

VINT & ASSOCIATES ARCHITECTS

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MEMO

DATE: AUGUST 1, 2018

RE: **C9-12-01 Main Gate T14SA00096 HPZ 14-20 11/09/16 [approved]**

NEW CASE # MGD-18-02

REQUEST FOR A CHANGE TO AN APPROVED DESIGN PACKAGE:

PROPOSED MARRIOTT RESIDENCE INN EXTENDED-STAY HOTEL

714 N. EUCLID AVE. TUCSON, AZ

TO: MS. CAROLYN LAURIE, PRINCIPAL PLANNER
CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT
201 N. STONE AVE. TUCSON, AZ 85701

Dear Carolyn,

Per your instructions I am submitting this Request for a Change to an Approved Design Package pertaining to HPZ-14-20 [MGD-18-12]. this evolution of the design:

PROPOSED CHANGES:

1. Exterior wall finish for 2nd Floor through 6th Floor levels inclusive: provide prefinished fiber-cement panels in lieu of previously approved insulating aluminum panels. The first level of the proposed building (retail ground floor and parking mezzanine above) remains brick veneer on concrete as requested by WUNA.

Reason for change: The Owner (714 Tucson LLC) has contracted with UEB for pre-construction services including cost estimating and Value Engineering. In response to the Contractor's analysis and Marriott's financial pro-forma, the cost of insulated aluminum panels excessive and not within allowable cost constraints. We also propose to lower the height of the east 90 ft. deep & 188 of the building by 6'-4" (from 84'-0" to 77'-8" AFG)

I submit that the proposed change is: **(1) as equivalent as practical to the approved feature** in that the exterior appearance of the hotel is largely unchanged on primary public exposure facing West University Neighborhood. The proposed fiber-cement panels are similar in size, proportion and finish to the previously approved aluminum. We propose a panelized system called "REVEAL" made by the Hardie Corp., the top manufacturer of fiber-cement panels in the US. This material is trim in appearance, and as equivalent as practical to the approved feature.

Further, the proposed change is: **(2) an improvement to the approved feature**, in that the mass of the building facing West University Neighborhood is reduced in height by 7-½%. The requested change is also: **(3) a reasonable response to unforeseen conditions:** with the Marriott Residence Inn operating this development it's necessary for the design to evolve within the approved building envelope. We propose to maintain the same color palette as previously approved (rose-colored brick at the ground floor level & covered walkway relating to the historic Geronimo Hotel, and terra-cotta fiber-cement panels above).

(Proposed changes, continued)

2. Slight adjustment in window size and shape at hotel guest rooms, as illustrated on attached elevations.

Reason for change: To conform with Marriott Residence Inn interior design standards, a raised minimum sill height was required.

The proposed change is **(1) as equivalent as practical to the approved feature**. The adjustments maintain a variation in window size and arrangement, similar to the previously approved design. I submit that the proposed change is **(2) an improvement to the approved feature**, in that the revised window areas are slightly smaller in comparison with the previously approved design, reducing exposure to the neighborhood. The requested change is **(3) a reasonable response to unforeseen conditions**, by adjusting to the Marriott's design standards while maintaining the spirit and asymmetry of the original approved design.

3. Relocate trash & recycling room to south side of building on 4th St.; add store-front windows at north extent of West Elevation in lieu of solid brick veneer walls.

Reason for change: as the ground-level floor design has evolved the Owner preferred to have continuous retail space along Euclid Ave. from the south to the north property lines, and to relocate the trash & recycling room to the south, opening on to 4th St.

The proposed change is **(1) as equivalent as practical to the approved feature**, by extending storefront glazing similar to that previously approved. The proposed change is **(2) an improvement to the approved feature** by reducing the amount of unbroken solid brick on the west wall (this solid corner was of concern for DRC members previously, in particular to Dean Jan Cervelli, who wanted to open up the corner so it was less imposing; we had proposed signage and vegetation in this location, but believe that storefront glazing is a better solution, and furthermore additional retail is favored to activate the street front and enhance the neighborhood. The requested change is **(3) a reasonable response to unforeseen conditions**, by adjusting to the relocated design.

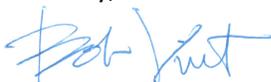
4. Substitute valet parking for robotic parking at mezzanine level.

Reason for change: due-diligence revealed that the robotic parking system we had considered had failed, and that the company ("Boomerang") has gone bankrupt.

The proposed change is **(1) as equivalent as practical to the approved feature**, replacing mechanized car-jockeys with human ones (the change is internal). The proposed change is **(2) an improvement to the approved feature** by reducing liability to the Owner. The requested change is **(3) a reasonable response to unforeseen conditions**, by substituting human labor for a robotic system that was not ready for prime-time.

Attached please find plans, elevations and a 3-D rendering illustrating the requested changes in our Approved Design Package. These are presented side-by-side with the previously approved design package for comparison. We submit that the proposed revisions and refinements to Marriott Residence Inn/extended stay represent an unsubstantial change to the Approved Design Package. Thank you for your attention, and please contact me should you require further information.

Sincerely,



Bob Vint
Architect

714 N. EUCLID AVENUE
DESIGN PACKAGE

CHANGES TO DECEMBER 2016 APPROVED DESIGN



Team

Developer: Stewart Smith/Mike Golec
7 One 4, LLC
7610 E. McDonald Drive #F
Scottsdale, AZ 85250
tel: 858.699.7023

Design Architect: Robert Vint, RA
Vint & Associates, Inc
312 E. 6th Street
Tucson, AZ 85705
tel: 520.882.5232

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EDF Architects Inc
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Edmonton, AB T5K 1A6
Canada
tel: 780.423-3424

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Cypress Engineering
2030 E. Speedway Blvd, #110,
Tucson, AZ 85719
tel: 520.499.2456

Structural Engineer: Clifton Paul, PE
PKA Associates
7434 E McDonald Drive
Scottsdale, AZ 85250
tel: 480.922.8854

Mechanical & Electrical Engineer: David Garcia-Acosta
Gardel Engineering
441 S. 48th Street
Tempe, AZ 85281
tel: 480.361.3667

General Contractors: Craig Bergstrom, LEED AP
UEB Builders
6750 E. Camelback Rd, #103
Scottsdale, AZ 85251
tel: 480.222.9103

Marriot Hotel Extended Stay: Scott McAllister,
Chief Operating Officer, LDHG
Marriott International
Phoenix
tel: 480.862.9389



Architect of Record:



Civil Engineer:

Structural Engineer:

Mechanical & Electrical Engineer

General Contractors

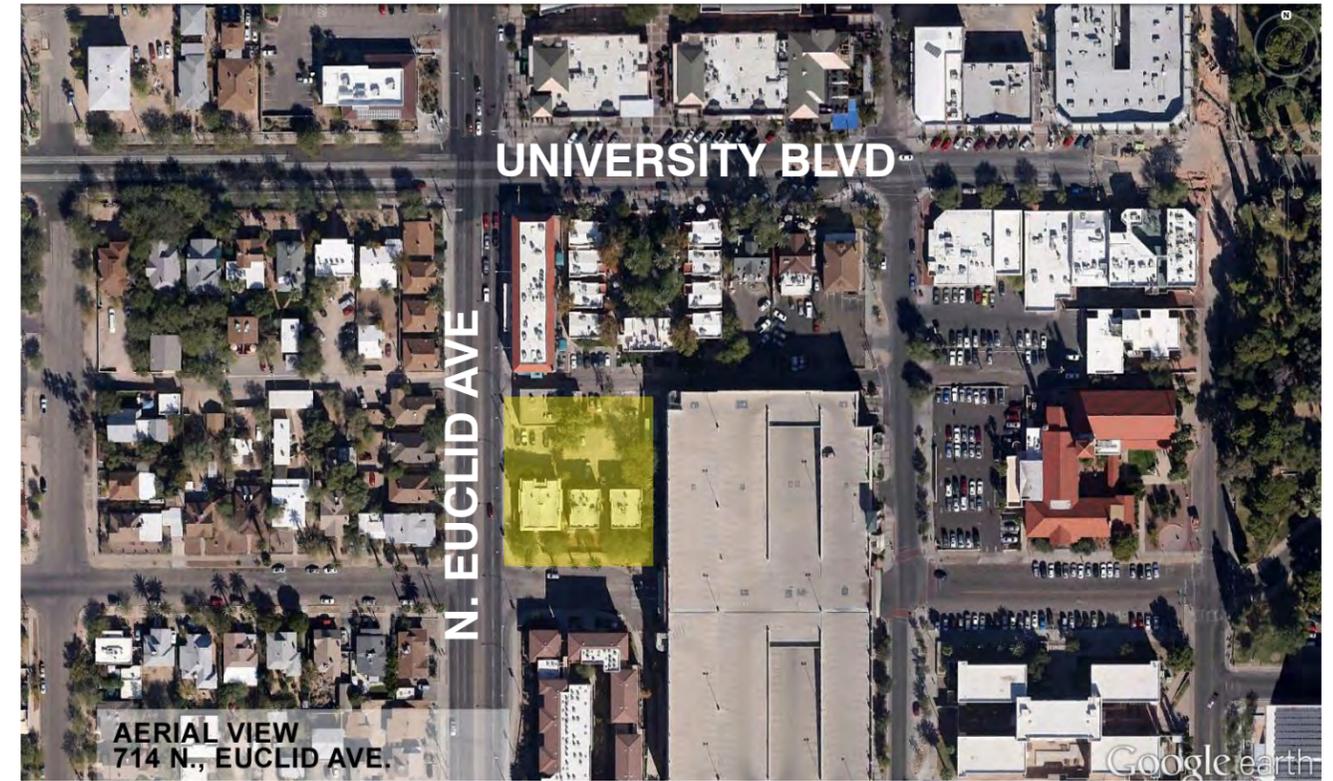
Marriot Hotel Extended Stay:

Design Review Timeline

Dec 12, 2013	Submission to the City of Tucson, Dev. Services. Permission to demolish historic structures located at the NE corner of N. Euclid Ave and E. 4th Street, because the buildings were financially infeasible to restore due to neglect and deterioration. Permission granted.	Aug 21, 2014	Main Gate District-Design Review Committee Meeting. Approved.
Apr 15, 2014	West University Historic Zone Advisory Board. (WUZHAB) Requested more windows, screen pool, information on materials and parking routes. Response: Windows were added, pool set back from edge and green space added. Materials defined and color samples offered.	Sep 12, 2016	WUZHAB Oppose demolition plan but approved replacement plan as revised and presented that evening.
Apr 24, 2014	Tucson-Pima County Historical Commission (TPCHC) First review of Financial Hardship and Replacement Plan. Approved	Nov 11, 2014	Neighborhood Property Owners Public Meeting Mayor & Council Meeting Approval of project and demolition
Apr 30, 2014	City Staff Meeting Discuss Parking strategy, MS&R application, moving forward.	Nov 16, 2014	City Staff Presentation of proposed revisions & discussion.
May 15, 2014	TPCHC & WUZHAB - Impass regarding demolition. DRC - Informal presentation to introduce project.	Apr 9, 2015	Request for change to approved Design package by R. Vint, Architect.
May 20, 2014	WUZHAB (3rd Review) Demolition and replacement plan called compatible.	Aug 31, 2016	City of Tucson Planning & Dev. Services Main Gate District Presentation
May 22, 2014	TPCHC Agreed that historic structures beyond repair.	Sep 6, 2016	West University Historic Zone Advisory Board Meeting. The changes to the design were contrasted with the previously presented design and the Board agreed there were no substantial changes. Approved.
Jun 26, 2014	TPCHC (4th review) Recommend warmer colors, tan shades preferred.	Oct 16, 2016	City of Tucson Planning & Dev. Services, Main Gate Overlay Revised Design submitted for approval.
		August 2018	City of Tucson Planning & Dev. Services Main Gate Overlay Final Design submitted for approval

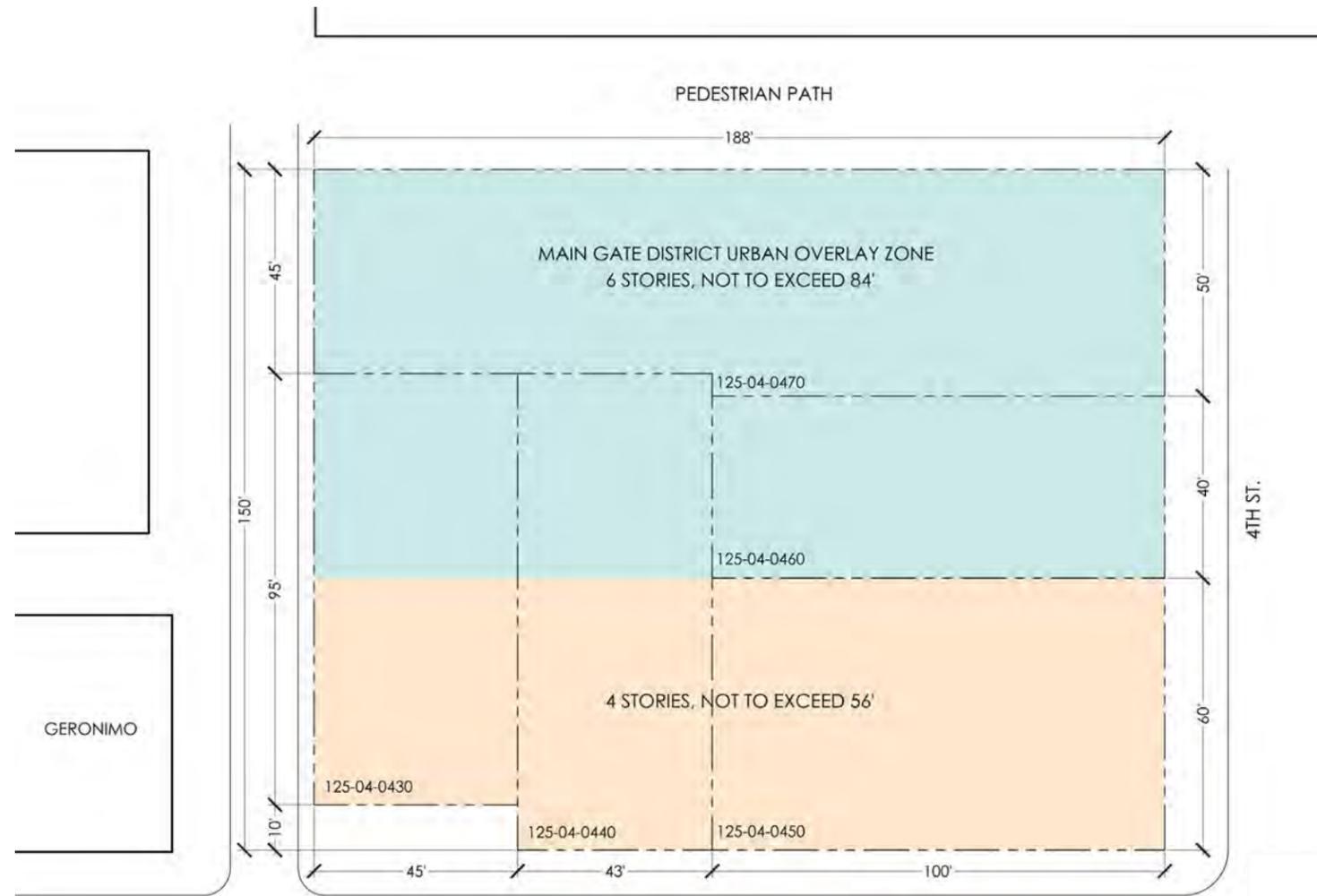


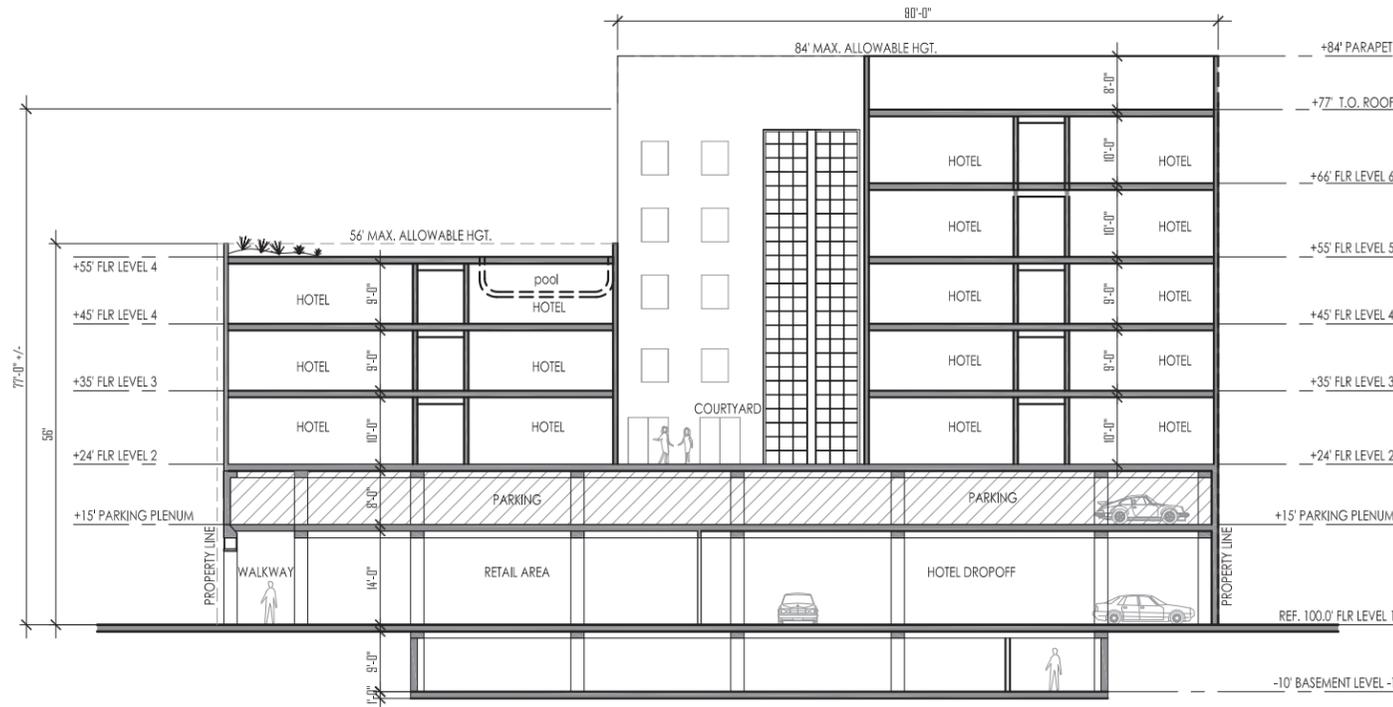
MAIN GATE DISTRICT



AERIAL VIEW
714 N., EUCLID AVE.

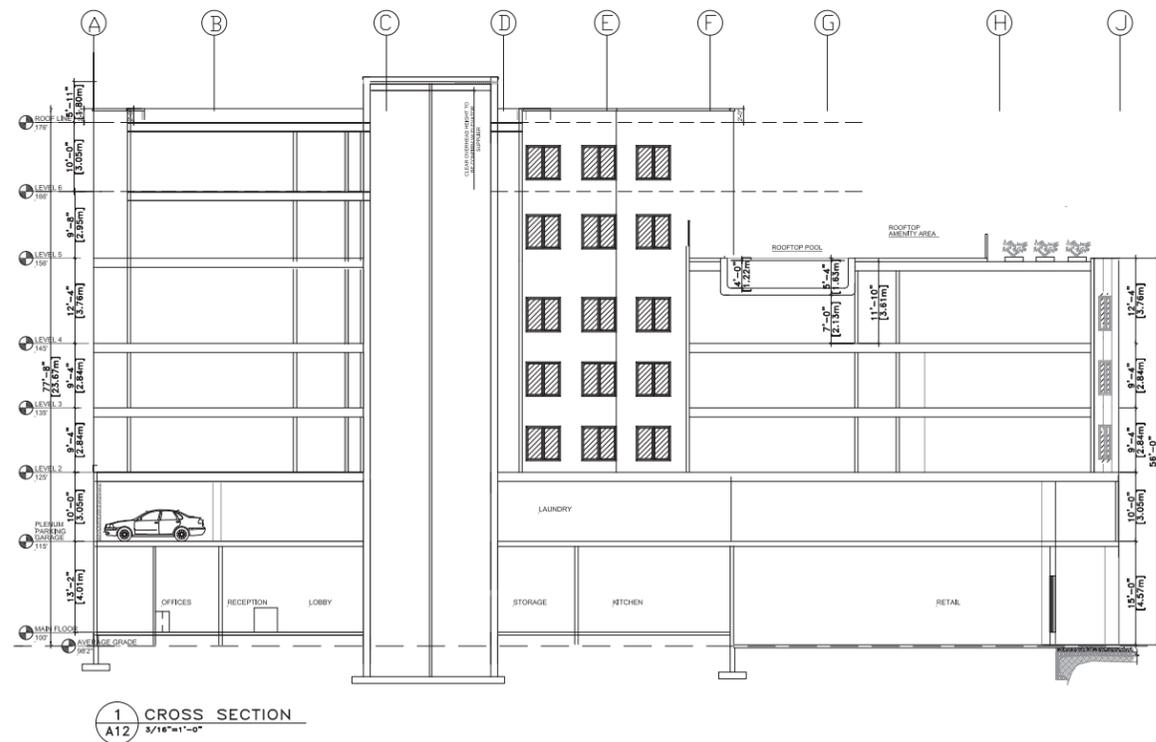
 **HOTEL LOCATION**
714 N. EUCLID AVENUE





2016 Euclid Hotel

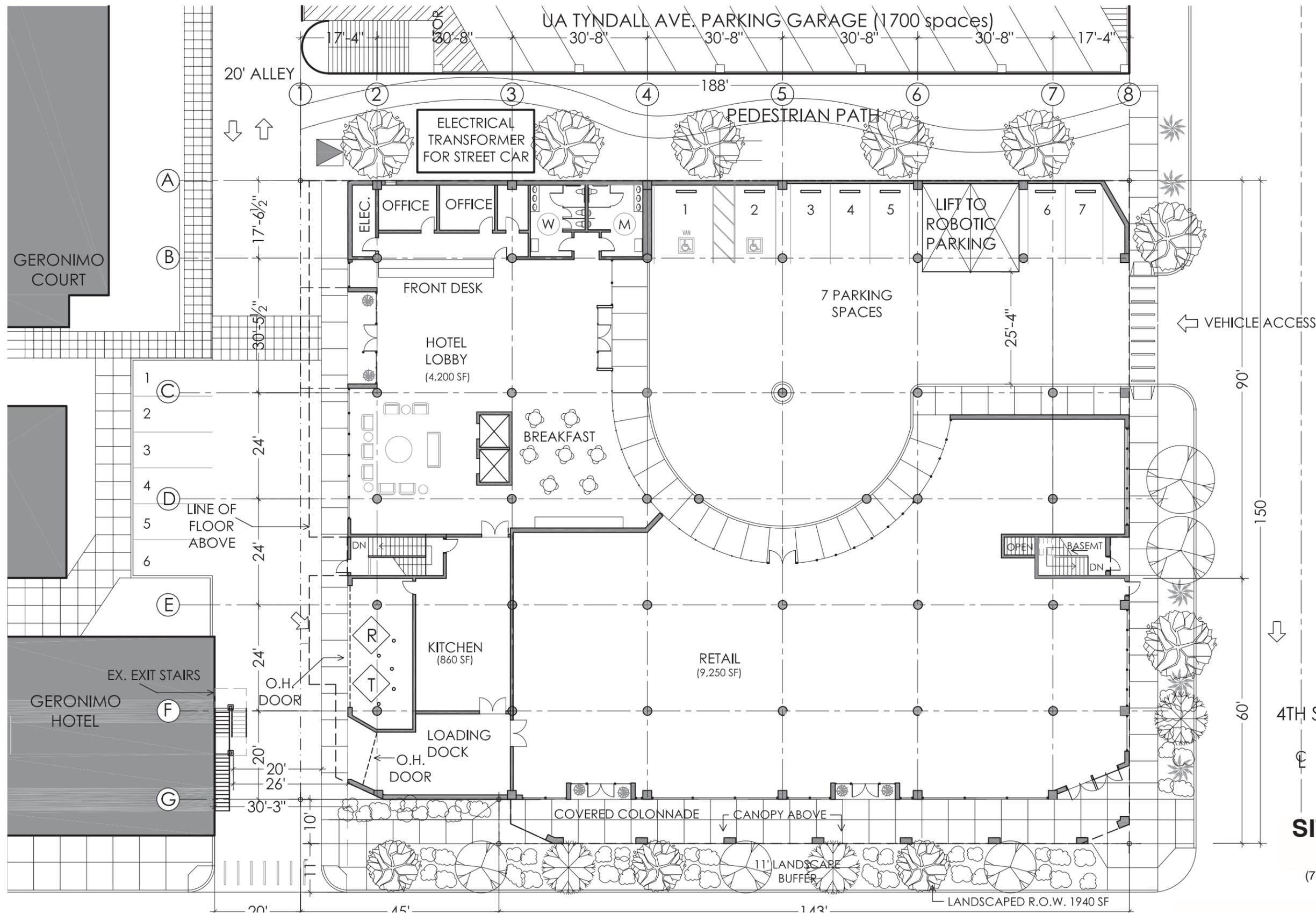
- 6 levels with parking plenum and basement
- Pool and terrace on the 5th level
- Ground floor -Retail, hotel reception and lobby, dining room and kitchen
- Basement - laundry, employees facilities and storage.



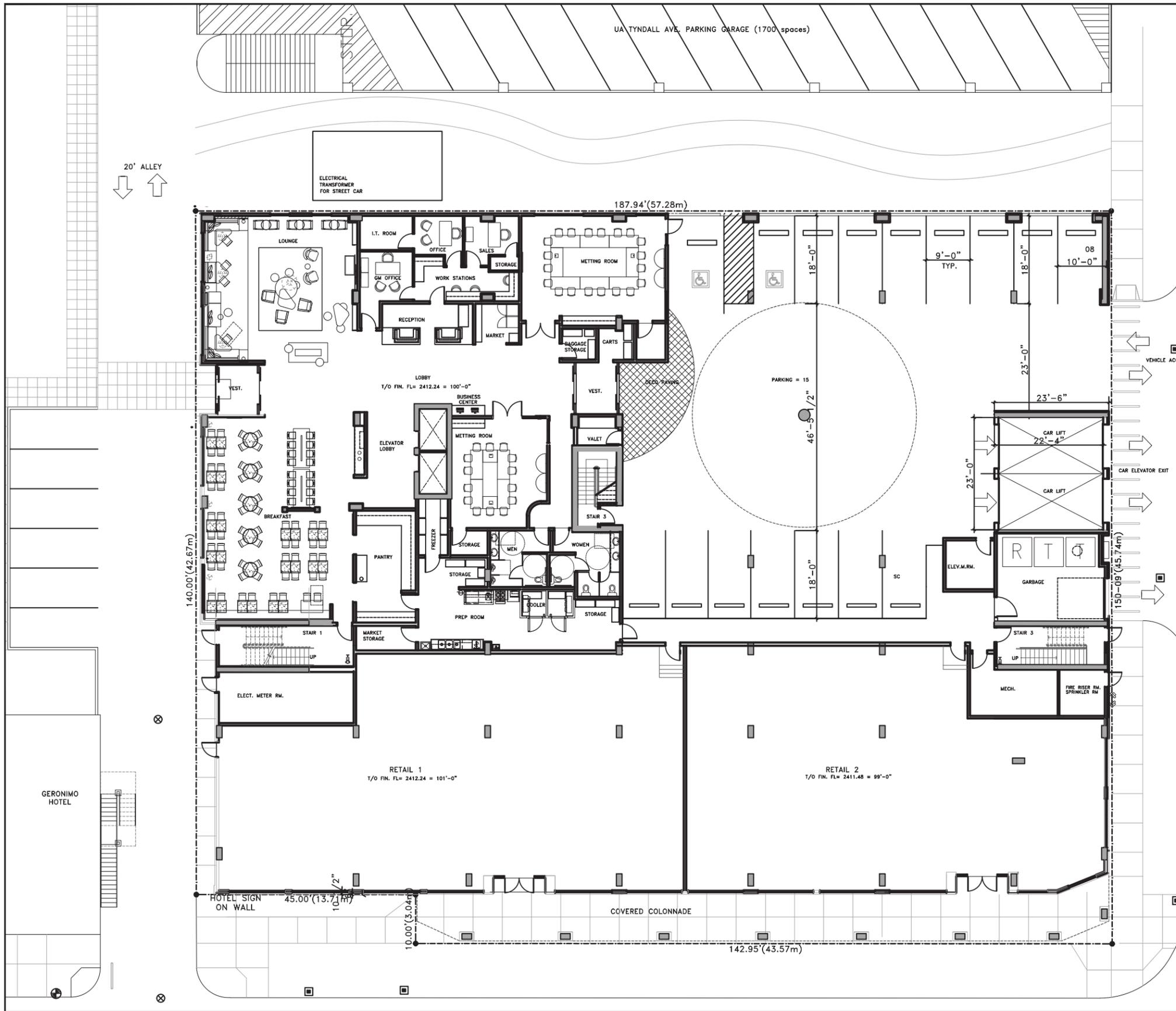
2018 Euclid Hotel

- 6 levels with parking plenum
- Pool and terrace on the 5th level
- Ground floor -Retail, hotel reception and lobby, dining room and kitchen
- **No basement**
- **Parking Plenum - cars, laundry & employees facilities**
- **Reduced mass height**

Differences



SITE PLAN 2016
 Scale: 1" = 20'
 (7 PKG. SPACES ON GRADE)



ADDRESS
 714 EUCLID AVE
 TUCSON, ARIZONA

LEGAL DESCRIPTION
 LOT - PORTION OF LOTS 1,2&4
 BLOCK - 5
 WITHIN SECTION 7 TOWNSHIP 14 SOUTH
 RANGE 14 EAST OF THE GILA AND SALT RIVER BASE

SITE AREA
 AREA = 27,750 S.F. = 2,578m²

DP NUMBER

ZONING ---
SUITE COUNT

STUDIO KING	= 75 (48.92%)
STUDIO DQ	= 30 (41.72%)
STUDIO DQ-1	= 15 (41.72%)
STUDIO DQ-2	= 03 (41.72%)
STUDIO DQ-3	= 03 (41.72%)
ONE BED ROOM	= 10 (7.20%)
TWO BED ROOM	= 03 (2.16%)
TOTAL	= 139

SUITE MIX

STUDIO KING	= 75 (53.96%)
STUDIO DQ	= 51 (36.69%)
ONE BED ROOM	= 10 (7.19%)
TWO BED ROOM	= 03 (2.16%)
TOTAL	= 139 (100.00%)

BUILDING AREA

MAIN	= 27,082 S.F.
MEZZ.	= 27,124 S.F.
SECOND	= 22,991 S.F.
THIRD	= 22,891 S.F.
FOURTH	= 22,891 S.F.
FIFTH	= 12,621 S.F.
SIXTH	= 12,621 S.F.
TOTAL	= 148,221 S.F.
BASEMENT	= 3,180 S.F.

F.A.R.

BUILDING AREA	= 148,221 S.F. = 5.34
SITE AREA	= 27,750 S.F.

SITE COVERAGE

BUILDING AREA	= 27,082 S.F. = 97.59%
SITE AREA	= 27,750 S.F.

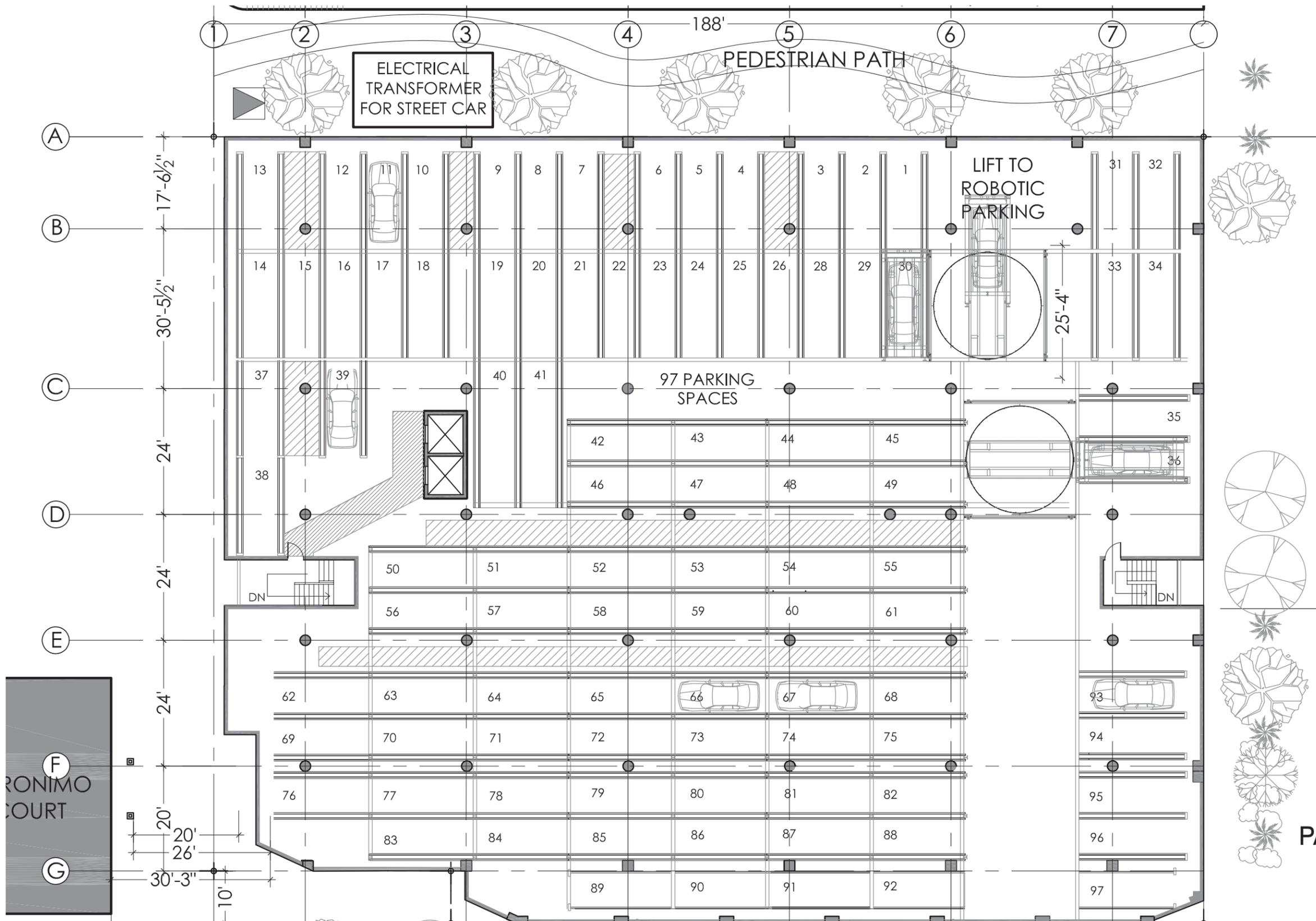
PARKING

PARKING REQUIRED	
SUITES	139X1.0 = 139.00
STAFF	= 03.00
TOTAL REQUIRED	= 142.00
PARKING PROVIDED	= 105
(05 HC PARKING INCLUDED)	

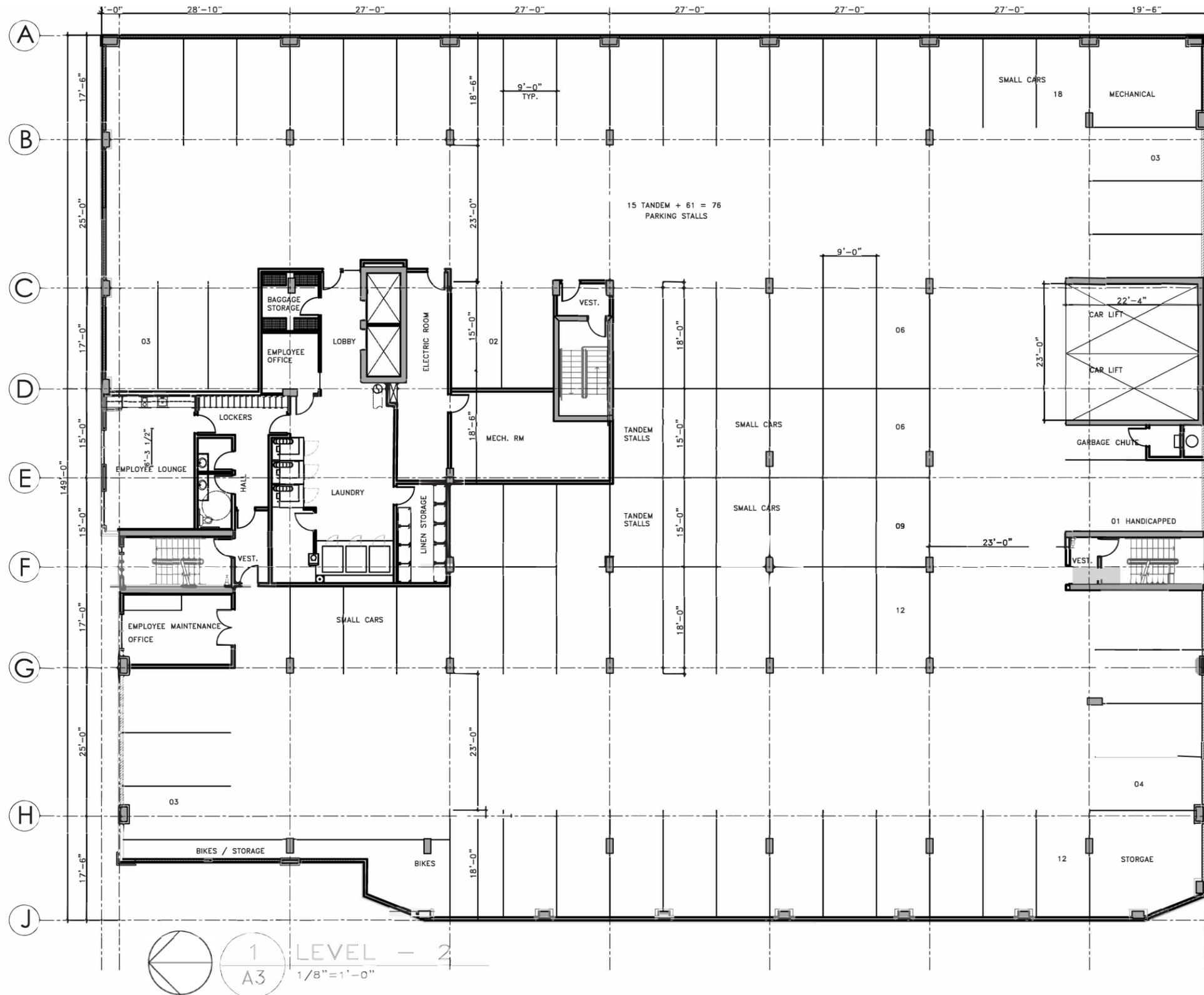
4th ST



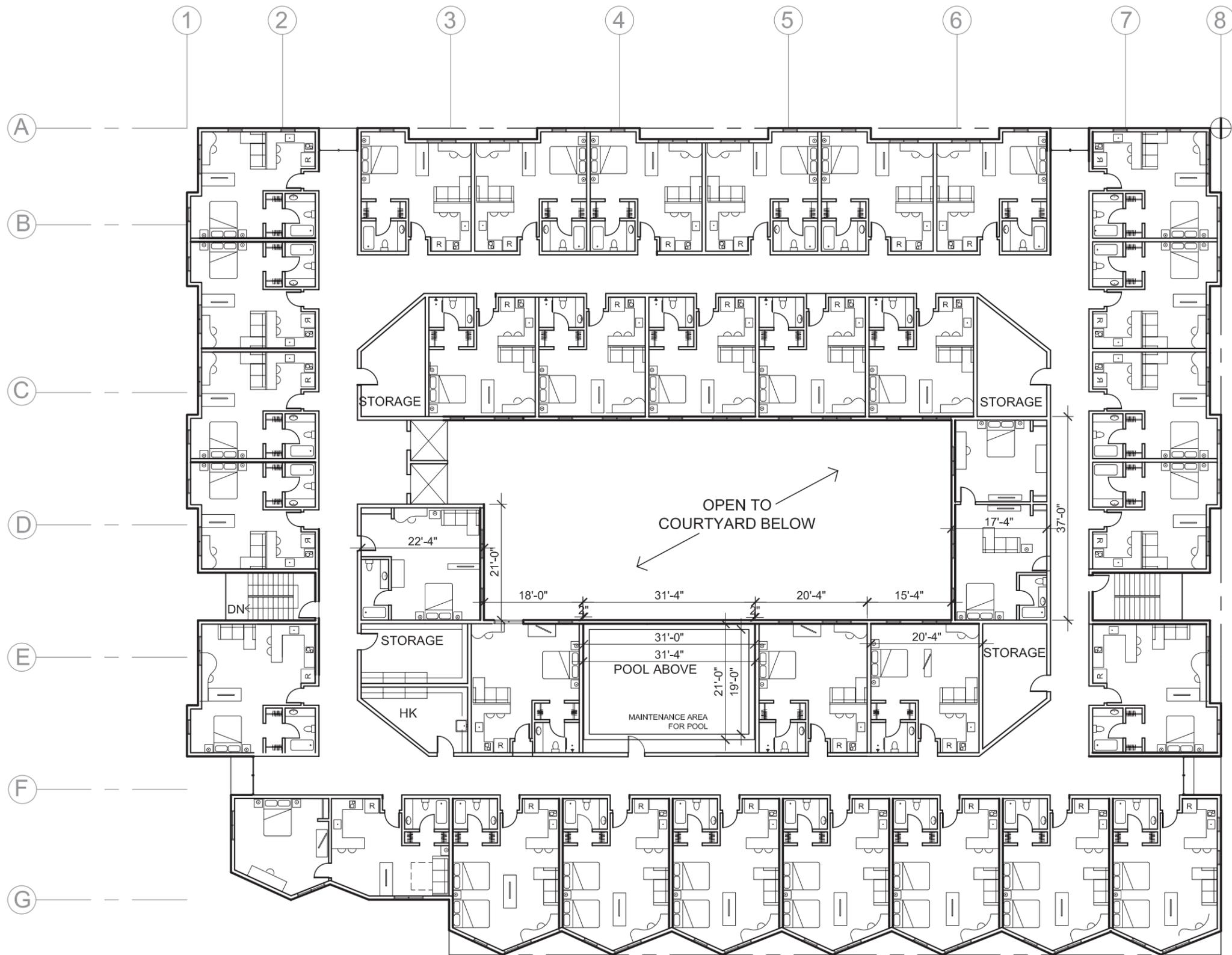
SITE PLAN 2018
 Scale: 1" = 20'
 (7 PKG. SPACES ON GRADE)



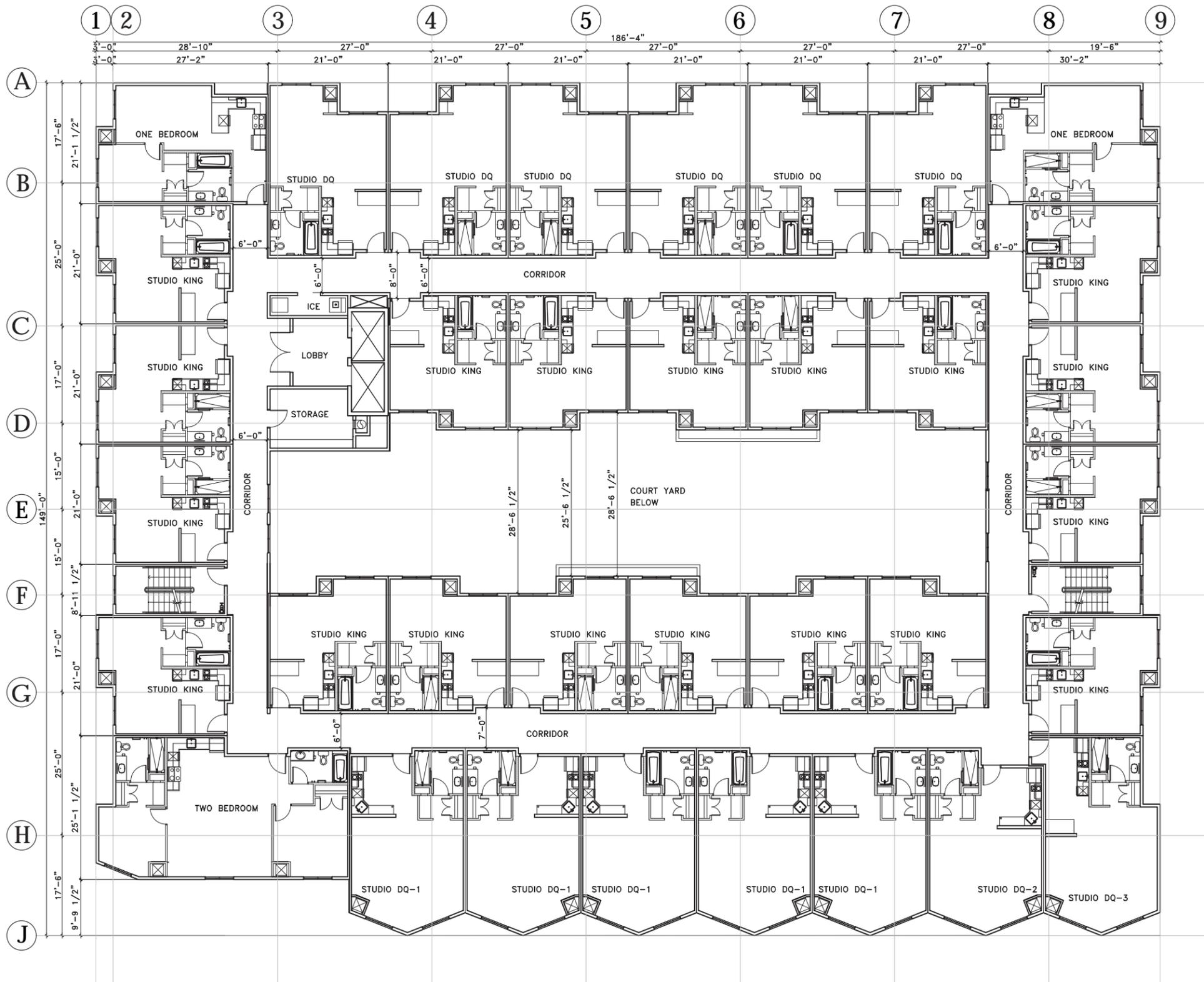
PARKING MEZZANINE 2016
 scale: 1"=20'
 (97 SPACES)



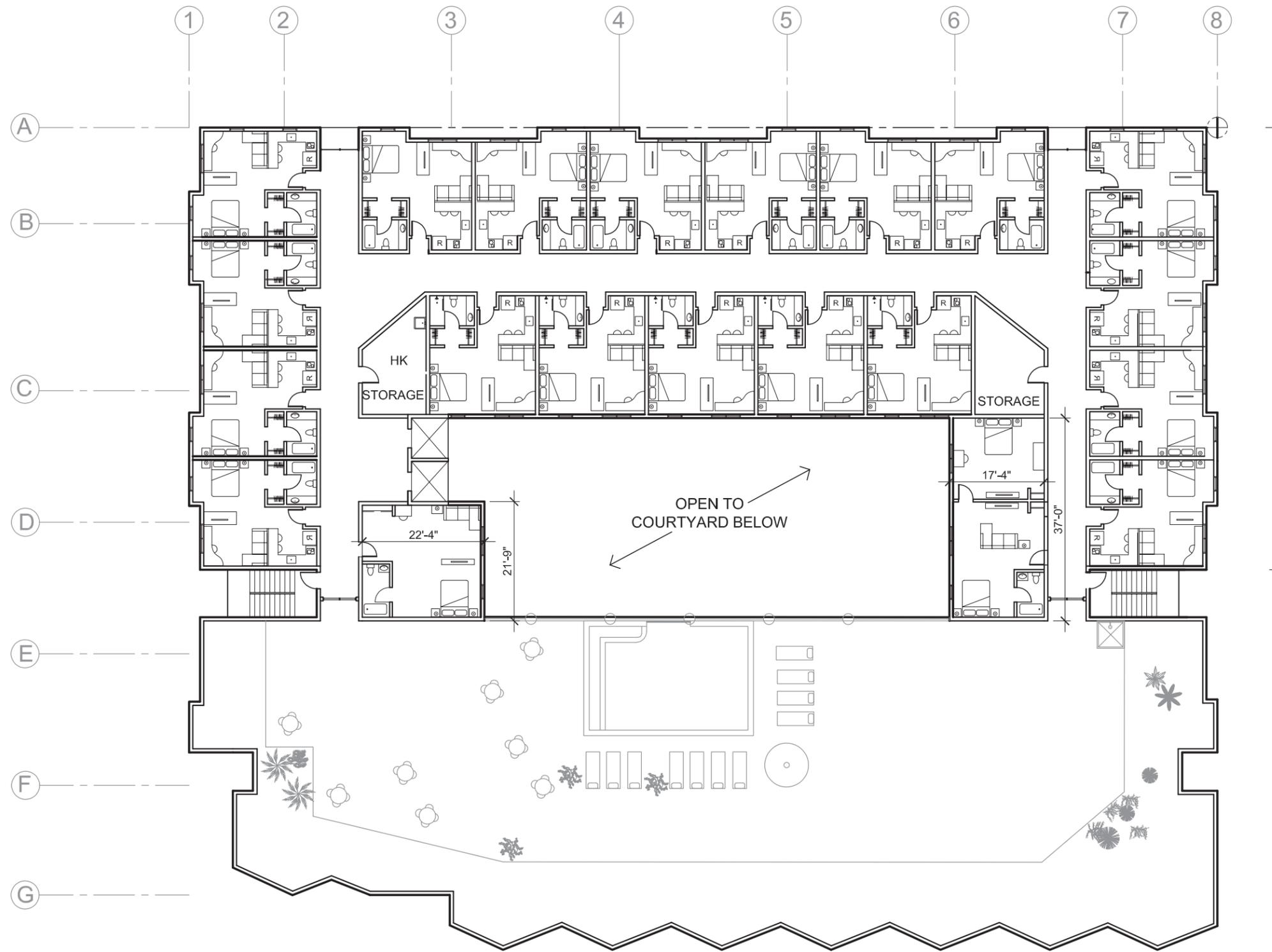
PARKING MEZZANINE 2018
 scale: 1"=20'
 (76 SPACES)



TYPICAL FLOOR PLAN 2016
scale: 1"=20'



TYPICAL FLOOR PLAN 2018
scale: 1"=20'



ROOF PLAN 2016
scale: 1"=20'





WEST ELEVATION 2016- N. Euclid Ave
scale 1/16" = 1'

- KEYNOTES
1. FACE BRICK ON CONCRETE FRAME
 2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
 3. INSULATING GLASS
 4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
 5. COMPATIBLE SIGNAGE SYSTEM



WEST ELEVATION 2018- N. Euclid Ave
scale 1/16" = 1'

KEYNOTES - CHANGES FROM 2016 SUBMISSION

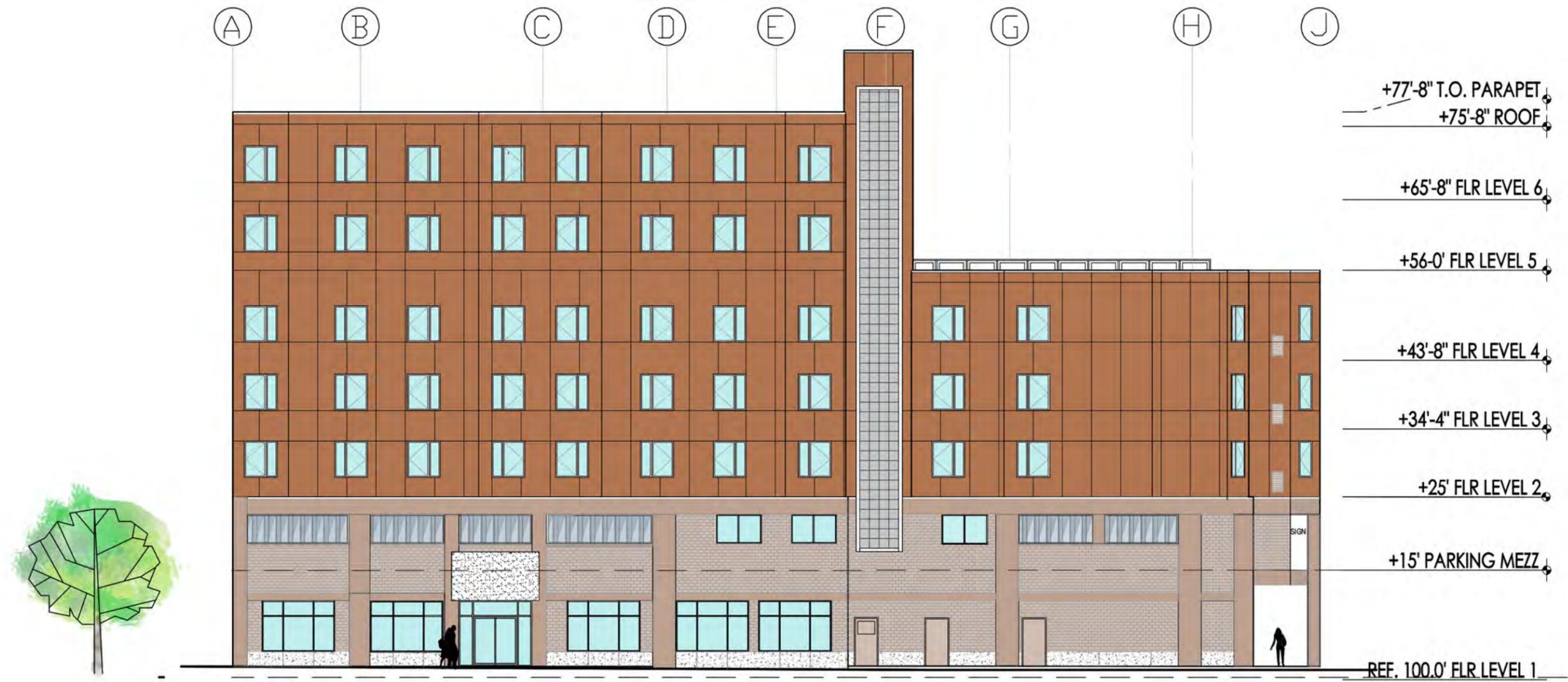
1. REDUCE HEIGHT OF SIX STORY MASS FROM 84' TO 77'-8" AFG
2. EXTEND RETAIL ALONG THE LENGTH OF EUCLID AVENUE SIDE AND ADD WINDOWS AT N.W. CORNER
3. HARDI REVEAL FIBRE CEMENT PANEL SYSTEM IN LIEU OF METAL PANELS
4. OPEN METAL GRID AT STAIRWELLS (UNCONDITIONED SPACE)



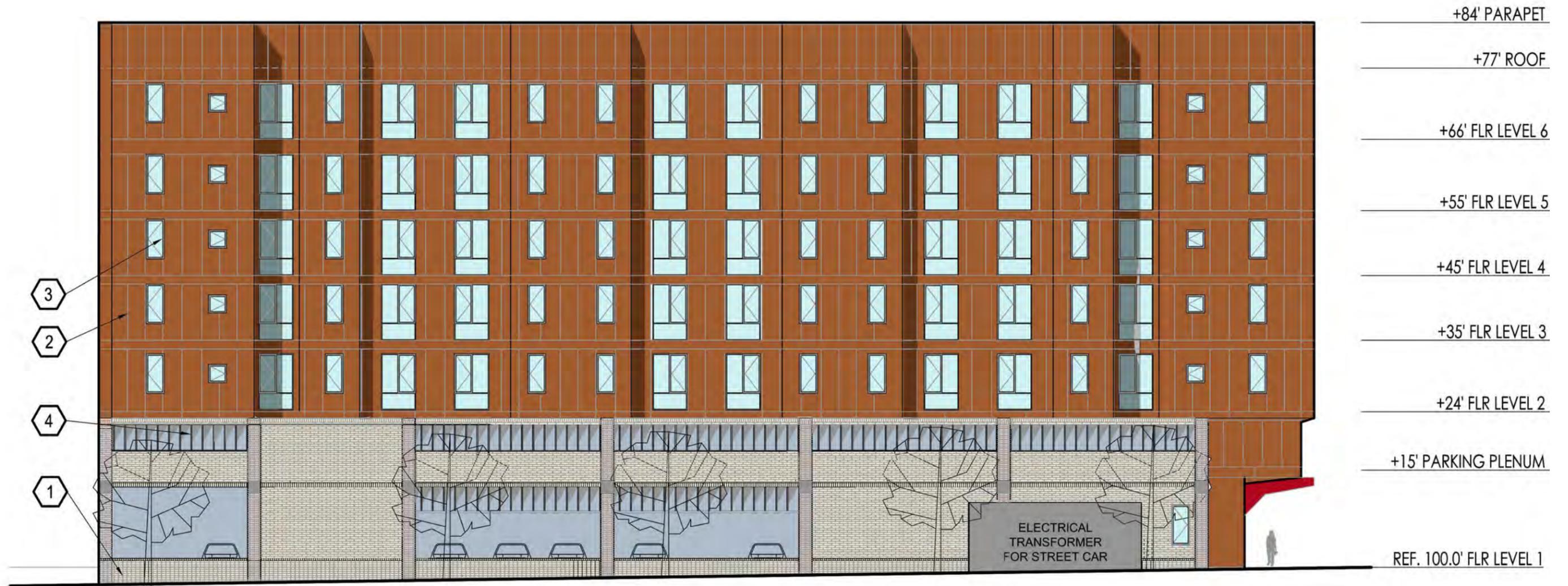
NORTH ELEVATION 2016 - Alley
scale 1/16" = 1'

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM



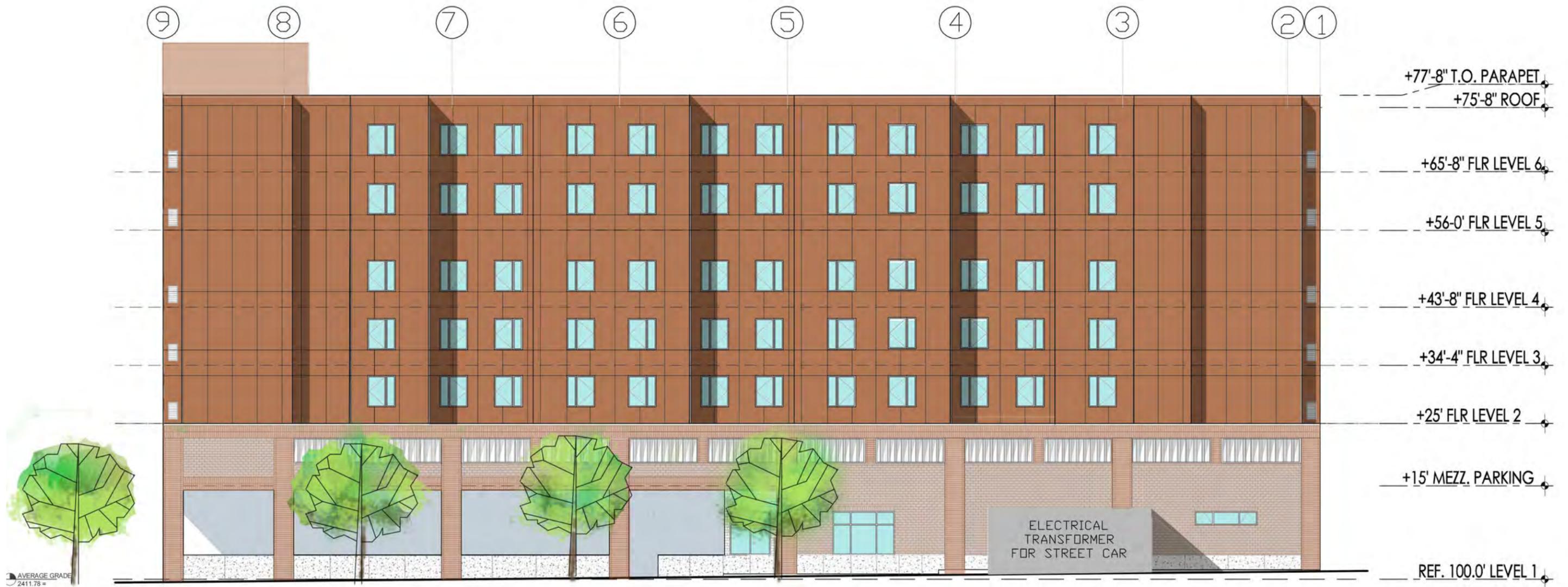
NORTH ELEVATION 2018 - Alley
scale 1/16" = 1'



EAST ELEVATION 2016- Tyndale Alley
scale 1/16" = 1'

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM



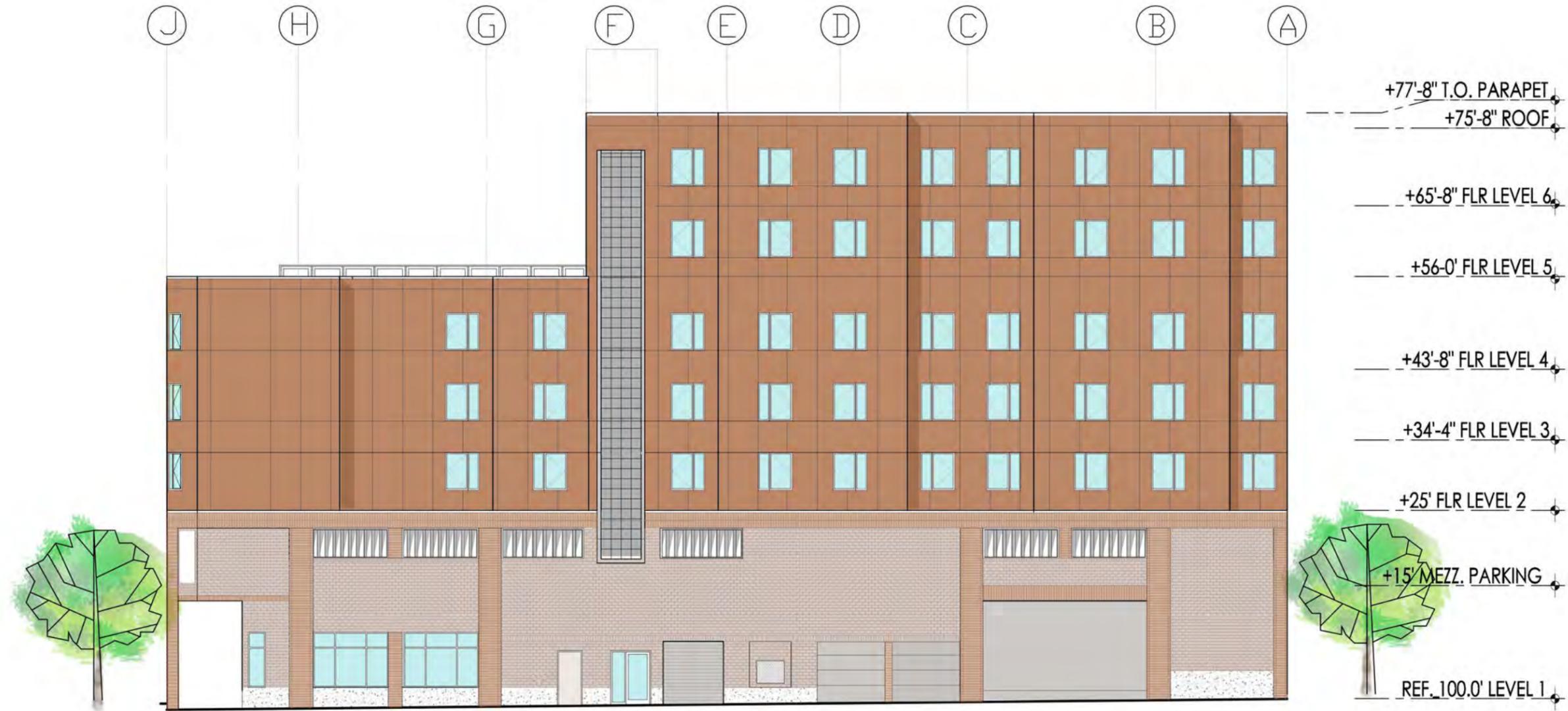
EAST ELEVATION 2018 - Tyndale Garage Alley
 scale 1/16" = 1'



SOUTH ELEVATION 2016 - 4TH STREET
scale 1/16" = 1'

KEYNOTES

1. FACE BRICK ON CONCRETE FRAME
2. PRE-FIN. INSULATING METAL PANEL ON STEEL FRAMING
3. INSULATING GLASS
4. PRE-FIN. METAL SUNSCREEN/ LOUVRE
5. COMPATIBLE SIGNAGE SYSTEM



SOUTH ELEVATION 2018 - 4th Street
scale 1/16" = 1'

CHANGES FROM 2016 PRESENTATION

SITE: 27,750 SF .64 ACRES

2016

2018

GROUND FLOOR	26,250 SF
PARKING PLENUM	26,440 SF
2ND FLOOR	26,745 SF
3RD FLOOR	23,560 SF
4TH FLOOR	23,560 SF
5TH FLOOR	13,365 SF
6TH FLOOR	13,365 SF
TOTAL	153,287 SF
BASEMENT	16,941 SF

GROUND FLOOR	27,082 SF
PARKING PLENUM	27,124 SF
2ND FLOOR	22,991 SF
3RD FLOOR	22,891 SF
4TH FLOOR	22,891 SF
5TH FLOOR	12,621 SF
6TH FLOOR	12,621 SF
TOTAL	148,221 SF
BASEMENT	3,180 SF

F.A.R. 5.52
 153,287 SF
 27,750 SF

F.A.R. 5.34
 148,221 SF
 27,750 SF

ROOM COUNTS

ROOM COUNTS

112 ONE BED SUITES
 21 TWO BED SUITES
 7 DOUBLE SUITES (2 BEDROOM)

10 ONE BED SUITES
 3 TWO BED SUITES
 75 STUDIO KING
 51 STUDIO QUEEN

140 ROOMS TOTAL

139 ROOMS TOTAL

PARKING

PARKING

PARKING REQUIRED
 SUITES 140 X 1.0 = 140.00
 STAFF = 03.00
 TOTAL REQUIRED = 143.00 X 0.7 = 101 REQ'D.
 PARKING PROVIDED = 104 (2 HC included)

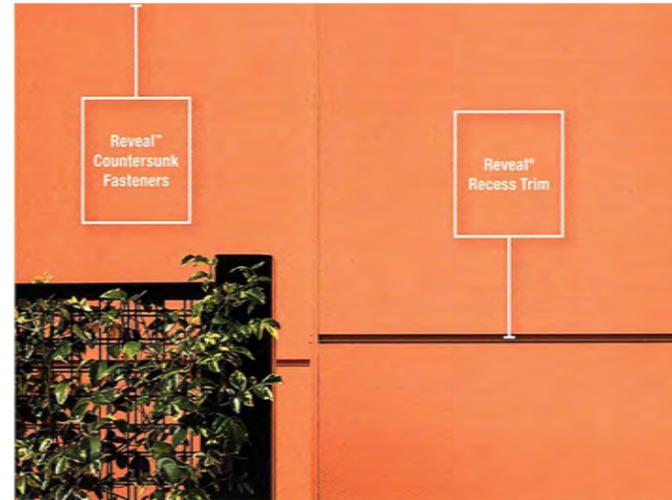
PARKING REQUIRED
 SUITES 139 X 1.0 = 139.00
 STAFF = 03.00
 TOTAL REQUIRED = 142.00 X 0.7 = 100 REQ'D.
 PARKING PROVIDED = 92 ON SITE (2 HANDICAP INCL.)
 + 8 ADD'L. OFF-SITE VALET PARKING = 100





View of hotel from University Blvd -Geronimo Plaza

MATERIALS



REVEAL PANEL SYSTEM BY HARDIE

- Sharp express joint look with deep shadow lines
- Two different trim profiles
- Exposed or countersunk fasteners
- Engineered for Climate® to stand up to the demands of your project's specific climate
- Proven performance with James Hardie fiber cement panels coupled with durable aluminum trims



EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)

- Exterior system for Tyndall Garage Alley (East side)
- A multi-layered exterior wall system with high insulation factor -suitable for Tucson climate
- Color to match



STEEL GRATING AND LOUVERS

- Unconditioned, open stairwells will be shaded by steel grating
- Parking Plenum is surrounded by steel louvers which shades parking and allows air to flow freely.
- Hard wearing and low maintenance solutions
- Maintains its appearance over time



BRICK WAINSCOTT

- Relates to the University of Arizona and University Blvd use of brick.
- Hard wearing and low maintenance
- Maintains its appearance over time

Visit Us Online

For more information about clay pavers, face brick, thin brick, fireplace products or installation instructions, visit us online at hcmuddox.com.

Offered by:



H.C. MUDDOX
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Sacramento, CA 95827
800-776-1244

INTERSTATE BRICK
9780 South 5200 West
West Jordan, UT 84088
800-233-8654

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www.interstatebrick.com

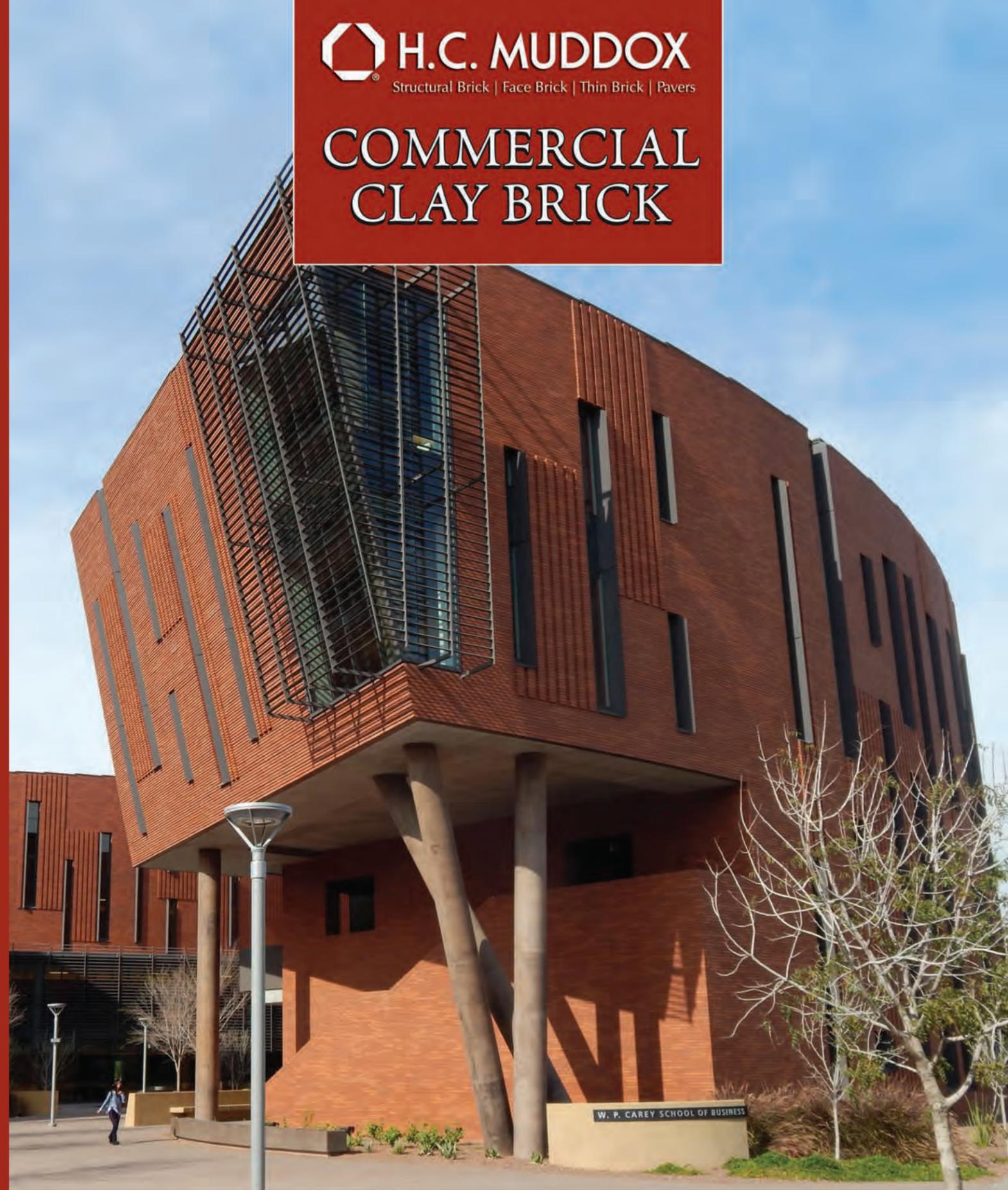


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HC002 OP 10,000 2/25/14

 **H.C. MUDDOX**
Structural Brick | Face Brick | Thin Brick | Pavers

COMMERCIAL CLAY BRICK



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Project: 7th & H Street Housing Community
 Product: Jumbo Face Brick shown in Summer Wheat and Ebony



H.C. MUDDOX OUR APPROACH

SERVICE

Our long history and reputation is the result of working hand-in-hand with our customers every step of the way. If you have a question, we can answer it. If you need help, we can provide it. We are here to ensure a seamless and professional project from start to finish.

QUALITY

H.C. Muddox brick products are manufactured to exceptional aesthetic and physical qualities to withstand the forces of nature such as freeze-thaw, wind and earthquake. Our manufacturing process and quality control methods produce a beautiful and durable brick product that will enhance the beauty and appeal of any building.

PRODUCTS

Our product offerings include structural brick, face brick, thin brick, pavers, pool copings, flue liners and a variety of special shapes. The versatility of our product line and our expertise will guide you through the process of design, selection and application.

SUSTAINABILITY

H.C. Muddox brick products promote sustainable building practices through durability, low maintenance, better air quality, thermal comfort and energy efficiency. We practice responsible sourcing and manufacturing such as local sourcing, reclamation, recycling, use of natural gas, etc. just to name a few. When building with our brick you can be assured that you build for generations to come.

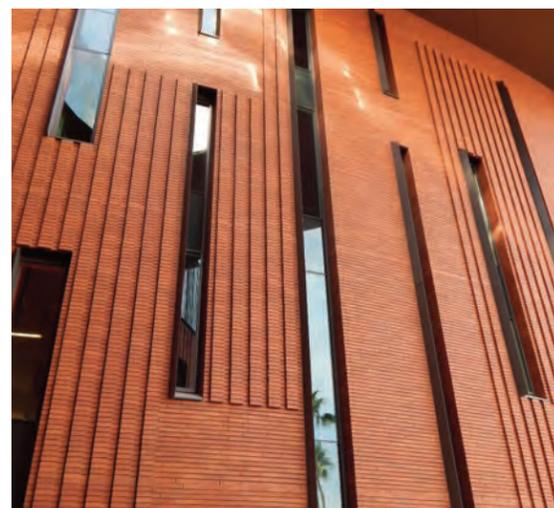
Cover Project: Arizona State University
 Product: Norman Smooth Face Brick shown in 50% Mission,
 30% California Rose and 20% Mountain Rose



Founded in 1878, H.C. Muddox has taken its vast, rich clay reserves and created some of California's most historic structures. This time-honored craftsmanship and expertise handed down from generations, combined with modern technology, has produced exceptional clay brick products that are durable, beautiful and timeless.

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ARIZONA STATE UNIVERSITY MCCORD HALL TEMPE, ARIZONA

Special shapes and large size brick from H.C. Muddox was critical to create the modern design through unique angles and curves while the color blend harmonizes the surroundings of the campus.

- PRODUCT:** 3 x 2-1/2 x 11-1/2 Norman Smooth Face Brick
- COLOR:** Blend of Mission, California Rose and Mountain Rose
- ARCHITECT:** Kohn, Pedersen, Fox Associates and RSP Architects
- LEED CERTIFICATION:** LEED New Construction Gold
- AWARDS:** 2014 Red Award For Best Public Project

UOP JOHN T. CHAMBERS TECHNOLOGY CENTER STOCKTON, CALIFORNIA

The use of H.C. Muddox brick at the University of Pacific attributes to the durability and longevity of our brick and its ability to retain the brick motif of the campus.

- PRODUCT:** 3-5/8 x 2-1/4 x 7-5/8 Modular Smooth Face Brick
- COLOR:** Blend of Mission, Old Town Red and Mission Hills
- ARCHITECT:** Perkins + Will
- LEED CERTIFICATION:** LEED New Construction Gold





**MOUNTAIN VIEW
FIRE STATION
MOUNTAIN VIEW, CALIFORNIA**

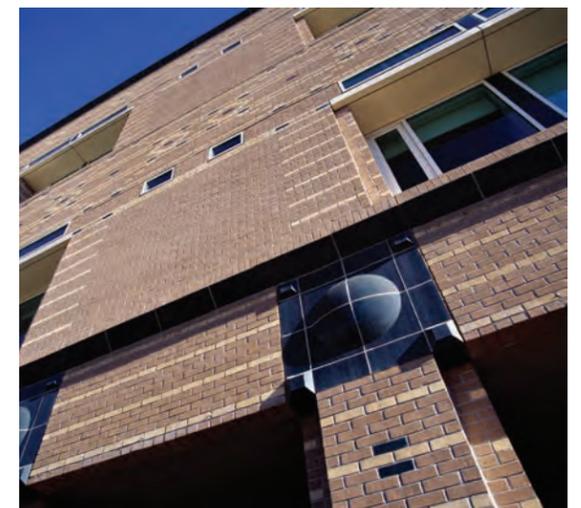
The use of H.C. Muddox brick with a tower element helped the architect to create a look traditional to fire stations and design a sustainable building, all while making the staff feel at home in this essential facility.

- PRODUCT:** 3-5/8 x 2-1/4 x 7-5/8 Modular Face Brick
- COLOR:** Blend of Old Town Red, Mission and Monterey Bay Flash
- ARCHITECT:** BSA Architects
- LEED CERTIFICATION:** LEED New Construction Gold
- AWARDS:** F.I.E.R.O Honor Award for Design Excellence

**SAN JOAQUIN
COUNTY HOSPITAL
STOCKTON, CALIFORNIA**

The earth tone colors from the H.C. Muddox color pallet harmonizes with the agricultural area where San Joaquin County Hospital is located and the brick design in argyle and accent band patterns introduce architectural distinctiveness to the building.

- PRODUCT:** 3-5/8 x 2-1/4 x 7-5/8 and 3-5/8 x 2-1/2 x 11-1/2 Face Brick
- COLOR:** Tumbleweed and Frosted Almond
- ARCHITECT:** Marraccini and Patterson





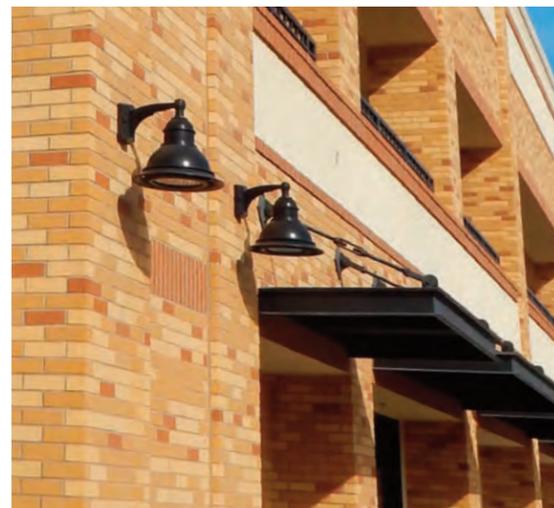
LINCOLN CROSSING LINCOLN, CALIFORNIA

Situated at the entry-way to Downtown Lincoln this mixed-use project celebrates the historic old town aspect of the city while using modern brick application with H.C. Muddox thin brick. The three color brick blend helps to attain the historic look for this urban development.

PRODUCT: 1/2 x 2-1/2 x 8 Thin Brick

COLOR: Blend of Frosted Almond, Summer Wheat and Dusty Rose

ARCHITECT: RRM design



FPO
For Placement Only

FEATURED PROJECTS

BUTTE COUNTY COURT HOUSE CHICO, CALIFORNIA

H.C. Muddox brick colors used in the new Butte County Courthouse reflects the rich and distinctive culture of Chico. Our ability to manufacture structural and face brick in the same colors was critical to the design of this modern courthouse that would make lasting contribution to this community. This building also features Terra Cotta from our sister company Gladding McBean.

PRODUCT: 3 x 2-1/2 x 11-1/2 Face Brick and 8 x 4 x 12 Structural Brick

COLOR: Frosted Almond and Mountain Rose

ARCHITECT: Tate Snyder Kinsey Architects



FPO
For Placement Only



VACAVILLE INTERMODAL TRANSIT CENTER VACAVILLE, CALIFORNIA

H.C. Muddox true pavers over a flexible sand setting bed are used for pedestrian traffic at Vacaville Intermodal Transit Facility. The paver blend offers a vibrant and timeless walking surface for transit users with minimum maintenance for many years to come.

PRODUCT: 2-1/2 x 2-1/2 x 8 Paver
COLOR: Blend of Mountain Rose, Dusty Rose and Spanish Moss
ARCHITECT: Indigo Architects and Hammond and Playa Associates

CSU CHICO CHICO, CALIFORNIA

The architect designed the Student Housing at CSU Chico with face brick for the walls and pavers for the plaza in similar color range to complement the existing buildings in the campus. The consistent and ageless colors from H.C. Muddox help to celebrate the architectural theme of the oldest California State University.

PRODUCT: 3-5/8 x 2-1/4 x 11-5/8 Face Brick and 4 x 2-1/4 x 8 True Paver
COLOR: Face Brick shown in blend of Old Town Red, Mountain Rose and Ebony. Paver shown in blend of Old Town Red and Mountain Rose.
ARCHITECT: A C Martin



FPO
For Placement Only



FPO
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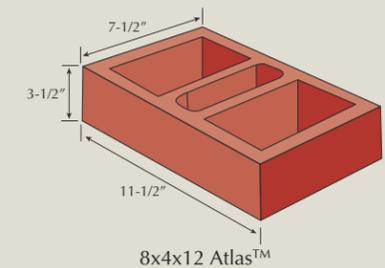
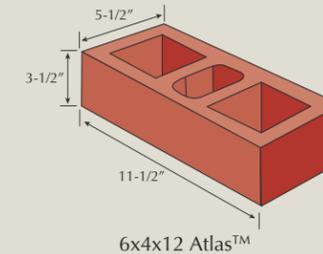
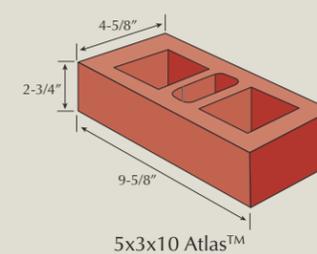
STRUCTURAL BRICK

STRUCTURAL BRICK

H.C. Muddox structural brick offer the natural aesthetics and load resisting capacities of brick walls. This brick is designed to be reinforced for excellent earthquake and wind resisting capacities and would help in achieving energy efficient buildings through thermal mass and resistance to water and air intrusion. Structural brick walls offer the highest fire ratings and sound transmission (STC) ratings along with low maintenance that is inherent to brick walls.

SPECIFICATIONS

H.C. Muddox Structural Brick meets or exceeds ASTM C-52 HBS SW or FBX.



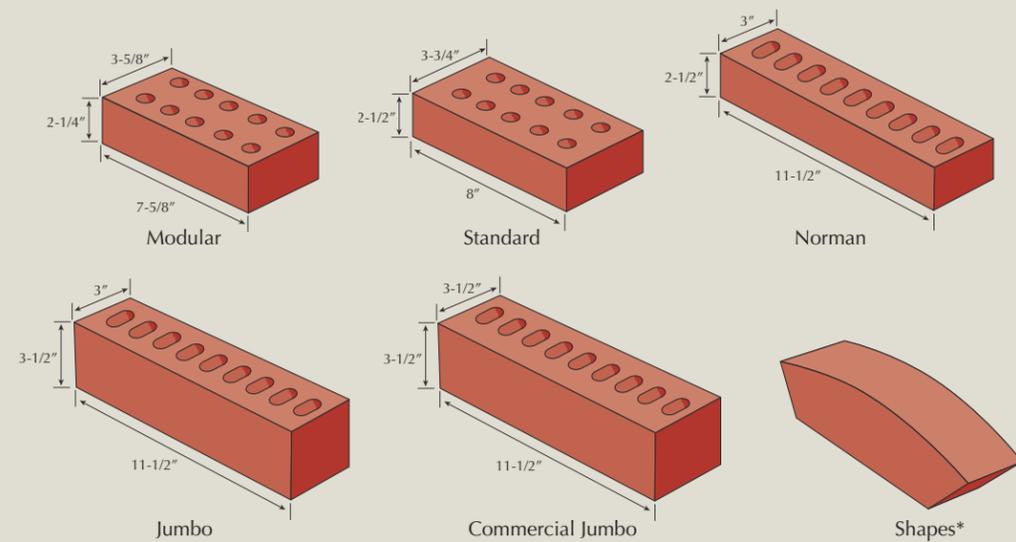


FACE BRICK

H.C. Muddox Face Brick offers a range of veneer brick options from modular to jumbo sizes in vibrant colors and textures. Buildings constructed with our face brick offer superior performance in energy efficiency, maintenance and moisture resistance. Proper design and detailing of rain screen brick veneer walls along with continuous insulation reduces thermal bridging and moisture infiltration to create long lasting energy efficient buildings.

SPECIFICATIONS

H.C. Muddox Face Brick meets or exceeds ASTM-216 FBS SW or FBX.
 *A variety of shapes are available please contact your H.C. Muddox representative.





FPO
For Placement Only



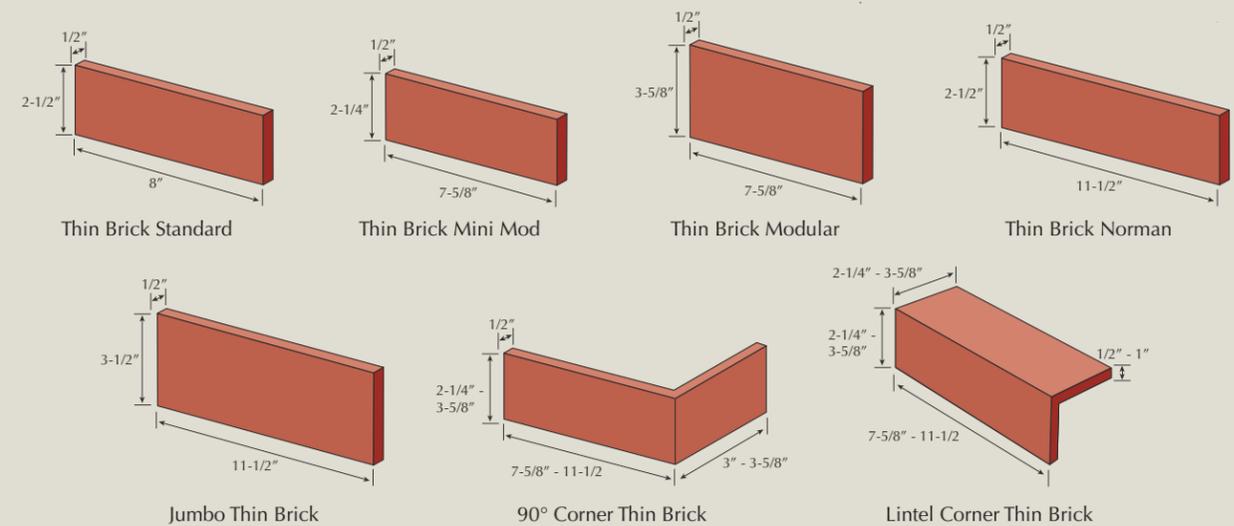
THIN BRICK

THIN BRICK

H.C. Muddox Thin Brick is a simplified and economical solution to designers and owners that want to achieve the aesthetics of brick, especially as a light weight brick option in high seismic areas. Thin brick offers qualities such as beauty, durability, and low maintenance that are inherent to the brick. Thin brick can be applied to many backup systems such as framed wall, GFRC, metal panels, CMU and concrete. Thin brick embedded in precast concrete is an effective solution for time sensitive project schedules. Thin brick is extensively used in a variety of interior applications such as stores, malls, restaurants and wine cellars.

SPECIFICATIONS

Thin brick thickness varies - 1/2" thickness for wirecut and 5/8" thickness for smooth textures.
H.C. Muddox Thin Brick meets or exceeds ASTM-C1088 Type TBS or TBX.



Project: Shops at Tralee, Dublin, CA
Product: Thin Brick shown in Folsom Gold and Monterey Bay Flashed Smooth

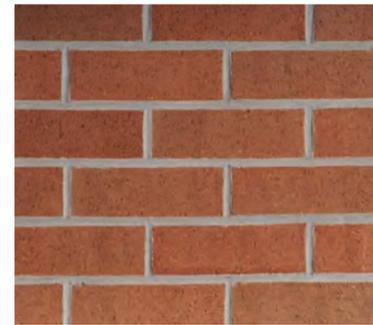
STRUCTURAL, FACE & THIN BRICK COLORS



Frosted Almond



Tule Fog



Dusty Rose



Sutter Gold



Tumbleweed



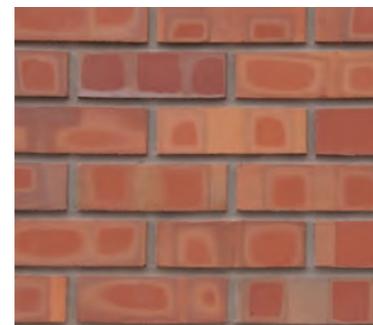
California Rose



Summer Wheat



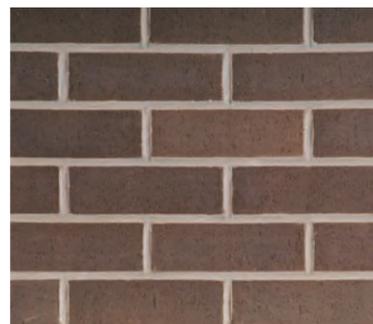
Spanish Moss



Mission Hills



Autumn Wheat

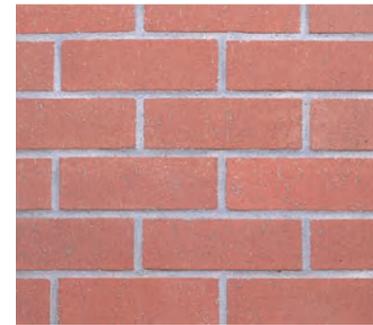


Sierra Slate

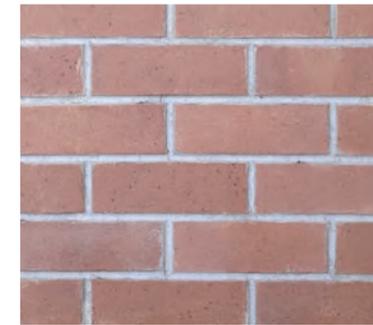


Ebony

STRUCTURAL, FACE & THIN BRICK COLORS



Mountain Rose



Bronze Ridge



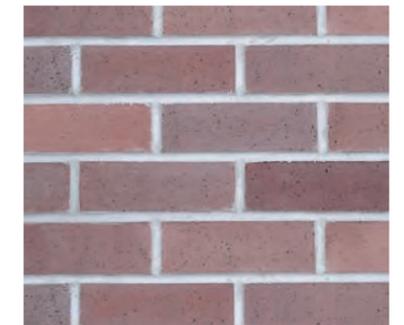
Monterey Bay Flashed



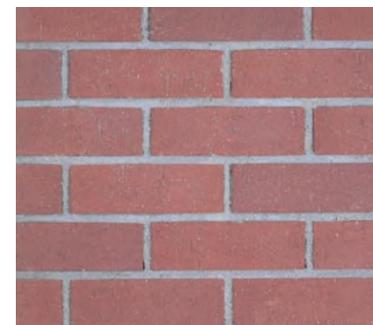
Mission Common



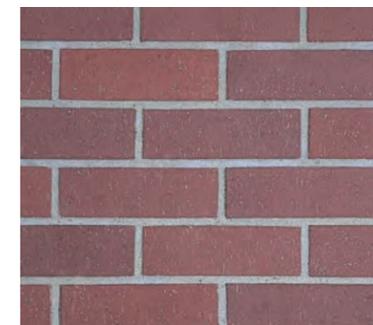
Old Sacramento Blend



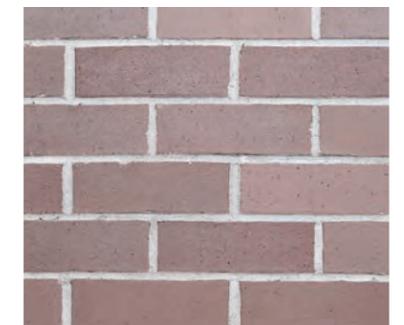
Iron Spot



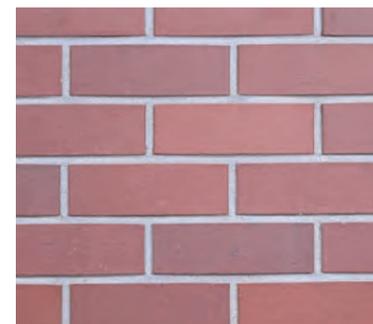
Old Town Red



Burnt Rose



Iron Mountain



Common Select



Railroad Blend



Carob

NOTE: Printed colors shown in this brochure may vary from actual product colors. We recommend selecting colors from actual product samples. Custom colors are available by special order - please contact your local dealer.

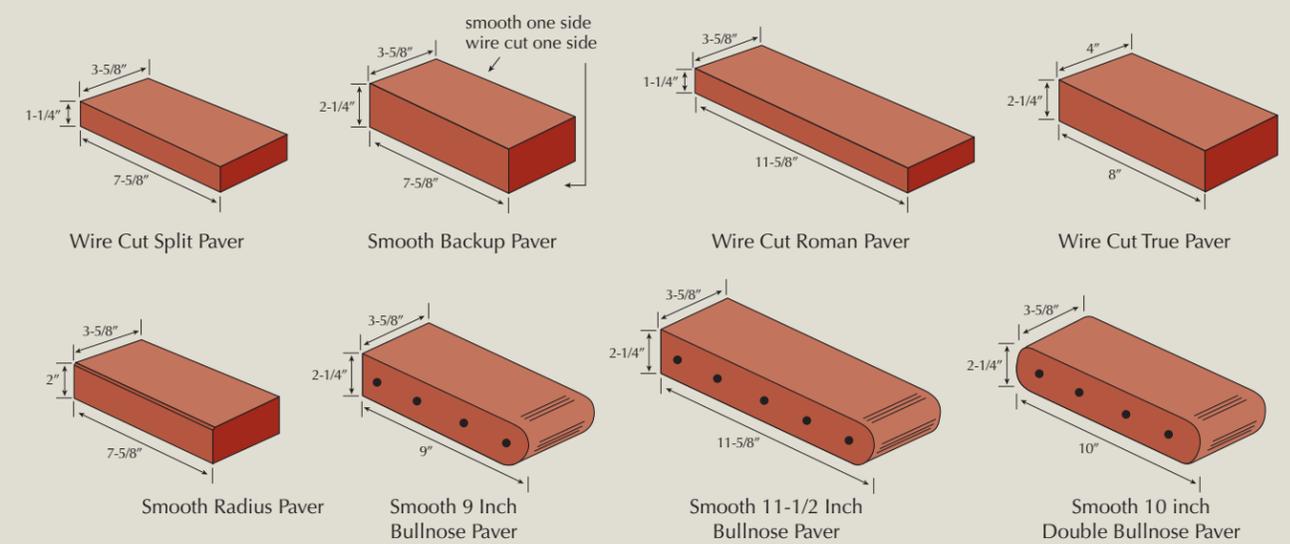


CLAY & BULLNOSE PAVERS

H.C. Muddox brick pavers offers a wide range of vibrant colors and sizes for pedestrian and vehicular traffic in both rigid and flexible base applications. No other paving material can match the durability and beauty of our pavers in driveways, patios, plazas and other landscaping applications. We offer bullnose pavers for pool edges, courtyard walls and stair treads.

SPECIFICATIONS

All of our pavers meet ASTM C902 MX Type I.



Project:
Product:

CLAY & BULLNOSE PAVER COLORS



Tumbleweed



Dusty Rose



Spanish Moss



Iron Mountain



Summer Wheat



Bronze Ridge



Carob



Ebony

CLAY & BULLNOSE PAVER COLORS



Burnt Rose



Mission



Monterey Bay Flashed



Old Town Red



Mission Antique



Mountain Rose



Placer Antique

NOTE: Printed colors shown in this brochure may vary from actual product colors. We recommend selecting colors from actual product samples. Custom colors are available by special order - please contact your local dealer.

REVEAL
Panel System™

Our fully integrated
panel system expands
MODERN MULTI-FAMILY DESIGN OPTIONS

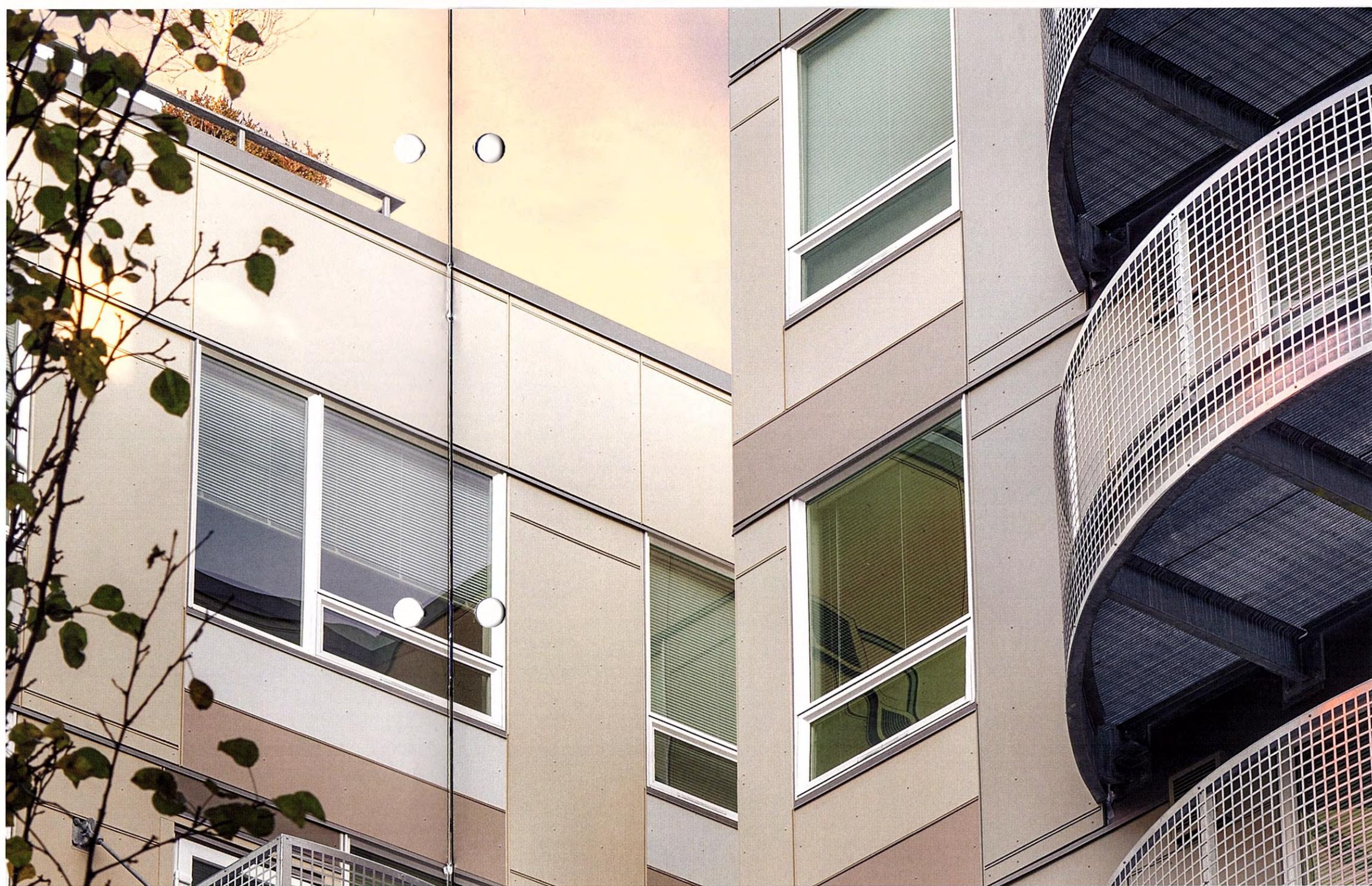


The Reveal[®] Panel System

BY JAMES HARDIE

This complete, customizable system of commercial-grade panel, trim and fastener products helps elevate the look of your modern designs.

For those who desire to build with the highest end panel systems, the more affordable Reveal[®] Panel System brings design versatility and durability to multi-family projects. Compatible components allow for a wider range of aesthetic choices than other low-cost panel options.

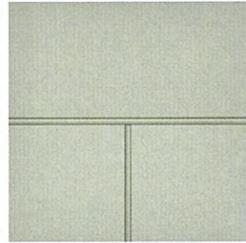


REVEAL[®] PANEL

CREATIVE FREEDOM – ANY WAY YOU CUT IT

The smooth, flat Reveal[®] Panel can be oriented vertically or horizontally for greater design versatility.

- Commercial-grade, 7/16-in. thick fiber cement panel embodies a sleek, modern aesthetic
- Standard panel size is nominal 4 ft. x 8 ft., and can be cut on-site to the size you desire
- Available primed or with factory-applied ColorPlus[®] Technology finishes

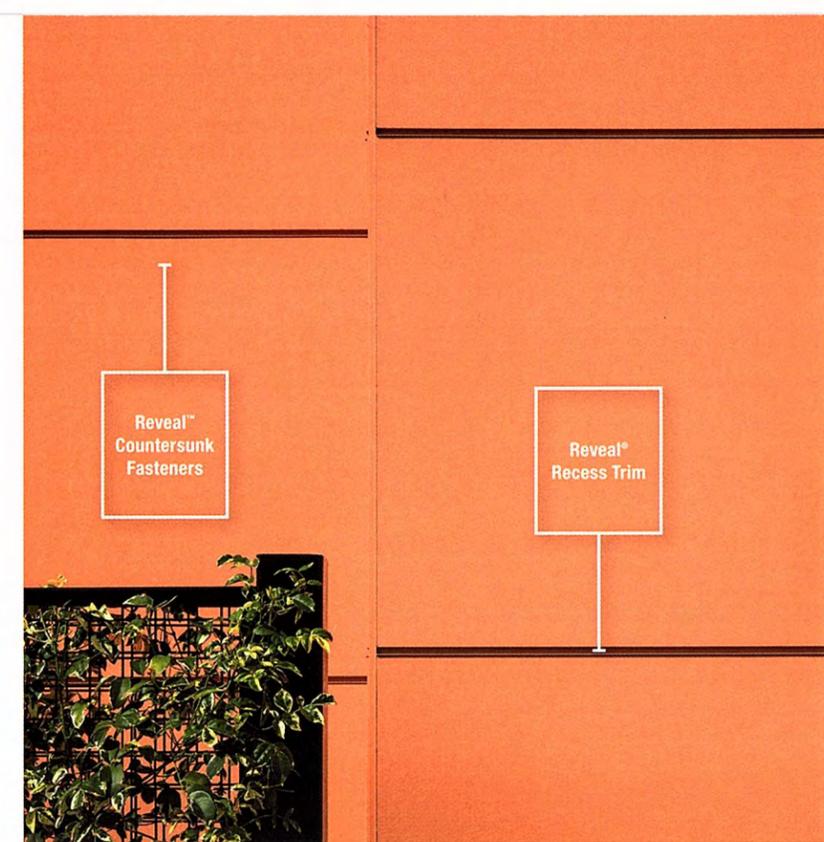


REVEAL® RECESS TRIM

Craft cleaner
facades for an

ULTRA-CONTEMPORARY AESTHETIC

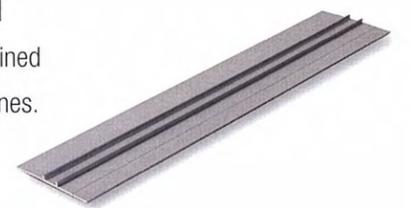
Reveal® Recess Trim streamlines your design by blending discreetly with the Reveal Panel and accentuating its smooth look. This hidden trim creates clean shadow lines for a simple aesthetic while giving a sense of lightness to modern architecture.



Fashion geometric dimensions
defined by pronounced channels

REVEAL® RECESS TRIM

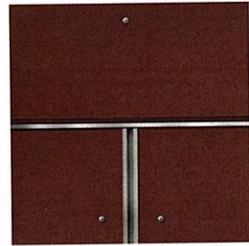
This trim creates a clean, streamlined look that features deep channel lines. Available primed.



REVEAL™ COUNTERSUNK FASTENERS

Emphasize the beauty of the smooth, flat Reveal Panel with concealed fasteners. Reveal™ Countersunk Fasteners are compatible with primed Reveal Panel.

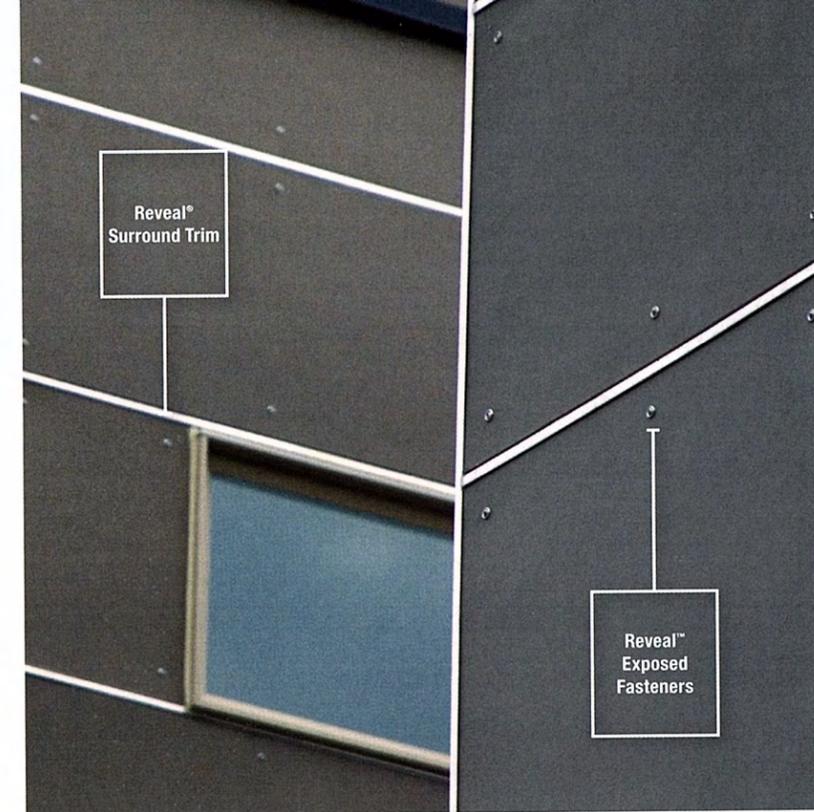
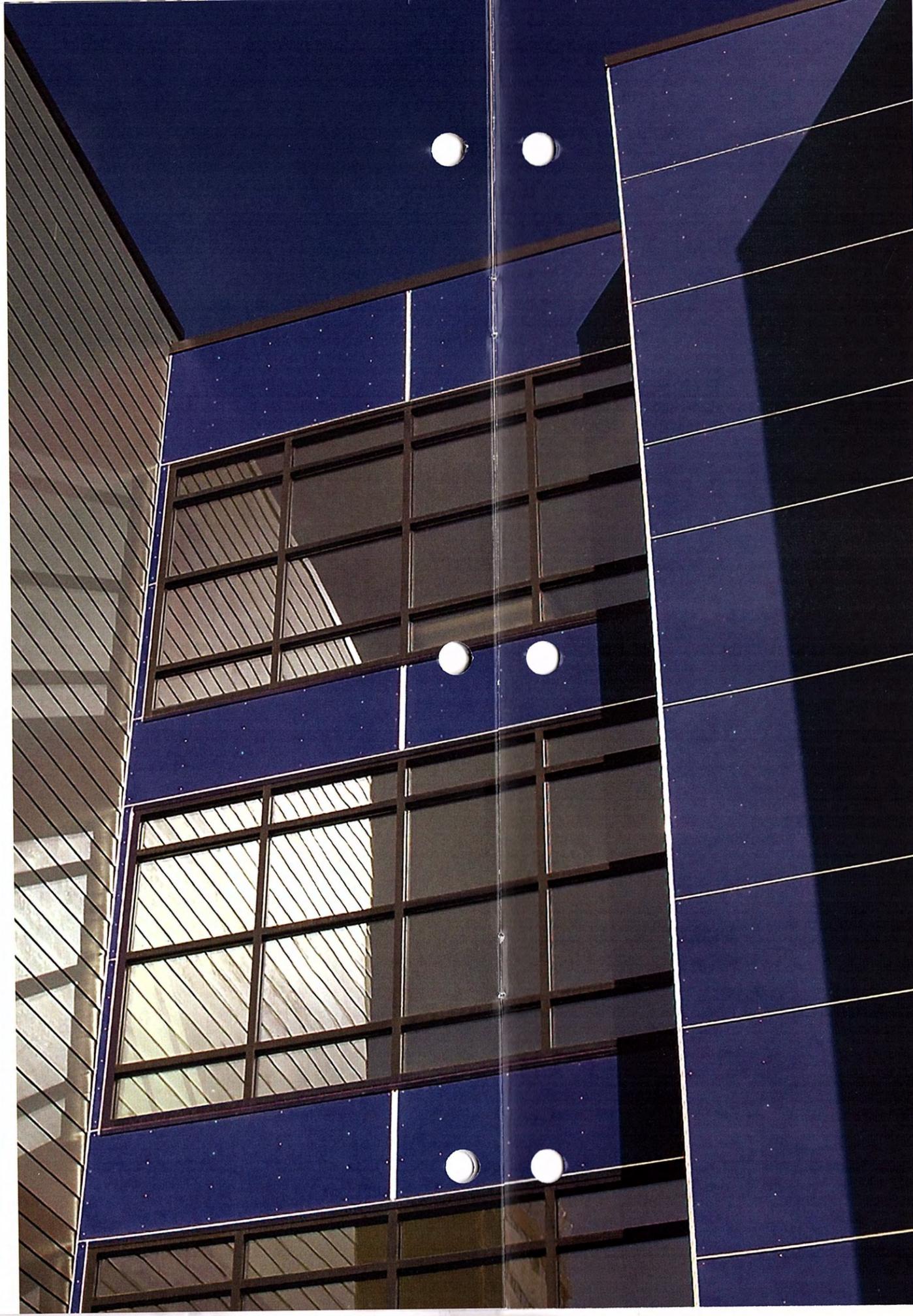




REVEAL®
SURROUND TRIM

Accentuate each edge **TO ENHANCE THE GRID**

Reveal® Surround Trim makes a dramatic statement by boldly framing the smooth Reveal Panel with a modern industrial look. The exposed trim creates a raised grid pattern that catches available light to give your design strong geometric definition.



Make a dramatic statement framed
by raised, aluminum trim

REVEAL® SURROUND TRIM

This exposed trim frames the Reveal Panel to add dimension to your design. Available primed or with a clear anodized finish.



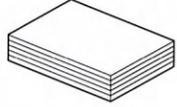
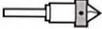
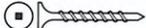
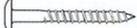
REVEAL™ EXPOSED FASTENERS

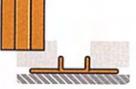
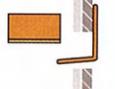
Create visual interest with texture and patterns. These durable, stainless steel fasteners add an industrial touch.

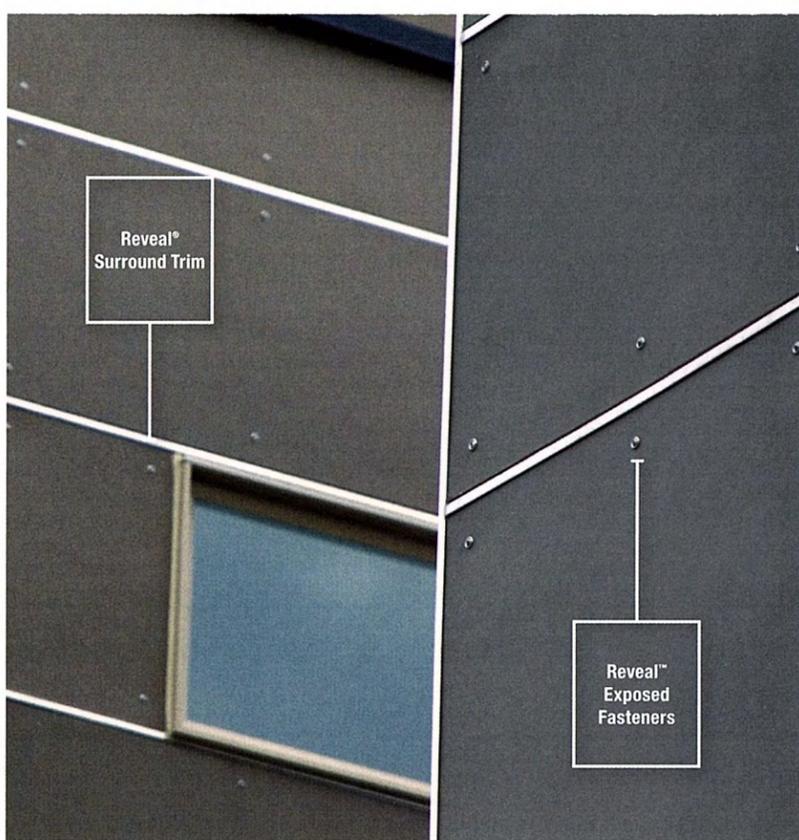


Our fully integrated panel system is customizable
TO ALLOW CREATIVITY



Reveal® Panel	
	Thickness 7/16 in. Width 47.5 in. Length 95.5 in.
Reveal™ Countersunk Fastening Products	
	Countersunk Filler Filler usage rate for countersunk fastening application, 1 box of filler per 1 pallet (40 sheets) of Reveal Panels
	Countersinking Bit Usage rate for countersunk fastening application, 1 unit per 1 pallet (40 sheets) of Reveal Panels
	Countersunk Fastener for Wood 1 5/8 in. length x 0.39 in. HD 316 SS, bugle head square drive
	Countersunk Fastener for Steel 1 5/8 in. length x 0.39 in. HD, 410 SS Bugle Head #2 Square Drive
	Exposed Fasteners for Wood 1.5 in. length x 0.189 in. x 0.472 in. HD, 10-12 SS, T20W Torx Pan Head
	Exposed Fasteners for Steel 1.125 in. length x 0.169 in. x 0.472 in. HD, T20W Torx Pan Head Self-Drilling

Reveal® Recess Trim Length 8 ft.	Reveal® Surround Trim Length 8 ft.
 Outside Corner Trim	 Horizontal Trim
 Horizontal Trim	 Horizontal Trim with Termination Notch
 Vertical Trim	 Vertical Trim
 Drainage Flashing Trim	 Outside Corner Trim
 Horizontal Edge Trim	 Inside Corner Trim
 Vertical F Trim	 J Channel Trim
	 Drainage Flashing Trim



Make a dramatic statement framed by raised, aluminum trim

REVEAL® SURROUND TRIM

This exposed trim frames the Reveal Panel to add dimension to your design. Available primed or with a clear anodized finish.



REVEAL™ EXPOSED FASTENERS

Create visual interest with texture and patterns. These durable, stainless steel fasteners add an industrial touch.



Beauty meets brilliance

- Select from up to 24 ColorPlus Technology finishes ranging from deep hues to earth tones to classic shades of gray
- Multi-coat, baked-on finish delivers exceptional color consistency, color retention and UV resistance
- ColorPlus panels arrive on your job site ready for year-round installation
- 15-year ColorPlus limited finish warranty from a single, trusted manufacturer

Rock-solid reliability

- Proven performance you've come to expect from James Hardie® fiber cement products
- Engineered for Climate® to help protect the beauty of your buildings despite what nature brings
- Complete panel system helps ensure you get the right products in the right quantity at the right time
- Detailed installation guides and support from James Hardie Installation Specialists to maximize efficiency
- 30-year non-prorated, limited siding warranty

Learn more about our modern design possibilities.
Visit jameshardiepros.com

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