

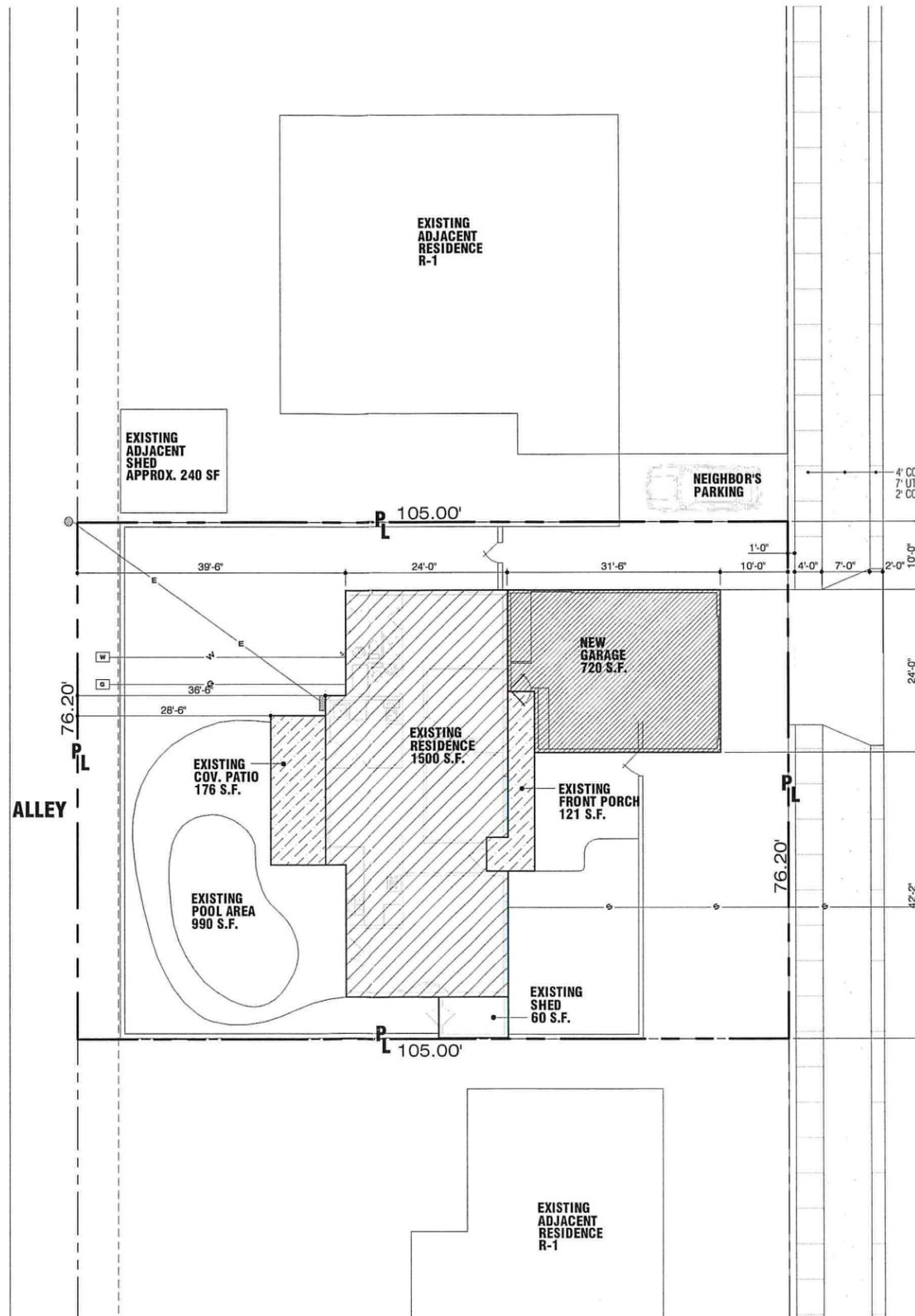
**GENERAL NOTES AND CONDITIONS:**

- IT IS UNDERSTOOD THAT, EXCEPT WHERE OTHERWISE SPECIFICALLY STATED TO THE CONTRARY, THE GENERAL CONTRACTOR AND SUB-CONTRACTOR SHALL PROVIDE AND PAY FOR THE ERECTION AND COMPLETION OF THE PROPOSED WORK, AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- THE DRAWINGS AND SPECIFICATIONS ARE COOPERATIVE, AND WHAT IS CALLED FOR BY ANYONE SHALL BE BINDING AS IF CALLED FOR BY ALL. SHOULD THEY DISAGREE, OR BE INCONSISTENT WITH THEMSELVES, THE GENERAL CONTRACTOR AND SUB-CONTRACTOR SHALL FURNISH THE BETTER QUALITY AND/OR THE GREATER QUALITY OF WORK OR MATERIALS.
- THE INTERPRETATION OF THE INTENT OF THE DRAWINGS AND SPECIFICATIONS SHALL REST SOLELY WITH THE GENERAL CONTRACTOR AND HIS DECISIONS SHALL BE FINAL AND SHALL REQUIRE COMPLIANCE BY THE SUB-CONTRACTOR IN PERFORMING THE WORK.
- PRIOR TO THE SUBMISSION OF THE BID, THE BIDDERS SHALL MAKE AND SHALL BE DEEMED TO HAVE MADE A CAREFUL EXAMINATION OF THE SITE AND OF THE PLANS AND SPECIFICATIONS. ALL INFORMATION THEREIN SHALL BECOME INFORMED AS TO THE LOCATION AND NATURE OF THE PROPOSED CONSTRUCTION, THE TERRAIN TO BE ENCOUNTERED, GENERAL LOCAL CONDITIONS AND ALL THE OTHER MATTERS THAT MAY AFFECT THE COST AND TIME OF THE COMPLETION OF THE PROJECT. BIDDERS WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE STATUTES, REGULATIONS, ETC., INCLUDING THOSE PERTAINING TO THE LICENSING OF SUB-CONTRACTORS AND REGULATIONS ISSUED PURSUANT THERETO.
- ANY FAILURE BY THE GENERAL CONTRACTOR OR SUB-CONTRACTOR TO ACQUAINT HIMSELF WITH ALL THE AVAILABLE INFORMATION SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. THE GENERAL CONTRACTOR SHALL INFORM THE ARCHITECT/OWNER OF ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH THE WORK.
- NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR CONDITIONS INCREASING THE CONTRACTORS COST WHICH WERE NOT KNOWN TO, OR APPRECIATED BY, HIM OR HER WHEN SUBMITTING WORK AND OR BID PROPERLY.
- BEFORE ORDERING ANY MATERIALS OR STARTING ANY WORK, SUB-CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. DO NOT SCALE DIMENSIONS OFF THE DRAWINGS. IF A NEEDED DIMENSION IS NEEDED, CONSULT THE OWNER/CONTRACTOR OR ARCHITECT BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED OR INDICATED ON THE DRAWINGS. NO COMPENSATIONS WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS INDICATED ON THE DRAWINGS. "N.T.S" DENOTES "NOT TO SCALE".
- THE STARTING OF WORK BY ANY CONTRACTOR SHALL BE CONSIDERED "PRIMA-FACIE" EVIDENCE THAT THE CONTRACTOR HAS INSPECTED ALL CONDITIONS INVOLVED IN THIS WORK AND FINDS THEM SATISFACTORY FOR THE PROPER EXECUTION OF THIS WORK. SHOULD HE OR SHE DETERMINE THAT CONDITIONS ARE UNSATISFACTORY FOR OBTAINING HIGHEST QUALITY RESULTS ON THE WORK, GENERAL CONTRACTOR SHALL NOT PROCEED UNTIL ALL CONDITIONS ARE PROPERLY CORRECTED.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS AND/OR SPECIFICATIONS, ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND RECOMMENDATIONS OF THE MANUFACTURER OF THE PRODUCT USED OR INSTALLED.
- WORKMANSHIP CONNECTED WITH THIS PROJECT SHALL BE OF HIGHEST QUALITY AND ANY WORK DONE TO THE CONTRARY WILL BE REJECTED BY THE DESIGNER AND/OR THE OWNER.
- ALL DETAILS AND CONDITIONS NOTED AS TYPICAL SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK, FOR THE TRADE INVOLVED.
- BUILDER AND OWNER SHALL PROVIDE DETAILS AND SPECIFICATIONS NEEDED BEYOND THOSE SHOWN HEREIN.
- METALS: ALL FLASHINGS SHALL BE GALVANIZED 24 GAUGE MINIMUM WHETHER SPECIFICALLY CALLED OUT OR NOT AND, AS REQUIRED BY MANUFACTURER, FOR A SPECIFIC PRODUCT. ALL STRUCTURAL CONNECTORS SHALL BE BY "SIMPSON" MANUFACTURER OR EQUAL IN QUALITY AND STRENGTH.
- LUMBER: ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR LARCH #1. FRAMING STUDS SHALL BE WITH DOUGLAS FIR #2. GRADE STAMPS SHALL BE LEGIBLE WITH A MARK INDICATING STRESS RATING AND/OR GRADE SPECIES AND MILL.
- ANY LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE "PRESSURE TREATED" OR NATURALLY RESISTANT TO TERMITES AND FLASHED AS REQUIRED.
- CONCRETE: ALL CONCRETE SHALL BE 1500 P.S.I. AT 28 DAYS WITH A 4" MAXIMUM SLUMP. ASSUMED SOIL PRESSURE = 1000 P.S.F.
- TRUSS SIZES & SPACING, BY TRUSS MANUFACTURER, SEE FRAMING PLAN.
- QUESTIONS AS TO THE ADEQUACY OF SOIL BEARINGS AND/OR FILL COMPACTION SHALL BE RESOLVED AT THE OWNER'S EXPENSE, ON-SITE BY A LICENSED SOILS ENGINEER.
- GRADING: GROUND FLOOR SLABS ARE SET AT 0' - 0". (FOR REFERENCE ONLY) MINIMUM 6" ABOVE FINISHED GRADE, AND PER APPLICABLE GRADING REPORTS.
- CONCRETE SHALL BE FINISHED SMOOTH AND LEVEL (PITCHED WHERE NOTED), WITH CONTROL JOINTS AS SHOWN. ALL EXTERIOR CONCRETE SLABS SHALL BE FINISHED AS NOTED AND SLOPED AS SHOWN. BUILDER SHALL LOCATE CONSTRUCTION AND EXPANSION JOINTS ON-SITE AS SHOWN TO ENSURE NO CRACKING OF CONCRETE.
- EXTERNAL FOOTINGS AND POST PADS SHALL BEAR UPON MINIMUM 1000 PSF SOIL AT A MINIMUM DEPTH OF 12" BELOW ADJACENT FINISHED GRADE. BUILDER SHALL LOCATE FOOTING "STEPS" WHERE REQUIRED TO ENSURE PROPER FOOTING DEPTHS.
- INTERNAL FOOTINGS, MONOLITHIC-POURED BEARINGS AND PIER PADS (IF REQUIRED) SHALL BEAR UPON MINIMUM 1000 PSF SOIL AT A MINIMUM DEPTH OF 12" BELOW ADJACENT NATURAL GRADE. BUILDER SHALL LOCATE "STEPS" WHERE REQUIRED.
- NO CINDERS MAY BE USED AS FILL UNDER SLABS. EXPOSED SLABS, AS IN WALKWAYS, SHALL CONTAIN 6" X 6" (#10) WELDED WIRE MESH THRU-OUT ON FIRMLY COMPACTED GRADE.
- CONCRETE CONTRACTOR SHALL VERIFY ALL ANCHOR BOLTS, HOLD DOWNS, COLUMN BASE LOCATIONS WITH FRAMING CONTRACTOR PRIOR TO PLACING ANY CONCRETE.
- TERMITE CONTROL: GENERAL CONTRACTOR TO OBTAIN MANUFACTURER'S SPECIFICATIONS ON TERMITE PRE-TREATMENT AND HAVE QUALIFIED LICENSED APPLICATOR PERFORM THE WORK IN STRICT ACCORDANCE WITH SPECIFICATIONS. PROVIDE 5-YEAR WRITTEN GUARANTEE. TREATMENT SHALL BE OF NON-TOXIC TYPE SUCH AS TERMIDOR AVAILABLE AT <https://www.termidorhome.com/>
- GYPSONUM DRYWALL: EXTENT OF WORK IS AS SHOWN ON DRAWINGS: PROVIDE NOTED THICKNESSES AND TYPES; PROVIDE NECESSARY METAL ACCESSORIES AND JOINT COMPOUNDS, INSTALL PER MANUFACTURER'S SPECIFICATIONS. PROVIDE MOISTURE RESISTANT TYPE AT ALL INTERIOR WET AREAS AND EXTERNAL SOFFITS.
- ALL INTERIOR WALLS TO BE TEXTURED FINISHED (HAUK & TROWEL) ON 1/2" GWB U.N.O.
- ALL 5/8" TYPE 'X' GYPSONUM WALLBOARD SHALL BE BLOCKED AND HAVE NAILING 6" O.C. MAXIMUM ALL 1/2" GYPSONUM WALLBOARD SHALL BE BLOCKED AND NAILING 6" O.C. MAXIMUM THROUGHOUT UNLESS OTHERWISE NOTED.
- BATH WALLS THAT ARE TILED SHALL HAVE TILE BACKER BOARD WITH TILE SET ON PORTLAND CEMENT PLASTER WITH EXPANDED WIRE MESH, OR PROVIDE SEMI-GLOSS PAINT ON MOISTURE RESISTANT GYPSONUM BOARD (OWNER'S OPTION).
- INSULATION: BATT FIBERGLASS INSULATION: 1 POUND PER CUBIC FOOT (APPROXIMATE DENSITY) INSTALL PER MANUFACTURER'S SPECIFICATIONS. SEE DRAWINGS FOR SPECIFIC SIZE AND LOCATION. ROOF TO RECEIVE 11" 1/2" INSULATION (R-38), EXTERIOR WALLS TO BE 5-1/2" INSULATION (R-19).
- FLOORING: (SEE FLOOR PLAN)
- INTERIOR WALLS: 2 X 4 STUDS AT 16" O.C. (BEARING) OR 24" O.C. (NON-BEARING) WITH 1/2" GWB BOTH SIDES, TEXTURED AND PAINTED. (USE 2 X 6 STUDS AND/OR 5/8" TYPE 'X' GWB WHERE NOTED. SEE 'A' SHEETS FOR SPECIAL CONSTRUCTION AND DETAILS.
- ROOF: ELASTOMERIC ROOFING SYSTEM PER MANUFACTURE SPECS.
- ROOF TO BE WATER TESTED IN THE PRESENCE OF GENERAL CONTRACTOR AND OWNER, BEFORE ACCEPTANCE. CONTACT DESIGNER FOR ANY DOUBTFUL CONDITIONS.
- CAULKING/SEALANTS: SAFE-COAT, LOW VOC OR APPROVED EQUAL, APPLIED IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. BED ALL SILLS IN CONTINUOUS SILICONE INCLUDING JOINTS BETWEEN FRAMES OF EXTERIOR DOORS, JOINTS AROUND WINDOWS AND OTHER WALL PENETRATIONS. USE LATEX CAULKING AT ALL SIMILAR INTERIOR LOCATIONS.
- DOORS: PROVIDE AND INSTALL SIZES AND TYPES SHOWN ON THE DRAWINGS. DETAILS ARE BASED ON PRE-HUNG TYPE DOORS, PAINT GRADE. (SEE DOOR SCHEDULE)
- ALL DOOR, WINDOW, AND ROOM FINISHES SHALL BE CHECKED WITH OWNER AND MEET WITH THEIR APPROVAL.
- FINISH HARDWARE SHALL BE STANLEY OR EQUAL BUTT HINGES, STANDARD DUTY, FINISH BY OWNER. PROVIDE THREE BUTT HINGES PER EXTERIOR DOORS AND THREE PER INTERIOR DOORS. PROVIDE LOCKSETS, KIWKSET OR EQUAL, ETC.
- EXTERIOR DOORS TO BE FULLY WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION.
- ALL WINDOW AND DOOR OPENINGS SHOWN ARE ROUGH SIZES AND SHALL BE VERIFIED WITH WINDOW AND DOOR MANUFACTURERS FOR REQUIRED JAMB OPENING SIZES BEFORE FRAMING IS STARTED.
- PAINT: ALL COLORS AND TYPES TO BE SELECTED BY CONTRACTOR AND/OR OWNER. CHOOSE ZERO VOC PAINT GREEN GUARD CERTIFIED EXTERIOR:
  - WOOD: (G.L. BM'S AND TRIM) OPAQUE ACRYLIC STAIN. (ALL G.L. BM'S TO BE FULLY PREPARED PRIOR TO STAINING)
  - DOORS: 1 COAT LATEX PRIMER, 1 COAT LATEX EXTERIOR ENAMEL
  - STEEL AND WROUGHT IRON: 1 COAT SHOP PRIMER, 1 COAT EXTERIOR RUST - INHIBITIVE ENAMEL
  - GALVANIZED IRON: 1 COAT ZINC PRIMER, 1 COAT EXTERIOR RUST - INHIBITIVE ENAMEL
  - MISCELLANEOUS ITEMS: VENTS, FLASHING, ETC.: PAINT TO MATCH ADJACENT SURFACES, INCLUDING MISCELLANEOUS ELECTRICAL EQUIPMENT
  - STUCCO: 2 COATS EXTERIOR GRADE VINYL ACRYLIC LATEX OR COLOR PIGMENT IMPREGNATED STUCCO
  - RESTROOM: PROVIDE 2 COATS SEMI-GLOSS ENAMEL AT ALL WALLS AND CEILING. (APPLY HAUK & TROWEL SURFACE).
- EXISTING GRADING AND DRAINAGE TO REMAIN. MAINTAIN EXISTING SLOPE, GRADING, AND WATER FLOWS. (CONTRACTOR SHALL VERIFY). PROPOSED GRADES SHALL BE VERIFIED BY CONTRACTOR AND ACTUAL BUILT ELEVATIONS ADJUSTED ACCORDINGLY. BUILDING LAYOUT AND ESTABLISHMENT OF GRADES SHALL BE BY A SURVEYOR OR CIVIL ENGINEER LICENSED IN THE STATE OF ARIZONA. FEES REQUIRED FOR THIS WORK SHALL BE BORNE BY THE CONTRACTOR.
- WATER SERVICE FROM A SINGLE CENTRAL MASTER WATER METER. VERIFY WITH LOCAL WATER COMPANY AND/OR OWNER.
- ALL CHANGES FROM THESE CONTRACT DOCUMENTS SHALL HAVE PRIOR APPROVAL FROM THE OWNER/ARCHITECT.
- ALL ELECTRICAL SHALL BE PER THE CURRENT N.E.C., LOCAL CODES AND LOCAL UTILITY COMPANY.
- THESE DOCUMENTS ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN ORIGINALLY ISSUED UNLESS AUTHORIZED IN WRITING BY THE DESIGNER.
- ALL MATERIALS, CONSTRUCTION AND INSTALLATIONS SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF THE I.R.C., U.F.C., U.M.C., U.P.C., N.E.C. AND ANY FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES OF THE PROJECT. CONTRACTOR SHALL INFORM THE DESIGNER/OWNER OF ANY DISCREPANCIES, PRIOR TO PROCEEDING WITH THE WORK.
- ALL COLORS TO BE SUBMITTED BY PRODUCT MANUFACTURER. CONTRACTOR TO BEST SUIT PROJECT INTENT & COLOR BOARD TO BE APPROVED BY OWNER, CITY AND/OR DESIGNER.

**CONSTRUCTION NOTES**

- CONSTRUCTION SHALL BE CARRIED OUT IN A CLEAN, SAFE MANNER, COMPLYING WITH O.S.T.A., U.B.C. APPLICABLE LAWS AND GOOD PRACTICE. ALL TRADES ARE RESPONSIBLE FOR THE KNOWLEDGE OF THAT INFORMATION PERTAINING TO THAT TRADE IN THE AFOREMENTIONED REFERENCES, AND MANUALS, CODES, LITERATURE ETC., AS IT PERTAINS TO, AND IS RELATED TO THAT TRADE.
- DESIGNER WILL NOT BE PROVIDING CONSTRUCTION ADMINISTRATIVE SERVICES AND/OR SITE OBSERVATIONS. IT WILL BE THE OWNER/BUILDER'S RESPONSIBILITY TO ADHERE TO THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR AND SUB-CONTRACTOR SHALL VERIFY ALL SITE UTILITY LOCATIONS, SIZE, AND CONNECTION REQUIREMENTS AND A "BLUE STAKING" COMPANY SHALL BE ENLISTED TO LOCATE UNDERGROUND UTILITIES. 1-800-STAKE-IT (263-1100)
- SITE AND CONSTRUCTION SHALL BE MAINTAINED IN A CLEAN, SAFE CONDITION, REMOVE RUBBISH FROM SITE DAILY. MAINTAIN REQUIRED TOILET FACILITIES.
- CONTRACTOR/OWNER SHALL OBTAIN ALL REQUIRED BUILDING AND UTILITY CONNECTION PERMITS. THESE ITEMS WILL BE THE FINANCIAL RESPONSIBILITY OF THE OWNER/CONTRACTOR.

CALL TWO WORKING DAYS BEFORE YOU DIG  
263-1100  
1-800-STAKE-IT



**INDEX:**

- G1 - SITE PLAN + PROJECT DATA
- A1 - FLOOR PLAN
- A2 - FRAMING + FOUNDATION PLANS
- A3 - ELEVATIONS
- A6 - DETAILS
- E1- ELECTRICAL PLAN & PANEL SCHED.

**PROJECT DATA:**

**CLIENT & PROJECT ADDRESS:**

SCUPIN PATRICK  
2440 S CALLE CORDOVA  
TUCSON AZ 85710-5731

**TAX PARCEL:**

135-10-1770

**LEGAL DESCRIPTION:**

MANANA GRANDE LOT 26 BLK 16

**ZONING:**

R-1 - CITY OF TUCSON

**ZONING KEY MAP:**



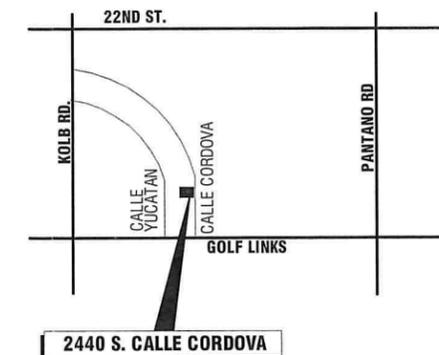
**LOT COVERAGE:**

NEW GARAGE:	+ 720 S.F.
EXISTING LIVABLE AREA:	+ 1,500 S.F.
EXISTING FRONT PORCH AREA:	+ 121 S.F.
EXISTING BACK PORCH AREA:	+ 176 S.F.
EXISTING SHED AREA:	+ 60 S.F.
VEHICULAR USE AREA:	+ 253 S.F.
EXISTING POOL AREA:	+ 990 S.F.
TOTAL LOT COVERAGE:	3,828 S.F.
LOT AREA:	+ 8,000 S.F.
TOTAL LOT COVERAGE %	47%
ALLOWABLE LOT COVERAGE %	70%

**APPLICABLE CODES:**

INTERNATIONAL RESIDENTIAL CODE 2018  
INTERNATIONAL MECHANICAL CODE 2018  
NATIONAL ELECTRICAL CODE 2017  
INTERNATIONAL PLUMBING CODE 2018

**LOCATION MAP:**



Variance is required  
pe 9-11-19

**SITE PLAN**  
SCALE: 1"=10'

**SITE PLAN**

REVISIONS	
GARAGE ADDITION	9-5-19
PATRICK SCUPIN 2440 S. CALLE CORDOVA TUCSON, AZ 85710	
<b>G1</b>	
SHEET 1 OF 6	



Raymond Xylon Clamons  
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