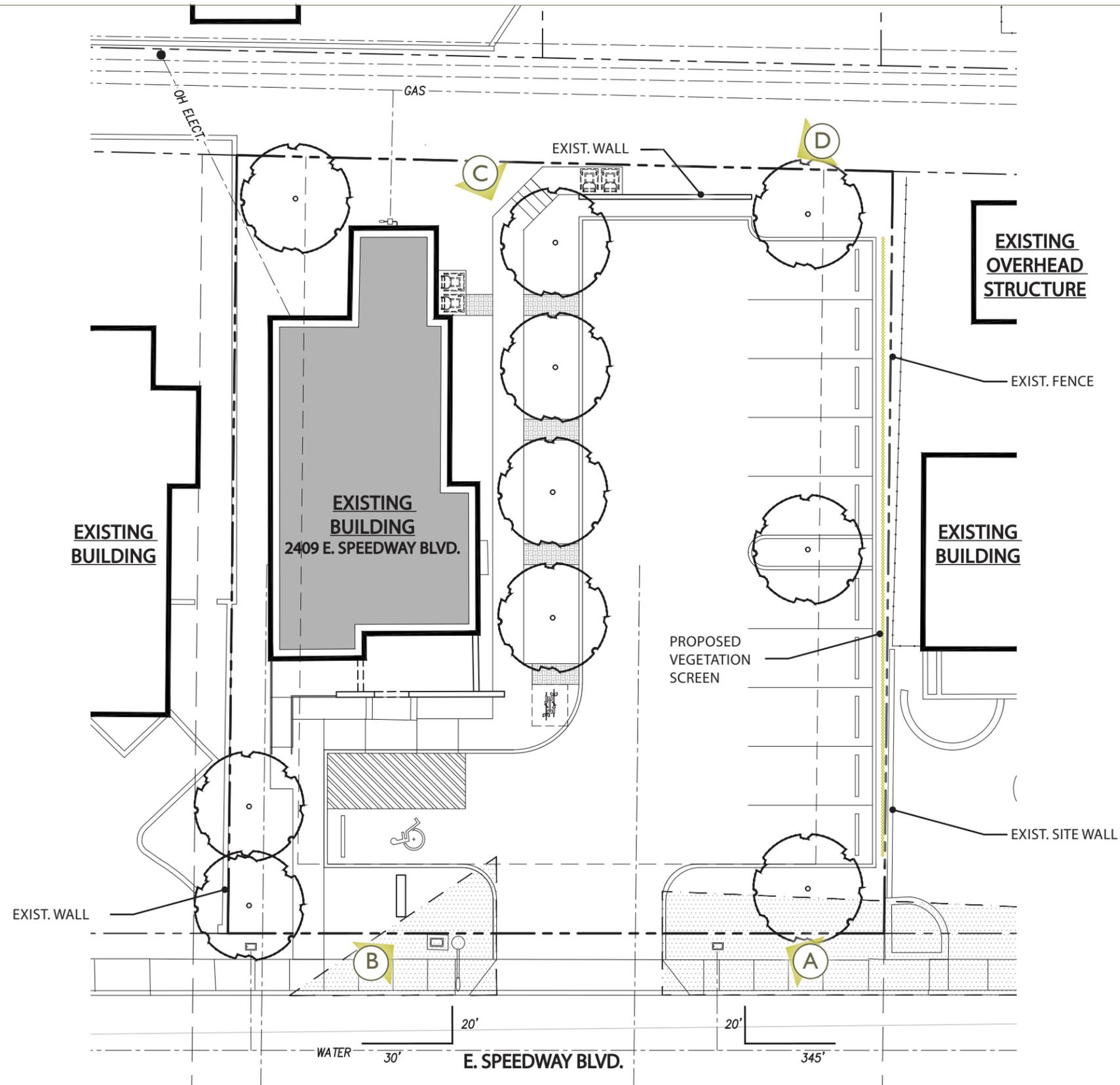


Speedway Offices - Vegetation Substitution,

2409 E Speedway Blvd, Tucson, AZ 85719 :: 02.02.2018





Existing View A



Existing View B



Existing View C



Existing View D



Speedway Offices

2409 E. Speedway Blvd., Tucson, Arizona 85719

Existing Conditions

a.23 studios . 340 S. Convent Rd., Tucson, AZ 85701 . 520 245 4010 . project# 15085



Dodonaea Viscosa - Green Hopbush - Screen



Dodonaea Viscosa - Green Hopbush - Individual



GENERAL NOTES

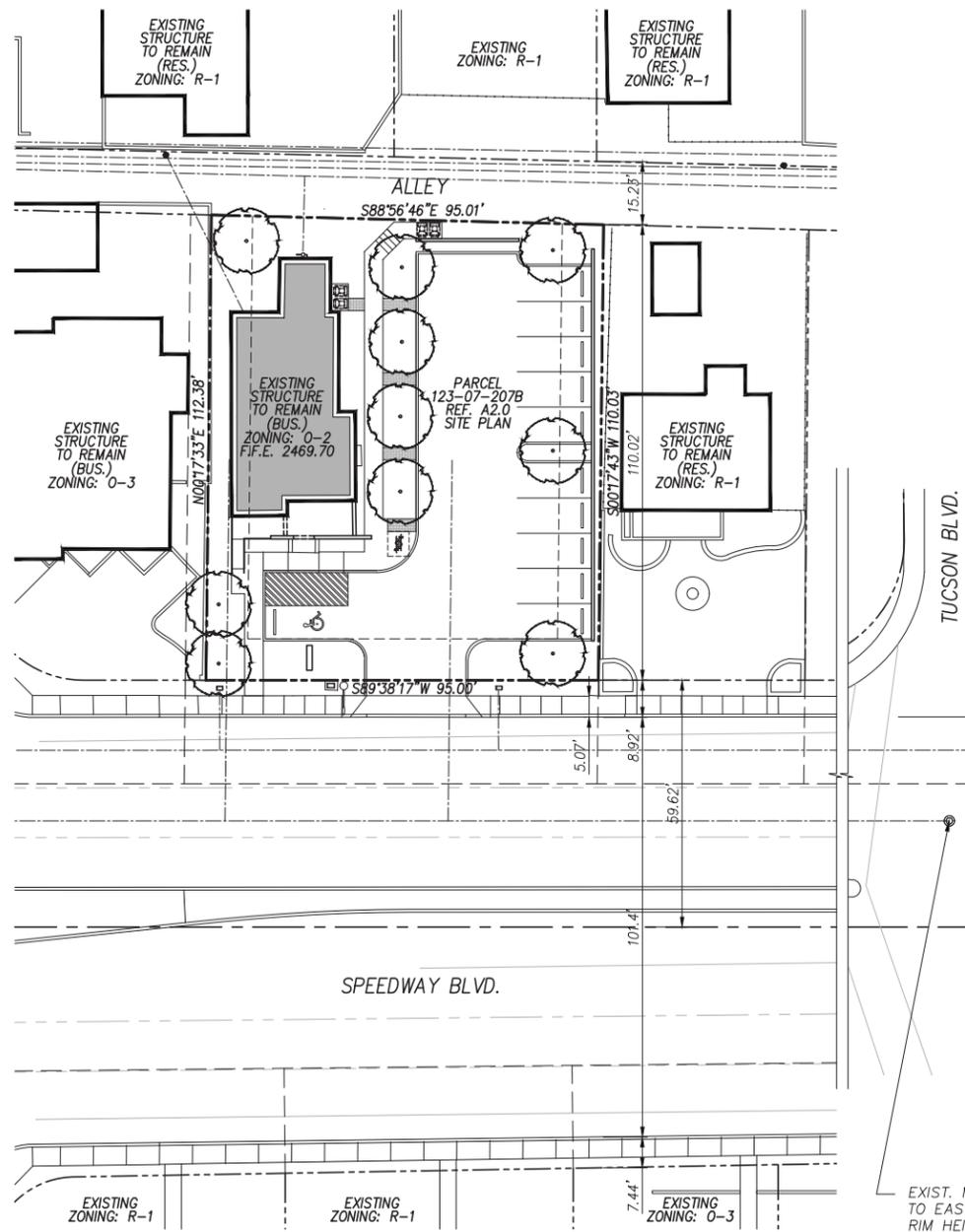
- EXISTING ZONING IS R-1, PROPOSED ZONING IS O-2. REZONING CASE C9-17-01.
- THE GROSS AREA OF THE DEVELOPMENT IS 11,168 SQ. FT. OR 0.26 ACRES
- THE EXISTING USE IS RESIDENTIAL. THE PROPOSED USE OF THIS BUILDING IS ADMINISTRATIVE AND PROFESSIONAL OFFICE OR MEDICAL OUTPATIENT OFFICE (UDC 4.8.5 & 11.3.4.A).
- FLOOR AREA FOR THE BUILDING IS 1,482 SF.
- PROPERTY IS IN THE BLENMAN-ELM HISTORIC DISTRICT.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES WHERE OCCURS IN ACCORDANCE WITH SEC.10-01.5.0, SITE VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- THIS PROJECT WILL USE/MODIFY EXISTING DRIVEWAYS AND PROPOSES NO NEW ACCESS INGRESS/EGRESS.
- IT IS THE OWNERS RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA CLEAR OF VEGETATION AT ALL TIMES WHERE OCCURS.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
- THE OWNER UNDERSTANDS THAT IF THE CITY OF TUCSON TRANSPORTATION DEPARTMENT OR ANY UTILITY COMPANY NEEDS TO WORK WITHIN THE ROW (RIGHT OF WAY) IN THE LANDSCAPED AREA, PLANTS AND IRRIGATION MAY BE DESTROYED WITHOUT REPLACEMENT OR REPAIR.
- THE OWNER TAKES FULL LIABILITY FOR THIS LANDSCAPE AND IRRIGATION, AND ANY DAMAGE TO ROADWAY, SIDEWALK AND UTILITIES.
- THE ONLY PRIVATE IRRIGATION EQUIPMENT THAT IS ALLOWED WITHIN THE ROW ARE LATERAL LINES, TUBING AND EMITTERS THAT ARE NOT UNDER CONSTANT PRESSURE. ALL OTHER EQUIPMENT MUST BE ON PRIVATE PROPERTY. (EXCLUDING WATER METER)
- ANY WASTEWATER DISCHARGE INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED.
- ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHING PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R).

CONDITIONS OF REZONING (C9-17-01):

- A DEVELOPMENT PACKAGE IN SUBSTANTIAL COMPLIANCE WITH THE PRELIMINARY DEVELOPMENT PLAN, DATED JANUARY 16, 2017, AND REQUIRED REPORTS, ARE TO BE SUBMITTED AND APPROVED IN ACCORDANCE WITH THE ADMINISTRATIVE MANUAL, SECTION 2-06.
- THE PROPERTY OWNER SHALL EXECUTE A WAIVER OF POTENTIAL CLAIMS UNDER A.R.S. SEC. 12-1134 FOR THIS ZONING AMENDMENT AS PERMITTED BY A.R.S. SEC. 12-1134 (I) IN THE FORM APPROVED BY THE CITY ATTORNEY AND TITLED "AGREEMENT TO WAIVE ANY CLAIMS AGAINST THE CITY FOR ZONING AMENDMENT". THE FULLY EXECUTED WAIVER MUST BE RECEIVED BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT BEFORE THE ITEM IS SCHEDULED FOR MAYOR AND COUNCIL ACTION.
- HISTORIC OR PREHISTORIC FEATURES OR ARTIFACTS DISCOVERED DURING FUTURE GROUND DISTURBING ACTIVITIES SHOULD BE REPORTED TO THE CITY OF TUCSON HISTORIC PRESERVATION OFFICER. PURSUANT TO A.R.S. 41-865 THE DISCOVERY OF HUMAN REMAINS AND ASSOCIATED OBJECTS FOUND ON PRIVATE LANDS IN ARIZONA MUST BE REPORTED TO THE DIRECTOR OF ARIZONA STATE MUSEUM.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT SHALL BE AT NO EXPENSE TO THE PUBLIC.
- FIVE YEARS ARE ALLOWED FROM THE DATE OF INITIAL AUTHORIZATION TO IMPLEMENT AND EFFECTUATE ALL CODE REQUIREMENTS AND CONDITIONS OF REZONING.
- HOURS OF OPERATIONS SHALL BE BETWEEN 7:00 A.M. AND 7:00 P.M. ON MONDAY THROUGH FRIDAY, AND 8:00 A.M. TO 6:00 P.M. ON SATURDAY AND SUNDAY.
- ALL EXTERIOR MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM SURROUNDING ROADWAYS AND PROPERTIES.
- ALL WALLS VISIBLE FROM A PUBLIC RIGHT-OF-WAY AND/OR ADJACENT TO EXISTING RESIDENTIAL DEVELOPMENT, ARE TO BE GRAFFITI-RESISTANT AND INCORPORATE ONE (1) OR MORE VISUALLY APPEALING DESIGN TREATMENTS, SUCH AS THE USE OF TWO (2) OR MORE DECORATIVE MATERIALS LIKE STUCCO, TILE, STONE, OR BRICK; A VISUALLY INTERESTING DESIGN ON THE WALL SURFACE; VARIED WALL ALIGNMENTS, UOG, CURVE, NOTCH, SETBACK, ETC.); AND/OR TREES AND SHRUBS IN VOIDS CREATED BY THE WALL VARIATIONS.
- SIX (6) INCH WIDE MASONRY BLOCK OR GREATER SHALL BE USED FOR PERIMETER WALLS.

Site Plan FOR SPEEDWAY OFFICE

2409 E. SPEEDWAY BLVD., TUCSON, AZ 85719



OVERALL SITE PLAN
SCALE 1"=20'

OWNER/DEVELOPER

JET TO THE PROMISED LAND LLC
P.O. BOX 43025
TUCSON, AZ 85733
P 520.609.6093
CONTACT: PHIL LIPMAN

ARCHITECT

a.23 STUDIOS
340 S. CONVENT AVE.
TUCSON, AZ 85701
CONTACT: BURAK BEKAT, RA #54899
PHONE: 520.245.4010

CIVIL ENGINEER

SANTORO ENGINEERING CO.
1221 N. NEW DAWN AVE.
ORO VALLEY, AZ 85755
CONTACT: GREG SANTORO, P.E. #31066
PHONE: 808.772.9450

LANDSCAPE

JOHN HUCKO - LANDSCAPE ARCHITECT LLC
5236 N. STONEHOUSE PL.
TUCSON, AZ 85750
CONTACT: JOHN HUCKO, L.A. #18943
PHONE: 520.400.8529

PARKING CALCULATIONS

- USE = ADMIN. AND PROFESSIONAL OFFICE
PARKING REQUIRED: 1 SPACE PER 300 SF
A. TOTAL AREA=1,482 / 300 =5
B. TOTAL REQUIRED = 5 SPACES
C. TOTAL PROVIDED = 11 SPACES
D. ACCESSIBLE VEHICLE PARKING:
1 VAN ACCESSIBLE SPACE REQUIRED
1 VAN ACCESSIBLE PROVIDED
- BICYCLE PARKING
= 2 SHORT TERM REQUIRED & PROVIDED
= NO LONG TERM REQUIRED OR PROVIDED

PLUMBING SITE NOTES

- SITE BUILDINGS ARE SERVED FROM AN EXISTING 3/4" WATER SERVICE LINE FED FROM ONE EXISTING 1.5" WATER METER AND ONE EXISTING REDUCED PRESSURE BACKFLOW PREVENTER LOCATED NEAR THE SOUTH PROPERTY LINE.
- THERE ARE NO CHANGES TO THE EXISTING WATER METER AS A PART OF THIS PROJECT. THE EXISTING WATER METER IS TO REMAIN AS IS.
- EXISTING 1.5" WATER METER NUMBER 21050023 PER TUCSON WATER.

SITE DATA:

- TAX ID: 123-07-207B
- CURRENT ZONING= R-1, NEW ZONING= O-2
- SITE AREA= 11,168 SQ. FT., 0.26 ACRES
- PARKING REQUIRED: 5 SPACES
- PARKING PROVIDED: 11 SPACES
- LOADING ZONE: NONE REQUIRED, NONE PROVIDED
- ACCESSIBLE PARKING: 1 REQUIRED, 1 PROVIDED
- DIMENSIONAL STANDARDS IN O-2 ZONE:
MAXIMUM HEIGHT= 26'
EXISTING HEIGHT= 13'
PERIMETER
NON-RES. ADJACENT TO NON-RES.= 10' OR 3/4(H)
NON-RES. ADJACENT TO RES.= 10' OR 3/4(H)

WASTE STREAM CALCULATIONS

1,482 SF (0.0013) = 2 TONS/YEAR
2 /52 WEEKS/YEAR = 0.0384 TONS/WEEK
0.0384 (2000 LBS/TON) = 77 LBS/WEEK
77 /3 LBS/GAL = 26 GAL/WEEK

SCOPE OF WORK

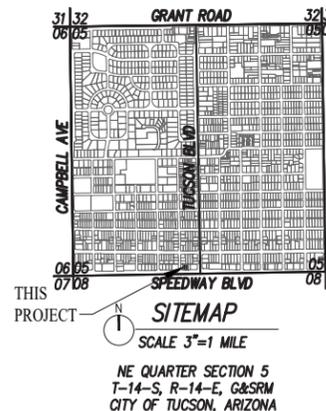
1.0 NEW PARKING, HARDSCAPING AND LANDSCAPING. NO WORK TO EXISTING BUILDING.

LEGAL DESCRIPTION

1. OLSENS AMENDED E45' LOT 10 AND ALL 11 EXC S25' BLK 37

SHEET INDEX

- A1.0 COVER SHEET & GENERAL NOTES
- A2.0 SITE PLAN & DETAILS
- C1.0 GRADING AND EROSION CONTROL PLAN
- C2.0 HYDROLOGY PLAN
- L1.0 LANDSCAPE PLAN
- L2.0 IRRIGATION PLAN
- L3.0 LANDSCAPE - IRRIGATION DETAILS



CODE REVIEW CHECKLIST

CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT

JOB ADDRESS: 2409 E. SPEEDWAY ARCHITECT: A23STUDIOS
SIGNATURE: DATE: --

TO FACILITATE PLAN REVIEW, ATTACH COMPLETED COPY TO APPLICATION/DRAWINGS

Summary of Governing Regulations

Code	Title	Edition	Local Amendments
Building Code	IBC	2012	YES
Accessibility Code	IBC / ANSI	2013	YES
Mechanical Code	IMC	2012	YES
Electrical Code	NEC	2011	YES
Plumbing Code	IPC	2012	STATE
Fire Prevention Code	IFC	2012	YES
Zoning Code	UDC	2013	-
Energy Conservation Code	IECC	2012	YES
International Fuel Gas Code	IFGC	2012	-
Int. Existing Building Code	IEBC	2012	-

General Building Summary

Building	Occupancy Group(s)	Type of Construction	Sprinkler System	EXISTING Building Area (sq ft)		EXISTING Building Height (ft/# of Stories)	
				Actual	Allowable	Actual	Allowable
2409	B	VB	NO	1,482 SQ. FT.	EXISTING	EXISTING	EXISTING

Allowable Area Calculation
(Provide additional calculations for each building or separated use)

Area Modifications (IBC 506)- THIS PROJECT ONLY- TYPE B OCCUPANCY

Code	Description	Value
Allowable Area per Floor (Aa)		
Tabular Area per Floor (At)		
Area Increase for Frontage (If)		
Area Increase for Sprinklers (Is)		
Building Perimeter Public Way (F)		
Entire Building Perimeter (P)		
Minimum Width of Public Way (W)		
Allowable Area (Aa)		

NOT APPLICABLE

Occupant Load and Exiting

Occupant Loads (See table 1003.2.2.2) & (See table 1004.2.1) & (See table 1004.2.4)
THIS PROJECT ONLY- TYPE B OCCUPANCY

BUISINESS 1,482 sf / 100 gross = 15 occ
Number of Exits and exit widths required= PER BUILDING PLANS
exit signs = N/A
panic hardware = N/A
corridor protection = N/A

Plumbing Fixture Calculations

Minimum Plumbing Facility (See table 2902.1)
THIS PROJECT ONLY- TYPE B OCCUPANCY

PER BUILDING PLANS



CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

Site/Dev Plan SCZ
 Tentative Plat PRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PLUME _____ Date _____
Revision # _____ per letter in SIRE

REZONING CASE: C9-17-01
DEVELOPMENT PACKAGE: DP17-0149

COVER SHEET & GENERAL NOTES

FOR
SPEEDWAY OFFICES

LOCATED IN A PORTION OF
SECTION 5, T-14-S, R-14-E, G&SRM,
CITY OF TUCSON, ARIZONA
LEGAL DESCRIPTION: OLSENS AMENDED E45'
LOT 10 AND ALL 11 EXC S25' BLK 37
ADMINISTRATIVE SITE ADDRESS:
2409 EAST SPEEDWAY BLVD, TUCSON, AZ 85715

SHEET A1.0 OF 7

NOTES:

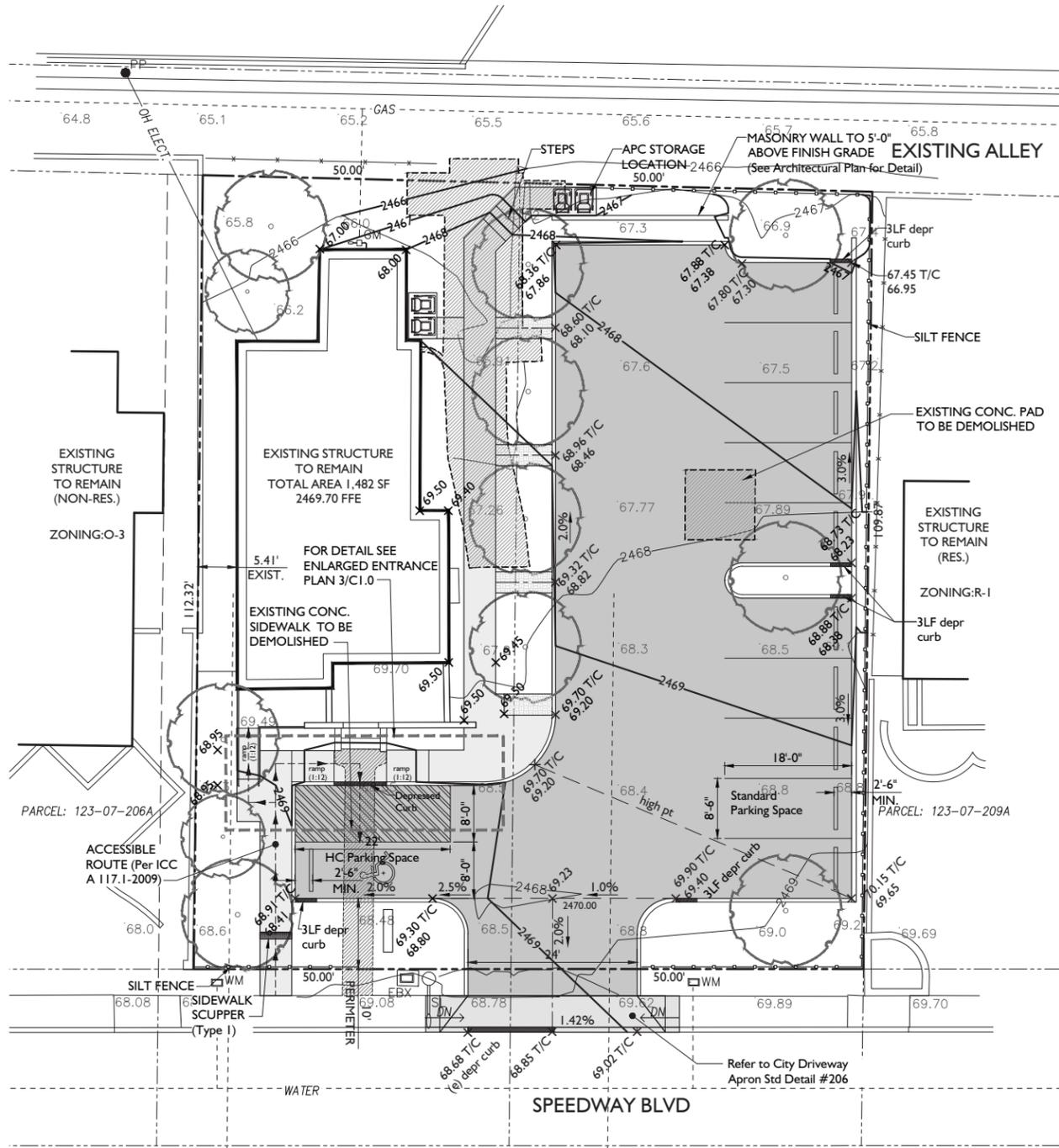
1. THE DRAINAGE PATTERN FOR THE PROPOSED DEVELOPMENT DOES NOT CHANGE FROM EXISTING CONDITIONS; THE MAJORITY OF THE DRAINAGE WILL OUTLET ALONG THE NORTH SIDE OF THE PROPERTY AT THE EXISTING ALLEY, AFTER PASSING THROUGH THE WATER-HARVESTING BASINS/RAIN GARDENS.
2. ALL LANDSCAPED ISLANDS AND THE BASINS LOCATED ALONG THE NORTH AND SOUTH PROPERTY LINES WILL BE USED FOR WATER-HARVESTING WITH A MAXIMUM DEPTH OF 6-INCHES.
3. THE PROJECT SITE IS LOCATED WITHIN A NON-DESIGNATED BASIN AREA.
4. THE WASTEWATER PROVIDER THAT WILL SERVICE THIS DEVELOPMENT IS THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT (PCRWRD).
5. THE WATER COMPANY THAT WILL SERVICE THIS DEVELOPMENT IS TUCSON WATER.

EROSION AND TEMPORARY DUST CONTROL:

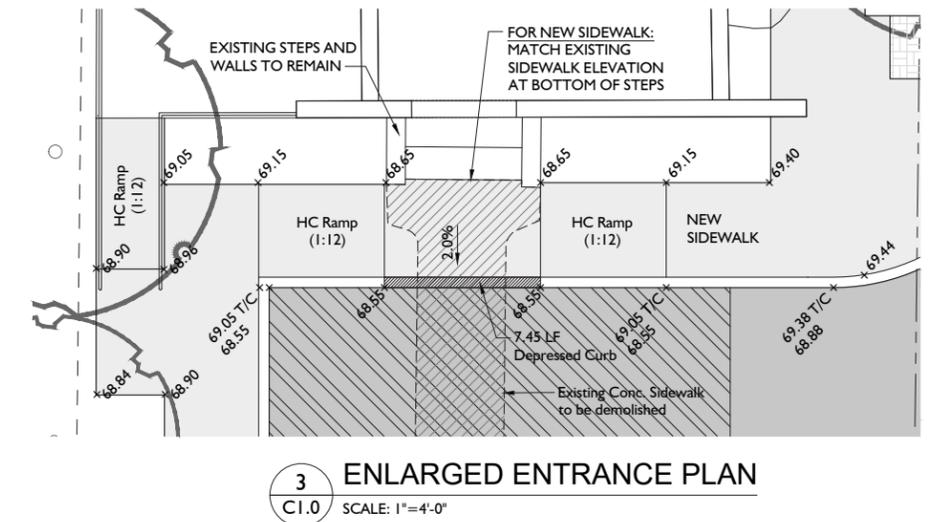
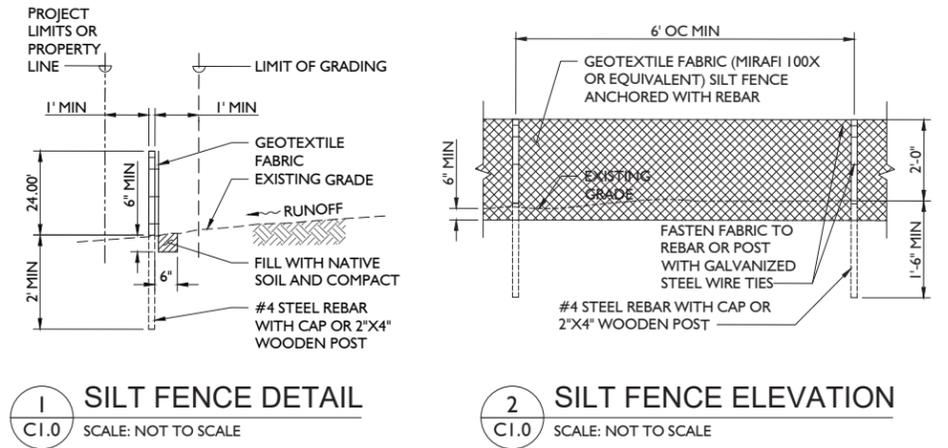
1. DURING CONSTRUCTION, PREVENTATIVE MEASURES SHALL BE USED TO CONTROL FORESEEABLE DUST, EROSION OR SEDIMENTATION PROBLEMS WHICH MAY ARISE AS THE JOB PROGRESSES.
2. FUGITIVE DUST AND SOLID WASTE DISPOSAL DURING GRUBBING AND GRADING ACTIVITIES SHALL MEET REQUIREMENTS OF THE CITY OF TUCSON AND THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY
3. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY.

BEST MANAGEMENT PRACTICES (BMP):

1. THE CONTRACTOR SHALL INSTALL STABILIZED ENTRANCES AT THE INGRESS AND EGRESS LOCATION.
2. INSTALL SILT FENCE.
3. WATER SHALL BE USED TO CONTROL DUST.
4. GRASS SHALL BE PLANTED IMMEDIATELY AS FINAL GRADES ARE ACHIEVED.
5. ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY.
6. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR AFTER COMPLETION OF THE PROJECT PRIOR TO FINAL ACCEPTANCE OR AS DIRECTED BY THE ENGINEER IN THE FIELD.
7. THE EROSION CONTROL (EC) AND BMP MEASURES SHOWN ON THIS PLAN MUST BE IN PLACE PRIOR TO THE START OF GRADING WORK.
8. ALL EC AND BMP MEASURES SHOWN ON THIS PLAN SHALL BE MAINTAINED DURING CONSTRUCTION AND UNTIL PERMANENT STABILIZATION OF THE SITE.



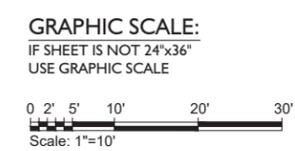
GRADING & EROSION CONTROL PLAN
SCALE: 1" = 10'-0"



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

LEGEND:

- SILT FENCE
- 2468— PROPOSED CONTOUR
- 2468— EXISTING CONTOUR
- — — PROPERTY LINE
- ▨ AREAS TO BE DEMOLISHED



GRADING & EROSION CONTROL PLAN
REZONING CASE: C9-17-01
DEVELOPMENT PACKAGE: DP17-0149
FOR
SPEEDWAY OFFICES
LOCATED IN A PORTION OF
SECTION 5, T-14-S, R-14-E, G&SRM,
CITY OF TUCSON, ARIZONA
LEGAL DESCRIPTION: OLSENS AMENDED E45'
LOT 10 AND ALL 11 EXC S25' BLK 37
ADMINISTRATIVE SITE ADDRESS:
2409 EAST SPEEDWAY BLVD, TUCSON, AZ 85715
SHEET C1.0 OF 7



12211 N New Dawn Avenue,
Oro Valley, Arizona, 85755
T 808.772.9450 F 888.480.7540
santoroengineeringcompany.com

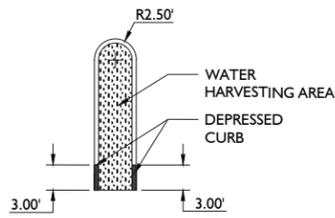


31088
GREGORY D. SANTORO
Date Signed: 8-8-17
ARIZONA U.S.A.

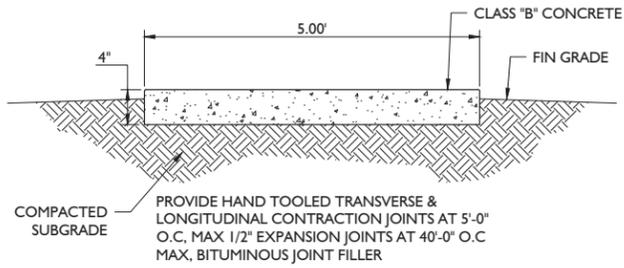
Expires 3-31-18

Gregory D. Santoro

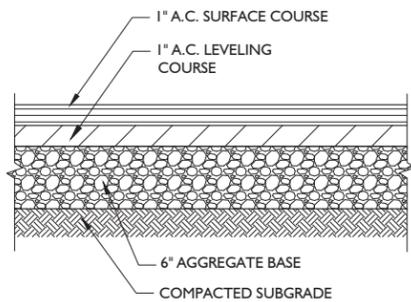
This work was prepared by me or under my supervision and construction of this project will be under my observation.



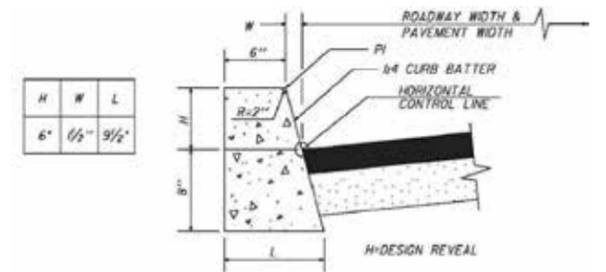
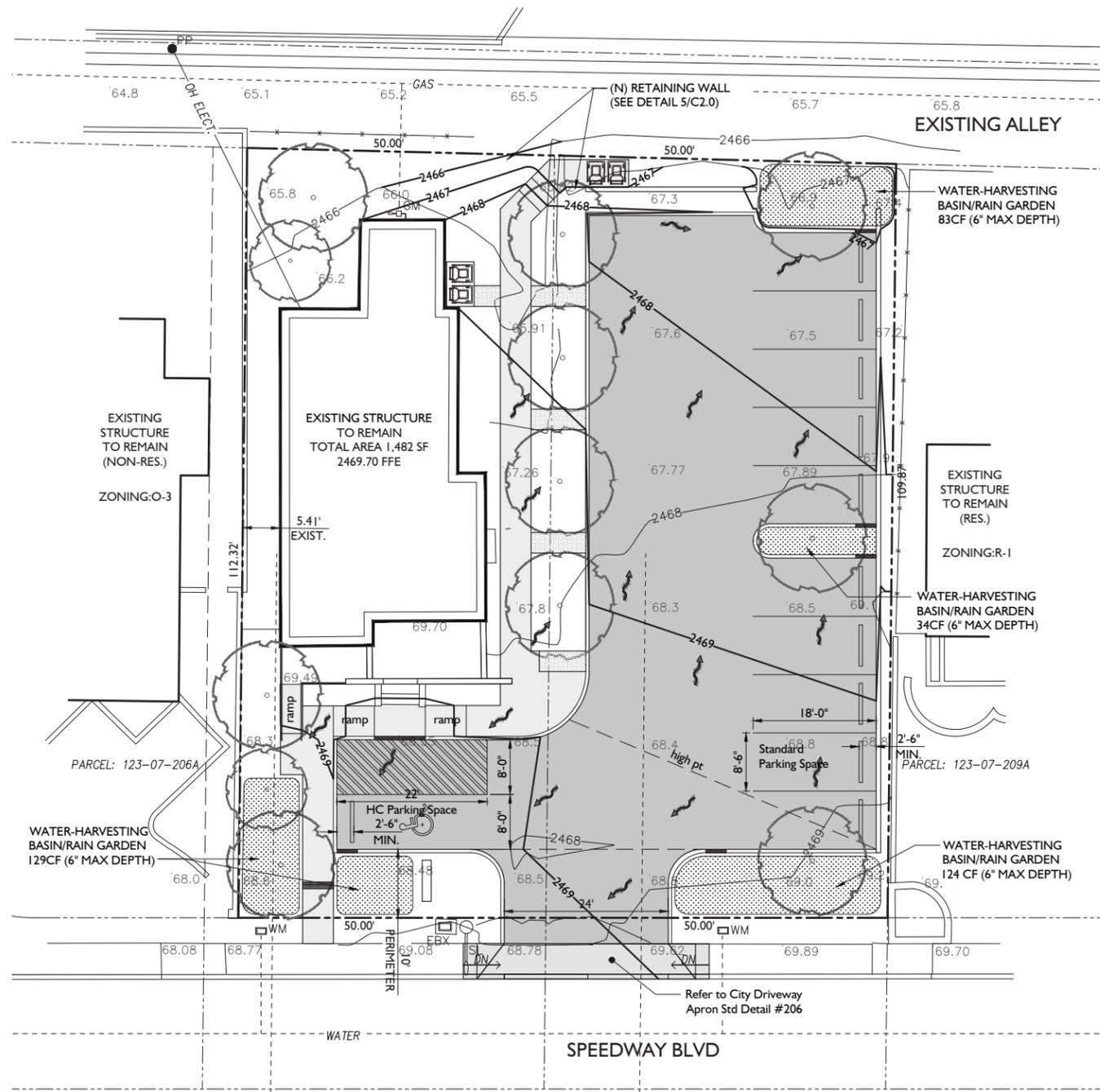
2 LANDSCAPE ISLAND ENLARGED DETAIL
C2.0 SCALE: 1"=10'



3 5' WIDE CONCRETE SIDEWALK
C2.0 SCALE: NOT TO SCALE (REFER TO PAG STD. DETAIL #200)



4 A.C. PAVEMENT DETAIL
C2.0 SCALE: NOT TO SCALE



1 CONCRETE VERTICAL CURB-Type 2
C2.0 SCALE: NOT TO SCALE (REFER TO PAG STD. DETAIL #209)

- NOTES:
- ALL CONCRETE CURBS AND TRANSITIONS SHALL BE CLASS "B" CONCRETE.
 - MAXIMUM SPACING ON SCORED JOINTS SHALL BE 10 FEET.
 - ONE HALF INCH THICK EXPANSION JOINTS SHALL BE LOCATED AT TANGENT POINTS IN CURB RETURNS, TRANSITIONS, AND AT A MAXIMUM OF 40 FOOT INTERVALS. EXPANSION MATERIAL SHALL ALSO BE PLACED BETWEEN CURBS AND ADJACENT STRUCTURES, SIDEWALKS, DRIVEWAYS AND HANDICAP RAMPS. THE 1/2 INCH JOINT FILLER SHALL EXTEND TO THE FULL DEPTH OF THE CONCRETE.
 - CONCRETE SHALL BE FINISHED WITH A STEEL TROWEL FOLLOWED BY BRUSHING WITH A FINE BRUSH ALONG THE LENGTH OF THE CURB.
 - SINGLE CURB MAY BE CONSTRUCTED BY THE USE OF FORMS OR MAY BE SLIP FORMED.
 - ALL EXPOSED EDGES AND HAND TOOLED JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 1/4 INCH RADIUS UNLESS A LARGER RADIUS IS INDICATED BY THE APPLICABLE STANDARD DETAIL OR PROJECT PLANS.



12211 N New Dawn Avenue,
Oro Valley, Arizona, 85755
T 808.772.9450 F 888.480.7540
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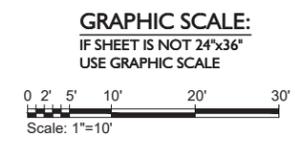


Gregory D. Santoro
This work was prepared by me or under my supervision and construction of this project will be under my observation.



340 S. Convent Ave.
Tucson, Arizona 85701
520.245.4010 phone
www.a23studios.com

HYDROLOGY PLAN
SCALE: 1"=10'-0"



- LEGEND:**
- 2468— PROPOSED CONTOUR
 - 2468— EXISTING CONTOUR
 - - - - - PROPERTY LINE
 - ~ ~ ~ DRAINAGE FLOW
 - NEW A.C. PAVEMENT
 - NEW CONCRETE SIDEWALK/SLAB/APRON
 - NEW WATER HARVESTING BASIN/RAIN GARDEN

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
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H/C Site _____	Date _____
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PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

HYDROLOGY PLAN
REZONING CASE: C9-17-01
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FOR
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ADMINISTRATIVE SITE ADDRESS:
2409 EAST SPEEDWAY BLVD, TUCSON, AZ 85715
SHEET C2.0 OF 7

GENERAL LANDSCAPE NOTES

Existing Zoning is R-1, Proposed Zoning is O-2 & C-2
The Gross Area of the site is 11,168 S.F. - 0.25 Acres

Shrubs used to satisfy Landscape Border requirements will not be smaller than 5 gallon size. They will be aligned, grouped or clustered to provide interest and continuous screening at maturity.

All plant materials will be selected from the approved City of Tucson Plant List.

An automatic drip irrigation system will be installed to irrigate all planting

Any plant material in areas requiring landscaping that does not survive will be replaced with an equivalent size and species within 30 days.

Landscape maintenance will be provided including watering, pruning, mulching, weeding, and fertilizing. Per the City of Tucson Land Use Code, all required landscaping, irrigation and site improvements will be maintained. The property owner is responsible for proper and adequate landscaping as required by the LUC.

SIGHT VISIBILITY TRIANGLES

Site visibility triangles: Materials within site visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finish grade. All shrub heights in SVT's shall be maintained below 30" and tree canopy's shall be maintained above 72" height

ROW STANDARD PLANTING NOTES

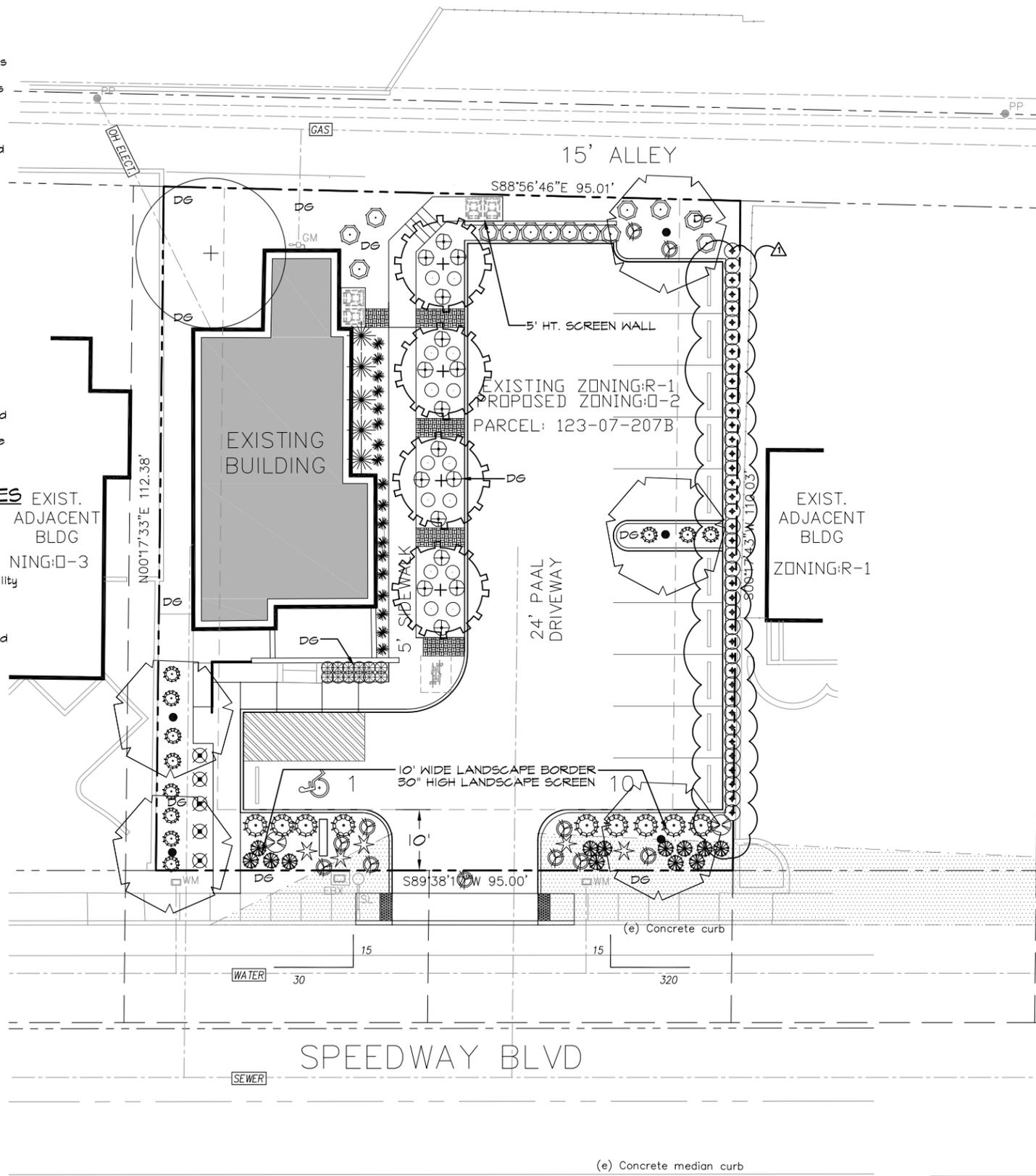
- It is the owners responsibility to keep the Site Visibility Triangles (SVT) and the pedestrian access area clear of vegetation at all times, per Land Use Code (LUC) section.
- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Dept. or any utility company needs to work within the ROW in the landscape area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)

LANDSCAPE BORDERS

SPEEDWAY BLVD.
10' Wide Landscape Buffer
Length of street frontage = 71' - 710 S.F.
50% Coverage = 305 S.F. Required
No. Canopy trees required = 2
No. Canopy trees provided = 2
No. shrubs required = 16
No. shrubs provided = 16

EAST PROPERTY LINE
5' MASONRY SCREEN WALL PROVIDED
Length of Property Line = 110 L.F.
No. Canopy trees required = 3
No. Canopy trees provided elsewhere on site - 3

PARKING LOT TREE CALCULATIONS:
The canopy trees must be evenly distributed throughout the vehicular use area. Every parking space shall be located within forty (40) feet of the trunk of a canopy tree (as measured from the center of a tree trunk).
11 Uncovered Parking Spaces Provided =
3 Trees Required
3 Trees Provided



PLANT SYMBOL	BOTANICAL NAME	COMMON NAME:	SIZE:	GPH:
	<i>Cercidium Hybrid</i>	Desert Museum Palo Verde	15 Gal.	8
	<i>Chilopsis linearis - Hybrid</i>	Desert Willow "Artis Seedless"	15 Gal.	8
	<i>Prosopis velutina</i>	Velvet Mesquite	15 Gal.	8

SHRUBS & GROUNDCOVERS:	SIZE:	GPH
<i>Agave weberi</i> Agave	5 Gal.	1
<i>Leucophyllum frutescens "Compacta"</i> Compact Texas Ranger	5 Gal.	2
<i>Hesperaloe Parviflora</i> Red Aloe	5 Gal.	1
<i>Salvia cleavlandii</i> Chaparral Sage	5 Gal.	2
<i>Caesalpinia Pulcherrima</i> Mexican Bird Of Paradise	5 Gal.	2
<i>Trailing Lantana - Hybrid</i> New Gold Lantana	1 Gal.	2
<i>Sierra capitata</i> Sierra Gold	1 Gal.	2
<i>Chrysactinia mexicana</i> Diamanita	1 Gal.	2
<i>Mulhenbergia capilaris</i> Regal Mist	1 Gal.	2
<i>Mulhenbergia lindheimeri</i> Autumn Glow Mulhenbergia	1 Gal.	2
<i>Echinocereus grusonii</i> Golden Barrel	14" Dia.	5
<i>Pedilanthus macrocarpus</i> Lady Slipper	5 Gal.	2
<i>Aloe X</i> Blue Elf Aloe	5 Gal.	2
<i>Dodonaea viscosa</i> Green Hopbush	5 Gal.	2

INERT GROUNDCOVERS:
DG Decomposed Granite: 1-1/4" Minus gradation - Color - Apache Brown
DG to be installed to a depth of 2" in.
Decomposed Granite shall be placed in all landscape areas including all parking lot islands and landscape buffer areas. Along Speedway Blvd. frontage install DG out to sidewalk pavement edge.
ALL LANDSCAPE AREAS SHALL BE TREATED WITH A PRE-EMERGENT WEED CONTROL. A MINIMUM OF TWO APPLICATIONS IS REQUIRED - ONE AT LANDSCAPE SUBGRADE APPROVAL AND ONE WHEN ALL DECOMPOSED GRANITE HAS BEEN INSTALLED AND APPROVED. INSTALL PER MANUFACTURERS' RECOMMENDATION.

(e) Concrete median curb



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PROJECT NO: 17-10



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
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<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
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Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

OFFICIAL ADDRESS: 2409 EAST SPEEDWAY BLVD. REZONING CASE: C9-17-01
TUCSON, AZ 85715 DEVELOPMENT PACKAGE: DP17-0149

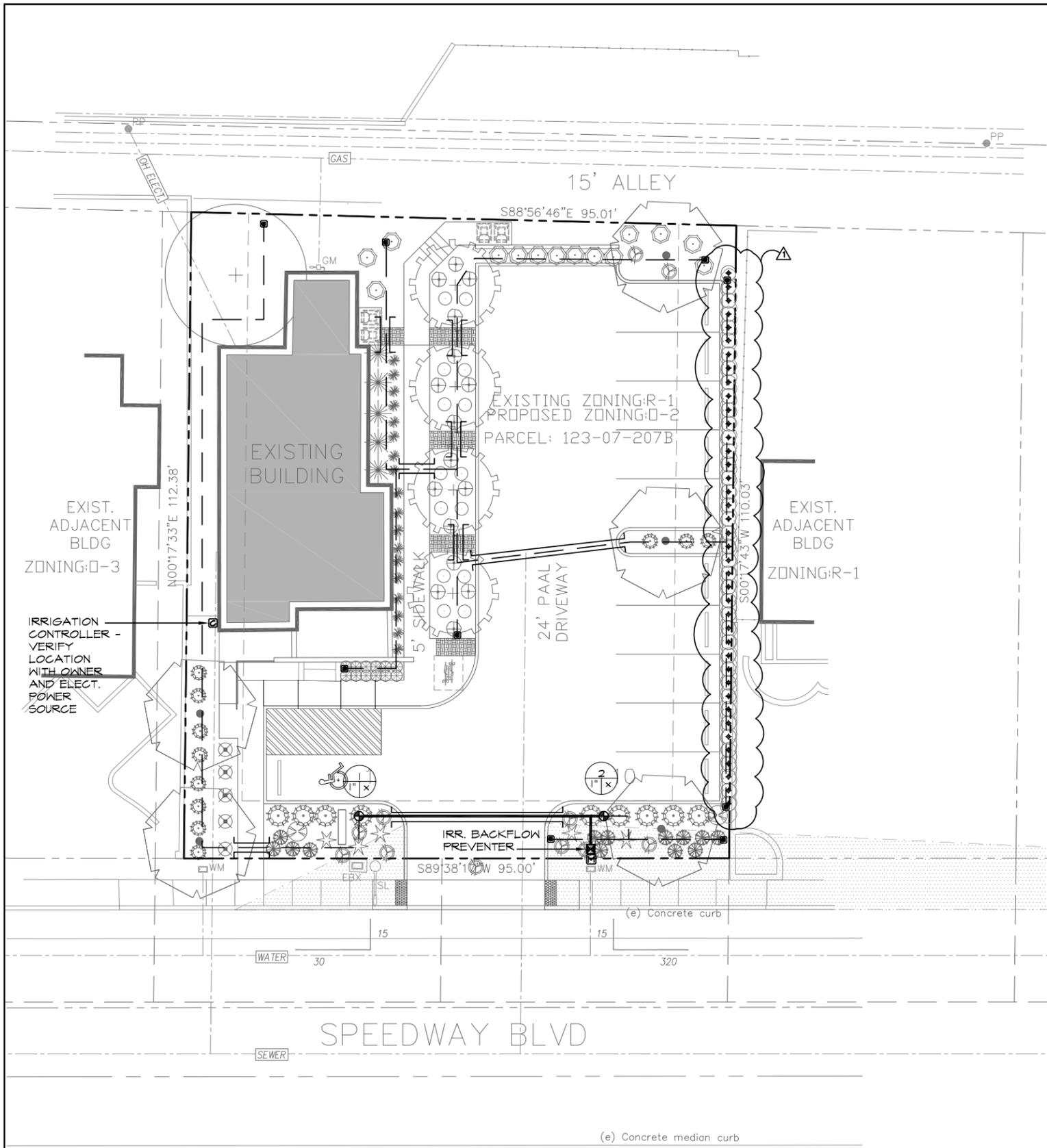
LANDSCAPE PLAN

FOR SPEEDWAY OFFICES

LOCATED IN A PORTION OF SECTION 5, T-14-S, R-14-E, G&SRM, CITY OF TUCSON, ARIZONA
LEGAL DESCRIPTION: OLSENS AMENDED E45' LOT 10 AND ALL 11 EXC S25' BLK 37

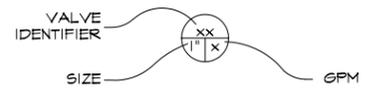
EXPIRES 3/31/2018

SCALE: HORIZ: 1"=10'	DRAWN BY: DL	DATE: 8/03/17	DRAWING #	SHEET
CL: N/A	DESIGNED BY: JH	REV. DATE: 12/14/17		1 of 3
	CHECKED BY: JH	REV. DATE:		



IRRIGATION LEGEND
Symbol Manufacture Description

	HUNTER	Water Meter - Irrigation P.O.C
	FEBCO	I-CORE 6 Station - Wall Mount
	Rain Bird	Reduced Pressure Backflow Preventer, Febco B25Y - 3/4" w/ Guardshack security cabinet and frost blanket
	Sch 40 PVC	XCZ - 100-PRE-COM 1" Control Zone Kit
	Sch 40 PVC	Mainline - 3/4"
	SCH 40 PVC	3" Sleeve.
	SCH 40 PVC	Lateral line - size as shown.
	Rain Bird	3/4" Sch. 40 PVC Irrigation Lateral w/ Rain Bug XBT-20-6 Multi-outlet Emitter @ 2 GPH each Outlet XBT-20 Single-outlet Emitter @ 2 GPH w/ RBT-220V Distribution Tubing.
	Lasco	AP-075 - 3/4" Hose End Flush Cap.



IRRIGATION NOTES

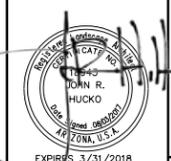
1. Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
2. The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
3. Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried. Contractor shall coordinate sleeve installation through wall/footing to bring irrigation into the planters located in the storage/parking area
4. Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
5. Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.
6. Contractor shall apply for Reduced Pressure Backflow Preventer permit from COT Dept. of Water Backflow Prevention Department.
7. All irrigation equipment shall be as specified, or approved equal per the discretion of the owner.
8. The irrigation system has been designed for a minimum static water pressure of 50 PSI. Contractor shall verify water pressure in the field before construction and notify to owner/general contractor of any discrepancy.

IRRIGATION PLAN

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FOR SPEEDWAY OFFICES

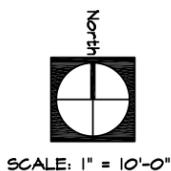
LOCATED IN A PORTION OF SECTION 5, T-14-S, R-14-E, G&SRM, CITY OF TUCSON, ARIZONA
LEGAL DESCRIPTION: OLSENS AMENDED E45' LOT 10 AND ALL 11 EXC S25' BLK 37

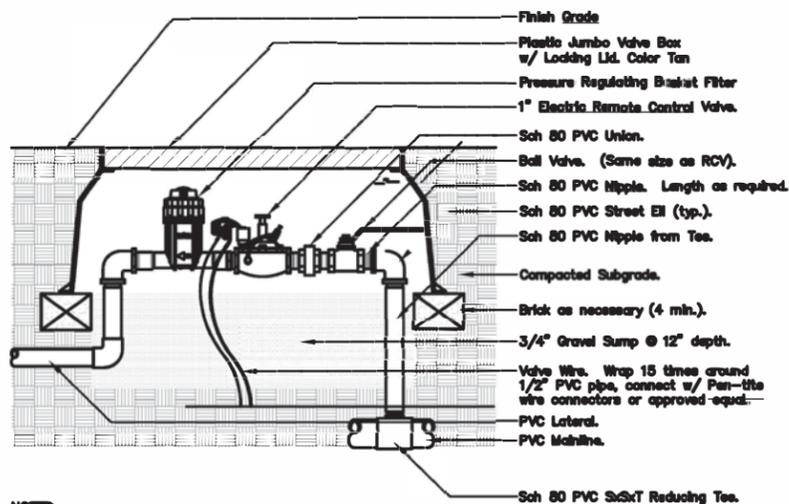


SCALE: HORIZ: 1"=10'	DRAWN BY: DL	DATE: 8/03/17	DRAWING #	SHEET
C.I.: N/A	DESIGNED BY: JH	REV. DATE: 12/14/17		2 of 3
	CHECKED BY: JH	REV. DATE:		



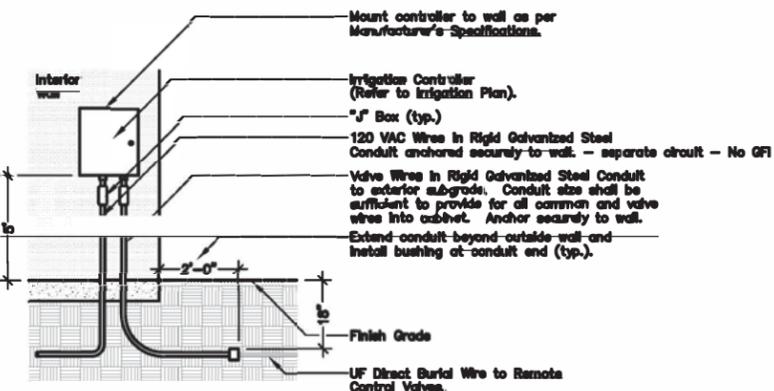
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NOTES:
Apply Racto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around piping and valve box to same density as undisturbed soil.
Refer to Specifications for piping material.

1 REMOTE CONTROL VALVE WITH FILTER - DRIP
NTS

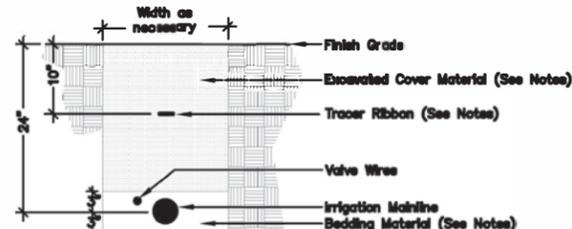


NOTES:
All wiring to be installed as per City Code.
Refer to Electrical Plans for location and power source.

2 WALL-MOUNTED IRRIGATION CONTROLLER
NTS



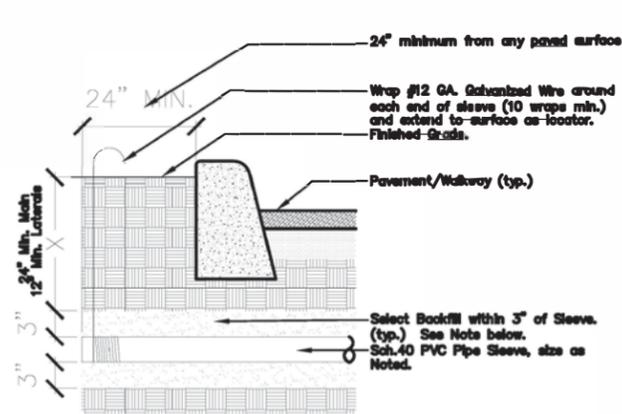
LATERAL TRENCH



MAINLINE TRENCH

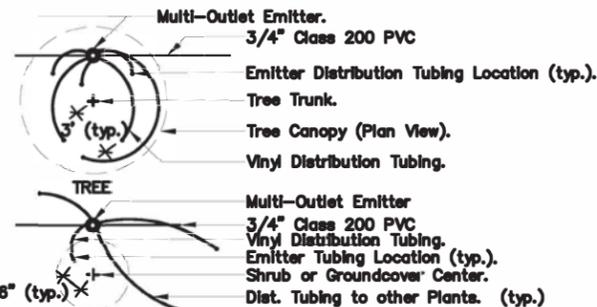
NOTES:
All mainlines to be installed in accordance with manufacturer's Specifications.
All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal.
Bundle and tape wiring at 10 foot intervals.
Valve wires to be installed within mainline trench wherever possible.
Bedding material shall be 1/4\"/>

3 TRENCHING DETAIL
NTS



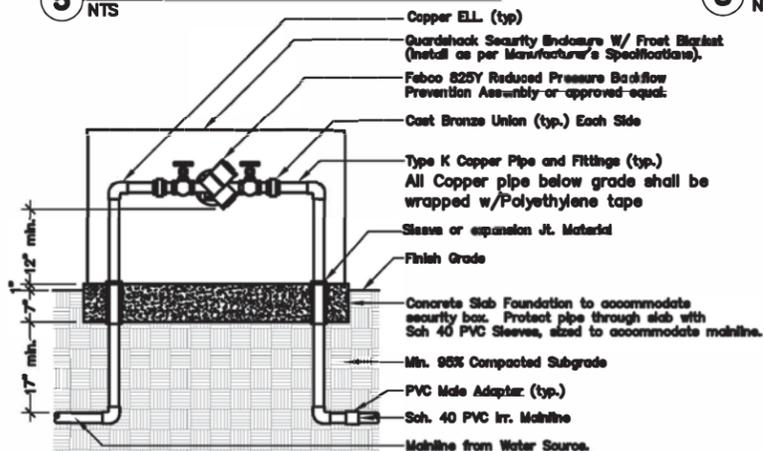
NOTE:
Backfill within 3\"/>

4 PIPE SLEEVING
NTS



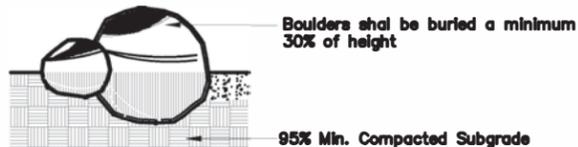
NOTES:
Refer to Irrigation Key for Manufacturer.

5 EMITTER PLACEMENT
NTS

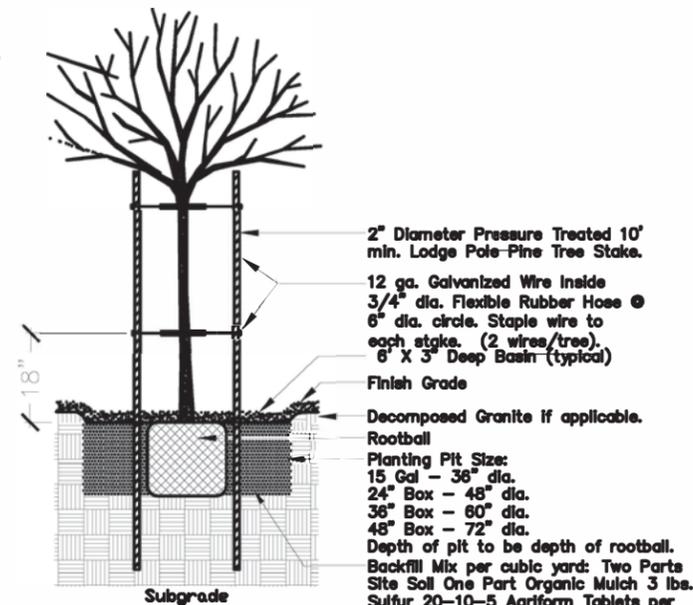


NOTES:
Apply Racto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around mainline piping to same density as undisturbed soil.
Refer to specifications for piping material.
Supply keyed padlock Master Lock Model #957 w/ two keys, or approved equal, for locking security enclosure.

6 REDUCED PRESSURE TYPE BACKFLOW PREVENTER
NTS

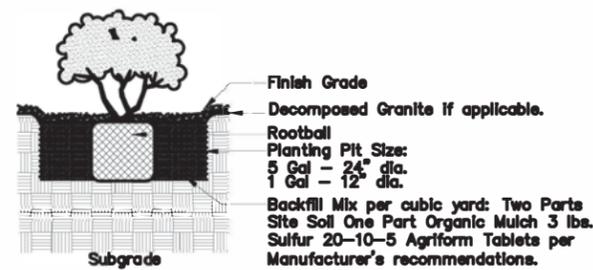


7 BOULDER PLACEMENT
NTS



NOTE:
See Specifications for application of FERROMECH AC Liquid Iron to all trees.
Plant pit to be to the depth of the rootball, typical.

8 SINGLE TRUNK TREE PLANTING
NTS

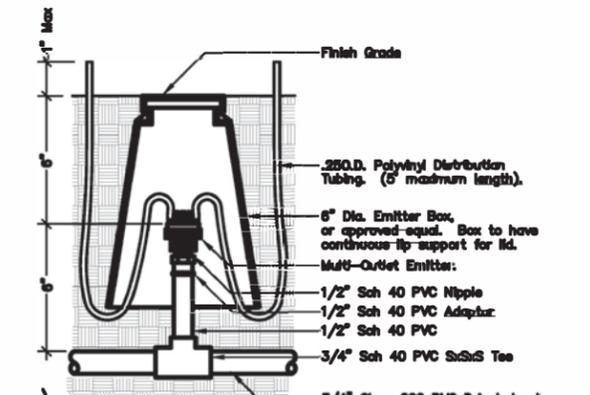


NOTE: Plant pit to be to the depth of the rootball, typical.

9 SHRUB PLANTING
NTS

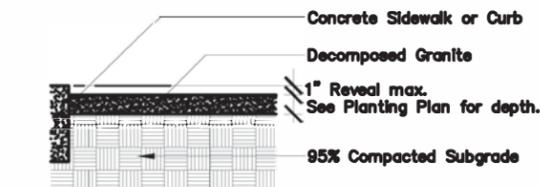


10 GRANITE MULCH
NTS



NOTES:
Compact soil around emitter assembly to same density as undisturbed soil.

11 EMITTER INSTALLATION
NTS



12 SCREENED ROCK / DECOMPOSED GRANITE
NTS

LANDSCAPE - IRRIGATION DETAILS

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john hucko
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ARIZONA, U.S.A.
EXPIRES 3/31/2018

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SCALE:	DRAWN BY:	DATE:	DRAWING #	SHEET
HORIZ: 1"=10'	DL	8/08/17		L3.0 OF 7
CL: N/A	JH			