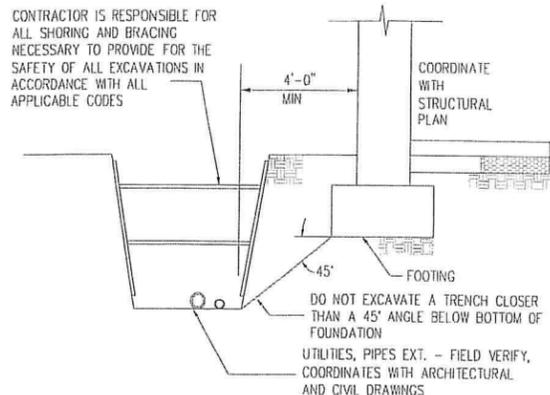
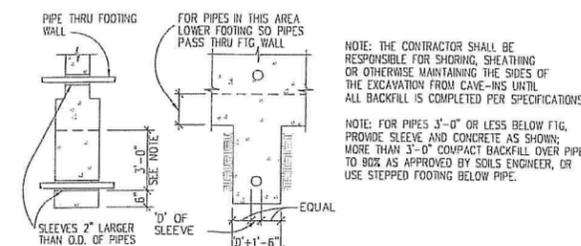


# SINGLE FAMILY RESIDENCE

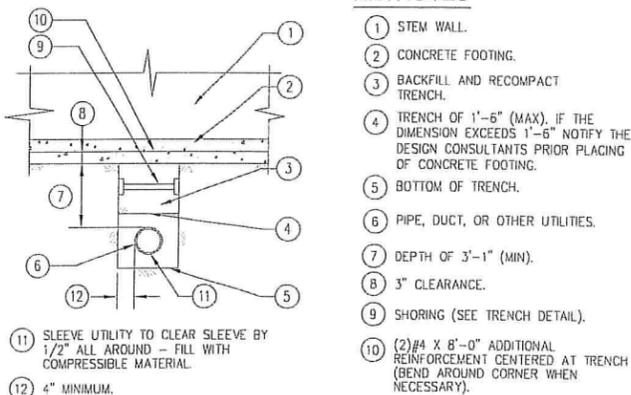
115 S. SILVERBELL AVE  
TUCSON, ARIZONA 85745



**(A) TYPICAL TRENCH DETAIL** NOT TO SCALE



**(B) FOOTING PENETRATION DETAIL** NOT TO SCALE



**(C) TYPICAL TRENCH DETAIL UNDER STEM WALL** NOT TO SCALE

### GENERAL NOTES:

UNIMPROVED DISTURBED AREAS RESULTING FROM OPERATIONS ON THIS LOT SHALL BE RESTORED TO THEIR NATURAL STATE BY UTILIZING DROUGHT-RESISTANT VEGETATION AS STATED BY PINAL COUNTY ZONING CODE. ALL UTILITY TRENCHES AND/OR LEACH FIELDS ARE TO BE RESTORED TO THEIR ORIGINAL NATURAL CONDITIONS.

EXCESS SOIL GENERATED FROM EARTHWORK OPERATIONS SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED OF, OR, IF ALLOWED AND APPROVED BY THE TOWN ENGINEER, SITE MATERIAL MAY BE PLACED SO AS TO BECOME AN INTEGRAL PART OF THE SITE DEVELOPMENT, ALL IN ACCORDANCE WITH THE PINAL COUNTY DEVELOPMENT DEPARTMENT.

CUT AND FILL SLOPES AND SLOPE TREATMENT TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE ACCEPTED GEOTECHNICAL ENGINEERING INVESTIGATION

EXCESS SOIL MATERIAL GENERATED FROM THE EARTHWORK OPERATIONS SHALL NOT BE DISPOSED OF BY PUSHING OR PLACING SAID MATERIAL INTO THE AREAS DESIGNATED AS 100 YEAR FLOODPLAIN AREAS. (IF APPLY)

Contact Arizona 811 at least two full working days before you begin excavation



Call 811 or click Arizona811.com

### KEYNOTES (UTILITIES)

- (A) (N) WATER METER COORDINATE WITH TUCSON WATER DEPARTMENT & PLUMBING PLAN
- (B) (N) 1-1/4" W. CPVC SGA-40
- (C) (N) COMPRESSOR WITH 6" X 6" TEP ESMT COORDINATE WITH TEP COMPANY
- (D) (N) 200 A SERVICE & 200 A PANEL UNDERGROUND ELECT COORDINATE WITH TEP COMPANY
- (E) (N) MSOV SEE PLUMBING PLAN

### KEYNOTES (STREET)

- (F) RIGHT OF WAY PERMIT
- (G) (N) PAVEMENT
- (H) (N) PATCH AND PAVEMENT CONNECTION TO (E) PAVEMENT
- (I) (E) PAVEMENT VERIFY IN FIELD

### KEYNOTES (DEMOLITION)

- (J) REMOVE EXISTING CHAIN LINK FENCE VERIFY IN FIELD

### KEYNOTES (SITE)

- (1) 6 FT HT THROUGHT IRON FENCE (CUSTOM)
- (2) 12 FT WIDE X 6 FT HT WROUGHT IRON GATE (SLIDING) (SOLAR POWER) OR EQUAL INSTALL PER MANUFACTURER SPECIFICATIONS
- (3) CONC. DRIVEWAY WITH PAVERS (CUSTOM)
- (4) CONC. STOOP (LANDING)
- (5) FUTURE LOCATION OF SOLAR INVERTER
- (6) INCLUSIVE HOME ORDINANCE MAIN ACCESS FROM STREET
- (7) DIRECTION FLOW
- (8) GRADING LIMIT (SEE TABLE) 5 FT FROM EDGE OF BUILDING
- (9) 6 FT MIN. SETBACK SINGLE STORY

### BASIS OF BEARING

S 6 11' 30" E DOCKET 10262 PAGE 3505  
(R) RECORDED DIMENSION DOCKET 10262 PAGE 3505  
1/2" REBAR TAGGED R.L.S. 52699

### R-2 ZONING

TYPE	REQUIRED	PROVIDED
LOT	5,000 SF	5,200 SF
UNIT	1	1 SFR
LOT COV	75%	29%
HT	25 FT	20 FT
SETBACKS		
FRONT	20 FT	20 FT
SOUTH	6 FT/13.33'	8 FT/14 FT
EAST	6 FT/13.33'	8 FT/14 FT
NORTH	6 FT/13.33'	36'-2"

DRIVEWAY AREA (610 SF)

The minimum setback to the front street/perimeter property line is the greater of twenty (20) feet, or one and one-half (1 1/2) the height of the proposed wall (UDC 6.4.5.C.1.a). The owner proposes to construct a new Single Family Dwelling on this vacant parcel. The proposed structure is a Two Story building with a maximum building height of 20'-6". The structure has been designed to comply with the interior perimeter building setbacks, however, the front perimeter or street perimeter building setback will require approval through a Design Dev elopment Option before zoning can approve the plans. The required building setback from the street property line must be a minimum of 32'-3" based on the proposed 21'-6" height of the parapet wall from design grade.

### GENERAL NOTES & SITE WORK

ALL WORK SHALL CONFORM WITH REQUIREMENT OF THE LOCAL GOVERNING BUILDING CODE, LOCAL ZONING CODE, NATIONAL ELECTRIC CODE, N.E.P.L.A., OSHA, AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS ALL IN THEIR LATEST EDITION OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE. THE G.C./OWNER TO COMPLY WITH THESE REGULATIONS.

THE G.C./OWNER SHALL SUPERVISE AND DIRECT THE WORK, USING THERE BEST SKILL AND ATTENTION. THE G.C./OWNER SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE G.C./OWNER SHALL EMPLOY A COMPETENT SUPERINTENDENT WHO SHALL BE IN ATTENDANCE AT THE PROJECT SITE DURING THE PROGRESS OF THE WORK. THE SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR AND ALL COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO THE G.C./OWNER

THE G.C./OWNER SHALL FAMILIARIZE HIMSELF WITH THE PROJECT THROUGH INSPECTION OF THE SITE, THE DRAWINGS AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK. ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED AND CLARIFICATION OBTAINED FROM THE OWNER PRIOR TO THE WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST FOR SAME BEING BORNE BY THE CONTRACTOR. THE G.C./OWNER SHALL VERIFY ALL DIMENSIONS FOR COORDINATION.

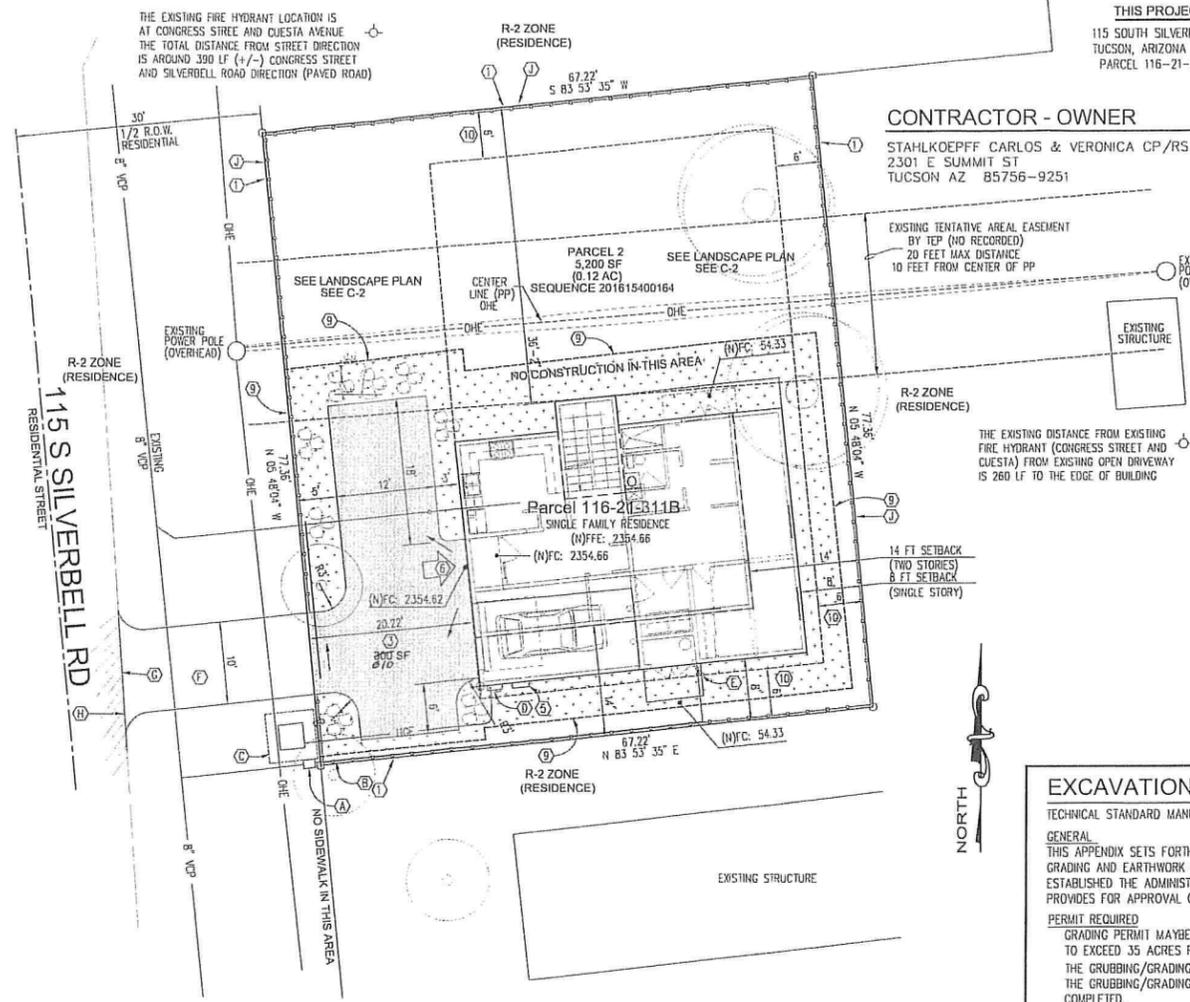
THE CONTRACTOR IS RESPONSIBLE FOR ASSURING PROPER AND ADEQUATE DRAINAGE.

### BENCH MARK ELEVATION

ELEV = 2357.577' MAX FROM BS 5.624  
ELEV = 2352.103

1 FT NORTH OF BLOCK WALL ON DUMPSTER PAD, N/W CORNER OF E/W ALLEY NORTH OF CONGRESS STREET ON SILVERBELL AVE

EXISTING SILVERBELL AVENUE, PAVING PLAN UNDER 5-2003-016



### SITE PLAN

SEE DETAIL A, B AND C IN THIS PAGE  
THIS PROJECT WILL COMPLY WITH UDC-2012

### PAVING AND GRADING NOTES

- 1 ALL CONSTRUCTION AND TEST METHODS SHALL BE IN ACCORDANCE WITH PINAL COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (PC/COT SSP) 2003 EDITION.
- 2 ALL CONCRETE SHALL COMPLY TO PC/COT SSP SECTION 1006, CLASS S, 2,800 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- 3 THE CONTRACTOR SHALL FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY.
- 4 A SOIL ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTH-WORK AND PAVING OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUB-GRADE, PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACK FILL; TOGETHER WITH PLACEMENT AND COMPACTION OF FILL, PARKING ARE SURFACING, PAVING AND CONCRETE WORK.
- 5 THE CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVE, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLES AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RINGS AND COVERS TO FINISHED GRADE. (IF APPLICABLE).
- 6 EXCAVATION AND BACKFILL FOR STRUCTURE SHALL CONFORM TO PC/COT SSP, SECTION 203-5.
- 7 AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT SSP SECTION 303. ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSP.
- 8 ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSP SECTION 406, MIX N- #2 (SUBDIVISION MIX 4.0% VOIDS), MIX N #2 (ARTERIAL MIX 5.5% VOIDS).

### EXCAVATION & GRADING

TECHNICAL STANDARD MANUAL SECTION 2-01.0.0 (UDC-2012)

GENERAL  
THIS APPENDIX SETS FORTH RULES AND REGULATIONS TO CONTROL EXCAVATION, GRADING AND EARTHWORK CONSTRUCTION, INCLUDING FILLS AND EMBANKMENTS; ESTABLISHED THE ADMINISTRATIVE PROCEDURE FOR ISSUANCE OF PERMITS; AND PROVIDES FOR APPROVAL OF PLANS AND INSPECTION OF GRADING PERMIT.

PERMIT REQUIRED  
GRADING PERMIT MAYBE BE ISSUED FOR SINGLE OR MULTIPLE BUILDING SITES, NOT TO EXCEED 35 ACRES PER PERMIT  
THE GRUBBING/GRADING AND CONSTRUCTION OF A SITE SHALL BE CONTINUOUS UNTIL THE GRUBBING/GRADING AND CONSTRUCTION ON THAT BUILDING SITE AREA COMPLETED.

GENERAL REQUIREMENTS CRITERIA FOR FILL  
IT APPLIES TO ALL NON-RESIDENTIAL DEVELOPMENTS WITH LOTS THAT ARE LESS THAN 24,000 SQUARE FEET, THAT ARE ADJACENT TO AN EXISTING RESIDENTIAL DEVELOPMENT OR RESIDENTIALLY ZONED PROPERTY.

PREPARATION OF THE GROUND  
FILL SLOPES SHALL NOT BE CONSTRUCTED ON NATURAL SLOPE STEEPER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE). THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NON-COMPLYING FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL AND, WHERE SLOPES ARE STEEPER THAN 1 UNIT VERTICAL IN 5 UNITS HORIZONTAL (20% SLOPE) AND THE HEIGHT IS GREATER THAN 5 FEET, BY BENCHING INTO SOUND BEDROCK OR OTHER COMPETENT MATERIAL AS DETERMINED BY A SOIL ENGINEER.

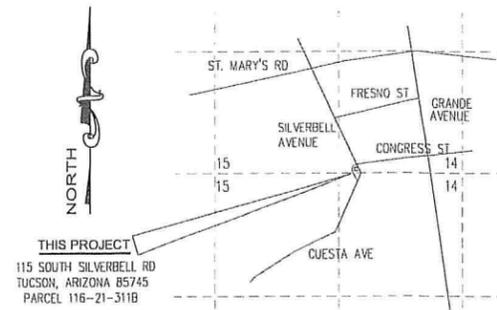
THE BENCH UNDER THE TOE OF A FILL ON A SLOPE STEEPER THAN 1 UNIT VERTICAL IN 5 UNITS HORIZONTAL (20% SLOPE) SHALL BE AT LEAST 10 FEET WIDE. THE AREA BEYOND THE TOE OF FILL SHALL BE SLOPED FOR SHEET OVERFLOW OR A PAVED DRAIN SHALL BE PROVIDED. WHEN FILL IS TO BE PLACED OVER A CUT, THE BENCH UNDER THE TOE OF THE FILL SHALL BE AT LEAST 10 FEET WIDE BUT THE CUT SHALL BE MADE BEFORE PLACING THE FILL AND ACCEPTANCE BY THE SOIL ENGINEER OR ENGINEERING GEOLOGIST OR BOTH AS A SUITABLE FOUNDATION FOR FILL.

DRAINAGE AND TERRACING  
UNLESS OTHERWISE INDICATED ON THE APPROVED GRADING PLAN, DRAINAGE FACILITIES AND TERRACING SHALL CONFORM TO THE PROVISIONS OF THIS SECTION FOR CUT AND FILL SLOPES STEEPER THAN 1 UNIT VERTICAL IN 3 UNITS HORIZONTAL (33.3% SLOPE)

"ALL DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AS DESIGNED AND SHALL CONFORM TO PLANS APPROVED BY THE JURISDICTION, AND IN NO CASE SHALL BE DRAINAGE BE ALTERED AS TO HOW THE WATER ENTERS THE PROPERTY FROM THE ADJACENT PARCEL OR EXITS THE CONSTRUCTION SITE WITHOUT WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND GOVERNMENT AGENCIES".

SUBSURFACE DRAINAGE  
CUT AND FILL SLOPES SHALL BE PROVIDED WITH SUBSURFACE DRAINAGE AS NECESSARY FOR STABILITY.

DISPOSAL  
ALL DRAINAGE FACILITIES SHALL BE DESIGNED TO CARRY WATERS TO THE NEAREST PRACTICABLE DRAINAGE WAY APPROVED BY APPROPRIATE JURISDICTION AS AS SAFE PLACE TO DEPOSIT SUCH WATERS, EROSION OF NON-EROSIVE DOWNDRAIN OR OTHER DEVICES. BUILDING PADS SHALL HAVE A DRAINAGE GRADIENT OF 2% TOWARD APPROVED DRAINAGE FACILITIES.



### LOCATION MAP

3" = 1 MILE  
WLY PTN FRACTIONAL LOT 9 LYG NLY BLK 3  
MENLO PARK ANNEX .12 AC SEC 14-14-13

### APPLICABLE CODE:

2012 INTERNATIONAL RESIDENTIAL CODE  
2012 U.D.C.

### CONSULTANT (S):

SAMA ENGINEERING (BEAM DESIGN)  
J. D AND S MANUAL

### RESIDENCE AREA

1ST FLOOR	948 SF (1)	V-B CONST
FRONT PORCH	24 SF	V-B CONST
GARAGE	248 SF	V-B CONST
2ND FLOOR	843 SF (1)	V-B CONST
BALCONY	318 SF	
(1) SMOKE DETECTOR (CO-2 COMBO)		
DRIVEWAY	300 SF	

### CUT/FILL CALCULATIONS

CUT	5 CY (+/-)
FILL	35 CY (+/-)
TOTAL	30 CY (+/-) CUT AVERAGE

### GRADING LIMIT (SQ FTG)

GRADING LIMIT 2,910 SF

### REVISION

- 1 SITE PLAN REVISION COT COMMENTS
- 2

### DRAWING INDEX:

- C-1 SITE PLAN
- C-2 LANDSCAPE PLAN
- C-3 SURVEY PLAN

- A-1 FLOOR PLAN
- A-2 ROOF PLAN
- A-3 ELEVATIONS
- A-4 DETAILS
- A-5 GENERAL NOTES

- S-1 FOUNDATION PLAN
- S-2 WALL FIRM PLAN
- S-3 ROOF PLAN
- S-4 SECTIONS
- S-5 SECTIONS
- S-6 STRUCT. PLANS

- T-1 REFERENCE PLAN
- T-2 REFERENCE PLAN
- T-3 REFERENCE PLAN

- P-1 PLUMBING PLAN
- P-2 PLUMBING PLAN
- P-3 DETAILS

- M-1 MECH. PLAN
- M-2 DETAILS & NOTES
- M-3 DOCUMENTS

- E-1 ELECTRICAL PLAN
- E-2 NOTES & CALCULAT.

- R (C)

OWNER/DEVELOPER:  
STAHLKOEPPF CARLOS & VERONICA  
2301 E SUMMIT ST  
TUCSON AZ  
DWGS BY  
J.A.C.A. DESIGN L.L.C.  
DRAFTING SERVICES  
TUCSON, ARIZONA  
www.jacacadesign.com  
info@jacacadesign.com  
tel: (520) 809-4062

JOB. NO. 33-2K18  
STAR DATE 20 JUN 2018

PROJECT:  
SINGLE RESIDENCE

115 S SILVERBELL AVE  
TUCSON, ARIZONA 85745

Parcel 116-21-311B

LEGAL DESCRIPTION  
WLY PTN FRACTIONAL LOT 9  
LYG NLY BLK 3  
MENLO PARK ANNEX .12 AC  
SEC 14-14-13  
SITE (0.12 AC) 5,200 SF  
SEQUENCE 20161540164

SHEET NO.  
C-1  
OF SH.

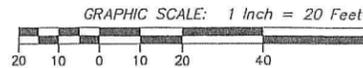
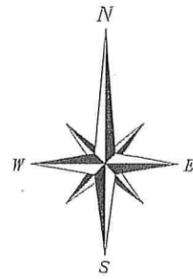
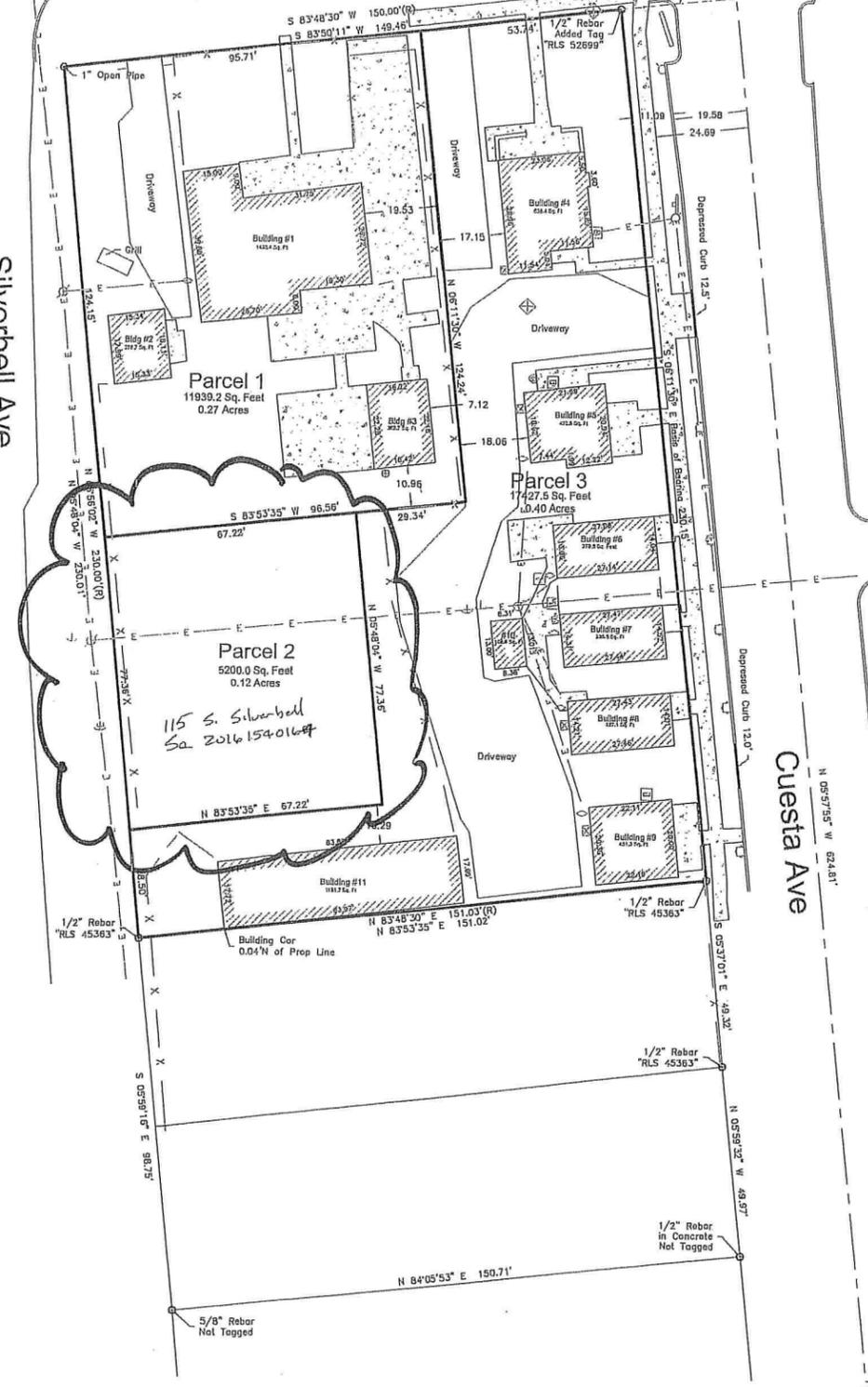
T18CM04721  
115 S SILVERBELL AVE

THESE DOCUMENTS ARE TO BE USED ONLY FOR THE ADDRESSED SITE PER CONTRACT BETWEEN JACADESIGN AND CLIENT. THE REPRODUCIBLE DRAWINGS, TRACINGS, SEPIAS, ETC. ARE THE PROPERTY OF JACA

Silverbell Ave

Congress St

Cuesta Ave



115. S. Silverbell F. ANN RODRIGUEZ, RECORDER  
 RECEIPT OF RECORDING H100007438

F. ANN RODRIGUEZ, RECORDER  
 Recorded By: ACA  
 DEPUTY RECORDER  
 4948  
 W SENTINAL PEAK COTTAGES LLC  
 PO BOX 3096  
 TUCSON AZ 85702

SEQUENCE: 20161540164  
 NO. PAGES: 3  
 QCODE: 06/02/2016  
 11:28:15  
 MAIL AMOUNT PAID: \$15.00

RECORDING FEES \$11.00  
 CONVERSION FEE \$4.00  
 ADDITIONAL FEES \$9.00  
 TOTAL \$24.00

DEBIT/CREDIT CARD \$24.00  
 Amount Due  
 Amount Over:



Pima County Recorder, P.O. Box 3145, Tucson, AZ 85702-3145, (520) 724-4350

Arrow Land Survey, Inc.  
 3121 E. Kleindale Road  
 Tucson, Arizona 85716

Phone (520) 881-2155 Fax: (520) 881-2466

LEGAL DESCRIPTION  
 JOB NO. 16074  
 May 31, 2016  
 Parcel 2

A portion of that certain Parcel of land described in Sequence Number 96052676 in the office of the Pima County Recorder, being a portion of the northwest quarter of Section 14, Township 14 South, Range 13 East, Gila and Salt River Base and Meridian, Pima County, Arizona, more particularly described as follows:

COMMENCING at the northwest corner of said Parcel described in Sequence Number 96052676, monumented by a one inch open pipe;

Thence South 05°48'04" East, upon the west line of said Parcel, a distance of 124.15 feet, to THE POINT OF BEGINNING;

Thence North 83°53'35" East, a distance of 67.22 feet;

Thence South 05°48'04" East, a distance of 77.36 feet;

Thence South 83°53'35" West, a distance of 67.22 feet, to a point on the west line of said Parcel;

Thence North 05°48'04" West, upon said line, a distance of 77.36 feet, to THE POINT OF BEGINNING.

Said Parcel contains 5,200.0 square feet, or 0.12 acres, more or less as described.



S:\DWG\05\2016\Projects\001-150\16074\Legal\Parcel 2.dwg

When recorded mail to:  
 Sentinal Peak Cottages LLC  
 PO Box 3096  
 Tucson, AZ 85702

QUIT CLAIM DEED

For consideration of Ten Dollars, and other valuable considerations I, Sentinal Peak Cottages LLC (my name)  
An Arizona Limited Liability Company (single name)  
 Hereby quitclaim to Sentinal Peak Cottages LLC, an Arizona Limited Liability Company (name)

All right, title or interest in the following real property situated in Pima County, Arizona:  
See Attached Legal Description Parcel 2

Dated this 2<sup>nd</sup> day of JUNE, 2016.

STATE OF ARIZONA )  
 ) ss.  
 County of Pima )

This instrument was acknowledged before me this 2<sup>nd</sup> day of JUNE, 2016 by  
Tom David Wagoner and Carlo Giuseppe Devarasco

My commission expires: 08/04/2017  
 Blank form provided by Pima County Recorder's Office

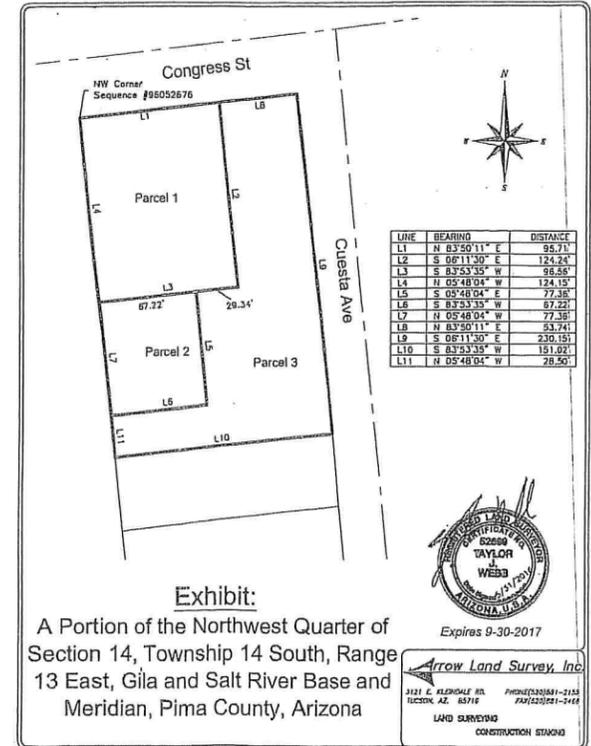
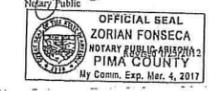


Exhibit:  
 A Portion of the Northwest Quarter of  
 Section 14, Township 14 South, Range  
 13 East, Gila and Salt River Base and  
 Meridian, Pima County, Arizona



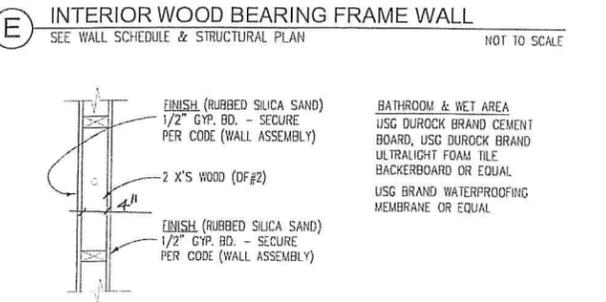
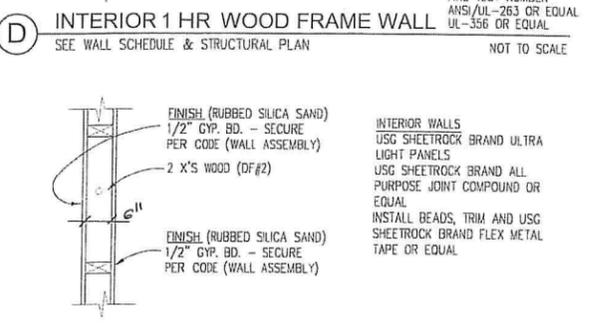
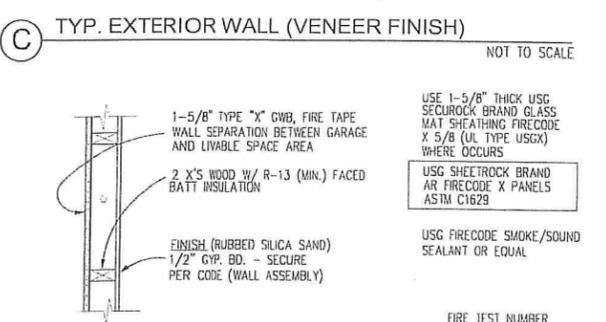
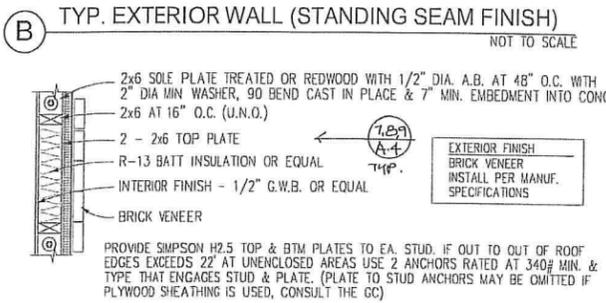
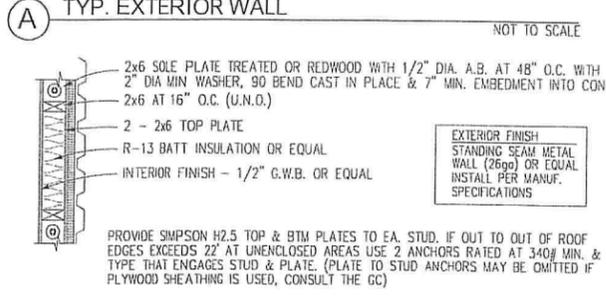
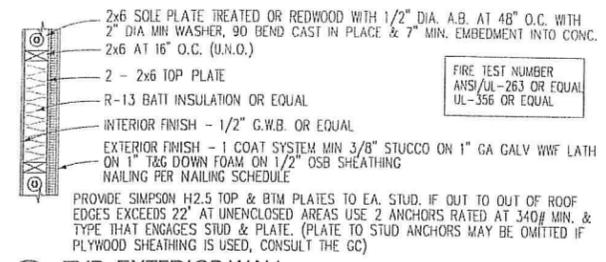
Arrow Land Survey, Inc.  
 3121 E. Kleindale Rd. Phone: (520) 881-2155  
 Tucson, AZ 85716 Fax: (520) 881-2466  
 LAND SURVEYING  
 CONSTRUCTION STAKING

Site Plan  
 A Portion of the Northwest Quarter of Section 14, Township 14 South, Range 13 East,  
 Gila and Salt River Base and Meridian, Pima County, Arizona

Arrow Land Survey, Inc.  
 LAND SURVEYING  
 CONSTRUCTION STAKING  
 3121 E. KLEINDALE RD.  
 TUCSON, AZ 85716  
 (520) 881-2155  
 (520) 881-2466 FAX

CREW CHIEF: BY  
 CAD: TV  
 DATE: 1/31/2016  
 JOB No.: 16074  
 SCALE: 1"=20'  
 SHEET OF  
 1 | 1

C-3



**DOOR SCHEDULE**  
COORDINATE WITH FRAMING PLAN  
COORDINATE WITH DOOR CONTRACTOR  
PROVIDE LISTING AS NEEDED

D-1	3080 SC (MAIN) WITH SIDE LIGHT
D-2	2080 SLOTLIGHT (S.G.)
D-3	3068 SC (1-3/4" THICK) SELF-CLOSING (20 MINS)
D-4	2868 HC
D-5	2-2668 SL
D-6	2-2668 SC WITH 12 X 6 SCREEN
D-7	2-3068 FRENCH DOOR
D-8	8070 OVERHEAD GARAGE

**WINDOW SCHEDULE**  
COORDINATE WITH FRAMING PLAN  
COORDINATE WITH WINDOW CONTRACTOR  
PROVIDE LISTING AS NEEDED  
COORDINATE WITH MECH. PLAN

W-1	4040 XD (DOUBLE PANE)	LOW-E
W-2	3030 XD	LOW-E
W-3	2020 XD (S.G.)	LOW-E
W-4	5040 XD	LOW-E

**PLUMBING SCHEDULE**  
COORDINATE WITH PLUMBING PLAN  
INSTALL BY PLUMBER

P-1	LAVATORY	
P-2	TOILET/WATER CLOSET	
P-3	TUB/SHOWER COMBO	
P-4	KITCHEN SINK	
P-5	TUB/SHOWER	
W	WASHER	ELECTRIC
WH	WATER HEATER	ELECTRIC
HR	HOSE BIBBS WITH V.B.	

**MECHANICAL SCHED.**  
COORDINATE WITH MECH. PLAN  
COORDINATE WITH ELECT. PLAN

**APPLIANCE SCHEDULE**  
COORDINATE WITH ELECT. PLAN

GD	GARbage DISPOSAL	ELECT
DW	DISHWASHER	ELECT
REF	REFRIGERATOR	ELECT
R/O	RANGE/OVEN	ELECT
D	DRYER	ELECT
SD	SMOKE/DETECTOR (CO <sub>2</sub> )	ELECT

- KEYNOTES**
- ROD & SHELVES
  - OVERHEAD DOOR PROJECTION
  - DROPPED CEILING (HATCH AREA)  
COORDINATE WITH SECTION & STRUCTURAL PLAN
  - KITCHEN CABINETS BY OTHERS  
(BASE & TOP CABINET)
  - BEAM/GLU-LAM PROJECTION
  - 4" DROP FROM MAIN CONC. FLOOR

**WALL SCHEDULE**  
COORDINATE WITH FRAMING PLAN

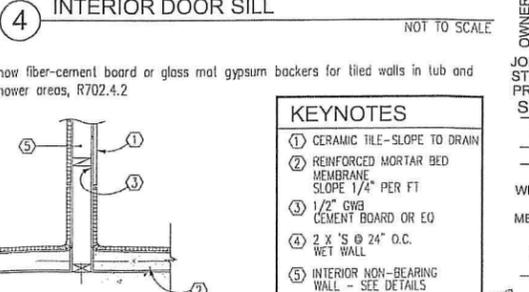
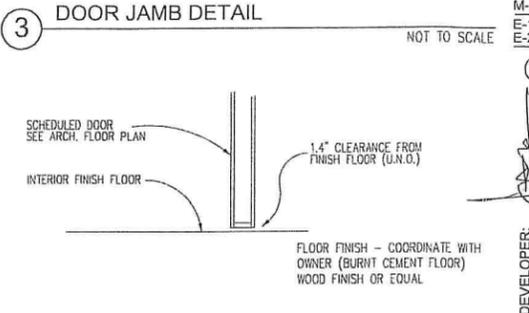
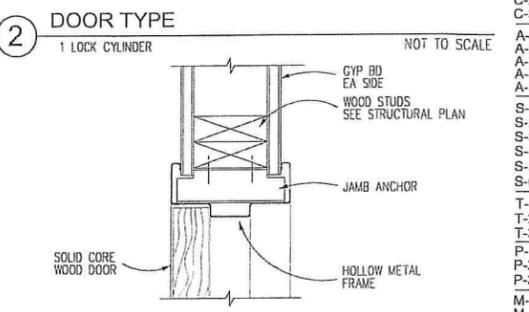
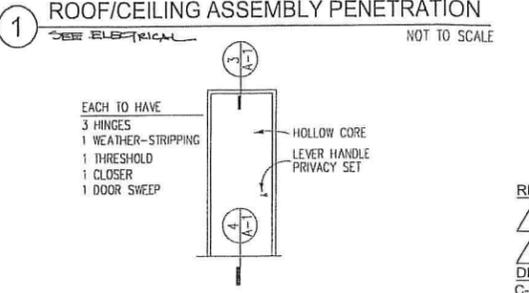
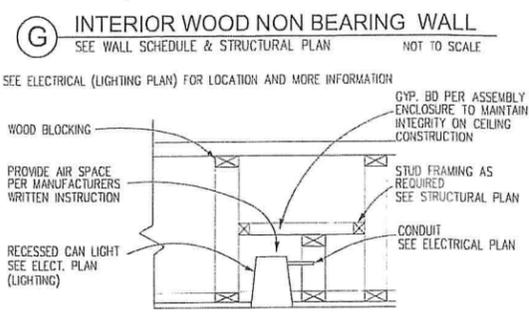
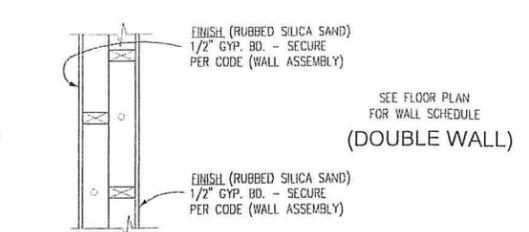
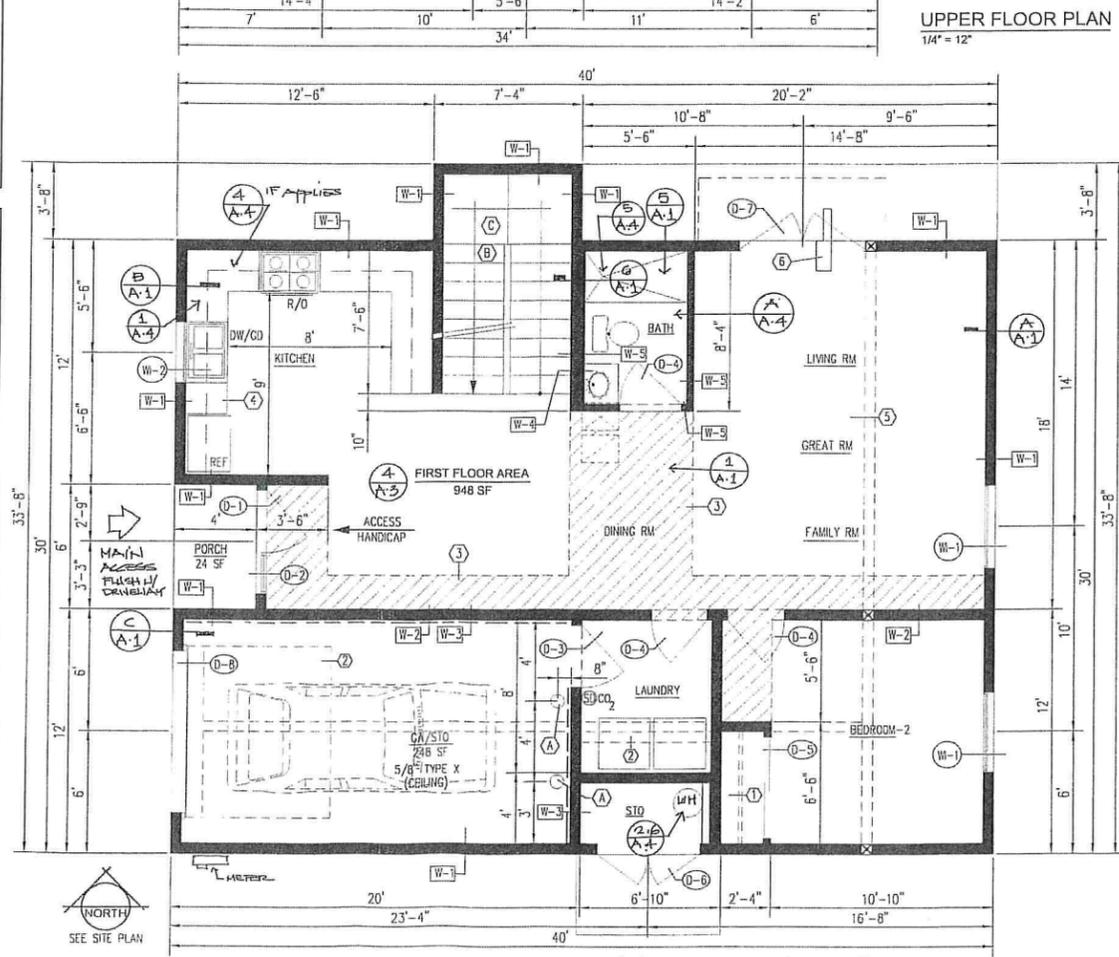
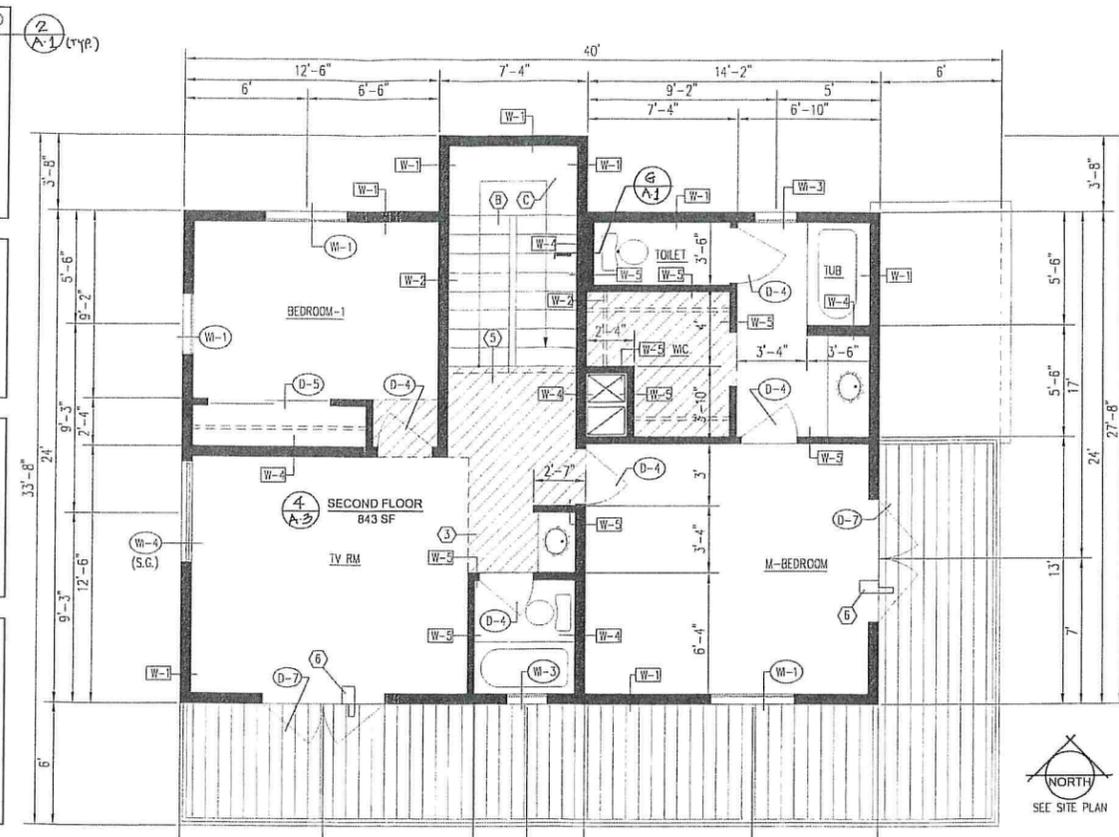
W-1	EXTERIOR WALL 2 X 6 @ 16" O.C. WITH 1/2" OSB WALL SHEATHING
W-2	INTERIOR BEARING WALL 2 X 6 @ 16" O.C.
W-3	INTERIOR FIRE WALL 2 X 6 @ 24" O.C. WITH 1/2" CWB ONE SIDE & 5/8" TYPE X
W-4	INTERIOR NON-BEARING WALL 2 X 6 @ 24" O.C. WITH 1/2" EA. SIDE
W-5	INTERIOR BEARING WALL 2 X 4 @ 24" O.C. WITH 1/2" EA. SIDE

**SQUARE FOOTAGE**

GROUND FLOOR	948 SF (*)
FRONT PORCH	24 SF
GARAGE	248 SF (**)
	1,220 SF
UPPER FLOOR	843 SF (*)
BALCONY AREA	318 SF
LIVABLE AREA	1,791 SF

(\*) R-3 OCCUPANCY  
V-B CONSTRUCTION TYPE WOOD FRAME & STUCCO SMOKE DETECTOR (CO<sub>2</sub>)  
(\*\*) 1 HR FIRE RATED FROM GARAGE TO LIVABLE SPACE AREA

- KEYNOTES**
- BOLLARDS OR EQUAL
  - STAIRCASE (3'-0" WIDE)  
HANDRAIL  
L = 11" HT = 7'-1/2"
  - LANDING (6'-6" X 3'-4")



**REVISION**

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**DRAWING INDEX:**  
C-1 SITE PLAN  
C-2 LANDSCAPE PLAN  
C-3 SURVEY PLAN  
A-1 FLOOR PLAN  
A-2 ROOF PLAN  
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A-4 DETAILS  
A-5 GENERAL NOTES  
S-1 FOUNDATION PLAN  
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M-1 MECH. PLAN  
M-2 DETAILS & NOTES  
M-3 DOCUMENTS  
E-1 ELECTRICAL PLAN  
E-2 NOTES & CALCULAT.

**J.A.C.A. DESIGN L.L.C.**  
DRAFTING SERVICES  
TUCSON, ARIZONA  
www.jacacadesign.com  
info@jacacadesign.com  
CELL (520) 808-4052

**OWNER/DEVELOPER:** STAHLKOEPPF CARLOS & VERONICA  
2301 E. SUMMIT ST  
TUCSON, AZ

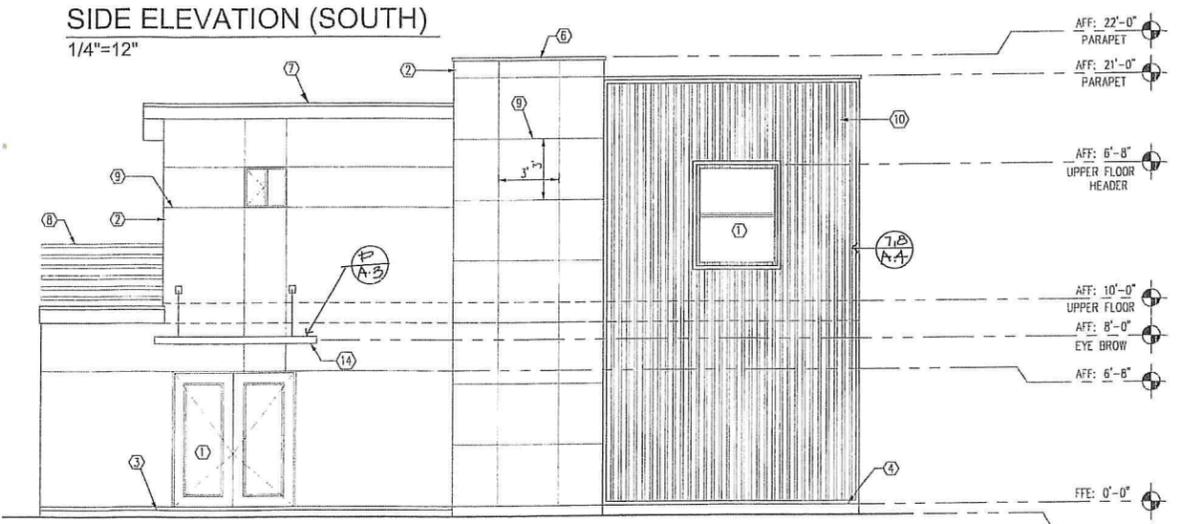
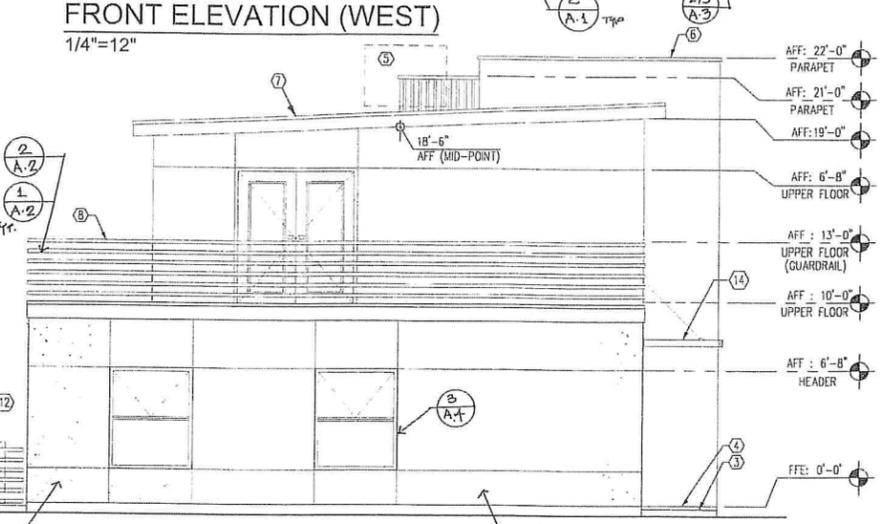
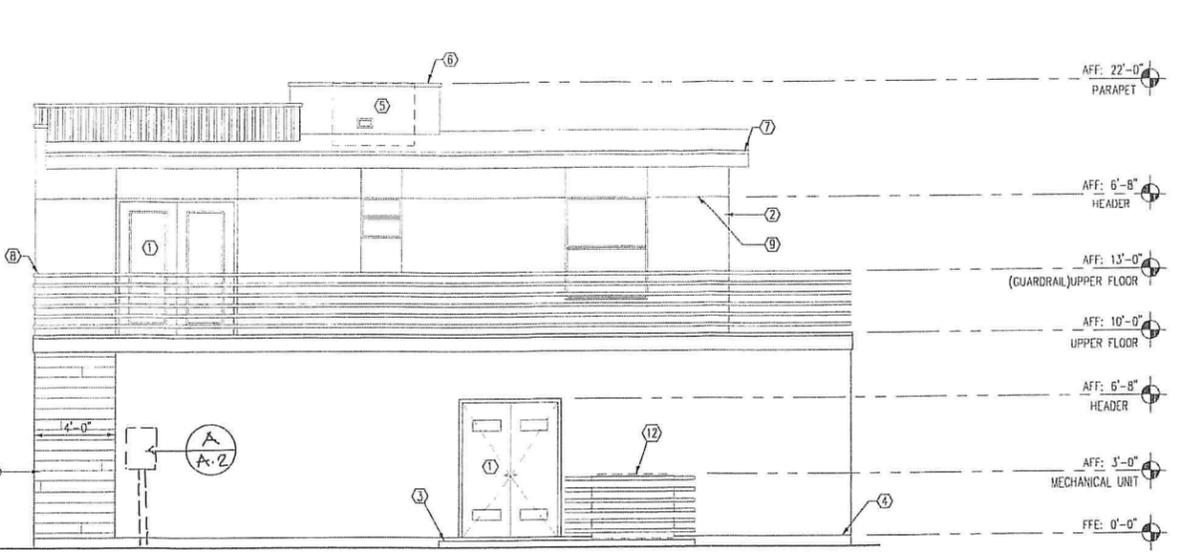
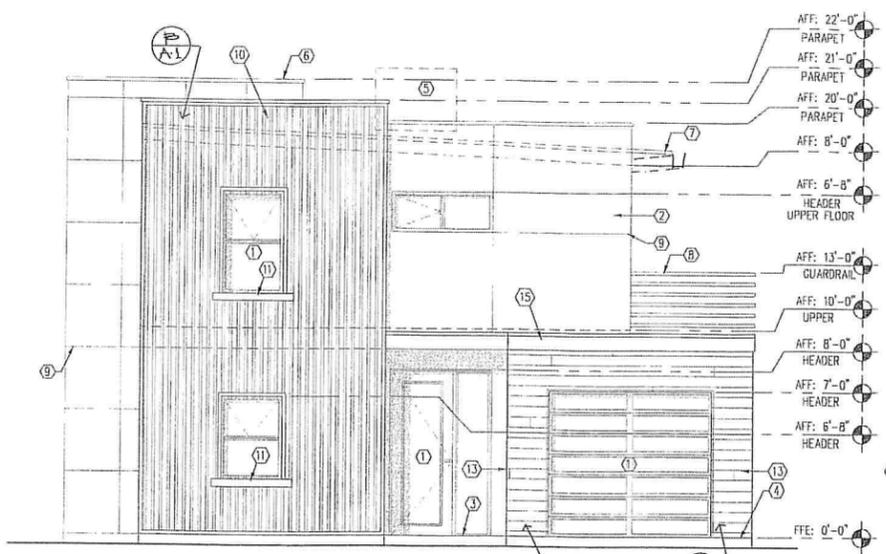
**JOB NO.:** 33-2K18  
**STAR DATE:** 20 JUNE 2018  
**PROJECT:** SINGLE RESIDENCE  
115 S SILVERBELL ROAD  
TUCSON, ARIZONA 85745  
Parcel 118-21-311B  
**LEGAL DESCRIPTION:** WLY P/TN FRACTIONAL LOT 9  
LYG NLY BLK 3  
MENLO PARK ANNEX, 12 AC  
SEC 14-14-13  
SITE (0.12 AC) 5,200 SF  
SEQUENCE 20161540164

**SHEET NO. A-1**  
OF SH.

I:\projects\115S Silverbell Rd\33-2K18\115S Silverbell Rd - A-1.dwg Mem. Jun 18 15:28:33 2018

- KEYNOTES**
- COORDINATE WITH FLOOR PLAN
- DOOR/WINDOW (SEE SCHEDULE)
  - STUCCO FINISHED INSTALL PER MANUFACTURER SPECIFICATIONS
  - CONCRETE FLOOR SLAB (N/A) INSULATION PER CODE
  - WEEP SCREED/PARGE 26 ga METAL FLASHING 2" MIN ABOVE FINISH CONCRETE 4" MIN ABOVE FINISH GRADE (DIRT)
  - PROJECTION
  - CONC. CAP INSTALL PER MANUFACTURER SPECIFICATIONS
  - 26 METAL FLASHING (DRIP EDGE) & 26 ga METAL FLASHING CONNECTION
  - GUARDRAIL (36" MIN - 42" MAX) HT WROUGH IRON (CUSTOM) INSTALL PER MANUFACTURER SPECS.
  - CONTROL JOINT (STUCCOED)
  - STANDING SEAM METAL WITH EDGE CAP INSTALL PER MANUFACTURER SPECIFICATIONS
  - STANDING SEAM METAL WINDOW EDGE TYP. OF ALL WINDOWS INSTALL PER MANUFACTURER SPECIFICATIONS
  - COMPRESSOR ON GROUND WITH CONC. SLAB WROUGH IRON PROTECTION (36" HT) INSTALL PER MANUFACTURER SPECIFICATIONS
  - WOOD SIDING VENEER INSTALL PER MANUFACTURER SPECIFICATIONS
  - EYE BROWN (WROUGH IRON) INSTALL PER MANUFACTURER SPECIFICATIONS
  - METAL EDGE CONNECTION (STANDING SEAM) INSTALL PER MANUFACTURER SPECIFICATIONS

- ABBREVIATIONS**
- FFE FINISH FLOOR ELEVATION  
 AFF ABOVE FINISH FLOOR  
 FC FINISH CONCRETE  
 FG FINISH GRADE
- DIMENSIONS



WINDOW OPENING HIGHT 44" MAX. WINDOW OPENING 20" W X 24" H & THE TOTAL SQ. FT. OF THE OPENING MUST BE 5.7 SQ. FT.

**REVISION**

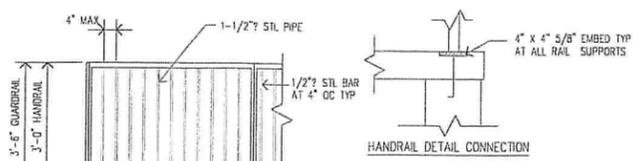
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**DRAWING INDEX:**

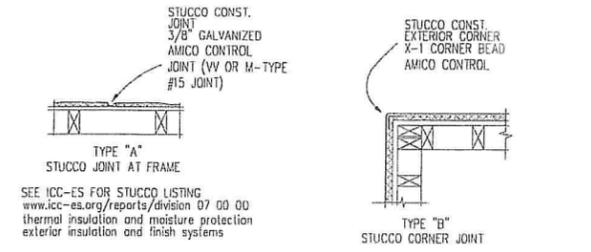
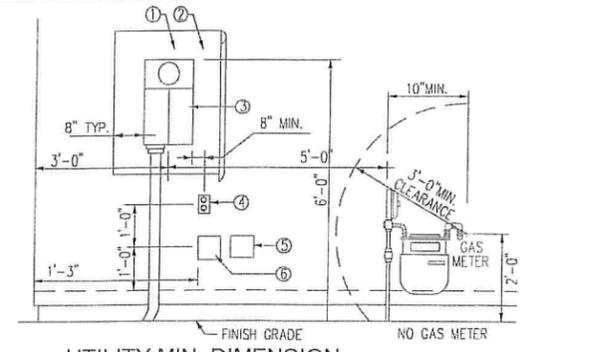
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- KEYNOTES**
- LOCATE IN SEPARATE STUD-BAYS-FULL ACCESS AND BOTTOM
  - GRADE "D"-8" MIN. SURROUND.
  - ELECTRIC SERVICE ENTRANCE PANEL
  - WP. ELECT. PLUG/SWITCH
  - CABLE/TV BOX
  - TELEPHONE BOX

- HANDRAIL DETAIL**
- HANDRAILS TO BE NOT LESS THAN 1 1/2" NOR MORE THAN 2" PIPE
  - HANDRAILS TO HAVE SMOOTH SURFACES WITH NO SHARP CORNERS
  - NO HORIZ. RAIL OR ORNAMENTAL PATTERN SHALL BE USED THAT CREATES A LADDER AFFECT



**1 HANDRAIL DETAIL TYP.** NOT TO SCALE

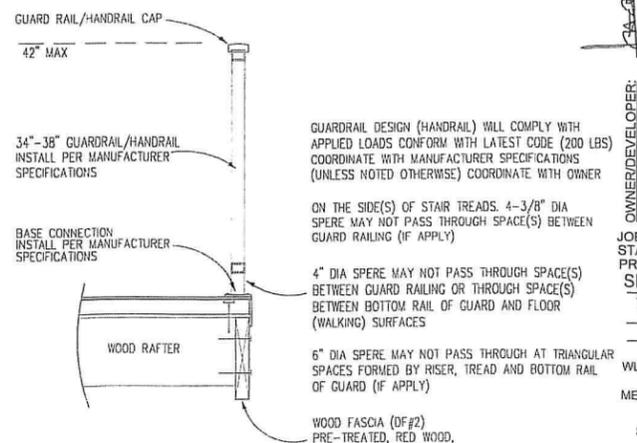


**ELEVATION NOTES**

TYPICAL EXTERIOR FINISH NOTES:  
 THE FOLLOWING APPLIES TO BUILDING MATERIALS AS THEY OCCURE, U.N.O., SEE GENERAL NOTES (G1) FOR MORE INFORMATION.

-WESTERN ONE KOTE STUCCO SYSTEM (SMOOTH FINISH), (ICC# ESR 1607) MAG ONE COAT STUCCO COMPLIANCE PROGRAM SHALL BE APPLIED BY MANUFACTURERS APPROVED INSTALLERS. AN APPROVED WEATHER RESISTIVE BARRIER SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHIT'G. BULLNOSE ALL CORNERS.

APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXT. WALL ENVELOPE TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS, EX. AT TOP OF ALL EXT. WINDOW AND DOOR OPENINGS TO BE LEAKPROOF, AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAMED OR STUCCO WALLS, AT WALL AND ROOF INTERSECTIONS AND AT BUILT IN GUTTERS. (R703.B)



**OWNER/DEVELOPER:** STAHL/KEPPFF CARLOS & VERONICA 2100 SUMMIT ST TUCSON AZ

**DESIGNER:** J.A.C.A. DESIGN L.L.C. DRIVING SERVICES www.jacadesignllc.com info@jacadesignllc.com CELL (520) 808-4062

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