

CITY OF TUCSON

GENERAL NOTES:

1. THE DESIGNER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
2. DAMAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE OR DEVELOPMENT.
3. ALL NEW PUBLIC ROADS WITHIN AND ADJACENT TO THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. CONSTRUCTION PLANS WILL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE FOR REVIEW AND APPROVAL.
4. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH DEVELOPMENT STANDARD 3-01.0.
5. THE WATER COMPANY THAT WILL SERVE THIS DEVELOPMENT IS CITY OF TUCSON WATER.
6. ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
7. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIWA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
8. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO THE PIWA COUNTY WASTEWATER MANAGEMENT DEPARTMENT.
9. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER SEGMENTS OR RIGHT-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIWA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
10. BEARINGS ARE BASED ON THE BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 27, WHICH BEARS N89°53'13"W.
11. 2" BRASS CAP MARKED "M 17" AT THE CENTER BACK OF SLUMP OF THE CATCH BASIN AT THE WEST END OF FORDHAM ROAD EAST OF CANYON AVENUE ON THE NORTH SIDE OF GOLF LINKS ROAD, PER CITY OF TUCSON SURVEY FIELD BOOK 2108 PAGE 29. ELEVATION=2751.452 (NAD83)
12. THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR SEC.5.4, MAJOR STREETS AND ROUTES (MSAR), SETBACK ZONE AND SEC.5.5, GATEWAY CORRIDOR ZONE (GZ2)
13. EXCAVATION AND GRADING SHALL CONFORM WITH THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL, SEC.2-01
14. CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK TO SCHEDULE A POST-CONSTRUCTION INSPECTION, SHIPPER INSPECTION OR GENERAL ENGINEERING INSPECTIONS. CALL MR. (702-8672) OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDSD ENGINEERING AT 719-5550 EXTENSION 2101, OR SCHEDULE INSPECTIONS ONLINE AT: WWW.CITYOF.TUCSON.AZ.US/ONLINE_SERVICES/ONLINE_PERMITS/ONLINE_PERMITS.HTML
15. (A) THE OWNER OR OWNERS SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE, AND LIABILITY FOR ALL DETENTION/RETENTION BASINS, DRAINAGE INFRASTRUCTURE, DRAINAGE CHANNEL, AND WATER HARVESTING AREAS (B) THAT THE OWNER OR OWNERS SHALL HAVE AN ARIZONA REGISTERED PROFESSIONAL CIVIL ENGINEER PREPARE A CERTIFIED INSPECTION REPORT FOR THE DRAINAGE AND DETENTION/RETENTION FACILITIES AT LEAST ONCE EVERY 12-MONTHS, AND THAT THESE REGULAR INSPECTION REPORTS WILL BE ON FILE WITH THE OWNER FOR REVIEW BY CITY STAFF. UPON WRITTEN REQUEST (C) THAT CITY STAFF MAY PERIODICALLY INSPECT THE DRAINAGE AND RETENTION/DETENTION FACILITIES TO VERIFY THAT THE OWNER OR OWNERS AGREE TO REBURGE ACIMITIES ARE BEING PERFORMED ADEQUATELY AND (D) THAT THE OWNER OR OWNERS AGREE TO REBURGE THE CITY FOR ANY AND ALL COSTS ASSOCIATED WITH THE MAINTAINING OF THE DETENTION/RETENTION BASINS AND DRAINAGE STRUCTURES SHOULD THE CITY FIND THE OWNER OR OWNERS IN THEIR OBLIGATION TO ADEQUATELY OPERATE AND MAINTAIN THEIR FACILITIES.

RETENTION STATEMENT

THE SITE IS CURRENTLY A PAVED PARKING LOT WITH A RETAIL BUILDING. THE BUILDING WILL BE REMOVED. THE PROPERTY SLOPES FROM NORTH TO SOUTH. THERE IS AN EXISTING 30" STORM DRAIN ALONG THE SOUTHERN PORTION OF THE PROPERTY WHICH ALIGNS RAINOFF FROM THIS SITE TO ENTER THE CATCH BASIN AND 30" STORM DRAIN AND THEN EAST TO (2) 10"x7" BOX CULVERTS THAT RUN ALONG THE EASTERN PORTION OF THE SITE. THE BOX CULVERT RUNS NORTH AND SOUTH UNDER RIVER ROAD AND EXITS SOUTH OF THE SHOPPING CENTER.

THIS PROJECT WILL INCLUDE ONE NEW BUILDING WITH A DRIVE THRU AND THE ASSOCIATED PARKING AND LANDSCAPE AREAS. THE EXISTING DRAINAGE PATTERNS WILL BE RESPECTED AND ALL ROOFTOP WILL SHEET FLOW TO THE SOUTH INTO THE EXISTING CATCH BASIN AND 30" STORM DRAIN SYSTEM AND THEN INTO THE 2 EXISTING 10"x7" BOX CULVERTS AS IT CURRENTLY DOES.

UTILITY PROVIDERS:

WATER: CITY OF TUCSON WATER
 WASTEWATER: CITY OF TUCSON WASTE WATER
 FIRE PROTECTION: CITY OF TUCSON FIRE DEPARTMENT
 ELECTRIC PROTECTION: CITY OF TUCSON POLICE DEPARTMENT
 ELECTRIC GAS: TUCSON ELECTRIC POWER AND LIGHT
 TELEPHONE: SOUTHWEST
 CABLE TV: COX

ESTIMATED QUANTITIES:

(QUANTITIES ARE FOR CITY REVIEW PURPOSE ONLY - CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWN ESTIMATES)

(PUBLIC)		1	EA
7" WATER METER & SERVICE LINE		1	EA
7" 40' DI. CLASS 350 FRIE LINE		10	LF
6" DI. CLASS 350 FRIE LINE			

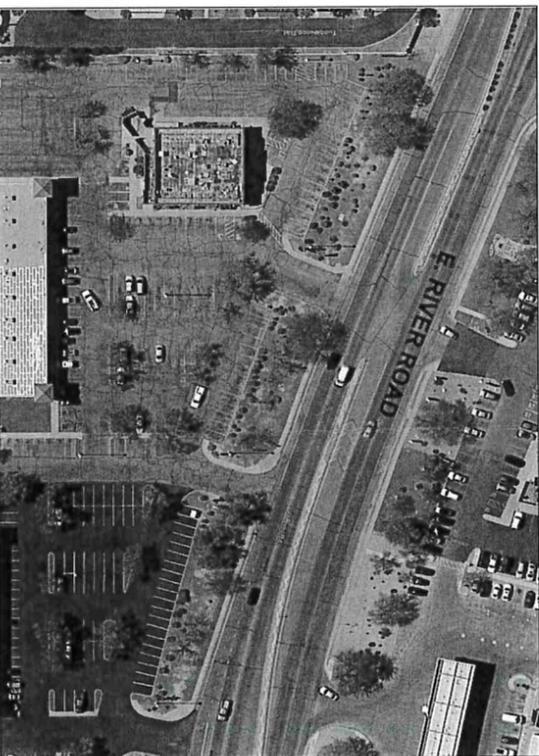
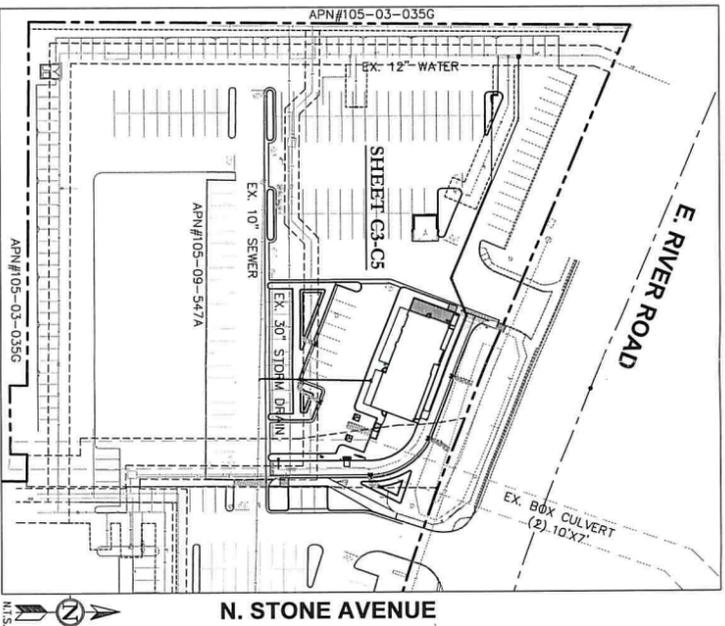
BUILDING INFO:

BUILDING TYPE: V-B
 BUILDING AREA: 2,200 SF
 BUILDING HEIGHT: 27'-0"
 REFER TO FIRE SPRINKLER PLANS FOR ALL CALCULATIONS AND DETAILS.

(PRIVATE)

6" CONC. CURB & GUTTER			LF
6" SINGLE CURB			LF
7" FCP2			CY
LIGHT DUTY PAVEMENT 3" ON 4" A.B.C.			SY
CONCRETE			SF
ADA RAMPS		4	EA
2" WATER SERVICE LINE		230	LF
2" BFP		1	EA
6" D.I.P. CLASS 350 FRIE LINE		300	LF
6" 22'-1/2" BEND		1	EA
6" 45' BEND		2	EA
6" 90' BEND		1	EA
4" PVC SCH. 40 SEWER SERVICE LINE		80	LF
10"x4" SEWER WTE		1	EA
SINGLE RETROE ENCLOSURE		1	EA
SIEMENS SCOPERS		1	EA

**STARBUCKS COFFEE
 IMPROVEMENT PLANS
 65 W. RIVER RD., TUCSON, ARIZONA**



ESTIMATED CUT AND FILL QUANTITIES

CUT = 386 C.Y.
 FILL = 787 C.Y.

(RAW NUMBERS - NO SHRINK OR INITIAL COMPACTION APPLIED)

ENGINEER QUANTITIES REPORTED HEREON ARE PROVIDED FOR READING PURPOSES ONLY AND ARE BASED ON FIELD DETERMINED VOLUME CALCULATIONS WHICH ARE A COMPARISON OF EXISTING GRADE DETERMINED FROM PROJECT TOPOGRAPHIC INFORMATION AND THE PROPOSED FINAL DESIGN FINISHED GRADE AND FINISHED SURFACE. THE QUANTITIES REPORTED HEREON ARE FOR INFORMATION PURPOSES ONLY AND DO NOT CONSTITUTE A GUARANTEE OF EXISTING SITE SUBSTRATE OR COMPACTION FACTORS FOR PLACEMENT AND RECONSTRUCTION OF EXISTING MATERIALS, FILL MATERIALS AND OR IMPROVE SURFACE CONDITIONS. DESIGNER'S WORK SHALL BE BASED ON THE DATA PROVIDED AND THE DESIGNER'S CONTRACTORS ARE TO VERIFY ALL MATERIALS AND CONDITIONS. THE ENGINEER CONTRACTORS ARE TO VERIFY ALL PROJECT SITE CONDITIONS, GEOTECHNICAL REPORT BORING LOGS AND REQUIREMENTS PRIOR TO FILING THE BID. THE ENGINEER CONTRACTORS ARE TO DETERMINE THEIR OWN QUANTITIES AND TO VERIFY THE QUANTITIES REPORTED HEREON. THE CONTRACTORS ARE TO VERIFY THE PROJECT DESIGN REQUIREMENTS AND SATISFACTORILY QUANTITY THE BID TO THE CONTRACTORS AND OWNERS.

OWNER/DEVELOPER

BRAKOR HOLDINGS 1 STE LLC
 P.O. BOX 4900
 SCOTTSDALE, AZ 85261
 PHONE: (480) 202-1126
 CONTACT: ANDREW GRACEY
ARCHITECT
 HERBERT DESIGN GROUP
 588 N. JACKSON STREET
 GILBERT, AZ 85233
 PH: (480) 458-6385
 CONTACT: ANDREW MERCHANT

ENGINEER

SBL ENGINEERING, LLC
 1957 E. SUNBURST LANE,
 TEMPE, AZ 85284
 PH: (602) 326-9948
 FX: (480) 619-6334
 CONTACT: CRAIG BAKER
SURVEYOR
 LISC LAND SURVEYING
 3175 S. WILLOW
 CAME CREEK, AZ 85331
 PH: (480) 650-4006
 CONTACT: AYL VANLANDSCHOOT

AREA

205,110 SQUARE FEET OR 4.71 ACRES
 DISTURBED AREA: 43,728 SQUARE FEET OR 1.00 ACRES
 UNDISTURBED AREA: 161,382 SQUARE FEET OR 3.71 ACRES

BENCHMARK

CITY OF TUCSON GEOMETRIC CONTROL POINT "N19"
 1 1/2" ADP RLS 20373
 ELEVATION=2296.74 NAD83 (CITY OF TUCSON DATA)

BASIS OF BEARING

BEARINGS ARE BASED ON THE MONUMENT LINE OF RIVER ROAD, WHICH BEARS S87°04'49"E, AS SHOWN ON NORTHMALL CENTRE, RECORDED IN BOOK 44 OF MAPS AND PLATS, PAGE 62, PIWA COUNTY RECORDS.

ONSITE TEMPORARY BENCHMARK

5/8" REBAR LYING S87°04'49"E 251.56' FROM THE MOST NORTHERLY CORNER OF LOT 2, NORTHMALL CENTRE, RECORDED IN BOOK 44 OF MAPS AND PLATS, PAGE 62, RECORDS OF PIWA COUNTY, ARIZONA. ELEVATION=2316.28

PARCEL & SITE ADDRESS

APN: 105-09-547A
 SITE ADDRESS: 65 W. RIVER RD.
 EX. ZONING: C-2

FLOOD ZONE

THIS PROPERTY IS LOCATED ON THE FLOOD INSURANCE RATE MAP(FIRM) ZONE X, COMMUNITY NUMBER 040076. MAP NUMBER AND SUFFIX 04019C168BL. PANEL NUMBER 168L. EFFECTIVE DATE OF FIRM: JUNE 16 2011.

LEGAL DESCRIPTION

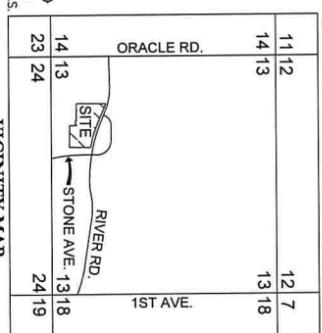
LOT 2, NORTHMALL CENTRE, ACCORDING TO BOOK 44 OF MAPS AND PLATS, PAGE 62, RECORDS OF PIWA COUNTY, ARIZONA.

SHEET INDEX

COVER SHEET	C1
NORTHMALL CENTRE	C2
GRD PLAN SHEET	C3
WATER, SEWER SHEET	C4
SWMP SHEET	C5
SECTION & DETAILS	C6

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE RECORD DRAWING, MEASUREMENTS AND SURVEY MONUMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



FLOOD STATEMENT

COMPLIANCE NUMBER/PANEL NUMBER/SUFFIX	DATE OF FIRM/FIRM ZONE	FIRM FLOOD ELEVATION (IN NO. FEET, DEC. FEET)
040076	1686 L	06/16/2011 X

REGISTERED LAND SURVEYOR

CITY OF TUCSON

DEVELOPMENT PACKAGE

PSD APPROVAL

SC2

FR2

MD2

MS2

SW2

Other

DYP/NG MGR

Engineering

H/C Site

Fire

Landscape

PL/ME

Revision #

per letter in SIRE

CITY CASE NUMBER: DP18-4891 N. STONE AVENUE

STARBUCKS COFFEE
 NORTHMALL CENTRE
 65 W. RIVER RD.
 TUCSON, AZ 85704

PROJECT NO: 17-152
 DESIGNED BY: CB
 REVIEWED BY: JS

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF SBL ENGINEERING LLC AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE CIVIL ENGINEER.

CIVIL COVER SHEET

SHEET **C1** 7 of 16

DATE

NO.

REVISION

TEAM

PROJECT

OWNER/DEVELOPER: BRAKOR HOLDINGS 1 STE LLC

ARCHITECT: HERBERT DESIGN GROUP

ENGINEER: SBL ENGINEERING, LLC

SURVEYOR: LISC LAND SURVEYING

AREA: 205,110 SQUARE FEET OR 4.71 ACRES

BENCHMARK: CITY OF TUCSON GEOMETRIC CONTROL POINT "N19"

BASIS OF BEARING: BEARINGS ARE BASED ON THE MONUMENT LINE OF RIVER ROAD, WHICH BEARS S87°04'49"E, AS SHOWN ON NORTHMALL CENTRE, RECORDED IN BOOK 44 OF MAPS AND PLATS, PAGE 62, PIWA COUNTY RECORDS.

ONSITE TEMPORARY BENCHMARK: 5/8" REBAR LYING S87°04'49"E 251.56' FROM THE MOST NORTHERLY CORNER OF LOT 2, NORTHMALL CENTRE, RECORDED IN BOOK 44 OF MAPS AND PLATS, PAGE 62, RECORDS OF PIWA COUNTY, ARIZONA. ELEVATION=2316.28

PARCEL & SITE ADDRESS: APN: 105-09-547A, SITE ADDRESS: 65 W. RIVER RD., EX. ZONING: C-2

FLOOD ZONE: THIS PROPERTY IS LOCATED ON THE FLOOD INSURANCE RATE MAP(FIRM) ZONE X, COMMUNITY NUMBER 040076. MAP NUMBER AND SUFFIX 04019C168BL. PANEL NUMBER 168L. EFFECTIVE DATE OF FIRM: JUNE 16 2011.

LEGAL DESCRIPTION: LOT 2, NORTHMALL CENTRE, ACCORDING TO BOOK 44 OF MAPS AND PLATS, PAGE 62, RECORDS OF PIWA COUNTY, ARIZONA.

SHEET INDEX: COVER SHEET (C1), NORTHMALL CENTRE (C2), GRD PLAN SHEET (C3), WATER, SEWER SHEET (C4), SWMP SHEET (C5), SECTION & DETAILS (C6)

AS-BUILT CERTIFICATION: I HEREBY CERTIFY THAT THE RECORD DRAWING, MEASUREMENTS AND SURVEY MONUMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

VICINITY MAP: SHOWS PROJECT LOCATION AT INTERSECTION OF RIVER RD AND STONE AVE.

REGISTERED LAND SURVEYOR: [Signature]

CITY OF TUCSON: [Signature]

DEVELOPMENT PACKAGE: PSD APPROVAL

DYP/NG MGR: [Signature]

Engineering: [Signature]

H/C Site: [Signature]

Fire: [Signature]

Landscape: [Signature]

PL/ME: [Signature]

Revision #

CITY CASE NUMBER: DP18-4891 N. STONE AVENUE

STARBUCKS COFFEE LOGO

SBL Engineering, LLC logo and contact info: phone: 602-326-5848, www.sbl-eng.com

SPECIAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS REQUIRED AT THEIR OWN EXPENSE.
2. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES, INCLUDING SEWER AND WATER CONNECTIONS, AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF THESE SERVICES NECESSARY DUE TO CONFLICT BETWEEN A FACILITY PROPOSED HEREIN AND AN EXISTING FACILITY.
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE PRESENCE AND LOCATION OF ANY AND ALL EXISTING OVERHEAD AND/OR UNDERGROUND UTILITIES THAT MAY INTERFERE WITH THE CONSTRUCTION, WHETHER OR NOT SAID UTILITIES ARE SHOWN ON THE CONSTRUCTION PLANS FOR THIS PROJECT. CONTRACTOR SHALL ADEQUATELY PROTECT AND MAINTAIN SUCH UTILITIES.
4. THE ENGINEER OR SURVEYOR DO NOT ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING WHICH HAS BEEN DISTURBED IN ANY WAY, NOR DO THE ENGINEER OR SURVEYOR ASSUME ANY LIABILITY FOR ERRORS OF LINE AND/OR GRADE ON ANY STAKING THAT HAS BEEN IN PLACE FOR A PERIOD OF 24 HOURS OR MORE WITHOUT THE COMMENCEMENT OF CONSTRUCTION FOR WHICH IT WAS SET.
5. ALL SURVEYORS SHALL INDEPENDENTLY VERIFY THE BENCHMARK ON THE PLANS AND PRIOR TO COMPLETING ANY CONSTRUCTION STAKING OR AS-BUILT MEASUREMENTS SHALL CHECK EXISTING ELEVATION SHOWN ON THE CONSTRUCTION DOCUMENTS TO INSURE THAT THEIR ELEVATION DATA IS RELIABLE. THE EXISTING DATA SHALL BE RELIABLE UNLESS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DATUMAL OR GREATER THAN 0.02 FEET AND NO CONSTRUCTION STAKING SHALL COMMENCE UNTIL THE DATUM ISSUES ARE RESOLVED.
6. SECURE LATEST ARCHITECTURAL OR CIVIL ELECTRONIC BASE FILE FOR ALL CONSTRUCTION STAKING.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR AT LEAST 48 HOURS IN ADVANCE FOR ANY STAKING OR RESAKING REQUIRED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING ALL STAKES AND CONTROL. AND SHALL TAKE STEPS NECESSARY TO INSURE THAT THE STAKES AND CONTROL ARE NOT DISTURBED OR TAMPED WITH. IF STAKES ARE DISTURBED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST INCURRED TO RESAKE.
9. ANY QUESTIONS RELATIVE TO THE ACCURACY OF IMPROVED INSTALLATION SHALL BE RAISED PRIOR TO COMPLETION OF THE WORK. UNLESS ALL SURVEY STAKES TO BE MAINTAINED AND NO CHANGES TO THE CONSTRUCTION DOCUMENTS SHALL BE MADE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CORRECTIONS SHALL BE PRESENTED TO ANY PARTY AND SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
10. THE CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER AND SURVEYOR BEFORE BACKFILLING WATER AND/OR SEWER SERVICES IN ORDER THAT THE ENGINEER AND SURVEYOR MAY VERIFY THE AS-BUILT CONDITIONS INCLUDING HORIZONTAL AND VERTICAL LOCATION AND CONFORMANCE WITH PLANS AND SPECIFICATION OF THE SERVICE.
11. CONSTRUCTION OF SURFACE IMPROVEMENTS SHALL NOT BEGIN UNTIL CONFLICTING UNDERGROUND UTILITY CONSTRUCTION IS COMPLETED AND SERVICE CONNECTIONS TO ALL PLATED LOTS, OR SITES, OR PAV. AS SHOWN ON THE PLANS HAVE BEEN ADEQUATELY EXTENDED.
12. ALL FRAMES, COVERS, VALVE BOXES AND MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION. ADJUSTMENT OF ALL EXISTING MANHOLE VALVE BOXES IN THE PARKWAY SHALL BE CONSIDERED INCIDENTAL TO PARKWAY GRADING.
13. BEGIN SEWER CONSTRUCTION AT THE LOCATION AND WORK UPRIGHT.
14. CONTRACTOR TO VERIFY EXACT LOCATION AND INVERT ELEVATION OF UTILITY CONNECTION CROSSING LOCATIONS. CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF DIFFERENT THAN SHOWN ON PLAN.
15. CAUTION: PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND INVERT ELEVATION OF EXISTING UTILITY CONNECTIONS. THE CONTRACTOR SHALL BEAR THE COSTS FOR ANY RE-CONSTRUCTION IF UTILITY LINES ARE IN CONFLICT OR ADEQUATE POSITIVE SLOPE TO THE INVERT CONNECTION POINT IS NOT ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING SEWER AT CONNECTION POINT AS SHOWN ON PLANS AND REPORT ANY DISCREPANCIES IN LOCATION AND/OR ELEVATION IMMEDIATELY TO THE ENGINEER IN WRITING AND PRIOR TO THE START OF NEW SEWER LINE INSTALLATION. THE CONTRACTOR ASSUMES RESPONSIBILITY WHEN DEVIATING FROM THIS STANDARD PROCEDURE OF NOT VERIFYING THE LOCATION AND/OR ELEVATION OF ANY AND ALL EXISTING UTILITIES WHERE CONNECTIONS OR CROSSINGS WILL OCCUR.
16. THE CONTRACTOR SHALL VERIFY THE NEED FOR THE ENGINEER'S CERTIFICATION OF IMPROVEMENTS INCLUDING GRADING AND DRAINAGE, WATER, SEWER, STORM DRAIN, ETC. AS SHOWN ON THE CONSTRUCTION DOCUMENTS, AND IF NECESSARY THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND SURVEYOR TO INSURE THAT THE REQUIRED CONSTRUCTION OBSERVATION, TESTING, AND MEASUREMENTS ARE COMPLETE IN ORDER TO ENABLE THE ENGINEER TO COMPLETE THE REQUIRED CERTIFICATION.
17. NOTE THAT CERTIFICATION OF WATER AND SEWER FACILITIES ARE REQUIRED BY GOVERNING AGENCIES OF JURISDICTION WHICH INCLUDE AS-BUILT MEASUREMENTS AND CONFORMANCE WITH PLANS AND SPECIFICATIONS PER THE DESIGN BY AN ARIZONA REGISTERED CIVIL ENGINEER.
18. ALL SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.

USE AND INTERPRETATION OF THIS DRAWING

1. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWING. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER - CONTRACTOR AGREEMENT, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED COMPLETELY DEFINED HEREON SHALL BE CONSIDERED TO BE OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.
2. BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS. THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3. AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS, CAD DISKS OR OTHER ELECTRONIC MEDIA AND COPIES THEREOF FURNISHED BY THE ENGINEER ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ENGINEER.
4. IF IN THE CASE OF DISCREPANCIES OF INFORMATION BETWEEN THE DIGITAL VERSION (CAD) AND THE PHYSICAL APPROVED AND SIGNED PLAN VERSION OF THE PROJECT, THE ACTUAL PHYSICAL PLAN IS TO BE CONSIDERED ACCURATE TO THE DESIGN INTENT AND WILL SUPERSEDE ANY DIGITAL VERSIONS. CHANGES TO THE DRAWINGS, PHYSICAL OR DIGITAL, MAY ONLY BE MADE BY THE ENGINEER.

GENERAL UTILITY NOTES:

1. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE AND MAINTAIN EXISTING UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
2. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL INDICATED UTILITIES ON SITE (SEE DEMOLITION PLAN). CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND PAID OFF FROM THE APPROPRIATE AGENCIES.
3. AUTHORIZATION MUST BE OBTAINED FROM THE GOVERNING AGENCY TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE UTILITY SERVICE PLANS.
4. AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAN, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
5. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
6. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
8. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
9. COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
10. ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
11. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
12. COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
13. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

WASTEWATER MANAGEMENT NOTES:

1. ANY RELOCATION, MODIFICATION, ETC. OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
2. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
3. ON-SITE SANITARY SEWERS WILL BE PERMITTED AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH THE APPLICABLE STANDARD SPECIFICATIONS TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
4. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EXEMPTS OR RIGHT-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH THE APPLICABLE STANDARD SPECIFICATIONS TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
5. THIS PROJECT WILL HAVE 0 EXISTING AND 55 PROPOSED WASTEWATER FUTURE UNIT EQUIVALENTS PER TABLE 13.20.045 (3)(1) IN PIMA COUNTY CODE 13.20.045 (3).

WASTEWATER PERMITTING NOTES:

- 1) A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- 2) NO PERMITS SHALL BE ISSUED FOR ANY PERMITTED STRUCTURES TO BE CONSTRUCTED WITHOUT SEWER EXPERTISE FROM HEREON WITHOUT SEPARATE WRITTEN AUTHORIZATION FROM THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT.

DRAINAGE NOTES:

(PER CITY OF TUCSON TECHNICAL STANDARDS MANUAL, DATED 01/02/2013)

1. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
2. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS PLAN/PLAN.
3. REMOVAL OF TREES, TREES, OTHER VEGETATION, AND DEBRIS FROM CONCRETE CHANNEL AND DRAINAGE INLET WILL BE REQUIRED PRIOR TO FINAL INSPECTIONS OR MONITORING (WHICH EVER IS FIRST).

ADDITIONAL NOTES:

(PER CITY OF TUCSON TECHNICAL STANDARDS MANUAL, DATED 01/02/2013)

1. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
2. THE WATER COMPANY THAT WILL SERVE THIS DEVELOPMENT IS CITY OF TUCSON WATER.

GENERAL EROSION NOTES:

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND BECOME FAMILIAR WITH ITS CONTENTS.
- B. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONSTRUCTION. NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- C. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- D. CONTRACTOR SHALL MAINTAIN CLEANING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- E. GENERAL CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREAS WHICH SHALL BE EMPLOYED AS WORKING AREA AND AREA FOR LOADING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOBS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- H. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- I. RUBBER, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE WORK AREA. DRAINAGE DITCHES OR WATER OF THE STATE.
- J. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INSTALLED AS SOON AS PRACTICABLE.
- K. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDING NO LATER THAN 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- L. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS, REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- M. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER THE PUBLIC ROAD. WASHING IS DONE BY WATERING THE TIRES TO ACCEPT THE WASH WATER AND THEN THE SEEDMENT BEFORE IT IS CARRIED OFF THE SITE.
- N. ALL MATERIALS SPILLED, PROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- O. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEEDMENT IN THE DETENTION POND AND ANY SEEDMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- P. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES AND STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- Q. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION. SLOPES LEFT EXPOSED WILL WITHIN 7 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
- R. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALE, ETC.) TO PREVENT EROSION.
- S. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

GENERAL GRADING NOTES:

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
2. INCLUDED AS PART OF THE CONSTRUCTION DOCUMENTS HEREIN BY REFERENCE ALL EARTHWORK, PAVING, AND CONCRETE SHALL BE COMPLETED IN CONFORMANCE WITH THE RECOMMENDATIONS INCLUDED HEREIN.
3. ALL CONSTRUCTION MATERIALS AND CONSTRUCTION SPECIFICATIONS AND DETAILS.
4. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
6. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
7. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
8. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
9. INSTALL SILT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
10. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
11. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
12. ALL EXCAVATION SHALL INCLUDE CLEANING, STRIPPING, AND STORING OF EXISTING REMOVED UNSUITABLE MATERIALS. THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE THE LINES AND GRADES SHOWN ON THE PLANS.
13. ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE REMOVED FOR REUSE AND CONDUCTED THROUGH A DRAINAGE COURSE. THE DRAINAGE COURSE SHALL BE CONDUCTED TO A MAXIMUM DENSITY OF 95% AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST IN THE PAVED AREAS AND 85% IN THE OTHER AREAS.
14. ALL EARTHWORK AND BASE COURSE FOR THE PARKING AREA SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DRY DENSITY. CERTIFICATION AND COMPACTION SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER OR HIS/HER REPRESENTATIVE. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY APPROVAL AND WITNESSED BY THE ENGINEER OR OWNER REPRESENTATIVE.
15. THE PAVEMENT SURFACE AND BASE COURSE MATERIAL SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO CONSTRUCTING THE BASE AND SURFACE COURSES THEREON.
16. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND DRAIN BASINS. AREAS OF STANDING WATER SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
17. IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
18. SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL OSHA AND LOCAL REGULATIONS.
19. STRUCTURES FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS, WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES, THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.
20. CONCRETE INVERTS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES BEYOND COMMERCIAL CONSTRUCTION.
21. A GEOTECHNICAL MATING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AN ALL SLOPES GREATER THAN 3:1V.
22. ALL SIDEWALKS SHALL HAVE A 2% CROSS SLOPE MAXIMUM.
23. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

PROPOSED FEATURES

- ☐=08.80 CONCRETE ELEVATION
- ▭=08.00 PAVEMENT ELEVATION
- ▬=08.50 FINISH GRADE ELEVATION
- DIRECTION OF DRAINAGE
- G.B. GRADE BREAK
- DRAINAGE FLOW
- ⇄ CURB OPENING
- 89.50— FINISH FLOOR
- ⊖ BACKFLOW PREVENTION DEVICE
- ⊕ CONTOUR LINES

EXISTING FEATURES

- FOUND BRASS CAP FLUSH
- FOUND MONUMENT AS NOTED
- FIRE HYDRANT
- ⊖ WATER METER
- ⊗ WATER VALVE
- ⊖ BACKFLOW PREVENTER
- ⊖ SANITARY SEWER MANHOLE
- ⊖ SEWER CLEANOUT
- ⊖ LIGHT POLE
- ⊖ POWER POLE
- ⊖ DOWNPOU
- ⊖ TELEPHONE RISER
- ⊖ TELEPHONE MANHOLE
- ⊖ IRRIGATION CONTROL VALVE
- ⊖ GREASE TRAP MANHOLE
- ⊖ HANDICAP PARKING
- ⊖ SIGN
- ⊖ TREE
- ⊖ SAGUARO
- ⊖ RIGHT-OF-WAY
- ⊖ PAVEMENT ELEVATION
- ⊖ TOP OF CURB & GUTTER ELEVATION
- ⊖ TOP OF CURB & PAVEMENT ELEVATION
- ⊖ CONCRETE ELEVATION
- ⊖ BOTTOM OF SLOPE ELEVATION
- S— STORM DRAIN LINE
- W— SANITARY SEWER LINE
- S— WATER LINE
- T— TELEPHONE LINE
- E— ELECTRIC LINE
- G— GAS LINE

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan RCZ MZ RIZ
 Tentative Plat FIZ HIZ MZ
 Grading SWPP MZ
 SWPP MZ MZ
 Other

DYPNG MGR: _____ Date: _____
 Zoning: _____ Date: _____
 Engineering: _____ Date: _____
 HIC Site: _____ Date: _____
 Fire: _____ Date: _____
 Landscape: _____ Date: _____
 PLUME: _____ Date: _____
 Revision #: _____ Date: _____
 per letter in SIRE

CITY CASE NUMBER: DP18-4881 N. STONE AVENUE

STARBUCKS COFFEE
NORTHMALL CENTRE
65 W. RIVER RD.
TUCSON, AZ 85704

SBL Engineering, LLC
phd/02-326-5848 www.sbl-eng.com

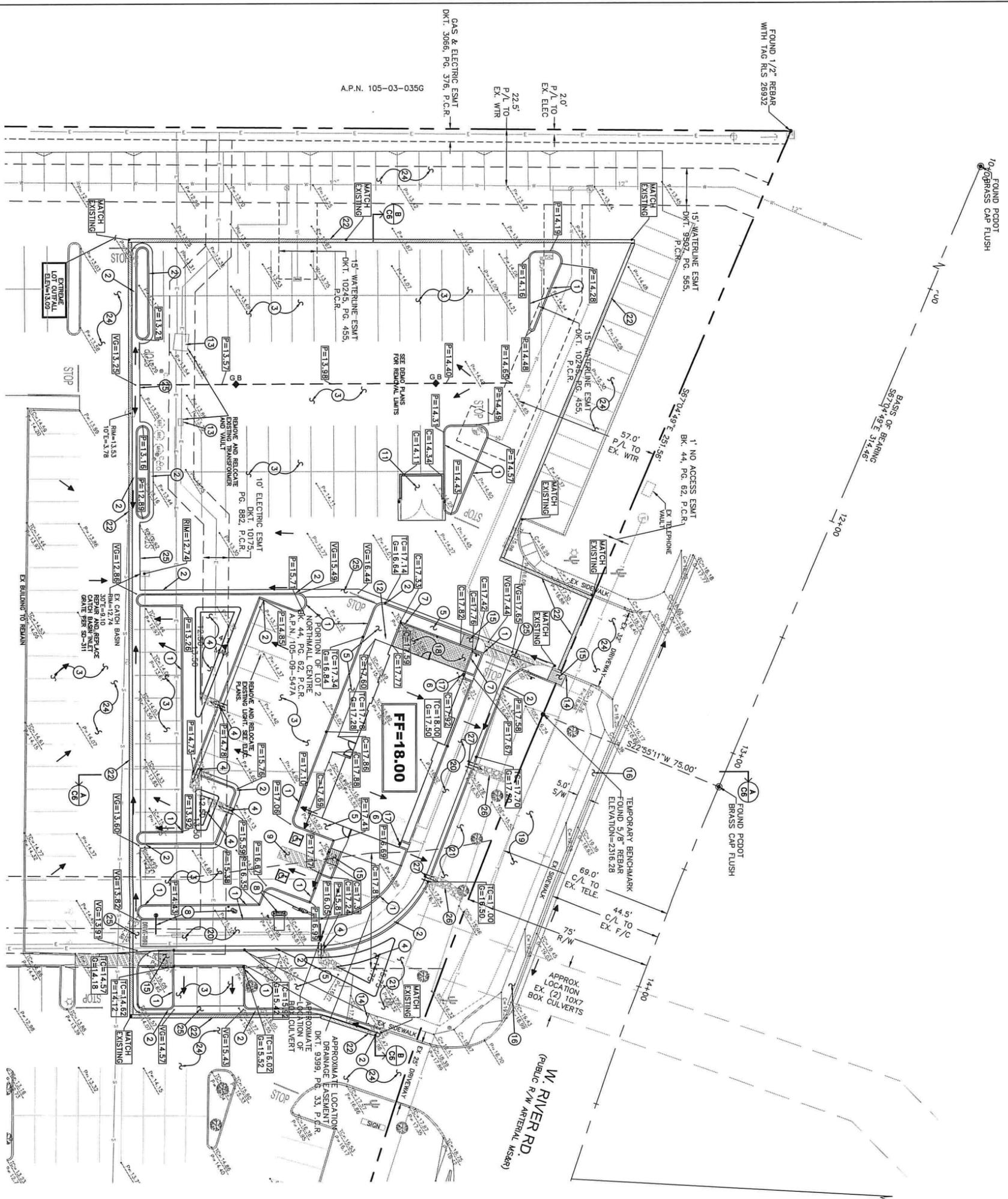
SHEET **C2** 8 of 16

DATE NO. REVISION

TEAM PROJECT

PROJECT NO: 17-152
DESIGNED BY: CB
REVIEWED BY: SR

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF SBL ENGINEERING LLC AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE CIVIL ENGINEER.



CONSTRUCTION NOTES:

1. CONSTRUCT VERTICAL CURB PER P.A.G. STD. DET. 209 TYPE-2.
2. CONSTRUCT VERTICAL CURB AND GUTTER PER P.A.G. STD. DET. 209 TYPE 10C.
3. INSTALL 4" DIA. 40' R.A.S.C. OR 4" R.A.S.C. OR 4" PREPARED COMPACTED SUB GRADE IN ACCORDANCE WITH THE SOILS REPORT.
4. CONSTRUCT WATER HARVESTING BASIN AND CURB CUT PER C.O.I. STD. DET. 1 & 2. SEE SHEET CG FOR DETAILS.
5. CONSTRUCT CONCRETE SIDEWALK PER P.A.G. STD. DET. 200.
6. CONSTRUCT CONCRETE SPILL WAY PER P.A.G. STD. DET. 205.5.
7. CONSTRUCT NEW PATIO FENCE/WALL PER ARCHITECTURAL PLANS.
8. INSTALL MENU BOARDS - SEE ARCHITECTURAL PLANS FOR DETAILS.
9. ADA PARKING SPACE WITH SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
10. INSTALL SITE LIGHTING - SEE ARCHITECTURAL PLANS FOR DETAILS.
11. CONSTRUCT SINGLE REFUSE ENCLOSURE PER C.O.I. 133K, NO. 9-0130 FIGURE 3B.
12. INSTALL BIKE PARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
13. EXISTING UTILITY VALVE/BOX/CABINET USE CAUTION. CONTACT UTILITY COMPANY FOR RELOCATION.
14. MATCH EXISTING CONCRETE SIDEWALK PER P.A.G. STD. DET. 203.
15. CONSTRUCT SIDEWALK RAMP PER P.A.G. STD. DET. 207 OR SEE ARCHITECTURAL PLANS FOR DETAILS.
16. REMOVE & REPLACE ANY DAMAGED CONCRETE SIDEWALK PER P.A.G. STD. DET. 200.
17. ROOF DRAIN LEADER PER ISM SEC. 7-01.4.3.E SEE NOTE 24, 27 AND ARCHITECTURAL PLANS FOR DETAILS.
18. CONSTRUCT CONCRETE PAVEMENT PER ARCHITECTURAL PLANS.
19. EXISTING RETENTION BASIN TO REMAIN IN PLACE. REPAIR AS NECESSARY TO MATCH EXISTING.
20. INSPECT AND CLEAN EXISTING BASIN AS NECESSARY.
21. INSTALL 7" POCP ON 8" COMPACTED SUBGRADE FOR SCORING AND EXPANSION. SEE VMMN SOILS REPORT DATED 03/05/2018 FOR SCORING AND EXPANSION JOINT SPACING. (VERY HEAVY USE AREAS)
22. GRADE THIS AREA TO MATCH INTO EXISTING GRADES. MAX SLOPE 4:1. SEE LANDSCAPE PLANS FOR GROUND COVER AND PLANTING. DO TO BE SET 1" BELOW TOP OF CURB FOR RAIN HARVESTING SEE DETAIL ON SHEET CG.
23. SAWCUT LINE, REMOVE, AND REPLACE AC PAVEMENT. DISPOSE PER LOCAL CODES. REPLACE AC PAVEMENT IN LIKE KIND. SAWCUT LIMITS SHOWN ON PLAN ARE APPROXIMATE. 2" MIN. OR AS INSPECTOR DETERMINES.
24. INSTALL TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS. SEE WPE PLANS FOR INFORMATION.
25. CONTRACTOR TO EVALUATE CONDITION OF EXISTING PAVEMENT AND REPORT TO OWNER THE RECOMMENDATION FOR REPAIRING OR REPLACEMENT.
26. CONSTRUCT VALLEY GUTTER PER P.A.G. STD. DET. 208.
27. CONSTRUCT GROUDED RIP RAP SPLINAY PER DETAIL ON SHEET CG.
28. CONSTRUCT 4' CURB OPENING. SEE DETAIL SHEET CG.

NOTES:

STATION OFFSETS ORIGINATE 10+00 STARTING AT THE CENTERLINE OF RIVER ROAD TO WEST OF SITE AT A BRASS CAP FLUSH WITH THE PAVEMENT. CONTRACTOR TO CONSULT WITH OWNER FOR LIMITS OF DEMOLITION. SEE DETAIL PLAN TO CONFIRM ALL ITEMS TO BE REMOVED AND ITEMS TO REMAIN.

CONTRACTOR TO CONSULT WITH UTILITY COMPANIES FOR REMOVAL LIMITS AND REQUIREMENTS/COORDINATION FOR PROPER TERMINATION OF ALL EXISTING CONDUITS AND SERVICES.

CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER OF ANY DISCREPANCIES. ALL MATERIALS USED AND INSTALLED SHALL CONFORM TO PAG & COT STANDARD DETAILS.

ALL RAMPAS MUST MEET ADA ACCESSIBILITY GUIDELINES (ADAG) STANDARDS. 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES. DETECTABLE WARNINGS ARE REQUIRED ON ALL RAMPAS PER ADAG SECTION 4.7.7. DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY PER ADAG SECTION 4.29.5.

SEE ARCHITECTURAL SITE PLAN FOR ON-SITE SIGNING AND STRIPING REQUIREMENTS.

CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH AND SIZE OF EXISTING SEWER & WATER PRIOR TO CONSTRUCTION. CONTRACTOR TO ALSO VERIFY LOCATION OF ALL EXISTING UTILITIES BY CONTACTING BLUE-STAKE OR PRIVATE LOCATING COMPANY PRIOR TO CONSTRUCTION.

CAUTION: THE CONTRACTOR SHALL BEGIN SEWER CONSTRUCTION BY CONNECTING TO OFFSITE/EXISTING SEWER AT CONNECTION POINT AS SHOWN ON PLANS AND REPORT ANY DISCREPANCIES IN LOCATION AND SUPPLY EXISTING ELEVATION IMMEDIATELY TO THE ENGINEER PRIOR TO THE START OF NEW SEWER LINE INSTALLATION. THE CONTRACTOR ASSUMES RESPONSIBILITY WHEN DEVIATING FROM THIS STANDARD PROCEDURE, OR NOT VERIFYING THE LOCATION AND/OR DETERMINING THE EXISTING ELEVATION OF ANY AND ALL EXISTING UTILITIES WHERE CONNECTIONS WILL OCCUR.

CONTRACTOR TO INSTALL DG PER LANDSCAPE PLANS. IN PAVEMENT AREAS DG TO BE A MINIMUM OF 1" BELOW TOP OF CURB FOR RAIN HARVESTING.

DEVELOPMENT PACKAGE

CITY OF TUCSON PSD APPROVAL

Shadow Plan Size

Orientation Plan HDZ

SWPPP WASH

FUP Other

DVPKG MGR: _____ Date: _____

Engineering: _____ Date: _____

File: _____ Date: _____

Site: _____ Date: _____

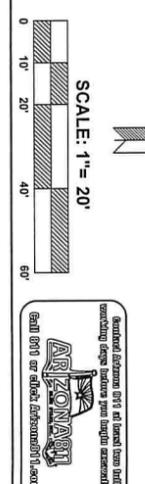
Landscape: _____ Date: _____

PLM: _____ Date: _____

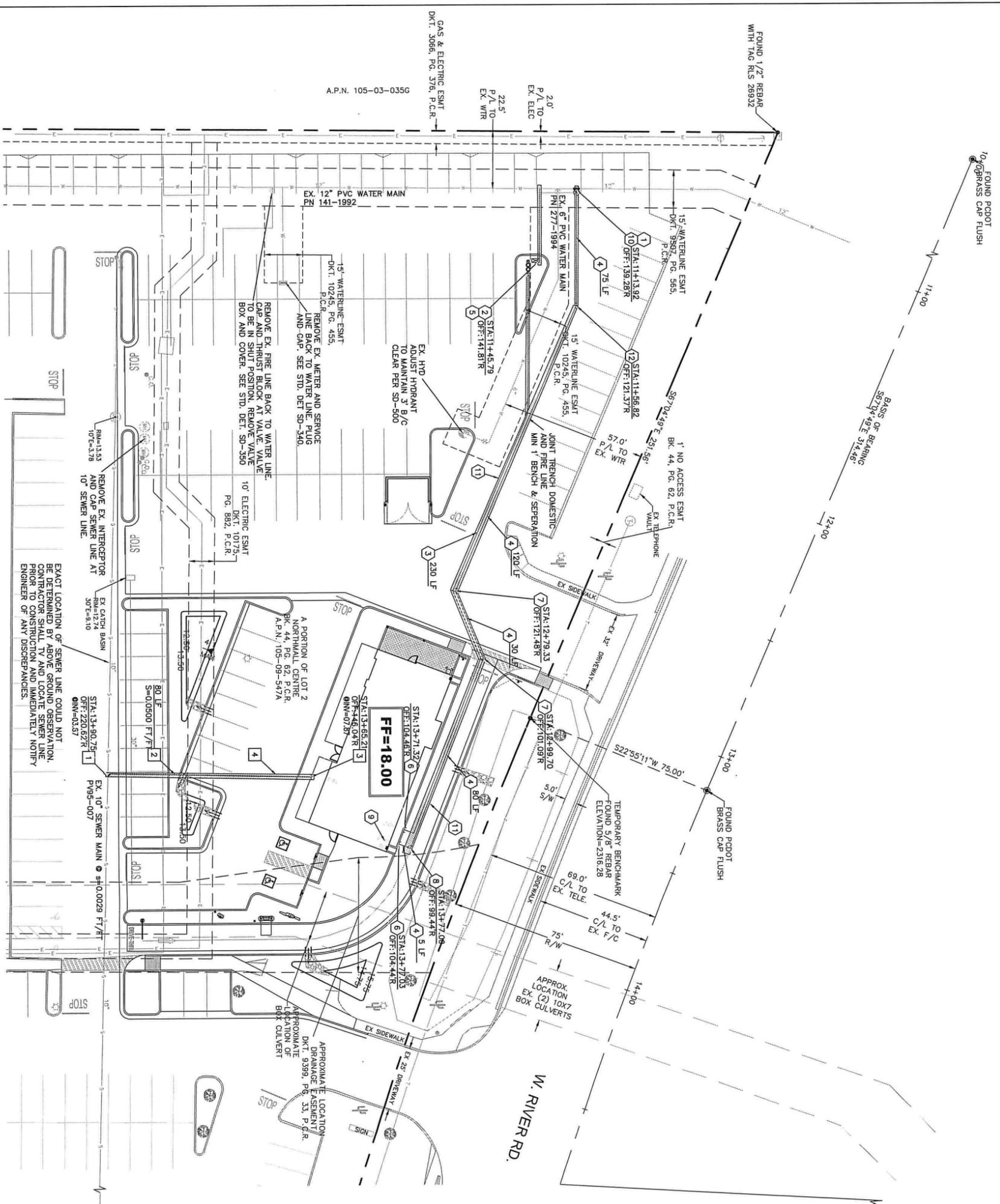
Revision # _____ Date: _____

per letter in shine

CITY CASE NUMBER: DP18-4891 N. STONE AVENUE



SHEET C3 9 of 16	DATE	NO.	REVISION	TEAM	PROJECT		
G&D PLAN SHEET				PROJECT NO: 17-152 DRAWN BY: CB DESIGNED BY: GB REVIEWED BY: SF	STARBUCKS COFFEE NORTHMALL CENTRE 65 W. RIVER RD. TUCSON, AZ 85704	SBL Engineering, L.L.C. ph:602-326-5848 www.sbl-eng.com	SBL Engineering, L.L.C.



WATER & FIRE CONSTRUCTION NOTES

- PRIVATE WATER AND FIRE LINE**
- CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION, SIZE AND TYPE AND NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION IF DIFFERENT THAN SHOWN.
 - INSTALL 2" WATER SERVICE & METER PER C.O.T. STD. DET. SD-309, SD-311, SD-313, SD-340. WATER METER BY CITY OF TUCSON AFTER OPERATIONAL APPROVAL AND PAYMENT OF PREVAILING FEES.
 - INSTALL 2" TYPE K COPPER OR CITY APPROVED EQUAL.
 - INSTALL 6-INCH D.I.P., PRESSURE CLASS 350, OR APPROVED EQUAL POLYETHYLENE WRAPPED PER MSS40, SEC. 1401, LENGTH AS INDICATED ON PLAN. PIPE BEDDING & BACKFILL PER C.O.T. STD. DET. SD-115.
 - INSTALL 2" BACKFLOW PREVENTION (PVB) PER C.O.T. STD. DET. SD-1802.
 - INSTALL PIPE TO WITHIN 5 FEET OF BUILDING OR AS SHOWN ON PLAN.
 - SEE PLUMBING PLAN FOR CONTINUATION.
 - INSTALL 6" 45 BEND, THRUST BLOCKING PER NFPA 24.
 - INSTALL 6" 90 BEND, THRUST BLOCKING PER NFPA 24.
 - BACKFLOW ASSEMBLY DEVICE TO BE PART OF FIRE RISER.
 - INSTALL 10" 6" T.S.V.B.A.C. PER C.O.T. STD. DET. SD-300, SD-309, SD-313. SEE SECTION 1409 OF TMS&D 2017 EDITION.
 - SMCUT TRENCH BACKFILL & REPLACE PAVEMENT PER SD-650 TYPE 2. FINAL PAVEMENT PER NOTE 3 AND 20 ON C3.
 - INSTALL 6" 22-1/2" BEND, THRUST BLOCKING PER NFPA 24.

SEWER CONSTRUCTION NOTES

- CONNECT TO EXISTING SEWER LINE. INSTALL 10" 4" WTE. CONTRACTOR TO EXPOSE AND VERIFY LOCATION AND EXISTING INVERT ELEVATION OF SEWER LINE AND NOTIFY ENGINEER OF FINDINGS.
- INSTALL 4" PVC SCH 40 PIPE OR CITY APPROVED EQUAL. LENGTH AND SLOPE PER PLANS. PIPE INSTALLATION AND BEDDING PER C.O.T. STD. SPEC. 508.
- INSTALL PIPE TO BUILDING OR AS SHOWN. REFER TO PLUMBING PLANS FOR INSTALLATION & CONNECTIONS. INSTALL BACKWATER PROTECTION VALVE. SEE PLUMBING PLANS FOR REQUIREMENTS.
- SMCUT TRENCH BACKFILL & REPLACE PAVEMENT PER SD-650 TYPE 2. FINAL PAVEMENT PER NOTE 3 AND 20 ON C3.

NOTE:

- STATION OFFSET ORIGINATE 10+00 STARTING AT THE CENTERLINE OF RIVER ROAD TO WEST OF SITE AT A BRASS CAP FLUSH WITH THE PAVEMENT.
- WATER LINE TO HAVE A MIN. OF 4'-0" OF COVER UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAINTAIN 2'-0" MIN. VERTICAL CLEARANCE BETWEEN ALL PRIVATE/DRY UTILITY WATER AND SEWER PIPE PER C.O.T. STD. DET. SD-106 & 107 OTHERWISE CONCRETE ENCASUREMENT OF SEWER WILL BE REQUIRED.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL FIRE SPRINKLER PIPING AND APPURTENANCES INCLUDING F.D.C. LOCATIONS WITH THE FIRE SPRINKLER PLANS PRIOR TO CONSTRUCTION.
- ALL VALVE TO THE CONNECTIONS, SHALL BE FLANGED AND M.I.
- FIRE DEPARTMENT CONNECTIONS ON OWN PLAN SET ARE FOR REFERENCE ONLY. PLEASE REFER TO THE APPROVED FIRE SPRINKLER PLANS FOR ACTUAL LOCATIONS.
- CONTRACTOR TO INSTALL ALL PIPE & APPURTENANCES PER MANUFACTURING RECOMMENDATIONS OR PER P&G/C.O.T. STANDARD SPECS - WHICH EVER IS GREATER.

DEVELOPMENT PACKAGE

CITY OF TUCSON PDS APPROVAL

Site/Dev Plan	Size
Site/Dev Plan	HDZ
Site/Dev Plan	SWPPP
Site/Dev Plan	WASH
Site/Dev Plan	Other

DVPKG MGR: _____ Date: _____

Engineering: _____ Date: _____

Site: _____ Date: _____

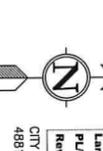
Fire: _____ Date: _____

Landscape: _____ Date: _____

PLUMB: _____ Date: _____

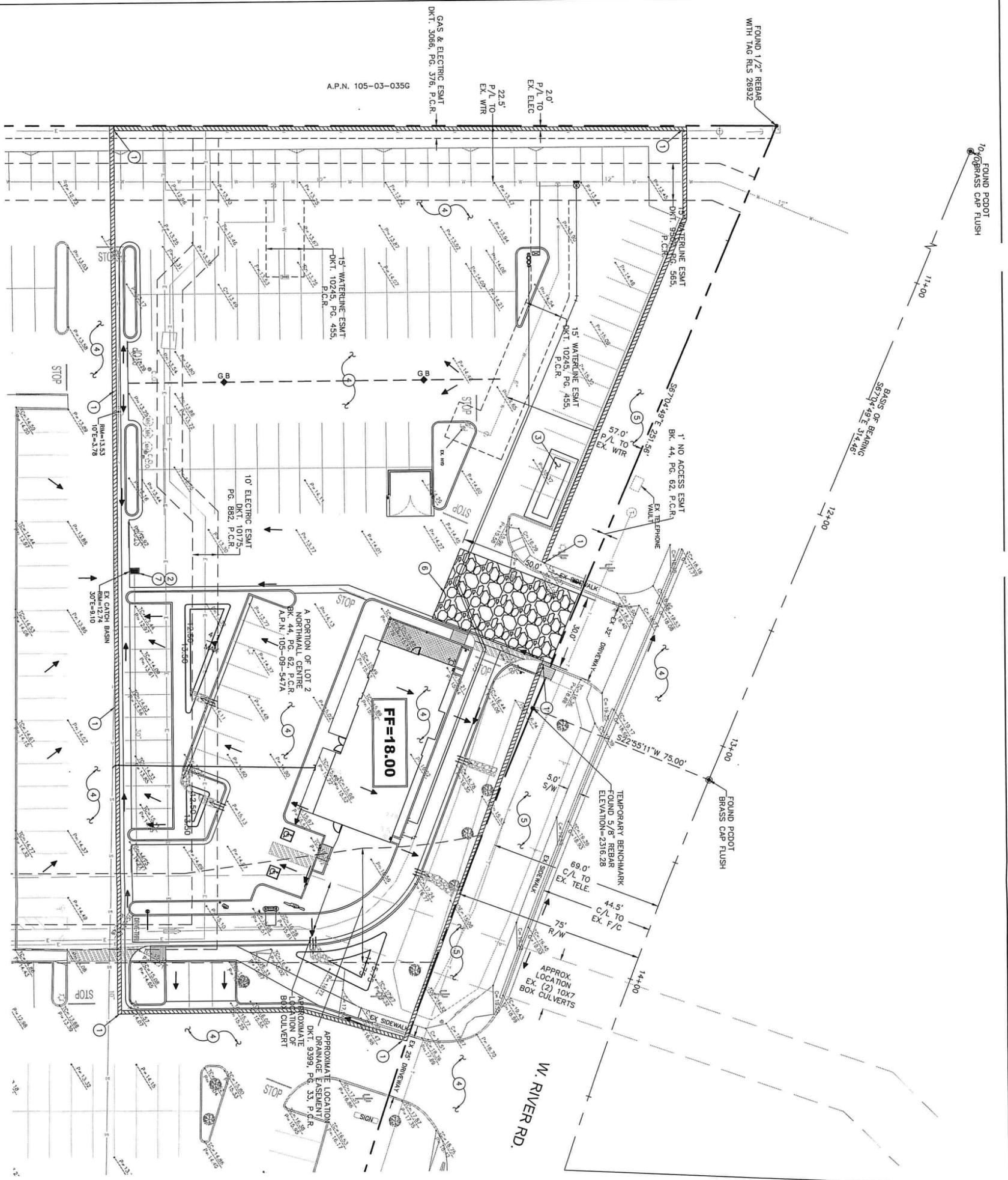
Revision # _____ Per letter in SIRE

CITY CASE NUMBER: DP-18-4881 N. STONE AVENUE



SCALE: 1" = 20'

SHEET C4 10 of 16	DATE	NO.	REVISION	TEAM	PROJECT		
	DATE	NO.	REVISION	TEAM	PROJECT		
W,S,&F PLAN SHEET				PROJECT NO: 17-152 DRAWN BY: CB DESIGNED BY: CB REVIEWED BY: JS	STARBUCKS COFFEE NORTHMALL CENTRE 65 W. RIVER RD. TUCSON, AZ 85704	SBL Engineering, LLC. ph:602-326-5848 www.sbl-eng.com	



FOUND PCDOT
BRASS CAP FLUSH

SEQUENCE OF MAJOR SWAMP ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE & ALL BMP'S.
2. INSTALL STABILIZED GROUND BENCH MARK.
3. FINISH GRADE SITE WHILE PROVIDING POSITIVE DRAINAGE TO BASINS.
4. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
5. FINAL GRADE AND CONSTRUCT ANY BUILDING PAD'S.
6. INSTALL ALL UNDERGROUND UTILITIES. (IF APPLICABLE)
7. CONSTRUCT CURB, GUTTER, AND SIDEWALKS.
8. INSTALL PARKING LOT PAVING AND SIDEWALKS.
9. COMPLETE FINAL GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS IN DESIGNATED AREAS

CONSTRUCTION NOTES

1. INSTALL SILT FENCE OR SEDIMENT MATTE PER SPEC-5
2. INSTALL SANDPILE BARRIER PER SPEC-2
3. WASH BAY/CONCRETE WASH-OFF AREA TO BE INSTALLED BY CONTRACTOR PER GI-4
4. IMPLEMENT DUST CONTROL PER EC-7
5. PROTECT EXISTING BASIN.
6. CONSTRUCT AND MAINTAIN 30' WIDE x 50' LONG STABILIZED CONSTRUCTION ENTRANCE PER EC-6
7. INSTALL CATCH BASIN PROTECTION/FILTER FABRIC PER SPEC-7

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRUCKER PARKING, LAY DOWN, PORT-A-POTTS, WHEEL WASH CONCRETE WASHDOWN, MASTERS' REPORT, FENCE, STORM STORAGE CONTAINERS, SOLID WASTE IN COLLECTION, ETC. THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- PHASE I**
1. DESIGNATE CONSTRUCTION EXIT(S) AND POST SWPPP ENTRANCE SIGN.
 2. INSTALL CONSTRUCTION FENCE(S) ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONSTRUCTION FENCE).
 3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
 4. BEGIN ROUGH GRADING OPERATIONS AND FILLER REMOVAL.

- PHASE II**
1. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 21 DAYS OR MORE.
 2. INSTALL UTILITIES, UNDERDRAINS, CURBS AND GUTTERS.
 3. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS COMPLETED.
 4. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
 8. COMPLETE GRADING AND INSTALLATION OF PERMANENT UNDERDRAINS UPON STABILIZATION OF ALL AREAS.
 9. REMOVE AND RESTORE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
 10. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE CONSTRUCTION MANAGER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMP'S HAVE BEEN COMPLETELY INSTALLED.

MAINTENANCE

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF ANY RAIN EVENT RESULTING IN MORE THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD.
 2. ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
 3. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DESTRUCTION AFTER EACH STORM EVENT. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED AFTER EACH STORM EVENT WHEN THE DEPTH OF SEDIMENT IS GREAT ENOUGH TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.



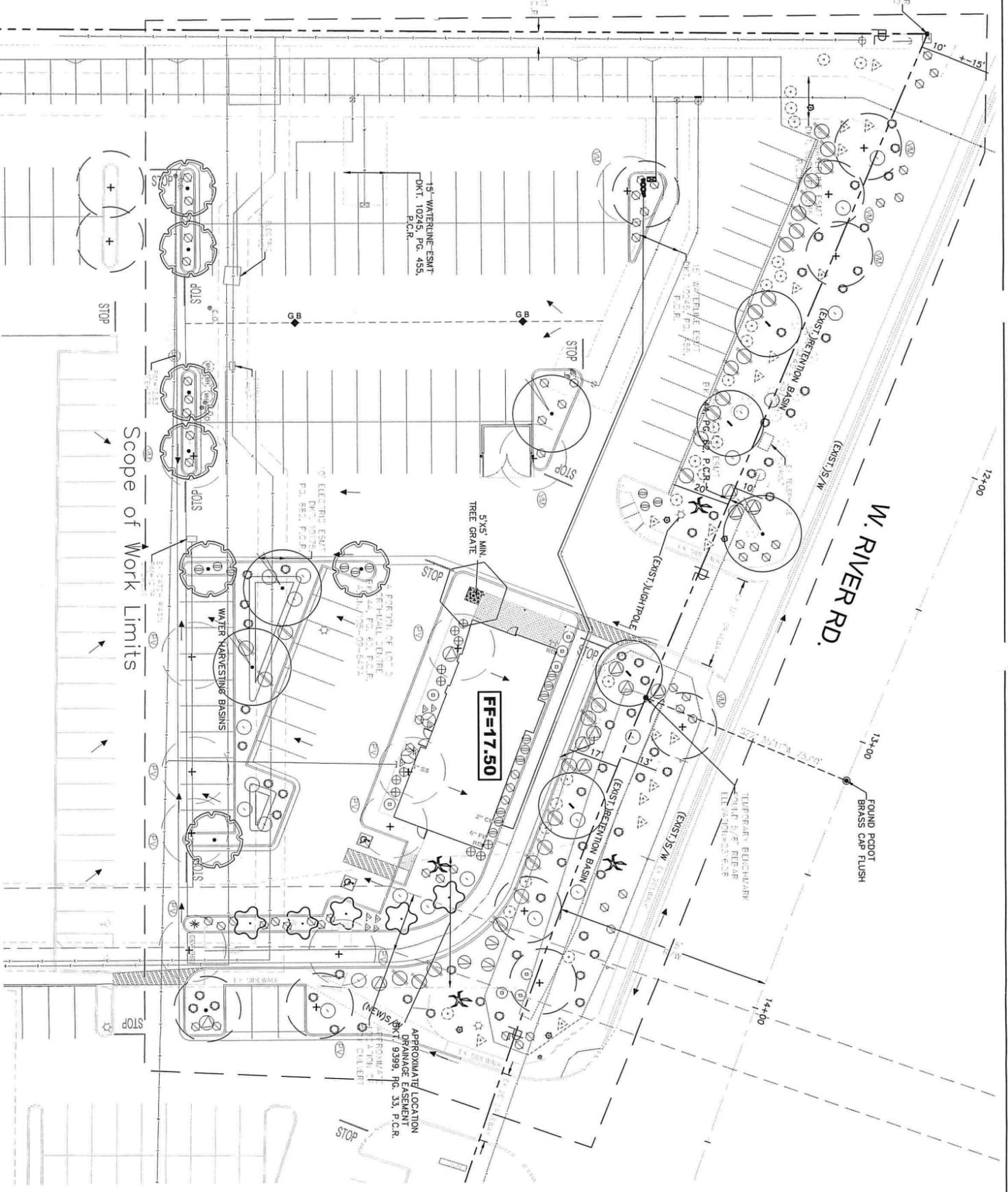
SCALE: 1" = 20'



CITY OF TUCSON		DEVELOPMENT PACKAGE	
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<input type="checkbox"/> Grading	<input type="checkbox"/> SWPPP	<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
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Engineering	Date	Engineering	Date
HIC Site	Date	HIC Site	Date
Fire	Date	Fire	Date
Landscape	Date	Landscape	Date
PLM	Date	PLM	Date
Revision #	Date	Revision #	Date

CITY CASE NUMBER: DP-18-4881 N. STONE AVENUE

SHEET C5 11 of 16	DATE	NO.	REVISION	TEAM	PROJECT			<p>STARBUCKS COFFEE NORTHMALL CENTRE 65 W. RIVER RD. TUCSON, AZ 85704</p>	<p>SBL Engineering, LLC. ph:602-326-5848 www.sbl-eng.com</p>
SWMP PLAN SHEET					<p>THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF SBL ENGINEERING LLC AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE CIVIL ENGINEER.</p>				



City of Tucson
 Department of Transportation
 Standard Notes for Planting in ROW

1. It is the owner's responsibility to keep the Sight Visibility Triangles(SVT) and the pedestrian access area clear of vegetation at all times, per Land Use Code(LUC) section.
2. It is the owner's responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.
3. It is the owner's responsibility to keep vegetation from growing past the curb line clear, and keep a 15' high clear zone over the travel lane.
4. Final plant locations must be in compliance with all utility setback requirements.
5. The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the ROW in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
6. The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
7. The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property(excluding water meter)
8. Contractor to obtain a Right of Way permit prior to construction within the ROW.

Sheet Index	
L-1	Landscape Plan
L-2	Irrigation Plan
L-3	L & I Details
L-4	L & I Specifications

LANDSCAPE ARCHITECT/ CITY OF TUCSON

DATE

(Existing Plant Legend)

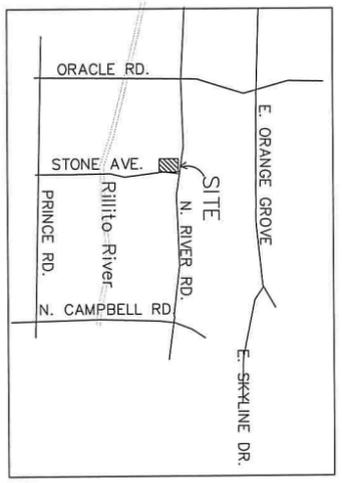
Tree Health/Salvageability—not determined (X) P=Palto Verde
 (EX) TREE(To Remove in Place-UN.O.) (X) VM=Valvet Mesquite
 (EX) TREE(Salvaged-New Location)
 (EX) TREE(To be Transplanted or Destroyed-UN.O.)SALVAGEABILITY STATUS NOT YET DETERMINED
 (EX) ASACENT Plant(To Remain-UN.O.)
 (EX) SHRUB(To Remain-UN.O.)
 (EX) SHRUB(REMOVE as Non-Native or per new SitePlan-UN.O.)

Plant Schedule

(PLANT PALETTE SUBJECT TO CITY OF TUCSON SCENIC CORRIDOR designation-LANDSCAPE REQUIREMENTS)
 Svm. Botanical/Common Name Ont. Size Remarks

Parkinsonia florida/ blue palo verde	7	24"Bx.	Multi-trunk
Prosopis velutina/ arizono-valvet mesquite	4	24"Bx.	Multi-trunk
Acacia small/ sweet acacia	4	24"Bx.	Multi-trunk
Chilopsis linearis/ desert willow	1	24"Bx.	Standard
Fouquieria splendens/ ocotillo	4	24"Bx.	5 coin minimum
Dodonaea viscosa/ hopseed bush	5	5g.	
Dasyliyon wheeleri/ sold	11	5g.	
Opuntia Santa Rita/ purple pricklypear	3	5g.	
Ceanothus gillilandii/ max. yellow bird	2	5g.	
Dalea pulchra/ pea bush	5	5g.	
Leucopodium trid. Green Cloud/ texas sag	30	5g. (or match existing along W. River Rd.)	
Callitriche eriophylla/ pink forgetyuster	22	5g.	
Ambrosia deltoidea/ triangle-leaf bursera	54	5g.	
Salvia greggii/ autumn sage	11	5g.	
Agave geminiflora/ two-flower agave	61	5g.	
Asclepias subulata/ desert milkweed	12	5g.	
Melampodium leucanthum/ blackfoot daisy	9	1g.	

Decomposed Granite in existing landscape areas to remain-Unless Noted Otherwise
 Decomposed Granite in new landscape areas to match color-size of existing-UN.O.



Vicinity Map

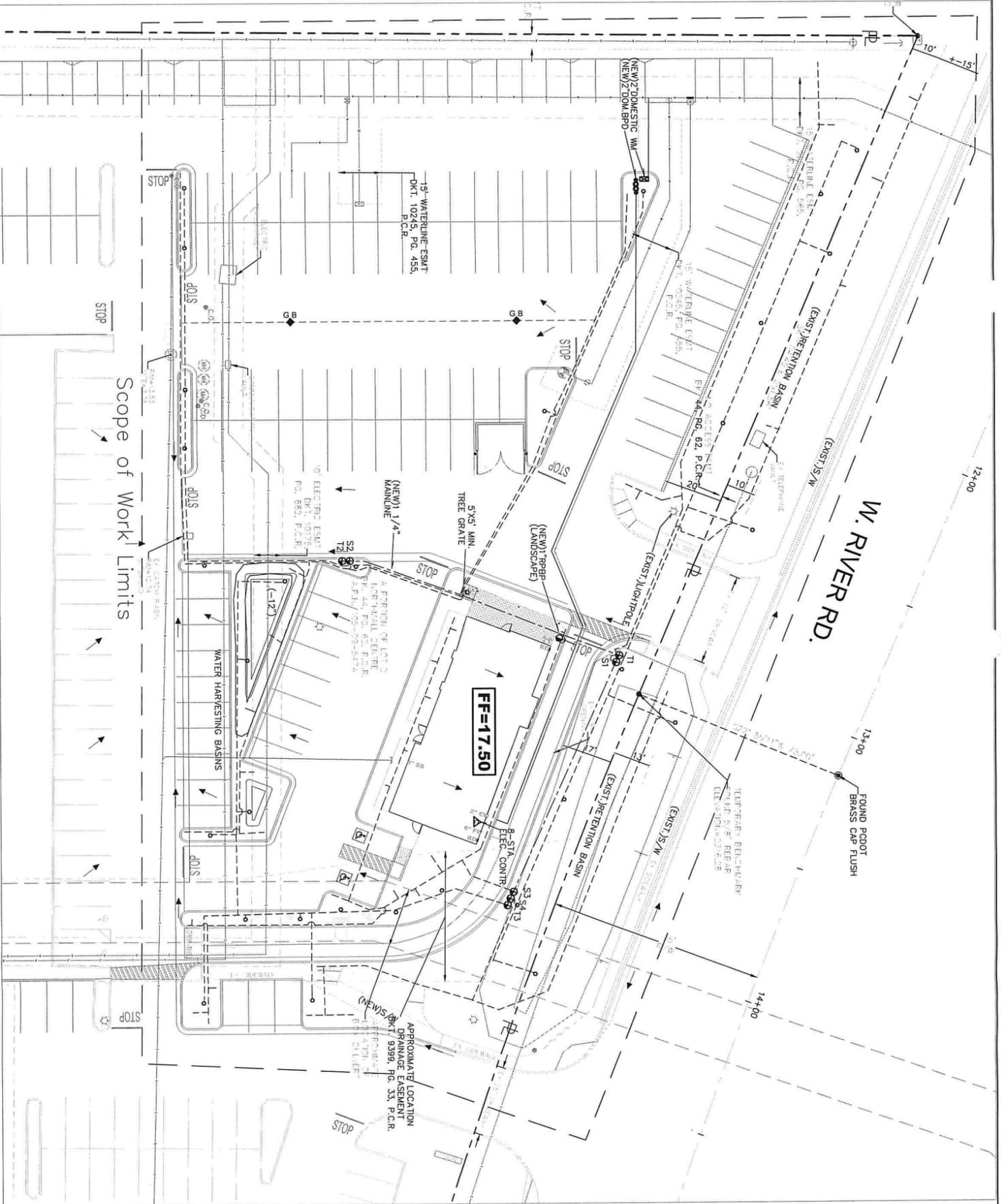
PRELIMINARY-NOT FOR CONSTRUCTION



Landscape Plan

SCALE: 1"=20'-0"

SHEET	DATE	NO.	REVISION	TEAM	OWNER	PROJECT	<p>Starbuck's Northmall Centre 65 W. River Rd. Tucson, Az.</p>	<p>KILUP LAND PLANNING,LLC LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING 1504 N. HAWAII BLVD DRIVE GILBERT, AZ 85234 (602) 555-3651</p>
L-1					THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF MERCHANT DESIGN GROUP AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.	<p>Merchant Design Group Project Management 588 N. Jackson St. Gilbert, AZ 85233 480.459.6365 merchantdesigngroup.com info@merchantdesigngroup.com</p>	<p>REGISTERED PROFESSIONAL ARCHITECT 27436 THOMAS J. KILUP 4.19.18 STATE OF ARIZONA Exp. 9.30.20</p>	

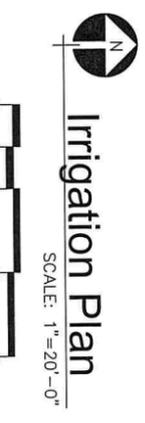


IRRIGATION SCHEDULE

Sym.	Part No.	Mfg./Description
⊠	(New) 2"	DOMESTIC WATER METER (every size)
⊕	(New) 2 1/2"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 3"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 4"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 6"	Reduced Pressure Backflow Preventer (RPBP)
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⊕	(New) 1152"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1158"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1164"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1170"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1176"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1182"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1188"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1194"	Reduced Pressure Backflow Preventer (RPBP)
⊕	(New) 1200"	Reduced Pressure Backflow Preventer (RPBP)

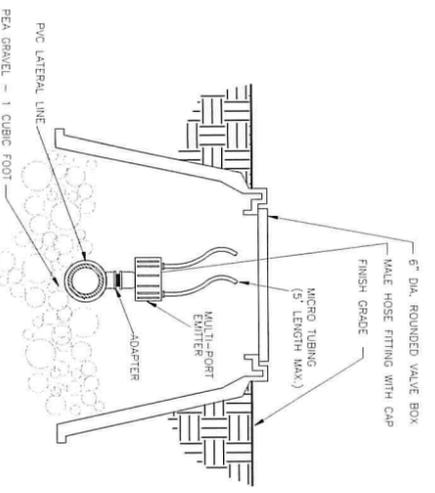
GENERAL IRRIGATION NOTES:

- 1) Verify site boundary conditions. Call BLUE STAKE CENTER at (602)263-1100 for pre-marking utilities. If discrepancy exists, contact Landscape Arch. or Authorized Rep. Adjust/reconnect as req'd. new valves, mainline piping, etc. w/ exist. system for proper operation.
- 2) Irrigation system is designed for 60" p.s.i. Contractor will verify pressure at site prior to starting installation. Should a discrepancy exist between design pressure and field pressure, the Landscape Architect or Owner's Authorized Representative shall be notified immediately.
- 3) Plans are diagrammatic and approximate. All valves shall be located in planting areas and all piping shall be installed prior to paving work. No trees, shrubs or other plants shall be installed under paving. Cap all ends hand tight prior to backfilling. Use common trenches and/or existing piping/sleeving when possible as req'd. for proper operation of system.
- 4) Coordinate irrigation work with planting, lighting, etc. to avoid conflicting locations between piping and plant pits, etc.
- 5) All materials to be installed as per details on drawings. Pre-approval of any installation changes required in writing. Any deviation from drawings and/or specifications are to be approved by the Landscape Architect or Owner's Authorized Rep. prior to any work.
- 6) Install Reduced Pressure Backflow Preventer (RPBP) per local code. (Min. 12" above highest head) If new RPBP is required.
- 7) Install all valves in valve boxes (Max. 2 valves per box).
- 8) 110V power required for controller. Power by Contractor.
- 9) Schedule 40 PVC pipe to be used for sleeve material to be 3 sizes larger than enclosed pipe.
- 10) Where trees, light standards, etc. are an obstruction of sprays, piping & sprinklers, heads shall be adjusted and/or relocated as necessary to provide at each head the arc most suited to provide adequate coverage as well as prevent overspray on walks, roads, bldg, etc.
- 11) If it becomes necessary to relocate or alter the location of sprinkler heads, valves, piping, etc. due to changes in site conditions, the Contractor shall obtain written approval by Landscape Architect or Owner's Rep. and those changes to be reflected on "As-Built" drawings locating all irrigation equipment and existing conditions.

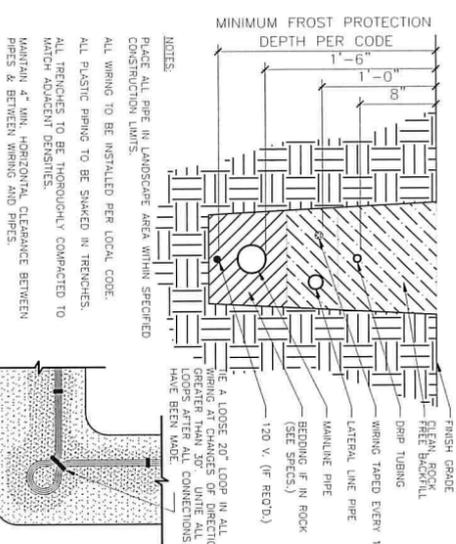


SHEET	DATE	NO.	REVISION	TEAM	OWNER	PROJECT	<p>Starbuck's Northmall Centre 65 W. River Rd. Tucson, Az.</p>	<p>merchantdesigngroup.com www.merchantdesigngroup.com</p>	<p>KLIP LAND PLANNING, LLC LANDSCAPE ARCHITECTURE PLANNING 1504 N. HAWAII BLVD GILBERT, AZ 85233 (602) 555-3551</p>	<p>KLIP LAND PLANNING, LLC 27436 THOMAS J. KLIP 5.15.18 ARCHITECT REG. NO. 10001 EXPIRES 9.30.20 www.klipplanning.com</p>

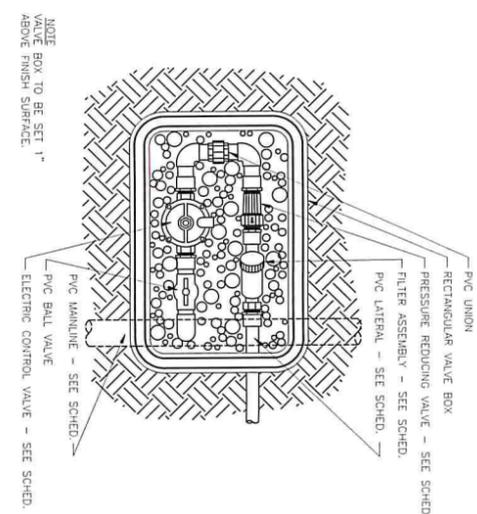
L-2
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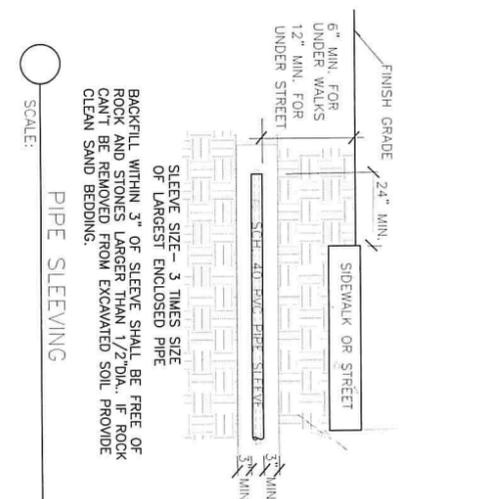
MULTI-PORT EMITTER / VALVEBOX
SCALE: NOT TO SCALE



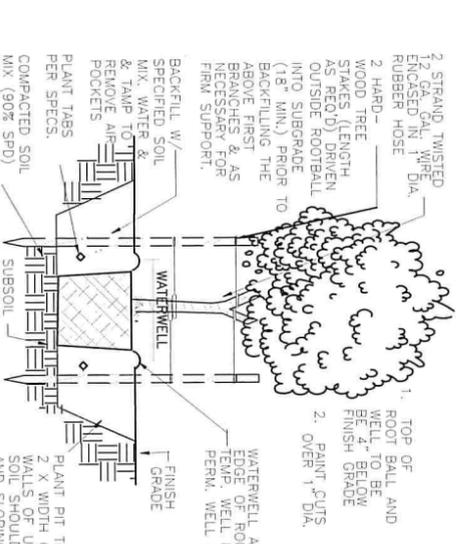
TRENCHING
SCALE: NOT TO SCALE



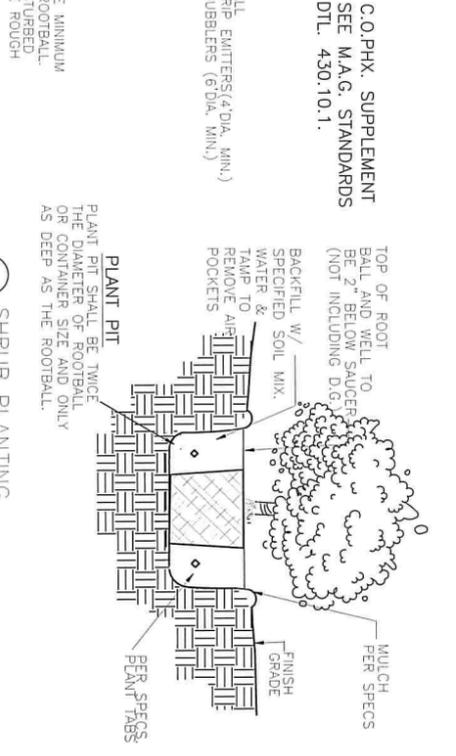
DRIP VALVE ASSEMBLY
SCALE: NOT TO SCALE



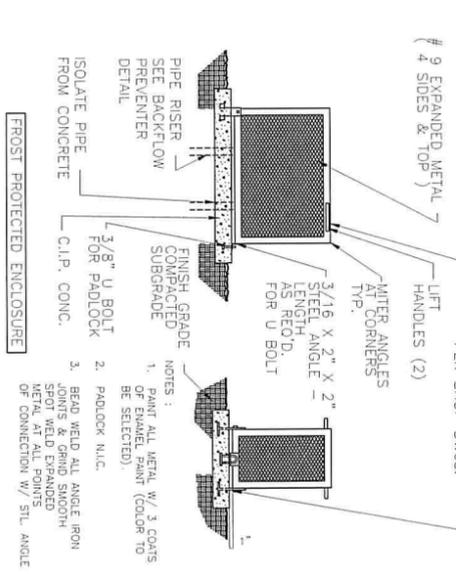
PIPE SLEEVING
SCALE: NOT TO SCALE



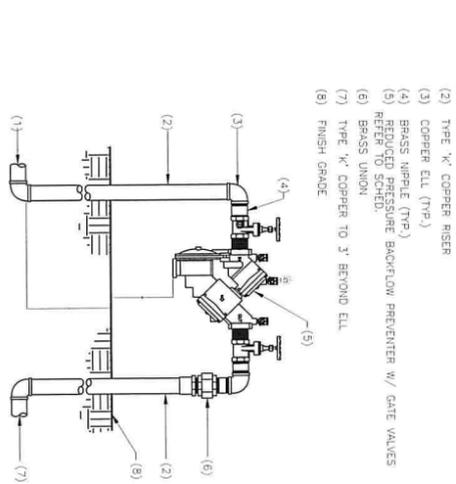
TREE PLANTING
SCALE: NOT TO SCALE



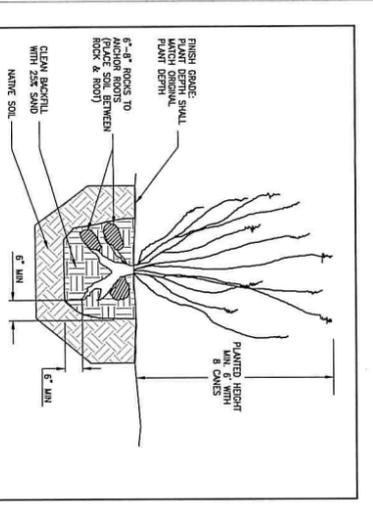
SHRUB PLANTING
SCALE: NOT TO SCALE



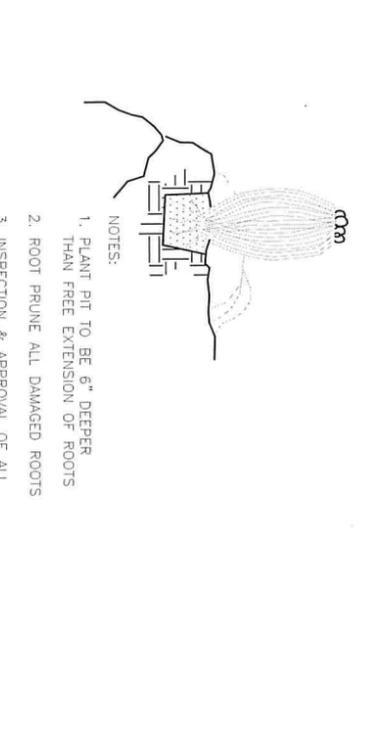
FROST PROTECTED ENCLOSURE
SCALE: 1/2" = 1'-0"



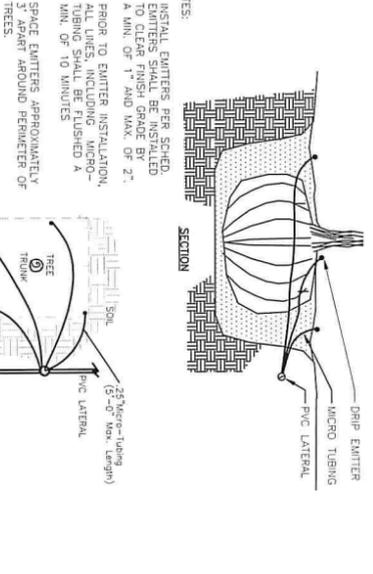
R.P. BACKFLOW PREVENTER
SCALE: NOT TO SCALE



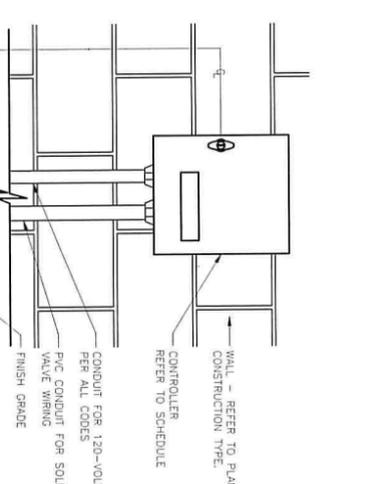
Ocotillo PLANTING
SCALE: NOT TO SCALE



BARREL, PRICKLY PEAR AND HEDGEHOG
SCALE: NOT TO SCALE



TREE WATERING DIAGRAM
SCALE: NOT TO SCALE



CONTROLLER
SCALE: NOT TO SCALE

KILIP LAND PLANNING, LLC
LANDSCAPE ARCHITECTURE
PLANNING
1909 N. HWY. 190, SUITE 100
TUCSON, AZ 85724
(520) 955-3881

REGISTERED ARCHITECT
THOMAS J. KILIP
5.15.18
AZ ARCHITECTS BOARD

Exp: 9.30.20
Multiple Licenses Held
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Merchont Design Group
Project Management

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Gilbert, AZ 85233
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www.kiliplandplanning.com

Starbucks
Northmall Centre
65 W. River Rd.
Tucson, Az.

OWNER
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L & I Details

