

2012 INTERNATIONAL RESIDENTIAL CODE (I.R.C.)

INDEX OF DRAWINGS:

S1.0 COVER SHEET, INDEX OF DRAWINGS, SITE PLAN

PROJECT DATA:

OWNERS: UR INVESTMENTS LLC.
 LEGAL DESCRIPTION: TUCSON LOT 7 BLK 133
 TAX CODE NUMBER: 117-08-1180
 ZONING: R-3
 STREET ADDRESS: 827 S 8TH AVE
 TUCSON, AZ 85701

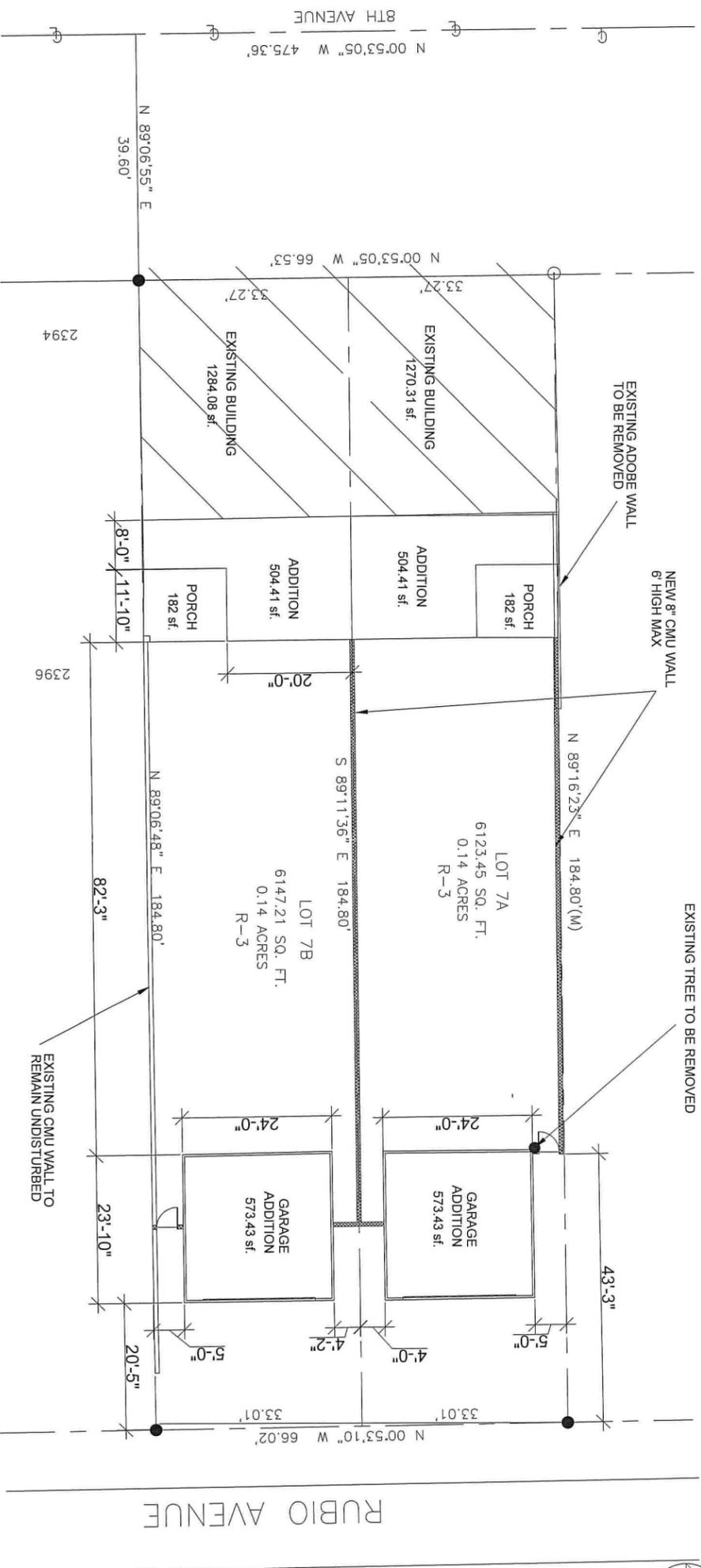
AREA USE CALCS.

EXISTING RESIDENCE: 2540 S.F.
 EXTERIOR BUILDINGS: 1008 S.F.
 PORCHES: 364 S.F.
 DETACHED GARAGE: 1146 S.F.
 TOTAL: 5058 S.F.
 TOTAL LOT AREA: 12196 S.F. ±
 TOTAL S.F. COVERAGE 5058/12,197 = 41.4%

NOTE:
 ALL LOT DIMENSIONS, AS WELL, ARE TAKEN FROM
 PIMA COUNTY DOCUMENTATION & RECORDS. ALL DIMENSIONS ARE APPROXIMATE.
 FIELD VERIFY ALL EXISTING CONDITIONS



LOCATION PLAN
 N.T.S.



SITE PLAN
 1" = 20'-0"
 FIELD VERIFY ALL EXISTING CONDITIONS

No.	Revision/Issue	Date

TALAVERA
 ENGINEERING & CONSTRUCTION
 2425 E. GREENWAY BLVD. STE #102
 TUCSON, ARIZONA 85719
 PHONE: (520) 628-3554
 FAX: (520) 862-0347
 www.talaveraing.com

Project Name and Address
 827 S 8TH AVE
 TUCSON, AZ 85701

Project
 7/8/18
 Sheet
S1.0
 AS NOTED

For working drawings only
 NOT FOR PERMITS
 1-800-578-5348
 RESIDENTIAL
 CALL COLLECT

- LEGEND:**
- NEW CONSTRUCTION:**
- INTERIOR:**
- 2x4 MD STUDS @ 16" O.C. W/1/2" GYP BOARD BOTH SIDES, TAPE TEXTURE & PAINT TO OWNER SELECTION
 - 1/2" WATER RESISTANT GYP BOARD @ RESTROOM, FULL THICK SOUND BATT INSULATION UNO.
- EXTERIOR:**
- WESTERN ONE-KOTE STUCCO SYSTEM OR EQUAL OVER 3/8" PLYWOOD OVER 2x6 WOOD STUDS @ 16" O.C.
 - MINI-M R-14 BATT INSULATION
 - 1/2" GYPSUM, BD., TAPE, TEXTURE & PAINT, TEXTURE STYLE & PAINT TO BE SELECTED BY OWNER.
- INDICATES EXISTING CONSTRUCTION TO REMAIN.
- EXTERIOR: TO BE REPAIRED AND REFINISHED W/TEXTURED STUCCO AS NECESSARY.
- INTERIOR: TO BE REPAIRED AND REFINISHED W/PLASTER AS NECESSARY.
- DENISING WALL, IRR RATED WALL, SEE SHI 6411 SCHEDULE 6A FILE NO. W/ 3340
- ALL PENETRATIONS THROUGH THIS WALL TO BE CALKED W/APPD FIRE CAULKING

WINDOW/GLAZING:

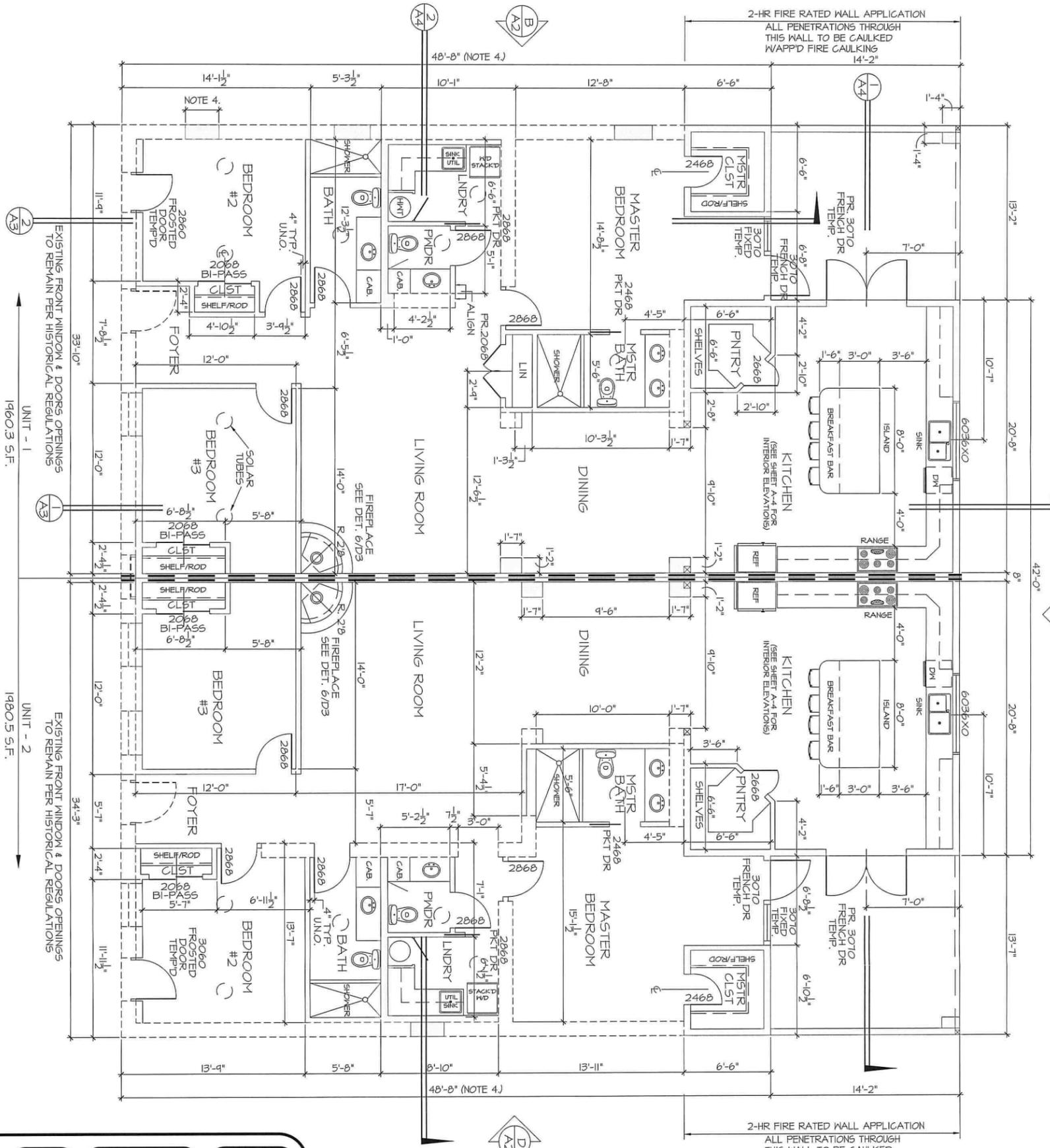
1. ANY WINDOWS AT THE TUB/SHOWER/SAINNA SHALL BE SAFETY GLAZING IF LESS THAN 60" ABOVE THE DRAIN PURSUANT TO R308 IRC. COMPLY WITH GLAZING REQUIREMENTS FOR HAZARDOUS LOCATIONS.
2. ALL GLAZING IN RESTROOMS LOCATED LESS THAN 56" ABOVE THE WALKING SURFACE SHALL BE SAFETY GLAZING IN ACCORDANCE WITH ARIZONA SAFETY GLAZING LAW
3. GLAZING MEETING ITEMS OF SECTION R308.4 IRC MUST BE SAFETY GLAZING. THEY ARE IF THE PANE IS GREATER THAN NINE SQUARE FEET, THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, THE TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR AND WITHIN 36" OF A WALKING SURFACE.
4. ALL SLEEPING ROOMS SHALL HAVE EXTERIOR OPENINGS COMPLYING WITH R310 IRC.
5. ALL EXTERIOR GLAZING TO HAVE MIN. "U" VALUE OF 0.61. WINDOWS MIN. "U" FACTOR = 0.65 OR BETTER. MIN 5/8" MIN. "U" FACTOR = 0.5 OR BETTER. SHGC = 0.10 MIN. 0.4 MAX.
6. GLAZING ADJACENT DOORS, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.

ACCESSIBILITY NOTE:

1. CHANGE IN FLOOR LEVELS AND THRESHOLDS, AT THE ACCESSIBLE ENTRANCE AND ALONG ACCESSIBLE ROUTES MAY BE 1/2" HIGH MAX. THIS MUST BE BEVELED FROM 1/4" TO 1/2" MAX. WITH A SLOPE NOT STEEPER THAN 1 INCH RISE IN 2" INCH RUN (1:2).

NOTES:

1. CONTRACTORS TO PROVIDE SAMPLES/CUT SHEETS FOR ALL FLOOR, WALL FINISHES AND ALL ELECTRIC/PLUMBING FIXTURES FOR SELECTION BY THE OWNER, OR SHALL PROVIDE BUDGET ALLOWANCES FOR THE OWNER FOR EACH CATEGORY.
2. ALL DOOR & WINDOW STYLES TO BE SELECTED BY OWNER
3. ALL HARDWARE SHALL BE PROVIDED BY SPECIFIED HARDWARE MANUFACTURER AND INSTALLED BY CONTRACTOR.
4. ALL EXISTING OPENINGS TO BE INFILL W/2-HR FIRE RATED WALL APPLICATION SYSTEM, ALL PENETRATIONS THROUGH THIS WALL TO BE CALKED WITH APPROVED FIRE CAULKING.



FLOOR PLAN - DUPLEX

REF NORTH

SCALE: 1/4"=1'-0"

BUILDING AREA TABULATIONS:

3940 SF P.L.A.
373 SF COVERED PORCHES
674 SF GARAGE

No.	Revision/Issue	Date

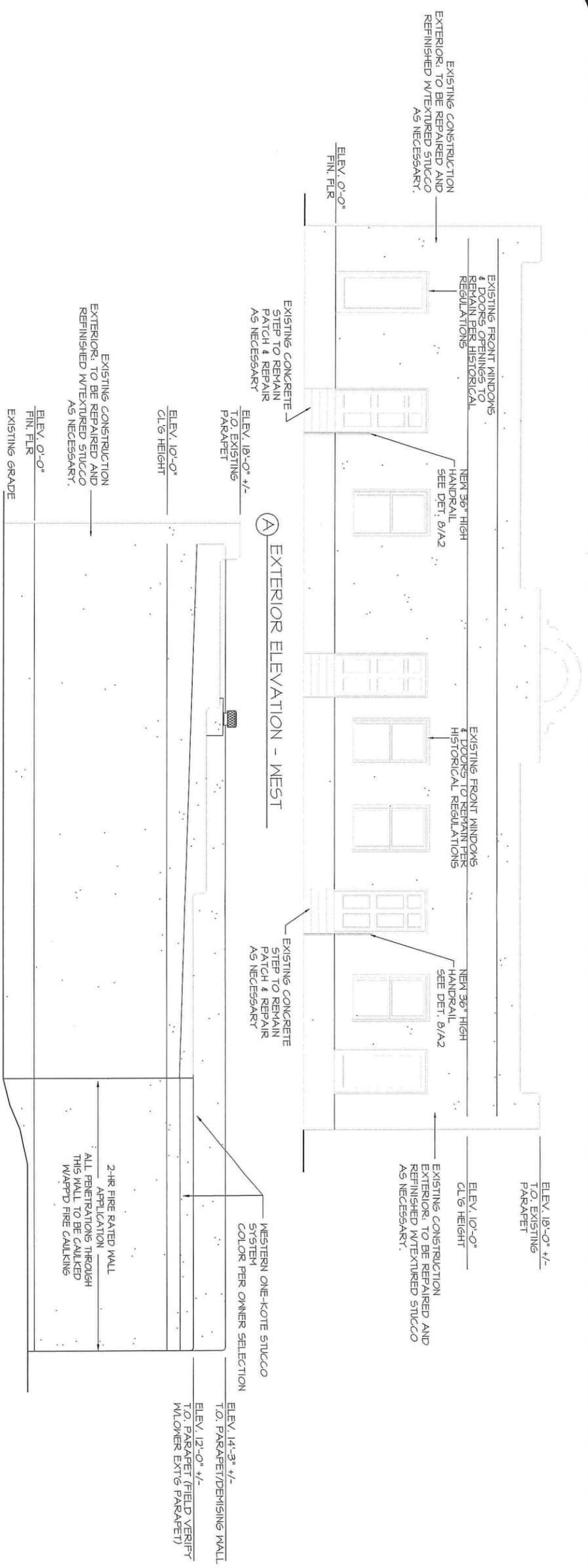
TALAVERA
ENGINEERING & CONSTRUCTION

2455 E. SPEEDWAY BLVD STE # 102
TUCSON, ARIZONA 85719
PHONE: (520) 620-3854
FAX: (520) 882-0347
www.talaveraengineering.com

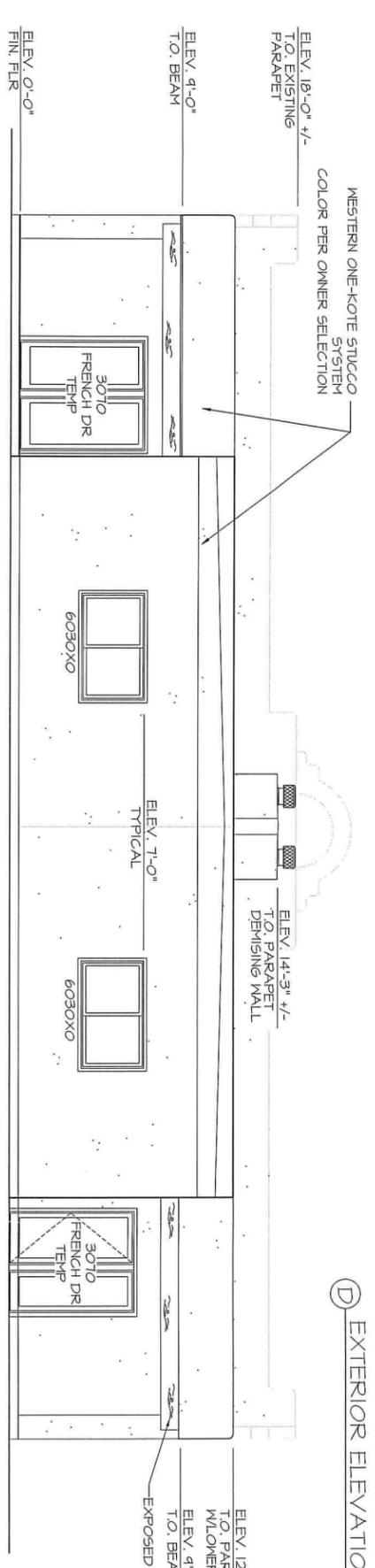
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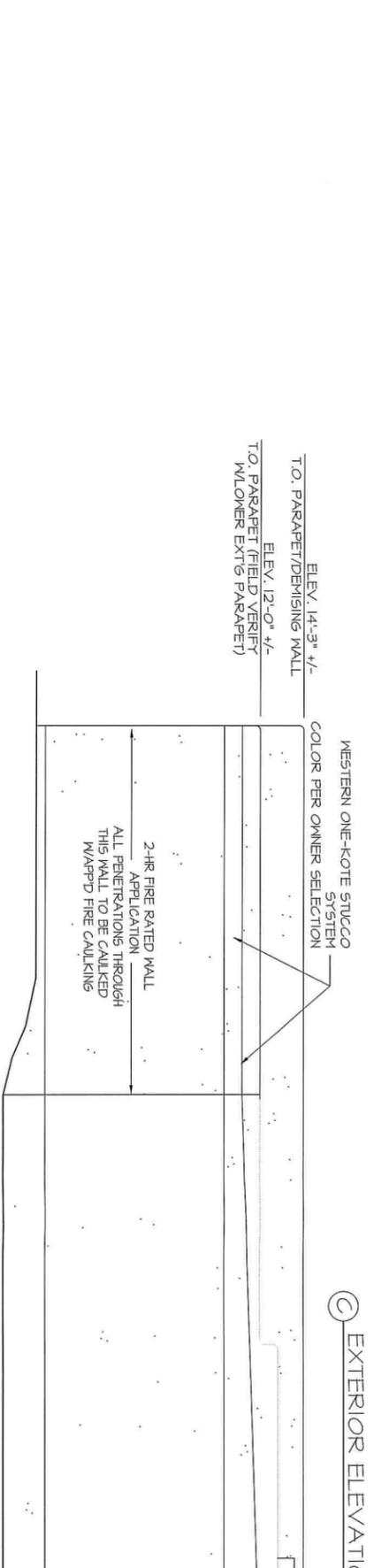
Project	FLOOR PLAN
Sheet	A-1
Date	08/04/18
Scale	AS NOTED



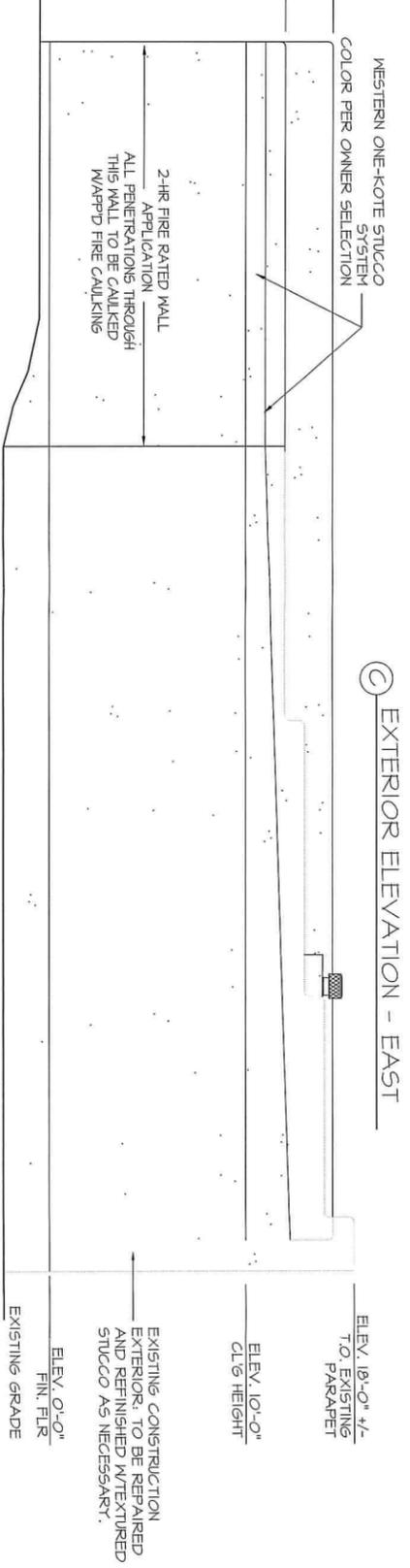
Ⓐ EXTERIOR ELEVATION - WEST



Ⓓ EXTERIOR ELEVATION - SOUTH



Ⓒ EXTERIOR ELEVATION - EAST



Ⓑ EXTERIOR ELEVATION - NORTH

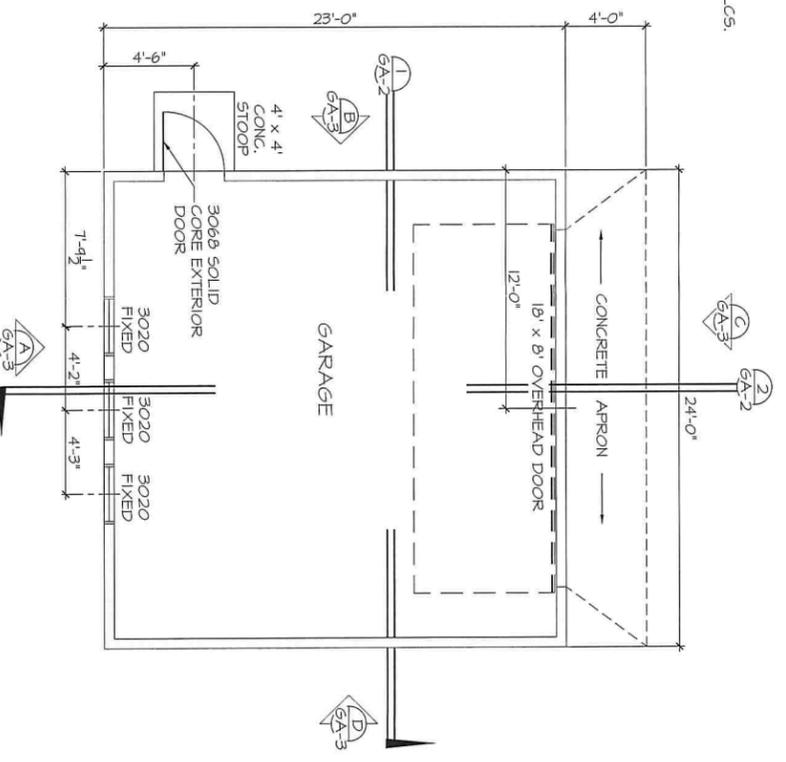
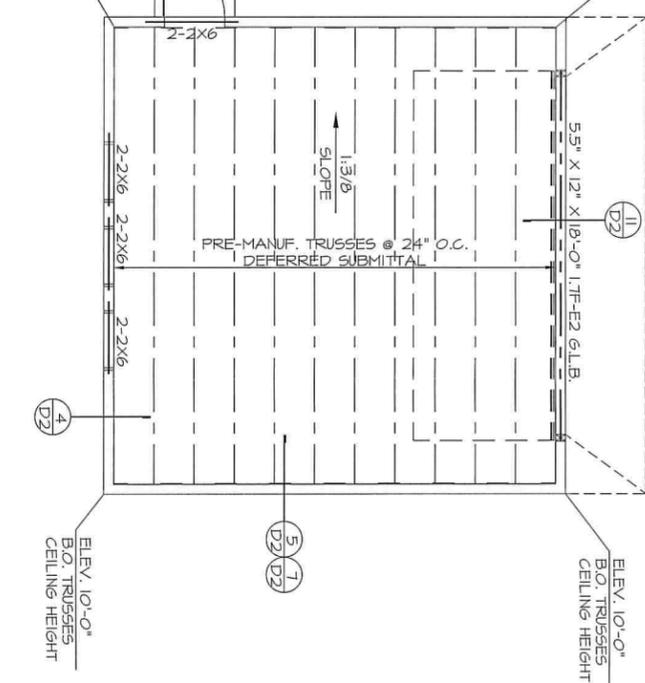
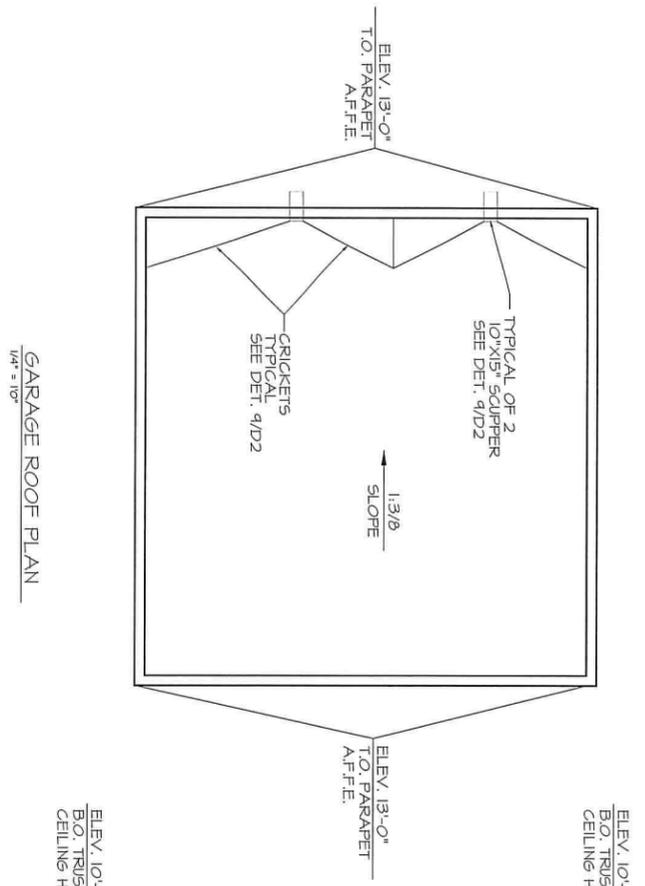
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Engineer/Architect Name and Address
TALAVERA
 ENGINEERING & CONSTRUCTION
 2455 E. SPEEDWAY BLVD. STE # 102
 TUCSON, ARIZONA 85719
 PHONE: (520) 626-3854
 FAX: (520) 862-0341
 www.talaveraing.com

Project Name and Address
 827 S. 8th Ave
 TUCSON, AZ 85701

Project	Sheet
08/04/18	ELEVATIONS
AS NOTED	A-2

NOTE:
TRUSS SHOP DINGS SHALL BE PROVIDED AS A DEFERRED SUBMITTAL AS PER IBC 2012, WIND SPEED 40MPH, DING'S & DESIGN CALCS. SHALL BE CERTIFIED BY AN ARIZONA REGISTERED ENGINEER

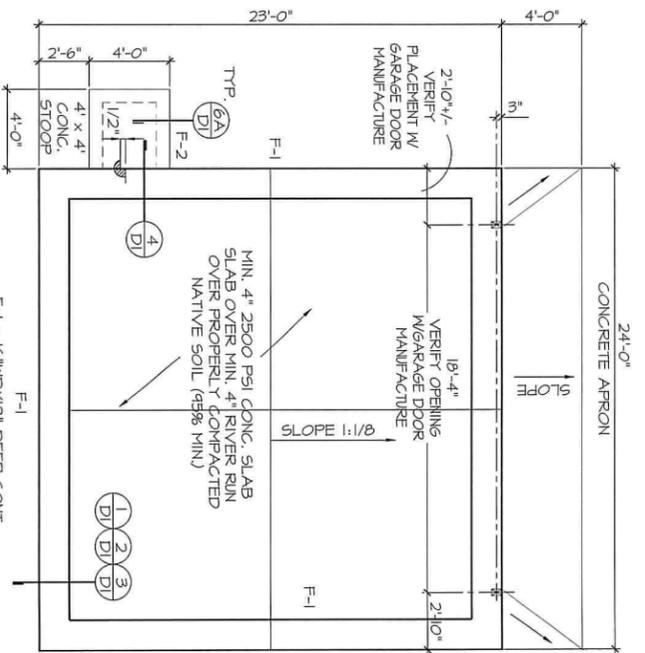
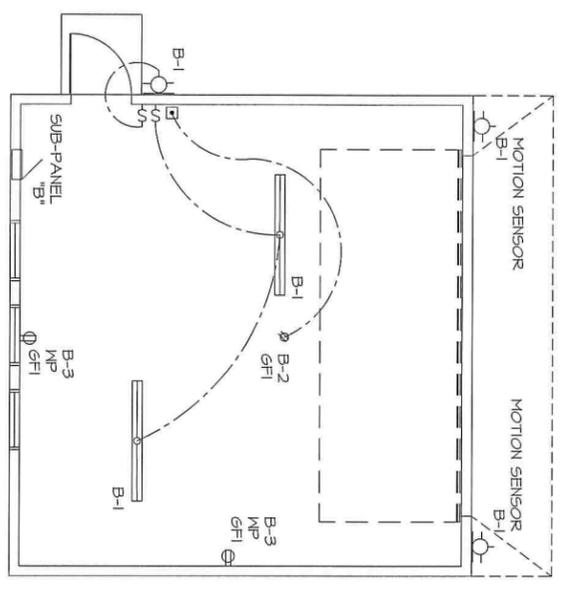


GARAGE ROOF FRAMING PLAN
1/4" = 10"

GARAGE FLOOR PLAN
1/4" = 10"

LEGEND:

EXTERIOR - PROPOSED:
WESTERN ONE-KOTE STUCCO SYSTEM OR EQUAL, OVER 3/8" EXT. GRADE PLTYND OVER 2X6 WP STUDS.
GARAGE TOTAL S.F. - 552 S.F.



GARAGE FOUNDATION PLAN
1/4" = 10"

GARAGE ELECTRICAL PLAN
1/4" = 10"

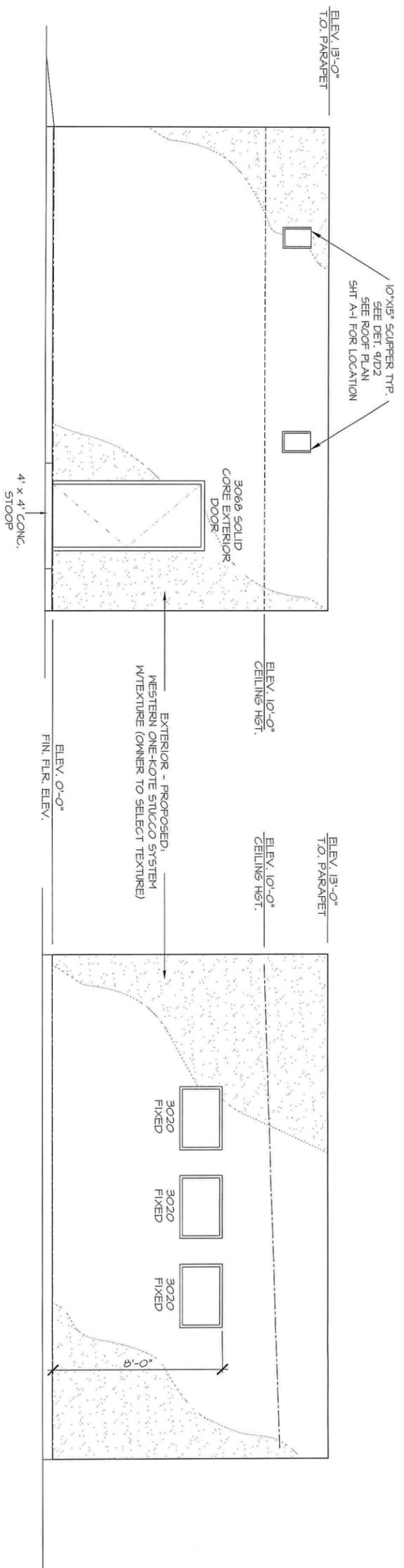
SEE DUPLEX ELECTRICAL PLAN E-1 FOR SCHEDULES

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TALAVERA
ENGINEERING & CONSTRUCTION
2455 E. SPEEDWAY BLVD. STE # 102
TUCSON, ARIZONA 85719
TEL: (520) 882-0447
FAX: (520) 882-0047
www.talaverengineering.com

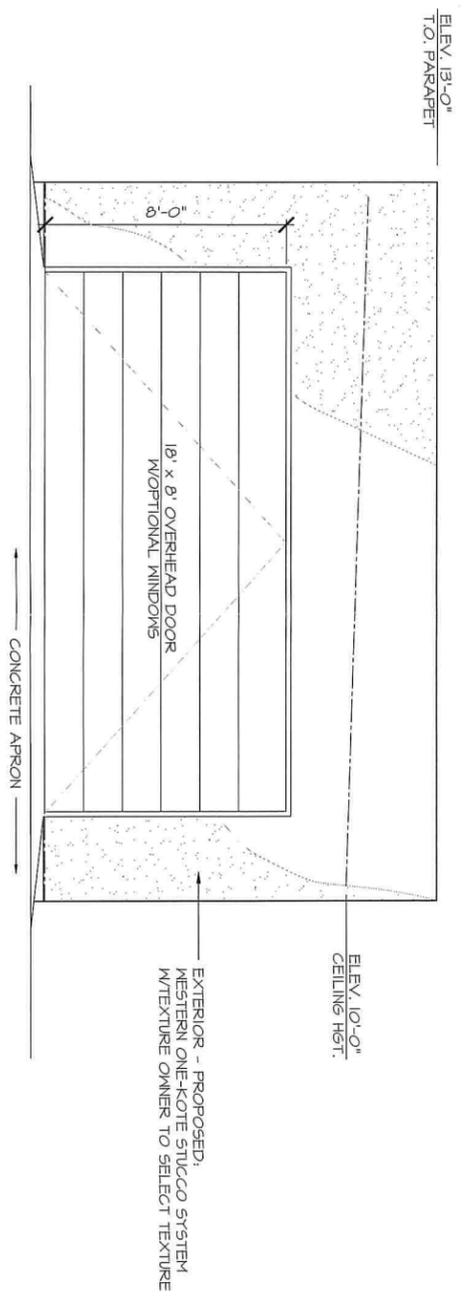
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GARAGE FLOOR & ROOF FRAMING PLAN
GA-1



B GARAGE SIDE ELEVATION - D OPPOSITE HAND

A GARAGE REAR ELEVATION



C GARAGE FRONT ELEVATION

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Engineer/Architect Name and Address
TALAVERA
 ENGINEERING & CONSTRUCTION
 2825 E. SPEEDWAY BLVD. STE # 102
 TUCSON, AZ 85718
 PHONE: (520) 626-8554
 FAX: (520) 882-0247
 www.talaveraengineering.com

Project Name and Address
 827 S. 8th Ave
 TUCSON, AZ 85701

Project
 GARAGE
 EXTERIOR
 ELEVATIONS
 GA-3

Date
 08/04/18

Scale
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