



BOARD OF ADJUSTMENT VARIANCE APPLICATION

Case Number: C10- 19-18 Activity Number: T19SA00428 Date Accepted: _____

PROPERTY LOCATION INFORMATION

Property Address: 2440 S. CALLE CORDOVA

Project Description: CARPENT ENCLOSED TO GARAGE

Zoning: R-1 Property Size (sqft): 8,000 SF

Number of Existing Buildings: 1 Number of Stories: 1 Height: 10'-2"

Legal Description: MANANA GRANDE LOT 26 BCK 16

Pima County Tax Parcel Number/s: 135-10-1770

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT: RAYMOND CLAMONS

ADDRESS: 2726 E. BLANTON DR.

PHONE: (520) 481-3229 FAX: () EMAIL: XYLONDESIGNS@GMAIL.COM

PROPERTY OWNER (If ownership in escrow, please note): PATRICK SCUPIN

ADDRESS: 2440 S. CALLE CORDOVA

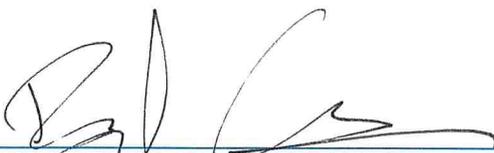
PHONE: (520) 406-9701 FAX: () EMAIL: PSCUPIN8@GMAIL.COM

PROJECT TYPE (check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> New building on vacant land | <input type="checkbox"/> Change of use to existing building |
| <input checked="" type="checkbox"/> New addition to existing building | <input type="checkbox"/> New building on developed land |
| <input type="checkbox"/> Existing building needs permits | <input type="checkbox"/> Modification to wall/fence height |
| <input type="checkbox"/> Landscaping / Screening substitution | <input type="checkbox"/> Other _____ |

Related Permitted Activity Number(s): T19CM06490

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.


SIGNATURE OF OWNER/APPLICANT

9-25-19
Date



Planning & Development Services Department
201 N. Stone Avenue
PO Box 27210
Tucson, AZ 85726
(520) 791-5550

Letter of Agency/Authorization

If the applicant is not the owner of record of the subject site, a Letter of Agency from the owner or the owner's authorized representative must be submitted which grants the applicant permission to submit an application for the requested entitlement(s).

Date: 10-11-19

To:
City of Tucson
Planning & Development Services Department
Zoning Administration Division
PO Box 27210
Tucson, AZ 85726

Planning & Development Services Department:

I, the undersigned legal owner of record, hereby grant permission to:

Applicant: RAYMOND CLAMONS Phone: 520-481-3229

Applicant's Address: 2726 E. BLANTON DR. Tucson, AZ 85716

To submit a Board of Adjustment variance application on my behalf.

| | |
|---|------------------------------|
| The subject property located at: | <u>2440 S. CALLE CORDOVA</u> |
| Assessor's Parcel Number: | <u>135-10-1770</u> |
| Printed Name of Owner of Record: | <u>PATRICK SCUPIN</u> |
| Address of Owner of Record: | <u>244 S. CALLE CORDOVA</u> |
| Phone Number of Owner of Record: | <u>520-406-9701</u> |
| Signature of Owner of Record: (must be original signature) | <u>[Signature]</u> (AGENT) |

SEE LETTER OF AUTHORIZATION

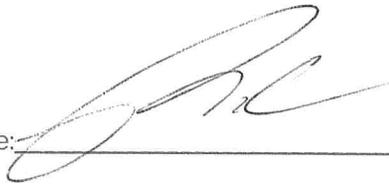
Case Number: C10- 19-18 Activity Number: _____



Patrick Scupin
2440 S. Calle Cordova
Tucson, AZ 85710
Phn. 520-406-9701
pscupin8@gmail.com

Letter of Authorization

We, the undersigned, PATRICK SCUPIN property owners of 2440 S. CALLE CORDOVA City of Tucson, Pima County, AZ, do hereby authorize Raymond Clamons of Xylon Designs and Natural Building Works of Tucson Arizona to act as our agent in all matters relating to the above referenced project.

Signature:  _____

Client Name

Print: Patrick Scupin ✓ _____

Date: 9-5-19 _____

Signature: _____

Client Name

Print: _____

Date: _____

BOARD OF ADJUSTMENT - PROJECT DESCRIPTION

Provide a description of the project including, but not limited to its lot area, square footage of proposed or existing structures, proposed use(s), is a multiphase project, etc. If this project is the subject of a rezoning or special exception request, HPZ, review, or a zoning violation, please provide current status of that case.

PROJECT DESCRIPTION

Address: 2440 S. Calle Cordova - Parcel #135101770 - Zoning R-1

This project entails improving the existing carport, 19'-6"w x 20'l x 8'h, 390 sf. with a 2 car garage, dimensions 24'w x 31'l x 14'h, 720sf. The lot size is 8,000sf. in R-1 Zoning. The modification we request is to reduce the required 21' front property line setback to 10'. An egress window in an existing bedroom necessitates an egress route that pushes the garage away from the house 4'-0".

Home owner Patrick Scupin is an avid off-road adventurer and regularly works on his vehicles at home. As it stands vehicles parked in the carport stick out uncovered 3'-4', while the unconditioned carport space is unusable during summer months. Tools & parts are also exposed to theft or vandalism.

The size of the garage is designed to accommodate a full size truck, a jeep, a motorcycle and ample work & storage space. Heights are determined to include a small vehicle lift so he can work under his vehicles in comfort with room for overhead storage for camper shells, camping gear, etc. The required front yard setback of 20'-0" will not allow for adequate depth for bedroom egress path, parking and circulation as we see it. This garage at the proposed size and location will allow Patrick to enjoy his hobby comfortably, safe from theft & vandalism while sparing neighbors a view of multiple vehicles in various states of repair.

APPLICANT'S REQUEST TO THE BOARD OF ADJUSTMENT

Provide applicable UDC Section reference, what is required and what is proposed/provided for each variance requested.

The modification we request is to reduce the required 21' front property line setback to 10'.
(UDC 6.4.5.C.1.a)

Case Number: c10- 19-18 **Activity Number:** _____

BOARD OF ADJUSTMENT - REQUIRED FINDINGS

Arizona State Statutes and UDC Section 3.10.3.K state that the Board may grant a variance only if the variance request complies with each and every one of these "Findings" in full. It is up to the applicant to explain to the Board how the request complies with each Finding.

Important Note: Do not leave any "Finding" unanswered or marked "Not Applicable" or "N/A"

1. That, because there are special circumstances applicable to the property, strict enforcement of the UDC will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district:
 - a. The current requirement for front yard setback of 20'-0" or 1.5 x height will not allow for a 2 car garage typical of 3 bedroom homes in the area and of the time to be placed in the best suited location on this site.
2. That Such special circumstances were not self-imposed or created by the owner or one in possession of the property.
 - a. This owner has not performed any improvements that contribute to these special circumstances. Existing and original parking conditions consist of an undersized carport for the home owners needs initiating a need to expand and enclose the existing structure.
3. That the variance granted is subject to such conditions as will assure that the adjustment authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.
 - a. Many homes on the street have undersized carports in the front yard with street access and have been expanded or enclosed garages. At least one has been expanded beyond the current setback standard, 2110 S. Calle Cardova. The same limitations exist for many homes in the neighborhood.
4. That, because of special circumstances applicable to the property, including its size, shape, topography, location, and surroundings, the property cannot reasonably be developed in conformity with the provisions of the UDC.
 - a. Due to the lot size and building location the chosen area for this garage is the most suitable location on site. Access to the side yard or backyard is not provided and the existing parking is provided in an undersized carport or uncovered. The existing undersized carport is located 18'-0" from the front property line which is already closer than the 20'-0" or 1.5 x height required. In addition an egress window in an existing bedroom necessitates an egress route that pushes the garage away from the house 4'-0". This location and size is our best solution to the homeowner's needs and the property constraints.
5. That granting of the variance shall not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
 - a. Since the sight visibility triangle is preserved and the side yard setback requirement is met we see no degradation to public welfare.

Case Number: c10-

19-18

Activity Number: _____

6. *That the proposed variance will not impair an adequate supply of light and air to adjacent property, substantially increasing congestion, or substantially diminish or impair property values within the neighborhood: and,*
 - a. Since the location meets the required side yard setback to the adjacent neighbors to the north it is within standard requirements for light and air supply. No additional vehicles will contribute to street congestion. This home improvement will potentially increase home values in the neighborhood.

7. *That the variance, if granted, is the minimum variance that will afford relief and is the least modification possible of the UDC provisions that are in question.*
 - a. The size and location of this garage is designed thoughtfully with the efficient use of space for the needs of the homeowner. The space provides multiple uses in one area of the site compared to various sheds and workshops. It is also located in an existing space since it is improving the existing carport, therefore, lot coverage increase is minimal. It is clear that any 2 car garage would require a variance for front yard setback requirements on this site and what we have proposed is an efficient solution for the homeowner and is asking the minimum variance to provide this multi use space.

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Activity Number: _____



PC 9-11-19

ZONING REVIEW TRANSMITTAL

FROM: Paul Camarena

PROJECT: T19CM06490, 2440 s Calle Cordova
New Front Garage addition

TRANSMITTAL: September 11, 2019

COMMENTS: The following comments are for the purpose of applying for a variance before the Board of Adjustment (UDC Section 3.10.1).

This site is located in the R-1 zone (UDC 4.7.9). Single-family residential is a permitted use in this zone (Table 4.8-2). See Use Specific Standards 4.9.7.B.6, .9 & .10.

The minimum setback to the front street perimeter property line is the greater of twenty (20) feet, or one and one-half (1 ½) the height of the proposed wall ((UDC 6.4.5.C.1.a). The required setback to the front street perimeter property line base on a wall height of 14' is 21ft. The proposed setback is 10'.

A variance is required.

Parcel Number: 135-10-1770

Property Address

| Street Number | Street Direction | Street Name | Location |
|---------------|------------------|---------------|----------|
| 2440 | S | CALLE CORDOVA | Tucson |

Contact Information

Property Owner Information:

SCUPIN PATRICK
2440 S CALLE CORDOVA
TUCSON AZ

85710-5731

Property Description:

MANANA GRANDE LOT 26 BLK 16

Valuation Data

| Valuation Year | Property Class | Assessment Ratio | Total FCV | Limited Value | Limited Assessed |
|----------------|--------------------|------------------|-----------|---------------|------------------|
| 2019 | PRIM RESIDENCE (3) | 10.0 | \$150,036 | \$122,975 | \$12,298 |
| 2020 | PRIM RESIDENCE (3) | 10.0 | \$153,015 | \$129,124 | \$12,912 |

Property Information

| | | | | | |
|---------------|--|---------------|-------|----------------------|-----------|
| Township: | 14.0 | Section: | 20 | Range: | 15.0E |
| Map: | 14 | Plat: | 70 | Block: | 016 |
| Tract: | | Land Measure: | 1.00S | Lot: | 00026 |
| Census Tract: | 4011 | File Id: | 1 | Group Code: | |
| Use Code: | 0131 (SFR GRADE 010-3 URBAN SUBDIVIDED) | | | Date of Last Change: | 4/12/2018 |

Sales Information (3)

| Affidavit of Fee No. | Parcel Count | Sale Date | Property Type | Sale | Time Adjusted Sale | Cash | Validation |
|----------------------|--------------|-----------|---------------|-----------|--------------------|------|---------------------------|
| 20132180372 | 1 | 6/2013 | Single Family | \$147,900 | \$147,900 | N | X Aut |
| 20062131120 | 1 | 11/2006 | Single Family | \$187,000 | \$187,000 | N | X Aut |
| 19982130063 | 1 | 12/1998 | Single Family | \$92,000 | \$92,000 | N | X JAC DEED: Warranty Deed |

Valuation Area

District Supervisor: RAMON VALADEZ District No: 2

| DOR Market | Land Subarea | Neighborhood | Sub ID | Economic District |
|------------|--------------|--------------|-----------|-------------------|
| 8 | 2111037 DEL | 05011601 | 14070 DEL | 15 |

Recording Information (10)

| Sequence No. | Docket | Page | Date Recorded | Type |
|--------------|--------|------|---------------|--------|
| 20180880444 | 0 | 0 | 3/29/2018 | WTDEED |
| 20132180372 | 0 | 0 | 8/6/2013 | WTDEED |
| 20113640999 | 0 | 0 | 12/30/2011 | JTDEED |
| 20091390502 | 13604 | 946 | 7/21/2009 | SCRIVE |
| 20091080178 | 13573 | 290 | 6/5/2009 | WTDEED |
| 20090470323 | 13512 | 1226 | 3/11/2009 | DEEDTR |
| 20062131120 | 12924 | 5848 | 11/3/2006 | JTDEED |
| 20060901029 | 12801 | 5050 | 5/10/2006 | DDISTR |
| 19982130063 | 10936 | 308 | 12/4/1998 | |
| 94145890 | 9842 | 537 | 7/26/1994 | |

Residential Characteristics

Property Appraiser: Sonya Tran Phone: (520) 724-4394

Main Structure:

| | | | | | |
|--------------------|------------|------------------------|-------------------------|------------------------------|-------------------|
| Appraisal Date: | 9/1/1990 | Property Type: | Single Family Residence | Area ID: | Ed 15-050116-01-3 |
| Processed: | 12/31/1969 | Building Class: | 3 | Physical Condition: | Good |
| Total Living Area: | 1,500 | Garage Type: | Carport | Effective Construction Year: | 1965 |
| Garage Capacity: | 2 | Stories: | 1 | Patio Type: | None |
| Rooms: | 5 | Patio Number: | 0 | Quality: | Fair |
| Pool Area: | 350 | Exterior Walls: | Adobe | Valuation Type: | 00 |
| Roof Type: | Built Up | Total Main: | \$147,130 | Heating: | Forced |
| Total Control: | \$147,130 | Cooling: | Evaporative | Total Actual: | \$153,015 |
| Bath Fixtures: | 6 | FCV Adjustment Factor: | 1.000 | Enhancement: | \$0 |
| Last Calc: | 0902 | | | | |

Notes (4)

| | |
|----------------------------|---|
| Created: 8/7/2009 | 13573-0290 CORRECTED BY 13604-0946 |
| Modified: 8/7/2009 | |
| Created: 7/6/2009 | 13573-0290 WRONG LEGAL DESCRIPTION |
| Modified: 7/6/2009 | |
| Created: 2/27/2007 | 2007 NO CHNG PER NO RESPONSE TO STATUS LTR DTD 12-14-06. |
| Modified: 2/27/2007 | |
| Created: 9/20/2006 | 2007 CL 6(4)10% PER NO RESPONSE TO STATUS LTR DTD 8-2-06. |
| Modified: 9/20/2006 | |

ASSESSOR'S RECORD MAP

Block 16 MAÑANA GRANDE

135-10
7/18



GOLF LINKS ROAD

SCALE-1"=100'
SEE BOOK 14, PAGE 70, M&P

M14070_B16

1/15/00

NEIGHBORHOOD MEETING - SIGN IN SHEET

Date: 10/9/2019

ADDRESS: 2440 S. CALLE CORDOVA

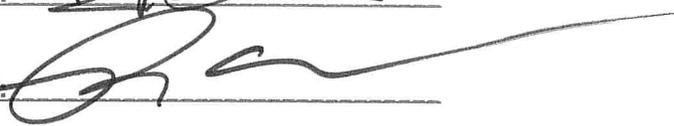
Subject: Neighborhood Meeting for our Board of Adjustment Variance Application

Please sign in, this documents your presence at this meeting as a requirement of the Variance process. Thank you.

PRINT: RAYMOND CLAMONS

SIGN: 

PRINT: Patrick Scupin

SIGN: 

PRINT: _____

SIGN: _____

Case Number: c10-_____

Activity Number: T19CM06490

NEIGHBORHOOD MEETING - SUMMARY

Date: 10/10/2019

Subject: Neighborhood Meeting for our Board of Adjustment Variance Application Summary

The meeting was held on October 9th from 5:30pm to 6pm. In attendance was the homeowner Patrick Scupin and permitting agent Raymond Clamons. No other persons attended the Neighborhood meeting. We did get one email in support from Ben Cogan, his email is included in the application.



Ray Clamons <rayclamons@gmail.com>

Neighborhood meeting letter

Bcogan <bcogan81@gmail.com>
To: XYLONDESIGNS@gmail.com

Wed, Oct 9, 2019 at 3:42 PM

Patrick/Ray,

Thank you for the letter stating your intentions on enclosing the carport for a garage with lift, unfortunately I will not be able to make the meeting and sign your attendance sheet as my son has football practice.

I live on 35th st, a few houses down so that setup would not affect me at all, but even if I was living next door, I would have no problem with it, as I too understand the need and want, to be able to work on my projects daily without being an eye sore to nosy neighbors or leaving my supplies out for possible theft.

Good luck in dealing with the city,

- Ben Cogan
7325 E 35th st.

Neighborhood Meeting Letter

Date: 9/25/2019

Subject: Neighborhood Meeting for our Board of Adjustment Variance Application

Dear Neighbor,

We are proposing to enclose an existing carport, 19'-6" w x 20' l x 8' h. An expansion will provide us with a 2 car garage, dimensions 24' w x 31' l x 14' h. Home owner Patrick Scupin is an avid off-road adventurer and regularly works on his vehicles at home. As it stands vehicles parked in the carport stick out uncovered 3'-4', while the unconditioned carport space is unusable during summer months. Tools & parts are also exposed to theft or vandalism.

The size of the garage is designed to accommodate a full size truck, a jeep, a motorcycle and ample work & storage space. Heights are determined to include a small vehicle lift so he can work under his vehicles in comfort with room for overhead storage for camper shells, camping gear, etc. This garage at the proposed size and location will allow Patrick to enjoy his hobby comfortably, safe from theft & vandalism while sparing neighbors a view of multiple vehicles in various states of repair.

Per the City of Tucson Unified Development Code (UDC 6.4.5.C.1.a) the required setback of the front street perimeter property line based on a wall height of 14' is 21 ft. The proposed location of the garage is 10'-0" from the front street perimeter property line.

Therefore this project will require a variance to the code requirements. The variance we request is to reduce the (UDC 6.4.5.C.1.a) requirement of a 21' front property line setback to 10'.

Prior to submitting our variance application to the City of Tucson Planning & Development Services Department, we are required to offer to meet with our neighbors to discuss our project and answer any questions and address any concerns you might have.

The Meeting will be held on **OCTOBER 9TH at 5:30PM at 2440 S. CALLE CORDOVA**. There will be an attendance sheet at the meeting, please be sure to sign in. If you are not able to attend the meeting and have questions and/or concerns, feel free to contact me at: xylondesigns@gmail.com

A formal application for the variances will be submitted to the city of Tucson Planning & Development Services Department. Once our application is processed, we will be scheduled for a Board of Adjustment public hearing in which you may attend and speak at if so desired. You will receive an official notice from the City as to the date, time and place of the Board of Adjustment public hearing as well as a comment form that you may fill out regarding our project.

Thank you and we look forward to meeting with you.

Sincerely,

Patrick Scupin (Owner)

date: 9-26-19

Ray Clamons (Agent)

date: 9-26-19