

INFILL INCENTIVE DISTRICT DESIGN PACKAGE for DOWNTOWN CLIFTON HOTEL

27 DECEMBER 2016

OWNER

Urban Oasis, LLC
PO Box 43025
Tucson, Arizona 85733
Attn: Phil Lipmann

PREPARED FOR

Urban Oasis, LLC
PO Box 43025
Tucson, Arizona 85733
Attn: Phil Lipmann



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The
DOWNTOWN
CLIFTON

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APPLICATION

Case Number _____

Date Accepted:

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): Downtown Clifton Expansion

Property Address: 485 South Stone Avenue

Applicable Area/Neighborhood/Overlay: Stone/Sixth Area

Zoning: C-3

Legal Description: TUCSON SLY PTN LOT 7 & N7.7' LOT 10 BLK 238

Pima County Tax Parcel Number/s: 117-14-2140, 117-14-2180 & 117-14-2190

Site and Building Area (sq ft): 30,954

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Urban Oasis - Cypress Civil Development

ADDRESS: 2030 East Speedway Boulevard, Ste. 110 Tucson, Arizona 85719

PHONE: (520) 499.2456 FAX: (520) 337.7280

EMAIL: @cypresscivil.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Phil Lipman - Urban Oasis LLC

PHONE: (520) 609.6093 FAX: ()

PROJECT TYPE (check all that apply):
 New building on vacant land
 New addition to existing building
 Change of use to existing building
 New building on developed land
 Other

Related Permitted Activity Number(s): _____

DESCRIPTION OF USE: New separate motel building with added retail space.

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

Matt Stewart
SIGNATURE OF OWNER/APPLICANT

 /16
Date



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

X	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
X	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
X	3. Project statement outlining scope of work.
	4. UDC compliance review comments (obtained at the 1 st floor).
X	5. Pima county assessor's record parcel detail and record map.
X	6. Color aerial photograph of subject property (if applicable).
CE	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
X	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
X	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
CE	10. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
CE	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
X	12. PDF of all above listed items (number of hard copies may be required).
CE	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.

Project Introduction

With a surge of investment in Tucson's Downtown Core, demand for tourism related amenities continues to increase; resulting in new development opportunities along the major corridors extending beyond and into the periphery. As such, close attention must be paid to future development and the transition of use intensity as we move into some of Tucson's Historic Neighborhoods. The Downtown Clifton Hotel expansion project seeks to fulfill that demand by expanding their offering of lodging and accommodation along Stone Avenue. It is goal of the project to create a design that is both congruent and commensurate of the existing structure, as well as the Armory Park & Barrio Libre Historic Neighborhoods.

The Downtown Clifton Hotel expansion offers tourists an opportunity to reside in close proximity to downtown, but within an environment absent of the city rush and one that pays homage to Tucson's rich history. Visitors and guests will be given an opportunity to experience an urban oasis, with highly integrated indoor and outdoor space, all within walking and bicycling distance of destinations such as Fox Tucson Theatre, St. Augustine Cathedral, the Children's Museum, the Tucson Convention Center, and Congress Block to name a few.

Development in Tucson, especially the greater downtown area, must preserve the rich cultural history while seeking to obtain an architectural model focused on accommodating future infill and growth. This project understands the balance between progress and respect, and aims to develop the site in a manner that considers the sensitivity of the surrounding historical neighborhoods and structures.

Being a part of the Infill Incentive District Overlay, comments and questions are welcomed as a part of the Design Review Committee process. This project is committed to bringing long-term value to Tucson, and looks forward to a positive review process. Please see the following pages representing a snapshot of the proposed Diocese development.

Sincerely,



Matt Stuart

Project Manager

Cypress Civil Development

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EXISTING PHOTO INDEX

The following pages show images taken from various locations adjacent to Downtown Clifton development area. Please refer to this page to orient the following photos with the surrounding area.



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SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site, along 16th Avenue—looking east.



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SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site, along 16th Avenue—looking north.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, along 16th Avenue—looking east.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, along Stone Avenue—looking north.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along Stone Avenue—looking south.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along Stone Avenue—looking north.



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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along 16th Avenue—looking north.



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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along 16th Avenue—looking south.



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27 December 2016

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter provides a description outlining the proposed scope of work for the Downtown Clifton Hotel expansion development as it relates to the Downtown Area Infill Incentive District (IID) overlay zone:

EXEMPTION REQUEST:

The Downtown Clifton Hotel expansion development project is located at the northeast corner of Stone Avenue and 16th Street, within the Greater Infill Incentive Subdistrict (GIIS) of the Downtown Area Infill Incentive District overlay zone. This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the GIIS, the Development will be required to comply with the following:

- 1) Permitted uses listed within Section 5.12.9.A;
Travelers' Accommodation, Lodging
- 2) Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID's Development Transition Element requires less;
Allowable height C-3 = 75'
- 3) Demolition and façade alteration standards and review requirements in accordance with UDC Section 5.8.10, Demolition of Historic Properties, Landmarks, and Structures of the Rio Nuevo Area and Infill Incentive District;
Site is primarily vacant. Partial demolition of the existing structure has been proposed. Previous designation indicates the existing structure is not Historic
- 4) When provided, landscaping shall be in accordance with the City's drought-tolerant plant list;
Plants have been selected from approved list
- 5) Bicycle parking shall be provided when motor vehicle parking is provided; The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan, Section 5.12.8.E;
New bicycle parking provided per UDC requirements
- 6) Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation;
No Native Plants to be removed

INFILL INCENTIVE DISTRICT (IID) NARRATIVE:

1. STATE THE APPLICANT’S INTENTION TO USE THE IID ZONING OPTION IN LIEU OF EXISTING UNDERLYING ZONING;

Response: It is the intent of the proposed development to use the IID zoning option in lieu of the underlying zoning in order to maximize the site’s location as it pertains to creating a sustainable, transit-oriented infill development project; that offers a pedestrian friendly environment, takes advantage of the close proximity to the Downtown Core and Armory Park & Barrio Libre Historic Neighborhoods. The project seeks the following modifications permitted through the use of the IID overlay zone:

Minimum Street Perimeter Yard – Per UDC Section 5.12.9.C.1.B – The project seeks a waiver in the Street Perimeter yard requirement. The property lies within the Armory Park National Register and is adjacent to both the City of Tucson Armory Park Historic Zone and Barrio Libre Historic Zone. Both neighborhoods were developed utilizing a zero lot line development. Building and structures on all 4 sides of the development enjoy a zero foot setback and zero landscape border when adjacent to a right-of way.

The project also seeks a modification of the Major Streets & Routes Setback. The Major Streets & Routes plan, as approved by the voters in association with the Plan Tucson General Plan, indicates the future right-of-way width for Stone Avenue, adjacent to the aforementioned property, will increase from the current alignment of approximately 80 feet in width to 90 feet in width. As such, previous discussion with TDOT and City of Tucson Engineering Staff determined the parcel owner would need to dedicate an approximate 6 foot wide strip of property along the western, street side boundary, to the City of Tucson for future right-of-way.

As part of this modification request and in light of the recent adoption of Ordinance No. 11386 – MS&R Right-of-way Use Modification Request, the project would like to request the ability to place private improvements within the aforementioned 6’ of dedicated right-of-way. These improvements include but are not limited to landscaping, patios, and privacy walls.

Motor Vehicle Parking – Per UDC Section 5.12.9.C.2.A – This project seeks a modification in the vehicular parking requirement. The required number of on-site motor vehicle parking spaces as outlined in the UDC is 39. The project proposes 26 parking spaces on-site and the utilization of on-street public parking. Section 5.12.9.C.2.c.3 allows for up to 5 on-street spaces to be utilized as part of the parking calculation with TDOT approval. If granted, the total number of calculated spaces provided would equal 31. The GIIS allows for a reduction of up to 25% of the parking requirement. We believe the request to utilize the on-street parking and the 25% reduction is warranted due to the location of the project and the availability of additional on-street parking along Stone Avenue.

Bicycle parking will continue to be provided per UDC Section 7.4 requirements.

Landscaping/Screening – Per UDC Section 5.12.9.C.5 – Relief from landscaping and screening standards is allowed for projects within the GIS. This project seeks an exception to the Landscaping and Screening requirements. While landscaping and screening are intended to be provided, as aforementioned in regard to the Street Perimeter Yard reduction request, the site would like to remain congruent with neighboring developments and historic neighborhoods by utilizing a 0' lot line setback. Shade will be provided along sidewalks, pedestrian circulation paths, and outdoor patios in accordance with Section 5.12.8.A.2.

Pedestrian Access – Per UDC Section 5.12.9.C.6 – This project seeks to modify the requirements of pedestrian access. The project proposes to direct all pedestrian traffic to a single access adjacent to Stone Ave. No pedestrian access would be provided to 16th St. or Russell Ave. in an effort to reduce spillover into the residential development. Shade will be provided along sidewalks, pedestrian circulation paths, and outdoor patios in accordance with Section 5.12.8.A.2.

Solid Waste Collection – Per UDC Section 5.12.9.C.4 – This project seeks to modify the on-site refuse collection container standards by utilizing an on-site trash enclosure with off-site service pickup along Russell Avenue. A 20' by 28' concrete apron will be constructed to match the existing grade within Russell Avenue. The enclosure location will require rolling container service, and seeks a modification to the standard detail for service off an alley per Figure 4 (8-01.9.0).

OTHER MODIFICATION REQUESTS:

TSM Section 10-01.3.2.c & 10-01.9.0 (figure 6) – Curb Radii connection from private development to public rights-of-way:

This project proposes relief from curb radii at the access point along Stone Avenue by utilizing a standard drive apron per PC/COT STD DTL 206. This proposed relief and drive apron, along with supplemental signage, should encourage low-speed vehicular ingress and egress at this location as well as avoid the relocation of an existing street light pole.

TSM Section 10-01.2.3 - Table 1 – Street composition local street (24' width):

Specific relief is being sought for the 24' width requirement at the Stone Avenue access point and lane. Request to reduce the width to 20'. The access lane remains at 24' in width where parking and pull in parking spaces are defined.

TSM Section 10-01.3.1 & UDC 7.6.4-1.E – Alternative Pavement Surface:

This project seeks to modify the PAAL area surface requirements by providing an alternative surface treatment to the standard paving, asphalt requirement. This alternative surface would be located within the parking spaces themselves, while the PAAL lane aims to meet the minimum structural section for paving. The alternative surface will provide increased permeability within the vehicular parking spaces and add an additional design

feature to the project. The alternative surface proposed is a permeable pavement surface, and is would be similar in nature to the Drivable Grass © product offered by the company Soil Retention. A link to their product can be found here: <http://soilretention.com/drivable-grass/professional/gallery/parking/>

2. DESCRIBE HOW THE PROJECT IS CONSISTENT WITH THE IID PURPOSE TO CREATE SUSTAINABLE INFILL DEVELOPMENT;

Response: This project aims to create a transit-oriented infill development project that offers tourists and other guests the opportunity to experience historical downtown Tucson living within the Greater Infill Incentive Subdistrict. This development supports the existing commercial and retail development along the Stone Avenue corridor, and seeks to provide a development that is sensitive and respectful of the Armory Park and Barrio Libre historical neighborhoods. This project is ideally positioned along the Stone Avenue corridor and will be able to provide easy accessibility to, and from, the Tucson Central Business District, the vibrant 4th Avenue, and the University of Arizona. The project site is within walking and bicycling distance of such destinations such as Fox Tucson Theatre, St. Augustine Cathedral, the Children’s Museum, the Tucson Convention Center, and Congress Block to name just a few.

3. DESCRIBE THE BENEFITS THE PROJECT WILL BRING TO THE ADJACENT PROPERTIES AND THE SURROUNDING AREA;

Response: This project will expand the existing Downtown Clifton Hotel operation on the vacant parcels to the south. This development replaces an underutilized, vacant piece of property along an important historical corridor. The location of the site, within close proximity to Downtown Tucson, is an ideal infill opportunity. The Stone Avenue corridor is a mix of historical commercial and residential uses. The scale of the architecture and the proposed intensity of the site will provide quiet enjoyment, and an acceptable transition between the two adjacent historic neighborhoods and the commercial intention of the site and corridor. The proposed project will bring excellent exposure to the area, and provide tourists and other guests the opportunity to experience historical Tucson living. This also provides neighboring residents an opportunity to provide adequate short term housing for their overnight guests without the need for a vehicle.

4. DESCRIBE ANY SIGNIFICANT ADVERSE EFFECTS, SUCH AS NOISE LEVELS, GLARE, ODORS, VIBRATION, ILLUMINATION, FUMES AND VAPORS, THE PROJECT WILL HAVE ON ADJACENT PROPERTY;

Response: Noise levels, illumination, vibration, fumes and vapors, and odors associated with this project would be no different than those associated with the existing surrounding businesses. The proposed use – Traveler’s Accommodations, Lodging, provides a low intensity use that operates on a schedule that is commensurate of the adjacent residential neighborhoods. Noise, vibration, illumination, etc. will be respectful and aim to be consistent

with those associated with typical neighborhood use. The use will provide higher turnover, but the scale will ensure it is not disrespectful to those adjacent.

Privacy mitigation is accomplished by utilizing an internally designed site. The use of multiple buildings helps provide a scale relatable to the neighborhood and also allows for an inner courtyard and accessible design. All access to each unit will be from the interior of the site. This reduces foot traffic, and other congestion from the exterior, street/property frontage of the site. Patios on the first floor will be enclosed with a 6 foot wall/fence, ensuring privacy for both adjacent residences across both streets (16th and Russell). The second story will feature Juliette style balconies that provide no additional seating area. Sliding screens will cover the second story windows to ensure privacy screening but also allow for the adjustment of light within the units as the day progresses. The orientation of the new structures means the second story structure along Russell Avenue faces a carport and the side of a two story house with one window. The relatively low height (18-19 feet) of the total structure also assists in limiting any adverse privacy view effects.

The trash service location is placed as close as possible to the intersection of 16th and Russell, in an attempt to limit the amount of noise, vibration, and other fumes and vapors from residences as much as possible. The trash will be enclosed, reducing any visual affect.

It is not only in the best interest of building management, but also their goal, to create a space that is considerate and appealing to the current neighboring residences. Thought has gone into the design to ensure any adverse effects are removed or limited to the extent possible.

5. *DESCRIBE HOW THE PROJECT WILL CREATE A PEDESTRIAN-ORIENTED STREETScape IN COMPLIANCE WITH THE STREET STANDARDS (UDC SEC. 5.12.8.A);*

Response: The base of the building will consist of same scale and architectural style as the existing Downtown Clifton Hotel – utilizing 4 inch high block and horizontal brows. The relatively low height of 18-19' for the proposed 2-story buildings is commensurate with the area and adjacent neighbors. Utilizing a 0' lot line/setback design, the proposed development is able to maintain consistency with the existing structure, as well as other historic structures in the area. Pedestrian accessibility from Stone Avenue is provided, and allows for easy access to the internal areas of the site. The division of buildings helps create minimal structural impact while providing activity and permeability in the form of patios, landscaping, and windows for more than 50% of the frontage.

Entrances will be visible and identifiable from Stone Avenue through the use of illumination, graphics, and or other unique details specific to the Downtown Clifton Hotel.

6. *DESCRIBE HOW THE PROJECT WILL SUPPORT A SAFE STREETScape COORDINATED WITH ADJOINING PROPERTIES;*

Response: Vehicular traffic into the property will be provided primarily from Stone Avenue. Through site access is provided to Russell Avenue for circulation and emergency vehicle requirements. A reduced drive apron from Stone Avenue encourages a lower vehicular speed, helping reduce the conflict between vehicles and pedestrians. Pedestrian access and connectivity is directed to and from Stone Avenue, eliminating any potential conflicts along Russell Avenue and 16th Street. Pedestrian circulation and accessibility will be from Stone Avenue only, in an attempt to limit guest pedestrian traffic from entering the residential neighborhoods. This design offers a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized, and intrusion into neighboring residential areas is minimized.

7. *DESCRIBE HOW THE PROJECT WILL TRANSITION TO ADJACENT EXISTING RESIDENCES AND PROVIDE MITIGATION IN COMPLIANCE WITH THE DEVELOPMENT TRANSITION STANDARDS (UDC SEC. 5.12.8.B);*

Response:

a) The proposed building height (18-19'). The IID requests developments do not exceed 25' in height within 30' of the property line adjacent to an affected residential property.

b) The proposed development is divided into 4 separate buildings to assist in breaking up the overall façade and building bulk typically associated with a single building development. The façade also incorporates a push and pull technique throughout to break up the monotony and play with light and shadow effects.

c) Windows on the second story will feature external wood privacy screens that can be opened and closed, to not only provide privacy, but also to allow light to enter the space.

d) Juliette style balconies will be present on the second story, but do not provide an opportunity for hotel guests or patrons to protrude out from the building façade and congregate.

e) The building orientation along Russell is specifically situated to face an existing carport and a two-story building side with only one window to limit the potential privacy concerns and reduce views onto neighboring properties to an extent possible. Juliette style balconies and retractable screen structures along the second story reduce potential views even further.

f) Trash service will be provided from Russell Avenue. A roll out dumpster design is being utilized. Dumpsters will remain hidden from public view in an enclosure per the City of Tucson standards, except during periods of service.

g) Parking is internalized and central to the development. Parking is screened by not only the buildings but also additional landscaping features. Nuisance impacts have been limited to the extent possible. Vehicular circulation, specifically for emergency vehicles, require an additional access point. Access from Russell Avenue is being utilized as a secondary

component. Management will make conscious efforts to direct patron traffic primarily through the Stone Avenue access point.

8. *INDICATE WHETHER THE PROJECT WILL SIGNIFICANTLY IMPEDE SOLAR ENERGY OPTIONS TO ADJACENT PROPERTIES;*

Response: The project is proposing a building height of 18-19 feet, less than 1/3 of the maximum allowable height under the C-3 zoning. The building height and scale is commensurate with the surrounding buildings and historic neighborhoods. Being in the northern hemisphere, it is recommended that solar panels are oriented in a southerly fashion. The proposed project will not impede the existing adjacent parcels, to the north and east from exploring solar energy options in the future.

8. *DESCRIBE THE TYPES OF DROUGHT TOLERANT AND NATIVE LANDSCAPING THAT WILL BE USED IN THE PROJECT AND HOW IT WILL BE USED TO ENHANCE THE PROJECT;*

Response: This project is within the GIS and will be proposing the use of drought tolerant trees/shrubs per the approved City of Tucson Plant List, as well as those species recommended within the Downtown Streetscape Interim Policy. As a result, the potable water demand ratio for this project per square foot of usable space will be drastically lower than the typical City of Tucson commercial or lodging project ratio.

THIS PROJECT REQUESTS REDUCTIONS IN PARKING AND THEREFORE MUST RESPOND TO THE FOLLOWING:

1. *DEMONSTRATE HOW THE PROPOSED REDUCED OFF-STREET MOTOR VEHICLE PARKING WILL NOT HAVE AN ADVERSE IMPACT ON ADJACENT PROPERTIES;*

Response: This project lies within the GIS and is surrounded on 3 sides by an arterial and collector streets. Parking will be provided at a ratio of 1 space per unit, and 1 space per commercial space. The total required parking will be 39 spaces. 26 on-site spaces will be provided. Public on-street parking is provided along Stone Avenue and 16th Street, 4 and 5 spaces respectively. No parking is provided along Russell Avenue. This project seeks Department of Transportation approval to utilize 5 on-street spaces along 16th to count toward the parking requirement. This project also seeks Park Tucson approval to utilize the up to 25% parking reduction as provided in 5.12.9.C.2.a. Including the on-street parking, the total provided spaces are 31, representing a 20% parking reduction overall.

This reduction request will not have an adverse impact on the adjacent properties. Public parking is provided along both sides of Stone Avenue and 16th Street, and because of the site's close proximity to Downtown Tucson, it is anticipated (based on current experience) that some patrons will frequent the hotel without the need or use of a vehicle.

2. *DEMONSTRATE HOW TRAFFIC GENERATED BY THE OFF-STREET MOTOR VEHICLE PARKING PROPOSED IN THE MDR APPLICATION DOES NOT BURDEN NEIGHBORING RESIDENTIAL STREETS;*

Response: (See Response #1) It is the goal of management to direct and focus ingress/egress to the site from Stone Avenue. This project recognizes the sensitivity of Russell Avenue to the Armory Park neighborhood and the immediate residences. However, the project must also meet public health and safety codes which require the site to provide circulation and a secondary access point for emergency vehicles. As such, through access has been provided to Russell Avenue. This access will not be signed nor encourage patrons to utilize on a regular basis.

These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

(520) 499-2456

mstuart@cypresscivil.com

ELEVATIONS



the downtown clifton
2016.09.22

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APPENDICES

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1 - NEIGHBORHOOD MEETING DOCUMENTATION

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REQUEST FOR MAILING LABELS

Project Address 485 South Stone Avenue (Parcels 117-14-2140, 117-14-2180, 117-14-2190)
(Note: if this is a new address, please provide verification from Pima County Addressing)

Applicant/Agent Name Theresa Fanter - Cypress Civil Development, LLC

Mailing Address 2030 East Speedway Boulevard, Ste. 110 Tucson, Arizona 85719

Phone 520.499.2456

Theresa Fanter
Applicant/Agent Signature

9/27/16

Date

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

Assessor's Property Inquiry Printout (APIQ)
(one printout for each lot comprising the project site)

Assessor's Block & Lot Map

THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

Environment Resource Zone

WASH Ordinance

Hillside Development Zone

Scenic Corridor Zone

Design Development Option

Board of Adjustment

Design Development Option (**Full Notice**)

Other: IID Major

Rezoning/SE

PROCESSING FEE

\$220.00

Check Number: _____

Cash

Charge Account: _____

Date Received: _____ Date Due: _____

Requested By: _____ Due To: _____

Request to: JR _____ SM _____ Other _____

Comments/Special Notes: _____

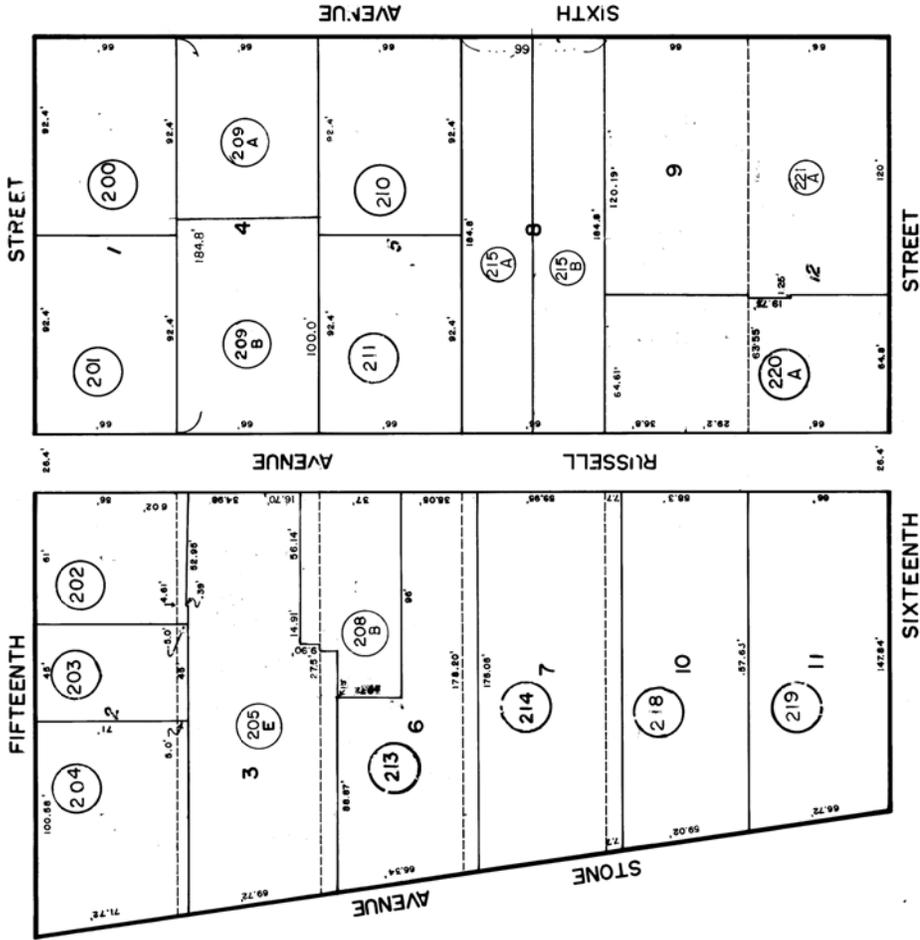
ACTIVITY NUMBER: _____

ASSESSOR'S RECORD MAP

CITY OF TUCSON

BLOCK 238

117-14
11/21



S. 13, T. 14 S., R. 13 E.
 SEE BOOK 3, PAGE 70 M & P
 2013-1

SCANNED

03070238

4886



Pima County Geographic Information Systems

Parcel 117-14-2140

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address	Legal description
117-14-2140 URBAN OASIS LLC PO BOX 43025 TUCSON AZ 85733-3025	TUCSON SLY PTN LOT 7 & N7.7' LOT 10 BLK 238

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code	
485 S STONE AV	TUCSON	TUCSON	85701	ZIP+4 Lookup

Information for this parcel

- For **Assessor parcel details**, copy and paste Parcel ID **117142140** into the [Pima County Assessor's "Quick Search"](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- **Recorded Information** from the [Pima County Recorder's Office](#)
 - A **Recorded Document** is not available here because the Assessor parcel record does not have Docket/Page or Sequence numbers. The parcel may have an associated redorded document that isn't documented here. Recorded documents may be researched at the [Pima County Recorder's web site](#) using free [Public Research](#) or paid [Subscriber Access](#).
 - [Voter Precinct and Districts](#)
- A **Subdivision Plat Map** is not available here because the GIS parcel record does not have subdivision Book/Page or Sequence numbers. The parcel may have an associated subdivision Book/Page or Sequence number that isn't documented here. See "Subdivision" in the ["Development" GIS overlay details group](#) results. As another option, the parcel legal description above may have a subdivision name you can search for in [Subdivision Final Plats](#).
- Pima County [Sanitary Sewer Connection Search](#) and [Connection Records Overview](#).
- **Permits** from [Pima County Development Services](#).
 - [Permit Database Search](#)
 - [Historical Permit Cards](#) - Prior to about 1998
- [Development Activity Records](#) (permit, plat, rezoning) from City of Tucson DSD [Property Research Online](#).

- [Section Information and Maps](#) for Township 14S, Range 13E, Section 13. This parcel's GIS [overlay details Grids group](#) is a **more complete analysis** of sections when parcel boundaries extend outside of the listed section.
- **Floodplain Information:**
 - [Parcel Floodplain Information](#). See [FEMA Digital Flood Insurance Rate Maps \(DFIRMs\)](#) for more.
 - City of Tucson jurisdiction. See [City of Tucson Floodplain Information](#) or call (520) 791-5609.
- [ZoomTucson services](#) and [ZoomBiz incentives](#) near this parcel from the [City of Tucson](#). These are also useful for many parcels outside of the City of Tucson.

Over 100 parcel details from GIS overlay analysis

[Learn more](#) about parcel GIS overlay details. See a [list of all details](#).

Airports Associations Census Comprehensive Plan-Pima Prospers Development Floodplain-Defined by Pima County RFCD Floodplain-FEMA Governmental Districts and Areas	Grids Incentive Zones Jurisdictions Landscape Classifications Miscellaneous Other Regulatory Areas Public Safety Schools	Sonoran Desert Conservation Plan Transportation Utilities Zoning
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Parcel GIS geometry details

Accuracy is limited to that of the GIS parcel data. All data is subject to this [disclaimer](#).

Parcel centroid coordinates	Approximately 32.215191 degrees latitude, -110.969654 degrees longitude.
Parcel area	<p>This is only an estimate from GIS data. The Subdivision Plat Map, if any, may also specify parcel area. See Finding Parcel Areas.</p> <hr/> <p>Approximately 0.26 acres or 11,419 square feet.</p>

Zoom to maps of the parcel's area

<p>PimaMaps</p> <ul style="list-style-type: none"> ◦ Main map <p><small>Autodesk</small> MapGuide</p> <ul style="list-style-type: none"> ◦ Main map ◦ Orthophoto map 	<p>Oblique Aerial Photos</p> <hr/> <p>You can change the view (N,S,E,W) or pan and zoom the oblique photo.</p> <p>If the parcel centroid is outside the oblique photo area, either a flat map is shown or the page remains empty.</p> <hr/> <p> Pictometry Photos (Legacy Internet Explorer Viewer) Learn more</p> <hr/> <p> Bing Maps Photos</p>	<p> Area Map</p> <p> Area Map</p> <p> Area Map</p> <p> Area Map</p>
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Pima County Geographic Information Systems

Parcel 117-14-2180

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address	Legal description
117-14-2180 URBAN OASIS LLC PO BOX 43025 TUCSON AZ 85733-3025	TUCSON LOT 10 EXC N7.7' BLK 238

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code
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There is no situs address information.

Information for this parcel

- For **Assessor parcel details**, copy and paste Parcel ID **117142180** into the [Pima County Assessor's "Quick Search"](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- **Recorded Information** from the [Pima County Recorder's Office](#)
 - A **Recorded Document** is not available here because the Assessor parcel record does not have Docket/Page or Sequence numbers. The parcel may have an associated redorded document that isn't documented here. Recorded documents may be researched at the [Pima County Recorder's web site](#) using free [Public Research](#) or paid [Subscriber Access](#).
 - **Voter Precinct and Districts** are not available because there is no parcel situs address information.
- [Subdivision Plat Map](#) for Book 3, Page 70.
- Pima County [Sanitary Sewer Connection Search](#) and [Connection Records Overview](#).
- **Permits** from [Pima County Development Services](#).
 - [Permit Database Search](#)
 - [Historical Permit Cards](#) - Prior to about 1998
- City of Tucson Development Activity Records are not available because there is no parcel situs address information.
- [Section Information and Maps](#) for Township 14S, Range 13E, Section 13. This parcel's GIS [overlay details Grids group](#) is a **more complete analysis** of sections when parcel boundaries extend outside of the listed section.

- **Floodplain Information:**
 - [Parcel Floodplain Information](#). See [FEMA Digital Flood Insurance Rate Maps \(DFIRMs\)](#) for more.
 - City of Tucson jurisdiction. See [City of Tucson Floodplain Information](#) or call (520) 791-5609.
- ZoomTucson is not available because there is no parcel situs address information.

Over 100 parcel details from GIS overlay analysis

[Learn more](#) about parcel GIS overlay details. See a [list of all details](#).

Airports Associations Census Comprehensive Plan-Pima Prospers Development Floodplain-Defined by Pima County RFCD Floodplain-FEMA Governmental Districts and Areas	Grids Incentive Zones Jurisdictions Landscape Classifications Miscellaneous Other Regulatory Areas Public Safety Schools	Sonoran Desert Conservation Plan Transportation Utilities Zoning
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Parcel GIS geometry details

Accuracy is limited to that of the GIS parcel data. All data is subject to this [disclaimer](#).

Parcel centroid coordinates	Approximately 32.215034 degrees latitude, -110.969638 degrees longitude.
Parcel area	<p>This is only an estimate from GIS data. The Subdivision Plat Map may also specify parcel area. See Finding Parcel Areas.</p> <hr/> Approximately 0.18 acres or 7,896 square feet.

Zoom to maps of the parcel's area

 <ul style="list-style-type: none"> ◦ Main map  <ul style="list-style-type: none"> ◦ Main map ◦ Orthophoto map 	<p>Oblique Aerial Photos</p> <p>You can change the view (N,S,E,W) or pan and zoom the oblique photo.</p> <p>If the parcel centroid is outside the oblique photo area, either a flat map is shown or the page remains empty.</p>  <p>Pictometry Photos</p> <p>(Legacy Internet Explorer Viewer) Learn more</p>  <p>Bing Maps Photos</p> <p>If you don't see the oblique photo, pick "Bird's Eye".</p>	 Area Map  Area Map  Area Map  Area Map
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Pima County Geographic Information Systems

Parcel 117-14-2190

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address	Legal description
117-14-2190 URBAN OASIS LLC PO BOX 43025 TUCSON AZ 85733-3025	TUCSON LOT 11 BLK 238

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code
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There is no situs address information.

Information for this parcel

- For **Assessor parcel details**, copy and paste Parcel ID **117142190** into the [Pima County Assessor's "Quick Search"](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- **Recorded Information** from the [Pima County Recorder's Office](#)
 - A **Recorded Document** is not available here because the Assessor parcel record does not have Docket/Page or Sequence numbers. The parcel may have an associated redorded document that isn't documented here. Recorded documents may be researched at the [Pima County Recorder's web site](#) using free [Public Research](#) or paid [Subscriber Access](#).
 - **Voter Precinct and Districts** are not available because there is no parcel situs address information.
- [Subdivision Plat Map](#) for Book 3, Page 70.
- Pima County [Sanitary Sewer Connection Search](#) and [Connection Records Overview](#).
- **Permits** from [Pima County Development Services](#).
 - [Permit Database Search](#)
 - [Historical Permit Cards](#) - Prior to about 1998
- City of Tucson Development Activity Records are not available because there is no parcel situs address information.
- [Section Information and Maps](#) for Township 14S, Range 13E, Section 13.
This parcel's GIS [overlay details Grids group](#) is a **more complete analysis** of sections when parcel boundaries extend outside of the listed section.

- **Floodplain Information:**
 - [Parcel Floodplain Information](#). See [FEMA Digital Flood Insurance Rate Maps \(DFIRMs\)](#) for more.
 - City of Tucson jurisdiction. See [City of Tucson Floodplain Information](#) or call (520) 791-5609.
- ZoomTucson is not available because there is no parcel situs address information.

Over 100 parcel details from GIS overlay analysis

[Learn more](#) about parcel GIS overlay details. See a [list of all details](#).

Airports Associations Census Comprehensive Plan-Pima Prospers Development Floodplain-Defined by Pima County RFCD Floodplain-FEMA Governmental Districts and Areas	Grids Incentive Zones Jurisdictions Landscape Classifications Miscellaneous Other Regulatory Areas Public Safety Schools	Sonoran Desert Conservation Plan Transportation Utilities Zoning
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Parcel GIS geometry details

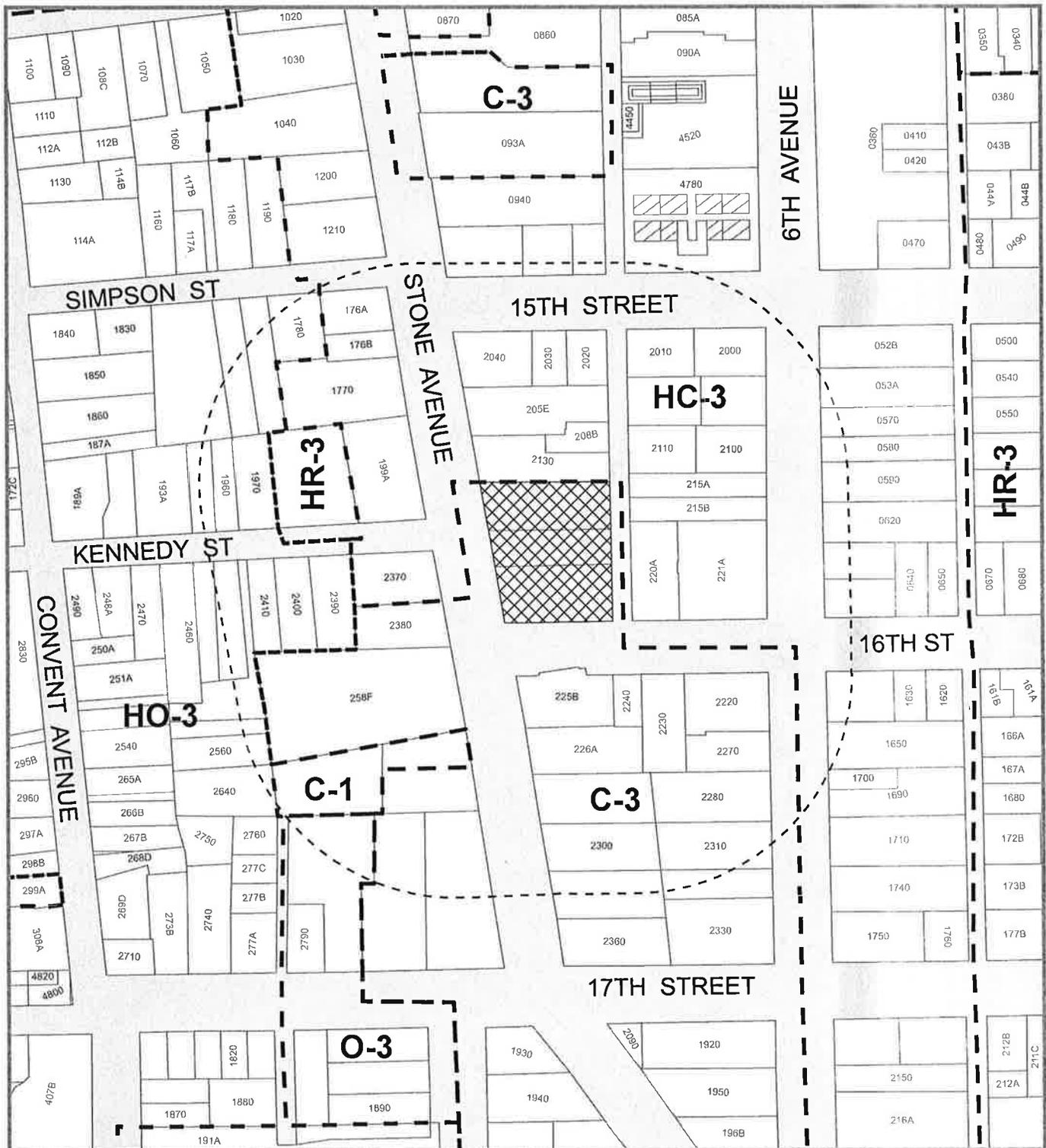
Accuracy is limited to that of the GIS parcel data. All data is subject to this [disclaimer](#).

Parcel centroid coordinates	Approximately 32.214862 degrees latitude, -110.969618 degrees longitude.
Parcel area	<p>This is only an estimate from GIS data. The Subdivision Plat Map may also specify parcel area. See Finding Parcel Areas.</p> <hr/> Approximately 0.28 acres or 12,029 square feet.

Zoom to maps of the parcel's area

 <ul style="list-style-type: none"> ◦ Main map  <ul style="list-style-type: none"> ◦ Main map ◦ Orthophoto map 	<p>Oblique Aerial Photos</p> <p>You can change the view (N,S,E,W) or pan and zoom the oblique photo.</p> <p>If the parcel centroid is outside the oblique photo area, either a flat map is shown or the page remains empty.</p>  <p>Pictometry Photos</p> <p>(Legacy Internet Explorer Viewer) Learn more</p>  <p>Bing Maps Photos</p> <p>If you don't see the oblique photo, pick "Bird's Eye".</p>	 Area Map  Area Map  Area Map  Area Map
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T16PRE0076



Site



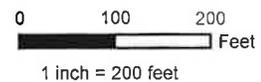
300' Notification Area



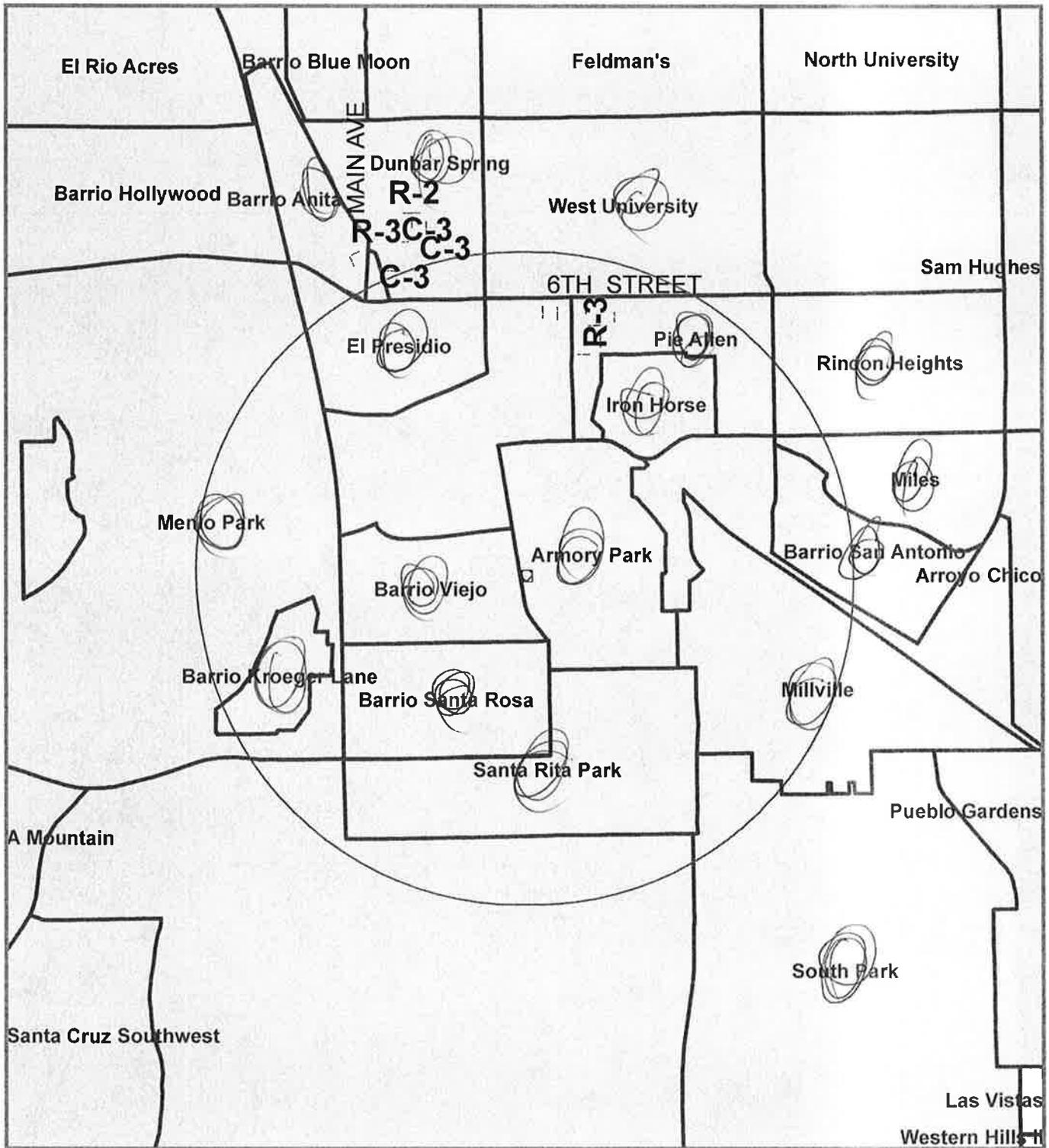
Zone Boundaries



Address: 485 S. Stone Avenue
 Base Maps: Sec.13 T.14 R.13
 Ward: 6



T16PRE0076



Site



T16PRE0076_4buffer_1milebuf



Address: 485 S. Stone Avenue
 Base Maps: Sec.13 T.14 R.13
 Ward: 6

1200

Feet

1 inch = 2,416.583333 feet

N





CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on 11/02/16,
(date of mailing)

for the neighborhood meeting to be held on 11/15/16.
(date of neighborhood meeting)

Matt Stuart
(signature of applicant/applicant's agent)

11/02/16
(date signed)

Documentation if available (such as receipt)

SUN
2100 E SPEEDWAY BLVD
TUCSON
AZ

85719-9998
0388970747
(800)275-8777

11/02/2016 3:47 PM
Product Description Sale Qty Final Price
First-Class 1 \$0.47
Mail Letter
(Domestic)
(TUCSON, AZ 85719)
(Weight:0 Lb 0.20 Oz)
(Expected Delivery Day)
(Friday 11/04/2016)
Certified 1 \$3.30
(@@USPS Certified Mail #)
(70151520000300674700)
First-Class 1 \$0.47
Mail Letter
(Domestic)
(TUCSON, AZ 85719)
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(Expected Delivery Day)
(Friday 11/04/2016)
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(Domestic)
(TUCSON, AZ 85733)
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(Friday 11/04/2016)
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(TUCSON, AZ 85702)
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(Expected Delivery Day)
(Friday 11/04/2016)

Total \$309.14
Credit Card Remitd \$309.14
(Card Name:VISA)
(Account #:XXXXXXXXXX5992)
(Approval #:002793)

SUN
2100 E SPEEDWAY BLVD
TUCSON
AZ

85719-9998
0388970747
(800)275-8777

11/02/2016 3:33 PM
Product Description Sale Qty Final Price
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(Expected Delivery Day)
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(TUCSON, AZ 85701)
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(Domestic)
(TUCSON, AZ 85718)
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(Expected Delivery Day)
(Friday 11/04/2016)

Total \$309.14
Credit Card Remitd \$309.14
(Card Name:VISA)
(Account #:XXXXXXXXXX5992)
(Approval #:002793)

27 October 2016

RE: Use of the Infill Incentive District Optional Overlay (IID) – Downtown Clifton – 485 S. Stone Ave.

Dear Neighbor:

We will be holding a neighborhood meeting to discuss the requested use of the Infill Incentive District Optional Overlay (IID) standards for the proposed Downtown Clifton Hotel expansion project located at 485 South Stone Avenue. The goal of the development project is to expand the current Downtown Clifton Hotel use with new structures on the vacant parcels to the south of the existing development, while paying homage to both the original hotel design as well as the surrounding historical area. We would like to invite you to attend, provide insight about the area and the surrounding neighborhoods, and ask any questions you may have regarding the potential project and/or the use of the IID at this location.

We will be holding the meeting on site, at **485 South Stone Avenue**, at the northeast corner of South Stone Avenue and East 16th Street. The meeting will be held at **5:00 PM on Tuesday, November 15th**.

We encourage public participation, and in addition to questions presented in person at the meeting, you may also direct written questions or comments to Matt Stuart at mstuart@cypresscivil.com prior to, or following the public meeting. If you have any questions about location or the scheduling of the neighborhood meeting, please feel free to contact via email or by phone at (520) 499-2456.

The purpose of this meeting will be to present the proposed development and expansion, explain the specific details, its use of the IID, and hear any constructive ideas that you may have relating to our proposal. Our goal with this process is to be able to respond to your ideas, and make every effort to become a welcomed future neighbor. We look forward to meeting with you personally.

If you have any questions, please do not hesitate to contact. Additional contact information is contained directly below. Thank you for your time and consideration.

Sincerely,

Cypress Civil Development



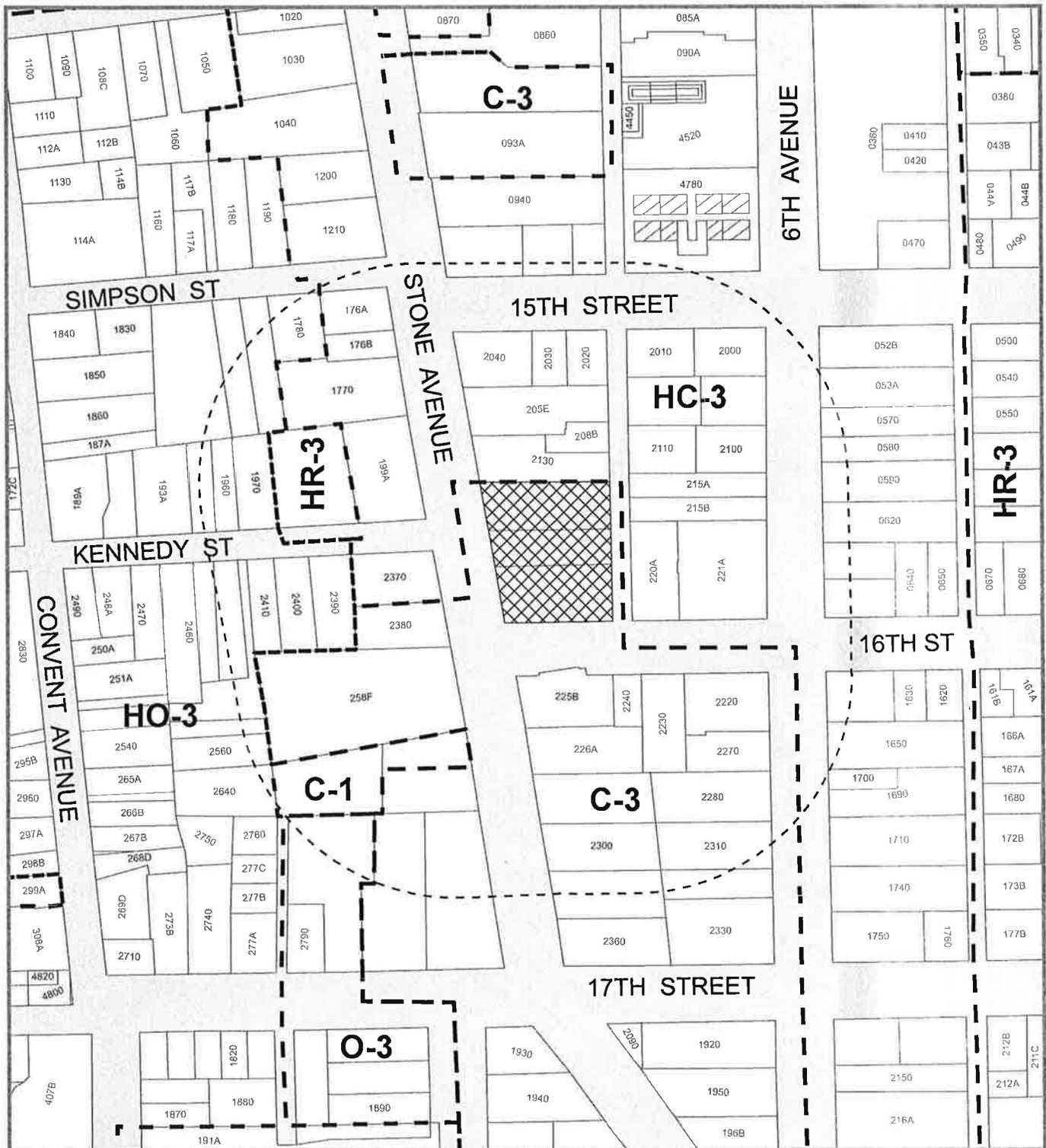
Matt Stuart

Project Manager

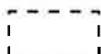
(520) 499-2456

mstuart@cypresscivil.com

T16PRE0076



Site



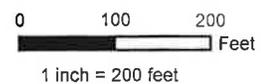
300' Notification Area



Zone Boundaries



Address: 485 S. Stone Avenue
 Base Maps: Sec.13 T.14 R.13
 Ward: 6



PROJECT OVERVIEW

- Goals:
 - Expand existing Downtown Clifton Hotel operation to 29 units;
 - Provide architectural elements congruent with existing hotel, as well as with the Armory Park & Barrio Libre Historic Neighborhoods; and,
 - Offer patrons the opportunity to experience historic downtown Tucson living on a short term basis.

INFILL INCENTIVE DISTRICT

- **INFILL INCENTIVE DISTRICT (IID)**
 - An optional overlay zone that allows certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.
- **GREATER INFILL INCENTIVE SUBDISTRICT (GIIS)**
 - Development is intended to take advantage of the close proximity to the Downtown Core and other Incentive zones by promoting medium-density, transit-oriented, infill development.
 - Development incentives for this zone include allowable modifications and reductions of certain development code standards; up to 25% of the underlying zoning dimensional requirement.

INFILL INCENTIVE DISTRICT

- Allowable modifications:
 - Building height
 - Street perimeter yards
 - Bicycle & Vehicle parking
 - Off-street loading
 - Solid waste collection
 - Landscaping & Screening
 - Pedestrian Access
 - *Curb Radii Connection
 - *MS&R Setback Relief
 - *Alternative Parking Surface

INFILL INCENTIVE DISTRICT

- Process (Minor Design Review)
 - Pre-application conference w/ City Staff
 - ★ Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile)
 - Submit Design Package to City Staff
 - Tucson/Pima County Historical Commission
Review & Recommendation
 - Planning & Development Services Director –
Review findings and issues DECISION

QUESTIONS & ANSWERS

- Questions?
- Contact information:
 - Matt Stuart – Cypress Civil Development
mstuart@cypresscivil.com

THANK YOU FOR COMING!

guestrooms

tacos

mural

lobby entry

parking

existing cliffon



STREET SIDE

wood slate fence patio

wood sliding screen

10th Street



pool house

bar

lobby

lounge

tacos



DOWNTOWN CLIFTON HOTEL – EXPANSION

Neighborhood Meeting Notes

November 22nd, 2016

Cypress Civil Development Attendee:

Matt Stuart, Project Manager

Repp + Mclain Attendees:

Page Repp, President

Rick Mclain, Partner

Jenni Van Brocklin, Architect

Start Time: 5:05 p.m.

Finish Time: 5:48 p.m.

1) Introduction

- a) Matt Stuart opened the meeting, introducing himself and CYPRESS, as well as the project architects, Page Repp, Rick Mclain, and Jenni Van Brocklin. Mr. Stuart further explained the project as an expansion to the current Downtown Clifton Hotel.
- b) Mr. Stuart provided an overview of the Presentation and the flow of the neighborhood meeting, explaining that after the presentation, the floor will be open for questions.

2) Board 1

- a) Goals specific to the proposed project were provided, outlining the inspiration for the project design. This included the expansion of the current hotel configuration based on the past success of the hotel, providing architectural elements congruent with the existing hotel, as well as with Armory Park and Barrio Libre Historic Neighborhoods, and lastly offering a unique experience for tourists and other guests to experience historic downtown Tucson living on a short term basis..

3) Board 2

- a) Mr. Stuart provided a brief explanation of the intent of the optional Infill Incentive District (IID) overlay, and further explained the goal of the Greater Infill Incentive Subdistrict (GIIS) - to create a pedestrian and transit oriented development that took advantage of the of the close proximity to the Downtown Core.
- b) Mr. Stuart further explained the trade-off involved with the IID, and with the flexibility of certain code modifications there is a greater emphasis placed on the design of the project and its contribution to the area and Tucson as a whole.

4) Board 3

- a) Mr. Stuart explained the modifications pertinent to the IID, and highlighted those development regulations which would be part of the IID request:
- b) **Street Perimeter Yards** – Under the GISS, it is encouraged to maintain the existing development setbacks of neighboring properties and to provide relief from the setback requirement is necessary to maximize the development potential of the lot and meet the expectations of a pedestrian/transit oriented development.
- c) **Bicycle and Vehicular Parking** – Under the GISS, reduced parking requirements are allowed. This is based on the idea that patrons will utilize alternative modes of transportation – walk, bike, bus, street car, to access the amenities of the Downtown Core. Mr. Stuart explained that this project will be required to provide 1 parking space per rental unit, and 1 space per every 300 SF of office/commercial space. Mr. Stuart also noted that the IID allows a reduction of up to 25% in the parking requirements, as well as the use of 5 on-street spaces to count towards the requirement. This project is required to have 39 parking spaces. 26 will be provided on-site, with 5 being provided along 16th Street. There is an additional 4 spaces along the Stone Avenue project frontage.
- d) **Solid Waste Collection** – Due to the nature of the site and limited accessibility/maneuverability within the buildable footprint, an alternative solid waste collection system and agreement will need to be worked out with Environmental Services. As per the previous proposed project, an agreed upon solution was to pick up the receptacles from Russell Avenue, utilizing a roll out dumpster enclosure design
- e) **Landscaping & Screening** – If a minimum of 50% of the sidewalks and pedestrian pathways are shaded, the IID allows an exception to the landscaping and screening requirements. Specifically for this project, the existing structure and streetscape vegetation provide in excess of the 50% requirement. Landscaping will continue to be oriented throughout the site and streetscape, providing screening and visual buffer, however, minimum setback requirements are being utilized to fit within the greater neighborhood context, which reduces these requirements.
- f) **Pedestrian Access** – This project seeks to modify the requirements of pedestrian access. The project proposes to direct all pedestrian traffic to a single access adjacent to Stone Ave. No pedestrian access would be provided to 16th Street or Russell Avenue in an effort to reduce spillover into the residential development.
- g) **Curb Radii Connection** – This project seeks to utilize standard driveway aprons along the main ingress and egress point along Stone Avenue. This will assist in reducing traffic speed and potential pedestrian/vehicular conflicts, as well as allow for the current overhead poles to stay in their current location. A reduced radii at the secondary access along Russell Avenue also assists in reducing vehicular speed and any potential conflicts.
- h) **MS&R Setback Relief** - The project also seeks a modification of the Major Streets & Routes Setback. The Major Streets & Routes plan, as approved by the voters in association with the Plan Tucson General Plan, indicates the future right-of-way width for Stone Avenue, adjacent to the aforementioned property, will increase from the current alignment of approximately 80 feet in width to 90 feet in width. As such,

previous discussion with TDOT and City of Tucson Engineering Staff determined the parcel owner would need to dedicate an approximate 6 foot wide strip of property along the western, street side boundary, to the City of Tucson for future right-of-way. As part of this modification request and in light of the recent adoption of Ordinance No. 11386 – MS&R Right-of-way Use Modification Request, the project would like to request the ability to place private improvements within the aforementioned 6’ of dedicated right-of-way. These improvements include but are not limited to landscaping, patios, and privacy walls.

- i) **Alternative Parking Surface** – This project seeks to modify the PAAL area surface requirements by providing an alternative surface treatment to the standard paving, asphalt requirement. This alternative surface would be located within the parking spaces themselves, while the PAAL lane aims to meet the minimum structural section for paving. The alternative surface will provide increased permeability within the vehicular parking spaces and add an additional design feature to the project. The alternative surface proposed is a permeable pavement surface, and would be similar in nature to the Drivable Grass © product offered by the company Soil Retention.
- 5) **Board 4** – Mr. Stuart discussed the Major IID process, who is involved and their role in the process:
- a) **Pre-Application Conference** – Includes City staff to discuss the use of the IID for the project.
 - b) **Host a Neighborhood Meeting** – Neighborhood meeting is held with interested residents and owners within a 300 foot notification radius and Neighborhood Associations within 1 mile of the project site.
 - c) **Submittal of a Design Package** – Presented to City staff
 - d) **Tucson/Pima County Historical Commission** – Review and Recommendation
 - e) **Meet & Review Design Package** – with Design Professional
 - f) **Design Review Committee** – Review & Recommendation
 - g) **Planning & Development Services Director** – Reviews findings and issue a final decision
- 6) **Boards 5 & 6** -
- a) Site Renderings. Mr. Stuart introduced Mr. Page Repp and Mr. Rick Mclain, of Repp + Mclain to review the site renderings of the proposed development.
 - b) Mr. Mclain provided a brief overview of the project, explaining that it is an expansion to the existing hotel and planned to be 2 stories in height.
 - c) The guest rooms will be divided into 4 separate buildings, instead of 1 large building, making it more comparable in scale to the rest of the neighborhood.
 - d) The design is to be introverted, with the activity and access to all the buildings designed to be from the interior of the site. This allows for a communal interior, and the attention to the center of the site and not the residential areas across the streets.
 - e) There will be a multi-purpose room and additional lobby space included along the south of the parking area.
 - f) The project will provide a pool and indoor/outdoor lounge areas.
 - g) A small kitchen to provide food options for guests.

- h) The rooms on the perimeter contain staircases, but are along the interior of the site.
 - i) The genesis for the design is the existing Downtown Clifton Hotel structure. The first floor of the expansion buildings will contain the same 4 inch high block.
 - j) The other main element is the horizontal brows along the existing structure, that as well will be continued over into the new construction/expansion.
 - k) The guest rooms do have patios along the backside of the units on the ground floor.
 - l) Patios on the 2nd story are similar in design to a Juliette balcony, and will contain a high wood fence with slats to both contain and provide privacy to guests and neighbors, as well as to minimize sun exposure into the units themselves.
- 7) **Questions and Answers** – Mr. Stuart thanked everyone for coming to the neighborhood meeting and the floor was then opened to the attendees for questions:
- a) **Question** – So there will be no pedestrian access from Russell?
 - i) **Response** – Correct, in an effort to minimize neighborhood disturbance, pedestrian traffic will be focused to Stone Avenue only.
 - b) **Question** – Will spaces along Stone and 16th be permitted?
 - i) **Response** – No, they are currently public parking spaces and will remain as such for anyone’s use, including hotel guests.
 - c) **Question** – How do you stop people from parking on Russell?
 - i) **Response** – There are no striped parking spaces along Russell, and patrons will be encouraged by management to park along Stone or 16th. There may be an opportunity to place some no parking signs along Russell, but that will need to be reviewed by TDOT.
 - d) **Question** – How will people be accessing the property?
 - i) **Response** – The main/primary access will be along Stone Avenue in its current location. We will need a secondary access point to accommodate vehicular and emergency vehicle circulation, as on-site turnaround is not doable, and that will be to Russell Avenue. Traffic will be directed and encouraged to utilize the Stone Avenue access point.
 - e) **Question** – What is on the ground floor of the buildings along Russell, what are the little rectangles?
 - i) **Response** – Those will be hotel units. The rectangles are patios extending out near the property line. They do not indicate parking spaces, there is no parking planned for this development along Russell.
 - f) **Question** – How are you treating Russell like a street and not an alley?
 - i) **Response** – The unit orientation and the patios will bring activity to the rear of the buildings and along the street frontages. Landscaping will be provided in areas to enhance the perimeter, but having people and creating a visual presence is the best way to treat it like a street.
 - g) **Question** – Will you be maintaining the wall along Stone Avenue and 16th?
 - i) **Response** – The wall is currently in future right-of-way, which we are working with TDOT to better understand how we can utilize that area as part of the future development. Under normal conditions that area would be dedicated to the City

and responsibility would fall to them. The current design does not incorporate the wall. Previous design of the townhomes were able to maintain sections, but the intensity and the desire to create patio spaces in this area means the walls are not able to remain.

- h) **Question** – Will there be any additional landscaping along Russell Avenue, so it is not a dumping yard?
 - i) **Response** – Yes, there will be additional landscaping being planned along the entire linear frontage of Russell Avenue. Including in pockets around the existing structure that will remain. Goal is to soften, but also provide activity in order to treat it like a street and not an alley.
- i) **Question** – I live across the 16th Street, what are going to be on the second story facing the street?
 - i) **Response** – There will be balconies on the second floor. Balconies will be of the Juliette design, and will contain a high wood fence with slats to both contain and provide privacy to guests and neighbors, as well as to minimize sun exposure into the units themselves. (referring to exhibit).
- j) **Question** – It still looks like you are treating Russell like an alley and not a street?
 - i) **Response** – We are providing activity along Russell having the units oriented in that direction, and continuing with the design of the area by having the buildings as close as possible to property/street line. Some landscaping will be provided, and compared to most commercial sites of this nature, landscaping will be quite dense throughout the site. Yes the dumpster location is along Russell, but it will be enclosed and is situated across from a carport to minimize the visual effect.
- k) **Question** – Are people able to walk out on the 2nd story balcony, are there windows?
 - i) **Response** – Yes, there are windows, and they will be able to open those windows. But on the backside, facing the streets the balconies are of Juliette design, so there won't be space to walk out onto. The wood slat/screens do open. There is space on the interior of the buildings for patio style seating for the upstairs units.
- l) **Question** – But on the first floor there is somewhere to sit?
 - i) **Response** – Correct, on the backside the ground floor will have patios where you are able to sit, the upstairs will not have balconies that enable seating.
- m) **Question** – Is there going to be a lot of traffic on Russell from having an access point there?
 - i) **Response** – Primary design is to direct traffic out onto Stone Avenue. Additional signs may be necessary to assist in this effort, but we won't be able to stop everyone from utilizing Russell. .
- n) **Question** –What is the purpose of having a balcony if you can't use it or go out on it?
 - i) **Response** – The Juliette design helps balance the light in the space. The original design of the townhomes also included balcony/patio space. We understand the concern for privacy, and are utilizing large wooded screen structures to help provide it for both sides. The new buildings are being constructed across from a carport and

- the side of a house with only a single opaque block window. It was our intent with the design to minimize the possible exposure to the neighborhood residences.
- o) **Question** – What is the proposed height of the buildings?
 - i) **Response** – The proposed height is around 18.5'. Definitely less than 20', and fits pretty well into the scale of the surrounding structures.
 - p) **Question** – How big are the second story windows?
 - i) **Response** – They are about 8' high. Again, screening will be provided which will allow for increased privacy while also letting in adequate light into the space.
 - q) **Question** – Why do you need access onto Russell? This is a commercial use in a residential neighborhood.
 - i) **Response** – The property is currently zoned for commercial, a rather intense commercial which would allow a building of up to 75' in height. We think we have provided a great design that transitions and bridges commercial with residential. The scale is relative to the surrounding area, and efforts to maintain neighborhood privacy have been made. We need to provide through access and a secondary access for emergency services. Russell Avenue is a public street, not an alley, so we are utilizing it for this type of access point. The fire department would not allow us to design a site that required an emergency vehicle to back out onto Stone Avenue homes, so we must provide circulation for those vehicles. Again, our intent is direct patron and guest traffic to Stone Avenue, however we cannot prohibit everyone.
 - r) **Question** – Can you place a gate along Russell Avenue?
 - i) **Response** – Because of the relative small nature of the site and project, there is not adequate clear space to provide a swing or sliding gate. Again, it is a public street, and we are obligated to provide access as part of our development. We understand the concern to limit traffic, and will do everything possible from a management perspective to reduce that. But this is a double edges sword argument. We are trying to treat it as a street and not an alley, and therefore from City standards perspective we need to provide accessibility.
 - s) **Question** – How tall are the patio walls on the first floor?
 - i) **Response** – Those are 6' in height, so they still provide adequate privacy for the patio areas and neighbors.
 - t) **Question** – Wrought iron, steel, block, and stucco are more prevalent in the Armory Park neighborhood, any plans to incorporate that more into the fence design?
 - i) **Response** – Definitely something we can look at. The wood was chosen because of its integration into the existing site, but there are also other materials as well. We will explore that.
- 8) **Closing** – Mr. Stuart thanked everyone for coming, encouraged those to sign the sign-in sheet if had not already done so, and closed the neighborhood meeting.

2 - MS&R RELIEF APPLICATION

The
**DOWNTOWN
CLIFTON**

repp+mclain
DESIGN AND CONSTRUCTION

CYPRESS
CIVIL DEVELOPMENT

26 December 2016

City of Tucson Planning & Development Services
201 South Stone Avenue
Tucson, Arizona 85701

RE: Major Streets & Routes Use Modification and Relief Request for the Downtown Clifton Hotel Expansion Development

Cypress Civil Development has compiled the following narrative responses for City of Tucson staff for the above mentioned project. The responses are listed by heading below:

Description of Project:

The proposed Development Plan is for an expansion of the Lodging and Accommodation use on the two vacant parcels south of the existing Downtown Clifton Hotel at 485 S Stone Avenue – APN #117-14-2180 & 117-14-2190. No permanent building structure will be constructed within the future MS&R Right-of-way area within the site, and through the use of the Infill Incentive District – Greater Infill Incentive Subdistrict (GIIS), a waiver has been requested to reduce the UDC Landscape & Screening standards.

It must be acknowledged that buildings to the north of the subject property, contained within the same city block, on both the east and west sides of Stone Avenue, are within both a City of Tucson Historic Preservation Zone, and National Historic Registry. Buildings along this block currently utilize a 0' lot line development standard along Stone Avenue, and at least one building along this frontage is individually listed (Velasco House). It is our opinion that based upon the aforementioned the likelihood of a future expansion of Stone Avenue is incredibly small, and would require the acquisition and demolition of treasured historical Tucson assets.

Description of the proposed use of future MS&R Right-of-Way:

The proposed MS&R Right-of-Way will be utilized for landscaping and screening requirements, common patio area, and individual hotel room patio areas. Hotel room patios will include screening through the use of a wall or decorative fence. Common area patio seating will also be provided for the guests and patrons, and will include screening through the use of a wall or decorative fence. No permanent buildings or structures are proposed within the future MS&R Right-of-Way.

Street name(s) of the requested MS&R setback relief:

South Stone Avenue.

Width of relief needed:

The relief needed is 6.27' along South Stone Avenue.

How the modification allows the development to provide an improvement that is better integrated into the design character of the immediate neighborhood:

Stone Avenue bisects the Armory Park and Barrio Libre Historic Neighborhoods. As such, historical development standards, including 0' lot line structures, are employed along both the east and west street frontages of Stone Avenue. In order to maintain congruency and to develop a site commensurate with the surrounding development a 0' lot line standard must be utilized. Also It must be acknowledged that buildings to the north of the subject property, contained within the same city block, on both the east and west sides of Stone Avenue, are considered contributing to the National Historic Registry, with at least one building individually listed (Velasco House). It is our opinion that based upon the aforementioned the likelihood of a future expansion of Stone Avenue is incredibly small, and would require the acquisition and demolition of treasured historical Tucson assets. Allowing the development to utilize the proposed MS&R area for landscaping, screening, and non-permanent improvements, would continue with the theme of an active Stone Avenue street frontage currently present within the area.

How the proposal will not cause a safety hazard, noise, or parking impacts on an adjacent neighborhood:

The proposed development will provide on-site parking, as well as utilize existing on-street parking along 16th Street and Stone Avenue as required by the IID, GIS, and UDC. The use of the MS&R Right-of-Way for landscaping and patio space will not cause a safety hazard, noise, or impact parking within the adjacent neighborhoods.

How the modification does not impede sight visibility at points of ingress into, egress from, or within the vehicular use area for either vehicular or pedestrian traffic:

The proposed development will provide ingress & egress from the current driveway location off of Stone Avenue and will also provide a secondary ingress and egress point along Russell Avenue. Both points of access will not impede or create conflict with the existing developments or intersections, and will provide acceptable visibility for vehicular and pedestrian traffic alike along Stone Avenue.

This narrative and accompanying exhibits are intended to highlight the main aspects of the proposed project and the requested relief from the MS&R Right-of-Way. A Development Package has been submitted for review by City of Tucson Development Services staff, and the following application is a result of that interaction. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

3 - PARKING PLAN

The
**DOWNTOWN
CLIFTON**

repp+mclain
DESIGN AND CONSTRUCTION

CYPRESS
CIVIL DEVELOPMENT

28 December 2016

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

RE: Parking Plan for Downtown Clifton Hotel Expansion

The proposed project located 485 S Stone Avenue – APN #'s 117-14-2180 & 117-14-2190 is for an expansion to the existing Downtown Clifton Hotel. The project has been designed and constructed under the governance of the City of Tucson's Unified Development Code (UDC), the Downtown Area Infill Incentive Overlay District (IID), and the Greater Infill Incentive Subdistrict (GIIS). The proposed use is TRAVELER'S ACCOMMODATION; LODGING, an allowed use under Table 5.12-GIIS-1.

The proposed development intends to utilize the existing building and associated infrastructure of the existing Downtown Clifton Hotel, in conjunction with the new development of the adjacent vacant parcels to the south, to expand on the Traveler's Accommodation; Lodging use. The proposed use is required to be parked at 1 space per every 1 rental unit, and at 1 space per every 300 square feet of gross floor area of Conference, Restaurant, Retail, Bar, and Banquet space, as noted in Table 7.4.4-1: Minimum Number of Motor Vehicle Spaces Required of the UDC. As a result, the required parking based on 29 rental units and 2,890 square feet of the gross floor area of Conference, Restaurant, Retail, Bar, and Banquet is 38.63 spaces minimum. Under the GIIS, section 5.12.9.C.2.a, an up to 25% reduction in the required parking calculation is allowed. This reduces the overall parking calculation by 9.65 parking spaces, bringing the revised required spaces to 28.98 minimum (*see Attachment 1 – Applicable Parking Codes*).

The proposed project is proposing to construct 26 on-site parking spaces, and utilize existing public on-street parking spaces to accommodate the remaining requirement. Under section 5.12.9.C.2.c.3, non-residential uses may provide up to five on-street spaces on a collector or arterial street where parking is permitted. E 16th Street is considered a collector street and contains 5 public parking spaces along the property's street frontage. (*see Attachment 2 – Site Plan*).

The Armory Park Neighborhood Residential Permit Programs exists adjacent to the project area, but does not include the 5 spaces along 16th Street aforementioned. The nearest bus stop or other mode of alternative transportation lies approximately 800 linear feet to the northeast at the intersection of 15th Street and 6th Avenue. (*see Attachment 3 – Bus Station Proximity Map*).

The hours of operation for the Project will be similar to other commercial businesses with similar uses. The hours of operation for this use will not violate any of the provision of the City of Tucson's Unified Development Code. The result is a well distributed arrival and departure trip load and no true peak traffic time.

It is the goal of management to direct and focus ingress/egress to the site from Stone Avenue. However, the project must also meet public health and safety codes which require the site to provide circulation and a secondary access point for emergency vehicles along Russell Avenue. This project recognizes the sensitivity of Russell Avenue to the Armory Park neighborhood and the immediate residences. As such, although we must provide secondary access to Russell Avenue, this access will not be signed nor encourage patrons to utilize on a regular basis. On-site signage will encourage guests and patrons to enter and exit the site from Stone Avenue.

In conclusion, the proposed 31 parking spaces – 26 on-site, and 5 on-street, will provide adequate parking to meet the needs of proposed use.

Thank you for the opportunity to provide the above Parking Plan narrative to support the attached Development Plan and Design Package for The Downtown Clifton Hotel expansion project. If you have any questions or concerns please feel free to contact.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

mstuart@cypresscivil.com

Attachment 1 – Applicable Parking Codes

Attachment 2 – Site Plan

Attachment 3 – Bus Station Proximity Map

TABLE 7.4.4-1: MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED

<u>Land Use Group/Class</u>	<u>Motor Vehicle Parking Required</u>
Medical Service - Outpatient	1 space per 200 sq. ft. GFA
Parking	0 required.
Transportation Service	1 space per 300 sq. ft. GFA of administrative or professional office area only
Travelers' Accommodation, Campsite	1 space per campsite
Travelers' Accommodation, Lodging	1 space per rental unit plus 1 space per 300 sq. ft. GFA of conference, restaurant, retail, bar, and banquet space.
Vehicle Storage	None (0) required
INDUSTRIAL USE GROUP	1 space per 1,000 sq. ft. GFA, except as follows:
Household Goods Donation Center	1 space per 300 sq. ft. GFA.
Salvaging and Recycling	1 space per 5,000 sq. ft. of lot area plus 1 space per 300 sq. ft. of sales and office area
RECREATION USE GROUP	1 space per 100 sq. ft. GFA, except as follows:
	0 spaces per lot plus 50% of parking required for retail

5.12.9. GREATER INFILL INCENTIVE SUBDISTRICT (GIIS)

A. GIIS Land Uses

In the GIIS, a proposed development project using the IID zoning option must meet both of following requirements:

1. It must be a use permitted by the underlying zoning on the property.
2. It is limited to the uses listed in Table 5.12-GIIS-1 below.

TABLE 5.12-GIIS-1	
LAND USE	
LAND USE TYPE	
<p>Commercial Services Group Administrative and Professional Office Alcoholic Beverage Service Entertainment Food Service Personal Services Travelers' Accommodation, Lodging</p> <p>Civic Use Group Civic Assembly Cultural Use Educational Use: Instructional School Educational Use: Post-secondary Institution Religious Use</p>	<p>Industrial Use Group Craft work</p> <p>Retail Trade Group General Merchandise Sales Food and Beverage Sales</p> <p>Residential Group Attached Family Dwelling Multifamily Dwelling Group Dwellings, pursuant to Section 5.12.6.K</p> <p>Other Uses Mixed Uses are limited to a combination of Residential and any other uses listed in this table.</p>

3. Additional Permitted Uses

With the exception of Automotive Service and Repair uses, which are prohibited, permitted uses include any use permitted in the underlying zone for the property, provided the PDSD Director finds the proposed use to be in accordance with Section 5.12.1, (*Purpose*).

B. Modifications of Underlying Development Standards

Except as provided in Subsection C below, the requirements in the following sections of the UDC may be modified up to 25 percent of the dimension amount permitted by the underlying zoning: Article 6, *Dimensional Standards and Measurements*; Section 7.4, *Motor Vehicle & Bicycle Parking*; Section 7.5, *Off- Street Loading*; Section 7.6, *Landscaping and Screening*. Section 7.7, *Native Plant Preservation* may not be modified.

C. Exceptions

The following sections of the UDC may be modified in excess of 25 percent to the extent specified below upon findings by the PDSD Director that the modification is consistent with Section 5.12.1, *Purpose*.

1. Article 6, Dimensional Standards and Measurements

a. Building Height

Building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID Plan's Development Transition Standards as provided in Section 5.12.8.B require less.

b. Street Perimeter Yard

Perimeter yard requirements may be reduced or waived if the PDSD Director determines that the request is consistent with the Major Streets and Route Plan. The Director of the Transportation Department, may modify the Major Streets and Routes setback if there is adequate sight visibility, no traffic safety issue is created, the reduction complies with the standards of Section 5.12.8.B, and the setback does not create a future roadway expansion problem. This provision may apply to Major Streets and Routes setbacks in the DCS and DLS.

c. No residential density calculation (RAN) standards apply.

2. **Section 7.4, Motor Vehicle and Bicycle Parking**

a. **Parking**

Parking as required by Section 7.4, *Motor Vehicle and Bicycle Parking*, may be reduced up to 25 percent. Parking may be decreased by more than 25 percent per a written agreement with the Park Tucson, or in accordance with Section 5.12.6.M, *IID Parking Plan*, if the analysis and findings show the proposed parking is adequate.

b. **Accessible Parking and Bicycle Facilities**

(1) The number and location of accessible parking spaces required by the City's adopted Building Code shall not be reduced or eliminated and shall be based on the number of motor vehicle parking spaces required prior to any modification.

(2) Bicycle facilities may not be reduced or eliminated and must be based on the number of bicycle spaces required by Section 7.4.8 for the use.

c. **Location**

Parking may be provided by any one of the following options or by a combination of the following options:

(1) On-site;

(2) Off-site within one-fourth of a mile of the project site through a shared parking agreement with the City ;

(3) With the approval of the Department of Transportation, proposals for non-residential uses may provide up to five on-street spaces on a collector or arterial street where parking is permitted.

3. **Section 7.5, Off-Street Loading**

Off-street loading zone standards may be reduced or waived if PDS and the Department of Transportation determine that no traffic safety issue is created.

4. **Solid Waste Collection**

On-site refuse collection container standards governing access, type, and location may be modified if the Environmental Services Department determines that no public health or traffic safety issue is created.

5. **Section 7.6, Landscaping and Screening**

a. Section 7.7, *Native Plant Preservation* may not be modified.

b. Except as required by Section 5.12.8.B, *Development Transition Standards*, a complete or partial exception to Section 7.6, *Landscaping and Screening Standards*, may be granted if shade is provided for pedestrians and customers, such as along sidewalks, pedestrian circulation paths, and outdoor patios, in accordance with Section 5.12.6.A.2. The landscaping requirement may also be waived by the PDS Director based on a written finding that the waiver is necessary to preserve the prevailing setback.

c. Any one or more of the following types of landscaping and improvements may be used to comply with this section:

(1) Existing landscaping;

(2) Shade trees in the right-of-way;

(3) Green walls or green roofs; and/or

(4) Shade structures, such as awnings.

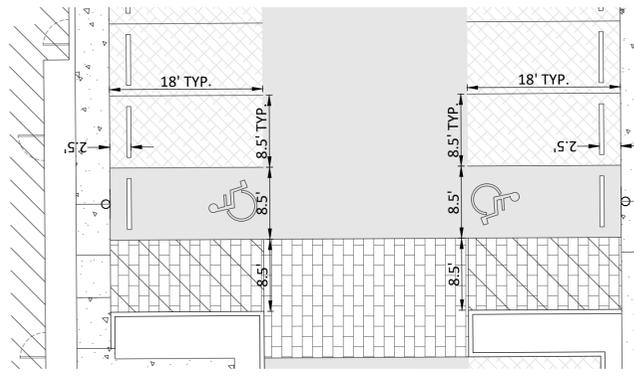
6. **Pedestrian Access**

Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalks may be allowed as long as no safety hazard is created. All pedestrian access shall conform to the accessibility standards of the City's adopted Building Code.

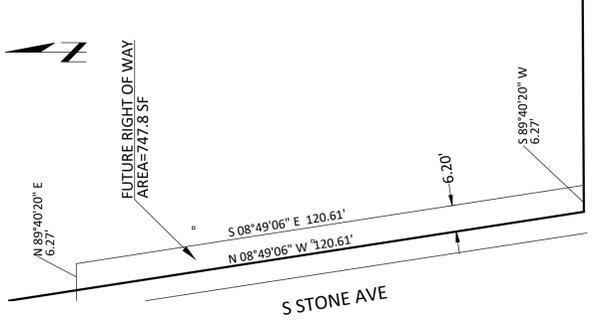
(Am. Ord. 11246, 2/18/2015)

KEYNOTES

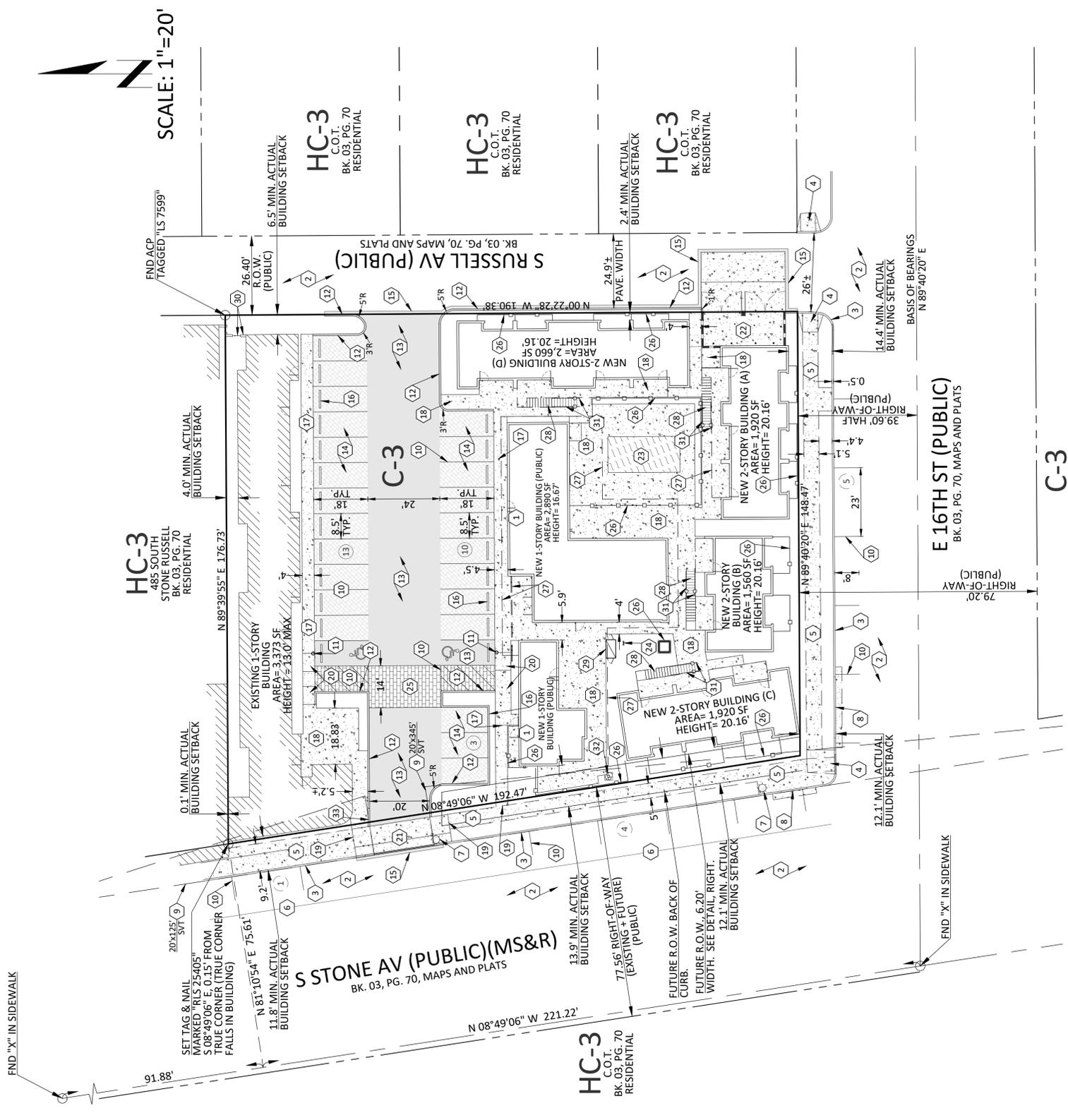
- 1 PRIMARY BUILDING ENTRANCE.
- 2 EXISTING ASPHALT TO REMAIN.
- 3 EXISTING CURB TO REMAIN.
- 4 EXISTING CURB RAMP TO REMAIN.
- 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 6 EXISTING STRIPING TO REMAIN.
- 7 EXISTING LIGHT TO REMAIN.
- 8 EXISTING STORM DRAIN INLET TO REMAIN.
- 9 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
- 10 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 11 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL (A), SHEET 6.
- 12 NEW 6" VERTICAL CURB, TYPE 2, PER PC/COT STD DTL 209. SEE DETAIL (B), SHEET 6.
- 13 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL (C), SHEET 6.
- 14 NEW "DRIVEABLE GRASS" PERMEABLE PAVING, OR APPROVED EQUIVALENT.
- 15 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
- 16 NEW 6" WHEEL STOP (TYP.). SEE DETAIL (D), SHEET 6.
- 17 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL (E), SHEET 6.
- 18 NEW CONCRETE SIDEWALK PER PC/COT STD DTL 200. SEE PLAN FOR DIMENSIONS.
- 19 CONNECT TO EXISTING SIDEWALK PER PC/COT STD DTL 203.
- 20 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS.
- 21 NEW CONCRETE DRIVEWAY APRON PER PC/COT STD DTL 206.
- 22 NEW TRASH ENCLOSURE. SEE DETAIL (F), SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
- 23 NEW SITE AMENITY.
- 24 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL (G), SHEET 6. FOR RACK SPACING SEE DETAIL (H), SHEET 6.
- 25 NEW TRAFFIC RATED PAVERS.
- 26 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAIL.
- 27 NEW BUILDING OVERHANG.
- 28 NEW STAIRCASE.
- 29 NEW LONG TERM BICYCLE PARKING. SEE DETAIL (I), SHEET 6. FOR LOCKER PLACEMENT, SEE DETAIL (J), SHEET 6.
- 30 EXISTING WALL/FENCE TO REMAIN.
- 31 NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL (K), SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
- 32 NEW GROUTED RIP RAP. SEE DETAIL (L), SHEET 6.
- 33 NEW VERTICAL CURB TRANSITION. SEE DETAIL (M), SHEET 6.



TYPICAL PARKING DETAIL
SCALE: 1"=10'



FUTURE RIGHT-OF-WAY DETAIL
SCALE: 1"=20'



NO.	DATE	REVISION DESCRIPTION

CITY OF TUCSON	
<input type="checkbox"/> SCZ	<input type="checkbox"/> PDSD APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> FRZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> HDZ
<input type="checkbox"/> Grading	<input type="checkbox"/> WASH
<input type="checkbox"/> SWPPP	<input type="checkbox"/> HALL
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	Date

DEVELOPMENT PACKAGE	
<input type="checkbox"/> SCZ	<input type="checkbox"/> PDSD APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> FRZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> HDZ
<input type="checkbox"/> Grading	<input type="checkbox"/> WASH
<input type="checkbox"/> SWPPP	<input type="checkbox"/> HALL
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> HDZ
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<input type="checkbox"/> SWPPP	<input type="checkbox"/> HALL
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	Date

CALL 811 BEFORE YOU DIG

 1-800-485-4811

 ARIZONA 811

 1-800-485-4811

 ARIZONA 811

 1-800-485-4811

OWNER/DEVELOPER
 URBAN OASIS LLC
 P.O. BOX 43025
 TUCSON, ARIZONA 85733
 ATTN: PHIL LIPMANN
 PH: (520) 609-6093
 EMAIL: philnaz@gmail.com
SITE ADDRESS
 485 SOUTH STONE AVENUE
 TUCSON, ARIZONA 85701

CYPRESS PROJECT NO: 16.050
 2030 east speedway boulevard
 suite #110
 tuscon, arizona 85719
 ph: 520.499.2456
 e: kmhal@cypresscivil.com

CYPRESS CIVIL DEVELOPMENT
 SUSTAINABILITY

A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11
 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK.
 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE
 S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S.,
 R. 13 E., G. & S. R.M., CITY OF TUCSON, PIMA
 COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
DOWNTOWN CLIFTON EXPANSION
site plan

3
 OF
 11

Bus Route & Stops



Legend

- Parcels
- Bus Stops
- 🚏 No Shelter
- 🚏 Shelter
- 🚏 Bus Pullouts
- Existing
- In Design
- Sun Tran Bus Routes
 - 10th/12th Ave
 - 22nd St.
 - 6th St./Wilcox
 - Alp Way
 - Alvernon Way
 - Benson Highway
 - Broadway
 - Campbell Ave.
 - Congress/Silverbell
 - Country Club/29th St.
 - Craycroft/F.L. Lowell
 - Euclid/N. 1st Ave.
 - Flowing Wells
 - Glenn/Swan
 - Grande
 - Grant Road
 - La Cholla
 - Midvale Park
 - Mission Road
 - Oracle/Ina
 - Pantano
 - Pima/West Speedway
 - Pueblo Gardens
 - S. 12th Ave.
 - S. 6th Ave.
 - S. Park Ave
 - Speedway

Notes

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.1 Miles

0 0.04

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4 - DEVELOPMENT PLAN

The
**DOWNTOWN
CLIFTON**

repp+mclain
DESIGN AND CONSTRUCTION

CYPRESS
CIVIL DEVELOPMENT

GENERAL PAVING + GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):

TOTAL CUT	TOTAL FILL	COMPOSITE
128 CY	204 CY	76 CY (C)

 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

GENERAL PAVING + GRADING NOTES (cont.)

- A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION/CERTIFICATION OF OCCUPANCY, RELEASE OF ASSURANCES OR MODULAR PERMITS.
- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PSDS ENGINEERING AT 791-5550 EXTENSION 2101, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velocityhall.com/accela/velohall/index.cfm?city=tucson&state=arizona>
- ANY REVISION TO THE GRADING PLAN **MAY** REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

RIP-RAP NOTES

- RIP-RAP MATERIAL SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 913. RIP-RAP MATERIAL SHALL BE WELL GRADED, VARYING IN SIZE FROM 4 TO 8 INCHES (d₅₀=6"). THE RIP RAP LAYER SHALL BE 6 INCHES MINIMUM THICKNESS
- GROUTED RIP-RAP SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 913-2.04. THE TOTAL GROUTED AND RIP RAP LAYER SHALL BE A MINIMUM THICKNESS OF 1.5d₅₀ INCHES (d₅₀=9"). GROUT THICKNESS SHALL BE EQUAL TO 1.0d₅₀ AND RIP RAP ROCK SHALL BE EMBEDDED TO A DEPTH OF 0.5d₅₀.
- FINISH GRADE ("FG") CALLOUTS ARE TO TOP OF RIP-RAP, IN APPLICABLE AREAS.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PATTISON ENGINEERING, LLC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED JUNE 26, 2015 PATTISON ENGINEERING, LLC PROJECT NO. 15-079.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE CENTER LINE OF 16TH STREET. THE BEARING OF SAID LINE IS N 89°40'20" E.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS GEODETIC CONTROL POINT INDEX CODE L23 TWP 14 S, RNG 13 E. FOUND 2" ALUMINUM DISK WITH A 60D NAIL STAMPED CITY OF TUCSON "RLS 20373" LOCATED 103 FEET EAST AND OF THE EAST RIGHT-OF-WAY LINE OF STONE AVENUE AND 24 FEET SOUTH OF THE NORTH RIGHT-OF-WAY LINE OF 17TH STREET. THE ELEVATION OF SAID BENCHMARK IS 2401.79', NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: EVERETT TRUEBLOOD LAND SURVEYING TUCSON, ARIZONA 85743 ATTN: MR. EVERETT M. TRUEBLOOD, AZ RLS #25405 PH: (520) 888-2549
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

IID GENERAL NOTES

- ...
- ...



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				URBAN OASIS LLC P.O. BOX 43025 TUCSON, ARIZONA 85733 ATTN: PHIL LIPMANN PH: (520) 609-6093 EMAIL: plinaz@gmail.com
				SITE ADDRESS 485 SOUTH STONE AVENUE TUCSON, ARIZONA 85701



CYPRESS PROJECT NO: 16.050

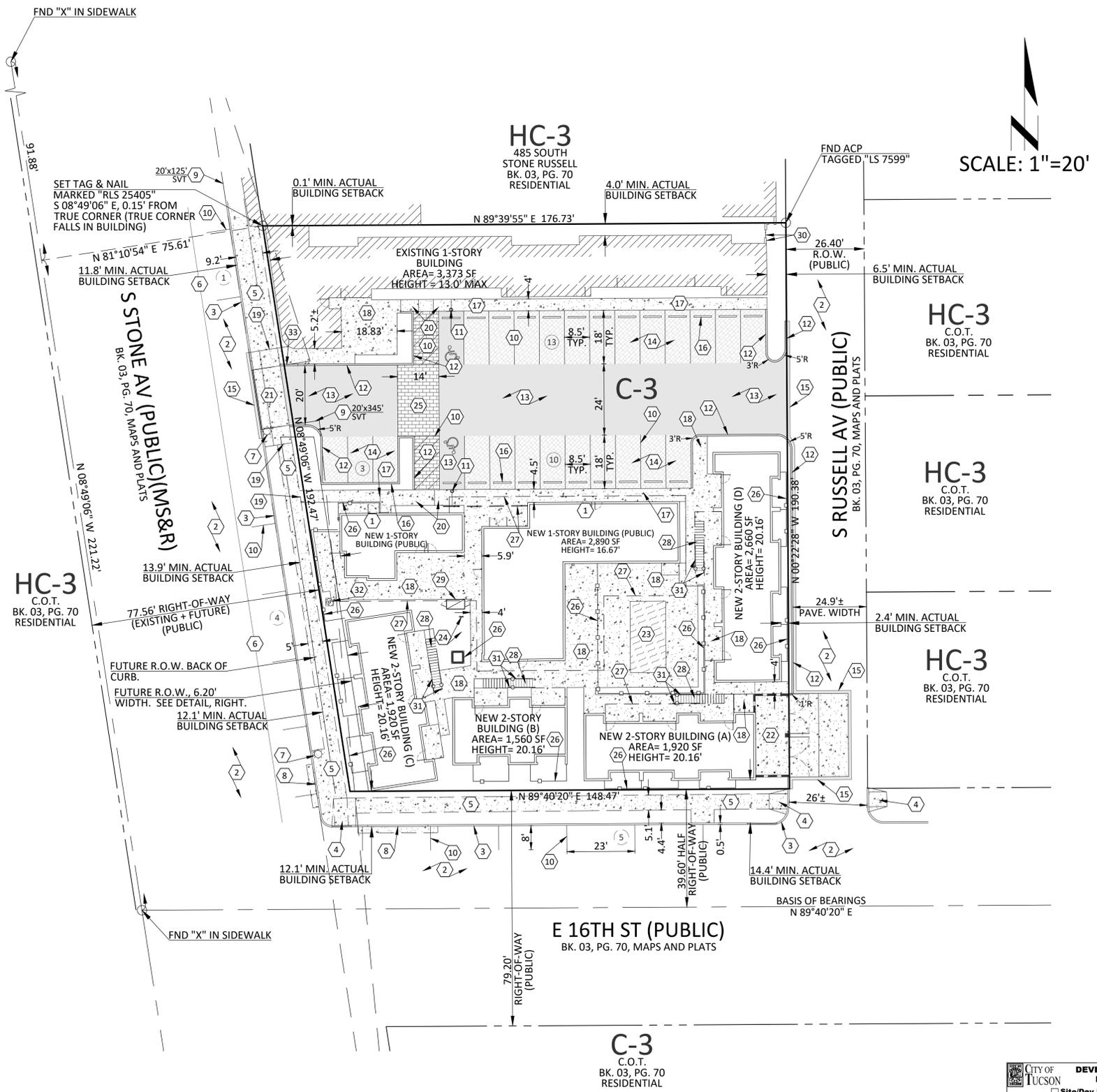
CYPRESS CIVIL DEVELOPMENT
Strength + Sustainability

2030 east speedway boulevard suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cyresscivil.com

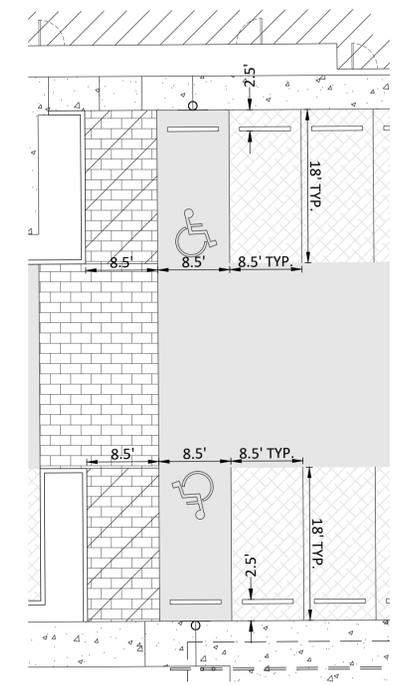
A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION notes

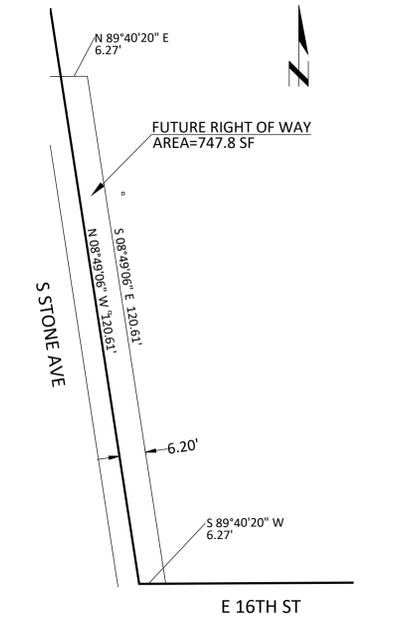
DP REF: 2 OF 11



SCALE: 1"=20'



TYPICAL PARKING DETAIL
SCALE: 1"=10'



FUTURE RIGHT-OF-WAY DETAIL
SCALE: 1"=20'

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB RAMP TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 EXISTING STRIPING TO REMAIN.
 - 7 EXISTING LIGHT TO REMAIN.
 - 8 EXISTING STORM DRAIN INLET TO REMAIN.
 - 9 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 10 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 11 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL (A), SHEET 6.
 - 12 NEW 6" VERTICAL CURB, TYPE 2, PER PC/COT STD DTL 209. SEE DETAIL (B), SHEET 6.
 - 13 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL (C), SHEET 6.
 - 14 NEW "DRIVEABLE GRASS" PERMEABLE PAVING, OR APPROVED EQUIVALENT.
 - 15 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 16 NEW 6" WHEEL STOP (TYP.). SEE DETAIL (D), SHEET 6.
 - 17 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL (E), SHEET 6.
 - 18 NEW CONCRETE SIDEWALK PER PC/COT STD DTL 200. SEE PLAN FOR DIMENSIONS.
 - 19 CONNECT TO EXISTING SIDEWALK PER PC/COT STD DTL 203.
 - 20 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS.
 - 21 NEW CONCRETE DRIVEWAY APRON PER PC/COT STD DTL 206.
 - 22 NEW TRASH ENCLOSURE. SEE DETAIL (F), SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
 - 23 NEW SITE AMENITY.
 - 24 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL (G), SHEET 6. FOR RACK SPACING SEE DETAIL (H), SHEET 6.
 - 25 NEW TRAFFIC RATED PAVERS.
 - 26 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAIL.
 - 27 NEW BUILDING OVERHANG.
 - 28 NEW STAIRCASE.
 - 29 NEW LONG TERM BICYCLE PARKING. SEE DETAIL (I), SHEET 6. FOR LOCKER PLACEMENT, SEE DETAIL (J), SHEET 6.
 - 30 EXISTING WALL/FENCE TO REMAIN.
 - 31 NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL (K), SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 32 NEW GROUTED RIP RAP. SEE DETAIL (L), SHEET 6.
 - 33 NEW VERTICAL CURB TRANSITION. SEE DETAIL (M), SHEET 6.

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
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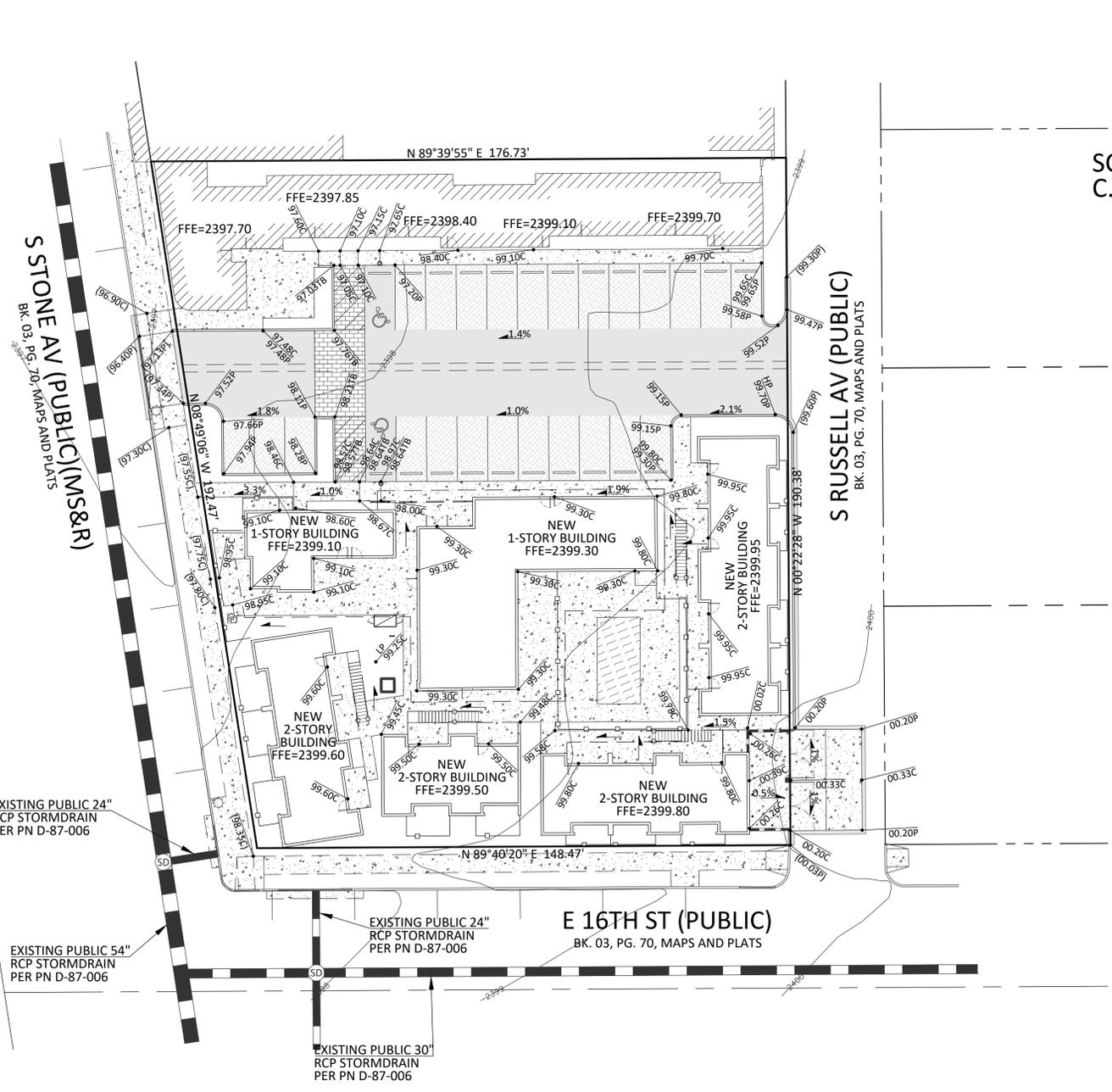
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CYPRESS PROJECT NO: 16.050
 2030 east speedway boulevard suite #110
 tucson, arizona 85719
 ph: 520.499.2456
 e: kmhall@cypresscivil.com

A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION site plan





SCALE: 1"=20'
C.I. = 1 FOOT



- CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL**
- Site/Dev Plan
 - Tentative Plat
 - Grading
 - SWPPP
 - FUP
 - SCZ
 - FRZ
 - HDZ
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- DVPKG MGR _____ Date _____
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DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION
grading + drainage plan

EXISTING PUBLIC SEWER
MANHOLE #9888-07
PER PN G-73-015
RIM= 2397.60
INV= 2392.97

SCALE: 1"=20'

SEWER KEYNOTES

- 1 NEW PUBLIC SEWER MANHOLE. SEE KEYNOTE FOR RIM AND INVERT(S).
- 2 NEW PRIVATE 6" PVC BUSINESS CONNECTION SEWER. SEE KEYNOTE FOR LENGTH.
- 3 NEW PRIVATE 4" PVC BUSINESS CONNECTION SEWER.
- 4 NEW BACKWATER VALVE.
- 5 NEW SEWER CLEANOUT.

WATER KEYNOTES

- 1 NEW 1 1/2" WATER METER.
- 2 NEW 2" BACKFLOW PREVENTER.
- 3 NEW 5/8" WATER METER FOR IRRIGATION SERVICE.
- 4 NEW PRIVATE 2" PVC WATER LINE. SEE KEYNOTE FOR LENGTH.
- 5 NEW PRIVATE 4" PVC FIRE LINE. SEE KEYNOTE FOR LENGTH.

UTILITY NOTE

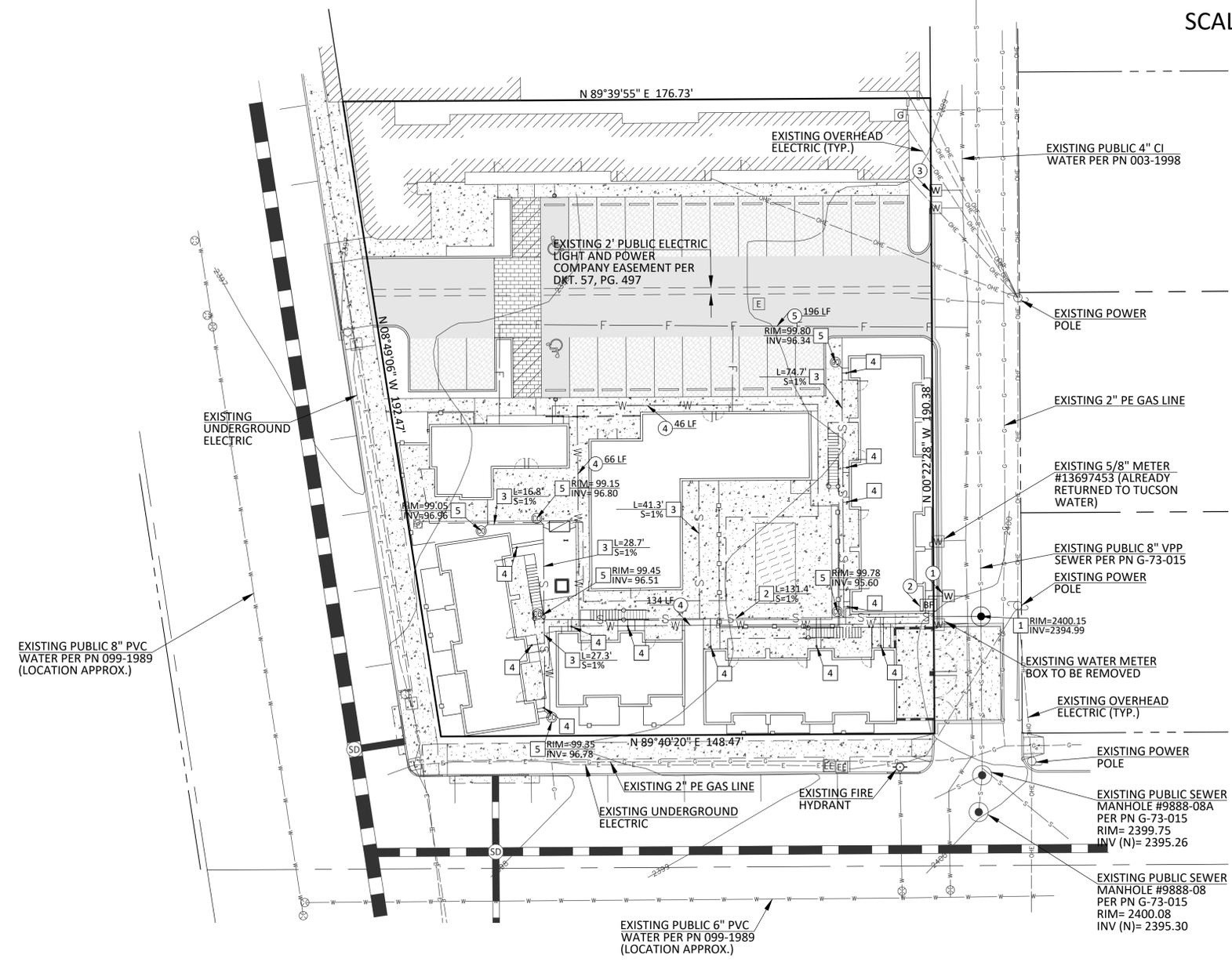
UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

- 1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- 2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- 3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

PRIVATE FIRE SUPPRESSION NOTES

- 1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
- 2. MINIMUM DEPTH OF BURY TO BE 30".
- 3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
- 4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
- 5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.



EXISTING PUBLIC 8" PVC
WATER PER PN 099-1989
(LOCATION APPROX.)

EXISTING PUBLIC 6" PVC
WATER PER PN 099-1989
(LOCATION APPROX.)

EXISTING PUBLIC SEWER
MANHOLE #9888-08A
PER PN G-73-015
RIM= 2399.75
INV (N)= 2395.26

EXISTING PUBLIC SEWER
MANHOLE #9888-08
PER PN G-73-015
RIM= 2400.08
INV (N)= 2395.30

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				URBAN OASIS LLC P.O. BOX 43025 TUCSON, ARIZONA 85733 ATTN: PHIL LIPMANN PH: (520) 609-6093 EMAIL: plinaz@gmail.com
				SITE ADDRESS 485 SOUTH STONE AVENUE TUCSON, ARIZONA 85701

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

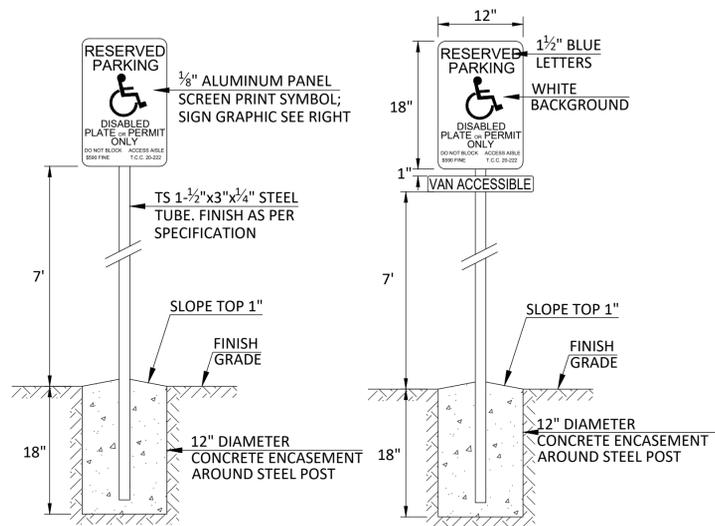


CYPRESS PROJECT NO: 16.050
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

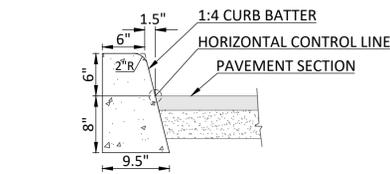
A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

**DEVELOPMENT PACKAGE for
DOWNTOWN CLIFTON EXPANSION
utilities + easements plan**

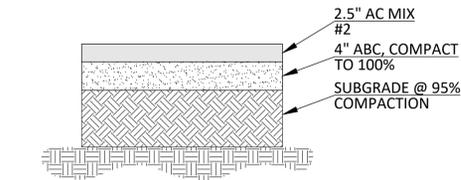




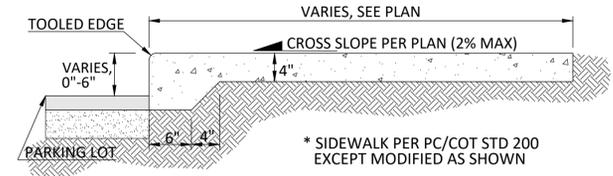
A ACCESSIBLE SIGN AND POST
SCALE: 1"=1'



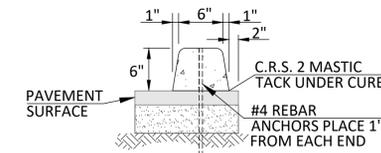
B CONCRETE VERTICAL CURB
TYPE 2, H=6"
PAG DTL 209
SCALE: 1"=1'



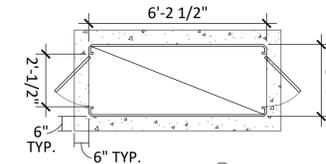
C TYPICAL PAVEMENT SECTION
SCALE: 1"=1'



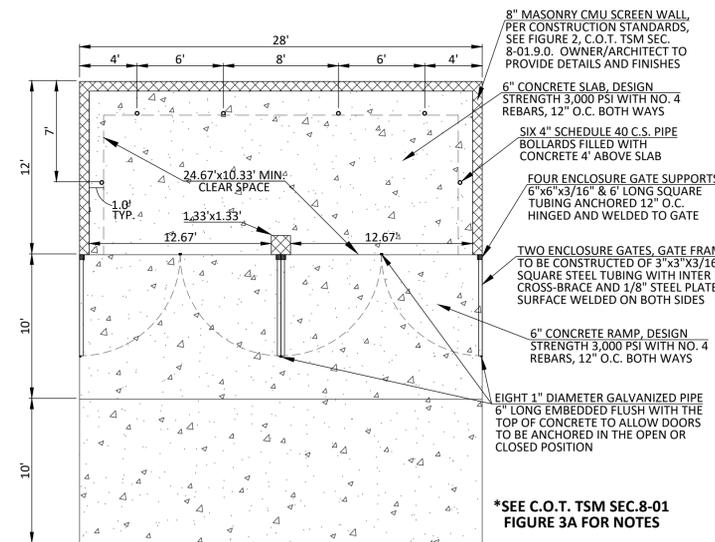
E MODIFIED CONCRETE SIDEWALK
SCALE: 1"=1'



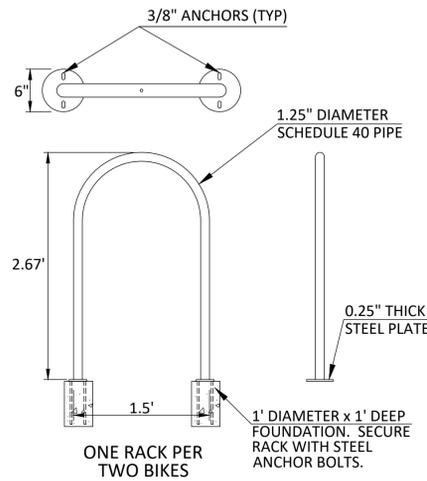
D CONCRETE WHEEL STOP
SCALE: 1"=1'



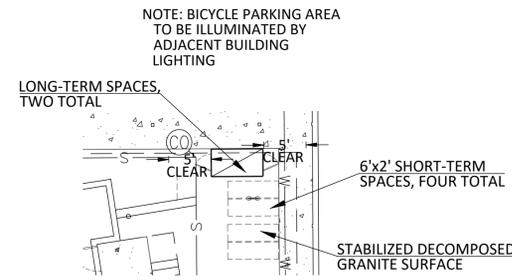
I BICYCLE LOCKER (LONG TERM)
DOUBLE
N.T.S.



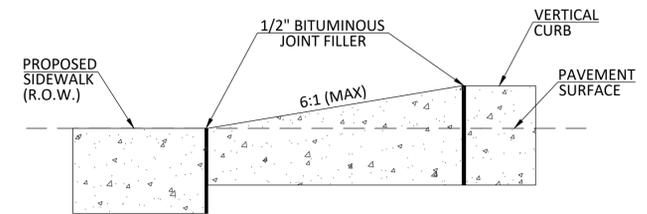
F TRASH ENCLOSURE DETAIL
DOUBLE, MODIFIED
N.T.S.



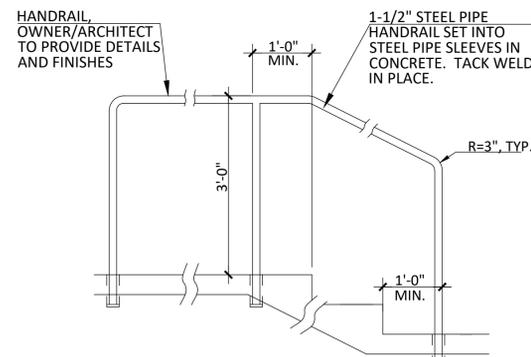
G BICYCLE RACK (SHORT TERM)
SURFACE MOUNT
N.T.S.



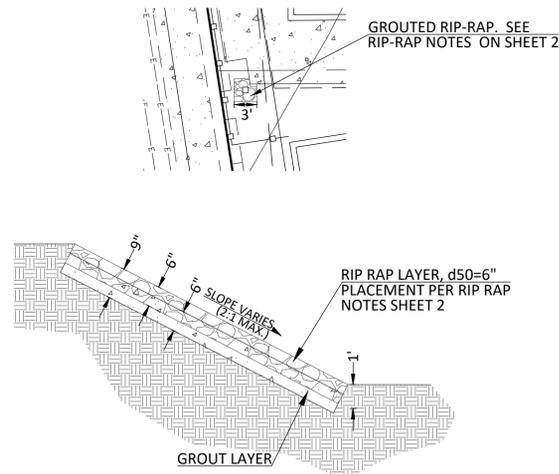
H BIKE RACK/LOCKER SPACING
SCALE: 1"=10'



L CURB TRANSITION
SCALE: 1"=1'



J HANDRAIL AT STAIRS
N.T.S.



K GROUDED RIP RAP
N.T.S.

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
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Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

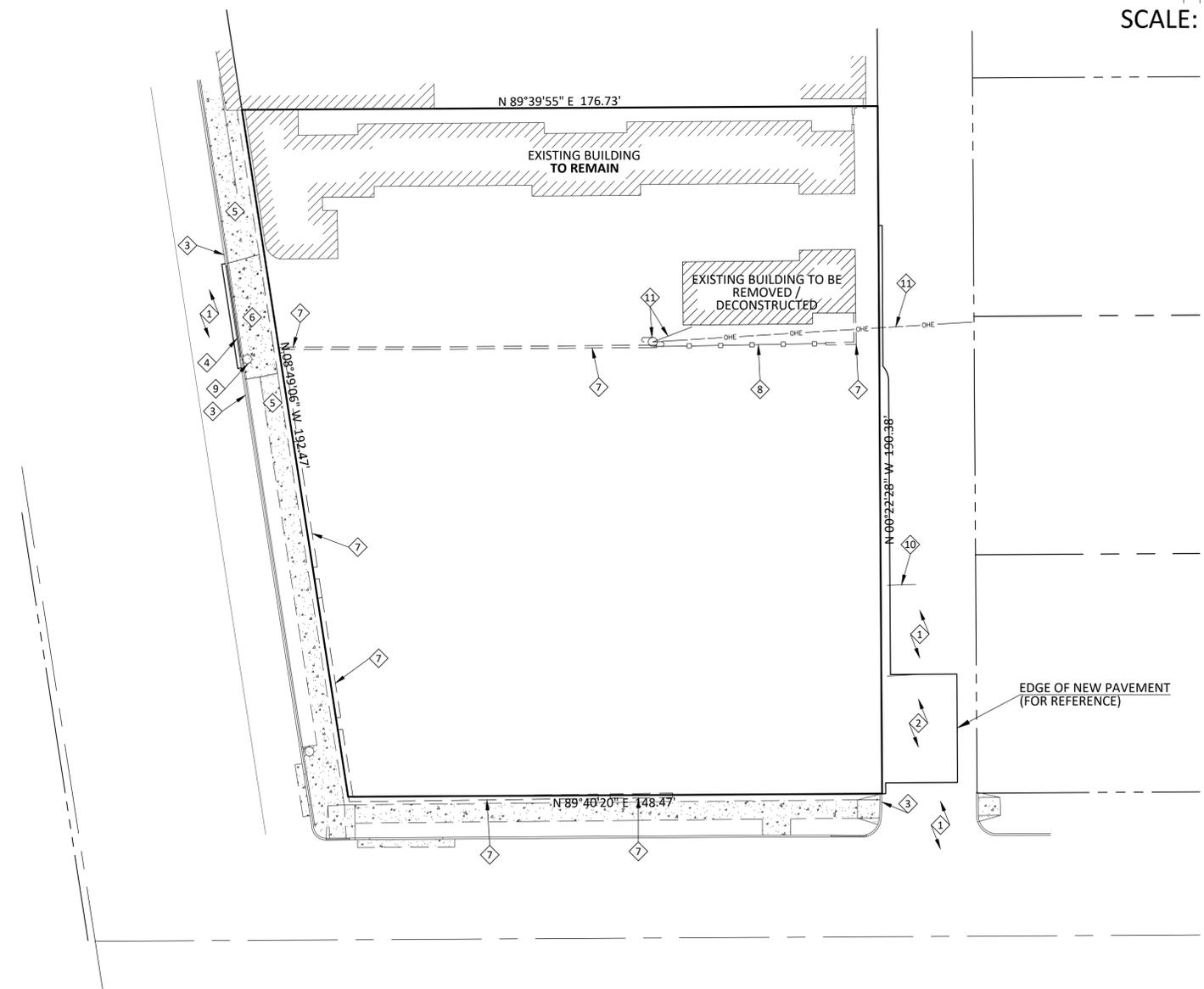
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				URBAN OASIS LLC P.O. BOX 43025 TUCSON, ARIZONA 85733 ATTN: PHIL LIPMANN PH: (520) 609-6093 EMAIL: plinaz@gmail.com
				SITE ADDRESS 485 SOUTH STONE AVENUE TUCSON, ARIZONA 85701

CYPRESS PROJECT NO: 16.050
2030 east speedway boulevard suite #110
tucson, arizona 85719
ph: 520.499.2456
e: kmhall@cypresscivil.com

DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION details



SCALE: 1"=20'



- DEMOLITION KEYNOTES**
- 1 EXISTING PAVEMENT TO REMAIN.
 - 2 EXISTING PAVEMENT TO BE REMOVED.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB TO BE REMOVED.
 - 5 EXISTING CONCRETE TO REMAIN.
 - 6 EXISTING CONCRETE TO BE REMOVED.
 - 7 EXISTING WALL TO BE REMOVED.
 - 8 EXISTING FENCE TO BE REMOVED.
 - 9 EXISTING LIGHT TO REMAIN.
 - 10 EXISTING WATER STUB TO BE REMOVED.
 - 11 EXISTING UTILITY POLE/OVERHEAD ELECTRIC LINE TO BE REMOVED.



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY

CYPRESS PROJECT NO: 16.050

2030 east speedway boulevard suite #110
 tucson, arizona 85719
 ph: 520.499.2456
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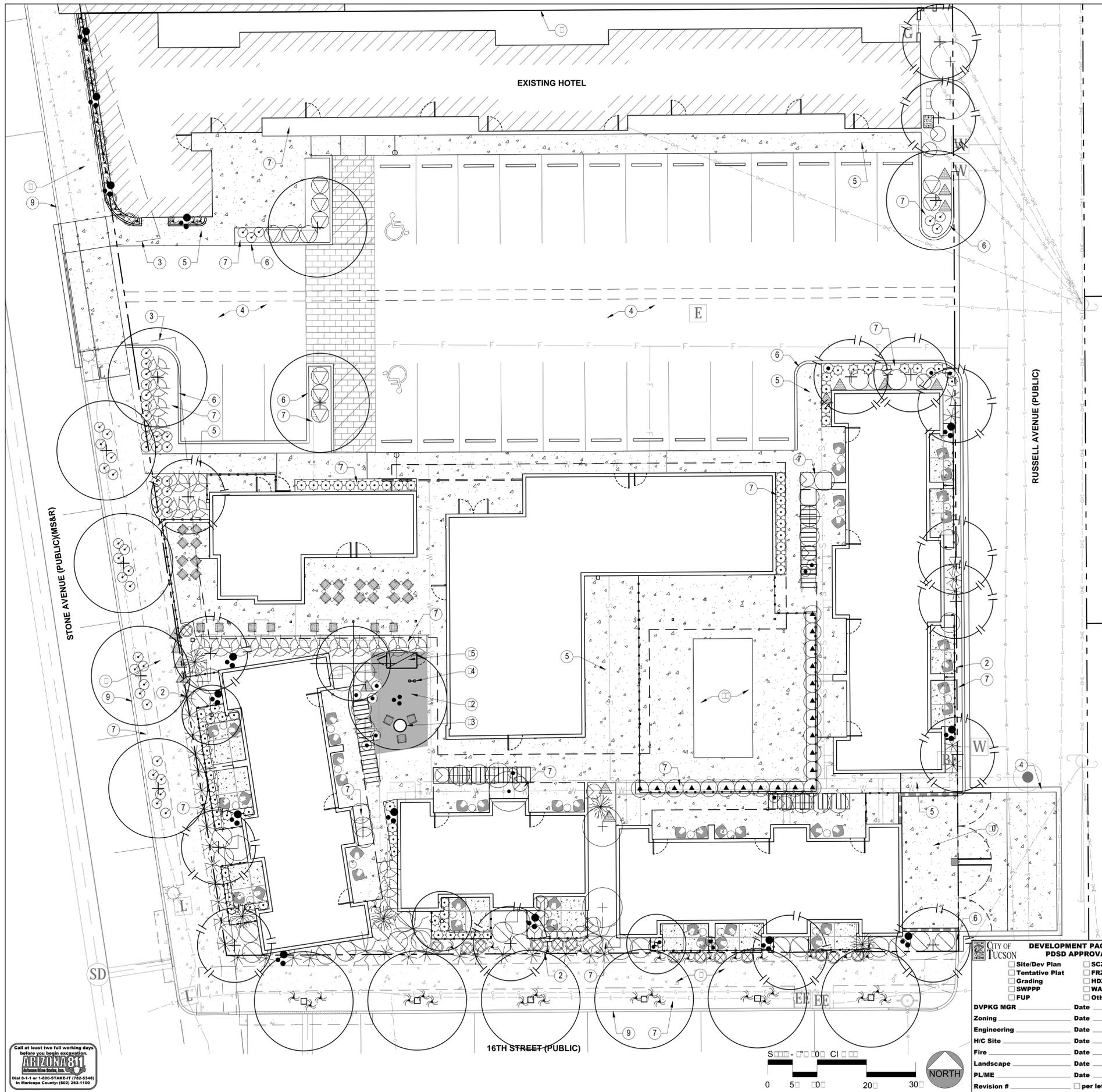
OWNER/DEVELOPER
 URBAN OASIS LLC
 P.O. BOX 43025
 TUCSON, ARIZONA 85733
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 EMAIL: plinaz@gmail.com

SITE ADDRESS
 485 SOUTH STONE AVENUE
 TUCSON, ARIZONA 85701



A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION demolition plan



LANDSCAPE BORDER REQUIREMENTS Sec. 7.6.4.C

N: 1
E: 2
S: 3
W: 4

PARKING TREE REQUIREMENTS Sec. 7.6.4.B

P: 26
T: 7
Tr: 7

LANDSCAPE KEY NOTES

1. Pr...
2. R...
3. S...
4. P...
5. C...
6. C...
7. D...
8. E...
9. E...
10. T...
11. S...
12. S...
13. S...
14. B...
15. B...

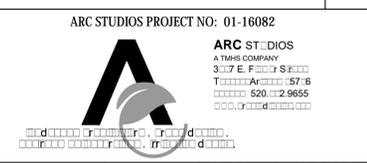
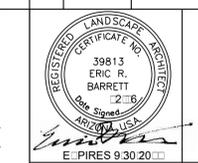
HARDSCAPE/ GROUND COVER MATERIALS LEGEND

- F: ...
C: ...
D: ...
D: ...
S: ...
S: ...
F: ...

LANDSCAPE LEGEND

Symbol	Plant Name	Size	Qty
+	jacaranda	24"	0
o	thornless texas honey mesquite	36"	6
+	Pistacia x 'Red Push' red push pistache	36"	0
o	mexican bird of paradise	24"	3
o	texas mountain laurel	24"	0
+	palo blanco	15"	5
o	chihuahuan orchid shrub	5"	0
+	hop seed	5"	4
o	cleveland sage	5"	6
o	mexican burrito weed	5"	0
+	chuparosa	5"	6
o	goldeneye	5"	23
o	slipper plant	5"	0
o	night blooming hesperaloe	5"	20
o	blue grama	0"	52
o	hybrid fairy duster	5"	0
o	ocotillo - seed grown natural form	16"	3
o	mountain yucca	24"	25
o	candelilla	5"	04
o	brakelights yucca	5"	35
o	desert milkweed	5"	6
o	aloe	5"	66
o	giant hesperaloe	5"	23
o	twisted leaf yucca	5"	52
o	mexican fence post	5"	0
o	totem pole cactus	5"	04
o	chocolate flower	0"	06

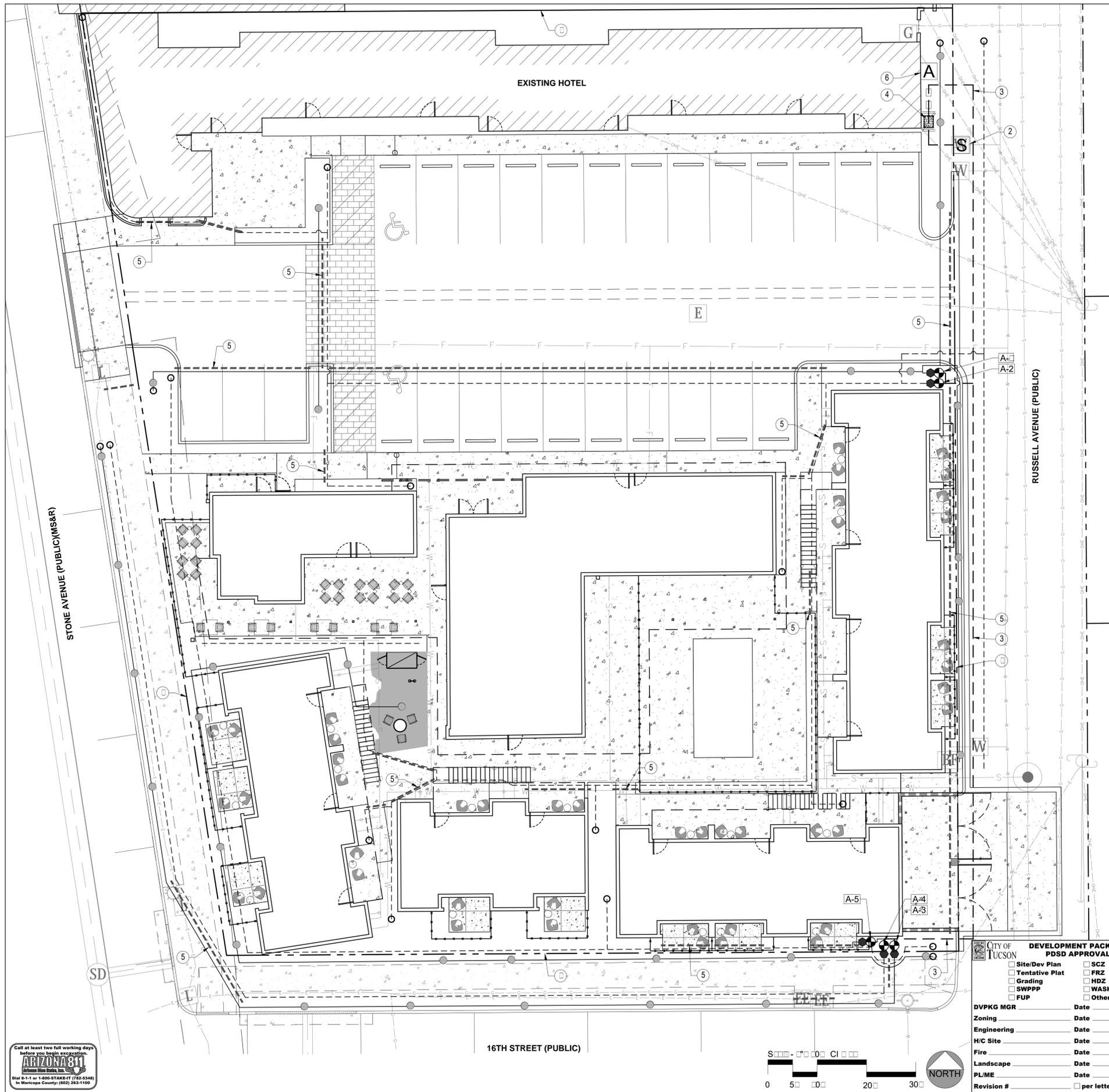
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				URBAN OASIS LLC P.O. BOX 43025 TUCSON, ARIZONA 85733 ATTN: PHIL LIPMANN PH: (520) 609-6093 EMAIL: philnaz@gmail.com
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A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION landscape plan

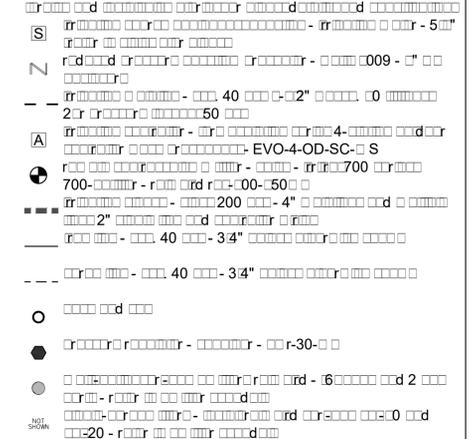




EMITTER SCHEDULE

Emitter Schedule	Type	Outlets	Gph outlet	Gph plant
Trees				
jacaranda	□	6	2.0	2.0
Prunella	□	5	2.0	2.0
thornless texas honey mesquite	□	6	2.0	2.0
Pistacia x 'Red Push'	□	4	2.0	0.0
red push pistache	□	4	2.0	0.0
mexican bird of paradise	□	4	2.0	0.0
texas mountain laurel	□	4	2.0	0.0
palo blanco	□	4	2.0	0.0
Shrubs / Succulents				
chihuahuan orchid shrub	□	3	2.0	6.0
hop seed	□	2	2.0	4.0
cleveland sage	□	2	2.0	2.0
mexican burrio weed	□	2	2.0	2.0
chuparosa	□	2	2.0	2.0
goldeneye	□	2	0.0	2.0
slipper plant	□	2	0.0	2.0
night blooming hesperaloe	□	2	0.0	0.0
blue grama	□	2	2.0	4.0
hybrid fairy duster	□	2	0.5	0.5
ocotillo - seed grown natural form	□	2	0.5	0.5
mountain yucca	□	2	0.5	0.5
candelilla	□	2	0.0	0.0
brakelights yucca	□	2	0.0	2.0
desert milkweed	□	2	0.5	0.5
aloe	□	2	2.0	2.0
giant hesperaloe	□	2	0.0	0.0
twisted leaf yucca	□	2	0.5	0.5
mexican fence post	□	2	0.5	0.5
totem pole cactus	□	2	0.5	0.5
Ground Covers / Vines				
chocolate flower	□	2	2.0	2.0

IRRIGATION LEGEND



IRRIGATION NOTES:

1. All trees and shrubs to be irrigated by emitter schedule 1.
2. All ground covers and vines to be irrigated by emitter schedule 2.
3. All ground covers and vines to be irrigated by emitter schedule 3.
4. All ground covers and vines to be irrigated by emitter schedule 4.
5. All ground covers and vines to be irrigated by emitter schedule 5.
6. All ground covers and vines to be irrigated by emitter schedule 6.
7. All ground covers and vines to be irrigated by emitter schedule 7.
8. All ground covers and vines to be irrigated by emitter schedule 8.
9. All ground covers and vines to be irrigated by emitter schedule 9.
10. All ground covers and vines to be irrigated by emitter schedule 10.

IRRIGATION KEY NOTES

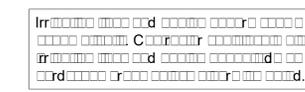
1. Prunella
2. Irrigation
3. Irrigation
4. Irrigation
5. Irrigation
6. Irrigation

IRRIGATION VALVE SCHEDULE

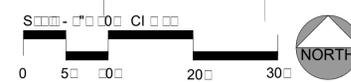
Valve	Schedule	Type	Valve	Schedule	Type
A-1	1	Trees	A-4	1	Trees
A-2	2	Shrubs	A-5	2	Shrubs
A-3	3	Ground Covers	A-6	3	Ground Covers

VALVE SCHEDULE NOTES:

1. All valves to be installed in accordance with the schedule.
2. All valves to be installed in accordance with the schedule.
3. All valves to be installed in accordance with the schedule.



16TH STREET (PUBLIC)



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan	SCZ	Date
Tentative Plat	FRZ	Date
Grading	HDZ	Date
SWPPP	WASH	Date
FUP	Other	Date

DVPKG MGR _____ Date _____

Zoning _____ Date _____

Engineering _____ Date _____

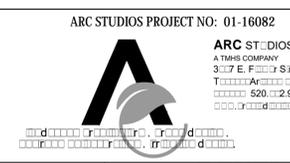
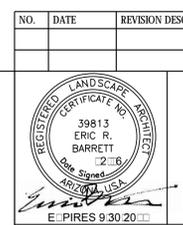
H/C Site _____ Date _____

Fire _____ Date _____

Landscape _____ Date _____

PLME _____ Date _____

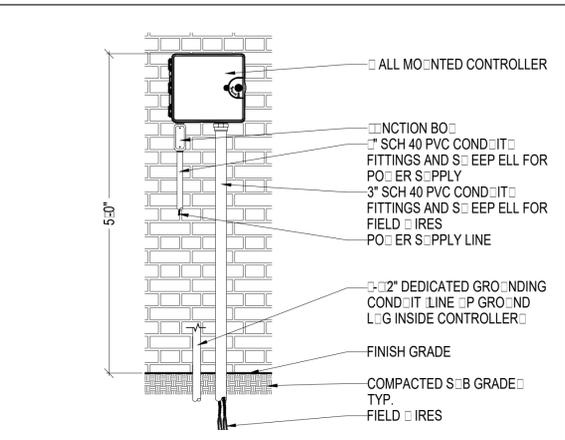
Revision # _____ per letter in SIRE



A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

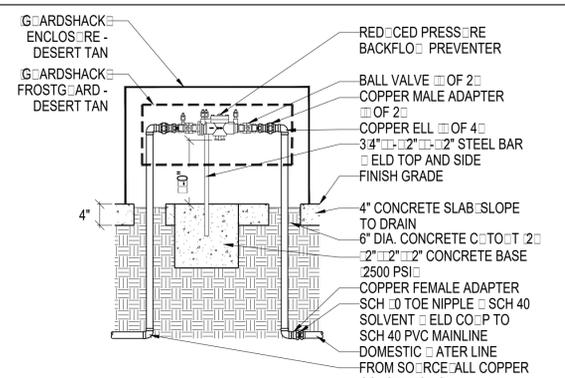
DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION irrigation plan

OWNER/DEVELOPER
 URBAN OASIS LLC
 P.O. BOX 43025
 TUCSON, ARIZONA 85733
 ATTN: PHIL LIPMANN
 PH: (520) 609-6093
 EMAIL: plinaz@gmail.com
SITE ADDRESS
 485 SOUTH STONE AVENUE
 TUCSON, ARIZONA 85701



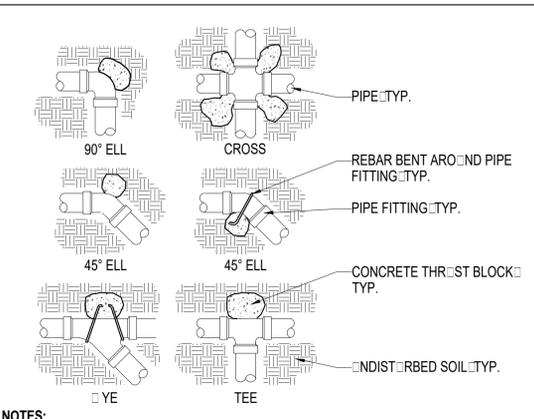
NOTES:

- 1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.



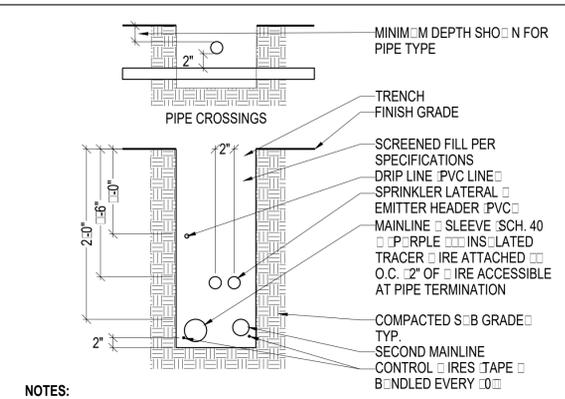
NOTES:

1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)
3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.



NOTES:

1. SUPPLY LINES 2" IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THROST BLOCKS.
2. 6" CIRCUMFERENTIAL FOOT OF CONCRETE TO BE USED FOR EACH THROST BLOCK.
3. RAP PLASTIC SHEETING AROUND PIPE WHERE IT CONTACTS CONCRETE.



NOTES:

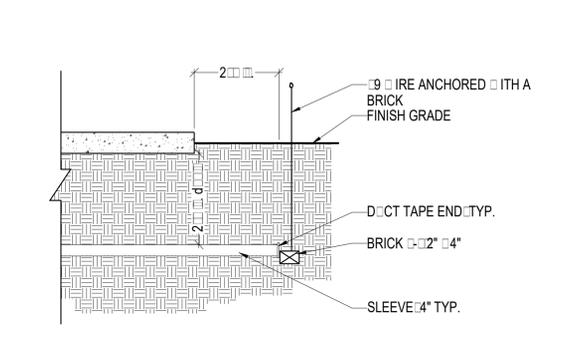
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. TRENCH WIDTH TO DEPTH TO VARY DEPENDING ON NUMBER OF TYPES OF PIPES CONTAINED THERE IN.
3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.
4. 4" PIPE LARGER SHALL BE 30" BELOW FINISH GRADE.

1 ALL MOUNTED CONTROLLER NTS

2 REDUCED PRESSURE BACKFLOW PREVENTER NTS

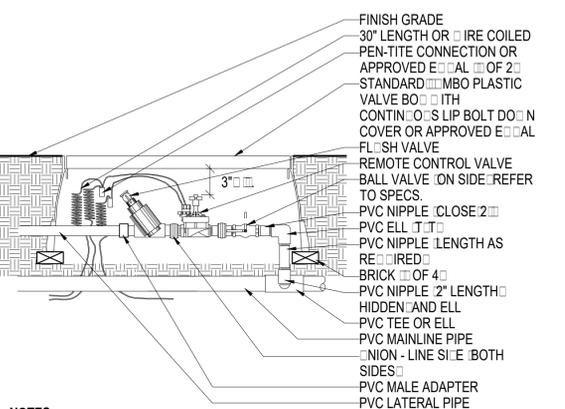
3 MAIN LINE THROST BLOCK NTS

4 IRRIGATION TRENCHING NTS



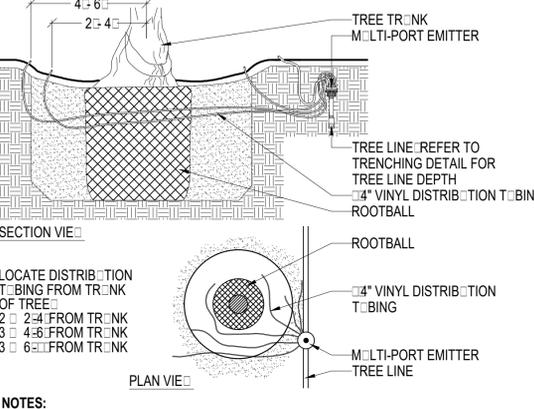
NOTES:

1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY TAMP TO 95% PROCTOR.



NOTES:

1. GREEN BOBES IN TURF AREAS.
2. TAN BOBES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
3. PURPLE BOBES IN RECLAIMED SYSTEMS.



NOTES:

1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1\"/>

NOTES:

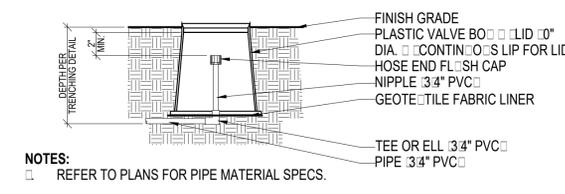
- 1. ALL 1/2" LATERAL PIPE TO BE CLASS 3.5 PVC. ALL PIPE 3/4" TO 2" TO BE SCH. 40 PVC. PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
- 2. MAIN LINE - SCH. 40 FITTINGS.
- 3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
- 4. PRESSURE TESTS: 4 HOURS
- MAIN LINE AT 50 PSI
- LATERALS AND DRIP LINE AT 70 PSI

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 20
1 1/4"	20 - 30
1 1/2"	30 - 46
2"	46 - 60
3"	60 - 90
4"	90 - 190
6"	190 - 340

5 SLEEVING NTS

6 REMOTE CONTROL VALVE - DRIP EMITTER NTS

7 MULTI-PORT EMITTER DRIP TUBING TREE NTS



NOTES:

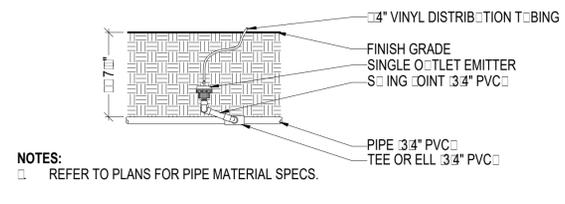
- 1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

5 SLEEVING NTS

6 REMOTE CONTROL VALVE - DRIP EMITTER NTS

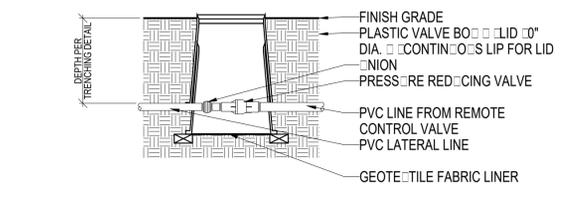
7 MULTI-PORT EMITTER DRIP TUBING TREE NTS

9 HOSE END CAP NTS



NOTES:

- 1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

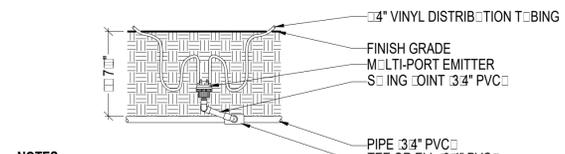


NOTES:

- 1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

10 SINGLE OUTLET EMITTER NTS

2 PRESSURE REDUCING VALVE NTS



NOTES:

- 1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

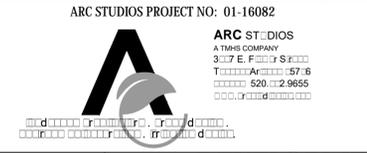
11 MULTI-PORT EMITTER NTS

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				URBAN OASIS LLC P.O. BOX 43025 TUCSON, ARIZONA 85733 ATTN: PHIL LIPMANN PH: (520) 609-6093 EMAIL: plinaz@gmail.com
				SITE ADDRESS 485 SOUTH STONE AVENUE TUCSON, ARIZONA 85701



A PORTION OF LOTS 7 AND 10 AND ALL OF LOT 11 OF BLOCK 238 CITY OF TUCSON, RECORDED IN BK. 3 OF MAPS AND PLATS AT PG. 70, LOCATED IN THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for DOWNTOWN CLIFTON EXPANSION irrigation details

