
BLDG.#1	2.25	1	1.25
BLDG.#2	2.25	2	0.25
BLDG.#3	2.25	1	1.25
BLDG.#4	2.25	2	0.25
BLDG.#5	2.25	1	1.25
TOTAL	11.25 (11)	7	4.25(4)

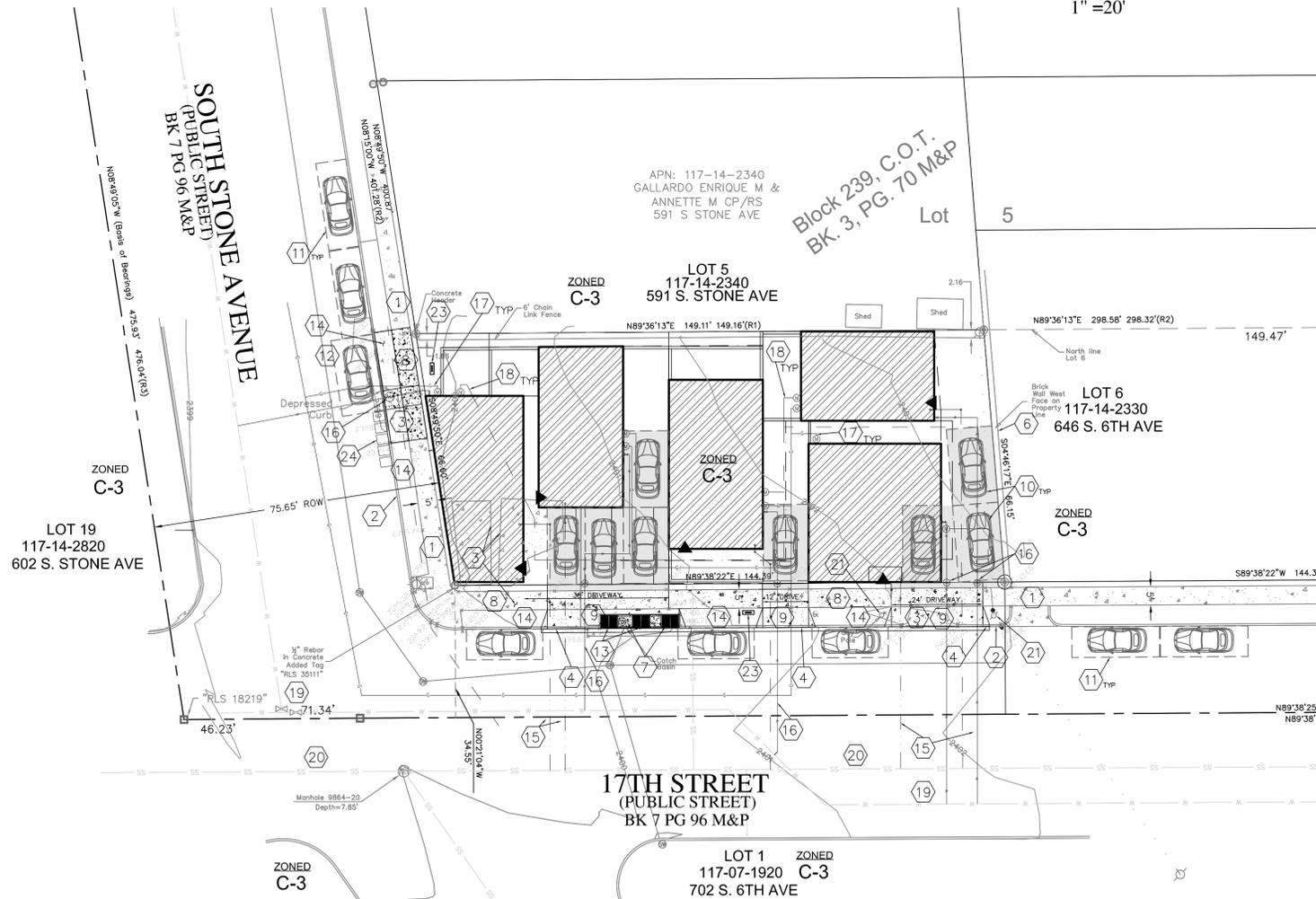
NOTE: VAN ACCESSIBLE PARKING FOR THE COMMERCIAL SPACES IS LOCATED ON STREET AT NORTHWEST CORNER OF THE SITE.

BICYCLE PARKING REQUIREMENTS:

REQUIRED: SHORT TERM - 2 SPACES
 LONG TERM - 2 SPACES

PROVIDED SHORT TERM - 2 SPACES

NOTE: LONG TERM BICYCLE PARKING SHALL BE PROVIDED WITHIN EACH BUILDING.



KEY NOTES

- ① EXISTING SIDEWALK TO REMAIN
- ② EXISTING VERTICAL CURB TO REMAIN
- ③ EXISTING SIDEWALK/CONCRETE DRIVE/SLAB TO BE REMOVED
- ④ EXISTING CURB TO BE REMOVED
- ⑤ NOT USED
- ⑥ EXISTING BLOCK WALL TO REMAIN
- ⑦ EXISTING CATCH BASIN TO BE COVERED/MODIFIED
- ⑧ NEW SIDE WALK PER PAG STD. DET. 200
- ⑨ NEW CONCRETE DRIVE PER PAG STD. DET. 206
- ⑩ STANDARD PARKING SPACE – ONSITE
- ⑪ STANDARD PARKING SPACE – OFFSITE
- ⑫ ACCESSIBLE PARKING SPACE, DET. 1, SHEET 2
- ⑬ NEW GRATE INLET AT CATCH BASIN
- ⑭ NEW LANDSCAPE AREA/TREES
- ⑮ NEW SEWER HCS CONNECTION
- ⑯ NEW WATER SERVICE WITH METER
- ⑰ NEW GAS SERVICE WITH METER
- ⑱ NEW ELECTRIC SERVICE WITH METER
- ⑲ EXISTING WATER MAIN (LOCATION APPROXIMATE)
- ⑳ EXISTING SEWER MAIN
- ㉑ EXISTING POWER/GUIDELINE POLE
- ㉒ FUTURE GAS MAIN (LOCATION APPROXIMATE)
- ㉓ NEW SHORT TERM BICYCLE PARKING RACKS
- ㉔ GARBAGE COLLECTION

LEGEND

- NEW BUILDING
- NEW CONCRETE SIDEWALK OR DRIVEWAY
- DECOMPOSED GRANITE PARKING AREA
- PRIMARY BUILDING ENTRANCE

DP19-_____

No.	Date	Revision	Description
CASCADE ENGINEERING & DRAINAGE, INC. P.O. BOX 68197 ORO VALLEY, AZ 85737 (520) 425-1937 cascadedeng@comcast.net Expires: 03/31/2020			

SITE ADDRESS:
 601 S. Stone Avenue
 Tucson, AZ 85701

SITE PLAN

DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE

Scale: 1" = 20'
 Contour Interval: 1'
 Date: 8.5.19

Located in Section 13, Township 14 South,
 Range 13 East, Gila and Salt River Meridian,
 PIMA COUNTY, ARIZONA

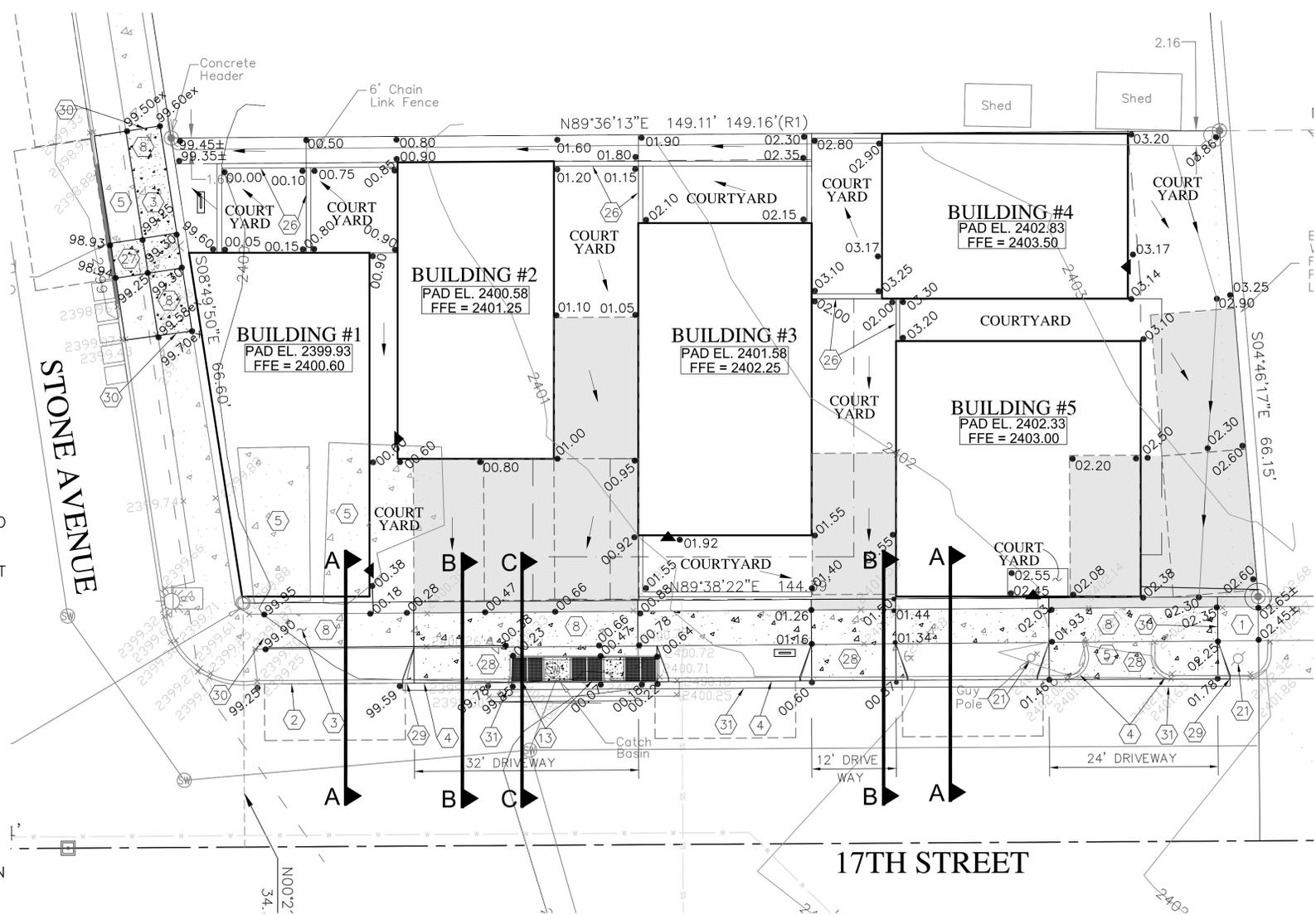
SHEET NO.
 2 of 7



GENERAL GRADING & PAVING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- THE CONTRACTOR SHALL KEEP A STAMPED SET OF THE APPROVED PLANS ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-2/8-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER, ARCHITECT, AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL CONTACT BLUESTAKE TWO DAYS PRIOR TO EXCAVATION OF ANY EXISTING UTILITIES OR UTILITY CONNECTION INSTALLATION.
- THE CONTRACTOR SHALL EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO PREVENT DAMAGE TO EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE INFORMATION BUT SHOULD BE CONSIDERED APPROXIMATE AND NOT COMPLETE.
- AS NECESSARY, THE CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE(S).
- PROJECT EARTHWORK (UNADJUSTED & APPROXIMATE):

TOTAL CUT	TOTAL FILL	COMPOSITE
28 CY	26 CY	2 CY C-
- CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID BASED UPON THEREON. EARTHWORK QUANTITIES SHOWN ON THIS PLAN ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE UTILIZED FOR BIDDING OR PAYMENT PURPOSES.
- ALL LANDSCAPE AREAS SHALL BE DEPRESSED A MAXIMUM OF 9-INCHES, EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORMWATER HARVESTING. ALL LANDSCAPE AREAS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT.
- ALL GRADES SHOWN ARE FOR FINISHED GRADES. FOR GRADES SHOWN AT BASE OF CURB, ADD 0.50 FEET FOR TOP OF CURB GRADE.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE INDICATED.
- ALL ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX, NO. 2.



KEY NOTES

- EXISTING SIDEWALK TO REMAIN
- EXISTING VERTICAL CURB TO REMAIN
- EXISTING SIDEWALK TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- NEW 5 FEET WIDE SIDE WALK PER PAG STD. DET. 200
- NEW 6-INCH VERTICAL CURB TYPE 2 PER PAG STD. DET. 209
- ACCESSIBLE PARKING SPACE, SEE DETAIL 3 SHEET 5
- NEW GRATE INLET/MODIFIED CATCH BASIN, SEE DETAIL 1 SHEET 5
- NEW LANDSCAPE AREA/TREES, SEE HARDSCAPE PLAN SHEET 6
- EXISTING POWER/GUIDELINE POLE
- INSTALL SHORT TERM BICYCLE PARKING RACK PER DETAIL 4 ON SHEET 5
- NEW INTERIOR SCREEN/DECORATIVE WALL, SEE BUILDING PLANS, REMOVE MIN. 2 BLOCKS TO CREATE WEEP HOLES AT BASE FOR RAIN WATER FLOW
- NEW CONCRETE AT PARKING SPACE TO SIDEWALK CONNECTION
- NEW DRIVEWAY PER PAG STD. DET. 206
- NEW CURB TO EXISTING CURB PER PAG STD. DET. 211
- CONNECT NEW SIDEWALK TO EXISTING SIDEWALK PER PAG STD. DET. 203
- SAWCUT, TRIM, TACK AND JOINT NEW PAVEMENT TO EXISTING

LEGEND

- NEW CONCRETE SIDEWALK OR DRIVEWAY
- DECOMPOSED GRANITE PARKING AREA
- PROPOSED GRADE
- FLOW DIRECTION
- PRIMARY BUILDING ENTRANCE

NOTE: SEE UTILITY PLAN, SHEET 4, FOR LOCATION OF UTILITY CONNECTIONS WITHIN STONE AVENUE AND 17TH STREET. ALL UTILITY TRENCHES SHALL BE PATCHED IN ACCORDANCE WITH PAG STANDARD DETAIL 216.

NOTE: COURTYARD DETAILS SHALL BE PROVIDED WITH BUILDING PLANS. FINAL GRADING OF COURTYARDS WILL BE COMPLETED WITH BUILDING CONSTRUCTION.

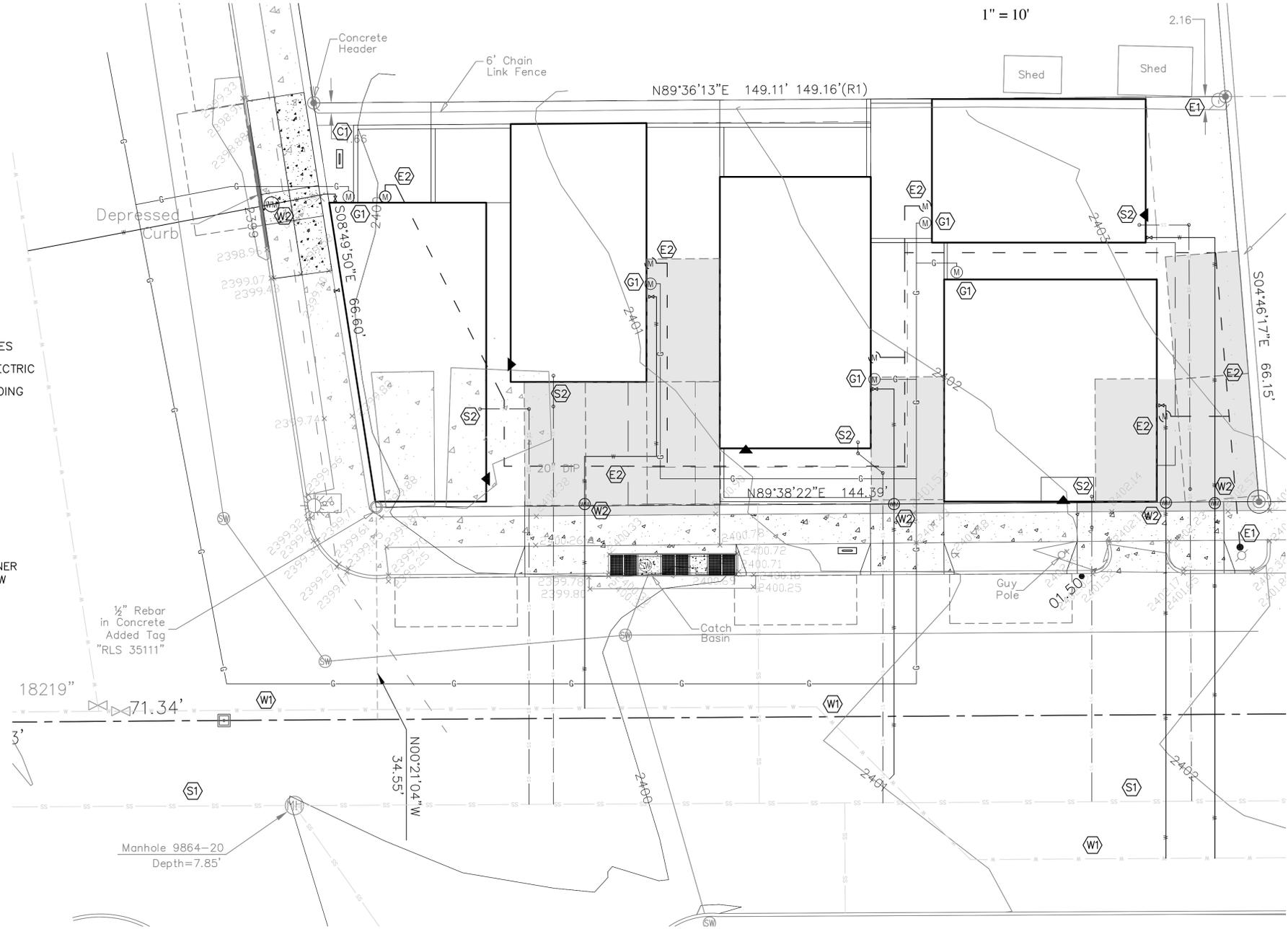
NOTES CONTINUED

- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARDS SPECIFICATION 303.
- THE CONTRACTOR WILL NOT MAKE AUTONOMOUS DECISIONS TO CHANGE OR ALTER THE INTENDED DESIGN FOR THIS PROJECT WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SECTION 2-01.



DP19-___

No. Date Revision Description		
<p>CASCADE ENGINEERING & DRAINAGE, INC.</p> <p>P.O. BOX 68197 ORO VALLEY, AZ 85737</p> <p>(520) 425-1937 cascadeeng@comcast.net</p>		
<p>SITE ADDRESS: 601 S. Stone Avenue Tucson, AZ 85701</p>		<p>GRADING and DRAINAGE PLAN</p>
<p>DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE</p>		
Scale: 1" = 10'	Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA	SHEET NO. 3 of 8



ELECTRIC KEY NOTES

- (E1) EXISTING ELECTRIC POWER POLE WITH OVERHEAD WIRES
 - (E2) NEW UNDERGROUND ELECTRIC SERVICE LINE, NEW ELECTRIC METER TO BE LOCATED ON THE FACE OF EACH BUILDING
- NOTE: CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND TUCSON ELECTRIC POWER FOR THE INSTALLATION OF ELECTRIC SERVICE TO THE BUILDINGS.

COMMUNICATIONS KEY NOTES

- (C1) NEW COMMUNICATIONS DEMARK BOX
- NOTE: CONTRACTOR SHALL COORDINATE WITH PROJECT OWNER OR OWNER'S REPRESENTATIVE FOR THE INSTALLATION OF NEW CABLE/HIGH SPEED INTERNET SERVICES TO ALL BUILDINGS.

GAS KEY NOTES

- (G1) NEW GAS SERVICE CONNECTION TO EACH BUILDING
- NOTE: GAS LINES SHOWN IN STONE AVENUE AND 17TH STREET ARE CONCEPTUAL. CONTRACTOR SHALL COORDINATE WITH SOUTHWEST GAS FOR THE INSTALLATION OF NEW GAS LINES TO SERVE EACH BUILDING.

SEWER KEY NOTES

- (S1) EXISTING 8-INCH SEWER MAIN
- (S2) NEW HCS TO CONNECT TO EXISTING SEWER MAIN

NOTE: 1. INSTALLATION OF THE SEWER HCS'S SHALL BE COORDINATED WITH THE ENGINEER AND PIMA COUNTY WASTEWATER.
 2. CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND CONDITION OF THE EXISTING SEWER MAIN PRIOR TO HCS CONNECTION. ALL INFORMATION SHALL BE PROVIDED TO THE ENGINEER AND PIMA COUNTY WASTEWATER PRIOR TO CONSTRUCTION.

WATER KEY NOTES

- (W1) EXISTING WATER MAIN (LOCATION APPROXIMATE)
- (W2) PROPOSED 5/8" WATER METER WITH 3/4" SERVICE

NOTE: 1. THIS PROJECT SHALL BE PROCESSED THROUGH TUCSON WATER WITH THEIR CONSTRUCTION PROCEDURE.
 2. CONTRACTOR SHALL REMOVE ABANDONED WATER METERS/SERVICES.
 3. FINAL WATER METER AND PIPE SIZE AND SELECTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION AND MAY BE DIFFERENT THAN SHOWN.
 4. AS NECESSARY, A 4-INCH FIRE SERVICE MAY BE INSTALLED FOR SPRINKLER SERVICE TO THE BUILDINGS. THE FIRE SERVICE WILL BE INSTALLED IN ACCORDANCE WITH TUCSON WATER AND TUCSON FIRE STANDARDS.

PRIVATE UTILITY NOTES

1. ALL ONSITE BUILDING SEWER CONNECTION LINES WILL BE PRIVATE. ALL MATERIALS AND CONSTRUCTION PROCEDURES WILL BE IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE.
2. ALL ONSITE WATER SUPPLY LINES WILL BE PRIVATE. ALL MATERIALS AND CONSTRUCTION PROCEDURES WILL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

NOTE: ALL UTILITY TRENCHES SHALL BE PATCHED IN ACCORDANCE PAG STANDARD DETAIL 216.

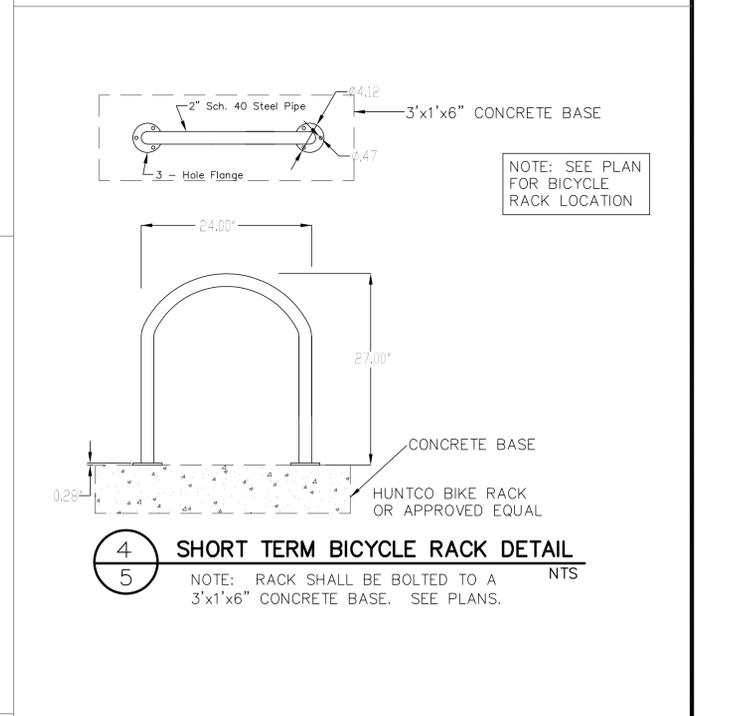
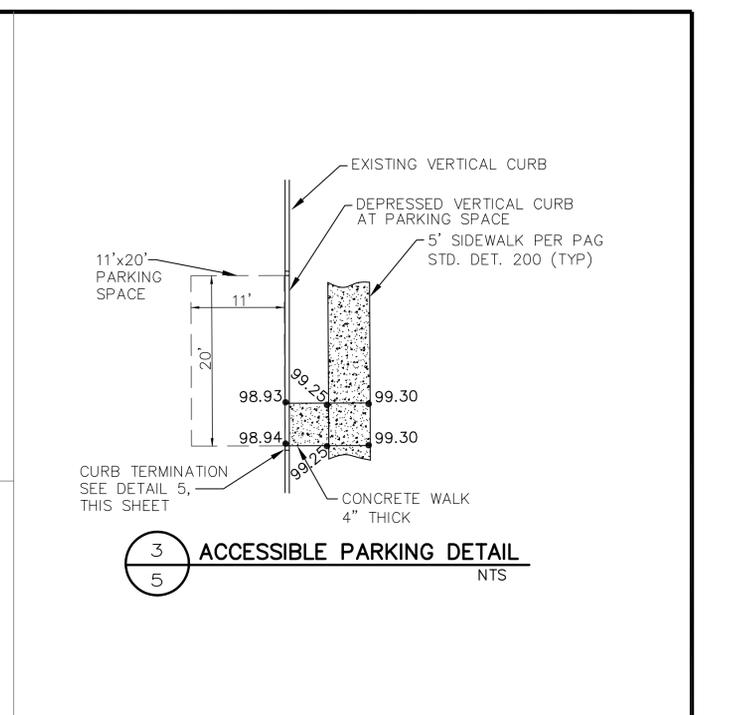
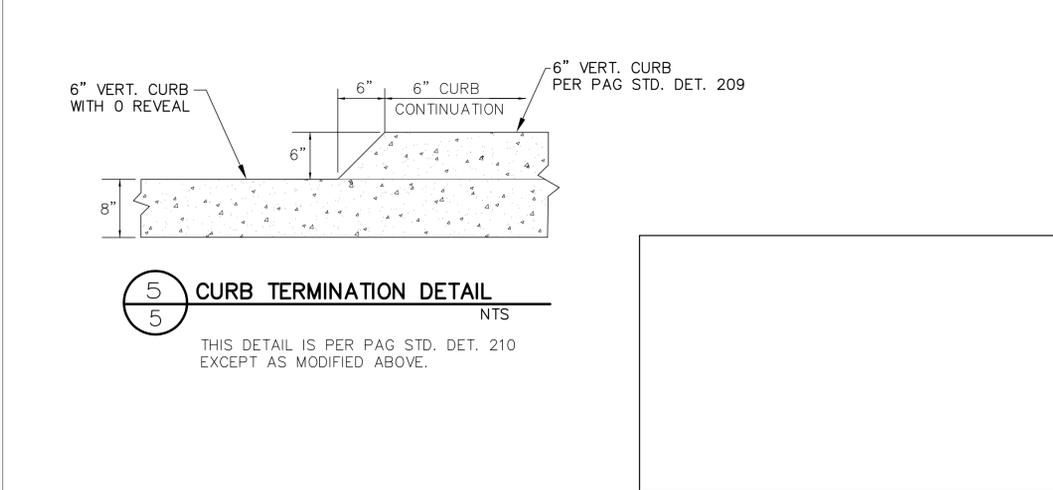
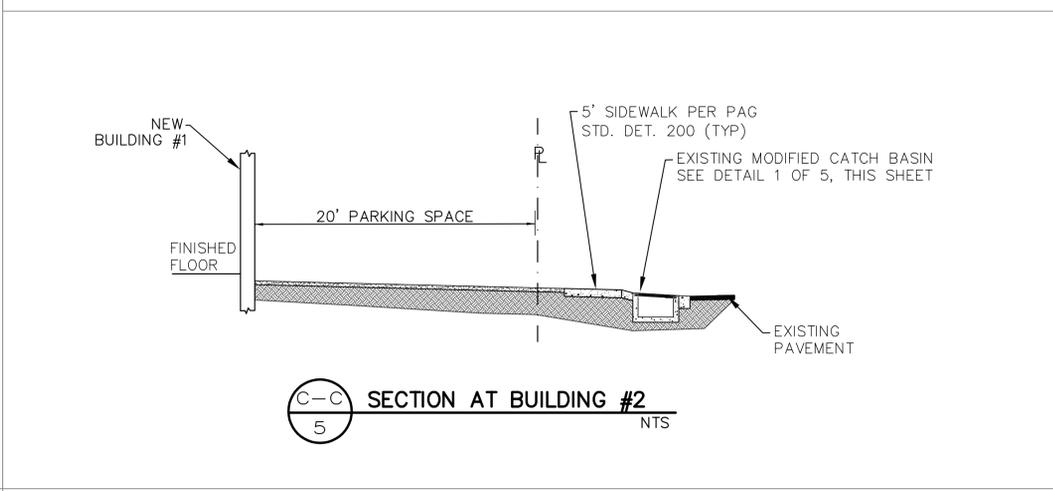
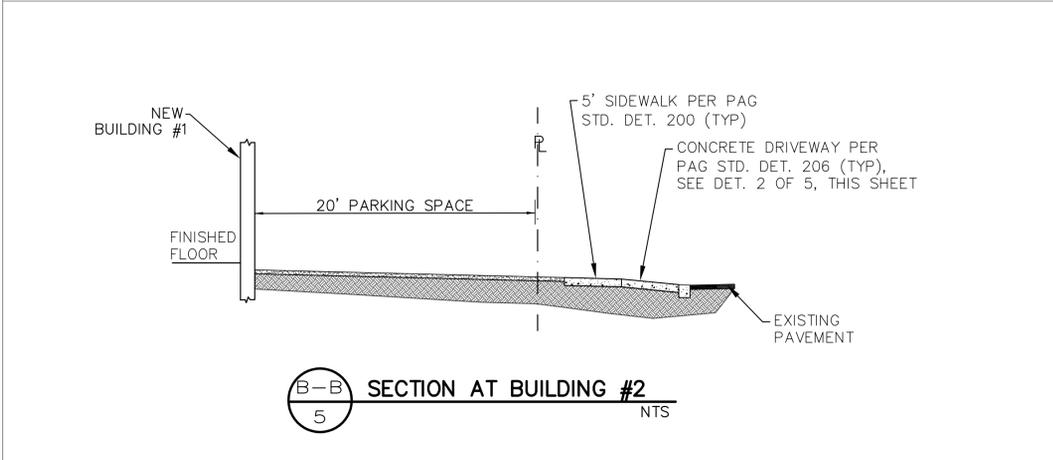
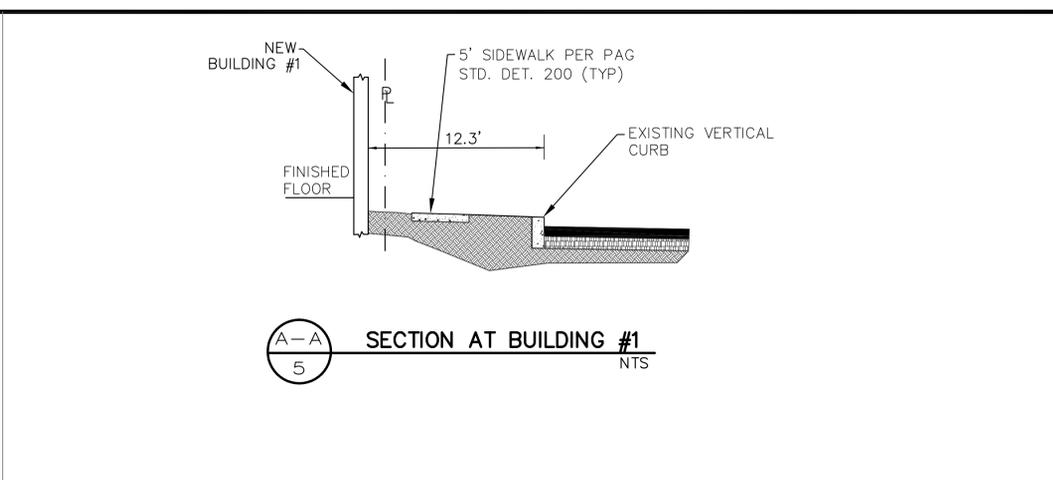
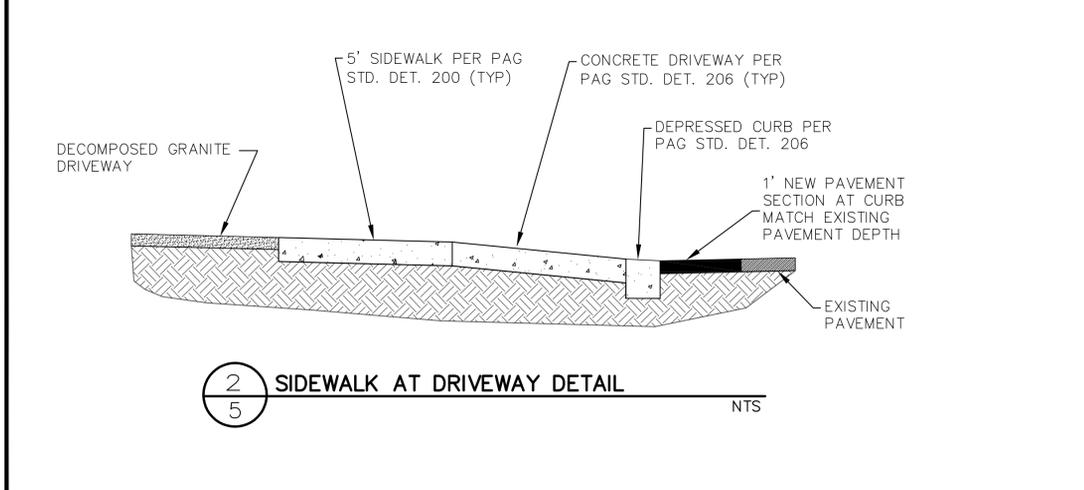
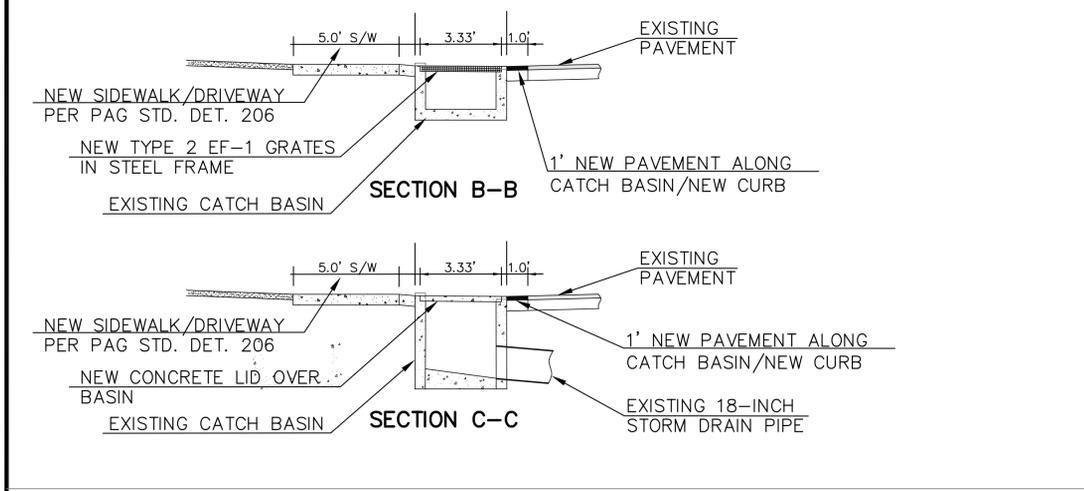
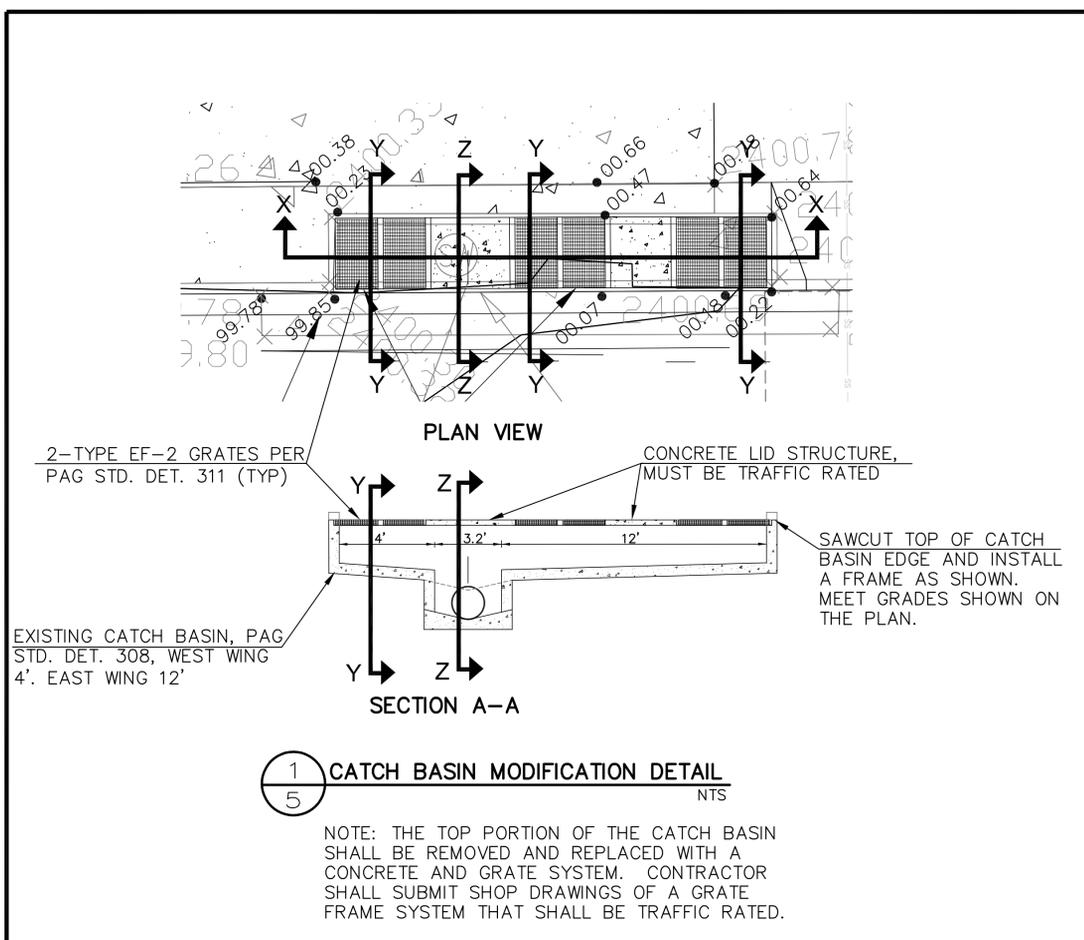
NOTE: EXISTING UTILITIES SHOWN ARE BASED UPON BEST INFORMATION AVAILABLE INCLUDING EXISTING AS-BUILTS, OLD BUILDING PLANS, AND ABOVE GROUND SURVEY AND ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS VIA POT HOLING OR OTHER METHOD(S) PRIOR TO CONSTRUCTION.

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

DP19-_____

No. Date Revision Description		
CASCADE ENGINEERING & DRAINAGE, INC. P.O. BOX 68197 ORO VALLEY, AZ 85737 (520) 425-1937 cascadeeng@comcast.net Expires: 03/31/2020		
SITE ADDRESS: 601 S. Stone Avenue Tucson, AZ 85701		UTILITIES PLAN DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE
Scale: 1" = 10' Contour Interval: 1' Date: 8.5.19	Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA	



No.	Date	Revision Description

CASCADE ENGINEERING & DRAINAGE, INC.
P.O. BOX 68197, ORO VALLEY, AZ 85737
(520) 425-1937, cascdeeng@comcast.net

26857 ROSS A. LAMBERSON
Professional Engineer
Arizona, U.S.A.

Expires: 03/31/2020

SITE ADDRESS:
601 S. Stone Avenue
Tucson, AZ 85701

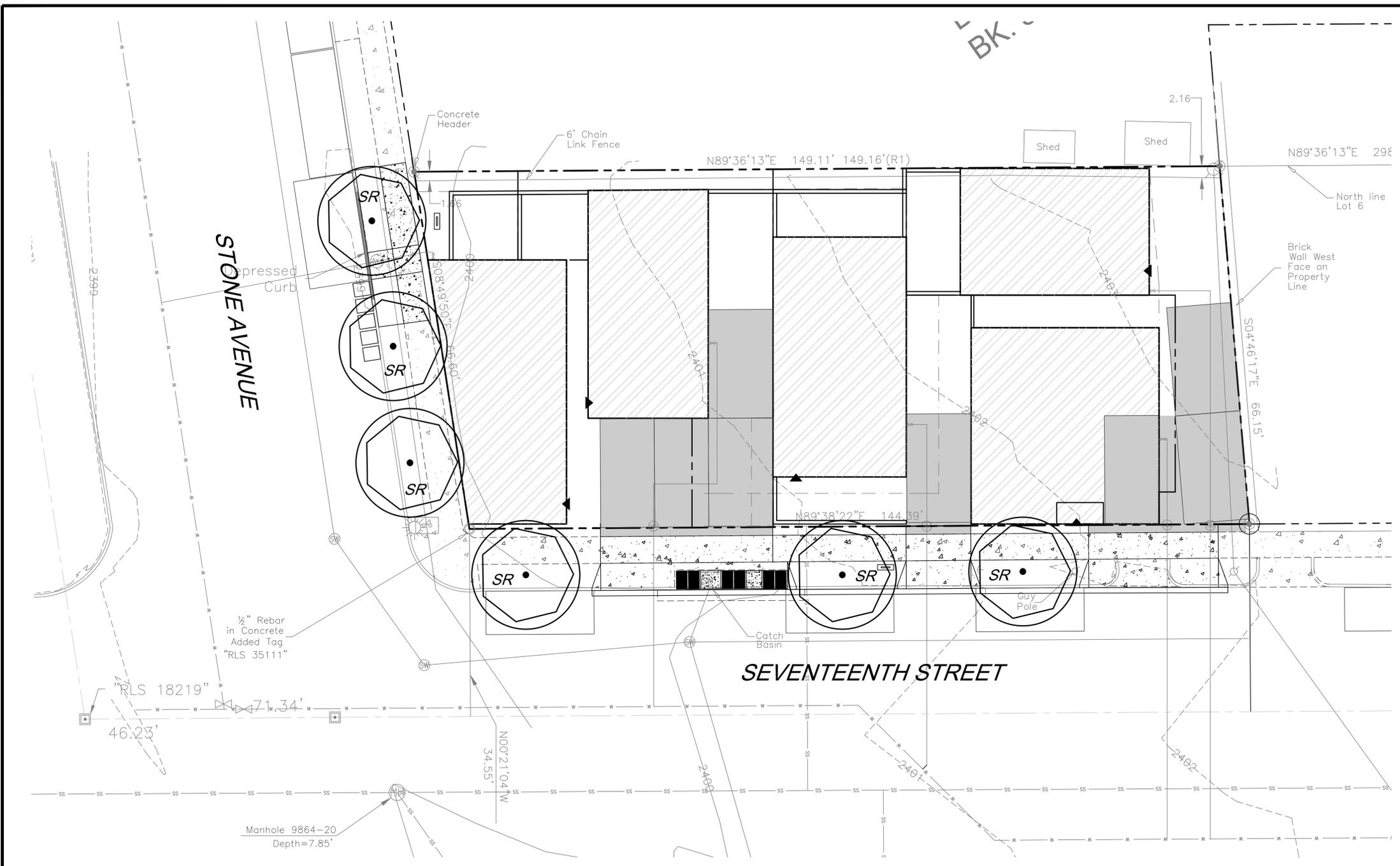
SECTIONS & DETAILS

DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE

Scale: N/A
Contour Interval: N/A
Date: 8.5.19

Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA

SHEET NO. 5 of 8



LANDSCAPE LEGEND

ALL PLANT MATERIAL TO MEET OR EXCEED ARIZONA NURSERY ASSOCIATION SPECIFICATIONS

TREES	SIZE	QTY
Cercidium sp. 'Desert Museum'	15 Gal	6
Desert Museum Palo Verde		

GROUND COVER / HARDSCAPE

SR
1/2" - 3/4" Screened Rock
Desert Rose - 2" min thickness

LANDSCAPE NOTES

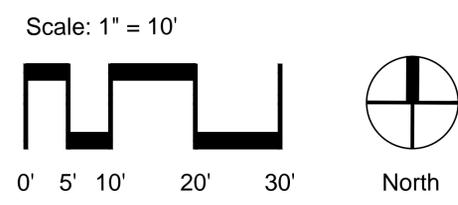
- All bare dirt areas to be covered with minimum 2" thick, 1/2" - 3/4" screened rock, including areas within the right-of-way.
- All plants shall be irrigated with a permanent underground irrigation system -- see sheet L-2.
- The Property Owner shall be responsible for maintenance of the required landscape and irrigation system in perpetuity.
- Materials within the sight visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finished grade of the roadway surface.
- Landscape areas shall be depressed 6" for water harvesting.

MAINTENANCE STANDARDS

- Per COT Maintenance Standards DS 2-06.6.0:
- Any plant material in areas of required landscaping that does not survive will be replaced with an equivalent size and species within thirty (30) days.
 - Plant material will be pruned as necessary to control size but not to disrupt the natural growth pattern or characteristic form of the plant, except as necessary to achieve height clearance for visibility and pedestrian passage or to achieve a continuous opaque hedge if required.
 - Clipping and pruning of the plant material are required to allow maximum shading while preserving surveillance opportunities and preventing obstructive overhang into walks, curb areas, drives and line of sight triangles.
 - All dead or removed plant material will be replaced with plant material acceptable under the requirements of the xeriscape landscaping regulations. Replacement material will be a minimum fifteen (15) gallon size for trees and five (5) gallon size for shrubs.
 - Regular landscape maintenance should ensure water efficiency and include, but not be limited to, pruning, mulching, weeding, litter removal, aerating and fertilizing.

STANDARD DOT NOTES FOR PLANTING IN R.O.W.

- It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Land Use Code (LUC) section.
- It is the owner's responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.
- It is the owner's responsibility to keep vegetation from growing past the curb line clear, and keep a 15' high clear zone over the travel lane.
- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the ROW in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- Contractor to obtain a Right Of Way permit prior to construction within the right-of-way.



DP19-___

35974 S. Desert Sun Drive Tucson, AZ 85739 (520) 909-4678 gregs@grslandscapearchitects.com		
No. Date Revision Description		LANDSCAPE PLAN
SITE ADDRESS: 601 S. Stone Avenue Tucson, AZ 85701		
DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE		
Scale: 1" = 10' Contour Interval: 1' Date: 8.8.19	Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA	SHEET NO. 6 of 8

IRRIGATION LEGEND

-  Reduced Pressure Backflow Preventer, Mainline Size
-  Mainline - Schedule 40 PVC 1" unless otherwise noted
-  Remote Control Valve - 1" - Rainbird 100 PEB and Rainbird RBY-100C Filter
-  Emitter Header - Schedule 40 PVC 1" unless otherwise noted
-  Pressure Regulator - Fixed Outlet Pressure @ 40 psi - flow as required
-  Poly line - .580 poly line
-  Emitter Line (Trees) - Class 200 PVC - 3/4" unless otherwise noted
-  Multipoint Emitter - Rainbird XBT-10-6
-  Sleeves - Schedule 40 PVC - 2" unless otherwise noted
-  Valve ID
-  Controller - Rainbird ESP-SMT with weather sensor. Contractor to coordinate electric for the controller.
-  Hose End Caps

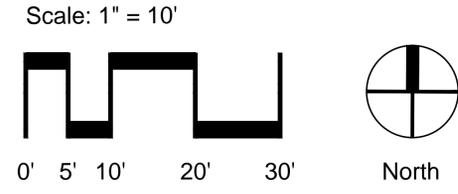
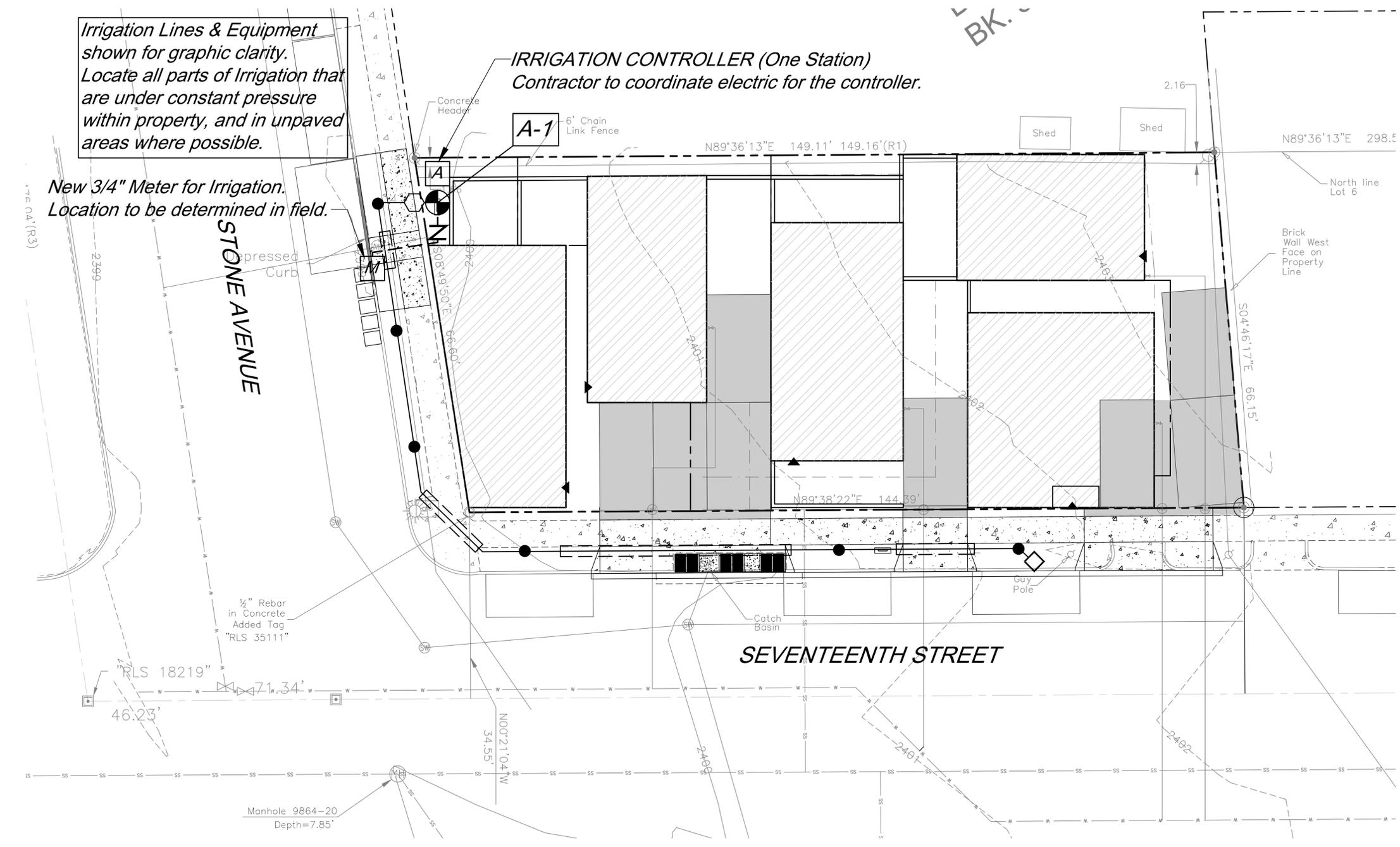
IRRIGATION NOTES

1. Contractor shall coordinate electrical power supply for irrigation controller. Contractor shall provide sleeves for remote control valve wires.
2. Irrigation plans are schematic. Locate lines and equipment in unpaved areas wherever possible.
3. Locate weather sensor so it is unimpeded by any structural elements.
4. Shrubs shall have (1) 1-gph emitter per 1 gallon plant and (2) 1-gph emitters per 5 gallon plant. Emitters shall be Rainbird Rainbug or approved equal.
5. Irrigation is designed at a minimum pressure of 50 PSI after the backflow preventer, and a minimum available flow of 5 gpm.

Irrigation Lines & Equipment shown for graphic clarity. Locate all parts of Irrigation that are under constant pressure within property, and in unpaved areas where possible.

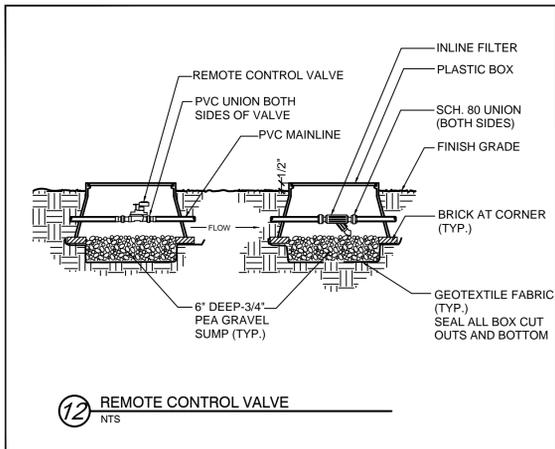
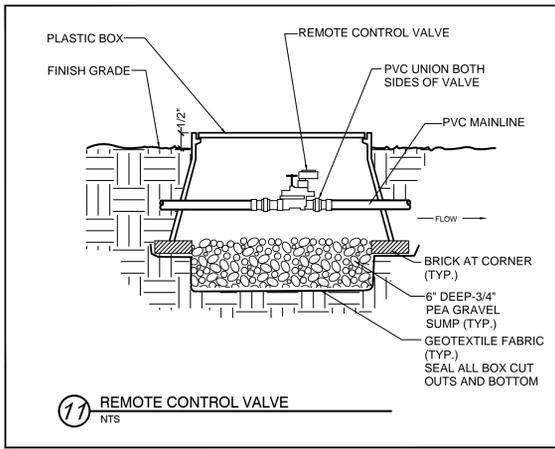
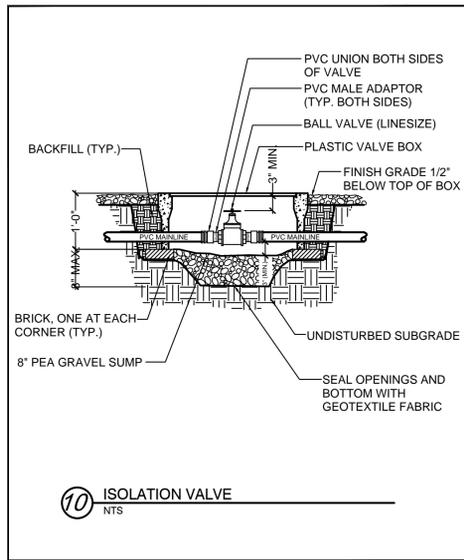
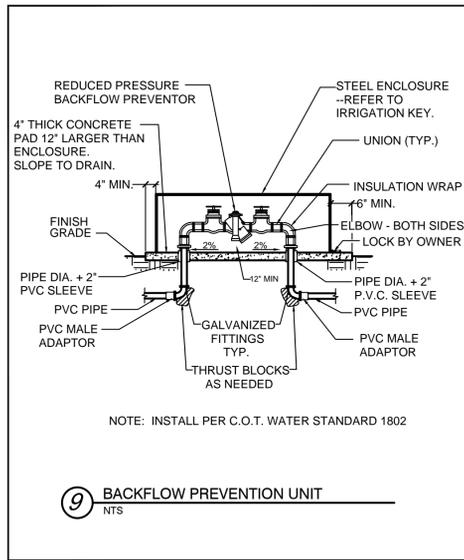
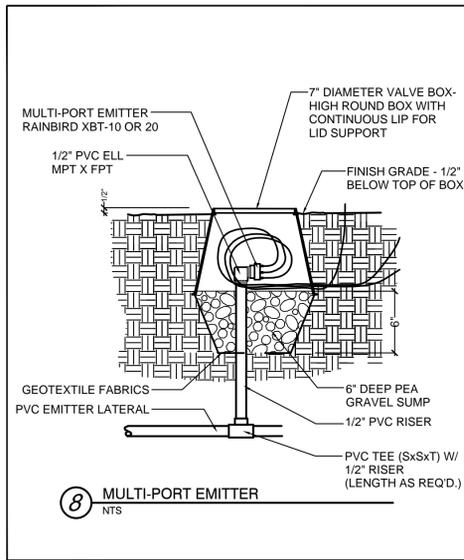
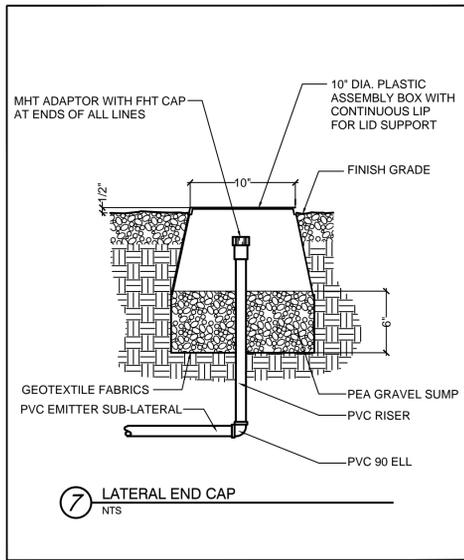
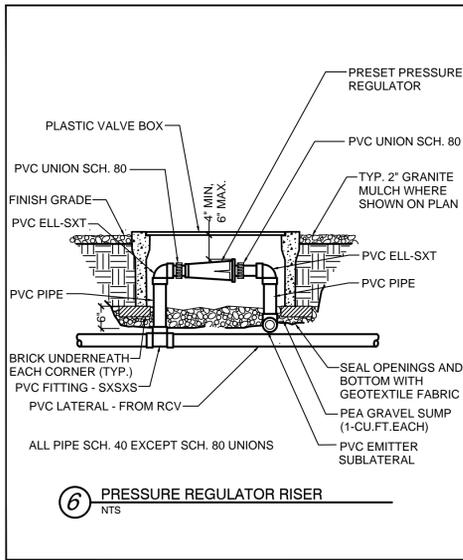
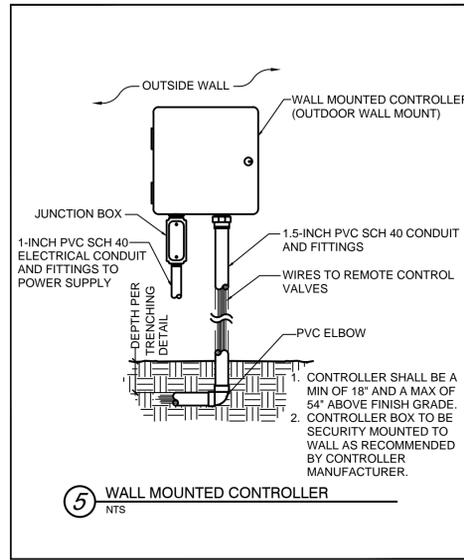
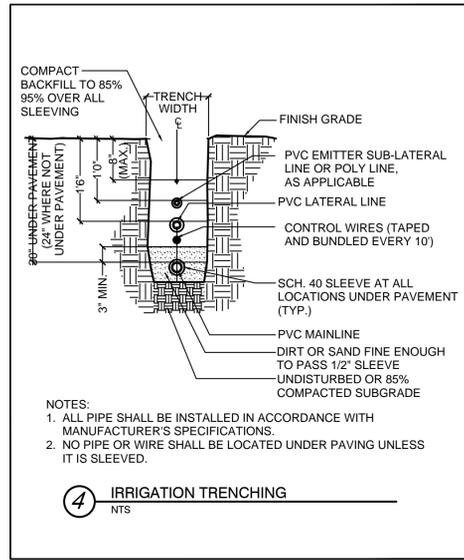
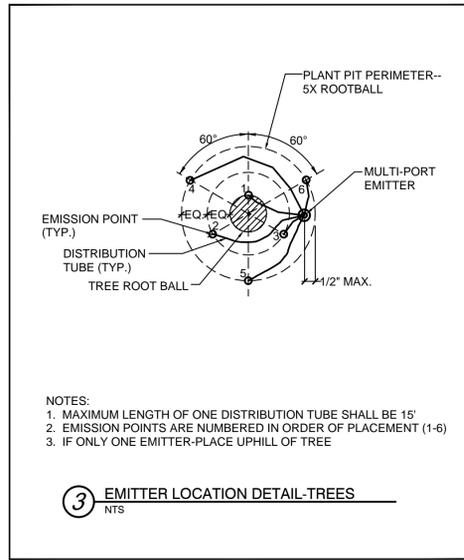
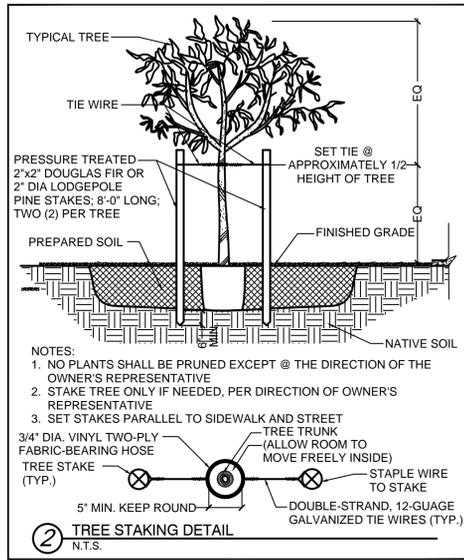
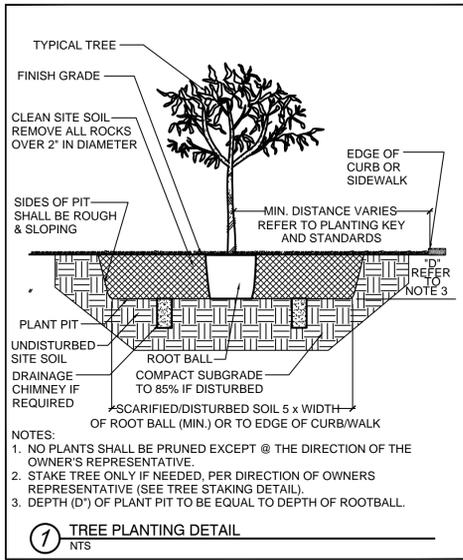
New 3/4" Meter for Irrigation. Location to be determined in field.

*IRRIGATION CONTROLLER (One Station)
Contractor to coordinate electric for the controller.*



DP19-___

No.	Date	Revision Description
		
35974 S. Desert Sun Drive Tucson, AZ 85739 (520) 909-4678 gregs@grslandscapearchitects.com		 Expires 6-30-2022
SITE ADDRESS: 601 S. Stone Avenue Tucson, AZ 85701		IRRIGATION PLAN
DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE		
Scale: 1" = 10' Contour Interval: 1 Date: 8.8.19	Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA	SHEET NO. 7 of 8



DP19-___

	35974 S. Desert Sun Drive Tucson, AZ 85739 (520) 909-4678 gregs@grslandscapearchitects.com	Expires 6-30-2022
SITE ADDRESS: 601 S. Stone Avenue Tucson, AZ 85701		CONSTRUCTION DETAILS
DEVELOPMENT PACKAGE for 601 SOUTH STONE AVENUE		
Scale: 1" = 10' Contour Interval: 1' Date: 8.8.19	Located in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, PIMA COUNTY, ARIZONA	SHEET NO. 8 of 8