

GENERAL NOTES

- DEVELOPER: TUCSON SCREAMERS INC. 7565 NORTH YELLOW MOON PLACE TUCSON, ARIZONA 85743
- EXISTING ZONING IS I-1, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE PROPOSED USES FOR THE DEVELOPMENT ARE COMMERCIAL RECREATION / SERVICES, AND ADMINISTRATIVE & PROFESSIONAL OFFICE, SUBJECT TO U.D.C. SECTION 4.9.13.0, AND COMMERCIAL STORAGE SUBJECT TO U.D.C. SECTION 4.9.10.A AND 4.9.13.0. SEASONAL SPECIAL EVENTS AND CONCERTS SHALL BE ALLOWED BY SPECIAL USE PERMIT.
- THE GROSS SITE AREA IS 169,495.2 SF, OR 3.89 ACRES.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH STREET DEVELOPMENT STANDARD 3-01.0.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT.
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND ICC A117.1 (2009 EDITION). PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH HANDICAP PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE". THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- U.D.C. REQUIREMENTS FOR I-1 ZONING:
MAXIMUM BUILDING HEIGHT = 75'
ACTUAL BUILDING HEIGHT = 30.83'
PERIMETER YARDS: REQUIRED PROVIDED
NORTH (STREET)- 21' 33.2' MIN.
EAST (STREET)- 21' 0.6' MIN.
SOUTH (STREET)- 46'-3" 60.0' MIN.
WEST- 0' 45.6' MIN.
*SETBACKS ARE MEASURED FROM BACK OF FUTURE CURB
- MOTOR VEHICLE PARKING REQUIRED:
FOR COMMERCIAL RECREATION/SERVICES: 1 SPACE/300 SF.
REQUIRED = 13,000 SF/300 SF = 43.3 SPACES
FOR COMMERCIAL STORAGE 1 SPACE/5,000 SF.
REQUIRED = 10,880 SF/5,000 SF = 2.2 SPACES
FOR ADMINISTRATIVE & PROFESSIONAL OFFICE: 1 SPACE/300 SF
REQUIRED = 860 SF/300 SF = 2.9 SPACES
ACCESSIBLE SPACES REQUIRED (EQUAL OR LESS THAN 50 SPACES) = 2 SPACES
ACCESSIBLE SPACES PROVIDED = 3 SPACES
TOTAL REQUIRED = 50 SPACES
TOTAL PROVIDED = 50 SPACES
- BICYCLE PARKING:
SHORT TERM:
ENTERTAINMENT - SPACES FOR 2% OF MAX. DAILY ATTENDANCE
REQUIRED = 108 x 0.02 = 3 SPACES
STORAGE = 2 SPACES
REQUIRED = 2 SPACES
ADMIN. & PROF. OFFICE 1 SPACE PER 20,000 SF OR 2 MIN.
REQUIRED = 860/20,000 OR 2 = 2 SPACES
TOTAL REQUIRED = 7 SPACES
TOTAL PROVIDED = 11 SPACES

LONG TERM: ENTERTAINMENT 1 SPACE PER 20 EMPLOYEES (2 MIN.)
REQUIRED = 38/20 = 2 SPACES
STORAGE - 1 SPACE PER 40,000 SF (2 MIN.)
REQUIRED = 10,880/12,000 = 2 SPACES
ADMIN. & PROF. OFFICE - 1 SPACE PER 6,000 SF (2 MIN.)
REQUIRED = 860/6,000 = 2 SPACES
TOTAL REQUIRED (2 MIN. PER USE) = 6 SPACES
TOTAL PROVIDED = 6 SPACES

* LONG-TERM BIKE PARKING PROVIDED INSIDE THE MAIN BUILDING, BIKE PARKING INSIDE THE BUILDING WILL NOT CREATE A SAFETY HAZARD, PEDESTRIAN CIRCULATION AND BE IN CAN AREA VISIBLE FROM EMPLOYEE WORK AREAS, OR IN LOCK ROOM.
* "ENTERTAINMENT" NOT LISTED AS A USE IN GENERAL NOTE 3, BUT WAS THE MOST APPROPRIATE AVAILABLE SELECTION IN THE TABLE UDC 7.4.8-1 FOR THE "COMMERCIAL RECREATION/SERVICES AND USE."

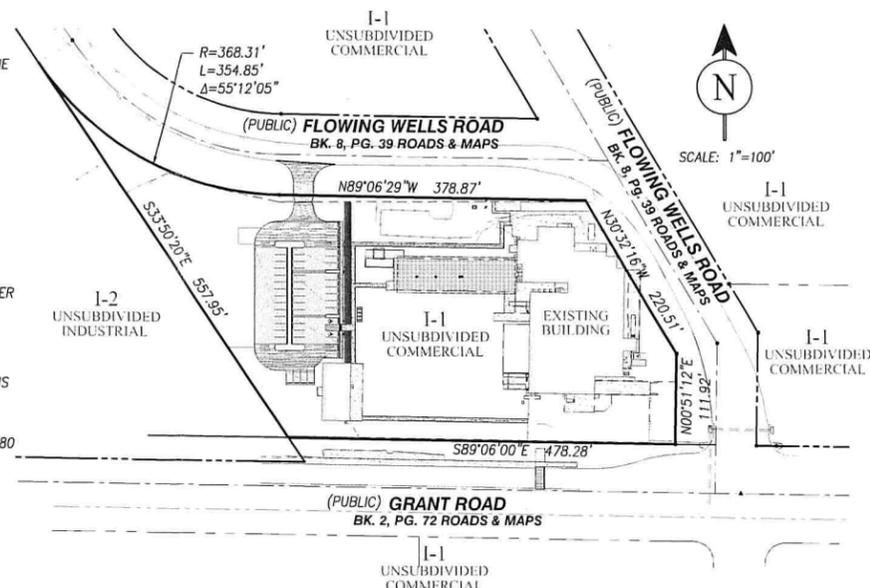
LOADING ZONES REQUIREMENTS:
0 SPACES NEEDED FOR COMMERCIAL SERVICES.
0 TOTAL REQUIRED ADMIN. & PROF. OFFICE = 1 SPACES
1 TOTAL REQUIRED COMMERCIAL STORAGE = 1 SPACES
TOTAL REQUIRED = 2 SPACES
TOTAL PROVIDED (EXISTING) = 2 SPACES

- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- DEPRESS ALL LANDSCAPE AREAS A MINIMUM OF 6" TO MAXIMIZE STORMWATER HARVESTING.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- TOTAL BUILDING GFA IS 28,271 SF. BETWEEN 3 EXISTING BUILDING, PLUS AN ADDITIONAL 3,376 SF. FOR THE PROPOSED SHIPPING CONTAINERS WALL, PLUS AN ADDITIONAL 280 SF. FOR EXISTING SHEDS. TOTAL NEW PAVED AREA IS 19,830 SF ±
- EXISTING BUILDINGS SQUARE FOOTAGE: 24,740 SF.+2,523 SF.+ 1,008 SF.+280 SF. (SHEDS)=28,551 SF. PROPOSED EXPANSION FROM SHIPPING CONTAINERS =3,056 SF. EXPANSION = 3,056/28,551 = 10.7%
- TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 42,743 SQUARE FEET.
- THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC SECTION 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R).

PAVING & GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA COUNTY/CITY OF TUCSON (PC/COT) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, AND THE PIMA COUNTY/CITY OF TUCSON STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE): TOTAL CUT TOTAL FILL COMPOSITE 1,057 CY 370 CY 687 CY (C) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT DSD TO RENEW/EXTEND THE GRADING IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY DSD WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, AND ALL CONDITIONS OF PERMITS ARE COMPLETED.

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE
DPI17-0055



LEGEND

---	EXIST. BOUNDARY LINE	---	ACCESSIBLE ROUTE
---	EXIST. EASEMENT LINE	●	1/2" REBAR TAGGED "RLS 41603"
---	EXIST. CENTER LINE	○	FOUND MONUMENT AS NOTED
---	EXIST. RIGHT OF WAY LINE	○	FOUND BRASS CAP STAMPED AS NOTED
---	EXIST. OVERHEAD UTILITY	△	FOUND 2" ALUMINUM CAP STAMPED AS NOTED
---	EXIST. WATER LINE	□	FOUND NAIL IN PAVEMENT TAGGED AS NOTED
---	EXIST. SEWER LINE	□	RECORD DIMENSION PER DKT. 12779 PG. 4338
---	EXIST. GAS LINE	□	RECORD DIMENSION PER BK. 8 PG. 39 ROAD MAP
---	EXIST. FENCE	□	EXIST. UTILITY POLE
---	NEW PAVEMENT	□	EXIST. ELECTRIC TRANSFORMER
---	PROP. CONCRETE SIDEWALK	□	EXIST. ELECTRIC METER/BOX
---	PROP. ROCK RIP-RAP	□	EXIST. LIGHT STANDARD
---	EXIST. CONCRETE	□	EXIST. FIRE HYDRANT
---	PROP. GRAVEL (AS NOTED)	□	EXIST. WATER VALVE
---	EXIST. EDGE PAVEMENT	□	EXIST. WATER METER/SERVICE
---	DRAINAGE FLOW DIRECTION	□	EXIST. SEWER MANHOLE
---	PROP. SPOT ELEVATION	□	EXIST. GAS METER
---	EXIST. SPOT ELEVATION	□	
---	NEW SIGHT VISIBILITY TRIANGLE	□	
---	NUMBER OF NEW PARKING SPACES	□	

SURVEY NOTES:

- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE CENTERLINE OF GRANT ROAD AS RECORDED IN BOOK 8, PAGE 29 OF ROAD MAPS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID CENTERLINE IS S 89°06'00" E.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY/CITY OF TUCSON GEODETIC CONTROL POINT "DA-17" DESCRIBED AS A 3" BRASS DISK, DOWN 0.4', SET IN GRANT ROAD APPROX. 75' E. OF FORBES BOULEVARD AND APPROXIMATELY 1,550' W. OF THE SUBJECT PARCEL. THE ELEVATION OF SAID BENCHMARK IS 2,307.59', NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: POLARIS LANDSURVEYING, LLC, (SEP. 2013), 3528 NORTH FLOWING WELLS ROAD TUCSON, ARIZONA 85705 ATTN: MR. JOHN D. REYES, AZ RLS #41605 (520) 322-6400
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

OWNER/DEVELOPER

TUCSON SCREAMERS INC.
7565 N. YELLOW MOON PLACE
TUCSON, ARIZONA 85743
ATTN: MR. BOBBY SUTTON
PH: (520) 794-2501

SHEET INDEX

- SHEET C1 OF B COVER SHEET & NOTES
- SHEET C2: SITE PLAN
- SHEET C3: PAVING, GRADING & DRAINAGE
- SHEET C4: DETAILS
- SHEET C5: SWPPP
- SHEET L1 OF B LANDSCAPE PLAN
- SHEET L2: IRRIGATION PLAN
- SHEET L3: PLANTING-IRRIGATION DETAILS

PERRY ENGINEERING
505 W WETMORE RD.
TUCSON, AZ 85705
CONTACT: KEN PERRY, P.E.
520-620-9870
PERRYENGINEERING.NET



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SEC2
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
HC Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE COVER SHEET & GENERAL NOTES
LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

PROJECT ADDRESS
THE SLAUGHTERHOUSE
1102 W. GRANT ROAD
TUCSON AZ 85705

Expires: 9/30/20 P.E.# 16011 C1 of 8

NO.	DATE	REVISION	BY	CH	APPR



KEY NOTE:

- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CURB RAMP TO REMAIN.
- 5 EXISTING CONCRETE / SIDEWALK TO REMAIN.
- 6 EXISTING CONCRETE PAVERS TO REMAIN.
- 7 EXISTING FENCE TO REMAIN.
- 8 EXISTING WALL TO REMAIN.
- 9 EXISTING RAMP TO REMAIN.
- 10 EXISTING FLOOR DRAIN TO REMAIN.
- 11 EXISTING SPECIAL EVENT DISPLAY SHED TO REMAIN.
- 12 EXISTING GRATE TO REMAIN.
- 13 EXISTING CONCRETE TO BE REMOVED.
- 14 NEW 5' WIDE (OR AS NOTED) CONCRETE SIDEWALK PER PC/COT STD. DTL. 200. USE PORTLAND CEMENT CONCRETE.
- 15 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 16 NEW HANDICAP SIGN AND POST. SEE DETAIL D & E, SHEET C4.
- 17 NEW 2.5" PAVEMENT WITH THICKENED EDGE OVER 4" ABC. 3" AC OVER 4" ABC FOR ACCESS AND DRIVE AREAS. COMPACT ABC TO 100%. SEE DETAIL A, SHEET C4.
- 18 NEW 6" WHEEL STOP (TYP.). SEE DETAIL A, SHEET C4.
- 19 NEW SHORT TERM BIKE RACK. SEE RACK DETAIL B ON SHEET C4. RACKS TO BE ILLUMINATED BY LIGHT ON ADJACENT BUILDINGS & BY EVENT LIGHTING.
- 20 NEW BASIN 2 OUTLINE FOR GRADES AND SLOPES SEE SHEET C3.
- 21 NEW BASIN 1 OUTLINE FOR GRADE AND SLOPES SEE SHEET C3.
- 22 NEW CONCRETE VERTICAL CURB SEE DTL. C ON SHEET C4.
- 23 EXISTING GATES TO REMAIN. GATE CLEAR OPENING = 20 FT
- 24 NEW 2' DROPPED CURB OPENING SEE DTL. F ON SHEET C4.
- 25 NEW 2' LONG CONCRETE CURB TERMINAL SECTION COT/PC STD. DTL. #212.
- 26 NEW CONCRETE HEADER PER COT/PC STD. DTL. #213.
- 27 NEW PAVEMENT THICKENED EDGE PER DTL. A ON SHEET C4.
- 28 NEW WATER HARVESTING AREA. DEPRESSED 6" MAX. SEE DTL. H ON SHEET C4.
- 29 SAW CUT 1" MIN. INTO EXIST PAVEMENT. REMOVE EXIST. ASPHALT TACK & JOIN.
- 30 FUTURE ROAD WIDTH AND CURB LOCATION PER 76' RIGHT OF WAY SECTION
- 31 FUTURE BUILDING SETBACK MEASURED FROM BACK OF CURB
- 32 FUTURE SIGHT VISIBILITY TRIANGLE
- 33 FUTURE ROAD WIDTH AND CURB LOCATION PER 120' RIGHT OF WAY SECTION
- 34 EXISTING SIGHT VISIBILITY TRIANGLE
- 35 NEW 8'W X 8'H X 20'L SHIPPING METAL CONTAINER, TWO STACKED ON TOP OF EACH OTHER MAKING A TOTAL OF 16 FEET HIGH. SET CONTAINERS 4" OFF THE GROUND TO ALLOW FOR POSITIVE DRAINAGE FLOW, OR PROVIDE 1 FOOT WIDE TRENCH UNDER EACH CONTAINER.
- 36 TUCSON ELECTRIC POWER (T.E.P.) INGRESS PROJECT TO BE PLANNED AND PERMITTED BY T.E.P.. ALL HATCHED AREA.
- 37 4' WIDE BY 0.5' DEEP CHANNEL UNDER WALL TO ALLOW DRAINAGE TO PASS THRU.
- 38 1/2" + DIAMETER GRAVEL 1" THICK
- 39 FUTURE SIDEWALK AND CURB (TYP)
- 40 TEMPORARY 16-FOOT HIGH SOUND BARRIER TO BE PLACE HERE DURING CONCERT EVENTS.

3" BRASS CAP IN HANDHOLE
SOUTHWEST CORNER
SECTION 35, T.13 S., R.13 E.

1328.01'

CALCULATED
1/16TH CORNER

I-2
UNSUBDIVIDED
INDUSTRIAL

I-1
UNSUBDIVIDED
COMMERCIAL
A.P.N. 107-07-014B
SEC. # 20152030210

(PUBLIC) **FLOWING WELLS ROAD**
BOOK 8 PAGE 39 ROAD MAPS

I-1
UNSUBDIVIDED
COMMERCIAL
A.P.N. 107-07-020A
SEC. #20150550119

A.P.N. 107-07-019A
SEC. #20092310374

I-1
UNSUBDIVIDED
COMMERCIAL

I-2
UNSUBDIVIDED
INDUSTRIAL
A.P.N. 107-07-015A
D.K.T. 83 PG. 111

I-1
UNSUBDIVIDED
COMMERCIAL

(PUBLIC) **GRANT ROAD**
60' R.O.W. - BK. 2 PG. 72 ROAD MAPS

DP17-0055

PERRY
ENGINEERING
505 W WETMORE RD.
TUCSON, AZ 85705
CONTACT:
KEN PERRY, P.E.
520-620-9870
PERRYENGINEERING.NET

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE SITE PLAN
LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA



PROJECT ADDRESS
THE SLAUGHTERHOUSE
1102 W. GRANT ROAD
TUCSON AZ 85705

P.E. # 16011 C2 of 8

NO.	DATE	REVISION	BY	CH	APPR

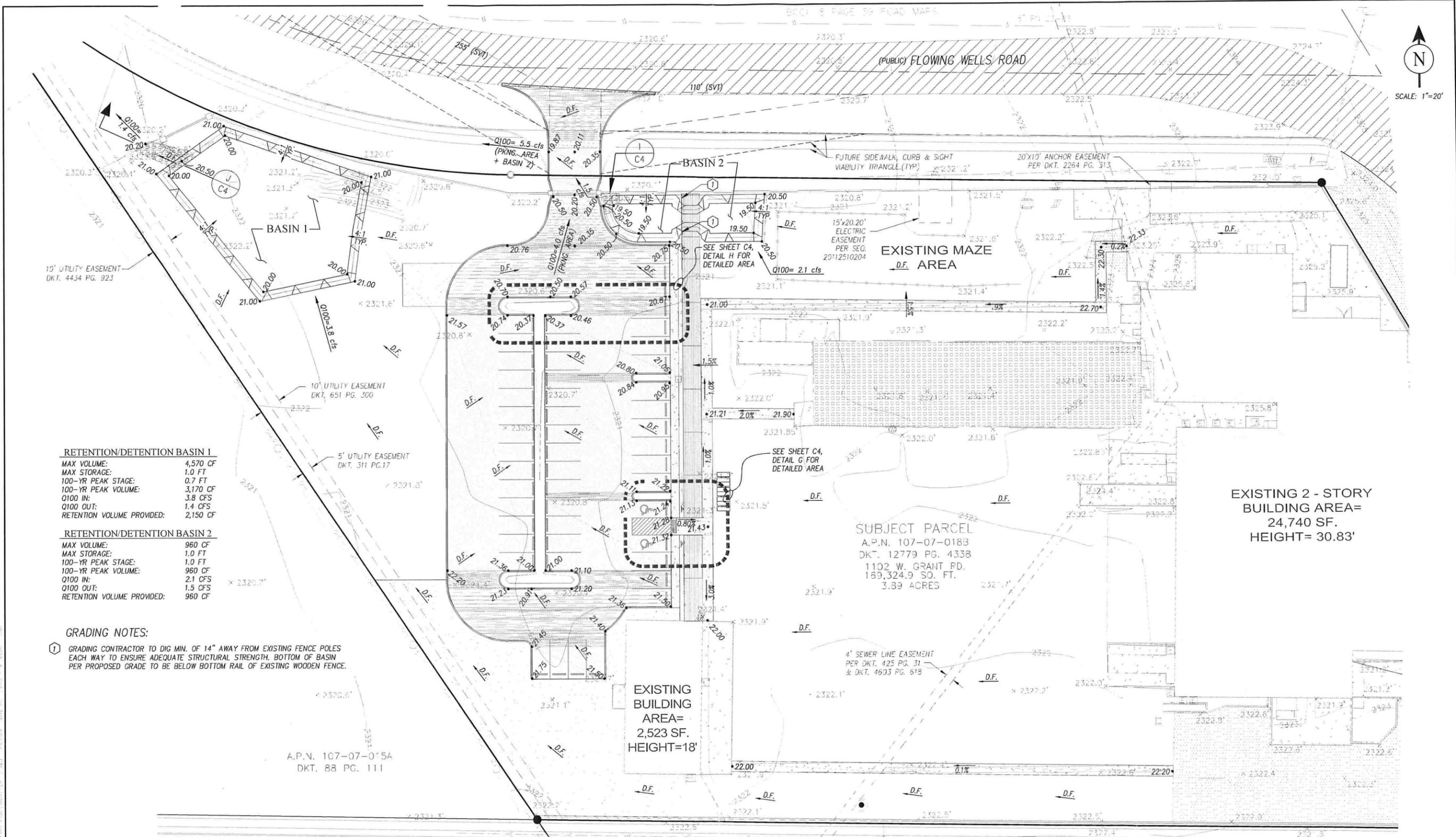


FAIRVIEW AVENUE

USE OF THE INFORMATION CONTAINED HEREIN IS LIMITED TO THE SPECIFIC PROJECT FOR WHICH IT WAS PREPARED AND FOR WHICH THE CLIENT HAS BEEN ADVISED OF THE LIMITATIONS OF THIS INFORMATION. PERRY ENGINEERING, LLC SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.



SCALE: 1"=20'



RETENTION/DETENTION BASIN 1
 MAX VOLUME: 4,570 CF
 MAX STORAGE: 1.0 FT
 100-YR PEAK STAGE: 0.7 FT
 100-YR PEAK VOLUME: 3,170 CF
 Q100 IN: 3.8 CFS
 Q100 OUT: 1.4 CFS
 RETENTION VOLUME PROVIDED: 2,150 CF

RETENTION/DETENTION BASIN 2
 MAX VOLUME: 960 CF
 MAX STORAGE: 1.0 FT
 100-YR PEAK STAGE: 1.0 FT
 100-YR PEAK VOLUME: 960 CF
 Q100 IN: 2.1 CFS
 Q100 OUT: 1.5 CFS
 RETENTION VOLUME PROVIDED: 960 CF

GRADING NOTES:
 ① GRADING CONTRACTOR TO DIG MIN. OF 14" AWAY FROM EXISTING FENCE POLES EACH WAY TO ENSURE ADEQUATE STRUCTURAL STRENGTH. BOTTOM OF BASIN PER PROPOSED GRADE TO BE BELOW BOTTOM RAIL OF EXISTING WOODEN FENCE.

A.P.N. 107-07-015A
 DKT. 88 PG. 111

EXISTING BUILDING AREA= 2,523 SF.
 HEIGHT=18'

EXISTING 2 - STORY BUILDING AREA= 24,740 SF.
 HEIGHT= 30.83'

SUBJECT PARCEL
 A.P.N. 107-07-018B
 DKT. 12779 PG. 4338
 1102 W. GRANT RD.
 169,324.9 SQ. FT.
 3.89 ACRES

PERRY ENGINEERING, INC. SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

PERRY ENGINEERING
 505 W WETMORE RD.
 TUCSON, AZ 85705
 CONTACT:
 KEN PERRY, P.E.
 520-620-9870
 PERRYENGINEERING.NET



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE PAVING, GRADING & DRAINAGE
 LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

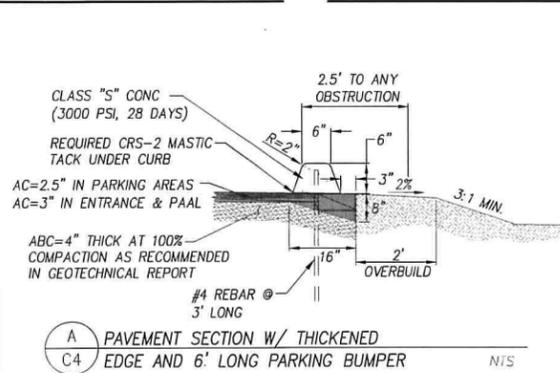


PROJECT ADDRESS
 THE SLAUGHTERHOUSE
 1102 W. GRANT ROAD
 TUCSON AZ 85705

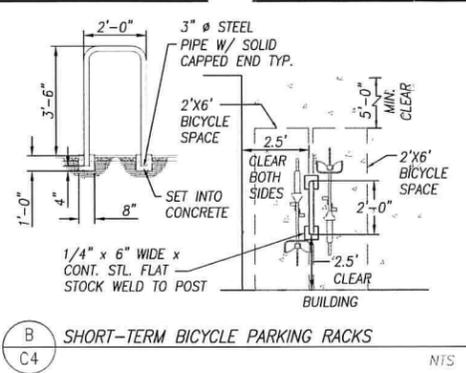
P.E. # 16011 C3 of 8

NO.	DATE	REVISION	BY	CH	APPR

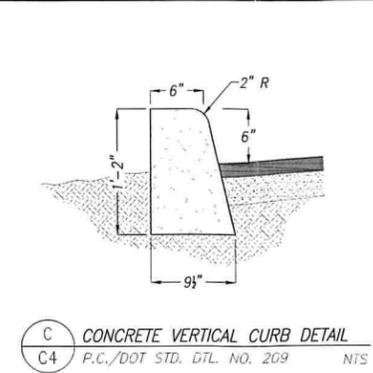
Expires: 9/30/20



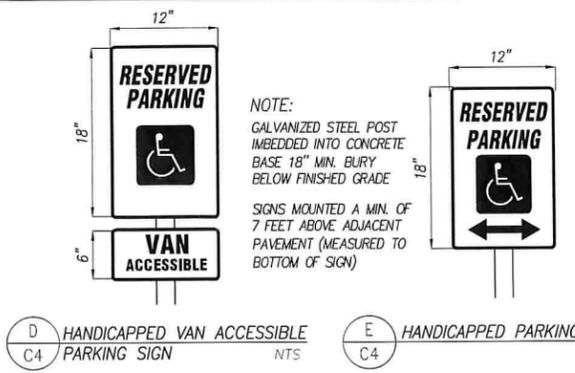
A PAVEMENT SECTION W/ THICKENED EDGE AND 6' LONG PARKING BUMPER
C4 NTS



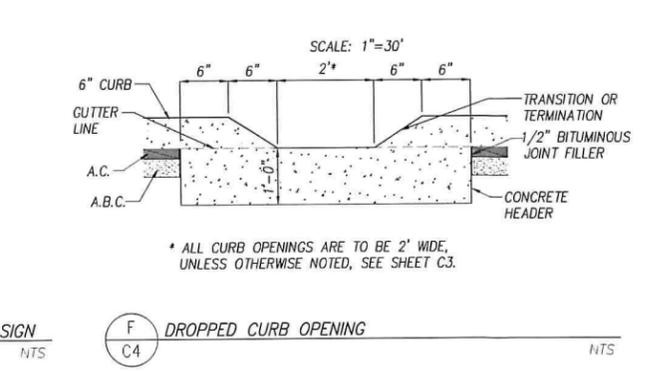
B SHORT-TERM BICYCLE PARKING RACKS
C4 NTS



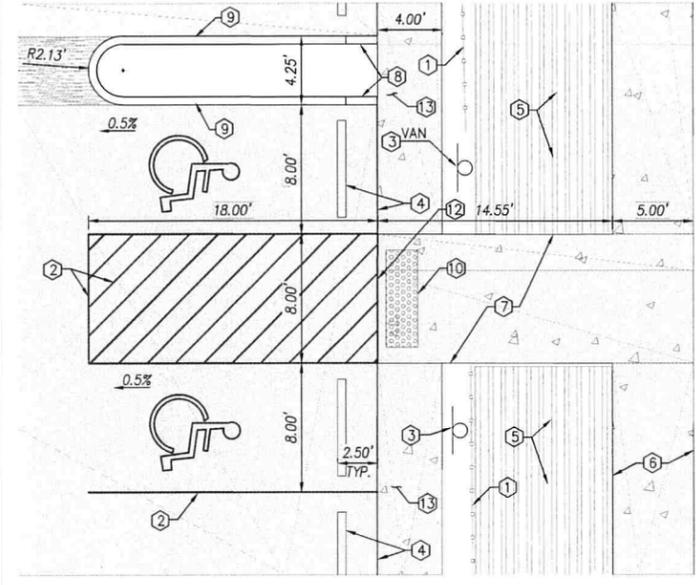
C CONCRETE VERTICAL CURB DETAIL
C4 P.C./DOT STD. DTL. NO. 209 NTS



D HANDICAPPED VAN ACCESSIBLE PARKING SIGN
E HANDICAPPED PARKING SIGN
C4 NTS

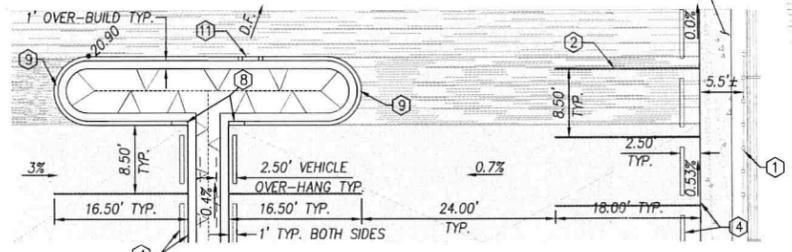


F DROPPED CURB OPENING
C4 NTS

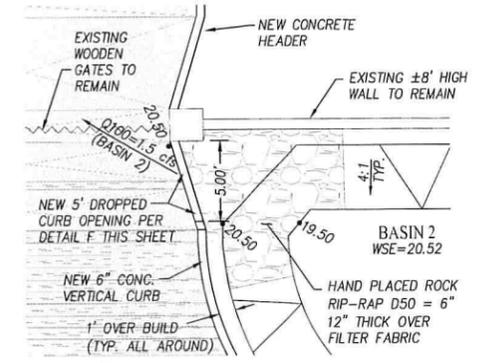


G DISABLED PERSON PARKING SPACES
C4 1"=5'

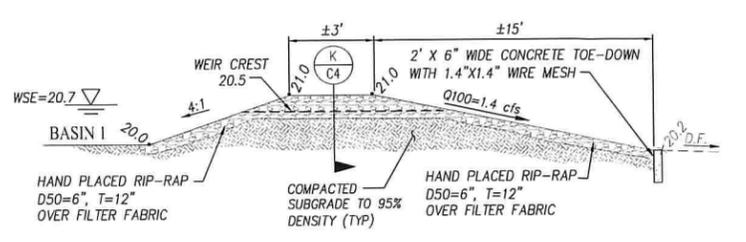
- 1 EXISTING FENCE TO REMAIN.
- 2 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 3 NEW HANDICAP SIGN AND POST. SEE DETAIL D OR E, THIS SHEET.
- 4 PAVEMENT SECTION WITH THICKENED EDGE & PARKING BUMPER SEE DETAIL A THIS SHEET.
- 5 NEW 8'W X 8'H X 20'L SHIPPING METAL CONTAINER, STACK TWO ON TOP OF EACH OTHER MAKING A TOTAL OF 16 FEET HIGH.
- 6 NEW 5' WIDE CONCRETE SIDEWALK PER COT/PC STD. DTL. #200.
- 7 NEW 8' WIDE CONCRETE SIDEWALK PER COT/PC STD. DTL. #200.
- 8 NEW 2' LONG CONCRETE CURB TERMINAL SECTION COT/PC STD. DTL. #212.
- 9 NEW CONCRETE VERTICAL CURB SEE DETAIL C, THIS SHEET.
- 10 NEW TRUNCATED DOMES PANEL PER ICC ANSI A117.1 (2009) SECT. 705.5.
- 11 NEW 2' DROPPED CURB OPENING SEE DETAIL F, THIS SHEET.
- 12 ACCESSIBLE ROUTE FLUSH WITH THE SURFACE OF THE ASPHALTIC PAVING
- 13 NEW 4' WIDE CONCRETE SIDEWALK PER COT/PC STD. DTL. #200.



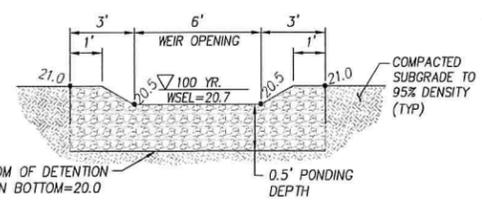
H VEHICLE PARKING SPACE & WATER HARVESTING AREA
C4 DEPRESSED 6" MAX 1"=10'



I BASIN 2 OUT FLOW DETAIL
C4 1"=5'



J BASIN 1 OUT FLOW DETAIL
C4 NTS



K OUT FLOW WEIR DETAIL
C4 NTS

PERRY ENGINEERING, INC. 505 W. WETMORE RD. TUCSON, AZ 85705
 CONTACT: KEN PERRY, P.E. 520-620-9870 PERRYENGINEERING.NET
 ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF PERRY ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PERRY ENGINEERING, INC.

NO.	DATE	REVISION	BY	CH	APPR

PERRY ENGINEERING
505 W WETMORE RD.
TUCSON, AZ 85705
CONTACT:
KEN PERRY, P.E.
520-620-9870
PERRYENGINEERING.NET



DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ per letter in SIRE

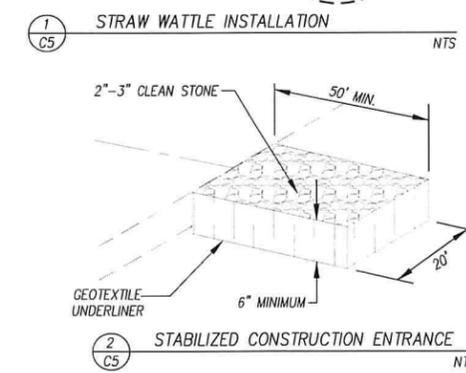
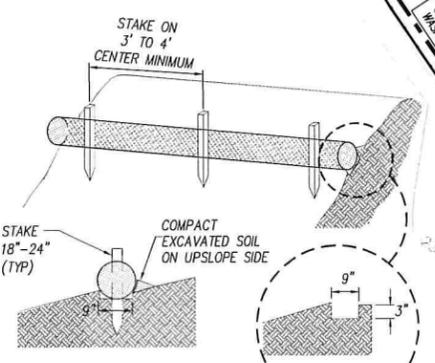
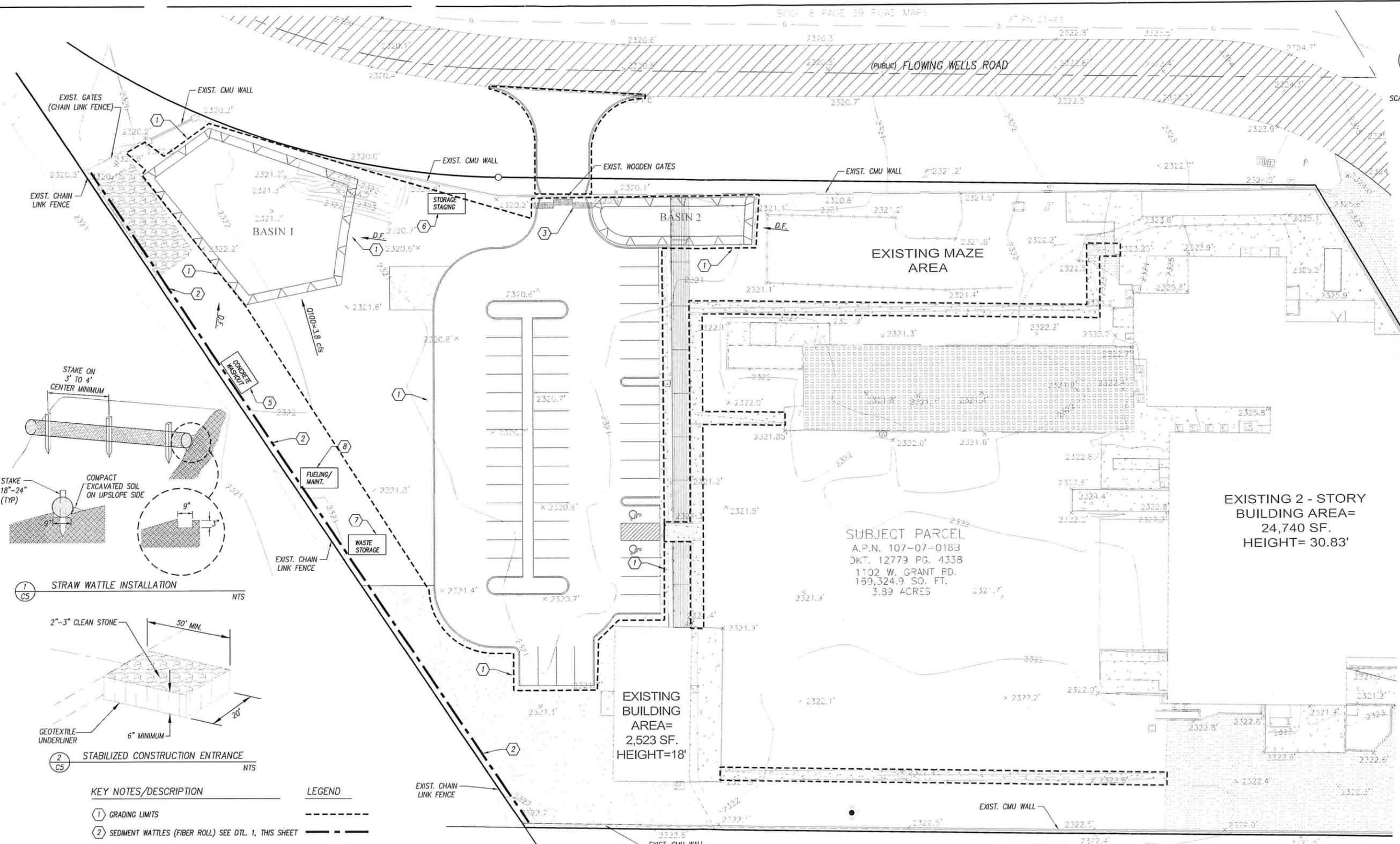
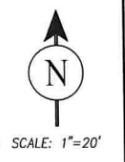
DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE DETAILS
LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

PROJECT ADDRESS
THE SLAUGHTERHOUSE
1102 W. GRANT ROAD
TUCSON AZ 85705

P.E. # 16011 C4 OF 8

Expires: 9/30/20

DP17-0055



- KEY NOTES/DESCRIPTION**
- ① GRADING LIMITS
 - ② SEDIMENT WATTLES (FIBER ROLL) SEE DTL. 1, THIS SHEET
 - ③ STRAW BALES. SEE APPENDIX M OF REPORT
 - ④ STABILIZED CONSTRUCTION ENTRANCE. SEE DTL. 2, THIS SHEET
 - ⑤ CONCRETE WASHOUT AREA
 - ⑥ MATERIAL DELIVERY AND STORAGE, AND STAGING AREA
 - ⑦ HAZARDOUS, SOLID, AND LIQUID WASTE AREAS
 - ⑧ VEHICLE AND EQUIPMENT FUELING AREA

- LEGEND**
- GRADING LIMITS
 - SEDIMENT WATTLES
 - STRAW BALES
 - STABILIZED CONSTRUCTION ENTRANCE
 - CONCRETE WASHOUT
 - STORAGE STAGING
 - WASTE STORAGE
 - FUELING/MAINT.

SUBJECT PARCEL
 A.P.N. 107-07-018B
 DKT. 12779 PG. 4338
 1102 W. GRANT RD.
 169,324.9 SQ. FT.
 3.89 ACRES

EXISTING 2 - STORY BUILDING AREA= 24,740 SF. HEIGHT= 30.83'

EXISTING BUILDING AREA= 2,523 SF. HEIGHT=18'

STORM WATER POLLUTION PREVENTION PLAN

PERRY ENGINEERING
 505 W WETMORE RD.
 TUCSON, AZ 85705
 CONTACT:
 KEN PERRY, P.E.
 520-620-9870
 PERRYENGINEERING.NET

DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE STORMWATER POLLUTION PREVENTION PLAN
 LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

PROJECT ADDRESS
 THE SLAUGHTERHOUSE
 1102 W. GRANT ROAD
 TUCSON AZ 85705

P.E. # 16011 C5 OF 8

Expires: 9/30/20

NO.	DATE	REVISION	BY	CH	APPR



4. Perry's Engineering and Design, Inc. 10/15/2018, 10:00 AM, 4. Perry's Engineering and Design, Inc.

PERRY ENGINEERING, LLC SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT. PERRY ENGINEERING, LLC SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

LANDSCAPE NOTES

- 13.29 acre - 169,495.2 SF parcel is zoned I-1
- Site visibility triangles: Materials within site visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finish grade. All shrub heights in SVT's shall be maintained below 30" and tree canopy's shall be maintained above 72" height
- All plant materials will be selected from the approved City of Tucson Plant List.
- An automatic drip irrigation system will be installed to irrigate all planting
- Any plant material in areas requiring landscaping that does not survive will be replaced with an equivalent size and species within 30 days.
- Landscape maintenance will be provided including watering, pruning, mulching, weeding, and fertilizing. Per the City of Tucson Land Use Code, all required landscaping, irrigation and site improvements will be maintained. The property owner is responsible for proper and adequate landscaping as required by the LUC.
 - Quantities are approximate and shall be verified by contractor. In case of conflict between the plant legend quantities and plan, install per plan symbols shown on plan.
 - All landscape areas shall be treated with a pre-emergent weed control. A minimum of two applications is required - one at landscape subgrade approval and one when all decomposed granite has been installed and approved. Apply per manufacturers recommendations.

INERT GROUNDCOVERS:

DG Decomposed Granite: 1" Minus gradation
Color - "Apache Brown"
DG to be installed to a depth of 2" in.
Decomposed Granite shall be placed in all landscape areas including all parking lot islands.

PLANT LEGEND

PLANT BOTANICAL NAME
SYMBOL COMMON NAME: SIZE: GPH:

TREES:

	Prosopis velutina Velvet Mesquite	24" Box	2
	Chilopsis linearis Desert Willow	24" Box	2
	Cercidium floridum Blue Palo Verde	24" Box	2

SHRUBS & GROUNDCOVERS:

	SIZE:	GPH:
	Hesperaloe parviflora Red Aloe	5 Gal. 1
	Opuntia macrocentra Purple Spiney Prickly Pear	5 Gal. 5
	Viqiera deltaidea Golden Eye	5 Gal. 1
	Sierra capitata Sierra Gold	1 Gal. 1
	Euphorbia antisyphilitica Candellia	5 Gal. 1
	Lantana montevidensis "Hybrid" Gold Lantana	1 Gal. 1
	Caesalpinia pulcherrima Mexican Bird of Paradise	5 Gal. 2
	Calliandra eriophylla Pink Fairy Duster	5 Gal. 2
	Ferocactus Barrel Cactus	14" Dia. Min. 0
	Opuntia macrocentra Purple Spiney Prickly Pear	5 Gal. 0
	Ferocactus gracilis Fire Barrel	14" Dia. Min. 0
	Opuntia gomei "Old Mexico" Spineless Prickly Pear	5 Gal. 0
	Fouquieria splendens Ocotillo	12 Cane Min. - 2' Ht. 0

DESERT SEEDING:
Hydroseed all disturbed areas outside of granite mulch/DG limits. Area to be identified in the field.

SEED MIX
Brittle bush 1/4 lb / 1000 SF
Bursage 1/4 lb / 1000 SF
Cassia Covellii 1/4 lb / 1000 SF
Panstemon 1/4 lb / 1000 SF

DISTURBED AREAS AROUND THE OUTER EDGE OF THE PROPOSED PARKING AREA SHALL BE HYDROSEED WITH THE LISTED SEED MIX.
AREAS TO BE SEEDING SHALL BE RIPPED TO A MINIMUM DEPTH OF 6". RIPPING SHALL PARALLEL THE SLOPE. HYDROSEED MIX SHALL INCLUDE MULCH AND FERTILIZER.

SCALE: 30" = 1'-0"



JOHN HUCKO - LANDSCAPE ARCHITECT, L.L.C.
5236 N. STONEHOUSE PL.
TUCSON, ARIZONA 85750
P: (520) 400.8529
E: jhucko789@comcast.net

PROJECT NO: 16-09
DATE: 3-14-18

1-800-782-5348

NO.	DATE	REVISION	BY	CH	APPR

DP13-0257

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE LANDSCAPE PLAN
LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

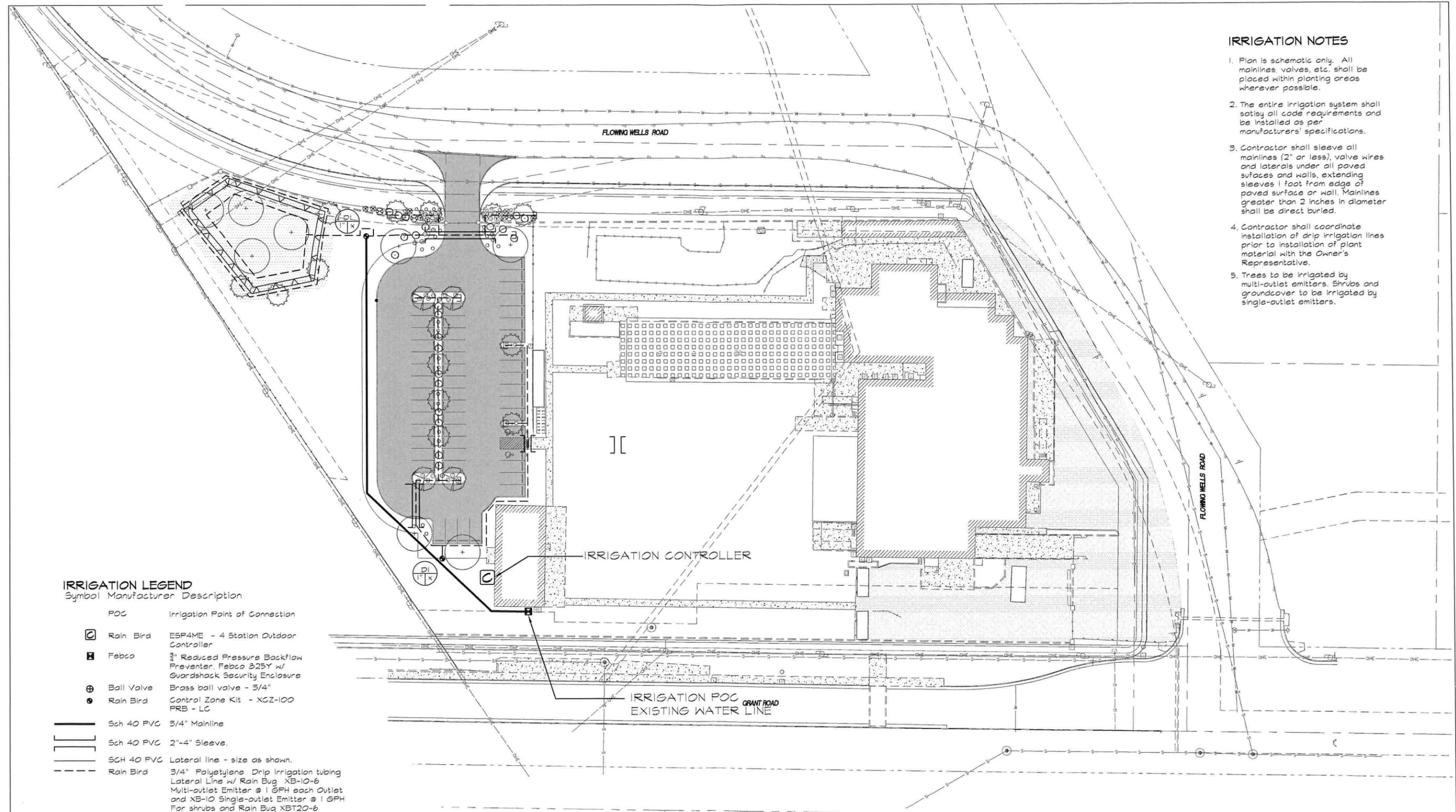
PROJECT ADDRESS
THE SLAUGHTERHOUSE
1402 W. GRANT ROAD
TUCSON AZ 85705

P.E.# 16011 L1 of 8

[Handwritten signature]

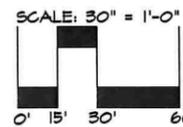
IRRIGATION NOTES

1. Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
2. The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
3. Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried.
4. Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
5. Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.



IRRIGATION LEGEND
Symbol Manufacturer Description

- POC Irrigation Point of Connection
 - Rain Bird ESP4ME - 4 Station Outdoor Controller
 - Febco 3/2" Reduced Pressure Backflow Preventer, Febco 325Y w/ Guardshack Security Enclosure
 - Ball Valve Brass ball valve - 3/4"
 - Rain Bird Control Zone Kit - XZ-100 PRB - LC
 - Sch 40 PVC 3/4" Mainline
 - Sch 40 PVC 2"-4" Sleeve.
 - SCH 40 PVC Lateral line - size as shown.
 - Rain Bird 3/4" Polyethylene Drip Irrigation tubing Lateral Line w/ Rain Bug XB-10-6 Multi-outlet Emitter @ 1 GPH each Outlet and XB-10 Single-outlet Emitter @ 1 GPH For shrubs and Rain Bug XBT20-6 @ 2GPH per Outlet for Trees w/ RBT-220V Distribution Tubing.
 - Lasco AP-100 - 3/4" Hose End Flush Cap.
- VALVE IDENTIFIER: SIZE: GPM



JOHN HUCKO - LANDSCAPE ARCHITECT, L.L.C.
5236 N. STONEHOUSE PL.
TUCSON, ARIZONA 85750
P: (520) 400.8529
E: jhucko789@comcast.net

PROJECT NO: 16-09
DATE: 9-06-16

1-800-782-5348

NO.	DATE	REVISION	BY	CH	APPR

DPI3-0257

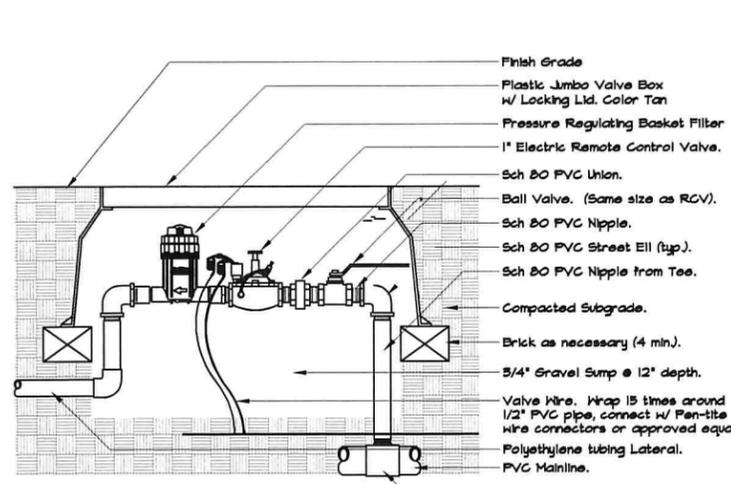
CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading Plat	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE IRRIGATION PLAN
LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

PROJECT ADDRESS
THE SLAUGHTERHOUSE
1102 W. GRANT ROAD
TUCSON AZ 85705

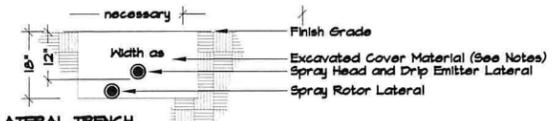
P.E.# 16011

L2 of 8

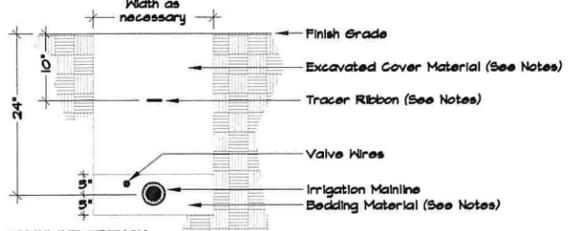


NOTES:
Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around piping and valve box to same density as undisturbed soil.
Refer to Specifications for piping material.

1 REMOTE CONTROL VALVE WITH FILTER - DRIP
NTS



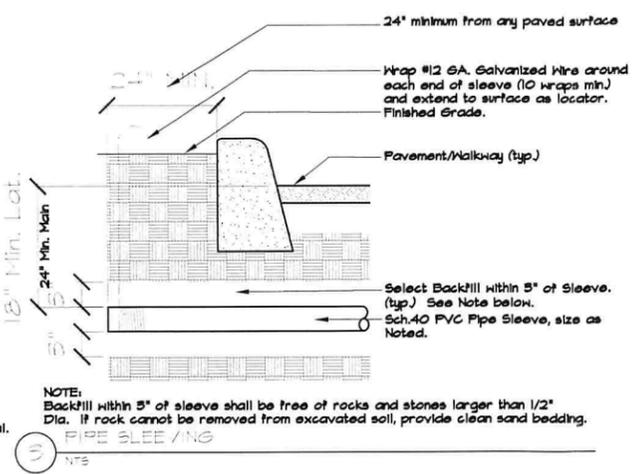
LATERAL TRENCH



MAINLINE TRENCH

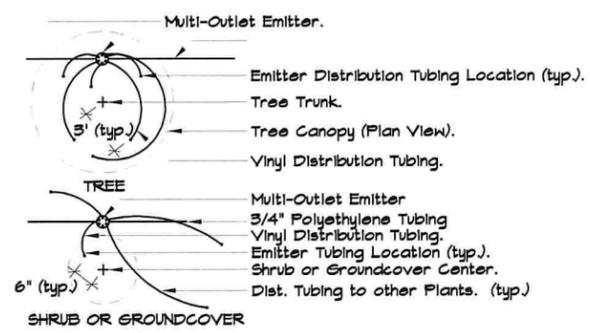
NOTES:
All mainlines to be installed in accordance with manufacturer's Specifications.
All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal.
Bundle and tape wiring at 10 foot intervals.
Valve wires to be installed within mainline trench wherever possible.
Bedding material shall be 1/4" minus sand, and shall be 5 inches below mainline and 5 inches above mainline.
Excavated cover material shall be free from debris and rocks 1/2 inch or greater.
Install Tracer Ribbon in all mainline trenches including quick coupler lines.
(See Specifications).

2 TRENCHING DETAIL
NTS



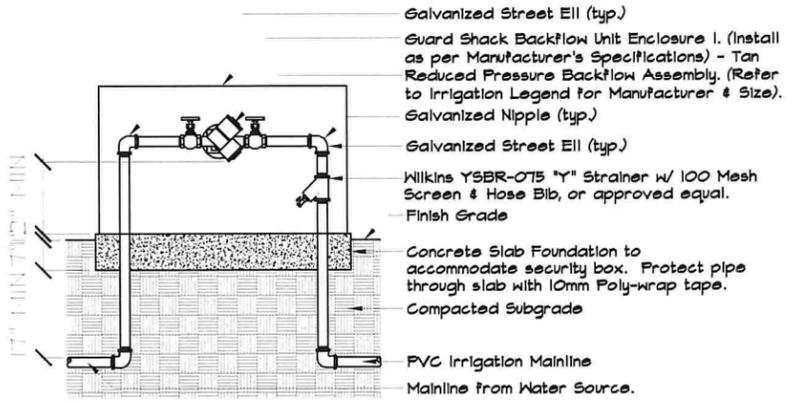
NOTE:
Backfill within 5" of sleeve shall be free of rocks and stones larger than 1/2" Dia. If rock cannot be removed from excavated soil, provide clean sand bedding.

3 PIPE SLEEVING
NTS



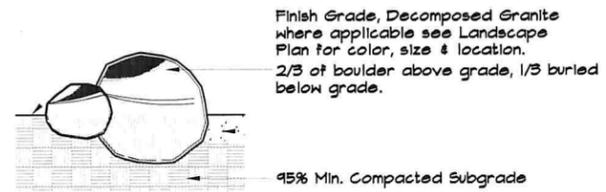
NOTES:
Refer to Irrigation Key for Manufacturer.

4 EMITTER PLACEMENT
NTS

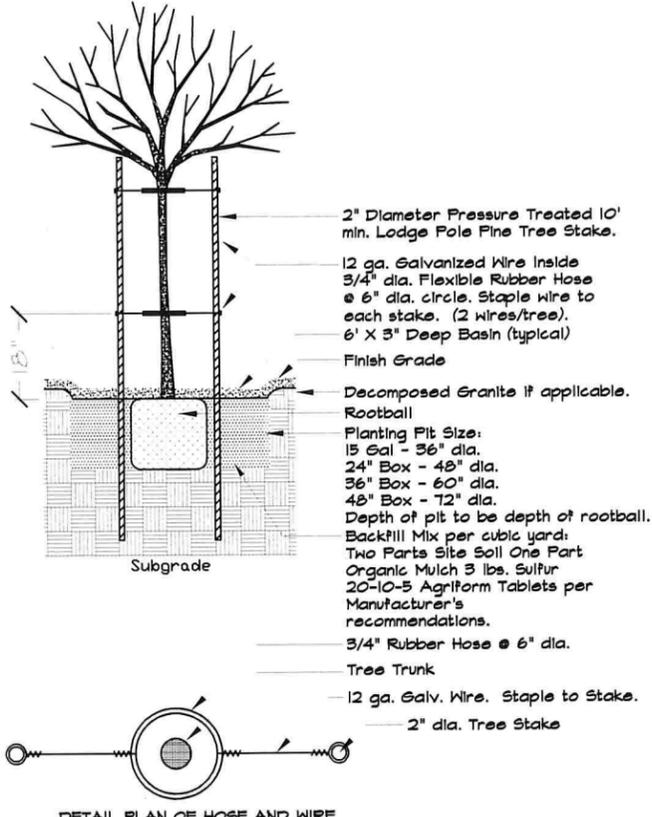


NOTES:
Supply keyed padlock, Master Lock Model #457 w/ two keys, or approved equal, for locking security enclosure.

5 REDUCED PRESSURE TYPE BACKFLOW PREVENTER
NTS



7 BOULDER PLACEMENT
NTS



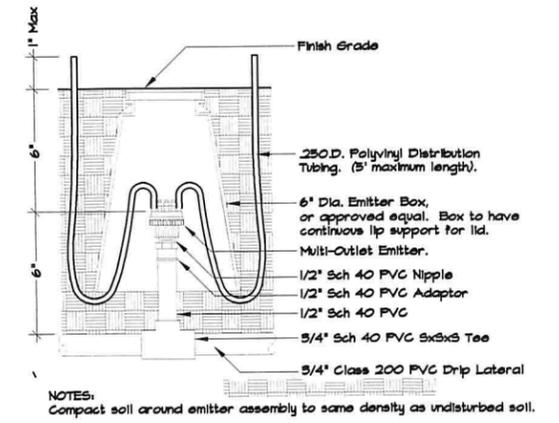
NOTE:
See Specifications for application of FERROMEC AC Liquid Iron to all trees.
Plant pit to be to the depth of the rootball, typical.

6 SINGLE TRUNK TREE PLANTING
NTS



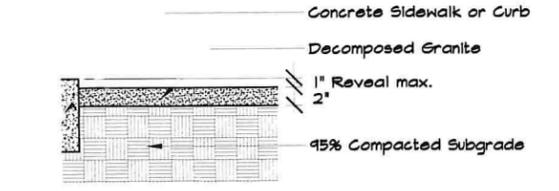
NOTE: Plant pit to be to the depth of the rootball, typical.

7 SHRUB PLANTING
NTS



NOTES:
Compact soil around emitter assembly to same density as undisturbed soil.

8 EMITTER INSTALLATION
NTS



9 SCREENED ROCK / DECOMPOSED GRANITE
NTS

NO.	DATE	REVISION	BY	CH	APPR

1-800-782-5348

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT PACKAGE FOR THE SLAUGHTERHOUSE Planting-Irrigation Details
 LOCATED IN A PORTION OF SOUTH EAST 1/4 OF THE SOUTH WEST 1/4 OF SECTION 35, T.13S., R.13E., G.&S.R.B.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

PROJECT ADDRESS
 THE SLAUGHTERHOUSE
 1102 W. GRANT ROAD
 TUCSON AZ 85705

P.E.# 16011 L3 of 8

JOHN HUCKO - LANDSCAPE ARCHITECT, L.L.C.
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net

PROJECT NO: 16-09
 DATE: 9-09-16

DPI13-0257