

WEST POINTE APARTMENTS

INFILL INCENTIVE DISTRICT SUBMITTAL PACKAGE FOR:

10 E. BROADWAY BLVD
TUCSON ARIZONA 85701

JANUARY 10, 2016

OWNER:
COPE PROPERTIES LLC

PARTNERS WITH:
LA FRONTERA ARIZONA

PREPARED BY:
CARHUFF & CUEVA ARCHITECTS



carhuff+cueva
architects, llc

Grenier
Engineering, Inc.



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WEST POINTE APARTMENTS

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WEST POINTE APARTMENTS IID APPLICATION



Zoning Administration

APPLICATION

Case Number _____

Date Accepted: _____

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): West Pointe Apartments

Property Address: 10 E. Broadway Blvd.

Applicable Area/Neighborhood/Overlay: ARMORY PARK / DOWNTOWN CORE

Zoning: OCR-2

Legal Description: TUCSON LOT 3 BLK 216

Pima County Tax Parcel Number/s: 117-13-0390

Site and Building Area (sq ft): 16,375 GSF / 55,024 GSF (EXIST.) / 16,375 GSF / 91,394 GSF (PROPOSED)

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Philip Carhuff

ADDRESS: 3149 E. Prince Rd. Tucson AZ 85716

PHONE: (520) 577-4560

FAX: (520) 577-4599

EMAIL: pcarhuff@cca-az.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Cope Properties LLC (yes) ROD COOK

PHONE: (520) 792-3293

FAX: (520) 792-4336

PROJECT TYPE (check all that apply):

New building on vacant land

Change of use to existing building

New building on developed land

New addition to existing building

Other

Related Permitted Activity Number(s): DP15-0208

DESCRIPTION OF USE: Addition of Mixed Use Commercial / Residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT

Date



WEST POINTE APARTMENTS

OWNER AUTHORIZATION



January 18, 2016

Carolyn Laurie, Principal Planner, IID Coordinator
City of Tucson Development Services Department
201 N. Stone Avenue
Tucson, AZ 85701

RE: Letter of Authorization to make project submittals to the Infill Incentive District (IID) in the City of Tucson for 10 E. Broadway Blvd.

Dear Carolyn:

1. This affidavit concerns the following parcel of land:
 - a. Street Address: 10 E. Broadway Blvd.
 - b. County Tax Assessor's Parcel Number: 117-13-0390
 - c. General Location: SEC of E. Broadway Blvd. and Stone Avenue
 - d. Parcel Size: 16,375 s.f.

2. I (we) am (are) the owner(s) of the land or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this authorization on the owner's behalf.

3. Carhuff and Cueva Architects, LLC and their engineering consultants have the authority from the owner(s) to act for the owner(s) before the City of Tucson with regard to any and all Development Package reviews, IID applications, historical reviews, zoning amendments, general plan amendments, development variances, easements, abandonments, plats, lot splits, lot ties, use permits, building permits and other land use regulatory or related matters of every description involving the land, or involving adjacent or nearby lands in which the owner has (or may acquire) an interest, and all applications, dedications, payments, assurances, decisions, agreements, legal documents, commitments, waivers and other matters relating to any of them.

4. The City of Tucson is authorized to rely on my (our) authority as described in this authorization until three working days after the day the owner(s) deliver to the Director of the City of Tucson Planning & Development Services Department a written statement revoking my(our) authority.

5. I (we) will immediately deliver to the Director of the City of Tucson Planning & Development Services Department written notice of any change in the ownership of the land or in my (our) authority to act for the owner(s).

WEST POINTE APARTMENTS

OWNER AUTHORIZATION



6. If more than one person signs this authorization, each of them, acting alone, shall have the authority described in this authorization, and each of them warrant to the City of Tucson the authority of the others.

Person/Entity given authority to act on behalf of the Owner(s) in all official matters relating to property development applications and reviews:

Philip A. Carhuff, Architect of Record, Carhuff and Cueva Architects, LLC

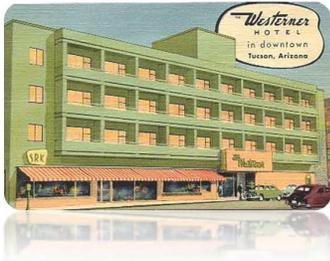
Owners:

Westerner Printed Name by Susan Ong, Agent Signature 1-19-16 Date

Lansy Code Corp Printed Name [Signature] Signature 1/19/16 Date



WEST POINTE APARTMENTS NEIGHBORHOOD MEETING FLYER



NOTICE OF INFILL INCENTIVE DISTRICT (IID) NEIGHBORHOOD MEETING

Date: Wednesday February 10th, 2016.

Time: 6:00 pm

Location: 82 S. Stone Avenue Tucson AZ 85701 (1st floor Conference Room)

IID Proposal: Renovation and Redevelopment of southeast corner of Stone Ave and Broadway Blvd

You are invited to attend a presentation of the proposed renovation and redevelopment of the Historic Westerner at 10 E. Broadway Blvd. The IID proposal includes an interior and exterior renovation of the existing 4 story office building that fronts Stone Ave. and the addition of a 5 story residential addition on top of the existing single story East portion of the building. There will be 50 residential units that will be tailored for low-income Elderly people with a preference for Veterans. There is a large interior courtyard that brings additional natural daylight and natural ventilation. The street level will include all the necessary services for the tenants as well as being open to the public. There will also be approximately 2,725 square feet of rentable space on the 1st floor street front for office functions or public gatherings. The exterior of the existing building will be patched and repainted in keeping with the historic style of Mid-century Bauhaus Modernism. The proposed addition will have various colors of modern synthetic stucco and horizontal metal paneling to differentiate the new building from the historic building. The design will also keep within the current standards of the downtown Tucson architecture and streetscape. We are hoping to reinvigorate this corner and bring it back to life with your help.

By utilizing the IID option, we are requesting the following Unified Development Code (UDC) modifications: 1) Relief from MS & R setbacks. 2) Relief from minimum perimeter yard standards. 3) Relief from motor vehicle and bicycle parking standards. 4) Relief from off-street loading standards. 5) Relief from landscaping and screening standards.

Your comments and/or questions are welcomed during and after the brief overview of the project. You may also submit comments to the Planning and Development Services Director at the City of Tucson. We are also looking to identify the Neighborhood Liaison for Armory Park during this meeting.

For additional information please contact Philip Carhuff at (520) 577-4560.

Thank you and we look forward to seeing and hearing from you at the meeting.



WEST POINTE APARTMENTS



carhuff+cueva
architects, llc

Grenier
Engineering, Inc.



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MEETING LOCATION
82 S. STONE AVENUE

PROJECT LOCATION
10 E. BROADWAY BLVD



Proposed Rendering of 10 E. Broadway Blvd:

WEST POINTE APARTMENTS

MEETING Q & A

Neighborhood Meeting Summary for 10 E. Broadway Blvd: 2/10/16 6:00pm

Re: The former Westerner Hotel rehabilitation and 6-story apartment addition. Architect Philip Carhuff opened the meeting by introducing himself along with owner/developer Cope Community services representative Jason Hisey, Project Manager Vance Goodman, historic preservation architectural consultant Don Ryden and Civil Engineer for the project Richard Macias. Phil walked the neighbors through the whole design process using (7) 24"x36" boards which included the old renderings, the new renderings, color elevations and all the floor plans. He first discussed the changes and modifications that have been made since the last neighborhood meeting on December 29, 2015. These enhanced architectural upgrades are in direct response from IID, City, historic consultant and the previous neighborhood meeting comments. Phil then explained that there will be 50 1 bedroom residential units on the upper 5 floors of the east building. These will be low income housing units for elderly persons with a preference for veterans. The upper 3 floors of the west portion of the building will be used for Cope's administrative offices. Most of the ground floor and basement will be used for direct services for the tenants as prescribed by the 2016 Qualified Allocation Plan(Q.A.P.). This includes Service coordinators, Wellness recreation centers, classrooms for various learning activities and a food pantry among others.

Phil then gave a broad overview of the proposed design. He then gave the floor to architect Don Ryden and explained that he is the architectural historian for this project especially since he wrote the eligibility requirements for the Downtown historic District. Don then explained the National registration process and eligibility requirements for this district and how he was part of the process in creating them. He first shared that this project is definitely a contributor to the Downtown historic district but is not eligible for individual listing. He explained in detail about the significance of Tucson and why the Westerner is a crucial piece of its history. He explained that this was built in response to the automobile boom and it was on the State 80 highway (Stone Ave) which was the main strip through downtown before I-10 was constructed. Since the bypass, the Westerner hotel faded until 1979 when it was renovated as office space. He explained the 1-story east portion of the building had lost its integrity due to the fact that the pool that was added to it in 1960 destroyed any resemblance of the original building. The red brick was added in 1979 to fit into the downtown fabric (matching the Chase bank building) and described through the lens of the Secretary of Interior Standards that the brick is neutral and neither should be preserved or removed. He spoke about the State Historic Preservation office's questions regarding the proposed addition. He expressed that SHPO stated the changes would have no adverse effect on the current listing for registry and held up SHPO's signed concurrence letter dated February 8th 2016.

WEST POINTE APARTMENTS

MEETING Q & A

Jason Hisey then described the funding sources. The tax credit being offered for low-income housing and Cope Community services as the owner and non-profit La Frontera as the co-developer.

After the brief presentation, the floor was then opened to questions, concerns and comments. The questions are as follows in no particular order:

Meeting's Question and Answers portion:

1. Question: Please explain the street level activities, uses and services?

Response: The services for most of the street level are direct services linked to the new building owner. Per the Qualified Allocation Plan, there must be certain services provided to the apartment tenants. These spaces include, but are not limited to Service coordinators, Wellness recreation centers, classrooms for various learning activities and a food pantry among others.

2. Question: How are you dealing with having no parking available for the tenants and employees?

Response: By submitting through the IID Zoning process, the parking requirement can be reduced and/or waived if shown alternative means of transportation and/or parking will be provided for the tenants and employees. We have created a map of the surrounding area that shows all the vehicle parking within a 5-minute walking distance. The owner will form a contract with Park Tucson to formally appropriate vehicle parking for the users. There is an abundance of parking lots and garages nearby. One of the goals of the IID is to encourage alternative modes of transportation. There are many public bus stops nearby as well as the modern street car stop directly in front of the main entrance door. This will encourage the employees and tenants to use these modes to help eliminate the use of the automobile. We will not be seeking relief from the bicycle parking requirement due to the fact that we will be strongly encouraging the use of bicycles as their means of transportation.

3. Question: How will you control people (especially males) smoking on the sidewalk outside of the building?

Response: The site has been designated a no-smoking site. It would be very hard and possibly illegal to tell people that they cannot smoke off-site or on public property. This comment was in response to people (especially males) smoking at late hours around the completed building across the street.

WEST POINTE APARTMENTS

MEETING Q & A

4. Question: Why did a number of neighbors not get the meeting notification?

Response: The City creates the addressing labels and we simply use the labels given to us to mail the notifications out. Steve Kozachik: That is a City formality; "These guys are just the stamp lickens."

5. Question: Why is the glass block different from the old rendering to the new rendering?

Response: Before we hired a preservation consultant, we planned on removing the glass block due to its inefficiency and containment of asbestos. The preservation consultant implied that removing the historic glass block could potentially de-list or cause an adverse effect to the Westerner, so we put it back into our current design.

6. Question: Why did the color scheme change from the green color, the original color of the hotel?

Response: We explained that the preservation consultant implied that the color scheme is not an essential piece to preserving this structure. The color was altered to be a better fit for the surrounding desert and Tucson landscape. This new color scheme is not necessarily the final scheme. We are open to new color palettes. Don Ryden (Preservation consultant) explained that this project is categorized as a preservation to the building and not a restoration. A restoration would imply original color scheme.

7. Question: Why if you are going through the IID zoning process is there not street level retail to activate the street?

Response: We responded that we have carved out 2,700 square feet of rentable commercial space for public gatherings and conferences. The downtown is severely lacking in this type of venue. This does fall under the category of activating the street level outside of normal business hours. We had a local real estate professional direct us away from retail and/or restaurant use because the downtown cannot currently sustain it.

8. Statement: "In order to create a vibrant downtown, Broadway must be activated with street level retail."

Response: There is adequate space in the basement for moving around supportive services so Cope will consider the idea of adding a retail style tenant space at street level. However, they reserve the right to use ground floor space as they need it.

9. Statement: (second time) “Contrary to what a local real estate professional may say, retail or a barber shop or something similar is viable in Tucson.”

Response: There is adequate space in the basement for moving around supportive services so Cope will consider the idea of adding a retail style tenant space at street level. However, they reserve the right to use ground floor space as they need it.

10. Multiple statements regarding the type of people Cope Services treats. We set the record straight and explained that this Cope facility will be purely administrative and there will be no methadone clinic or any other substance abuse clinic at this facility.

11. Question: Can you give us some kind of written commitment to putting retail on the street level?

Response: Steve Kozachik: There is no method to insure that this building requires retail at the ground floor. The owner reserves their right to use the ground floor space as they need it.

12. Question: What was the State Historic Preservation offices feedback on the design?

Response: After hiring the preservation consultant and applying the new found knowledge of preservation, the SHPO breathed a sigh of relief and was very pleased with the changes. They gave us a concurrence letter dated February 8th, 2016 that states that there our proposed design will have no adverse effect or removal of eligibility to the historic preservation listing.

13. Question: How are you dealing with the east facing windows when a possible future building will be built directly adjacent and covering them up?

Response: The proposed east facing windows are purely for aesthetic purposes and do not eliminate the egress requirements. There will bring extra light to the corridors and the units. Essentially, we are getting more light while we can.

14. Statement: The IID encourages retail at the street level.

Response: While the IID zoning might encourage retail, it does not require it. The requirement is to have 24 hour street level activity. We believe our current design achieves the intention. See previous responses.

15. Statement: "I would not want to live in any of these 50 small dark dingy ugly boxes."

Response: These are actually well lit spaces with natural light in every living space. There are even clerestory windows added in between the bedrooms and the living areas to bring in natural light. We had around 8,000 SF per floor to fit in (10) 540 SF 1 bedroom units including egress hallways and stairs. We believe we have done a great job in our layout and maximizing the space given to us. We have also placed windows in direct sight lines from the entry door to give off the impression of a far larger space upon entering.

16. Question: How are you handling the windows that abut against the adjacent parcel.

Response: Per building code, the windows will most likely be fire rated.

17. Question: Why are you not using the Historic tax credit for this project?

Response: We are not currently seeking to utilize the Historic tax credit for this project because of timing. The process could take up to 1 year and we don't have that amount of time. The funding currently in place is sufficient for the project.

18. How are you complying with IID Open Space requirement?

Response: We are seeking relief from the Open space requirement through the IID zoning process. There currently is some open space (170 SF) allocated at the main entry of the new addition, (615 SF) of open space at the Broadway / Stone corner and a large 20'-0" by 46'-0" (815 square feet) open air courtyard located between the two residential towers. Update: We are proposing to add a rooftop green garden to facilitate the tenants and the public. The rooftop garden is approximately 2,000 SF.

The meeting adjourned with attendees satisfied with our answers except how the neighbors were notified. Some of these questions or statements were informally discussed after the meeting adjourned.

End of neighborhood meeting summary.

WEST POINTE APARTMENTS MAILING CERTIFICATION



CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on 01/26/16,
(date of mailing)

for the neighborhood meeting to be held on 02/10/16.
(date of neighborhood meeting)

[Signature]
(signature of applicant/applicant's agent)

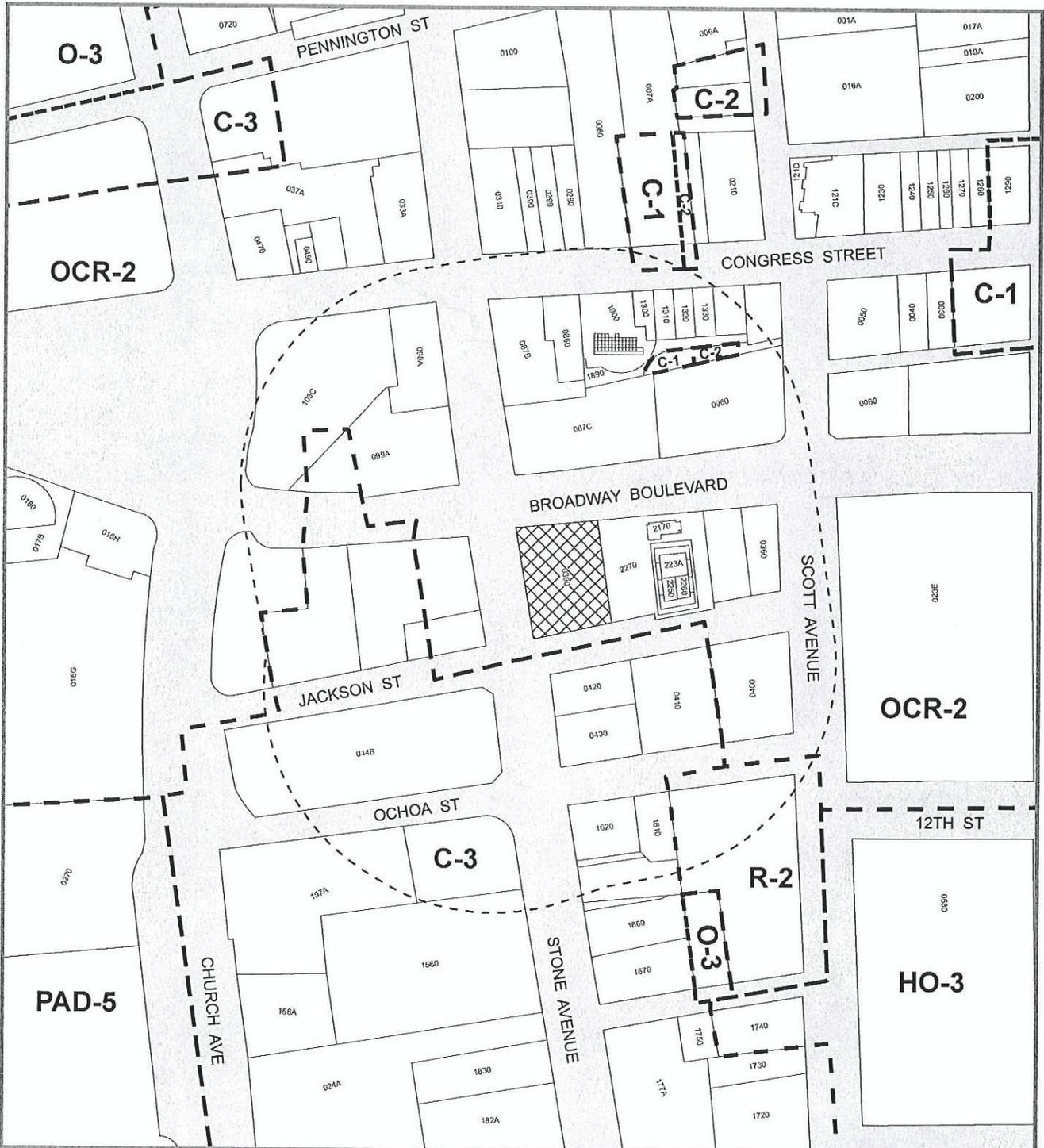
01/26/16
(date signed)

Documentation if available (such as receipt)



WEST POINTE APARTMENTS MAILING 300' RADIUS

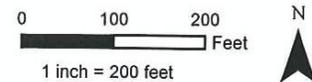
T15PRE0098



-  Site
-  300' Notification Area
-  Zone Boundaries



Address: 10 E. Broadway Boulevard
Base Maps: Sec.13 T.14 R.13
Ward: 6



created by: JR, 12/7/2015



WEST POINTE APARTMENTS

REQUEST FOR MAILING LABELS

DEC 4 2015 AM 10:39

REQUEST FOR MAILING LABELS

Project Address 10 E. BROADWAY BLVD.
(Note: if this is a new address, please provide verification from Pima County Addressing)
Applicant/Agent Name RICHARD MALIAS GRENIER ENGINEERING
Mailing Address 5524 E. 4TH ST., TULSON, AZ 85711
Phone 520-326-7082
Applicant/Agent Signature [Signature] Date 12/1/15

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information will not be accepted.

- Assessor's Property Inquiry Printout (APIQ) (one printout for each lot comprising the project site) Assessor's Block & Lot Map

THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- | | |
|--|--|
| <input type="checkbox"/> Environment Resource Zone | <input type="checkbox"/> WASH Ordinance |
| <input type="checkbox"/> Hillside Development Zone | <input type="checkbox"/> Scenic Corridor Zone |
| <input type="checkbox"/> Design Development Option | <input type="checkbox"/> Board of Adjustment |
| <input type="checkbox"/> Design Development Option (Full Notice) | <input checked="" type="checkbox"/> Other: <u>IID OVERLAY ZONE</u> |
| <input type="checkbox"/> Rezoning/SE | <u>300' Notice</u> |

PROCESSING FEE

- \$220.00 Check Number: 1716 Cash
 Charge Account: _____

Date Received: 12-1-2015 Date Due: 12-4-2015

Requested By: _____ Due To: _____

Request to: JR _____ SM _____ Other _____

Comments/Special Notes: _____

ACTIVITY NUMBER: T15PRE0098



WEST POINTE APARTMENTS

PROJECT STATEMENT

With renewed interest in the Downtown Core of Tucson, the redevelopment of the Westerner Building located at the Southeast corner of Stone Avenue and Broadway Boulevard has become a great opportunity to contribute to new Tucson growth. The commercial and entertainment sectors of the downtown core have increased considerably and the need for a variety of housing options is in high demand. Cope Community Services is proposing to renovate the existing West 4 story portion of the building, which is currently office space, both interior and exterior. When completed the building will have a mixed use of office on the upper floors and over 3,000 square feet of rentable commercial space at the street level to maintain street level activity long after regular business hours. This is a direct response to one of the IID's goals of having 24 hour street level activity. On the exterior, CCA is proposing to maintain and update the facade to reflect modern materials, but at the same time pay homage to the historic style of Bauhaus and Mid 20th century Modernism as the building was originally intended.

La Frontera Arizona will be a co-developer of the East portion of the existing building. It is currently a single story structure with a small 2nd story addition. We are proposing to demolish those Eastern portions as they have been deemed as "noncontributing to it's historic preservation due to loss of integrity from years of renovation" by the State Historic Preservation Office. In its place, CCA is proposing to construct a new 6 story mixed use structure. This project is a LIHTC project which means the building must provide certain services direct to the tenants as well as to the public. The ground level will include a Community center with spaces that provide those direct services to the tenants. The spaces will include but not limited to a Recreation and Wellness center (which includes a gym), a classroom for monthly educational seminars, a food pantry, and supportive service offices. The 2nd through 6th levels will have fifty units of low income housing for the elderly with a preference for veterans. Each level will include 10 residential units with a large interior courtyard for fresh air and introduction of natural light not only to the residences but also to the supportive services spaces below.

A rooftop terrace is being proposed on the proposed rooftop of the new 6-story building as an amenity for the building's office and residential tenants. This rooftop terrace will be approximately 2,000 square feet. It will include but is not limited to a living green wall, fire pit, drought tolerant trees and shrubs and a variety of seating areas all constructed on raised pavers and/or Trex decking to allow for water penetration and proper rain water shedding.

With increased employment opportunities in the downtown area, this type of mixed use development is greatly needed and in high demand. This corner is within walking distance to many fine establishments and offices. As an added convenience, a modern street car stop is directly located out the front door.

WEST POINTE APARTMENTS

PROJECT STATEMENT

As demonstrated in the proposed rendering and original hotel postcard, CCA is proposing to utilize the same scale and proportions of the historic building and its facades. We are keeping the same 1930'-1940's Bauhaus Modernism aesthetic but bringing it into this century with modern materials and methods of construction. We are maintaining the projecting balconies that overlook our busy Stone Avenue and preserving the overall aesthetic that the Westerner has always had. This proposal understands the balance between respecting the similar developments in the area while progressing as a City.

As this location is a part of the Infill Incentive District Overlay, comments and questions are welcomed as part of the Design Review Committee process. This project is committed to bringing long-term value to downtown Tucson, and we at CCA, La Frontera Arizona and Cope look forward to a positive and transparent review process. We are also dedicated to preserving the aesthetics that Tucson has always had and what it has grown into with our proposed design.



WEST POINTE APARTMENTS

UDC REVIEW COMMENTS

Plan Review and Permit Application Results

Page 1 of 8

Planning & Development Services Department

PRO - Property Research Online

Plan Review Detail Results

Permit Status: PLAN RFC **Activity Number:** DP15-0208
Permit Type: ADDING ADDITIONAL FLOORS TO EXISTING BUILDING, POSSIBLE TI
Site Address: 10 E BROADWAY BL **Applicant Name and Address:**
 RICHARD MACIAS
 5524 E 4TH ST
 TUCSON AZ
 85711

Review Completed	Reviewer's Name	Type of Review	Review Status
12/03/2015	FDILLON1	REVIEW	Plan requires change prior to approval
Comments: Requires Rio Nuevo Area or IID Review. FD			
12/03/2015	EGALLET1	PLANS SUBMITTED	This has been completed
Comments: none			
12/08/2015	KBROUIL1	FIRE	Approved
Comments: none			
12/21/2015	PAUL BAUGHMAN	ENGINEERING	Plan requires change prior to approval
Comments: DATE: December 22, 2015 DUE DATE: December 29, 2015 SUBJECT: Add Floors TO: Richard Macias, PE LOCATION: 10 E Broadway Blvd REVIEWERS: Paul Baughman, PE, CFM ACTIVITY: DP15-0208 SUMMARY: Engineering Division of Planning and Development Services Department has received and reviewed the proposed Development Plan Package. The following items need to be addressed: 1) Per AM 2-06.4.3 please show the relevant case number DP15-208 on the plans set. 2) General note 37 refers to a geotechnical report. Please submit this report for review to cover such things as compaction under sidewalk to be replaced and compressive strength of concrete requirements. 3) General note 38 refers to SWPPP. Please provide a copy of this plan for review with the next submittal. 4) Keynote 19 on sheet 4 refers to a "Turning vehicles yield to pedestrians" sign that is to remain. This sign is actually located across the street from where it is called out. The "right turn only" and "one way" signs are located as per the keynote 19 callout. 5) Keynotes 25 and 30 refer to a hardscape plan. This plan should be provided for review and pertinent details included in the civil plans set. Please specify which sheet these plans are located on. 6) Per TSM 7-01.3.3B please show the accessible route, on sheet 4 between the new trash and recycle APC storage location as called out by keynote 32 and the trash APC pick up location in keynote 31. Please note that keynote 31 has a typo where the APC is referred to as ACP. Please correct. 7) There is concern that the 4.4 foot wide pedestrian access between the eastern most existing raised brick planter, as called out by keynote 13 on sheet 4, may not be sufficient to transport the 4 cubic yard waste container between its storage and pick up location. 8) Sheet 5 is calling out several existing roof drains to remain. However, there appears to be an existing roof drain on the east side of the new curb access ramp (see keynote 4 on sheet 4) that is not identified or notated as to whether it is to remain. Please clarify. 9) Sheet 7 includes a "points and point tables to be provided at final submittal" notation.			

WEST POINTE APARTMENTS

UDC REVIEW COMMENTS

Plan Review and Permit Application Results

Page 2 of 8

Please provide these tables.
If you have any comments questions or wish to discuss new information, please call
or email me at 520-837-5007 or paul.baughman@tucsonaz.gov.

12/21/2015 ROBERT SHERRY PLUMBING-COMMERCIAL Plan requires change prior to approval

Comments:

Revise the site drawing to include the points of connection to the existing public sewer.
Provide the rim elevation of the next upstream sanitary manhole and determine the need for a backwater valve per Section 715.1, IPC 2012, as amended by the City of Tucson.

12/23/2015 BVIESTE1 ADDRESSING Plan requires change prior to approval

Comments:

See additional documents in PRO.

12/28/2015 DAVID RIVERA ZONING Plan requires change prior to approval

Comments:

CDRC TRANSMITTAL

TO: Development Services Department
Plans Coordination Office

FROM: David Rivera
Principal Planner

PROJECT: DP15-0208
Address: 10 E. Broadway
Development Package: DP15-0208 - Multi-use development

TRANSMITTAL DATE: December 28, 2015

DUE DATE: December 29, 2015

COMMENTS: Please resubmit revised drawings along a response letter, which states how all Zoning Review Section comments regarding the Land Use Code and Development Standards were addressed.

This plan has been reviewed for compliance with the Development Package Standards listed in section 2-06 of the City of Tucson Administrative Manual. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC).

Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is December 1, 2016.

2-06.3.0 FORMAT REQUIREMENTS

2-06.4.0 CONTENT REQUIREMENTS

2-06.4.1 - The name, mailing and email addresses, and phone number of the primary property owner of the site, the developer of the project, registrant(s), and other person(s), firm(s), or organization(s) that prepared the development package documents shall be provided on the right half of the cover sheet. The applicable registration or license number shall be provided if prepared by or with the assistance of a registered professional, such as a surveyor, architect, landscape architect, or engineer. All sealing shall be consistent with Arizona Board of Technical Registration guidelines.

01. COMMENT: List the email addresses for the owner/developer and all registrants that prepared this development package document.



WEST POINTE APARTMENTS

UDC REVIEW COMMENTS

2-06.4.2 - The title block shall include the following information and be provided on each sheet:

2-06.4.2.B - A brief legal description and a statement as to whether the project is a re-subdivision are to be provided. On re-subdivisions, provide the recording information of the existing subdivision plat;

02. COMMENT: The legal description of the parcel shall be labeled in the title block. The legal description is described as "Tucson Lot 3 Block 216" and the recorded plat is Bk 3 at Pg 70.

2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, DSMR, overlay, etc.) shall be provided adjacent to the title block on each sheet.

03. COMMENT: If applicable, list any related application case numbers as noted by the standard above.

2-06.4.7 - General Notes
The following general notes are required. Additional notes specific to each plan are required where applicable.

2-06.4.7.A - Zoning and Land Use Notes

2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses.

04. COMMENT: For clarity of the specific uses proposed list the uses as follows unless other uses are proposed. "COMMERCIAL USE GROUP - ADMINISTRATIVE AND PROFESSIONAL OFFICE" and "RESIDENTIAL USE GROUP - MULTIFAMILY DEVELOPMENT"

2-06.4.7.A.6 - If a plan or plat is prepared in conjunction with other applications or overlays or the parcel being developed is subject to conditions of an application processed previously, additional information must be added to the plan. Such applications and overlays include, but are not limited to: annexations; rezonings; special exceptions; Board of Adjustment variances; Design Development Options; Technical Standard Modification Request; overlays (Airport Environs Zone, Environmental Resource Zone, Gateway Corridor Zone, Hillside Development Zone, Historic Preservation Zone, Major Streets and Routes, Rio Nuevo District, Scenic Corridor Zone, WASH); Modification of Development Regulations through the Downtown Area Infill Incentive District or Rio Nuevo District; Downtown Heritage Incentive Zone; or, Design Review Board. Provide the following information on the plan.

2-06.4.7.A.6.a - List additional applications and overlays, by case number (if applicable), in lower right corner of each sheet. As a general note provide the type of application processed or overlays applicable, a statement that the project meets the criteria/conditions of the additional application or overlay, the case number, date of approval, what was approved, and the conditions of approval, if any.

05. COMMENT: This existing development is non-conforming for current building setbacks so the statement under the permitting notes 16 is not correct. The statement should include that the setbacks will be met based on the MDR approval through the IID.

List the case numbers of any additional applications or overlay process. Any conditions of approval of the applications or overlays shall be listed on the cover sheet as general notes.

2-06.4.7.A.8 - For development package documents provide:

2-06.4.7.A.8.a - Floor area for each building;

06. COMMENT: List the square footage of the office and residential areas as a general note or under a zoning notes/calculations text block on the cover sheet.

2-06.4.7.A.8.c - Percentage of building, lot area, or vehicular use area expansion. If the building(s) or lot area have been previously expanded, those calculations shall



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be included; and,

07. COMMENT: List the expansion calculation as a general note or under a zoning notes/calculations text block on the cover sheet.

2-06.4.7.A.8.d - When the proposed site is part of a larger site, the calculations encompass the entire site, whether existing or proposed. If the project is being phased, calculations must show that, at each phase, requirements are being met.

2-06.4.9.G - If the project is to be phased, provide calculations, setbacks, etc., to indicate that each phase complies with all requirements as a separate entity. Show phase lines on the drawing. Show and label any temporary improvements that may be needed to make the site function for each phase as one entity. If such temporary improvements are off the site of the phase under consideration, a temporary easement or other legal documentation to assure legal use of the property is required. Note recording information.

08. COMMENT: If applicable, provide phasing calculations as noted by the standard above.

2-06.4.7.E.1.a - The following notes will be placed on all plans/plats.

2-06.4.8.B - All easements shall be drawn on the plan. The recordation information, location, width, and purpose of all easements on site will be stated. Blanket easements should be listed in the notes, together with recordation data and their proposed status. Should an easement not be in use and be proposed for vacation or have been abandoned, so indicate. However, should the easement be in conflict with any proposed building location, vacation of the easement shall occur prior to approval of plan unless written permission from easement holder(s) is provided.

09. COMMENT: Clarify if there are easements for the building overhang that extend into the right of way. If not, contact Jim Rossi with the COT Real Estate Division about obtaining aerial easements.

2-06.4.9.H - Proposed Traffic Circulation

2-06.4.9.H.1 - Proposed traffic circulation will be designed in accordance with Section 10-01.0.0, Street Technical Standards, of the Technical Standards Manual, to include streets, intersections, street names, right-of-way widths, curve radii of centerlines and curb returns, and proposed improvements, such as pavement, curbs, access points (driveways), accessible ramps, and sidewalks. Street improvements, such as sidewalks, curbs, pavement, and accessible ramps, do not need to be drawn on the plan if such information is provided on typical street cross sections.

10. COMMENT: Per the site plan a loading zone is proposed within the Jackson Street paved area. It is not clear if the 12 foot wide loading zone close to the intersection will create any traffic concerns for two way traffic. Contact TDOT for review and approval of the loading zone location as depicted on the site plan sheet.

2-06.4.9.H.2 - Show future and existing sight visibility triangles. On a designated MS&R street, the sight visibility triangles are based on the MS&R cross-section.

11. COMMENT: Draw and label the sight visibility triangles on the site plan sheet.

2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces provided, fully dimensioned. As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.

12. COMMENT: It is acknowledged that a Modification through the IID process is to be requested for the parking requirements.

2-06.4.9.H.5.b - If any of the required parking is located off-site as permitted by the UDC, a drawing of that parking area is to be provided, together with the city's required parking agreement (include a copy of the lease agreement if applicable) must

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be provided. Please remember that in these situations, if the off-site parking location is a new parking area, it must comply with all parking area requirements and must be allowed as a principal use by the zoning classification of that property. If the off-site parking area location is an existing parking lot, the parking spaces utilized for the proposed land use must be non-required parking for the existing use for which the parking area was established.

13. COMMENT: If additional offsite parking is proposed indicate on the plan the location and distance where the offsite parking will be provided.

2-06.4.9.H.5.c - Show all loading zones, vehicle maneuverability fully dimensioned, and access route. Provide as a note the number of loading spaces required, the number provided, whether the loading space is a Type A or B as provided in UDC Section 7.5.4.

14. COMMENT: It is acknowledged that a Modification through the IID process is to be requested for the loading zone requirements.

2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide, as a note, calculations for short and long term bicycle spaces required and provided.

15. COMMENT: It is acknowledged that the long term bicycle parking will be provided inside the building for the commercial and residential uses. Provide a dimensioned detail drawing for the long term bicycle parking facility proposed for the office use. The facility must comply with UDC section 7.4.9.D.

2-06.4.9.M - Grading Plan

2-06.4.9.M.1 - A conceptual grading plan is required on projects with significant topographic conditions. The PDS Engineering Administrator or designee will determine the need for such a plan.

16. COMMENT: For consistency any changes that are made to the DP site plan shall be made to the grading plan sheet and all other site sheets.

2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s).

17. COMMENT: Clarify if the proposed height of both buildings is 91 feet.

2-06.4.9.V - For gang mailboxes indicate location to assure there are no conflicts with other requirements, such as pedestrian accessibility, utilities, and landscaping.

18. COMMENT: Indicate on the cover sheet or site plan sheet where mail is to be delivered, Gang mailboxes on the first floor, individual mail delivered to residents etc.

2-06.4.9.W - Indicate the locations and types of proposed signs (wall, free-standing, pedestal) to assure there are no conflicts with other requirements and that minimal locational requirements can be met. Indicate if there are any existing billboards on site. Compliance to the Sign Code, Chapter 3 of the Tucson Code, is required.

19. COMMENT: If applicable indicate on the site plan sheet if any monument signs are proposed. If so include a statement that the signs will be reviewed and approved under separate permit.

2-06.4.9.X - Show compliance with landscaping and screening requirements by locations, material descriptions, and dimensions. Specific plant or hardscape material shall be detailed on a landscape plan. A detailed landscape plan is required. In accordance with Section 2-11.0.0, Landscape Plan Requirements.

20. COMMENT: It is acknowledged that a Modification through the IID process is to be requested for the landscaping and screening requirements.

21. COMMENT: It is acknowledged that the developer will be seeking relief for several of UDC requirements through the IID overlay process. Ensure that all proposed modifications are listed and that any conditions of approval of the modifications are incorporated into the final DP drawings.



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Point of clarification, Cover Sheet - IID notes: note 3, requesting relief from the lot coverage requirement. Based on UDC section 6.3.3.D.3, multifamily development does not have a lot coverage requirement. (I do not believe that relief for lot coverage is required.)

22. COMMENT: Additional zoning review comments may be forthcoming based on the responses to the zoning review comments and changes to the DP Plan sheets.

If you have any questions about this transmittal, please call David Rivera, (520) 791-5608.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package site plan and any requested documents

12/28/2015	ZELIN CANCHOLA	TRAFFIC	Approved
Comments:			
none			
12/28/2015	ANDREW CONNOR	LANDSCAPE	Plan requires change prior to approval
Comments:			
ADMINISTRATIVE MANUAL SECTION 2-10.0.0: LANDSCAPE PLAN REQUIREMENTS			
Identification and Descriptive Data			
All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.			
The landscape plan will contain the following identification in the lower right corner of each sheet:			
Rezoning case;			
Subdivision case;			
Board of Adjustment case;			
Design Development Option case;			
Development Review Board (DRB) case; and/or,			
Any other relevant case number for reviews or modifications that affect the site.			
Add a general note to site, landscape & grading: Provide the type overlays applicable, a statement that the project meets the criteria/conditions of applications or overlays, the case number, date of approvals, conformation of was approved, and any conditions of approvals.			
5.12.6. IID PLAN REVIEW AND APPROVAL PROCEDURES UNDER THE IID ZONING OPTION			
Site Design Standards			
Streetscape			
a. Streetscapes must be consistent with the Streetscape Design Policy. In streetscape design, priority is given to pedestrians.			
b. Shade			
Shade shall be provided for at least 50 percent of all sidewalks and pedestrian pathways as measured at 2:00 p.m. on June 21 when the sun is 82° above the horizon (based on 32°N Latitude). Shade may be provided by arcades, canopies, or shade structures, provided they and their location and design characteristics are compatible with the prevailing and design context of the street and the architectural integrity of the building. Deciduous trees, as proposed in the Downtown Comprehensive Street Tree Plan, are encouraged			

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to supplement existing evergreen trees. The use of plantings and shade structures in the City right-of-way are permitted to meet this standard with the approval of the Department of Transportation. The shade provided by a building may serve to meet this standard. Verify that site meets shade criteria and provide necessary approval for planting within the public right of ways.

Ensure that all Zoning and Engineering comments and concerns are addressed.

Additional comments may apply

12/29/2015	DAVID RIVERA	HC SITE	Approved
Comments:			
See zoning comments			
12/29/2015	BVIESTE1	ENVIRONMENTAL SERVICES	Plan requires change prior to approval
Comments:			
The Development Package has been reviewed on behalf of the Environmental Services Dept. and the following will need to be addressed on the resubmittal:			
1. Item 5 under the IID General Notes is incorrect. ESD does not require a loading space on Stone as the containers are to be serviced off of Jackson Street. Revise this note to read Jackson Street.			
2. State who is to provide service to the two proposed containers along Stone Avenue identified by keynote 30.			
3. Revise the waste stream calculation on the cover sheet under item C to read that recycling is 50% of the total waste as described in the calculation method in TSM Section 8. Therefore, the amount of recycling per week should read 8.9 cubic yards. The Collection note under the waste stream calculations should read ?Two- 4 cubic yard waste and two- 4 cubic yard recycling rolling metal containers shall be collected 2 to 3 times per week?. The typical result of the calculations is that adequate storage capacity is provided so that service is required only once per week, not every day. See TSM 8-01.4.0.D. ESD is prepared to allow service 2 to 3 times per week as allowed under the IID.			
4. The use of the APC for recycling is not allowed. Remove all references to APC use on the plans. Show a storage area within the building for ? 4 cy containers ? two for waste and two for recycling per comment #2. Detail this storage area on the plans.			
5. Revise the note below the waste stream calculation regarding collection service to read that the building owner?s facility personnel shall watch for the arrival of the service vehicle on the day of servicing, shall roll the containers out clearly into the loading space in front of the vehicle when the vehicle arrives and shall roll the containers back into the building immediately after servicing so that the service vehicle operator does not exit the truck. Omit the statement this will be performed on a daily basis.			
6. Demonstrate that the 35 ft. long service vehicle can enter and exit the 35 ft. loading space using the turning templates in TSM Section 8, Figure 7, while cars are parked in the adjacent parking spaces. The service vehicle must be able to pull straight into the loading space while traveling west without backing.			
7. Show the path the rolling containers will take to the loading area from the storage room in the building. Show a ramp instead of the vertical curb where the containers will be rolled out from the building to the loading space.			
If there are any questions, I can be reached at kperry@perryengineering.net			
12/30/2015	GARY WITTEW	DOT LANDSCAPE	Plan requires change prior to approval
Comments:			
I have been on vacation, sorry for missing this before I left. This is a good submittal, The only thing I see that is missing is colors for bike rack, planters etc.			
Gary			
12/30/2015	PATRICIA GEHLEN	ZONING-DECISION LETTER	Plan requires change prior to approval

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Comments:

This review has been completed and resubmittal is required. Please resubmit the following items:

- 1) Two rolled sets of the plans'
- 2) A disk containing all items submitted
- 3) All items requested by review staff
- 4) All items needed to approve these plans

FINAL STATUS of the Workflow

11/30/2015	ANY	REJECT SHELF	Received
Comments:			
none			

Conditions:
none

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[Help](#)

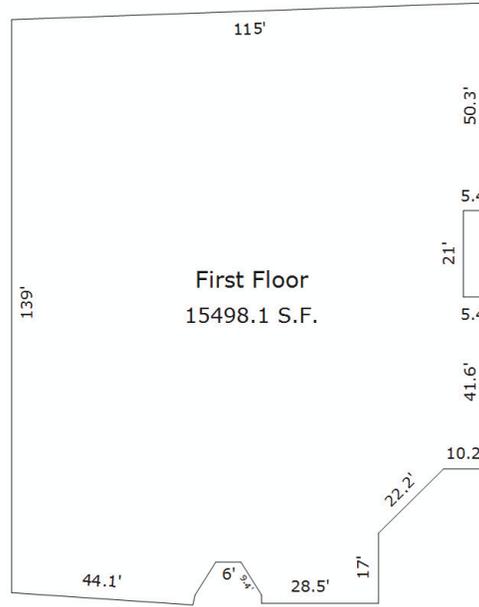
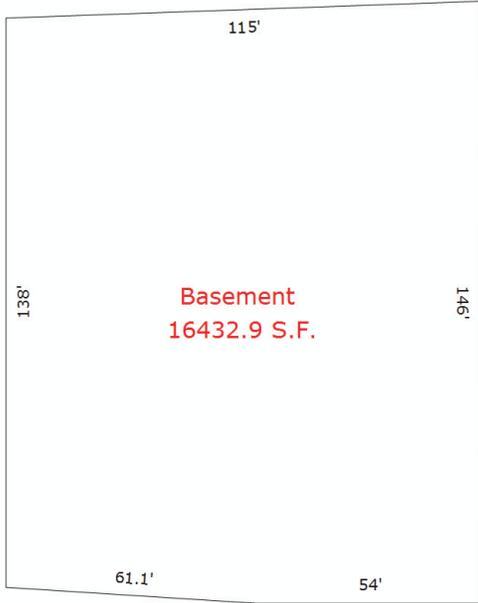


WEST POINTE APARTMENTS

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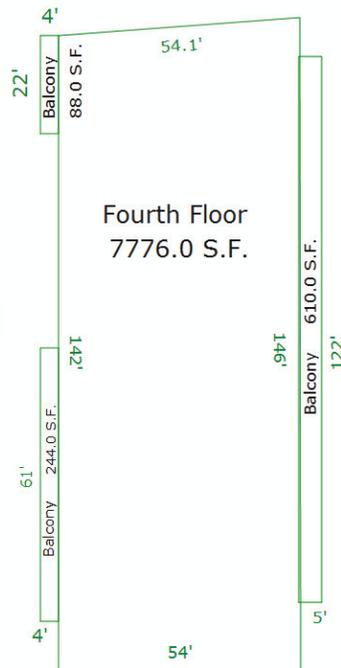
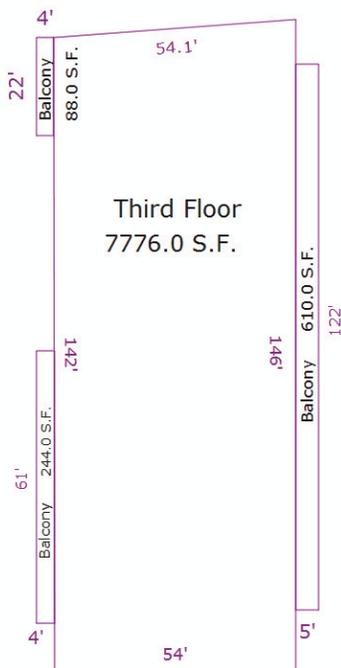
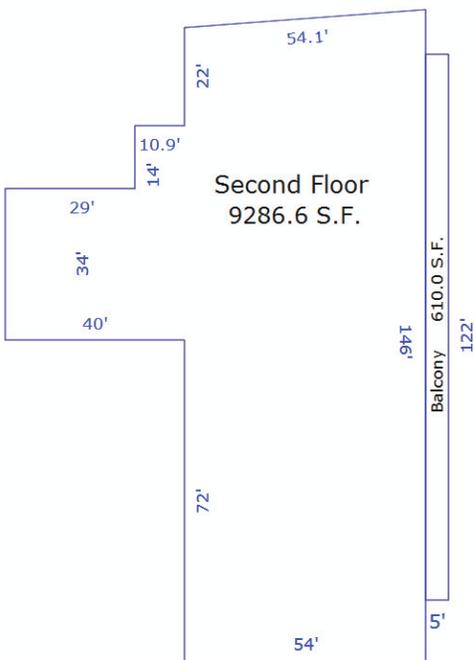
10 E BROADWAY BL

117-13-0390



DRAWN FROM PRC & F/C
08/28/2015
#511 H Emery

Sketch by Apex Sketch



WEST POINTE APARTMENTS COLOR AERIAL PHOTOGRAPH



WEST POINTE APARTMENTS

EXISTING PHOTO STUDY KEY



WEST POINTE APARTMENTS

EXISTING PHOTO STUDY (1)



FACING WEST



FACING EAST



FACING NORTH



FACING SOUTH

carhuff+cueva
architects, llc

Grenier
Engineering, Inc.



CANYON
BUILDING & DESIGN

LA FRONTERA
ARIZONA
Your partner for a safe, strong, and healthy community.

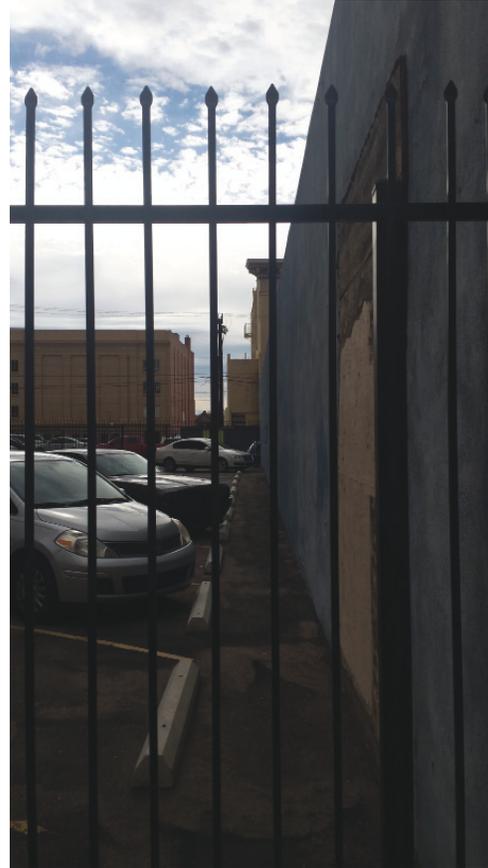
COPE
COMMUNITY
SERVICES

WEST POINTE APARTMENTS

EXISTING PHOTO STUDY (2)



FACING EAST



FACING SOUTH



FACING WEST



WEST POINTE APARTMENTS

EXISTING PHOTO STUDY (3)



FACING NORTH



FACING EAST



FACING WEST

WEST POINTE APARTMENTS

EXISTING PHOTO STUDY (4)



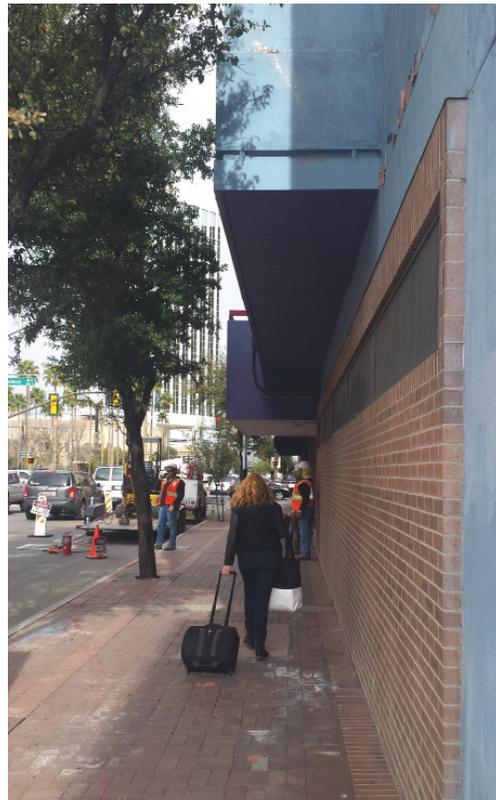
FACING EAST



FACING SOUTH



FACING WEST



FACING NORTH



NOTICE OF DIRECTOR'S DECISION ON THE IID REQUEST - EFFECTIVE FEB. 16, 2016 (CASE #T15SA00035, IID-15-09)

THE PROPOSED PROJECT INVOLVES RENOVATION AND A PROPOSED ADDITION TO THE HISTORIC WESTERNER BUILDING AND PROPOSED CHANGE OF USE TO AFFORDABLE HOUSING / OFFICES FLEXIBLE OFFICE / RETAIL SPACE ON THE GROUND FLOOR. THE PROJECT IS LOCATED WITHIN THE DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID), WHICH ALLOWS EXEMPTIONS FROM CERTAIN DEVELOPMENT REGULATIONS IN ACCORDANCE WITH ORDINANCE NO. 11246 ADOPTED BY MAYOR AND COUNCIL ON FEBRUARY 18TH, 2015.

THE PROJECT IS A MAJOR IID REQUEST AND HAS SATISFIED THE FOLLOWING REQUIREMENTS:

1. PSDS STAFF REVIEW
2. NEIGHBORHOOD MEETING
3. DESIGN PROFESSIONAL REVIEW
4. TUCSON-PIMA COUNTY HISTORICAL COMMISSION PLANS REVIEW SUBCOMMITTEE REVIEW
5. INFILL INCENTIVE DISTRICT DESIGN REVIEW COMMITTEE REVIEW

THE FOLLOWING EXEMPTIONS HAVE BEEN REVIEWED:

1. MAJOR STREETS AND ROUTES SETBACK ZONE - PER UDC SECTION 5.12.10.C.1 - RELIEF FROM THE MS&R SETBACKS IS ALLOWED FOR PROJECTS WITHIN THE DCS.
2. MINIMUM PERIMETER YARD - PER UDC SECTION 5.12.10.C.2 - RELIEF FROM THE MINIMUM PERIMETER YARD STANDARD IS ALLOWED FOR PROJECTS WITHIN THE DCS.
3. LANDSCAPING/SCREENING - PER UDC SECTION 5.12.10.C.7 - RELIEF FROM LANDSCAPING AND SCREENING STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS.
4. MOTOR VEHICLE AND BICYCLE PARKING - PER UDC SECTION 5.12.10.C.5 - RELIEF FROM MINIMUM VEHICULAR AND BICYCLE PARKING STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS.
5. OFF STREET LOADING - PER UDC SECTION 5.12.10.C.6 - RELIEF FROM OFF-STREET LOADING STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS CONTINGENT ON APPROVAL BY ENVIRONMENTAL SERVICES.

PSDS DIRECTOR'S DECISION

PURSUANT TO SECTION 5.12.6.L OF ORDINANCE 11246, THE APPLICANT'S PROJECT IS APPROVED WITH THE FOLLOWING NOTES:

1. THIS APPROVAL APPLIES ONLY TO THE REQUESTED EXEMPTIONS AND DOES NOT CONSTITUTE APPROVAL OF A BUILDING PERMIT. COMPLIANCE WITH ALL OTHER APPLICABLE ZONING AND BUILDING CODE REQUIREMENTS IS REQUIRED. CHANGES MADE TO THE PLAN IN ORDER TO ACHIEVE COMPLIANCE WITH THESE OTHER CODE REQUIREMENTS, INCLUDING THE SOLID WASTE AND RECYCLING COLLECTION STANDARDS, OR THAT AFFECT THE EXEMPTION REQUEST MAY REQUIRE ANOTHER REVIEW FOR COMPLIANCE WITH THE IID REQUIREMENTS.

PERMITTING NOTES

1. EXISTING ZONING IS OCR-2.
2. EXISTING USE OF PROPERTY IS OFFICE.
3. PROPOSED USE OF PROPERTY IS COMMERCIAL USE GROUP-ADMINISTRATIVE AND PROFESSIONAL OFFICE (52,024 SF), RETAIL USE GROUP (3,000 SF) & RESIDENTIAL USE GROUP-MULTIFAMILY DEVELOPMENT (38,421, 50 UNITS).
4. EXISTING BUILDING = 55,024 SF, EXPANSION = 38,421 SF (76.5%)

5. THE GROSS AREA OF THE SITE IS 16,743 SF, 0.38 ACRES.
6. TOTAL NUMBER OF LOTS IS 1.
7. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
8. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
9. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
10. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
11. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE, AND LIABILITY FOR DRAINAGE STRUCTURES.
12. THE WATER COMPANY THAT WILL SERVE THIS DEVELOPMENT IS TUCSON WATER.
13. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
14. MAINTENANCE AND OPERATION OF THE PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF PROPERTY OWNER.
15. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).

PERMITTING NOTES - CONTINUED

16. ALL PROPOSED WORK IN THE PUBLIC RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY EXCAVATION PERMIT OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT RICHARD LEIGH OF THE TRANSPORTATION DEPARTMENT PERMIT CODES AT 791-5100 FOR ADDITIONAL INFORMATION.
17. THIS PROJECT IS DESIGNED TO MEET THE SETBACKS THAT ARE PROPOSED AND APPROVED THROUGH THE MDR APPROVAL THROUGH THE IID SUBMITTAL.
18. THIS PROJECT WILL OBTAIN A PERMIT USING AN MDR FOR THE DOWNTOWN INFILL INCENTIVE DISTRICT OPTION.
19. PROPOSED MONUMENT SIGNS SHALL BE REVIEWED AND APPROVED UNDER SEPARATE PERMIT.

SOLID WASTE / RECYCLING

WASTE STREAM CALCULATIONS (BUILDING A):	
A. USE: OFFICE (0.0013 TONS/SF, TOTAL SF = 38,354 SF)	0.0013 TONS/SF X 38,354 SF = 49.9 TONS/YEAR
B. SIZE & COLLECTION FREQUENCY	49.9 TONS/YEAR / 52 WKS/YEAR = 0.96 TONS/WK 0.96 TONS/WK X 2000 LBS/TON = 1917.7 LBS/WK 1,917.7 LBS/WK / 3 LBS/GAL = 639 GAL/WK (TOTAL WASTE)
C. REFUSE = 50% OF TOTAL WASTE	0.50 (639 GAL/WK) = 319.6 GAL/WK 458 GAL/WK / 201.97 GAL/CUBIC YARD = 1.58 CUBIC YARDS
D. RECYCLE = 50% OF TOTAL WASTE	0.50 (639 GAL/WK) = 319.6 GAL/WK 458 GAL/WK / 201.97 GAL/CUBIC YARD = 1.58 CUBIC YARDS
COLLECTION: ONE 2 CUBIC YARD WASTE & ONE 2 CUBIC YARD RECYCLING ROLLING METAL CONTAINERS SHALL BE COLLECTED ONCE PER WEEK.	
WASTE STREAM CALCULATIONS (BUILDING B):	
A. USE: OFFICE (0.0013 TONS/SF, TOTAL SF = 16,531)	0.0013 TONS/SF X 16,531 SF = 21.5 TONS/YEAR USE: RESIDENTIAL (0.0057 TONS/SF, TOTAL SF = 38,560 SF) 0.0057 TONS/SF X 38,560 SF = 219.8 TONS/YEAR TOTAL = 21.5 TONS/YEAR + 219.8 TONS/YEAR = 241.3 TONS/YEAR
B. SIZE & COLLECTION FREQUENCY	241.3 TONS/YEAR / 52 WKS/YEAR = 4.6 TONS/WK 4.6 TONS/WK X 2000 LBS/TON = 9,280 LBS/WK 9,280 LBS/WK / 3 LBS/GAL = 3,093 GAL/WK (TOTAL WASTE)
C. REFUSE = 50% OF TOTAL WASTE	0.50 (3,093 GAL/WK) = 1,546.8 GAL/WK 1,546 GAL/WK / 201.97 GAL/CUBIC YARD = 7.65 CUBIC YARDS
D. RECYCLE = 50% OF TOTAL WASTE	0.50 (3,093 GAL/WK) = 1,546.8 GAL/WK 1,546 GAL/WK / 201.97 GAL/CUBIC YARD = 7.65 CUBIC YARDS
COLLECTION: TWO 4 CUBIC YARD WASTE & TWO 4 CUBIC YARD RECYCLING ROLLING METAL CONTAINERS SHALL BE COLLECTED ONCE PER WEEK.	

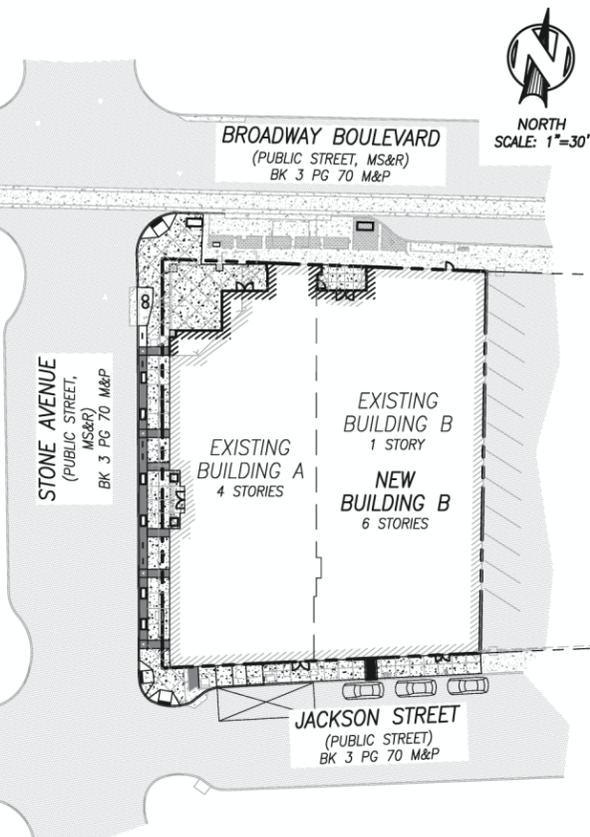
THE BUILDING OWNER'S FACILITY PERSONNEL SHALL WATCH FOR THE ARRIVAL OF THE SERVICE VEHICLE ON THE DAY OF SERVICING, SHALL ROLL THE CONTAINERS OUT CLEARLY INTO THE LOADING SPACE IN FRONT OF THE VEHICLE WHEN THE VEHICLE ARRIVES AND SHALL ROLL THE CONTAINERS BACK INTO THE BUILDING IMMEDIATELY AFTER SERVICING SO THAT THE SERVICE VEHICLE OPERATOR DOES NOT EXIT THE TRUCK.

LEGEND

FEATURE	NEW	EXISTING	FEATURE	NEW	EXISTING
SURVEY BENCH MARK		⊕	TRAFFIC CONTROL BOX		□
SURVEY MONUMENT		□	UTILITY BOX		□
PROJECT BOUNDARY LINE	---	---	GAS LINE	---	G---
ADJACENT BOUNDARY LINE	---	---	GAS METER		⊙
EASEMENT LINE	---	---	SANITARY SEWER LINE	---	S---
CENTER LINE	---	---	SANITARY SEWER MANHOLE		⊙
CONTOUR LINE - MAJOR	---	50---	SANITARY SEWER CLEANOUT		⊙
CONTOUR LINE - MINOR	---	51---	STORM DRAIN LINE	---	SD---
A.C. PAVEMENT			STORM DRAIN MANHOLE		⊙
CONCRETE CURB			FIRE HYDRANT		⊙
CONCRETE SIDEWALK/PAD			FIRE DEPARTMENT CONNECTION		⊙
BUILDING EXTERIOR WALL			WATER LINE	---	W---
WALL			WATER METER		⊙
OVERHEAD UTILITY LINE	---	OHU---	WATER VALVE		⊙
UNDERGROUND ELECTRIC LINE	---	UGE---	WATER MANHOLE		⊙
ELECTRICAL TRANSFORMER			SLOPE ARROW		↘
ELECTRICAL BOX			SIGN		⊕
LIGHT POLE			TILE FLOORING		
TRAFFIC LIGHT			BRICK PAVERS		
UNDERGROUND TELEPHONE LINE	---	UGT---	FENCE		

DEVELOPMENT PACKAGE FOR THE WESTERNER

10 E. BROADWAY, TUCSON AZ 85701



REFERENCE SITE PLAN

UTILITY CONTACTS

ELECTRIC:
TUCSON ELECTRIC POWER COMPANY
4350 E. IRVINGTON ROAD
TUCSON, AZ 85714
PO BOX 711 MAIL STOP DB102
TUCSON AZ 85702
CONTACT MIKE KAISER
(520) 918-8244 PHONE

SEWER:
PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT
201 N. STONE AVE. 8TH FLOOR
TUCSON, AZ 85701
CONTACT MARY HAMILTON
(520) 740-6641 PHONE

NATURAL GAS:
SOUTHWEST GAS CORPORATION
3401 E. GAS ROAD
TUCSON, AZ 85714
CONTACT BRAD STENINGER
(520) 247-0724 PHONE

TELEPHONE:
CENTURY LINK
333 E. WETMORE ROAD, 3RD FLOOR
TUCSON, AZ 85705
CONTACT EVA ELDRIDGE
(520) 292-7212 PHONE

ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
GFA	GROSS FLOOR AREA
INV	INVERT
M&P	MAPS & PLATS
PC/COT	PIMA COUNTY/CITY OF TUCSON
ROW	RIGHT OF WAY
SF	SQUARE FEET
SVT	SIGHT VISIBILITY TRIANGLE
TYP	TYPICAL

BICYCLE PARKING

OFFICE	REQUIRED	PROVIDED
SHORT TERM PARKING	(1 SPACE/20,000 S.F., 2 MINIMUM) 3 REQUIRED	6
LONG TERM PARKING (INSIDE BUILDING)	(1 SPACE/6,000 S.F., 2 MINIMUM) 10 REQUIRED	10
MULTIFAMILY DWELLINGS		
SHORT TERM PARKING	(0.10 SPACE/BEDROOM, 2 MINIMUM) 5 REQUIRED	6
LONG TERM PARKING (INSIDE BUILDING)	(0.5 SPACE/BEDROOM, 2 MINIMUM) 25 REQUIRED	50
TOTAL PARKING	43	72

NOTE: LONG-TERM SPACES WILL BE PROVIDED IN EACH RESIDENTIAL UNIT AS WELL AS STORAGE AREAS WITHIN THE OFFICE BUILDING

VEHICULAR PARKING

THIS PROJECT SEEKS RELIEF FROM VEHICULAR PARKING. PLEASE SEE NOTICE OF DIRECTOR'S DECISION ON THE IID REQUEST, THIS SHEET.

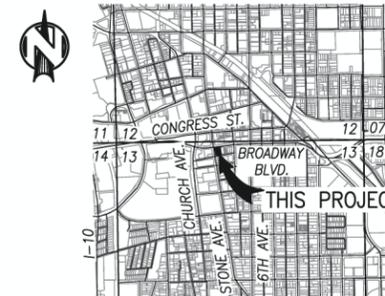
CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

Site/Dev Plan
 Tentative Plat
 Grading
 SWPPP
 FUP

SCZ
 FRZ
 HDZ
 WASH
 Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

Two working days before you file, CALL FOR THE BLUE STAKES
1-800-STAKEIT OR 1-800-782-5348
Blue Stake Center



LOCATION MAP

SCALE: 3" = 1 MILE
A PORTION OF THE SECTION 13, T-14-S, R-13-E, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

OWNER/DEVELOPER

COPE COMMUNITY SERVICES, INC.
CONTACT : ROD COOK, CEO
ADDRESS : 82 N. STONE TUCSON, AZ 85701
PHONE : (520) 792-3293
FAX : (520) 792-4336
EMAIL : rcook41@cox.net

CIVIL ENGINEER

GRENIER ENGINEERING, INC.
CONTACT : RICHARD MACIAS, P.E.
ADDRESS : 5524 E. 4TH STREET, TUCSON, AZ 85711
PHONE : (520) 326-7082
FAX : (520) 326-7508
EMAIL : rmacias@greniereng.com

ARCHITECT

CARHUFF + CUEVA ARCHITECTS
CONTACT : VANCE GOODMAN
ADDRESS : 3149 E. PRINCE RD TUCSON, AZ 85716
PHONE : (520) 577-4560
EMAIL : vgoodman@cca-az.com

PIMA COUNTY ADDRESSING

DP15-0208
COT ADMINISTRATIVE ADDRESS:
10 E. BROADWAY
TUCSON, AZ 85701

REF NO'S.: IID-15-09, T15SA00035

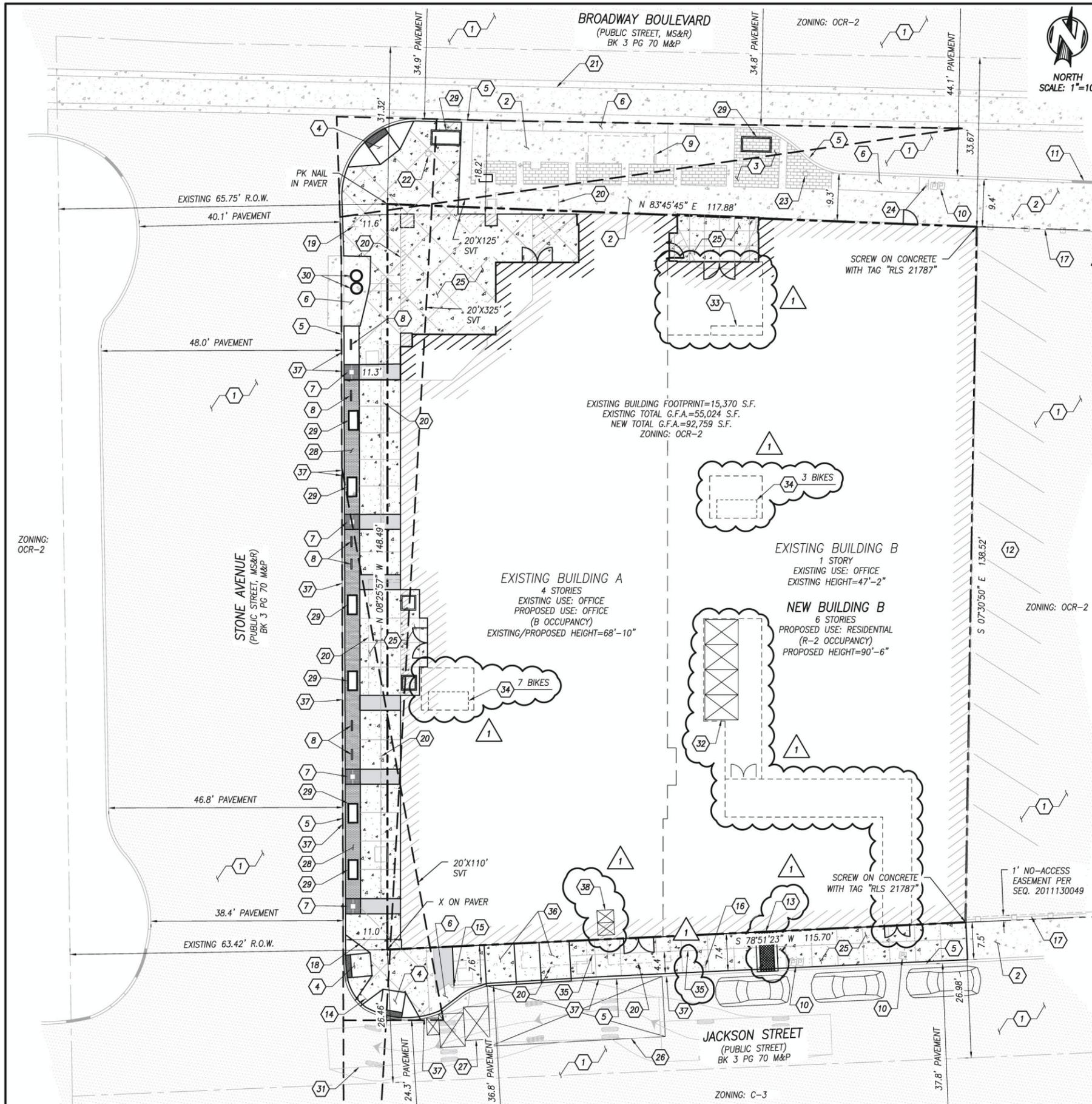
Rev #	Description
1	10/19/16 - BUILDING REVISIONS

GRENIER ENGINEERING, INC.
Structural & Civil Engineering Consultants
5524 East 4th Street, Tucson, Arizona 85711
Phone: 520.326.7082 - Fax: 520.326.7508

Job Number: 015082
Designed By: AR/RM
Drawn By: AR
Checked By: RM
Date: 10/20/16
Scale: N/A (SEE NOTES)
Sheet Number: C1.0

Sheet 1 of 9

WEST POINTE APARTMENTS



KEYNOTES

- 1 EXISTING AC PAVEMENT TO REMAIN.
- 2 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 3 EXISTING BRICK PAVERS TO REMAIN.
- 4 NEW CURB ACCESS RAMP PER DETAIL 3 SHEET C4.0.
- 5 EXISTING CONCRETE VERTICAL CURB TO REMAIN.
- 6 EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
- 7 NEW TREE GRATE, SEE SHEET L4.0.
- 8 NEW BICYCLE RACK, SEE SHEET L4.0.
- 9 EXISTING STREET CAR CANOPY TO REMAIN.
- 10 EXISTING PARKING METER TO REMAIN.
- 11 EXISTING CONCRETE DRIVEWAY APRON TO REMAIN.
- 12 EXISTING PARKING SPACES TO REMAIN.
- 13 NEW SIDEWALK SCUPPER PER P.C./C.O.T. STANDARD DETAIL 205, TYPE 2.
- 14 EXISTING STOP & STREET SIGNS TO REMAIN.
- 15 EXISTING 30 MIN. FREIGHT LOADING SIGN TO REMAIN.
- 16 EXISTING HANDICAP PARKING SIGN TO REMAIN.
- 17 EXISTING WROUGHT IRON FENCE TO REMAIN.
- 18 EXISTING RIGHT TURN ONLY SIGN TO REMAIN.
- 19 EXISTING RIGHT TURN ONLY, ONE WAY, AND TURNING VEHICLES YIELD TO PEDESTRIANS SIGNS TO REMAIN.
- 20 EXISTING BUILDING OVERHANG TO REMAIN.
- 21 EXISTING STREET CAR TRACKS TO REMAIN.
- 22 EXISTING TRAFFIC LIGHT & STREET CAR POWER POLE TO REMAIN.
- 23 EXISTING TRANSIT AND RIGHT TURNS ONLY SIGN & STREET CAR POWER POLE TO REMAIN.
- 24 EXISTING PARKING SIGN TO REMAIN.
- 25 NEW CONCRETE SIDEWALK, SEE SHEET L4.0.
- 26 12' X 35' LOADING ZONE TYPE A.
- 27 TRASH & RECYCLE PICK-UP LOCATION, SEE DETAIL 1 SHEET C4.0 FOR ACCESSIBLE ROUTE.
- 28 NEW BRICK PAVERS, SEE SHEET L4.0.
- 29 NEW RAISED PLANTER, SEE SHEET L4.0.
- 30 TRASH RECEPTACLES, SEE SHEET L4.0 (TO BE SERVICED BY OWNER/DEVELOPER).
- 31 TRASH/RECYCLE VEHICLE MANEUVERING, SEE DETAIL 1 SHEET C4.0.
- 32 WASTE ROOM - (2) TRASH & (2) RECYCLE ROLLING METAL CONTAINERS (4 CUBIC YARD) STORAGE LOCATION, SEE DETAIL 1 SHEET C4.0 FOR ACCESSIBLE ROUTE.
- 33 GANG MAILBOXES IN BUILDING FIRST FLOOR.
- 34 BICYCLE RACKS IN BUILDING FIRST FLOOR, SEE DETAIL 2 SHEET C4.0.
- 35 EXISTING RAISED BRICK PLANTER TO BE REMOVED.
- 36 NEW CURB ACCESS RAMP PER DETAIL 4 SHEET C4.0.
- 37 EXISTING ROOF DRAIN PIPE TO REMAIN.
- 38 WASTE ROOM - (1) TRASH & (1) RECYCLE ROLLING METAL CONTAINERS (2 CUBIC YARD) STORAGE LOCATION, SEE DETAIL 1 SHEET C4.0 FOR ACCESSIBLE ROUTE.

ZONING: OCR-2

ZONING: C-3

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPMGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

Two working days before you dig, CALL FOR THE BLUE STAKES
1-800-STAKEIT OR 1-800-782-5348
 Blue Stake Center

DP15-0208

COT ADMINISTRATIVE ADDRESS:
 10 E. BROADWAY
 TUCSON, AZ 85701

REF NO'S.: IID-15-09, T15SA00035

1	10/19/16 - BUILDING REVISIONS
Rev #	Description
GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants	
5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 - Fax: 520.326.7508	
Job Number:	015082
Designed By:	AR/RM
Drawn By:	AR
Checked By:	RM
Date:	10/20/16
Scale Vt:	N/A Htz: 1"=10'
Sheet Name:	SITE PLAN DEVELOPMENT PACKAGE
Project:	THE WESTERNER
TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ	
C2.0	
Sheet 2 of 9	

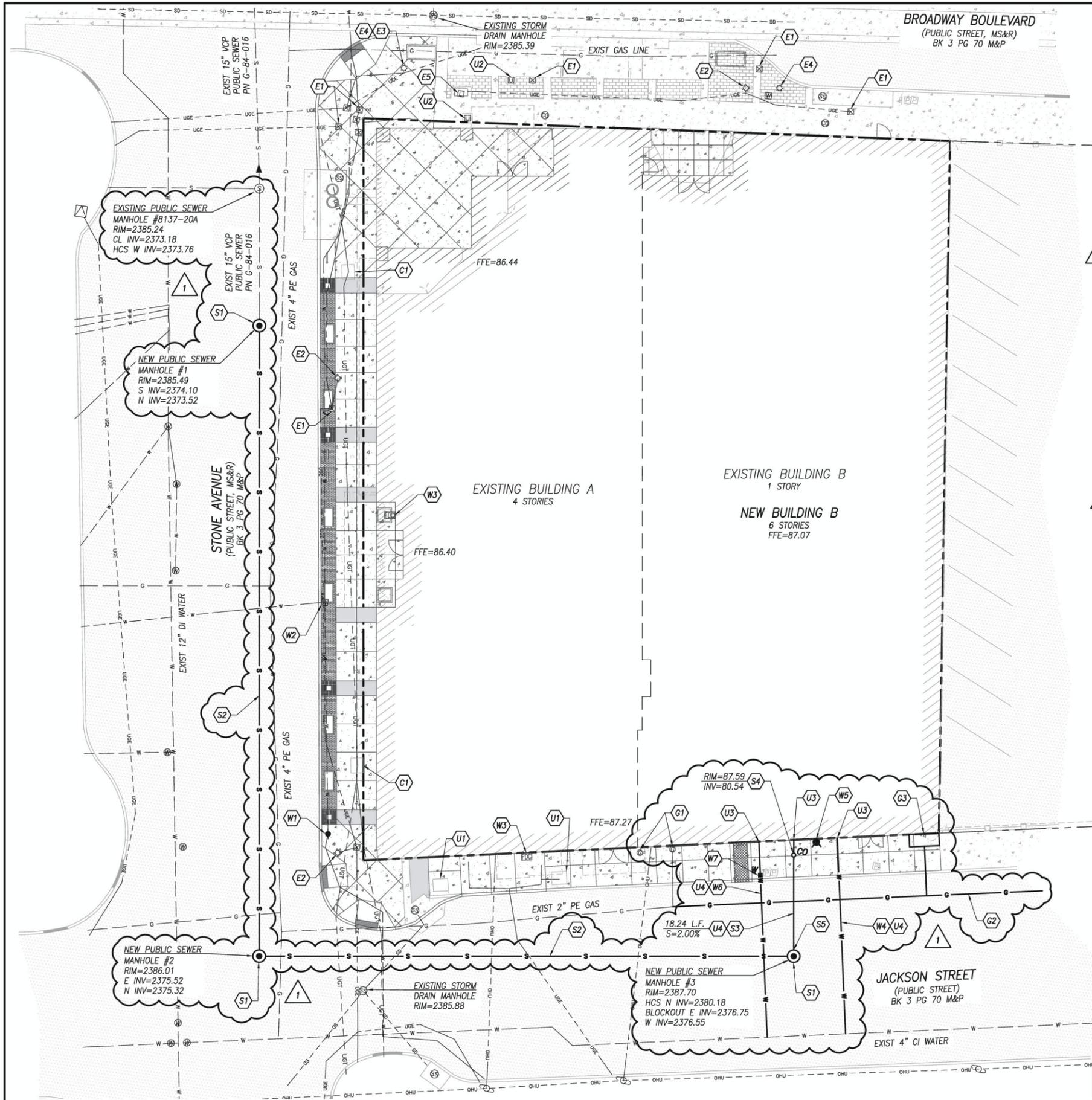
carhuff+cueva architects, llc

Grenier Engineering, Inc.

CANYON BUILDING & DESIGN

LA FRONTERA ARIZONA
Your partner for a safe, strong and healthy community.

COPE COMMUNITY SERVICES



UTILITY KEYNOTES

- U1) EXISTING UTILITY VAULT TO REMAIN.
- U2) EXISTING UTILITY BOX TO REMAIN.
- U3) SEE PLUMBING PLANS FOR CONTINUATION AND EXACT LOCATION OF CONNECTION TO BUILDING PLUMBING.
- U4) REMOVE AND REPLACE EXISTING A.C. PAVEMENT AND CONCRETE VERTICAL CURB PER P.C./C.O.T. STANDARD DETAILS 211 & 216.

COMMUNICATIONS KEYNOTES

- C1) EXISTING COMMUNICATIONS VAULT TO REMAIN.

ELECTRICAL KEYNOTES

- E1) EXISTING ELECTRIC BOXES TO REMAIN.
- E2) EXISTING STREET LIGHT TO REMAIN.
- E3) EXISTING TRAFFIC LIGHT TO REMAIN.
- E4) EXISTING STREET CAR POWER POLE TO REMAIN.
- E5) EXISTING TRAFFIC CONTROL BOX TO REMAIN.

GAS KEYNOTES

- G1) EXISTING ABANDONED GAS LINES TO BE REMOVED.
- G2) PROPOSED GAS LINE BY SOUTHWEST GAS.
- G3) NEW GAS METER.

SANITARY SEWER KEYNOTES

- S1) NEW PUBLIC SEWER MANHOLE PER PUBLIC SEWER PLANS.
- S2) NEW 8\"/>

WATER KEYNOTES

- W1) EXISTING FIRE HYDRANT TO REMAIN.
- W2) EXISTING WATER METER TO REMAIN.
- W3) EXISTING FIRE DEPARTMENT CONNECTION.
- W4) NEW 6\"/>

DP15-0208

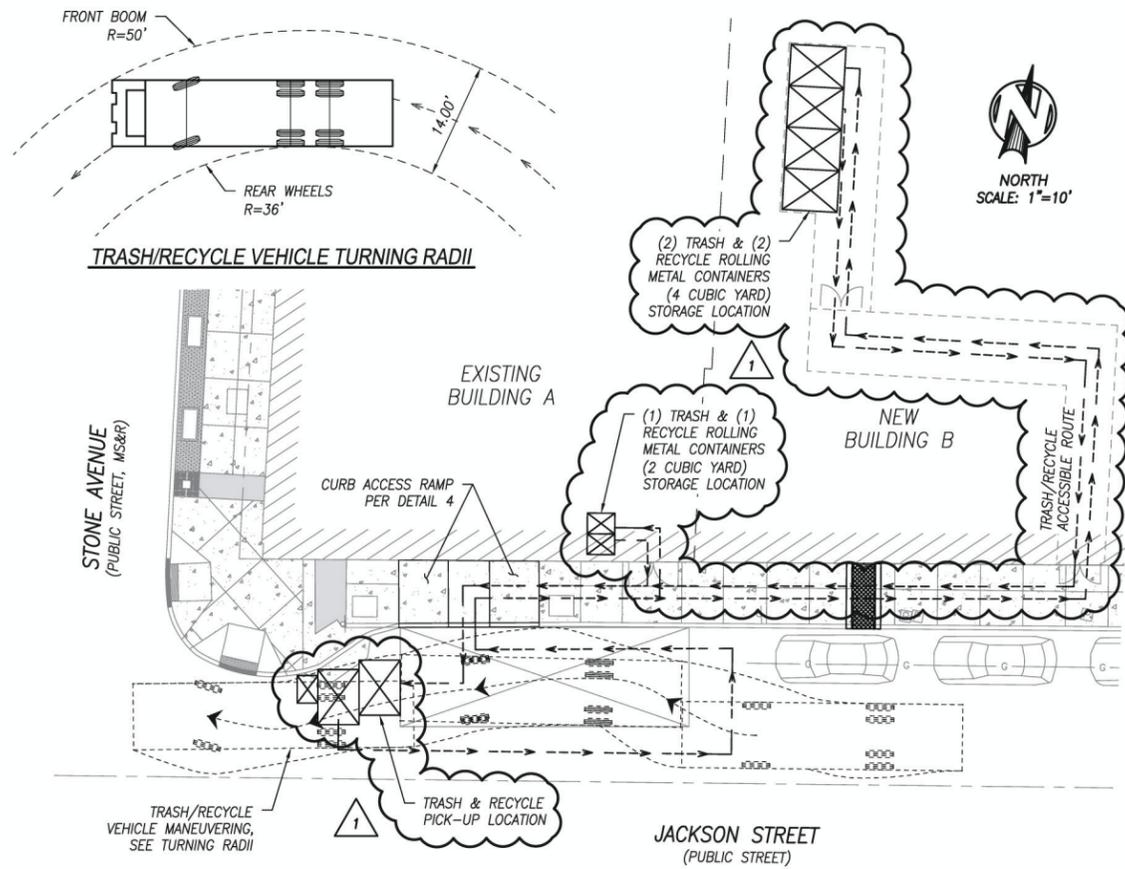
COT ADMINISTRATIVE ADDRESS:
10 E. BROADWAY
TUCSON, AZ 85701

REF NO'S.: IID-15-09, T15SA00035

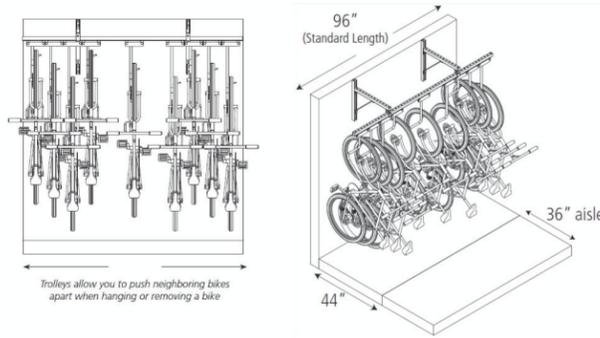
1	10/19/16 - BUILDING REVISIONS
Rev #	Description
<p>GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508</p>	
Job Number:	015082
Designed By:	AR/RM
Drawn By:	AR
Checked By:	RM
Date:	10/20/16
Scale:	N/A Hz: 1"=10'
Sheet Name:	EXISTING UTILITY PLAN DEVELOPMENT PACKAGE
Project:	THE WESTERNER
<p>TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ</p>	
Sheet Number:	C3.0
Sheet	3 of 9

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

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CALL FOR THE BLUE STAKES!
1-800-STAKEIT OR 1-800-782-5348
Blue Stake Center

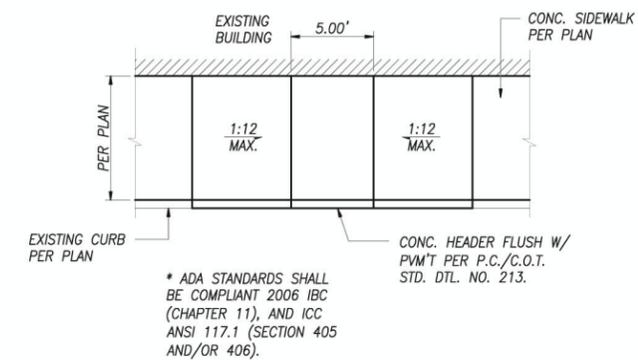


1 TRASH & RECYCLE



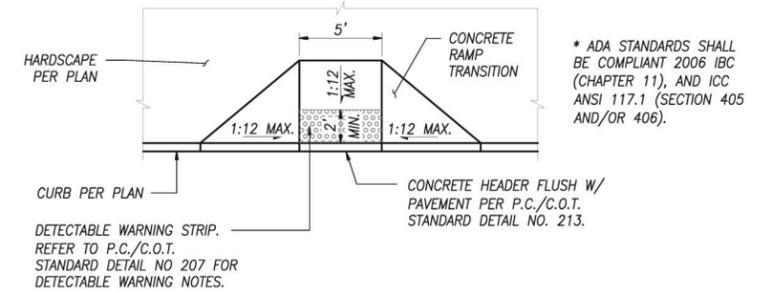
2 LONG TERM BICYCLE RACK

AMERICAN BICYCLE SECURITY COMPANY "BIKE FILE" RACK
N.T.S.



4 CURB ACCESS RAMP

N.T.S.



3 CURB ACCESS RAMP

N.T.S.

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> PRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
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H/C Site _____ Date _____	
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Revision # _____	<input type="checkbox"/> per letter in SIRE

Two working days before you dig, CALL FOR THE BLUE STAKES AT 1-800-STAKEIT OR 1-800-782-5348 Blue Stake Center

DP15-0208
COT ADMINISTRATIVE ADDRESS:
10 E. BROADWAY
TUCSON, AZ 85701

REF NO'S.: IID-15-09, T15SA00035	
1 10/19/16 - BUILDING REVISIONS	
Rev # Description	
GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants	Job Number: 015082
5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508	Designed By: AR/RM
Sheet Name: DETAILS DEVELOPMENT PACKAGE	Drawn By: AR
Project: THE WESTERNER	Checked By: RM
TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ	Date: 10/20/16
C4.0	Scale: Vt: N/A Hz: 1"=10'
Sheet 4 of 9	

BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

EXIST 65.75' R.O.W.

STONE AVENUE
BOOK 3 PAGE 70 M.&P.

ZONING:
OCR-2

EXISTING BUILDING FOOTPRINT=15,370 S.F.
EXISTING TOTAL G.F.A.=55,024 S.F.
NEW TOTAL G.F.A.=89,159 S.F.
MAX HEIGHT=91'-0"
ZONING: OCR-2

EXISTING BUILDING A
4 STORIES
EXISTING USE: OFFICE
PROPOSED USE: OFFICE
(B OCCUPANCY)

EXISTING BUILDING B
1 STORY
EXISTING USE: OFFICE

NEW BUILDING B
6 STORIES
PROPOSED USE: RESIDENTIAL
(R-2 OCCUPANCY)

ZONING: OCR-2

JACKSON STREET

BOOK 3 PAGE 70 M.&P.

ZONING: C-3

JOHN HUCKO - LANDSCAPE ARCHITECT, LLC
5236 N. STONEHOUSE PL.
TUCSON, ARIZONA 85750

P: (520) 400.8529
E: jhucko789@comcast.net
PROJECT NO: 15-24

SCALE: 1" = 10'-0"

GENERAL LANDSCAPE NOTES

- .38 Acre - 16,375 S.F. Parcel is zoned R-2 AND OCR-2
- Shrubs used to satisfy Landscape Border requirements will not be smaller than 5 gallon size. They will be aligned, grouped or clustered to provide interest and continuous screening at maturity.
- Plant materials will cover at least 50% of the area Landscape Borders not including canopy trees.
- Trees planted near sidewalks or curbs will be planted 5' away to prevent upheaval. Where 5' is not available, a root barrier will be used.
- Site visibility triangles: Materials within site visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finish grade. All shrub heights in SVT's shall be maintained below 30" and tree canopy's shall be maintained above 72" height
- All plant materials will be selected from the approved City of Tucson Plant List.
- An automatic drip irrigation system will be installed to irrigate all planting
- Any plant material in areas requiring landscaping that does not survive will be replaced with an equivalent size and species within 30 days.
- Landscape maintenance will be provided including watering, pruning, mulching, weeding, and fertilizing. Per the Unified Development Code all required landscaping, irrigation and site improvements will be maintained. The property owner is responsible for proper and adequate landscaping as required by the UDC.
- Grading Limits:
The entire site is previously been developed.
- The majority of this Multi-Use development is comprised of residential housing. Therefore the Commercial Rainwater Harvesting requirements do not apply. Rainwater will be harvested from the building roof and directed to landscape areas if possible.

ROW STANDARD PLANTING NOTES

- It is the owners responsibility to keep the Site Visibility Triangles (SVT) and the pedestrian access area clear of vegetation at all times, per Unified Development Code(UDC) section.
- Final plant locations must be in compliance with all utility setback requirements.
- the owner understands that if the City of Tucson Transportation Dept. or any utility company needs to work within the ROW in the landscape area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right Of Way excavation permit prior to construction within the right of way.

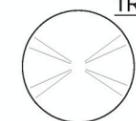
LANDSCAPE NOTES

- Backfill mix for Raised planter boxes and at grade planters adjacent building shall consist of 50% screened topsoil and 50% GRO-WELL Brand Organic Compost. Install 6" pea-gravel layer with filter fabric as drainage layer in raised planter boxes
- Topdress planters above with rock mulch.

PLANT LEGEND

PLANT SYMBOL BOTANICAL NAME COMMON NAME SIZE: QTY

TREES:

	Quercus virginiana Heritage Live Oak	Existing	4
---	---	----------	---

SHRUBS & GROUNDCOVERS: SIZE: QTY

	Pedilanthus macrocarpus Lady slipper	5 Gal.	xx
	Lantana Gold Lantana	1 Gal.	xx
	Pachycereus marginatus Mexican Fence Post Cacti Multi-trunk - Min. 3 trunks - 5'tall	15" Gal.	xx
	Plants In Raised Planters - TBD	5 Gal. & 1 Gal.	

INERT MATERIALS

DG Decomposed Granite -
1/2" Minus - 2" Depth
Color - "Apache Brown"
RM Rock Mulch 1"-3"
Fractured Rock 3"
Depth
Color - "Apache Brown"

LANDSCAPE PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE
PBSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

REF NO'S.:

DP15-0208

COT ADMINISTRATIVE ADDRESS:
10 E. BROADWAY
TUCSON, AZ 85701

 GREINER ENGINEERING, INC. Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508	 JOHN R. HUCKO REGISTERED PROFESSIONAL ENGINEER ARIZONA, U.S.A. EXPIRES 3/31/2018
SITE PLAN DEVELOPMENT PACKAGE THE WESTERNER	
TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ	
<h1>L2.0</h1>	
Sheet 5 of 8	

BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

STONE AVENUE

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

EXISTING BUILDING FOOTPRINT=15,370 S.F.
EXISTING TOTAL G.F.A.=55,024 S.F.
NEW TOTAL G.F.A.=89,159 S.F.
MAX HEIGHT=91'-0"
ZONING: OCR-2

EXISTING BUILDING A
4 STORIES
EXISTING USE: OFFICE
PROPOSED USE: OFFICE
(B OCCUPANCY)

EXISTING BUILDING B
1 STORY
EXISTING USE: OFFICE

NEW BUILDING B
6 STORIES
PROPOSED USE: RESIDENTIAL
(R-2 OCCUPANCY)

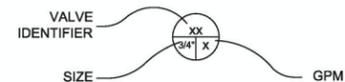
IRRIGATION POC - EXISTING HOSE BIB

IRRIGATION CONTROLLER

IRRIGATION BACKFLOW PREVENTER
LOCATION TO BE FIELD VERIFIED

IRRIGATION LEGEND

Symbol	Manufacturer	Description
	Water Meter	Irrigation P.O.C
	Hunter	X-CORE -XC-4 Outdoor Model - Wall Mount
	Febco	3/4" -Reduced Pressure Backflow Preventer, Febco 825Y With Tan Guardshack enclosure
	Rain Bird	XCZ-075-PRF - 3/4" Low Flow Control Zone Kit
	SCH. 40 PVC	3/4" Mainline -
	SCH. 40 PVC	2"-4" Sleeve.
	SCH. 40 PVC	Lateral line - 3/4" -
	SCH. 40 PVC	3/4" SCH. 40 PVC - Pipe Drip Lateral w/ Rain Bug XBT-20-6 Multi-outlet Emitter @ 1 GPH each
	SCH. 40 PVC	Outlet XBT-20 Single-outlet Emitter @ 1 GPH w/ XQ 1/4" Distribution Tubing, 2 GPH per Shrub or Groundcover, 8 GPH per Tree
		In-Line Drip Tubing - Rain Bird XFS-06-12 - 6 GPH
	Lasco	AP-075 - 3/4" Hose End Flush Cap.



IRRIGATION NOTES

- Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
- The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
- Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried.
- Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
- Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.
- Contractor shall apply for Reduced Pressure Backflow Preventer permit from Backflow Prevention Department.
- The irrigation system design is based on a minimum operating static water pressure of 50 PSI. Any discrepancy shall be reported to the owner immediately.
- Sleeve all irrigation lines under concrete including all drip laterals and lateral lines.

DP15-0208

COT ADMINISTRATIVE ADDRESS:
10 E. BROADWAY
TUCSON, AZ 85701

REF NO'S.:

IRRIGATION PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
Engineering _____ Date _____	
H/C Site _____ Date _____	
Fire _____ Date _____	
Landscape _____ Date _____	
PL/ME _____ Date _____	
Revision # _____	<input type="checkbox"/> per letter in SIRE

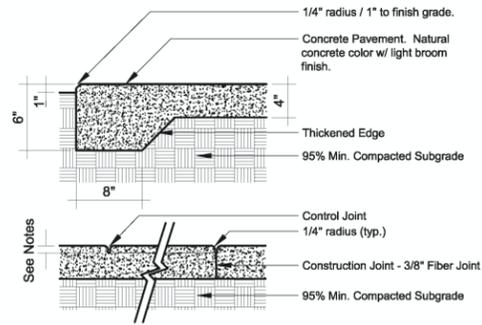
JOHN HUCKO - LANDSCAPE ARCHITECT, LLC
5236 N. STONEHOUSE PL.
TUCSON, ARIZONA 85750

P: (520) 400.8529
E: jhucko789@comcast.net
PROJECT NO: 15-24

SCALE: 1" = 10'-0"

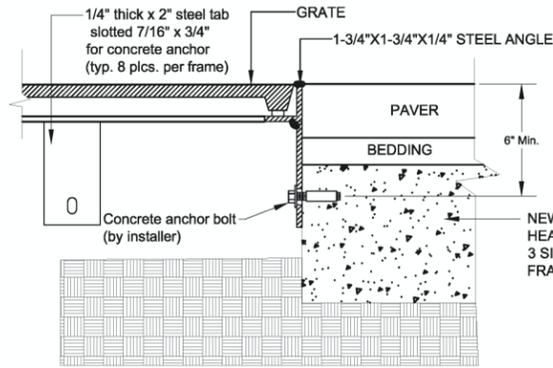
1-800-STAKEIT OR
1-800-782-5348

 Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508		
SITE PLAN DEVELOPMENT PACKAGE		Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A Sheet Number:
THE WESTERNER		L3.0
TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ		Sheet 8 of 8



NOTE:
 Pour sample on-site for finish approval by the Owner's Rep.
 Control joints to be installed at a depth of 1/4 the thickness of the concrete slab.
 Control joints shall be as shown on plans.
 Install 3/8" Fiber joint material - hold down 1/2"-3/4" - fill with Sika-Flex for all construction joints
 Control joints & construction joints to be finished with a 1/4" radius jointer.
 Edges of concrete pavement to be finished with a 1/4" radius edger.

1 CONCRETE PAVEMENT
 NTS

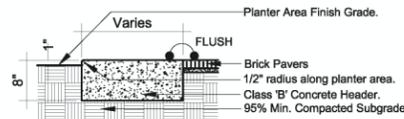


VERIFY DEPTH TO COVER BRICK DIMENSION AND 1" SAND SETTING BED

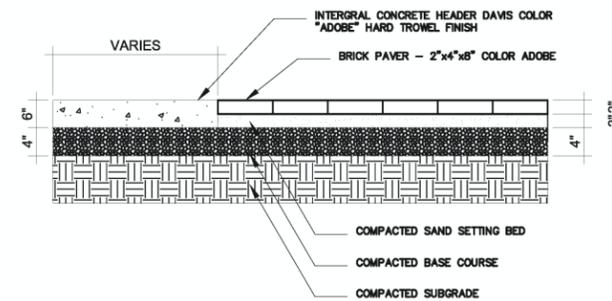
NEW 6"x6" CONCRETE HEADER TO HOLD FRAME ON 3 SIDES - EXIST CURB TO HOLD FRAME ON STREET SIDE

SECTION TREE GRATE FRAME
 INSTALLATION WITH CONTINUOUS STEEL SKIRT FOR PAVERS BOLT ON FOR RETROFIT APPLICATIONS

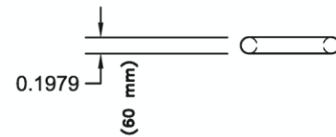
5 TREE GRATE
 NTS



2 CONCRETE HEADER
 NTS



4 BRICK PAVING/CONCRETE HEADER
 NTS

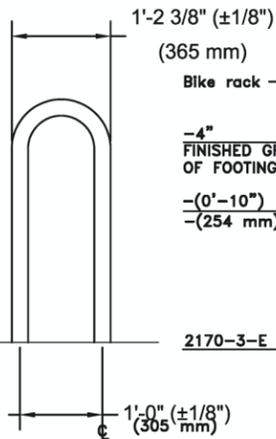


TOP VIEW

2'-11 1/4" (895 mm)

0'-0" FINISHED GRADE

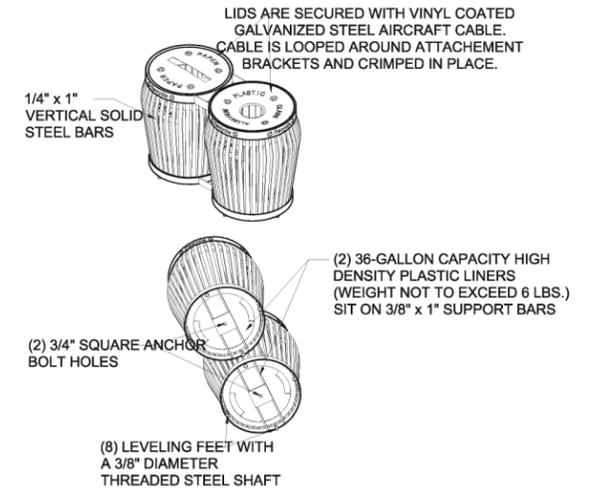
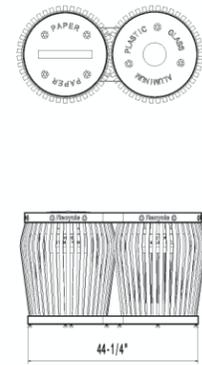
FRONT VIEW



1'-2 3/8" (±1/8") (365 mm)

2170-3-E (DIRECT EMBEDMENT)

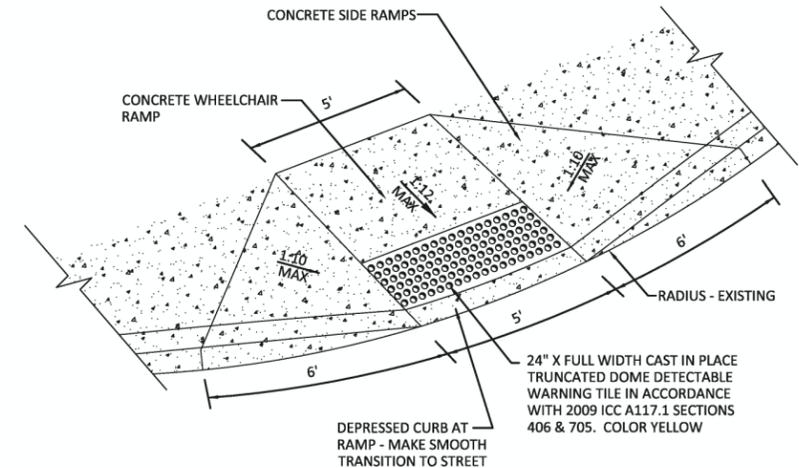
6 BIKE RACK
 NTS



7 TRASH RECEPTACLE
 NTS

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PATENTS PENDING



8 ACCESSIBLE RAMP
 NTS

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 PROJECT NO: 15-24

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 1-800-782-5348
 Blue Stakes Online

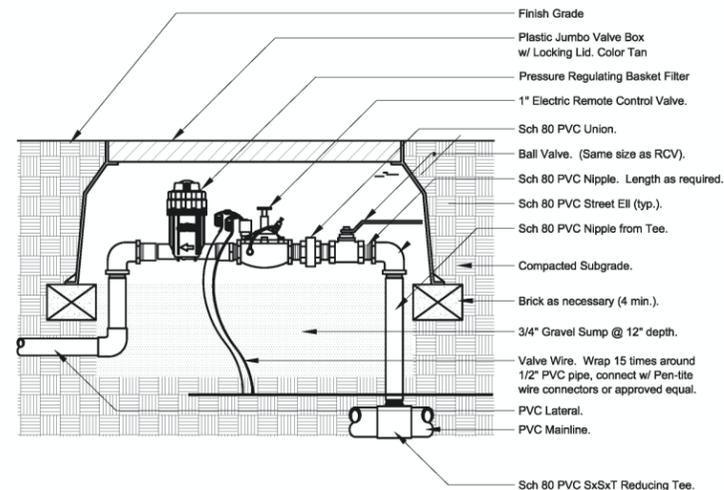
HARDSCAPE DETAILS

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

REF NO'S.:

DP15-0208
 COT ADMINISTRATIVE ADDRESS:
 10 E. BROADWAY
 TUCSON, AZ 85701

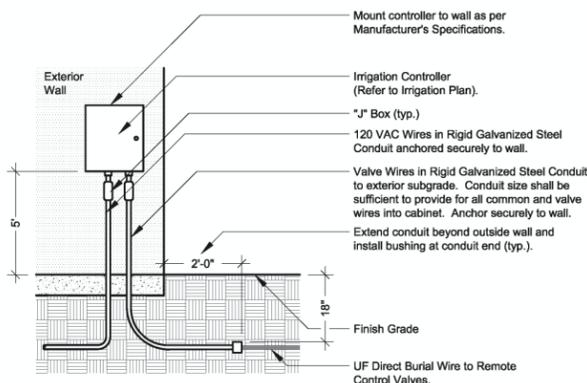
GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 - Fax: 520.326.7508		EXPIRES 3/31/2018 JOHN R. HUCKO LANDSCAPE ARCHITECT ARIZONA, U.S.A.
Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH	Date: 01-15-16 Scale: N/A Plot: 1"=10'	
SITE PLAN DEVELOPMENT PACKAGE THE WESTERNER TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ		L4.0 Sheet 7 of 8



NOTES:
Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around piping and valve box to same density as undisturbed soil.
Refer to Specifications for piping material.

1 REMOTE CONTROL VALVE WITH FILTER - DRIP

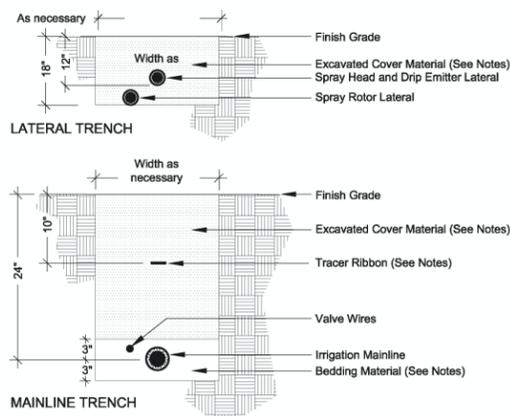
NTS



NOTES:
All wiring to be installed as per City Code.
Refer to Electrical Plans for location and power source.

2 WALL-MOUNTED IRRIGATION CONTROLLER

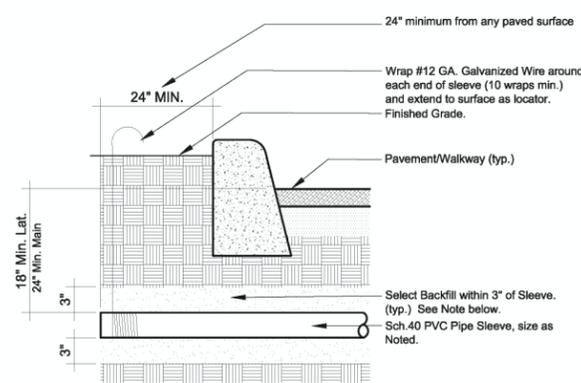
NTS



All mainlines to be installed in accordance with manufacturer's Specifications.
All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal.
Bundle and tape wiring at 10 foot intervals.
Valve wires to be installed within mainline trench wherever possible.
Bedding material shall be 1/4" minus sand, and shall be 3 inches below mainline and 3 inches above mainline.
Excavated cover material shall be free from debris and rocks 1/2 inch or greater.
Install Tracer Ribbon in all mainline trenches including quick coupler lines.
(See Specifications).

3 TRENCHING DETAIL

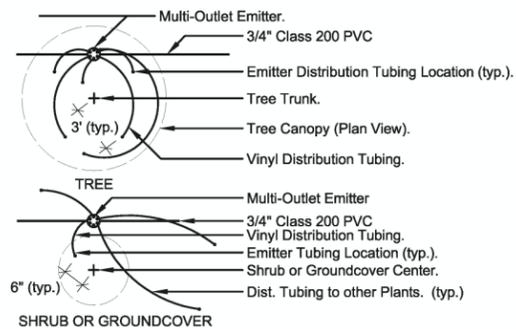
NTS



NOTE:
Backfill within 3" of sleeve shall be free of rocks and stones larger than 1/2" Dia. If rock cannot be removed from excavated soil, provide clean sand bedding.

4 PIPE SLEEVING

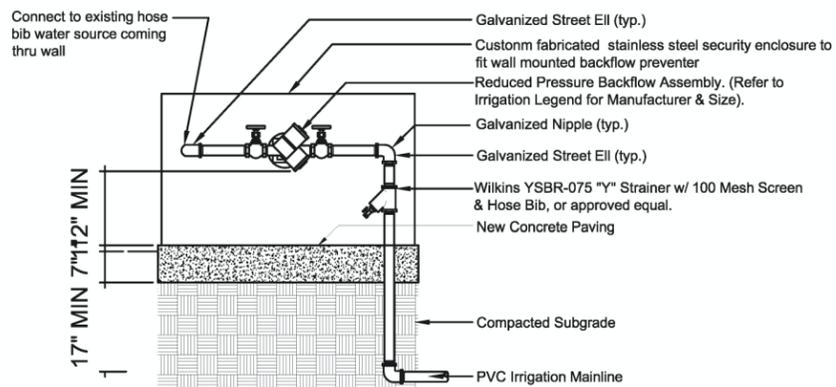
NTS



NOTES:
Refer to Irrigation Key for Manufacturer.

5 EMITTER PLACEMENT

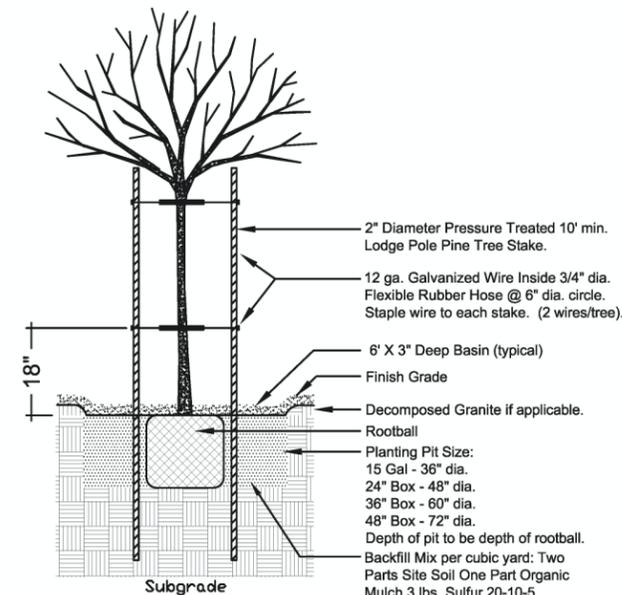
NTS



NOTES:
Supply keyed padlock, Master Lock Model #957 w/ two keys, or approved equal, for locking security enclosure.

6 REDUCED PRESSURE TYPE BACKFLOW PREVENTER

NTS

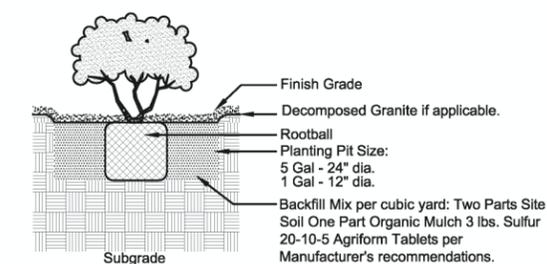


DETAIL PLAN OF HOSE AND WIRE

NOTE:
See Specifications for application of FeRROMEC AC Liquid Iron to all trees.
Plant pit to be to the depth of the rootball, typical.

7 SINGLE TRUNK TREE PLANTING

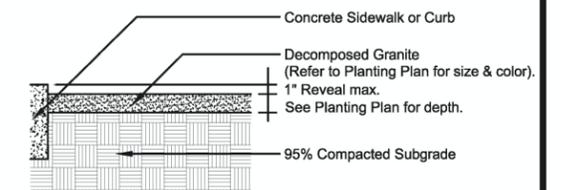
NTS



NOTE: Plant pit to be to the depth of the rootball, typical.

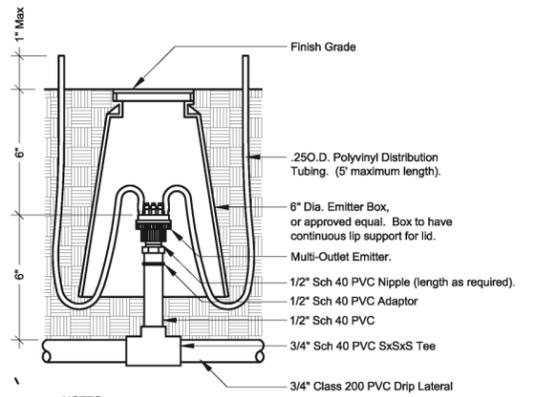
8 SHRUB PLANTING

NTS



9 SCREENED ROCK / DECOMPOSED GRANITE

NTS



NOTES:
Compact soil around emitter assembly to same density as undisturbed soil.

9 EMITTER INSTALLATION

NTS

LANDSCAPE DETAILS	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPMGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscapes	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

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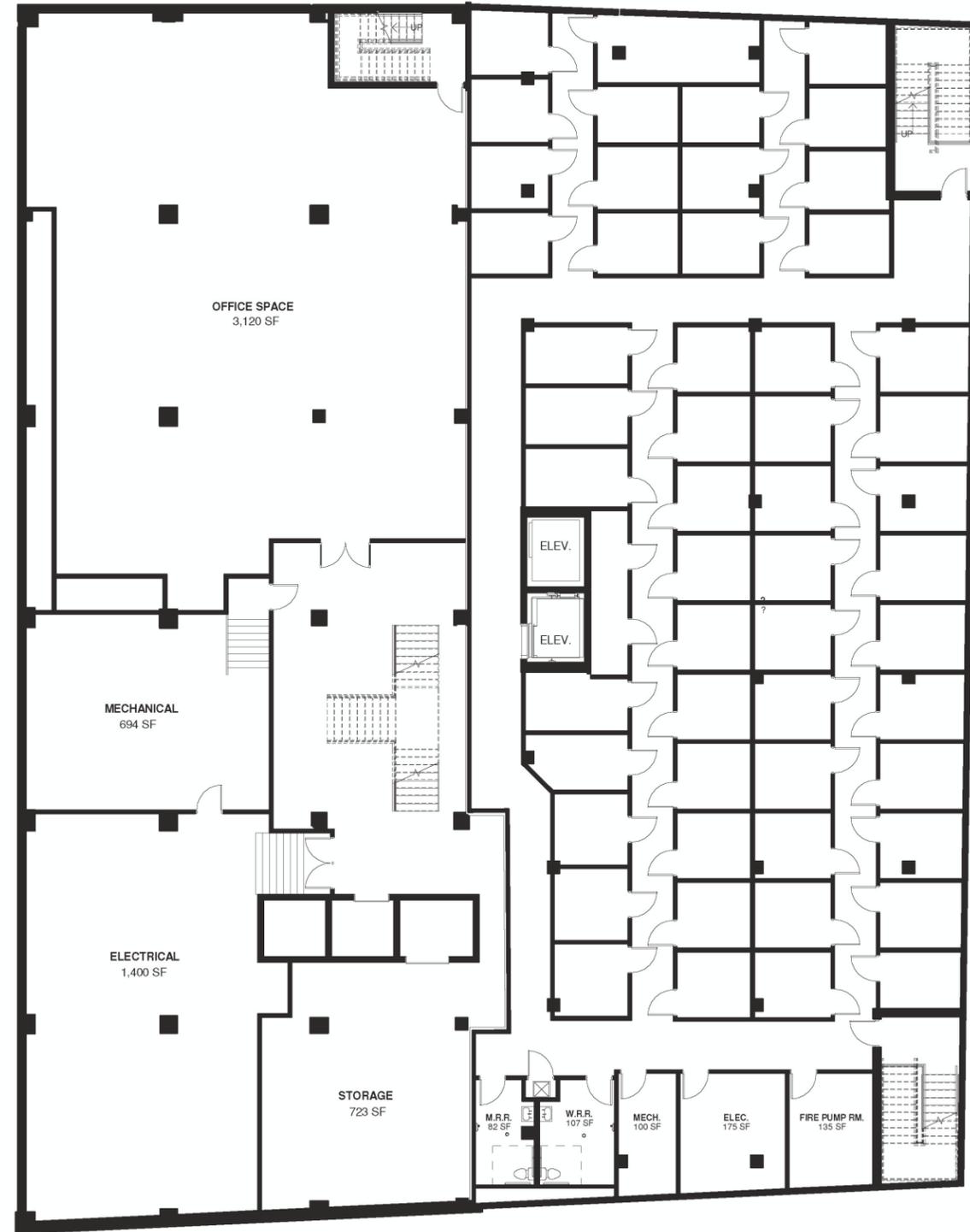
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 GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508	 JOHN R. HUCKO 18943 EXPIRES 3/31/2018
Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A Sheet Number: 8 of 8	Project: THE WESTERNER SHEET NUMBER: L5.0



PROPOSED BASEMENT LEVEL 7,931 SF

FUTURE BASEMENT LEVEL 8,343 SF



DESIGN APPROVAL
OWNER CLIENT: _____ DATE APPROVED: _____

**PRELIMINARY
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CONSTRUCTION**



**carhuff+cueva
architects, llc**

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tucson, arizona 85716
phone 520.577.4560
www.cca-az.com

PROPOSED NEW BUILDING FOR:

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TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

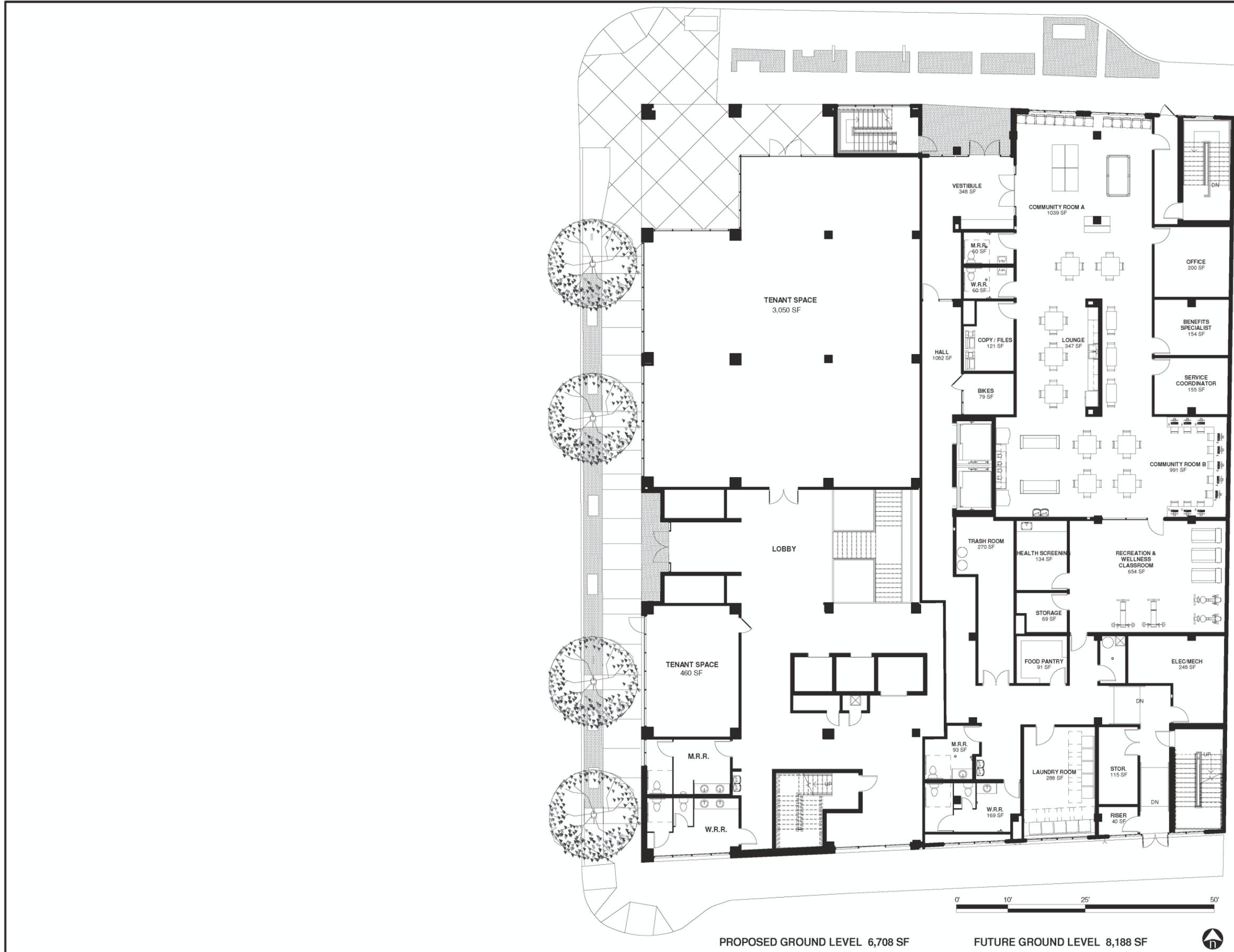
DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY Author

DRAWING TITLE
BASEMENT LEVEL

DRAWING NUMBER
A1

WEST POINTE APARTMENTS



PROPOSED GROUND LEVEL 6,708 SF

FUTURE GROUND LEVEL 8,188 SF

LA FRONTERA ARIZONA

WESTPOINT apartments

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REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE GROUND LEVEL

DRAWING NUMBER A2

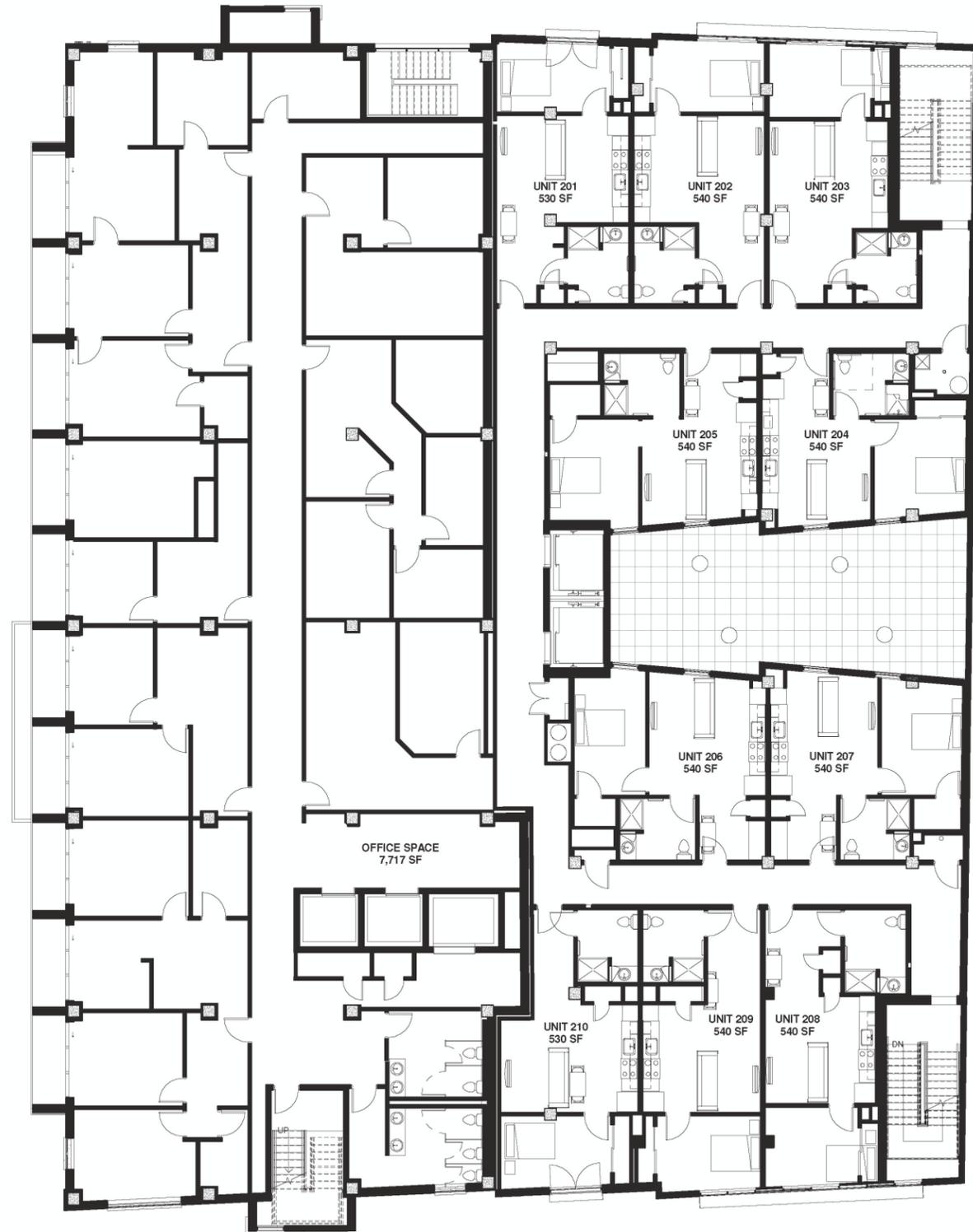
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Grenier Engineering, Inc.

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PROPOSED 2ND LEVEL 7,712 SF

FUTURE 2ND LEVEL 7,712 SF

LA FRONTERA ARIZONA

WESTPOINT apartments

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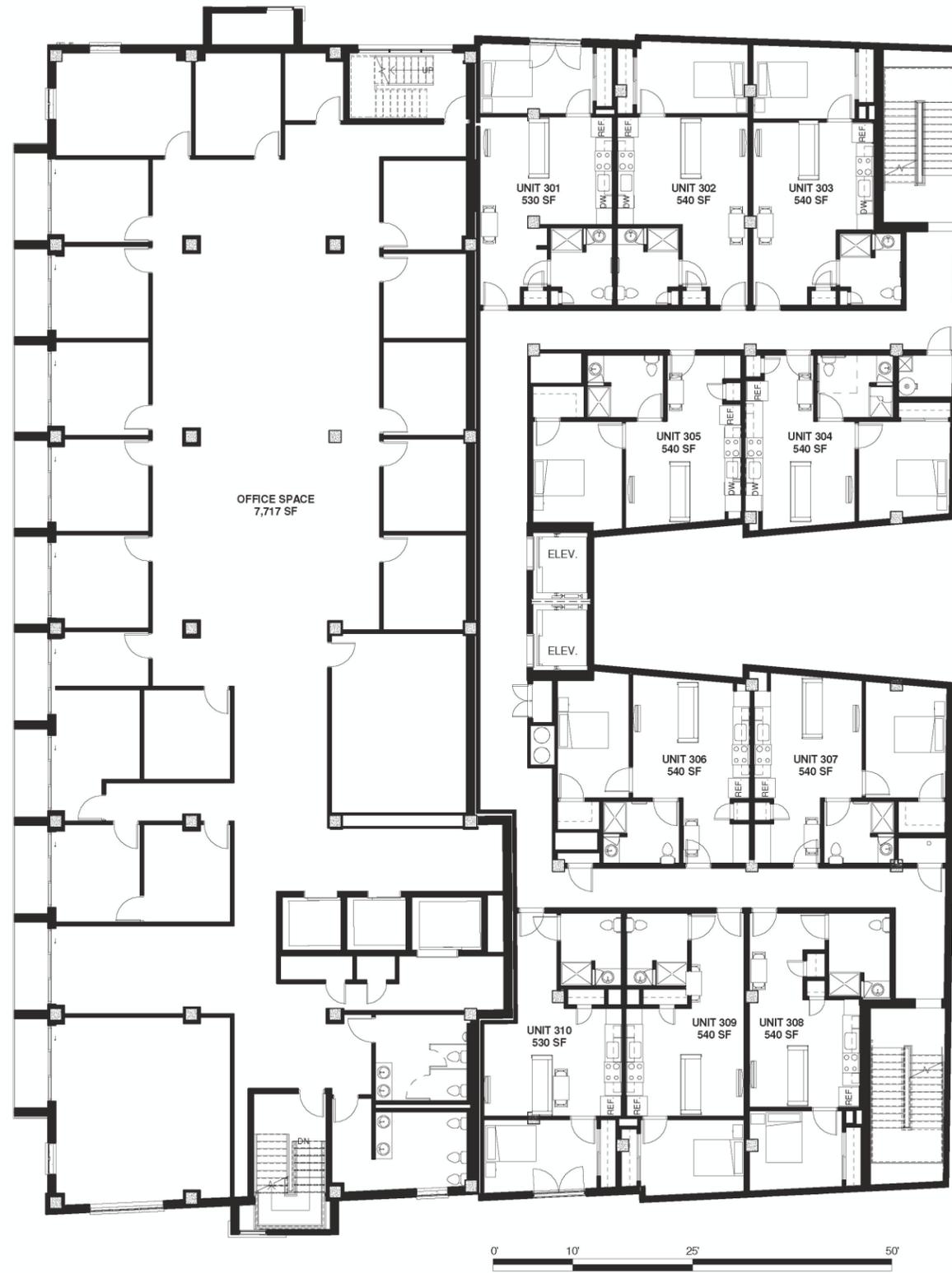
PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 2ND FLOOR

DRAWING NUMBER A3



PROPOSED 3RD LEVEL 7,717 SF

FUTURE 3RD LEVEL 7,712 SF

LA FRONTERA ARIZONA

WESTPOINT apartments

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PROPOSED NEW BUILDING FOR:

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PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 3RD FLOOR

DRAWING NUMBER A4



0' 10' 25' 50'

PROPOSED 4TH LEVEL 7,717 SF

FUTURE 4TH LEVEL 7,712 SF



LA FRONTERA
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REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 4TH FLOOR

DRAWING NUMBER A5



FUTURE 5TH LEVEL 7,712 SF



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CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 5TH FLOOR

DRAWING NUMBER A6





FUTURE 6TH LEVEL 7,712 SF



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REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

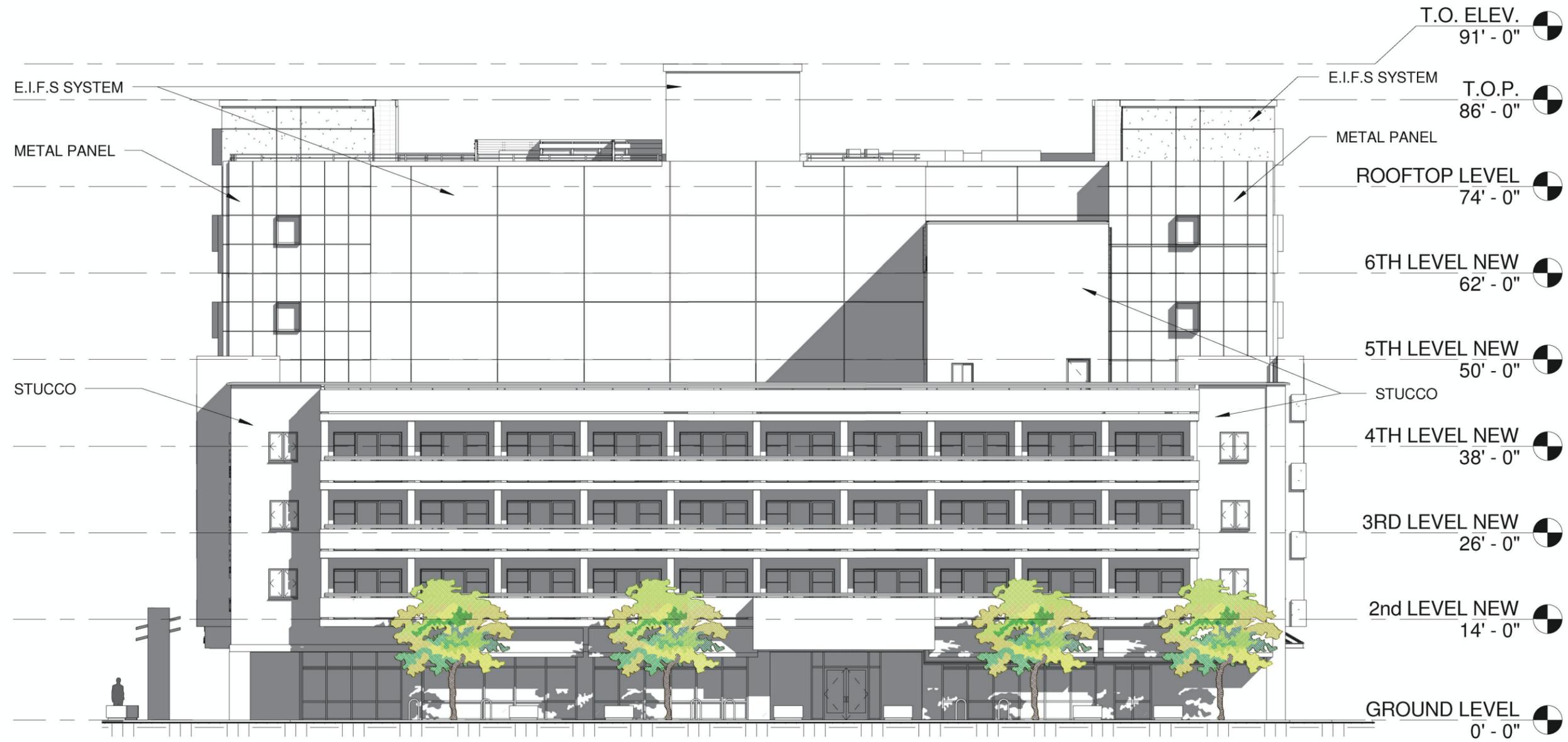
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DRAWING NUMBER A7



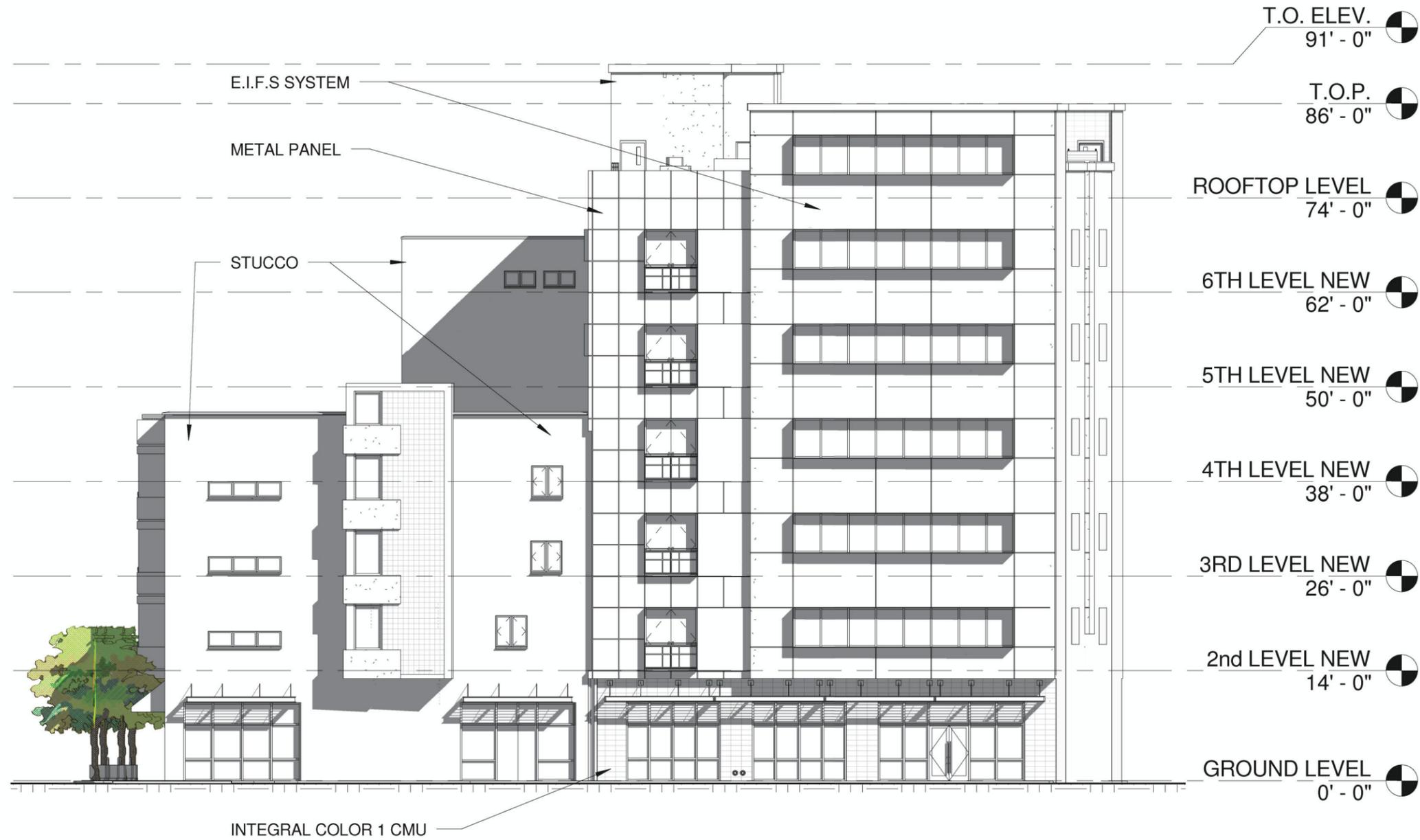
1 FUTURE NORTH ELEVATION
 IID.1 1/16" = 1'-0"



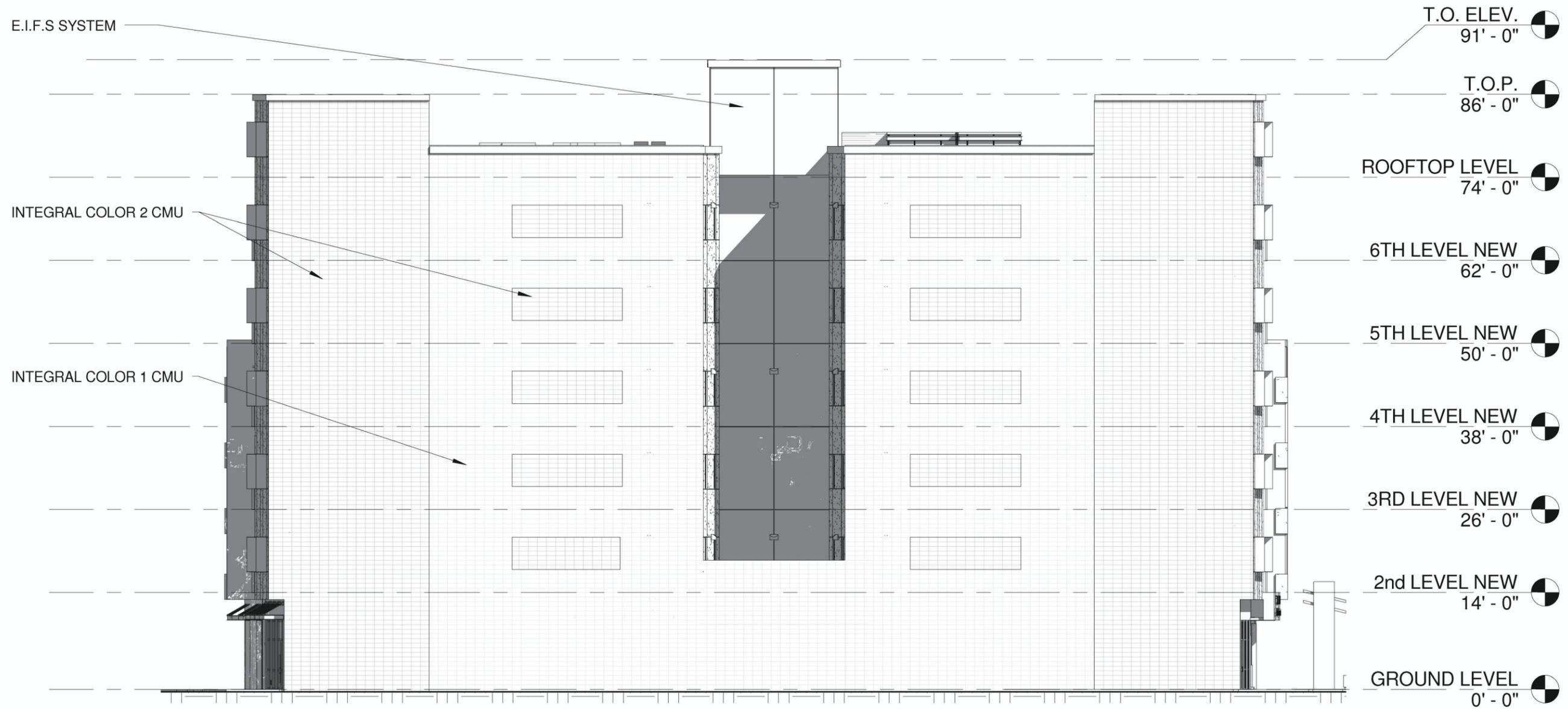


1 **FUTURE WEST ELEVATION**
 IID.4 1/16" = 1'-0"





1 **FUTURE SOUTH ELEVATION**
 IID.2 1/16" = 1'-0"



1 **FUTURE EAST ELEVATION**
 IID.3 1/16" = 1'-0"





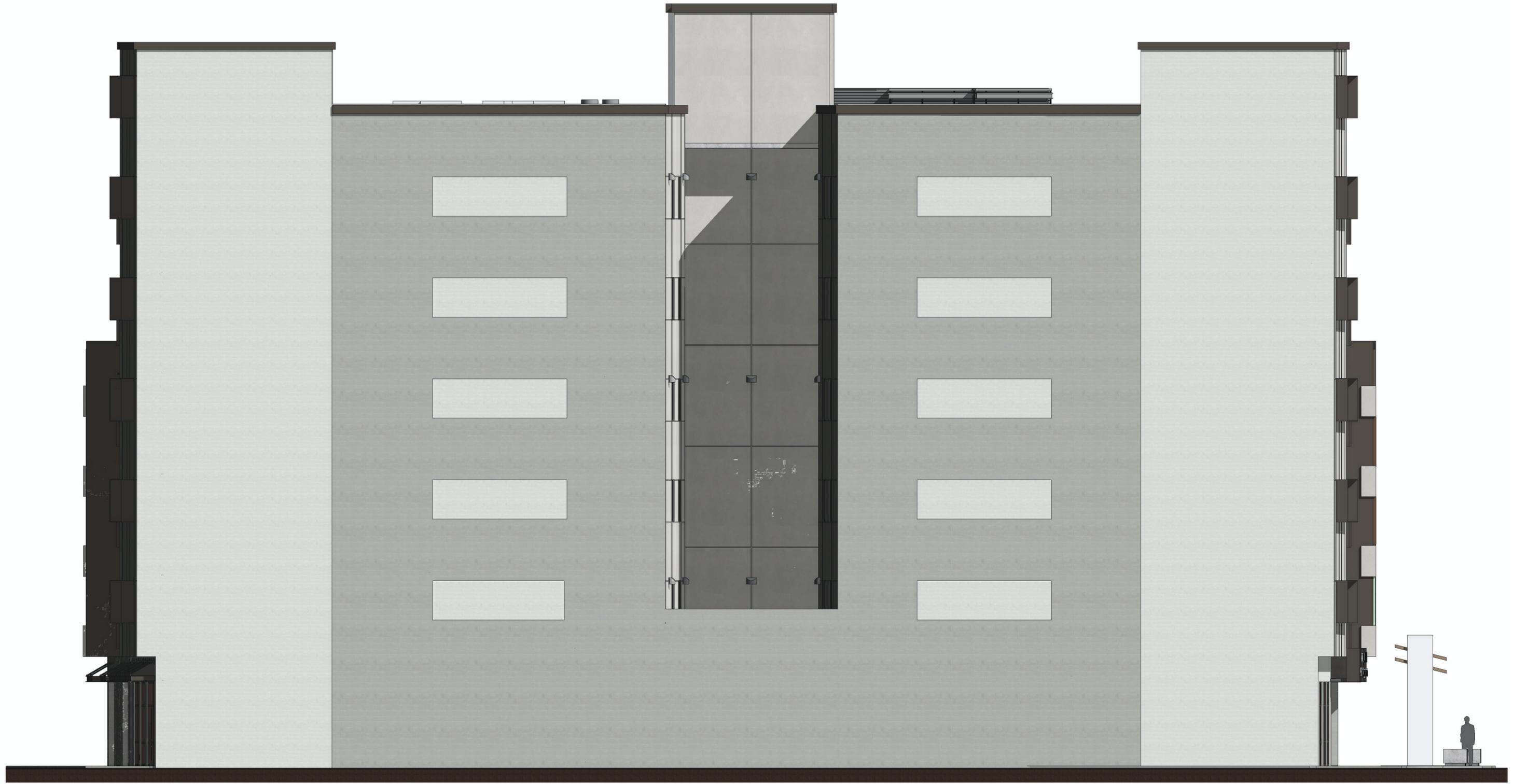
NORTH ELEVATION COLOR



WEST ELEVATION COLOR



SOUTH ELEVATION COLOR



EASTELEVATION COLOR

WEST POINTE APARTMENTS

RENDERING



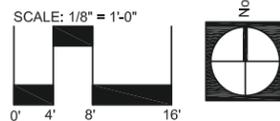
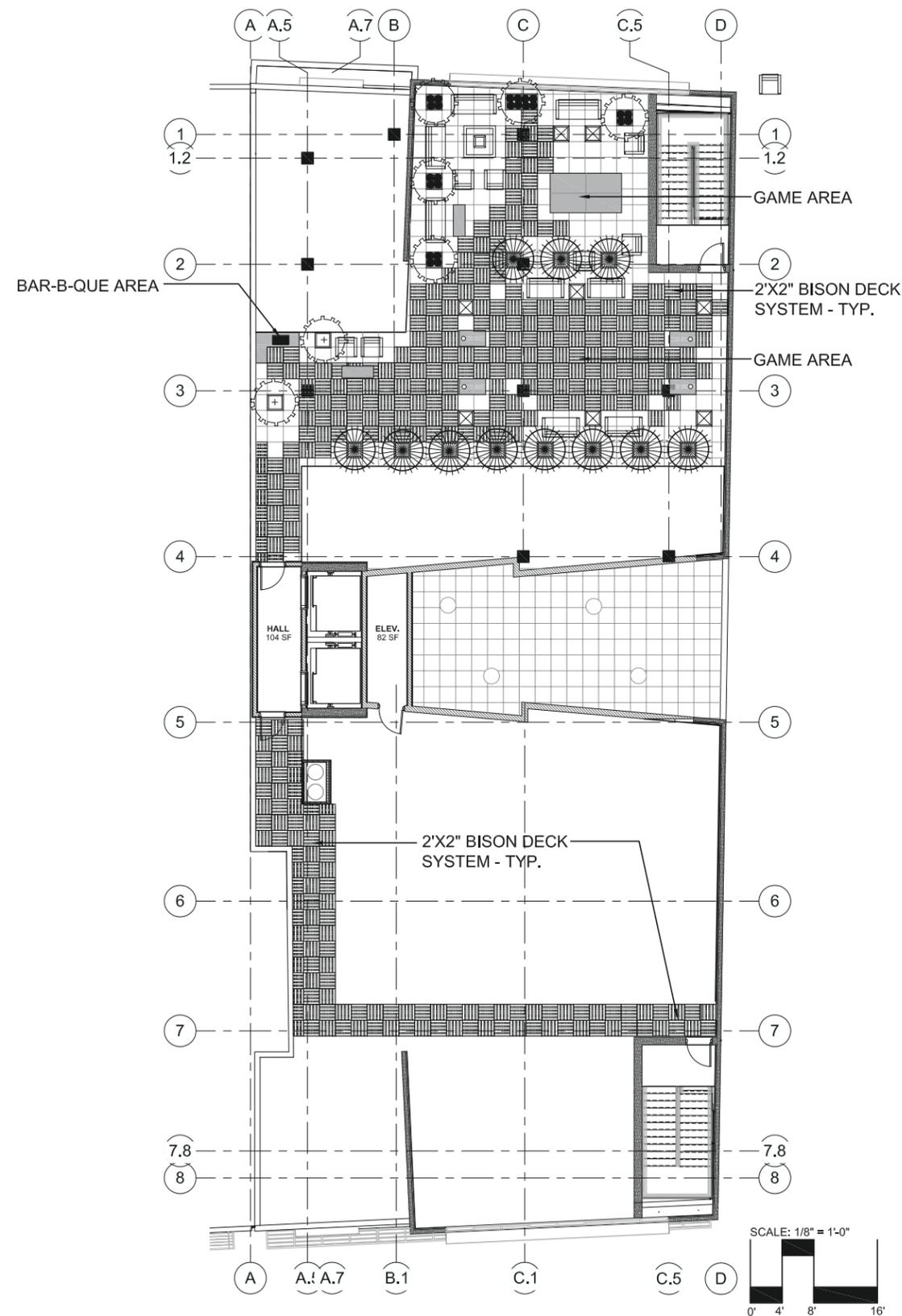
RENDERING (OPTION 2)



RENDERING (OPTION 3)



RENDERING (OPTION 1)



PRELIMINARY CONCEPT ROOF TOP GARDEN TERRACE

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PROJECT NO: 16-20

LA FRONTERA ARIZONA

WEST POINT apartments

DESIGN APPROVAL
OWNER/CLIENT: _____ DATE APPROVED: _____

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PROPOSED NEW BUILDING FOR:

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CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. **T16-10**

DATE **SEPTEMBER 29, 2016**

SCALE _____ DRAWN BY **Author**

DRAWING TITLE **Unnamed**

DRAWING NUMBER **L1.0**

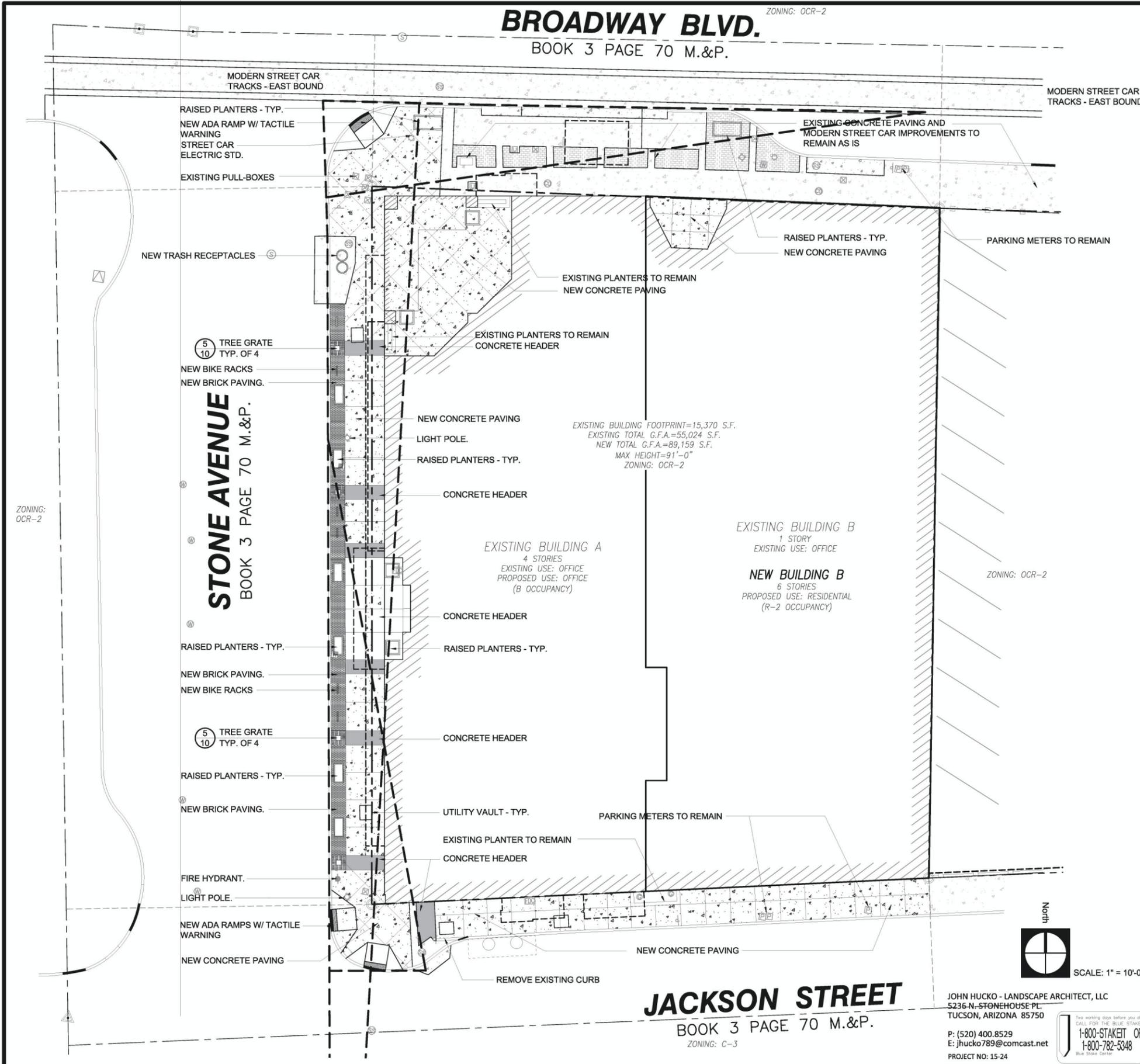


1 **FUTURE NORTH ELEVATION**
 IID.1 1/16" = 1'-0"

BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2



JACKSON STREET

BOOK 3 PAGE 70 M.&P.

ZONING: C-3

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HARDSCAPE PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE
PBSD APPROVAL

- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- SCZ
- FRZ
- HDZ
- WASH
- Other

DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

General Notes

- Concrete Paving - 4" depth with 8"x8" toe down at all planting areas/tree grates - Saw cut 1/4" wide x 1" depth score joints
- All paving - hard steel trowel finish with tsaw-cut joints
- Integral color concrete bands color Davis Color "Sandstone"
- Salvage and store two (2) existing trash receptacles for reuse - see plan for new location
- 6" X 6" concrete header below grade to support tree grate frame on 2 sides of grate. Anchor steel frame to existing curb and paving toe down to support steel grate frame. Refer to Mfg. tree grate frame dimension specifications for required dimensions
- Maintain 3" reveal against all paving/landscape areas to allow for 2" depth of decomposed granite
- Core drill curb - 3" Dia. Hole at finish asphalt grade at each of 4 tree grate locations. Angle hole slightly down into tree well for water harvesting.
- Install 12" Dia. x 24" deep sump under each raised planter. bring irrigation up through sump into planter box. backfill sump with pea gravel.

Site Elements

- Planters - 10 Total Quantity, 2- 3' X 6' X 24" High, 6- 2' X 4' X 24" High, 2- 2' X 2' X 24" High Standard Rectangle - Color Black with 2" Dia. drainage hole - Or Equal By: Old Town Fiberglass 714-633-3732 - oldtownfiberglass.com
- Trash Receptacles - 2 - Color Black www.victorstanley.com
- Bike Racks - 6 Total Model # BRWS - 101 In-Ground Mount - Color Black www.victorstanley.com
- Tree Grates - 4 Total Quantity IRONSMITH # 4804 - 48" X 48" - Cast Gray Iron - Or Equal With M4800F-4 Frame

IRONSMITH
800-338-4766
www.ironsmith.com

Paving Legend

- Existing Concrete
- New Concrete - Integral Color - Davis Color - Baja Red - 160
- Brick Pavers - 4" X 8" - Adobe Red
- Concrete Headers - Natural Gray Color
- Existing Brick Pavers

DP15-0208

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TUCSON, AZ 85701

REF NO'S.:

 Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508		18943 JOHN R. HUCKO REGISTERED PROFESSIONAL ENGINEER ARIZONA, U.S.A. EXPIRES 3/31/2018
Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A (up: 1"=10')	SHEET NUMBER: L1.0 Sheet 4 of 8	
THE WESTERNER TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ		

BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

EXIST 65.75' R.O.W.

STONE AVENUE
BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

4 - EXISTING OAK TREES TO REMAIN
MAINTAIN IRRIGATION TO TREES
THROUGHOUT CONSTRUCTION

EXISTING BUILDING FOOTPRINT=15,370 S.F.
EXISTING TOTAL G.F.A.=55,024 S.F.
NEW TOTAL G.F.A.=89,159 S.F.
MAX HEIGHT=91'-0"
ZONING: OCR-2

EXISTING BUILDING A
4 STORIES
EXISTING USE: OFFICE
PROPOSED USE: OFFICE
(B OCCUPANCY)

EXISTING BUILDING B
1 STORY
EXISTING USE: OFFICE

NEW BUILDING B
6 STORIES
PROPOSED USE: RESIDENTIAL
(R-2 OCCUPANCY)

ZONING: OCR-2

JACKSON STREET

BOOK 3 PAGE 70 M.&P.

ZONING: C-3

JOHN HUCKO - LANDSCAPE ARCHITECT, LLC
5236-N-STONEHOUSE PL.
TUCSON, ARIZONA 85750

P: (520) 400.8529
E: jhucko789@comcast.net
PROJECT NO: 15-24

SCALE: 1" = 10'-0"
Two working days before you dig
CALL FOR THE BLUE STAKES
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1-800-782-5348
Blue Stakes Center

GENERAL LANDSCAPE NOTES

- .38 Acre - 16,375 S.F. Parcel is zoned R-2 AND OCR-2
- Shrubs used to satisfy Landscape Border requirements will not be smaller than 5 gallon size. They will be aligned, grouped or clustered to provide interest and continuous screening at maturity.
- Plant materials will cover at least 50% of the area Landscape Borders not including canopy trees.
- Trees planted near sidewalks or curbs will be planted 5' away to prevent upheaval. Where 5' is not available, a root barrier will be used.
- Site visibility triangles: Materials within site visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finish grade. All shrub heights in SVT's shall be maintained below 30" and tree canopy's shall be maintained above 72" height
- All plant materials will be selected from the approved City of Tucson Plant List.
- An automatic drip irrigation system will be installed to irrigate all planting
- Any plant material in areas requiring landscaping that does not survive will be replaced with an equivalent size and species within 30 days.
- Landscape maintenance will be provided including watering, pruning, mulching, weeding, and fertilizing. Per the Unified Development Code all required landscaping, irrigation and site improvements will be maintained. The property owner is responsible for proper and adequate landscaping as required by the UDC.
- Grading Limits:
The entire site is previously been developed.
- The majority of this Multi-Use development is comprised of residential housing. Therefore the Commercial Rainwater Harvesting requirements do not apply. Rainwater will be harvested from the building roof and directed to landscape areas if possible.

ROW STANDARD PLANTING NOTES

- It is the owners responsibility to keep the Site Visibility Triangles (SVT) and the pedestrian access area clear of vegetation at all times, per Unified Development Code(UDC) section.
- Final plant locations must be in compliance with all utility setback requirements.
- the owner understands that if the City of Tucson Transportation Dept. or any utility company needs to work within the ROW in the landscape area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right Of Way excavation permit prior to construction within the right of way.

LANDSCAPE NOTES

- Backfill mix for Raised planter boxes and at grade planters adjacent building shall consist of 50% screened topsoil and 50% GRO-WELL Brand Organic Compost. Install 6" pea-gravel layer with filter fabric as drainage layer in raised planter boxes
- Topdress planters above with rock mulch.

PLANT LEGEND

PLANT SYMBOL BOTANICAL NAME COMMON NAME: SIZE: QTY

TREES:

	Quercus virginiana Heritage Live Oak	Existing	4
---	---	----------	---

SHRUBS & GROUNDCOVERS:

	Pedilanthus macrocarpus Lady slipper	5 Gal.	xx
	Lantana Gold Lantana	1 Gal.	xx
	Pachycereus marginatus Mexican Fence Post Cacti Multi-trunk - Min. 3 trunks - 5'tall	15" Gal.	xx
	Plants In Raised Planters - TBD	5 Gal. & 1 Gal.	

INERT MATERIALS

DG Decomposed Granite -
1/2" Minus - 2" Depth
Color - "Apache Brown"
RM Rock Mulch 1"-3"
Fractured Rock 3"
Depth
Color - "Apache Brown"

LANDSCAPE PLAN

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

REF NO'S.:

DP15-0208

COT ADMINISTRATIVE ADDRESS:
10 E. BROADWAY
TUCSON, AZ 85701

 GREINER ENGINEERING, INC. Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508	Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A Sheet Number: 5 of 8
	EXPIRES 3/31/2018 JOHN R. HUCKO PROFESSIONAL ENGINEER ARIZONA, U.S.A.
CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL <input type="checkbox"/> Site/Dev Plan <input type="checkbox"/> SCZ <input type="checkbox"/> Tentative Plat <input type="checkbox"/> FRZ <input type="checkbox"/> Grading <input type="checkbox"/> HDZ <input type="checkbox"/> SWPPP <input type="checkbox"/> WASH <input type="checkbox"/> FUP <input type="checkbox"/> Other DVPKG MGR Date Zoning Date Engineering Date H/C Site Date Fire Date Landscape Date PL/ME Date Revision # <input type="checkbox"/> per letter in SIRE	
SITE PLAN DEVELOPMENT PACKAGE THE WESTERNER TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ L2.0	

BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

ZONING: OCR-2

STONE AVENUE

BOOK 3 PAGE 70 M.&P.

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EXISTING TOTAL G.F.A.=55,024 S.F.
NEW TOTAL G.F.A.=89,159 S.F.
MAX HEIGHT=91'-0"
ZONING: OCR-2

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EXISTING USE: OFFICE
PROPOSED USE: OFFICE
(B OCCUPANCY)

EXISTING BUILDING B
1 STORY
EXISTING USE: OFFICE

NEW BUILDING B
6 STORIES
PROPOSED USE: RESIDENTIAL
(R-2 OCCUPANCY)

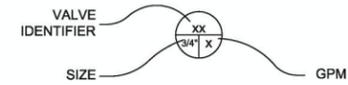
IRRIGATION POC - EXISTING HOSE BIB

IRRIGATION CONTROLLER

IRRIGATION BACKFLOW PREVENTER
LOCATION TO BE FIELD VERIFIED

IRRIGATION LEGEND

Symbol	Manufacturer	Description
	Water Meter	Irrigation P.O.C
	Hunter	X-CORE -XC-4 Outdoor Model - Wall Mount
	Febco	3/4" -Reduced Pressure Backflow Preventer, Febco 825Y With Tan Guardshack enclosure
	Rain Bird	XCZ-075-PRF - 3/4" Low Flow Control Zone Kit
	SCH. 40 PVC	3/4" Mainline -
	SCH. 40 PVC	2"-4" Sleeve.
	SCH. 40 PVC	Lateral line - 3/4" -
	SCH. 40 PVC	3/4" SCH. 40 PVC - Pipe Drip Lateral w/ Rain Bug XBT-20-6 Multi-outlet Emitter @ 1 GPH each
	SCH. 40 PVC	Outlet XBT-20 Single-outlet Emitter @ 1 GPH w/ XQ 1/4" Distribution Tubing, 2 GPH per Shrub or Groundcover, 8 GPH per Tree
		In-Line Drip Tubing - Rain Bird XFS-06-12 - 6 GPH
	Lasco	AP-075 - 3/4" Hose End Flush Cap.



IRRIGATION NOTES

- Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
- The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
- Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried.
- Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
- Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.
- Contractor shall apply for Reduced Pressure Backflow Preventer permit from Backflow Prevention Department.
- The irrigation system design is based on a minimum operating static water pressure of 50 PSI. Any discrepancy shall be reported to the owner immediately.
- Sleeve all irrigation lines under concrete including all drip laterals and lateral lines.

DP15-0208

COT ADMINISTRATIVE ADDRESS:
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TUCSON, AZ 85701

REF NO'S.:

IRRIGATION PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL

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<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	per letter in SIRE

North



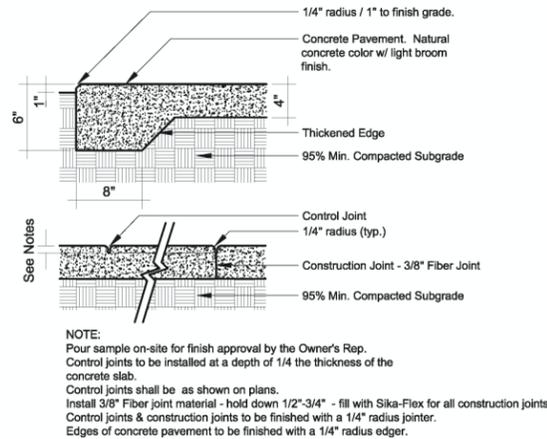
SCALE: 1" = 10'-0"

JOHN HUCKO - LANDSCAPE ARCHITECT, LLC
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TUCSON, ARIZONA 85750

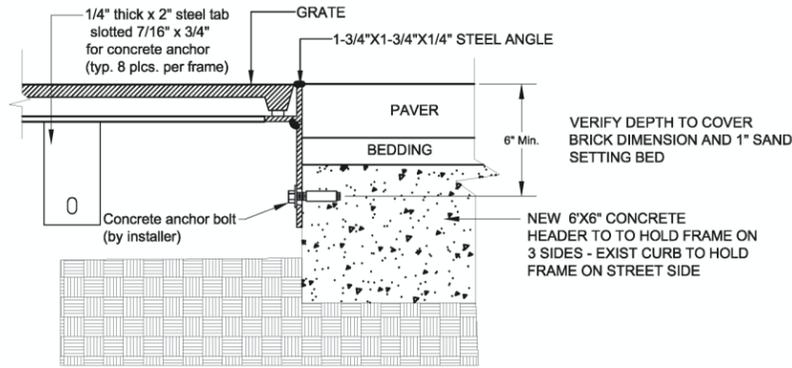
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E: jhucko789@comcast.net
PROJECT NO: 15-24

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Blue Stakes Online

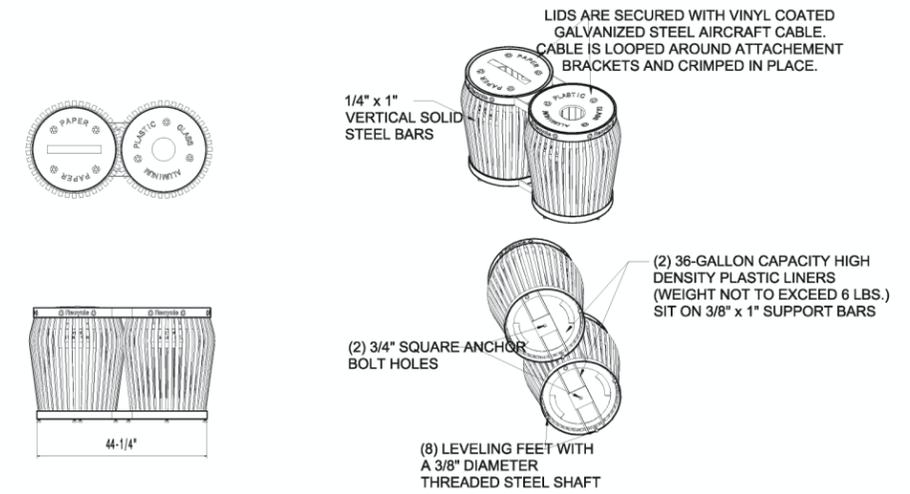
 Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508		 18943 JOHN R. HUCKO EXPIRES 3/31/2018
SITE PLAN DEVELOPMENT PACKAGE		Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A Sheet Number:
THE WESTERNER TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ		L3.0 Sheet 8 of 8



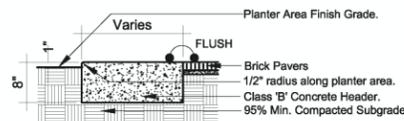
1 CONCRETE PAVEMENT
NTS



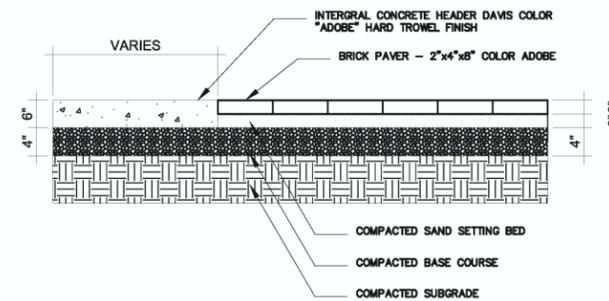
5 SECTION TREE GRATE FRAME
INSTALLATION WITH CONTINUOUS STEEL SKIRT FOR PAVERS BOLT ON FOR RETROFIT APPLICATIONS
NTS



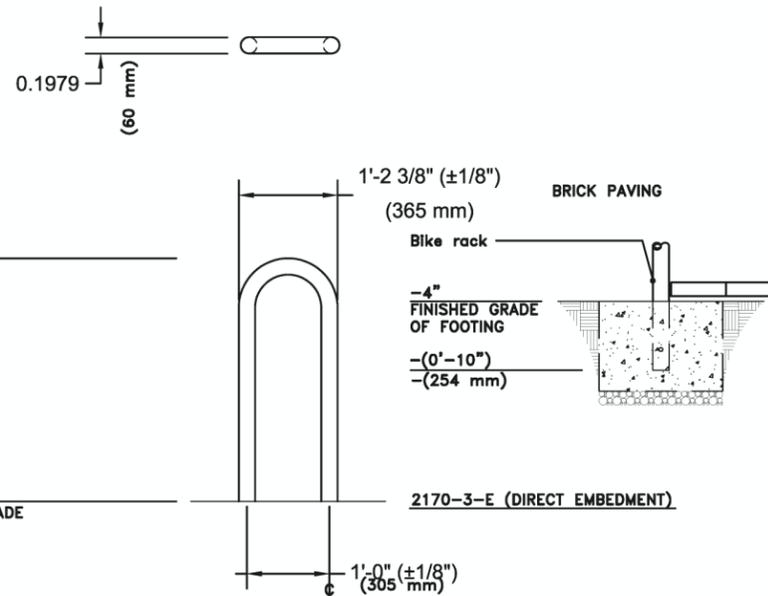
7 TRASH RECEPTACLE
NTS
P.O. DRAWER 330 - DUNKIRK, MD 20754 USA
TOLL FREE: (800) 368-2573 (USA & CANADA)
TEL (301) 855-8300 - FAX (410) 257-7579
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM
PATENTS PENDING



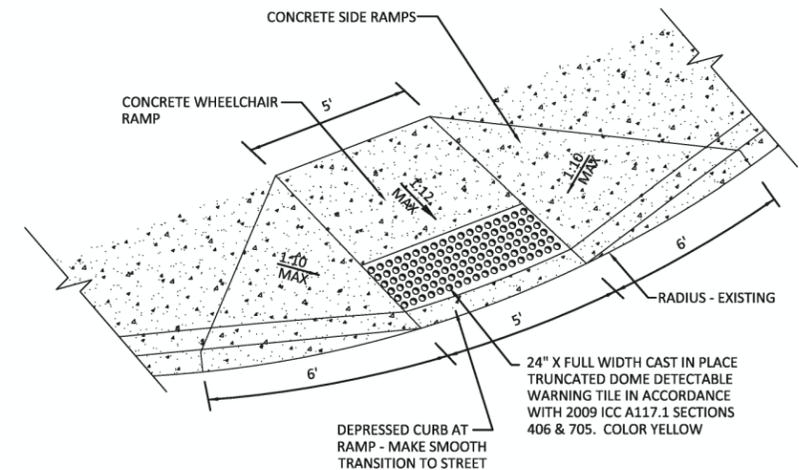
2 CONCRETE HEADER
NTS



4 BRICK PAVING/CONCRETE HEADER
NTS



6 BIKE RACK
NTS



8 ACCESSIBLE RAMP
NTS

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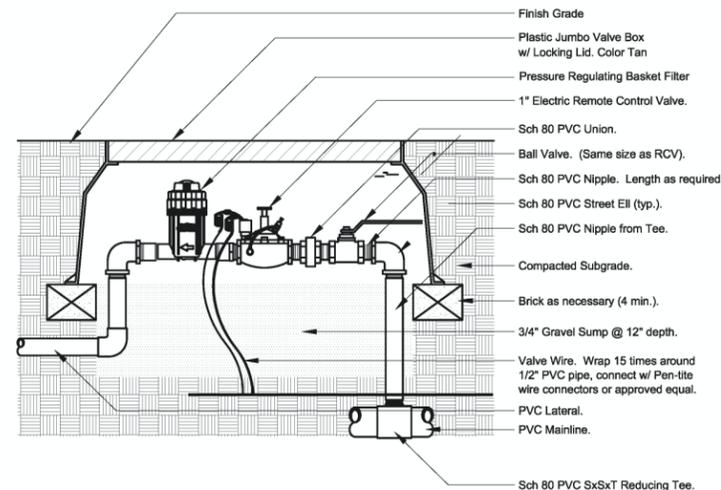
HARDSCAPE DETAILS

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
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DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

REF NO'S.:

DP15-0208
COT ADMINISTRATIVE ADDRESS:
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TUCSON, AZ 85701

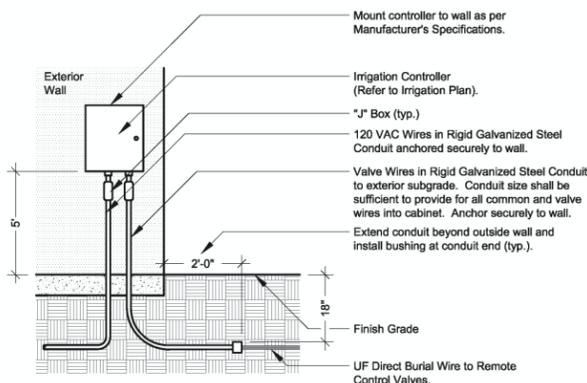
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Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A Plot: 1"=10'	SHEET NUMBER: L4.0 Sheet 7 of 8	



NOTES:
Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around piping and valve box to same density as undisturbed soil.
Refer to Specifications for piping material.

1 REMOTE CONTROL VALVE WITH FILTER - DRIP

NTS



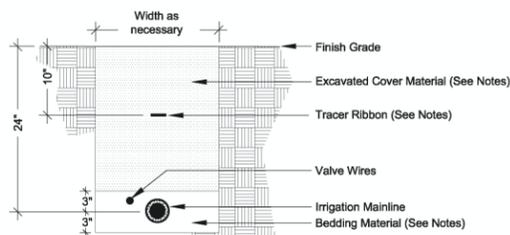
NOTES:
All wiring to be installed as per City Code.
Refer to Electrical Plans for location and power source.

2 WALL-MOUNTED IRRIGATION CONTROLLER

NTS



LATERAL TRENCH

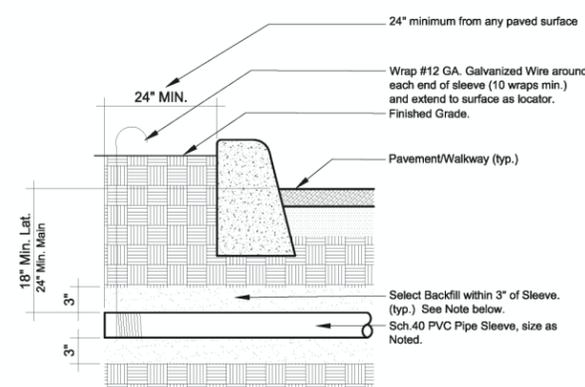


MAINLINE TRENCH

All mainlines to be installed in accordance with manufacturer's Specifications.
All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal.
Bundle and tape wiring at 10 foot intervals.
Valve wires to be installed within mainline trench wherever possible.
Bedding material shall be 1/4" minus sand, and shall be 3 inches below mainline and 3 inches above mainline.
Excavated cover material shall be free from debris and rocks 1/2 inch or greater.
Install Tracer Ribbon in all mainline trenches including quick coupler lines.
(See Specifications).

3 TRENCHING DETAIL

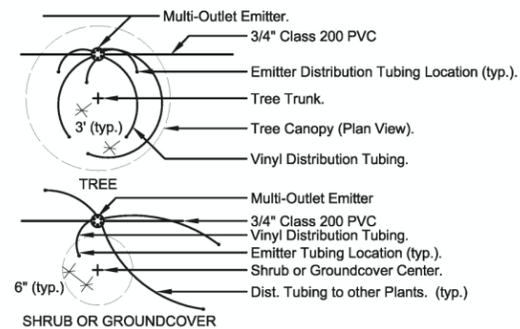
NTS



NOTE:
Backfill within 3" of sleeve shall be free of rocks and stones larger than 1/2" Dia. If rock cannot be removed from excavated soil, provide clean sand bedding.

4 PIPE SLEEVING

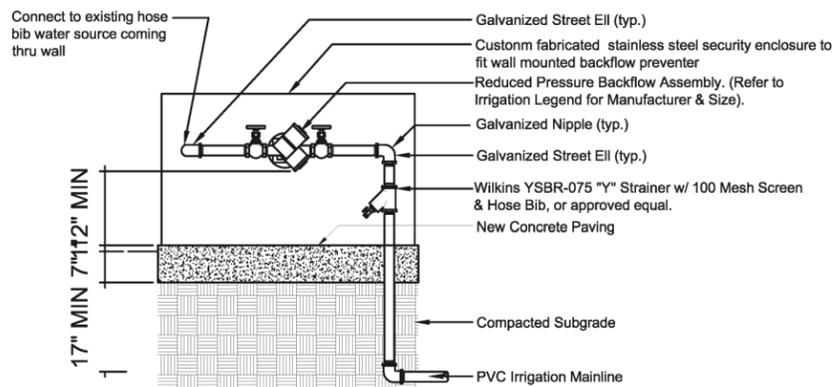
NTS



NOTES:
Refer to Irrigation Key for Manufacturer.

5 EMITTER PLACEMENT

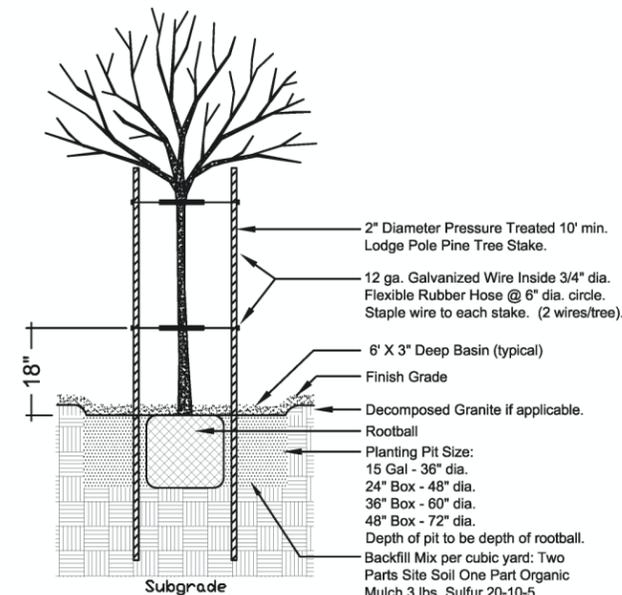
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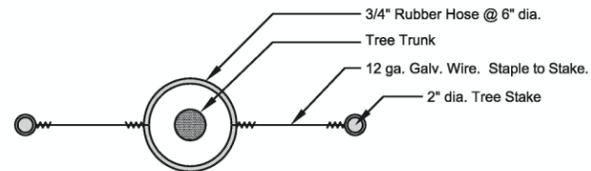
NOTES:
Supply keyed padlock, Master Lock Model #957 w/ two keys, or approved equal, for locking security enclosure.

6 REDUCED PRESSURE TYPE BACKFLOW PREVENTER

NTS



Subgrade

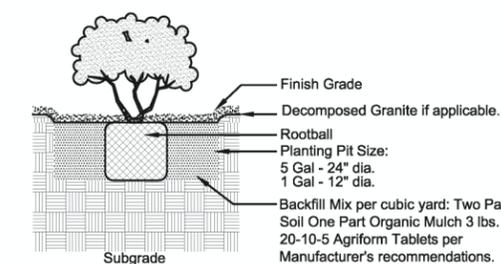


DETAIL PLAN OF HOSE AND WIRE

NOTE:
See Specifications for application of FeRROMEC AC Liquid Iron to all trees.
Plant pit to be to the depth of the rootball, typical.

7 SINGLE TRUNK TREE PLANTING

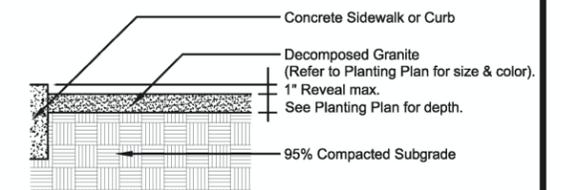
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NOTE: Plant pit to be to the depth of the rootball, typical.

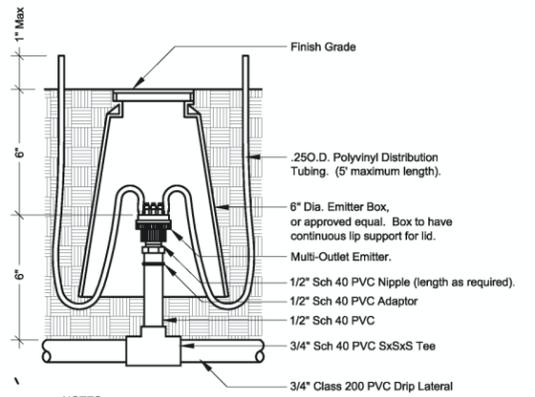
8 SHRUB PLANTING

NTS



9 SCREENED ROCK / DECOMPOSED GRANITE

NTS



NOTES:
Compact soil around emitter assembly to same density as undisturbed soil.

9 EMITTER INSTALLATION

NTS

LANDSCAPE DETAILS	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR	Date
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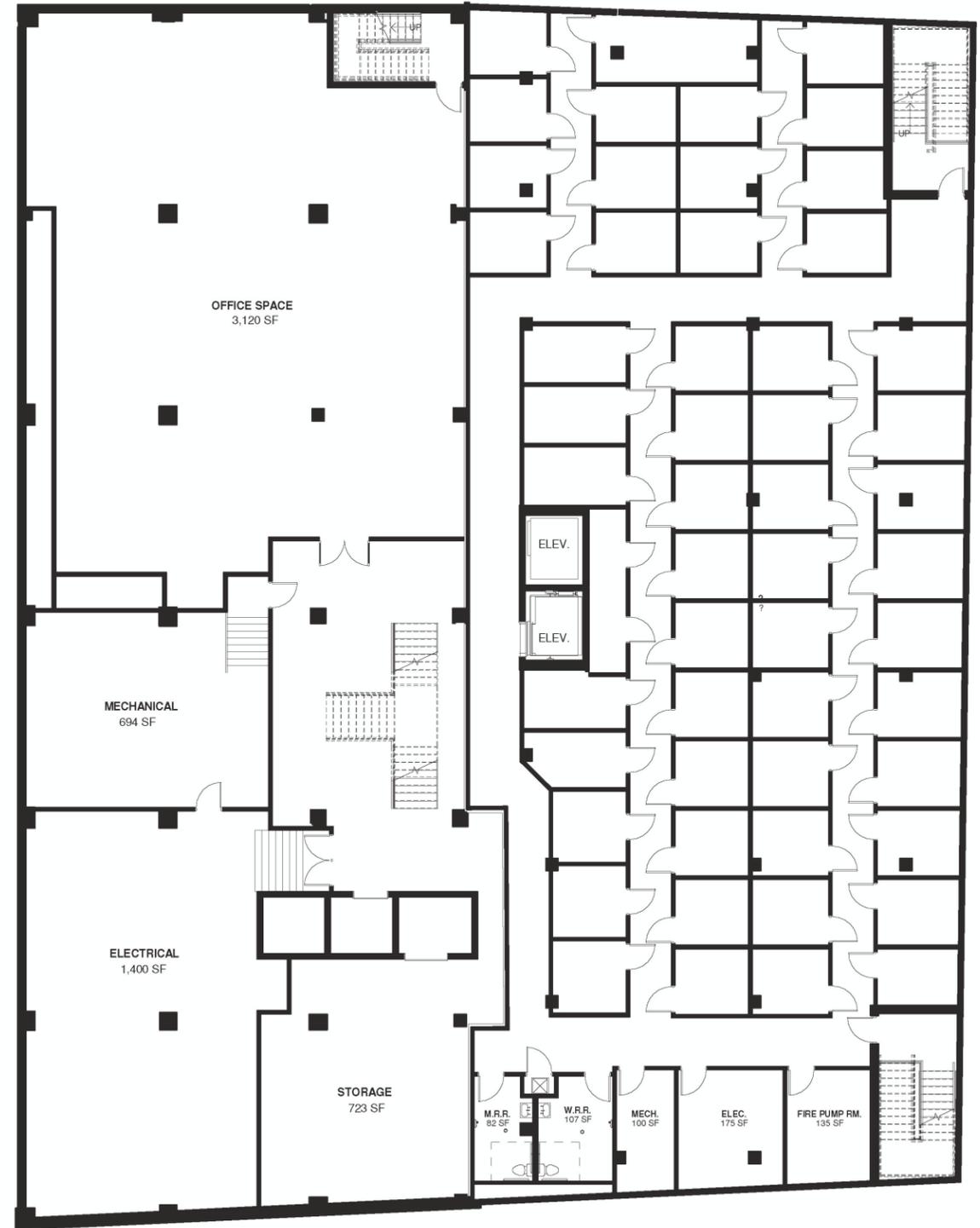
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Sheet 8 of 8



PROPOSED BASEMENT LEVEL 7,931 SF

FUTURE BASEMENT LEVEL 8,343 SF



DESIGN APPROVAL
OWNER CLIENT: _____ DATE APPROVED: _____

**PRELIMINARY
NOT FOR
CONSTRUCTION**



**carhuff+cueva
architects, llc**

3149 e prince rd #151
tucson, arizona 85716
phone 520.577.4560
www.cca-az.com

PROPOSED NEW BUILDING FOR:

WEST POINT APARTMENTS
10 E. BROADWAY
TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

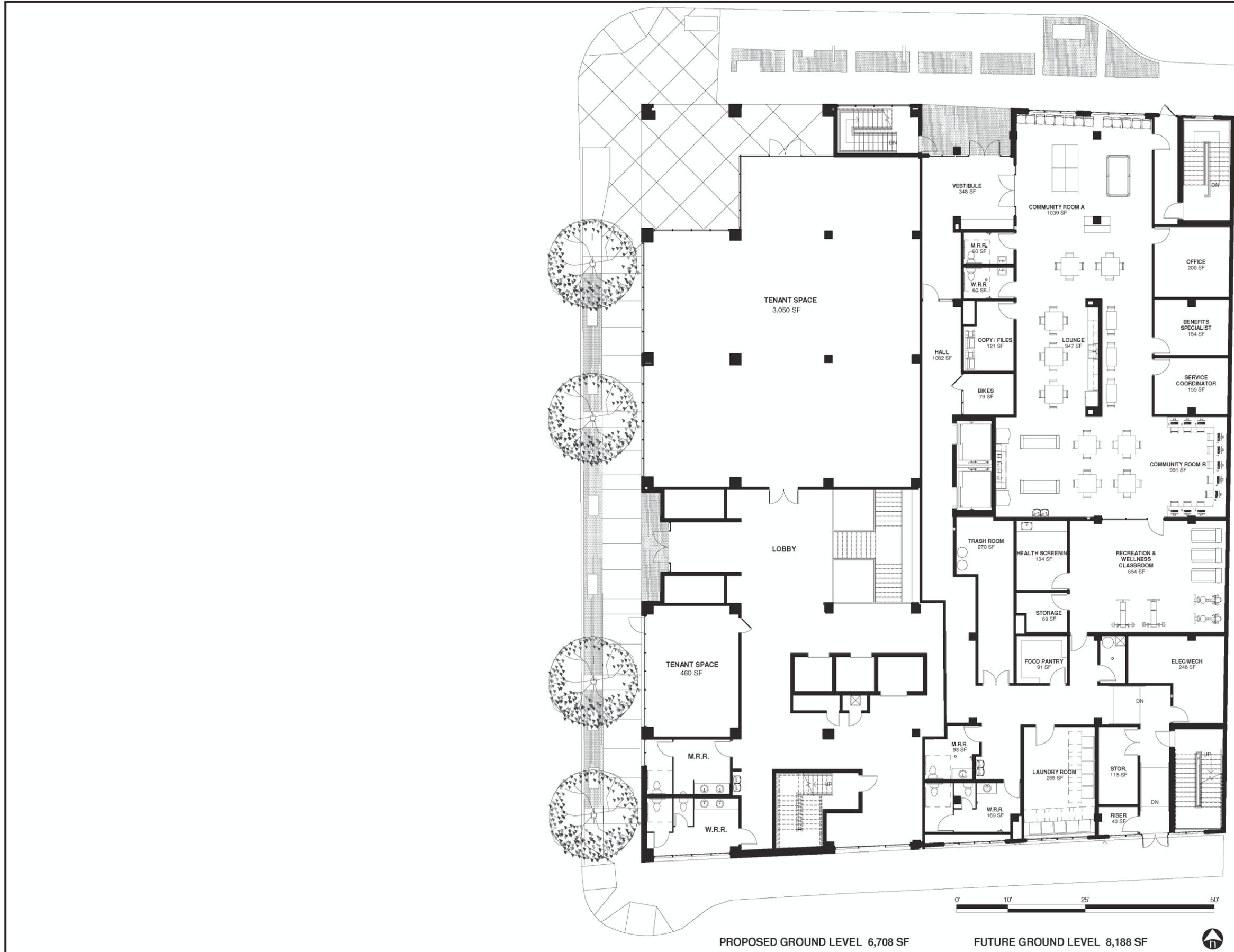
DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY Author

DRAWING TITLE
BASEMENT LEVEL

DRAWING NUMBER
A1

9/29/2016 11:21:50 AM



LA FRONTERA ARIZONA

WESTPOINT apartments

DESIGN APPROVAL
OWNER CLIENT: _____ DATE APPROVED: _____

PRELIMINARY NOT FOR CONSTRUCTION

carhuff+cueva architects, llc
3149 e prince rd #151
tucson, arizona 85716
phone 520.577.4560
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TUCSON, AZ 85701

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REVISION	DATE	DESCRIPTION	BY

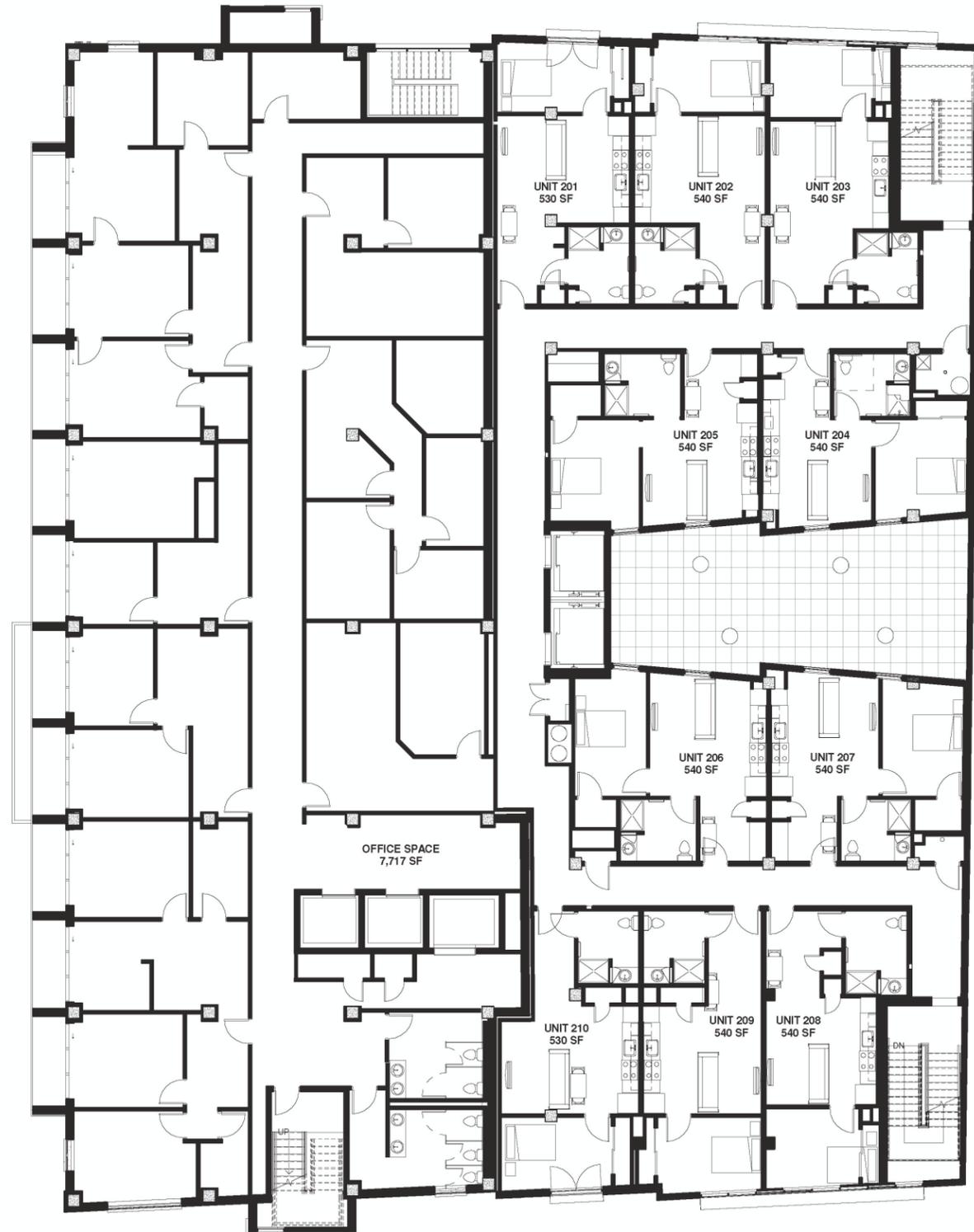
PROJECT NO. **T16-10**

DATE **SEPTEMBER 29, 2016**

SCALE **1/8" = 1'-0"** DRAWN BY **VHG**

DRAWING TITLE **GROUND LEVEL**

DRAWING NUMBER **A2**



PROPOSED 2ND LEVEL 7,712 SF

FUTURE 2ND LEVEL 7,712 SF



LA FRONTERA ARIZONA

WESTPOINT apartments

DESIGN APPROVAL

OWNER/CLIENT:	DATE APPROVED:
---------------	----------------

PRELIMINARY
NOT FOR
CONSTRUCTION



carhuff+cueva architects, llc

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tucson, arizona 85716
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PROPOSED NEW BUILDING FOR:

WEST POINT APARTMENTS

10 E. BROADWAY
TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

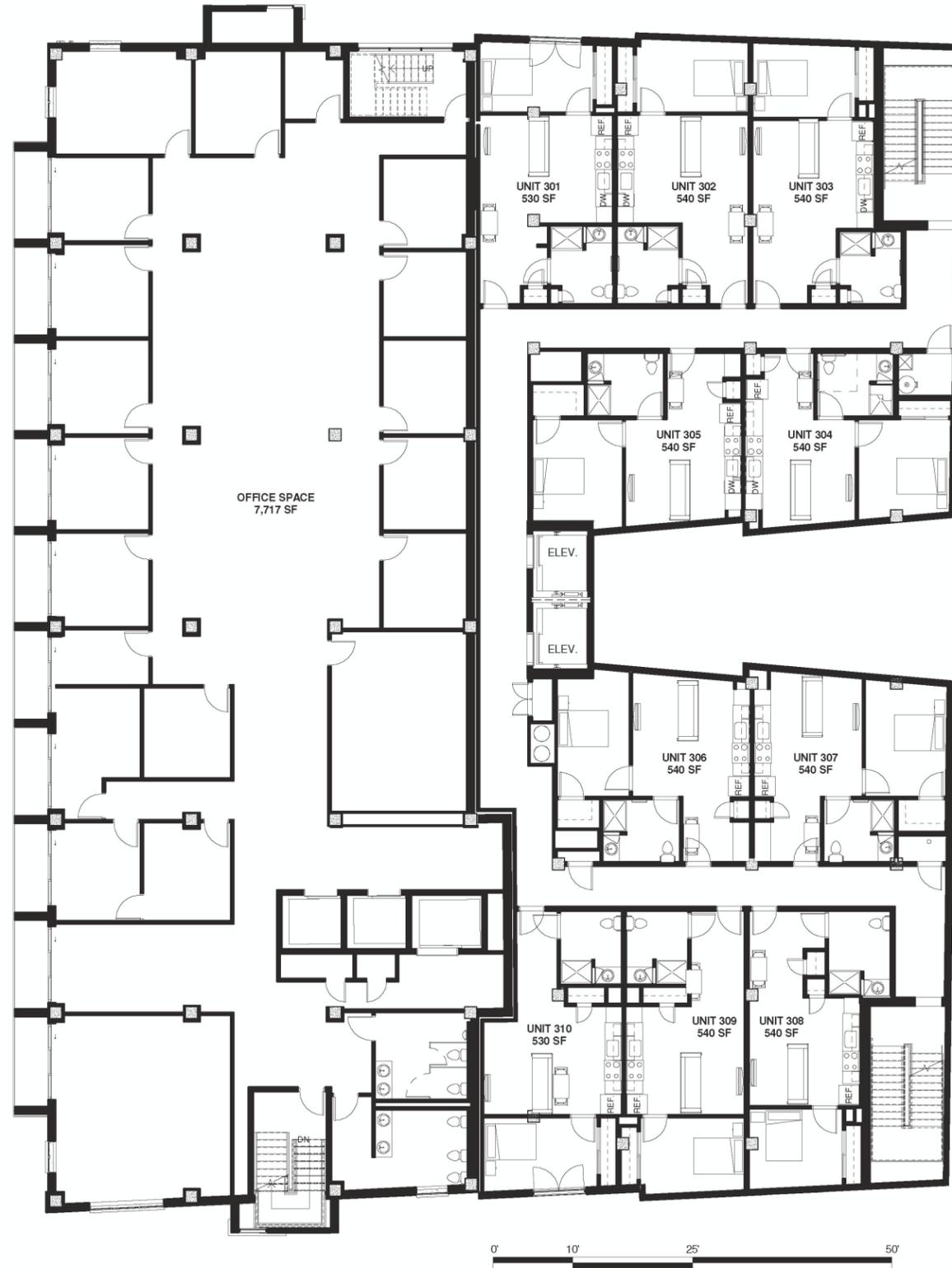
PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 2ND FLOOR

DRAWING NUMBER A3



PROPOSED 3RD LEVEL 7,717 SF

FUTURE 3RD LEVEL 7,712 SF

LA FRONTERA ARIZONA

WEST POINT apartments

DESIGN APPROVAL

OWNER/CLIENT:	DATE APPROVED:

PRELIMINARY
NOT FOR
CONSTRUCTION



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10 E. BROADWAY
TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 3RD FLOOR

DRAWING NUMBER A4



PROPOSED 4TH LEVEL 7,717 SF

FUTURE 4TH LEVEL 7,712 SF

LA FRONTERA ARIZONA

WESTPOINT apartments

DESIGN APPROVAL

OWNER/CLIENT: _____ DATE APPROVED: _____

PRELIMINARY
NOT FOR
CONSTRUCTION



carhuff+cueva architects, llc

3149 e prince rd #151
tucson, arizona 85716
phone 520.577.4560
www.cca-az.com

PROPOSED NEW BUILDING FOR:

WEST POINT APARTMENTS

10 E. BROADWAY
TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 4TH FLOOR

DRAWING NUMBER A5



FUTURE 5TH LEVEL 7,712 SF



LA FRONTERA
ARIZONA

WESTPOINT
apartments

DESIGN APPROVAL

OWNER CLIENT: _____ DATE APPROVED: _____

PRELIMINARY
NOT FOR
CONSTRUCTION



carhuff+cueva
architects, llc

3149 e prince rd #151
tucson, arizona 85716
phone 520.577.4560
www.cca-az.com

PROPOSED NEW BUILDING FOR:

WEST POINT APARTMENTS

10 E. BROADWAY
TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

SCALE 1/8" = 1'-0" DRAWN BY VHG

DRAWING TITLE 5TH FLOOR

DRAWING NUMBER A6





FUTURE 6TH LEVEL 7,712 SF



LA FRONTERA
ARIZONA

WESTPOINT
apartments

DESIGN APPROVAL

OWNER/CLIENT:	DATE APPROVED:

PRELIMINARY
NOT FOR
CONSTRUCTION



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PROPOSED NEW BUILDING FOR:

WEST POINT APARTMENTS
10 E. BROADWAY
TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

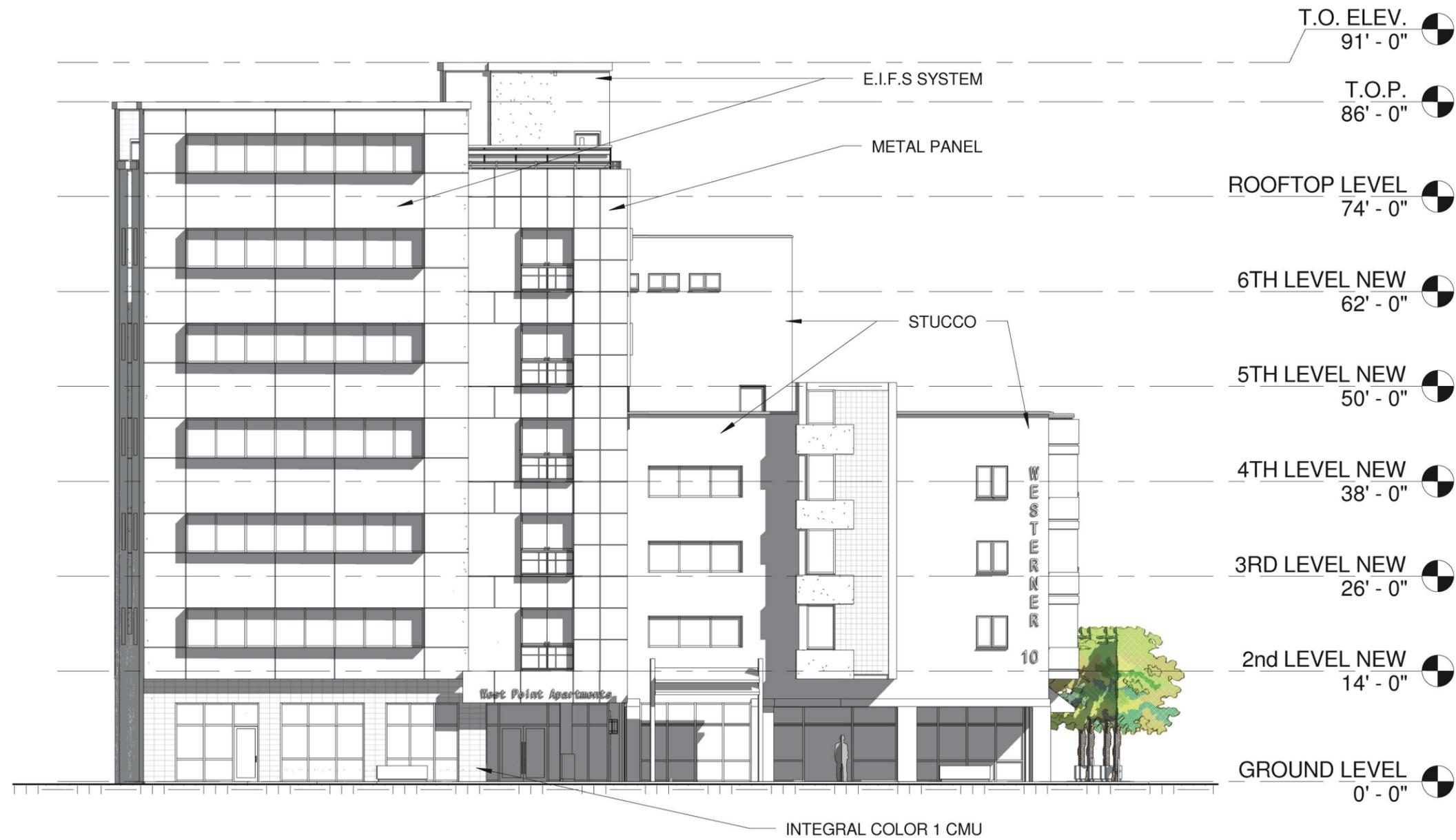
PROJECT NO. T16-10

DATE SEPTEMBER 29, 2016

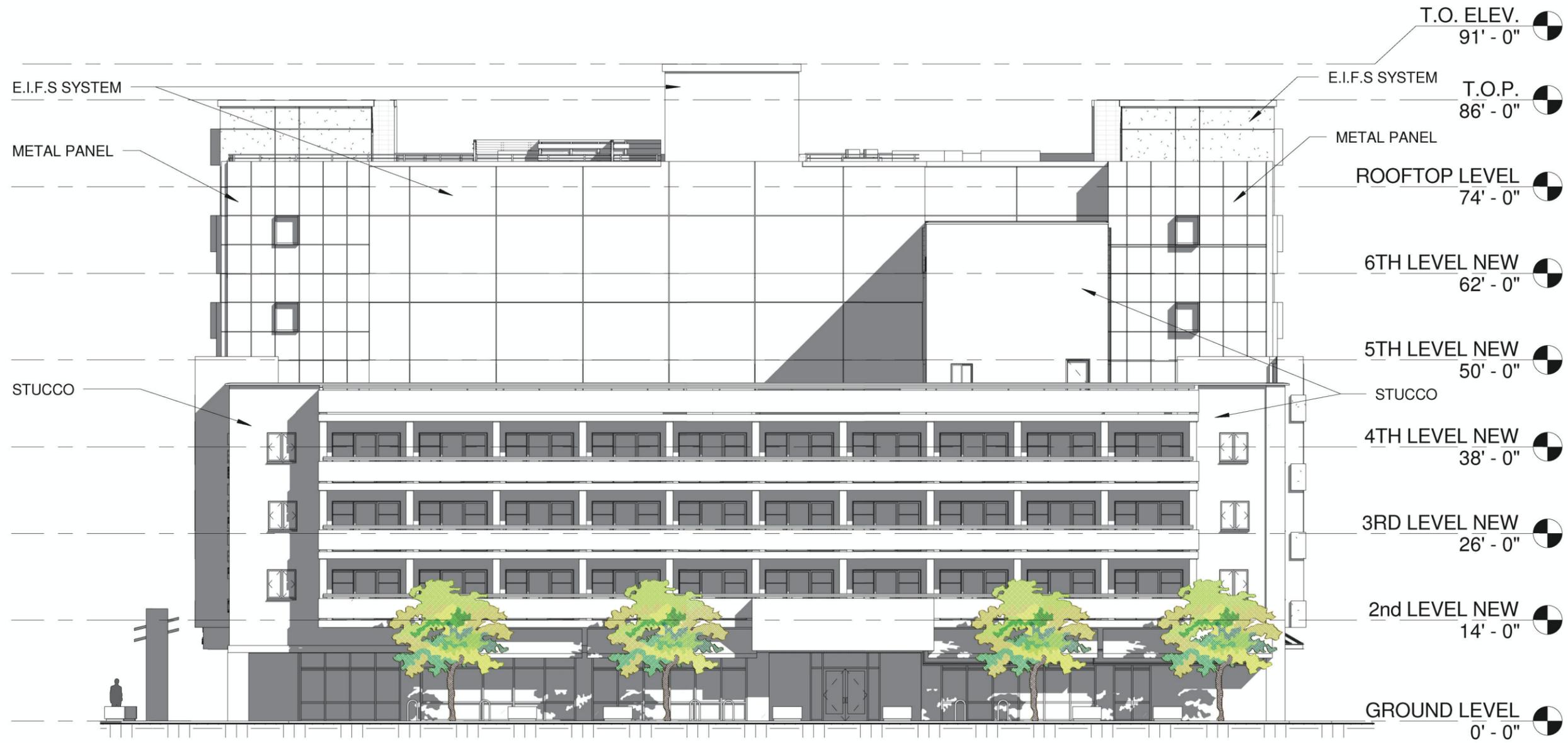
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DRAWING TITLE 6TH FLOOR

DRAWING NUMBER A7

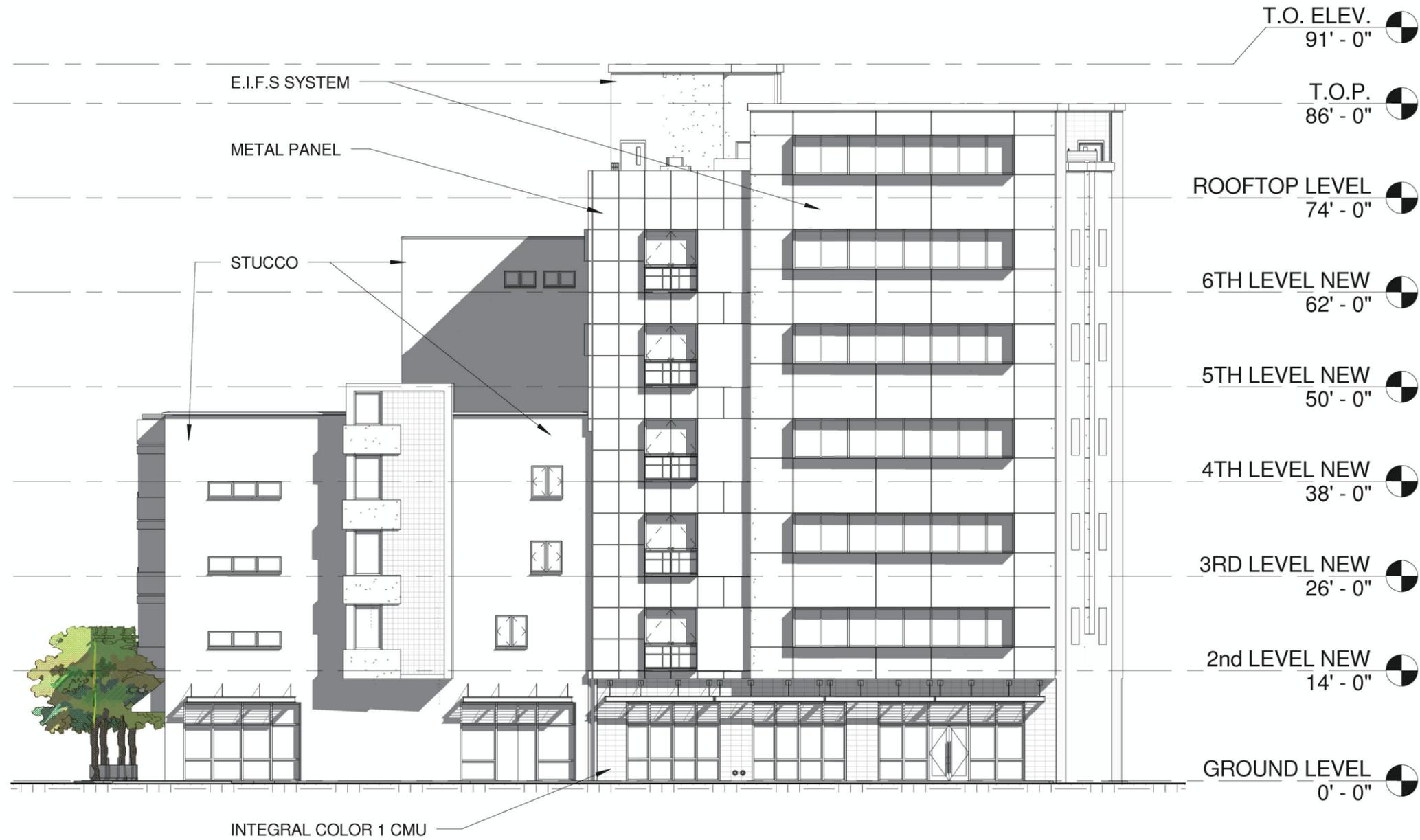


1 **FUTURE NORTH ELEVATION**
 IID.1 1/16" = 1'-0"

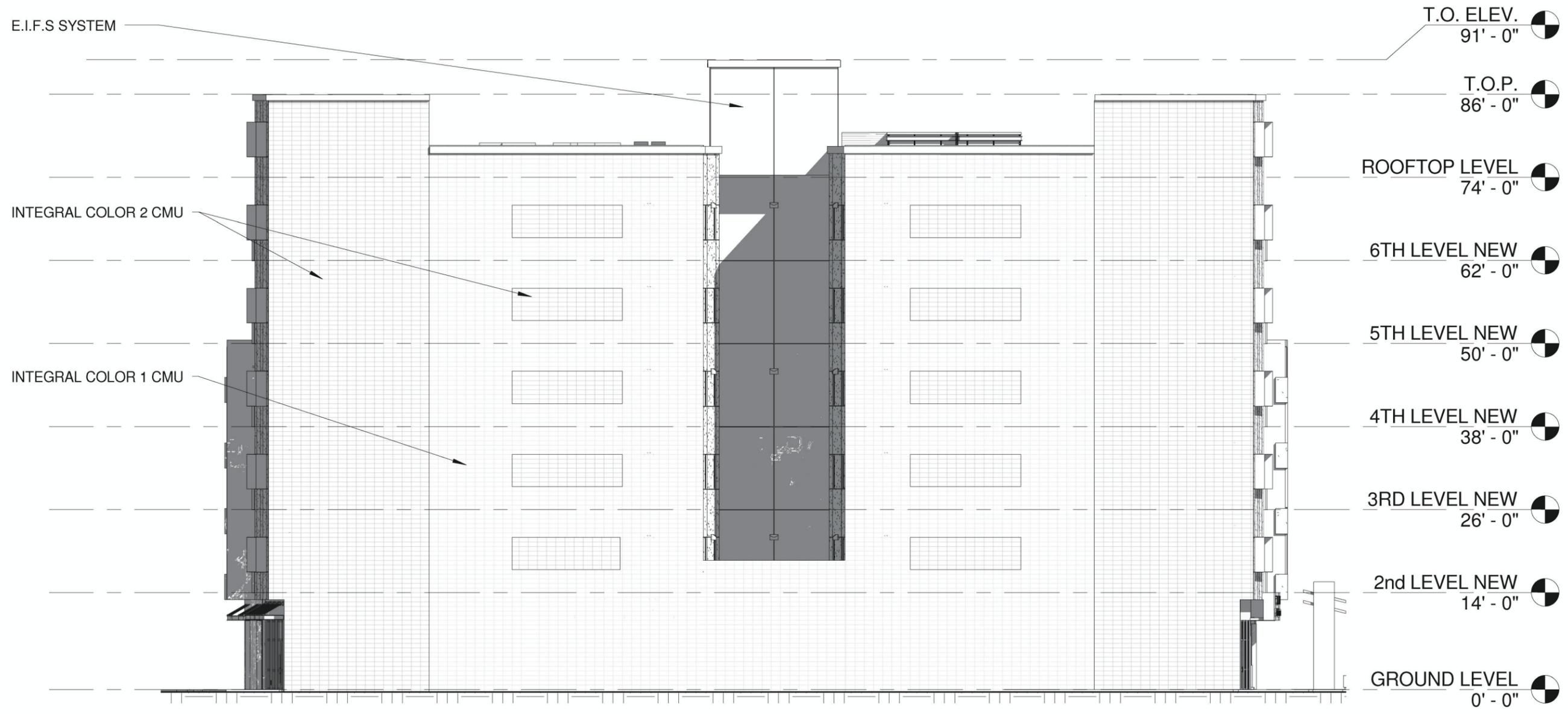


1 **FUTURE WEST ELEVATION**
 IID.4 1/16" = 1'-0"





1 **FUTURE SOUTH ELEVATION**
 IID.2 1/16" = 1'-0"



1 **FUTURE EAST ELEVATION**
 IID.3 1/16" = 1'-0"





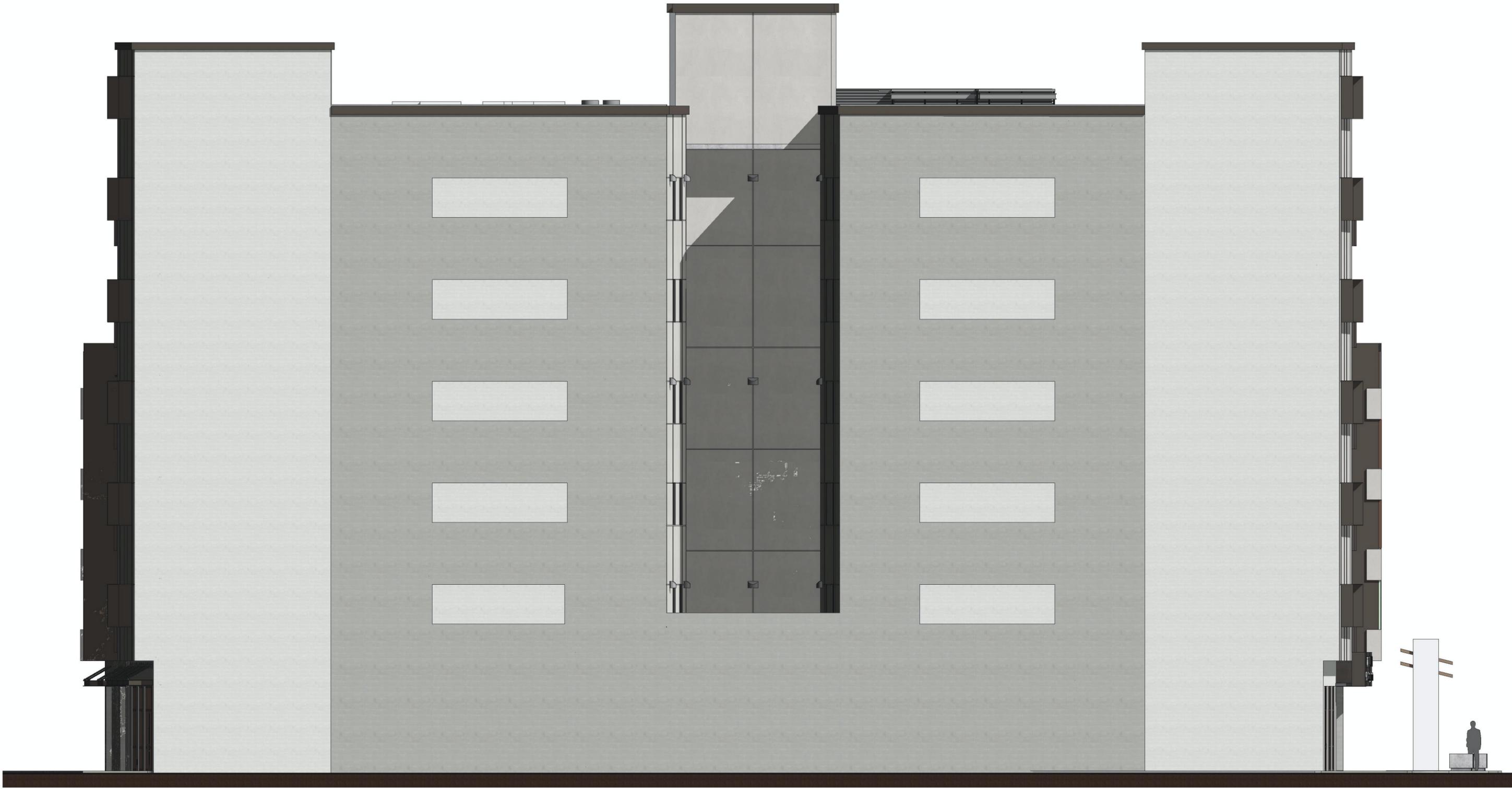
NORTH ELEVATION COLOR



WEST ELEVATION COLOR



SOUTH ELEVATION COLOR



EASTELEVATION COLOR

WEST POINTE APARTMENTS

RENDERING



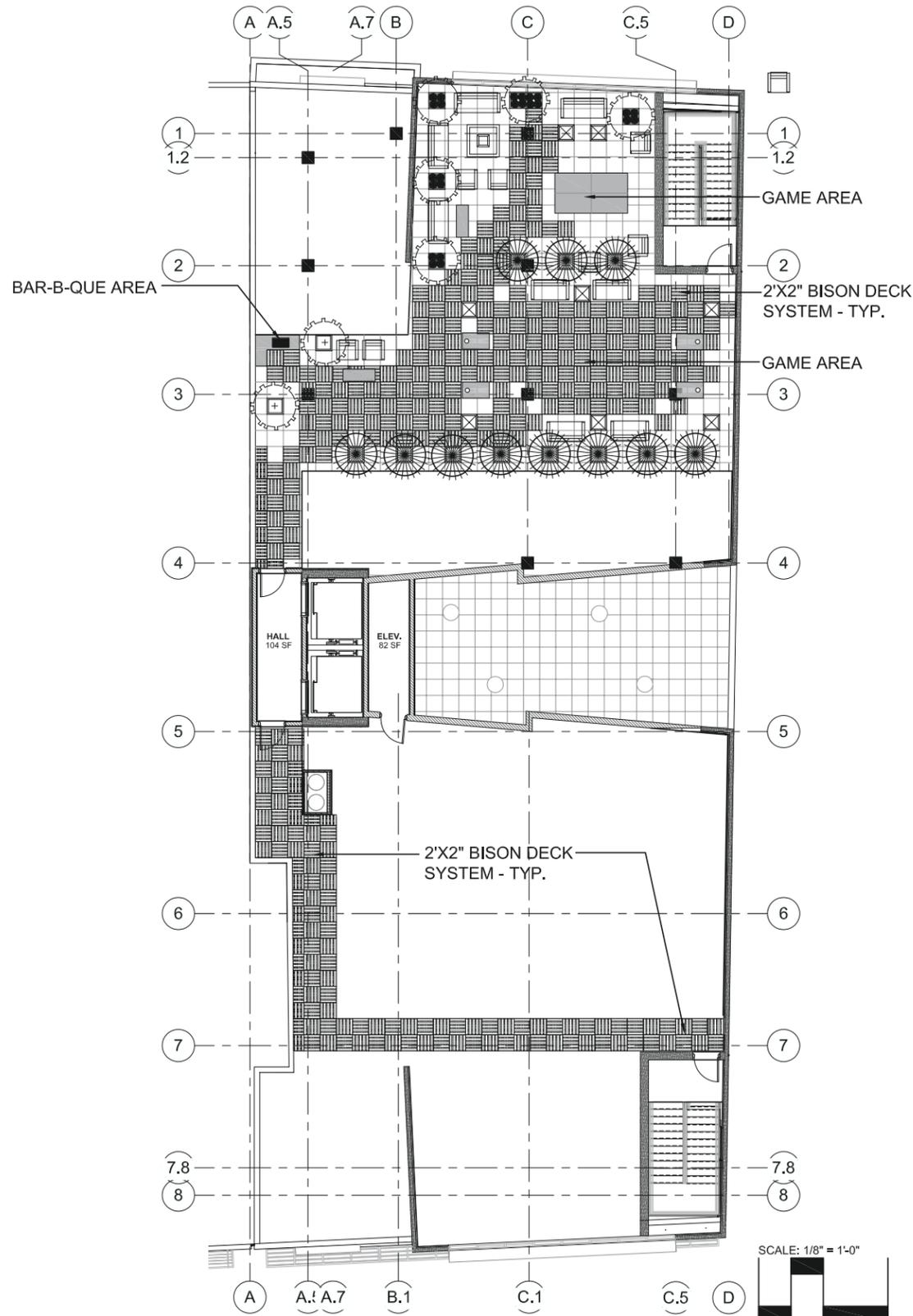
RENDERING (OPTION 2)



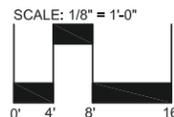
RENDERING (OPTION 3)



RENDERING (OPTION 1)



- LEGEND**
- 2' X 2' WOOD DECK TILE
 - 2' X 4' WOOD DECK TILE
 - 2' X 4' X 3' ALUMINUM PLANTER
 - 2' X 2' X 3' ALUMINUM PLANTER
 - 2' X 2' CUBE WITH TOP
 - MOVABLE DECK FURNITURE
 - FIRE PIT TABLES
 - LOW TABLE



PRELIMINARY CONCEPT
ROOF TOP GARDEN
TERRACE

JOHN HUCKO - LANDSCAPE ARCHITECT
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net
 PROJECT NO: 16-20



DESIGN APPROVAL

OWNER/CLIENT: _____ DATE APPROVED: _____

PRELIMINARY
NOT FOR
CONSTRUCTION



carhuff+cueva
 architects, llc

3149 e prince rd #151
 tucson, arizona 85716
 phone 520.577.4560
 www.cca-az.com

PROPOSED NEW BUILDING FOR:

WEST POINT APARTMENTS
 10 E. BROADWAY
 TUCSON, AZ 85701

CONSTRUCTION DOCUMENTS

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. **T16-10**

DATE **SEPTEMBER 29, 2016**

SCALE **Author**

DRAWING TITLE **Unnamed**

DRAWING NUMBER **L1.0**



WEST POINTE APARTMENTS

INFILL INCENTIVE DISTRICT APPLICATION RESPONSES:

1. State the applicant's intention to use the IID zoning option in lieu of existing underlying zoning.

The intention for using the Infill Incentive District Zoning option is mainly for scheduling purposes. The IID zoning option is nearly a 1/3 less time related to length of submittal and approval. The other reason is the mission statement for the IID. The IID gives incentives to owners and developers to help beautify our streets and that fits with our goals. For a department of the City to be solely committed to positive growth of our City was incentive enough for our team to want to do these types of projects.

2. Describe how the project is consistent with the IID purpose to create sustainable infill development.

One of the goals of the IID is to encourage and create sustainable infill development. The most sustainable building is a building that already exists. By renovating and rehabilitating the existing beautiful historic structure holds true to the IID purpose and goals. Another shared concern of the IID is encouraging growth at our City's core instead of our City's limits. We are proposing to add medium density residences vertically and not horizontally. This discourages horizontal growth, or sprawl, which our limited downtown cannot sustain. Lastly, the IID was created to help discourage certain modes of transportation and facilitate others like light rail. By utilizing this location which is directly in front of a modern street car stop and a zero lot line building with no parking, we encourage the tenants and the employees to seek out other modes of transportation including light rail, car-pooling, biking and walking.

3. Describe the benefits the project will bring to the adjacent properties and the surrounding area.

The benefits far out-weigh the negatives by developing this particular property. This parcel is currently already along the street car route and as mentioned above, it has a stop directly in front of the building. This boosts excitement for downtown progress which gives more people an incentive to relocate to the City. It is a fact that when other developers see their City's downtown growing with hustle and bustle, they want to be part of the action. For the last couple of years, the downtown of Tucson has been expanding, in population as well as structures. This building will have a Community center for the tenants as well as street level rentable commercial/retail/office tenant spaces that will keep storefront activity long after regular business hours. This will not only provide the surrounding area with more job opportunities but also will keep busy and vibrant street level activity, another IID encouragement. This benefits everybody.

Planning and Development Services Department

4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent property.

The renovating of the existing historic building and the new vertical construction on its rear half, will have very little adverse effects on any adjacent properties. During construction, noise will be mitigated by keeping strict schedules of operation during business and daylight hours only. Normal pedestrian activity will remain due to covers being constructed over the existing sidewalks. The only adjacent lot directly affected by the construction

WEST POINTE APARTMENTS

INFILL INCENTIVE DISTRICT APPLICATION RESPONSES:

is to the East. This is a surface vehicle parking lot, so minimal disruption will occur. Any or all demolition from the property and disposal of waste will occur at the south end of the parcel on a Jackson Street. The General Contractor will purchase a few parking meters on the south side so disruption of parking will be minimal. Besides routine noise and vibration during any development, the adverse effects will be minimal to none for the adjacent properties.

5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Standards:

A local Landscape Architect has been hired to inspect, beautify and comply with the Design standards laid out by the City's Unified Development Code. The same Landscape Architect was hired to do similar landscaping to 1 E. Broadway which is located just across the street. That location's street landscaping met and exceeded the design standards introduced by the Planning and Development Services department. The appropriate usage of trees, pavers, benches and bicycle parking will encourage safe and friendly usage by pedestrians.

Design Standards (UDC Sec. 5.12.8.A).

6. Describe how the project will support a safe streetscape coordinated with adjoining properties.

Like stated in the previous response, the same Landscape Architect who did the street-scape landscaping is also performing this task. Their goal is to maintain streetscape City standards, enhance the beauty of the street and pedestrian walkways while coordinating similar approaches with all the adjacent and surrounding streetscapes. By adding trees, benches, planters and bicycle parking racks, not only are we creating an aesthetically pleasing environment, but also are creating safe passages for pedestrians and cyclists by inserting barriers between them and the vehicles driving close by.

7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC Sec. 5.12.8.B).

The proposed building is not adjacent to or abuts any single family detached residence or duplex residential properties. These Development Transition Standards do not apply.

8. Indicate whether the project will significantly impede solar energy options to adjacent properties.

This project is located at 10 E. Broadway Blvd. Directly to the East of this parcel is a surface parking lot. There are currently no solar energy options on this parcel. The only opportunity for the Westerner's shadow to impede on the property is late in the day when solar loses its effectiveness. The impact on the East adjacent site is very minimal. The parcel across the street to the South is located directly south of the building and will never interfere with solar capabilities due to our location in the Northern hemisphere.

The building directly to the West is a Historic building currently owned by Cope Properties. The façade of this building will have a shadow cast on it only in the early morning hours of each day. The shadow does not reach the roof of the building which would interfere with solar options. The building directly to the North of the Westerner is 1 W. Broadway. The shadow will cast on the southern façade of 1 W. Broadway between the approximate hours of 11am to 1pm each day. This only affects the façade and not the roof where solar capabilities would be utilized. Ultimately, the proposed addition will have a very minimal effect on any surrounding buildings or properties where it concerns solar energy options.

9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.

The proposed project is located within the Downtown Core district. The building's proposed streetscape will be using drought tolerant shrubs like Lantana, Lady Slipper and Mexican fence post cacti. This is required per the approved City of Tucson Plant List, as well as species that the Landscape Architect has used in prior IID submittals. This results in a drastically lower potable water demand ratio per square foot of usable space than a typical residential or commercial development ratio. The existing Heritage Live Oak trees will remain as they are already part of the downtown Tucson streetscape. All of these species of plants were selected to not only comply with drought tolerant landscaping, but can also be found locally in our environment. We believe that using local species will complement the drama of the desert landscape as well as enhance the beauty of the street scape from which it once might have grown.

For any IID Plan that involves a reduction in parking, the applicant must:

1. Demonstrate how the proposed reduced off-street motor vehicle parking will not have an adverse impact on adjacent properties.

See attached Traffic & Parking Study prepared by Traffic Engineer.

2. Demonstrate how traffic generated by the off-street motor vehicle parking proposed in the application does not burden neighboring residential streets.

See attached Traffic & Parking Study prepared by Traffic Engineer.

WEST POINTE APARTMENTS

TRAFFIC ENGINEER STATEMENT:

M Esparza
Engineering, LLC

Transportation Planning
Traffic Engineering
Consulting

TRAFFIC MEMORANDUM

To: Mr. Philip Carhuff, AIA
Carhuff and Cueva Architects, LLC

Cc: Richard Macias, P.E.

From: Marcos Esparza, P.E.
Senior Associate

Date: January 11, 2016

Subject: **The Westerner Parking Study**



ME-Eng 2015.27

Introduction

The Westerner is a mixed-use residential project on the southeast corner of Broadway Boulevard/Stone Avenue in downtown Tucson Arizona. The physical address is 10 East Broadway Boulevard. On the project site is an existing four-story office building with a one-story section to the east.

The proposed project will demolish the eastern half of the building and construct a six-story building. The top five floors will include fifty residential apartments and the bottom floor would be office space. The western half of the project will remain as a four-story office building.

The existing property does not have any on-site parking spaces and no new parking spaces are proposed for the project. Potential tenants, both office and residential, would be informed of the lack of on-site parking. The residential project will appeal to potential tenants who do not require parking spaces due to limited use of or non-ownership of motor vehicles.

Project team members met with Planning and Development Services and Department of Transportation staff on November 13, 2015. City staff was informed that no new on-site parking spaces were planned for this project.

City of Tucson Department of Transportation staff has required a traffic statement justifying the relief requested for no parking spaces for this project. This report is provided to provide such support.



WEST POINTE APARTMENTS

TRAFFIC ENGINEER STATEMENT:

*The Westerner
Traffic Statement*



Proposed Future rendering

Source: Carhuff and Cueva Architects

Support for Parking Space Relief

The urban project setting is easily accessed by transit, walking and bicycling. As a downtown residential project, typical traffic impacts are not expected. Trip generation and parking generation rates, and concomitant impacts to surrounding streets, will be much less than a typical mixed use (office and residential) development based on the following:

- The residential project will primarily serve tenants for whom the downtown culture is appealing. The appeal is for those without cars and for those whose lifestyle choice includes travel via alternate modes such as transit, bicycling or walking.
- This area has a “Walk Score¹” of 81, one of the highest in the Tucson area.
- The site is adjacent to or near several Sun Tran bus routes and the Ronstadt Transit Station.
- The Tucson Modern Streetcar travels on Broadway, with a stop on the north side of the project.
- Established pedestrian infrastructure (sidewalks, transit stops and crosswalks) and proximity to the Downtown and 4th Avenue Business District encourage travel by alternate modes.
- Recent aggressive development in the downtown area has added grocery stores, general retail, restaurants and bars, as well as other employment opportunities.
- Abundant public parking is readily available within walking distance to the project.

¹ “Walk Score” is a measurement of a City’s, or neighborhoods general measure of “walkability”. It measures how easy it is to access employment, retail and entertainment facilities without needing a motor vehicle. The general Walk Score for Tucson as a whole is 39, indicating that Tucson is car-dependent city. The project area’s Walk Score of 81 indicates that most errands can be done on foot. Further information is provided in www.walkscore.com.

*M Esparza
Engineering, LLC*

Page 2 of 4

carhuff+cueva
architects, llc

Grenier
Engineering, Inc.



CANYON
BUILDING & DESIGN

LA FRONTERA
ARIZONA
Your partner for a safe, strong, and healthy community.

COPE
COMMUNITY
SERVICES



WEST POINTE APARTMENTS

TRAFFIC ENGINEER STATEMENT:

*The Westerner
Traffic Statement*

- There is no existing on-site parking for the existing office space within the project site.

It is anticipated that most residential tenants will be those who will walk, bike, or use transit rather than drive a motor vehicle on a regular basis. As such, the motor vehicle trip rate would be much lower than a typical apartment. There are existing off-site parking spaces to accommodate any projected motor vehicle parking needs.

Downtown Infill Incentive District

The project area is within the Downtown Core Sub district of the City of Tucson's Downtown Infill Incentive District, or IID. Development within the IID is encouraged and has been aggressive since its adoption and authorization by the City Council.

The City of Tucson's Unified Development Code provides guidance that allows for a reduction in parking spaces in the IID for the land uses that are approved within its area. This guidance is found in Section 7.4.5 Reductions and Exemptions of the UDC.

It should be noted that there are several residential projects in the IID with few to no on-site parking spaces. A sample of these include,

- One North Fifth
- The Cadence
- One East Broadway
- Herbert Residential

Nearby Parking

The provision of new parking spaces within the property limits is not feasible. However, there are a number of parking spaces in the vicinity of the project.

Cardiff-Cueva Architects recently prepared a Capital Needs Assessment (CNA) for the project and included a map and list of nearby surface parking lots, subterranean parking lots and parking garages within a six-minute walk of the property. These are provided as an attachment to this report.

The closest parking spaces to the project site are the on-street parking spaces adjacent to the project on Jackson Street and Stone Avenue, and at the La Placita Parking Garage, southwest of the project. As shown in the attachment, there are several other off-site parking lots and garages within short walking distance of the project site.

Development Plan

Grenier Engineering recently submitted a development plan to the City of Tucson for this project. The development plan describes and shows the loading spaces and adjacent off-site parking spaces and area. This plan was approved by the City of Tucson Department of Transportation on December 28, 2015.

WEST POINTE APARTMENTS

TRAFFIC ENGINEER STATEMENT:

*The Westerner
Traffic Statement*

Conclusions

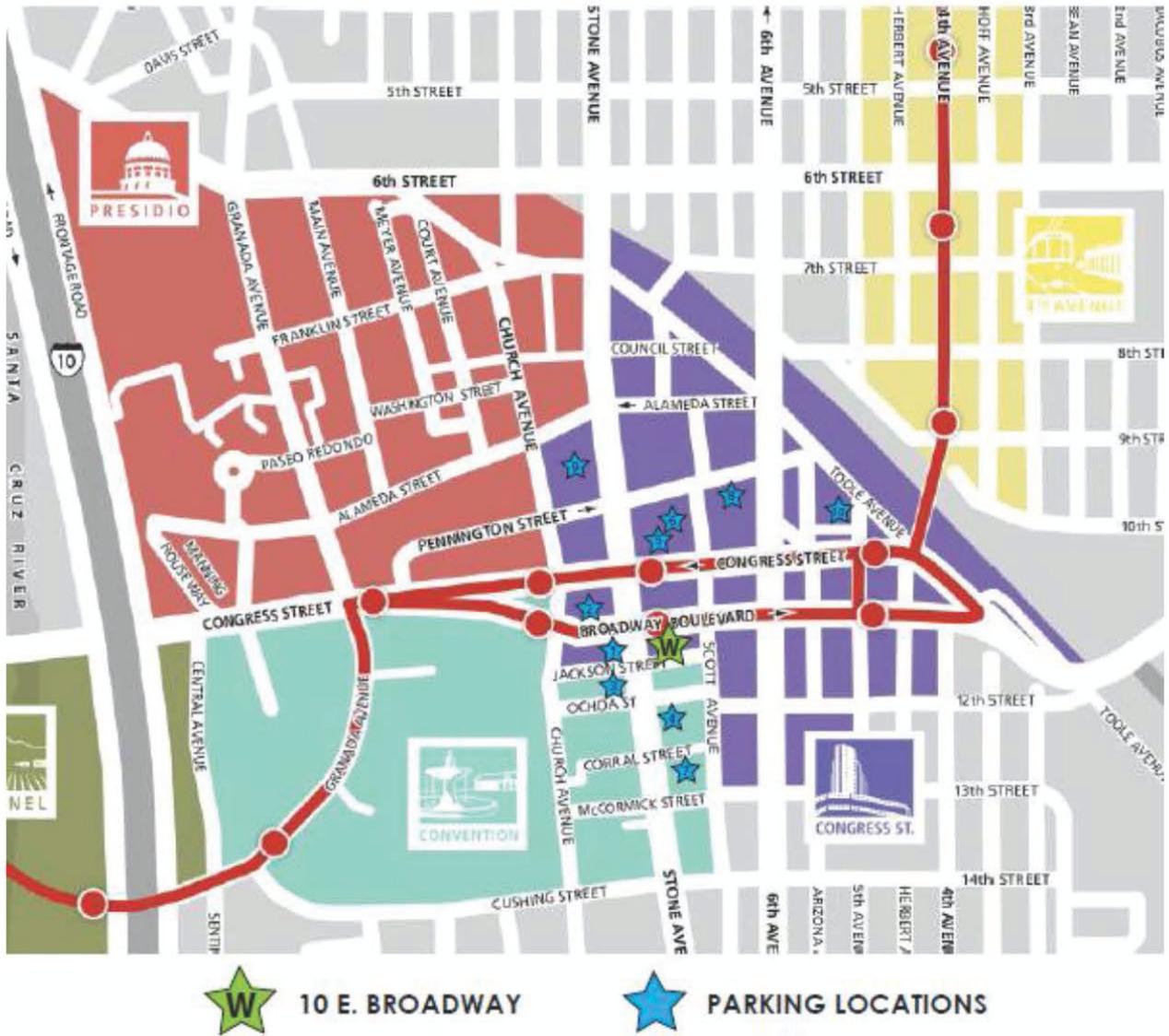
This project will be another positive economic addition to downtown Tucson. It will also be a good representative project that follows the City's plan to discourage motor vehicle use in the urban area, as envisioned by the planners and public officials who crafted the IID.

The project developers should provide information and/or incentives for office and residential tenants of the project to encourage the use of non-motor vehicular modes of travel to and from the project. Information on Pima Association of Governments' Sun Rideshare program could benefit office workers seeking carpool opportunities. Maps of nearby parking areas should also be provided for the office employees and patrons. For the residential tenants, information on alternative mode opportunities, such as transit schedules, The Loop maps, and maps of downtown businesses could be provided in common areas of the building.

WEST POINTE APARTMENTS

TRAFFIC ENGINEER STATEMENT:

10 E. BROADWAY PARKING VICINITY MAP



Source: City of Tucson, Carhuff + Cueva Architects

TRAFFIC ENGINEER STATEMENT:



Parking Map Key

<p>1. Surface parking: 62 S Stone Ave Distance: 0.06 miles (2 minute walk) Flat fee: \$6.00</p>	<p>6. Surface parking: 41 E Pennington Street 76 Distance: 0.14 miles (3 minute walk) Flat fee: \$6.00</p>
<p>2. Subterranean parking: 55 W Broadway Blvd Distance: 0.07 miles (2 minute walk) Hourly fee: \$3 an hour, \$1.50 each additional hour Flat fee: \$9.00</p>	<p>7. Surface parking: 23 E Corral Street Distance: 0.16 miles (4 minute walk) Flat fee: \$5.00</p>
<p>3. Garage parking: La Placita Garage 211 S. Church Avenue Distance: 0.09 miles (2 minute walk) Flat fee: \$5.00 Monthly Parking: Available \$ unknown</p>	<p>8. Garage parking: Pennington Street Garage 110 E. Pennington St. Distance: 0.21 miles (5 minute walk) Monthly Parking: Available \$85.00</p>
<p>4. Surface parking: 160 S Scott Ave Distance: 0.12 miles (3 minute walk) Flat fee: \$5.00</p>	<p>9. Garage parking: Main Library Garage 101 North Stone Avenue Distance: 0.20 miles (5 minute walk) Monthly Parking: \$65.00</p>
<p>5. Subterranean parking: Old Pueblo Garage 25 E. Congress St. Distance: 0.14 miles (3 minute walk) Flat fee: \$5.00 Monthly Parking: Available \$ unknown</p>	<p>10. Garage parking: Depot Plaza Garage 45 N. 5th Avenue Distance: 0.3 miles (6 minute walk) Monthly Parking: Available \$65.00 10 E.</p>

Source: Carhuff+Cueva Architects

WEST POINTE APARTMENTS

COLOR SAMPLES

OPTION 1



EXTERIOR STUCCO:

DUNN EDWARDS

NATURAL BRIDGE

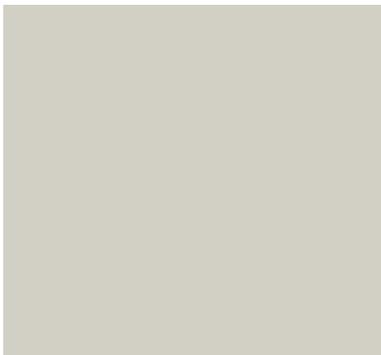
DE6194



WINDOW POPOUTS:

RAILINGS

RUST

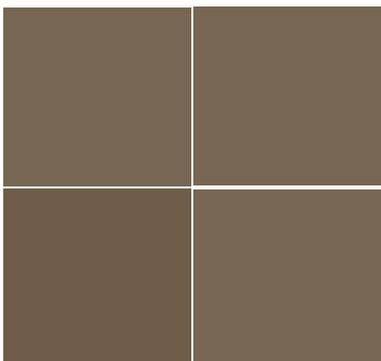


EXTERIOR STUCCO:

DUNN EDWARDS

MINER'S DUST

DEC786

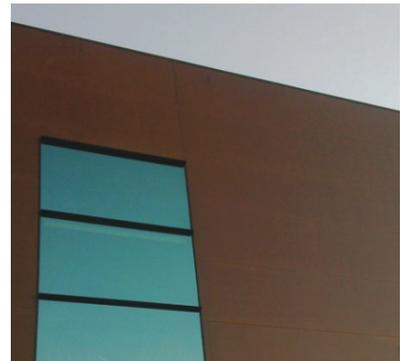


METAL PANELS:

CENTRIA

SAGE BROWN

40"-48" PANEL



WEST POINTE APARTMENTS

COLOR SAMPLES

OPTION 2



EXTERIOR STUCCO:

DUNN EDWARDS

LOOKING GLASS

DE6376

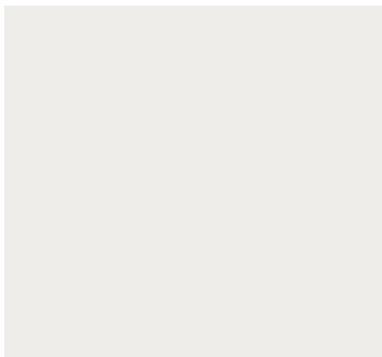


WINDOW POPOUTS /

RAILINGS / STUCCO
ACCENTS:

THE BLUES

DE5859

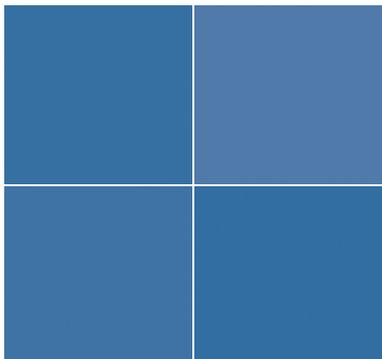


EXTERIOR STUCCO:

DUNN EDWARDS

CARRARA

DET649



METAL PANELS:

CENTRIA

ARABIAN BLUE

40"-48" PANEL



WEST POINTE APARTMENTS

COLOR SAMPLES OPTION 3

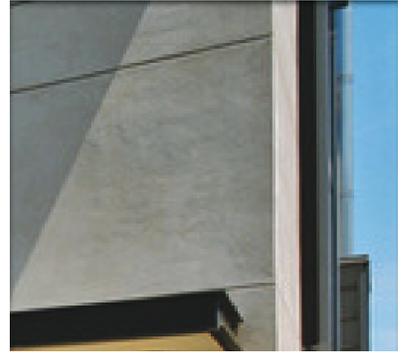


EXTERIOR STUCCO:

DUNN EDWARDS

RAIN DROPS

DE6057



WINDOW POPOUTS /

RAILINGS / STUCCO
ACCENTS:

THE BLUES

DE5859

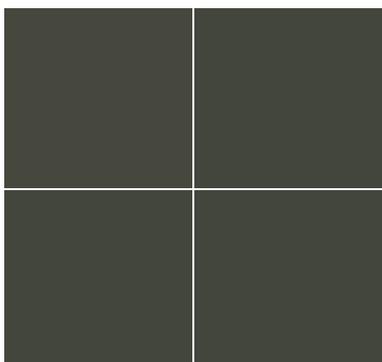


EXTERIOR STUCCO:

DUNN EDWARDS

CHOCOLATE MILK

DE6059



METAL PANELS:

CENTRIA

MIDNIGHT BRONZE

40"-48" PANEL



WEST POINTE APARTMENTS SHADE STUDY

