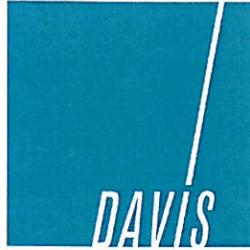


swaim
ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



INFILL INCENTIVE DISTRICT SUBMITTALL PACKAGE for:

RendezVous Urban Flats 20 South Stone Avenue

DECEMBER 16, 2016
21, 2016

OWNER

1SC Partners LLC
6700 N. Oracle Rd.
Tucson, AZ 85704

DEVELOPER

Aerie Development LLC
1 South Church Ave. Suite 2030
Tucson, AZ 85701

PREPARED BY

Swaim Associates, LTD
7350 E. Speedway, Suite 210
Tucson, AZ 85710

PRIME ARCHITECT

The DAVIS Experience
74 E. Rio Salado Parkway, Suite 200
Tempe, AZ 85281



*IID-16-11
T16SA00442
PRE0084*

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ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148

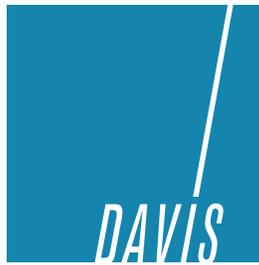


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APPLICATION

Case Number IID-16-11

Date Accepted:

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): RedezVous Urban Flats

Property Address: 20 South Stone Avenue

Applicable Area/Neighborhood/Overlay: Downtown Core, Rio Nuevo

Zoning: C-3 and OCR-2

Legal Description: Tucson IRR PTN Lots 1, 2, 6, 7, 8, 9 BLK 209 & Pueblo Center
Redevelopment Project Arizona R-8 BLK 506 PTN Lot 2

Pima County Tax Parcel Number/s: 117-12-099A and 117-12-098A

Site and Building Area (sq ft): 33,146.49 SF

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Mike Culbert - Swaim Associates, LTD.

ADDRESS: 7350 E. Speedway Blvd., Suite 210

PHONE: (520) 326-3700

FAX: (520) 326-1148

EMAIL: mculbert@swaimaia.com

PROPERTY OWNER NAME (If ownership in escrow, please note): 1SC Partners LLC

PHONE: (520) 797-6700

FAX: (520)

PROJECT TYPE (check all that apply):

(X) New building on vacant land

() New addition to existing building

() Change of use to existing building

() New building on developed land

() Other

Related Permitted Activity Number(s): T16SA00442 & DP16-0200

DESCRIPTION OF USE: Mixed-Use: Retail and Residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT

12/16/2016

Date



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

X	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
X	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
X	3. Project statement outlining scope of work.
X	4. UDC compliance review comments (obtained at the 1 st floor).
X	5. Pima county assessor’s record parcel detail and record map.
X	6. Color aerial photograph of subject property (if applicable).
X	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
X	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
X	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11”x17”, folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
X	10. Elevations (and contextual elevations if applicable) drawn to scale at 11”x17”, folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
X	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
X	12. PDF of all above listed items (number of hard copies may be required).
X	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11” X 17” format “z” fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



CASE INFORMATION

(To be completed by PDS staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01): IID-16-11 Rendez Vous Urban Flats

Related Permitted Activity Number(s): T15SA000314

Review Process (E.g. HPZ, DDO, IID – Major/Minor): IID- Major review

Applicable Fees: Total fees \$706 (pre-app, labels, review, IID hearing)

Pre-Application Accepted by: Carolyn Laurie

Pre-Application Meeting scheduled for: 10/31/2016 at 10AM

Additional Notes: See below

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

Additional Notes: IID Review Neighborhood Liaison Policy and IID Review process for additional information as attached. Review Section 5.12.6.D. prior to holding the required public meeting. Section 5.12.7. RNA Zoning Design Standards: provide narrative in the IID submittal which outlines how the required RNA design standards are being met. NOTE: these standards apply to all projects in the downtown core regardless of process. NOTE: these standards apply to all projects in the downtown core regardless of process. Section 5.12.10 DOWNTOWN CORE SUBDISTRICT also applies, provide narrative in the IID submittal document on how the architectural team is addressing this section.

TDOT: Downtown Traffic Study is attached in presentation form, use this information to submit a Traffic Engineering technical memo that discusses a development's potential vehicular access points. This memo should address driveway location compliance with City Code, sight visibility triangles and driveway type (curbed returns vs. depressed curb). Sidewalks will remain open during construction.

Historic: Per Section 5.12.6.e. project is subject to historic commission due to adjacency with the Brown House and Chase Building (Caylor). Parking: Address all parking issues with IID-IPP suggested, check ADA spacing for access, removal of any parking spaces will require fees along with rental spaces during construction. Clarify staging area. CM will be required to complete Street Car Training, min of 14 foot clearance. Easements must be approved by Real Estate.

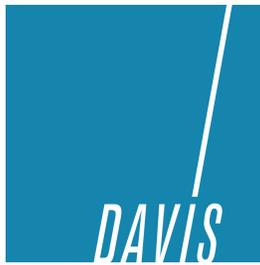
Attachments: Engineering comments, IID application with Liaison Policy, Informational packet.

Additional information can be located on the IID webpage: <https://www.tucsonaz.gov/pdsd/infill-incentive-district-design-review-committee>

swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



NEIGHBORHOOD MEETING INFORMATION

- Neighborhood meeting notification
- Mailing list provided by the City of Tucson
- Certification of Mailing statement
- Certified mail receipts
- Neighborhood meeting agenda
- Meeting minutes with questions and answers
- Meeting sign-in sheet

Jonathan Rothschild
Mayor
255 W. Alameda ST
Tucson, AZ 85701

Carla Proano
N.A.-Armory Park
723 S. 5th Ave
Tucson, AZ 85701

William J. Duffy
N.A.-Armory Park
245 S 4th Ave
Tucson, AZ 85701

John D. Burr
N.A.-Armory Park
P.O. Box 2132
Tucson, AZ 85702

Feliciano Leon
N.A.-Barrio Anita
772 N. Anita Ave
Tucson, AZ 85705

Gracie N. Soto
N.A.-Barrio Anita
809 N. Anita Ave.
Tucson, AZ 85705

Tina Gonzales
N.A.-Barrio Anita
855 N. Contzen
Tucson, AZ 85705

Steve Leal
N.A.-Barrio Hollywood
1455 W Delaware
Tucson, AZ 85745

Scott Egan
N.A.-Barrio Hollywood
1409 W Niagara St
Tucson, AZ 85745

Manny Jacques
N.A.-Barrio Hollywood
Tucson, AZ 85745

Brian Taraz (Chair)
N.A.-Barrio Kroeger Lane
860 W. 20th St.
Tucson, AZ 85745

Margaret Ward
N.A.-Barrio Kroeger Lane
870 W 19th St
Tucson, AZ 85745

Shirley Roman (Co-Chair)
N.A.-Barrio Kroeger Lane
906 W. 21st St.
Tucson, AZ 85745

Ana Acuna
N.A.-Barrio San Antonio
Tucson, AZ 85719

Ted Warmbrand
N.A.-Barrio San Antonio
402 S Star Ave
Tucson, AZ 85719

Mike Mason
N.A.-Barrio San Antonio
Tucson, AZ 85719

Yolanda Quiroz
N.A.-Barrio Santa Rita Park-West Ochoa
440 E 22nd St
Tucson, AZ 85713

Ernie Lujan
N.A.-Barrio Santa Rita Park-West Ochoa
1445 S 4th Ave
Tucson, AZ 85713

Angela M. Quiroz
N.A.-Barrio Santa Rita Park-West Ochoa
448 E 22nd St
Tucson, AZ 85713

Nicole Gonzales
N.A.-Barrio Santa Rosa
323 W. 19th Street
Tucson, AZ 85701

Art Munoz
N.A.-Barrio Santa Rosa
Tucson, AZ

Yolanda Gonzales
N.A.-Barrio Santa Rosa
826 S. Rubio
Tucson, AZ 85701

Pedro M Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

Letitia A Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

Ezra Roati
N.A.-Dunbar Spring
1015 N 10th Ave
Tucson, AZ 85705

Karen Greene
N.A.-Dunbar Spring
Tucson, AZ

Sky Jacobs
N.A.-Dunbar Spring
P.O. Box 508
Tucson, AZ 85702

Mike Rebro (Co-Pres)
N.A.-El Presidio
426 N Court
Tucson, AZ 85701

Mary Jo Curtin
N.A.-El Presidio
233 N Main Ave
Tucson, AZ 85701

Thaddeus Pace (Co-Pres)
N.A.-El Presidio
425 N Main Ave
Tucson, AZ 85701

117200110
PIMA COUNTY
.
00000

117120220
MAX INVESTMENTS NO 1 LLC
C/O KIVEL REALTY INVESTMENTS
5989 E GRANT RD
TUCSON AZ 85712

117120300
HOLUALOA CONGRESS LLC
75-5706 HANAMA PL STE 104
KAILUA KONA HI 96740

117120470
BC LIMITED LLC
ATTN: SWAIN R CHAPMAN
33 W CONGRESS ST STE 205
TUCSON AZ 85701

11712087B
TWO EAST CONGRESS LLC
ATTN: ARTHUR WADLUND
3567 E SUNRISE DR STE 237
TUCSON AZ 85718

117120960
UNITED STATES OF AMERICA
00000

11720017B
CITY OF TUCSON
.
00000

117132270
PROVIDENCE SERVICE CORP
64 E BROADWAY BLVD
TUCSON AZ 85701

11713029A
ONE WEST BROADWAY LLC
ATTN: PAULA CAYLOR
2 E CONGRESS ST STE 900
TUCSON AZ 85701

117132260
UNIVERSITY OF AZ FOUNDATION
1111 N CHERRY AVE
TUCSON AZ 85721

11712007A
PUEBLO PARKING LLC
33 W CONGRESS ST STE 250
TUCSON AZ 85701

117120280
25 EAST CONGRESS LLC
14109 70TH RD
FLUSHING NY 11367

11712033A
BC LIMITED LLC
CHAPMAN MANAGEMENT GROUP LLC
33 W CONGRESS ST #205
TUCSON AZ 85701

117121330
BP POST DEVELOPERS LLC
ATTN: BOURN COMPANIES
20 E CONGRESS ST STE 300
TUCSON AZ 85701

11712098A
15C PARTNERS LLC
6700 N ORACLE RD STE 504
TUCSON AZ 85704

11712087C
CITY OF TUCSON REAL ESTATE DIVISION
ATTN: PROPERTY MANAGEMENT
PO BOX 27210
TUCSON AZ 85726

11720016H
METROPOLITAN TUCSON CONVENTION &
VISITORS BUREAU
100 S CHURCH AVE
TUCSON AZ 85701

117130390
COPE PROPERTIES LLC
ATTN: SUSAN C ONG-WESTERNER OFFICE BLDG
10 E BROADWAY BLVD STE 400
TUCSON AZ 85701

117130320
ARIZONA PIONEERS HISTORICAL SOCIETY
949 E 2ND ST
TUCSON AZ 85719

117132250
FITCH LIVING TR
ATTN: MORGAN L & PATRICIA R FITCH TR
44 E BROADWAY BLVD UNIT 403
TUCSON AZ 85701

117120110
US BANK NATIONAL ASSN TR
ATTN: SQUIRE SANDERS & DEMPSEY LLP
1 E WASHINGTON ST STE 2700
PHOENIX AZ 85004

117120290
SIEBENBERG SAMUEL MAX & HENRIETTE TR
3900 N HILLS DR APT 204
HOLLYWOOD FL 33021

11712037A
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT
400 W CONGRESS ST STE 152
TUCSON AZ 85701

117120860
CITY OF TUCSON REAL ESTATE DIVISION
ATTN: PROPERTY MANAGEMENT
PO BOX 27210
TUCSON AZ 85726

11712083B
UNITED STATES OF AMERICA
.
00000

11720016F
HSL LA PLACITA LLC
ATTN: OMAR MIRELES
3901 E BROADWAY BLVD
TUCSON AZ 85711

11713037A
GW 2006 TR
ATTN: GWENDOLYN WEINER
PO BOX 121938
FORT WORTH TX 76121

11720015A
FSL PADRE KINO VILLAGE LP
1201 E THOMAS RD
PHOENIX AZ 85014

11713223A
DAVILA SUZANA REVOC LIVING TR
ATTN: CAFE POCO COSA
110 E PENNINGTON ST # 100
TUCSON AZ 85701

11713027A
COPE PROPERTIES LLC
82 S STONE AVE
TUCSON AZ 85701

Sarah Harris (Co-Pres)
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1217 N 1st Avenue
Tucson, AZ 85719

John Daniel Twelker
N.A.-Iron Horse
229 N 1st Ave
Tucson, AZ 85719

Gene Einfrank
N.A.-Menlo Park
212 S. Avenida del Sembrador
Tucson, AZ 85745

Andrew Hayes
N.A.-Miles
Tucson, AZ

Roger Becksted
N.A.-Millville
1070 E 20th St
Tucson, AZ 85719

Evren Sonmez
N.A.-Rincon Heights
1735 E 8th St
Tucson, AZ 85719

Chris Gans
N.A.-West University
P.O. Box 42825
Tucson, AZ 85733

Regina Romero
Ward 1
940 W. Alameda St
Tucson, AZ 85745

Steve Kozachik
Ward 6
3202 E. 1st St
Tucson, AZ 85716

Sue Sanders
N.A.-Feldman's
634 E Mabel
Tucson, AZ 85705

Mary Lynn Miners
N.A.-Iron Horse
528 E. 8th St.
Tucson, AZ 85705

Suzanne Cervantes Sheard
N.A.-Menlo Park
184 S Avenida del Sembrador
Tucson, AZ 85745

Peter Norback
N.A.-Miles
1428 E Miles
Tucson, AZ 85719

Pat Homan
N.A.-Pie Allen
850 E. 7th St
Tucson, AZ 85719

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N.A.-Rincon Heights
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Tucson, AZ 85719

Angela Storey
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Tucson, AZ 85733

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Ward 3
1510 East Grant Rd
Tucson, AZ 85719

Diana Lett (Co-Pres)
N.A.-Feldman's
1309 N 1st Ave
Tucson, AZ 85719

Jeff DiGregorio
N.A.-Iron Horse
-
Tucson, AZ -

Gilbert Fimbres
N.A.-Menlo Park
934 W Grandview Ln
Tucson, AZ 85745

George Kalil
N.A.-Millville
931 S Highland
Tucson, AZ 85719

Nancy Robins
N.A.-Pie Allen
801 E 7th St
Tucson, AZ 85719

Timothy A. Olcott
N.A.-Rincon Heights
1141 E. 9th St.
Tucson, AZ 85719

Richard Mayers
N.A.-West University
PO Box 42825
Tucson, AZ 85733

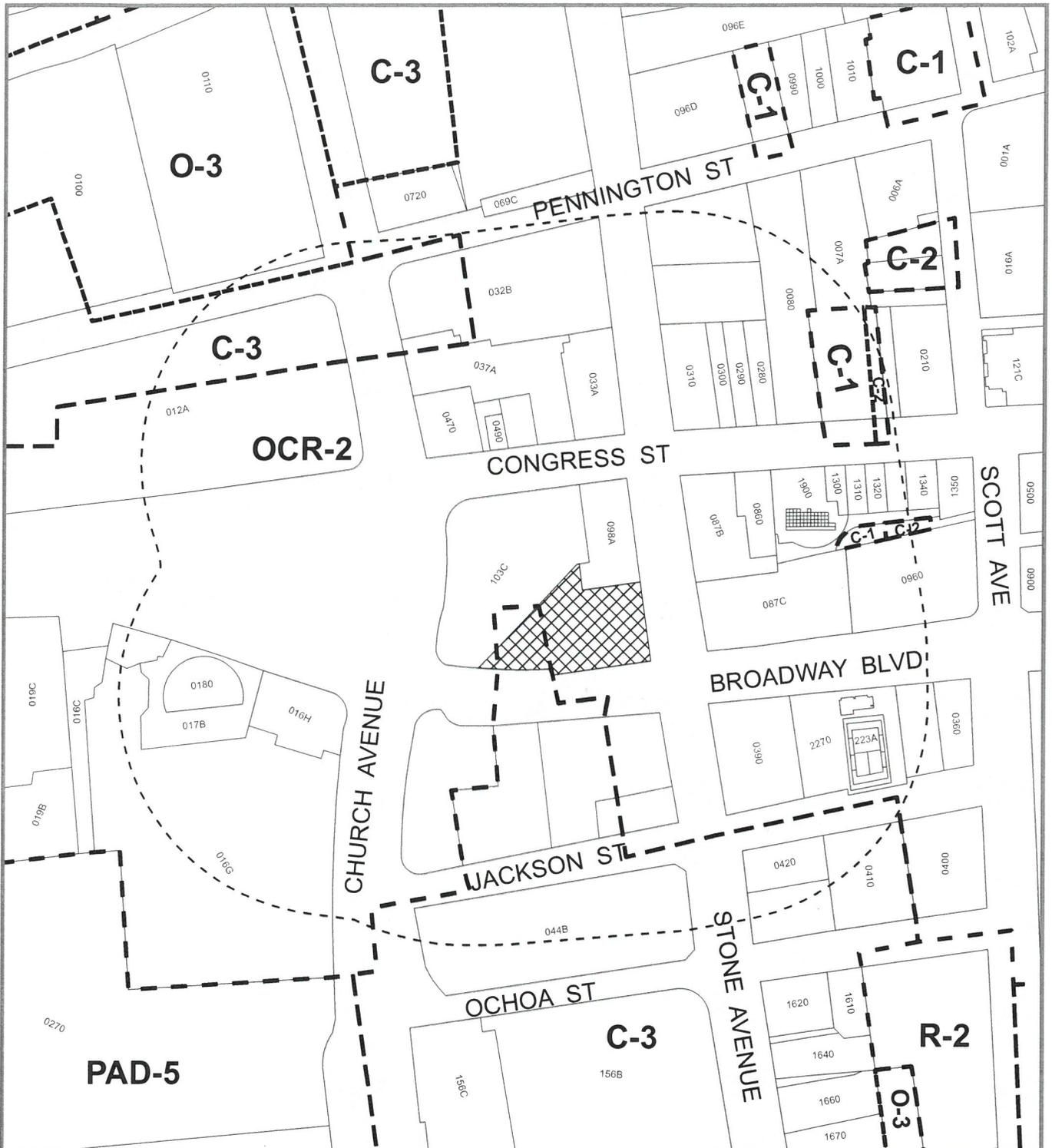
Richard Fimbres
Ward 5
4300 S. Park Av
Tucson, AZ 85714

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Expires 12/21/2016

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GREAT WESTERN ASSOC LP
520 W LAWRENCE RD
PHOENIX AZ 85013

117130448
MIVI LA PLACITA PARKING LLC
ATTN: HSL LA PLACITA LLC
3901 E BROADWAY BLVD
TUCSON AZ 85711

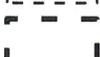
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RALLY POINT APARTMENTS LP
504 W 29TH ST
TUCSON AZ 85713



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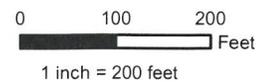
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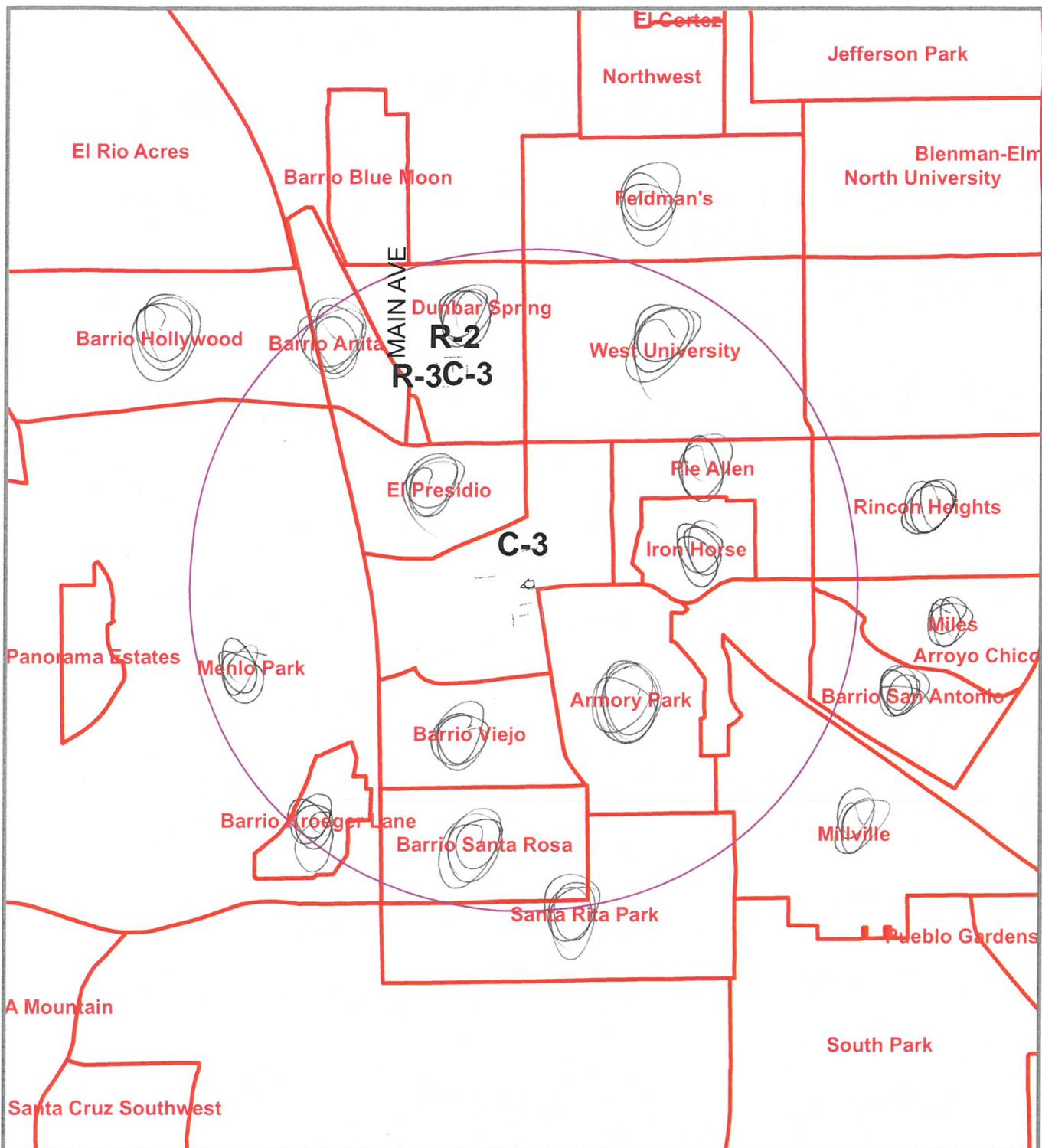
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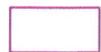
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 Ward: 1



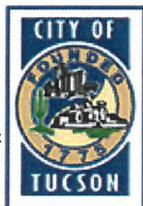
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Site



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Address: 20 S. Stone Avenue
 Base Maps: Sec.13 T.14 R.13
 Ward: 1

12000

■ Feet

1 inch = 2,416.583333 feet

N



created by: JR, 10/21/2016



CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on Nov. 07, 2016,
(date of mailing)

for the neighborhood meeting to be held on Nov. 21, 2016.
(date of neighborhood meeting)


(signature of applicant/applicant's agent)

12/15/2016
(date signed)

Documentation if available (such as receipt)

7015 1660 0001 1744 9291

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

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11/07/2016

Angela M. ~~Quinn~~
N.A.-Barrio Santa Rita Park-West Ochoa
448 E 22nd St
Tucson, AZ 85713

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

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117120470
BC LIMITED LLC
ATTN: SWAIN R. CHAPMAN
33 W CONGRESS ST STE 205
TUCSON AZ 85701

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

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11/07/2016

117120220
MAX INVESTMENTS NO 1 LLC
C/O KIVEL REALTY INVESTMENTS
5989 E GRANT RD
TUCSON AZ 85712

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\$	\$0.00	11
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

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11/07/2016

117120300
HOLUALOA CONGRESS LLC
75-5706 HANAMA PL STE 104
KAILUA KONA HI 96740

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\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)		
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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark Here
11/07/2016

11712087B
TWO EAST CONGRESS LLC
ATTN: ARTHUR WADLUND
3567 E SUNRISE DR STE 237
TUCSON AZ 85718

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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OFFICIAL USE

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)		
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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark Here
11/07/2016

11713029A
ONE WEST BROADWAY LLC
ATTN: PAULA CAYLOR
2 E CONGRESS ST STE 900
TUCSON AZ 85701

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7015 1660 0001 1744 9208

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Certified Mail Fee	\$3.30	0748
\$	\$0.00	11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Gene Einfrank
 N.A.-Menlo Park
 212 S. Avenida del Sembrador
 Tucson, AZ 85745

NOV 07 2016
 TUCSON, AZ 85715-9003

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Certified Mail Fee	\$3.30	0748
\$	\$0.00	11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Yolanda Gonzalez
 N.A.-Barrio Santa Rosa
 826 S. Rubio
 Tucson, AZ 85701

NOV 07 2016
 TUCSON, AZ 85715-9003

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Certified Mail Fee	\$3.30	0748
\$	\$0.00	11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117120280
 25 EAST CONGRESS LLC
 14109 70TH RD
 FLUSHING NY 11367

NOV 07 2016
 TUCSON, AZ

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Certified Mail Fee	\$3.30	0748
\$	\$0.00	11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

11712007A
 PUEBLO PARKING, LLC
 33 W CONGRESS ST STE 250
 TUCSON AZ 85701

NOV 07 2016
 TUCSON, AZ 85715-9003

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Certified Mail Fee	\$3.30	0748
\$	\$0.00	11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117132270
 PROVIDENCE SERVICE CORP
 64 E BROADWAY BLVD
 TUCSON AZ 85701

NOV 07 2016
 TUCSON, AZ 85715-9003

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OFFICIAL USE
 TUCSON, AZ 85721

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117132260
 UNIVERSITY OF AZ FOUNDATION
 1111 N CHERRY AVE
 TUCSON AZ 85721

NOV 07 2016
 TUCSON, AZ 85715-9003

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TUCSON, AZ 85719

OFFICIAL USE

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Postmark Here

John Daniel Twelker
 N.A.-Iron Horse
 229 N 1st Ave
 Tucson, AZ 85719

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1660 0001 1744 9239

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TUCSON, AZ 85705

OFFICIAL USE

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Postmark Here

Mary Lynn Miners
 N.A.-Iron Horse
 528 E. 8th St
 Tucson, AZ 85705

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7015 1660 0001 1744 9253

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TUCSON, AZ 85705

OFFICIAL USE

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Postmark Here

Sue Sanders
 N.A.-Feldman's
 634 E Mabel
 Tucson, AZ 85705

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TUCSON, AZ 85719

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Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Postmark Here

Sarah Harris (Co-Pres)
 N.A.-Feldman's
 1217 N 1st Avenue
 Tucson, AZ 85719

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7015 1660 0001 1744 9277

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TUCSON, AZ 85705

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Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Postmark Here

Ezra Roati
 N.A.-Dunbar Spring
 1015 N 10th Ave
 Tucson, AZ 85705

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7015 1660 0001 1744 9260

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TUCSON, AZ 85701

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 \$ 11

Extra Services & Fees (check box, add fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00

Postage \$0.47

Postmark Here

Mike Rebro (Co-Pres)
 N.A.-El Presidio
 426 N Court
 Tucson, AZ 85701

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7015 1660 0001 1744 7570

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Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	



William J. Duffy
N.A.-Armory Park
245 S 4th Ave
Tucson, AZ 85701

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7015 1660 0001 1744 9369

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TUCSON, AZ 85701

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	



Mary Jo Cuffin
N.A.-El Presidio
233 N Main Ave
Tucson, AZ 85701

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7015 1660 0001 1744 9178

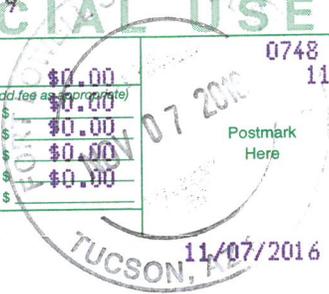
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TUCSON, AZ 85719

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	



Pat Homa
N.A.-Pie Allen
850 E. 7th St
Tucson, AZ 85719

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PHOENIX, AZ 85014

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	



11720015A
FSL PADRE KINO VILLAGE LP
1201 E THOMAS RD
PHOENIX AZ 85014

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1660 0001 1744 9215

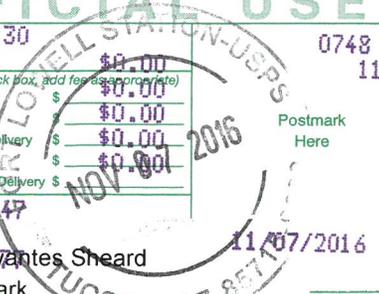
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TUCSON, AZ 85745

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	



Suzanne Cervantes Sheard
N.A.-Menlo Park
184 S Avenida del Sembrador
Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1660 0001 1744 9192

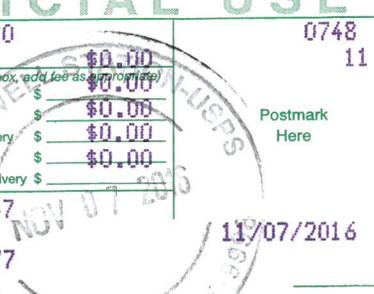
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TUCSON, AZ 85719

Certified Mail Fee	\$3.30	0748
\$	\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	



Peter Norbeck
N.A.-Miles
1428 E Miles
Tucson, AZ 85719

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TUCSON, AZ 85701

Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark
Here

Carla Proano
N.A.-Armory Park
723 S. 5th Ave
Tucson, AZ 85701

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11/07/2016

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TUCSON, AZ 85702

Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark
Here

Sky Jacobs
N.A.-Dunbar Spring
P.O. Box 508
Tucson, AZ 85702

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TUCSON, AZ 85701

Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark
Here

11713027A
COPE PROPERTIES LLC
82 S STONE AVE
TUCSON AZ 85701

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11/07/2016

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TUCSON, AZ 85745

Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark
Here

Margaret Ward
N.A.-Barrio Kroeger Lane
870 W 19th St
Tucson, AZ 85745

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11/07/2016

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7015 1660 0001 1744 7556

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Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark
Here

Scott Egan
N.A.-Barrio Hollywood
1409 W Niagara St
Tucson, AZ 85745

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TUCSON, AZ 85705

Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.47	

Postmark
Here

Gracie N. Soto
N.A.-Barrio Anita
809 N. Anita Ave.
Tucson, AZ 85705

NOV 07 2016
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TUCSON, AZ 85701

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Certified Mail Fee	\$3.30		0748
\$		\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00	

Postage \$0.47

11713223A \$3.77
DAVILA SUZANA REVOC LIVING TR
ATTN: CAFE POCO COSA
110 E PENNINGTON ST # 100
TUCSON AZ 85701



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7015 1660 0001 1744 8614

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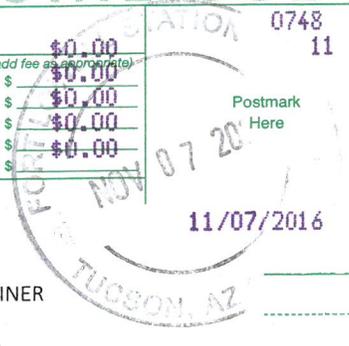
FORT WORTH, TX 76121

OFFICIAL USE

Certified Mail Fee	\$3.30		0748
\$		\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00	

Postage \$0.47

11713037A \$3.77
GW 2006 TR
ATTN: GWENDOLYN WEINER
PO BOX 121938
FORT WORTH TX 76121



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TUCSON, AZ 85702

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Certified Mail Fee	\$3.30		0748
\$		\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00	

Postage \$0.47

John D. Burg \$3.77
N.A.-Armory Park
P.O. Box 2132
Tucson, AZ 85702



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7015 1660 0001 1744 9413

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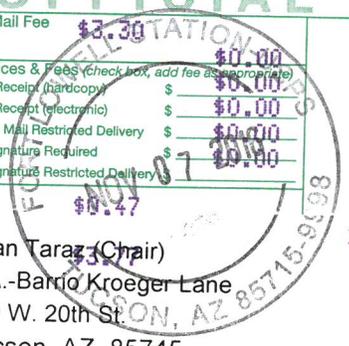
TUCSON, AZ 85745

OFFICIAL USE

Certified Mail Fee	\$3.30		0748
\$		\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00	

Postage \$0.47

Brian Tarag (Chair) \$3.77
N.A.-Barrio Kroeger Lane
860 W. 20th St
Tucson, AZ 85745



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TUCSON, AZ 85705

OFFICIAL USE

Certified Mail Fee	\$3.30		0748
\$		\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00	

Postage \$0.47

Feliciano Leon \$3.77
N.A.-Barrio Anita
772 N. Anita Ave
Tucson, AZ 85705



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7015 1660 0001 1744 9420

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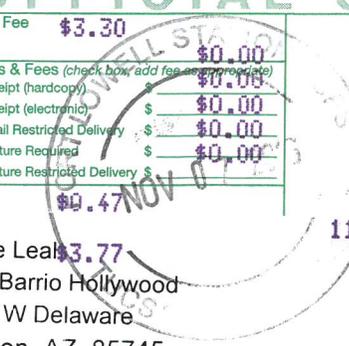
TUCSON, AZ 85745

OFFICIAL USE

Certified Mail Fee	\$3.30		0748
\$		\$0.00	11
Extra Services & Fees (check box, add fee as appropriate)			
<input type="checkbox"/> Return Receipt (hardcopy)	\$	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	\$0.00	

Postage \$0.47

Steve Leah \$3.77
N.A.-Barrio Hollywood
1455 W Delaware
Tucson, AZ 85745



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Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Angela Storey
N.A.-West University
P.O. Box 42825
Tucson, AZ 85733



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TUCSON, AZ 85701

Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Jonathan Rothschild
Mayor
255 W. Alameda ST
Tucson, AZ 85701



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1660 0001 1744 9376

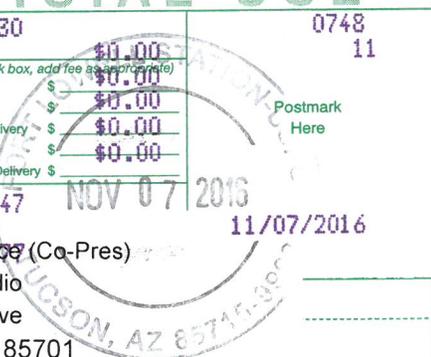
U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

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TUCSON, AZ 85701

Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Thaddeus Pace (Co-Pres)
N.A.-El Presidio
425 N Main Ave
Tucson, AZ 85701



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TUCSON, AZ 85701

Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130390
COPE PROPERTIES LLC
ATTN: SUSAN C ONG-WESTERNER OFFICE BLDG
10 E BROADWAY BLVD STE 400
TUCSON AZ 85701



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7015 1660 0001 1744 8546

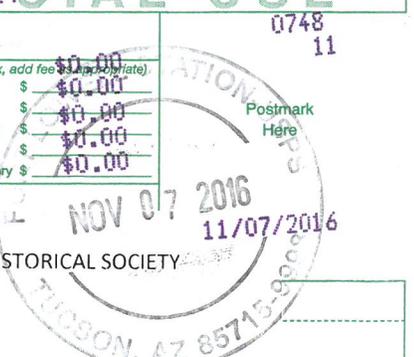
U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

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TUCSON, AZ 85719

Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130320
ARIZONA PIONEERS HISTORICAL SOCIETY
949 E 2ND ST
TUCSON AZ 85719



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7015 1660 0001 1744 8607

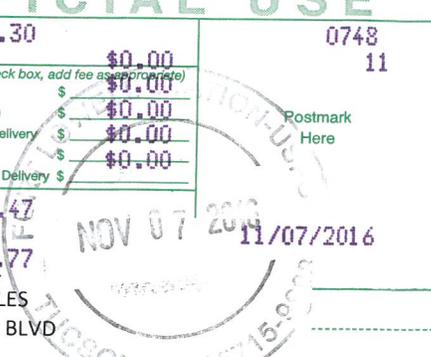
U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only

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TUCSON, AZ 85711

Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

11720016F
HSL LA PLACITA LLC
ATTN: OMAR MIRELES
3901 E BROADWAY BLVD
TUCSON AZ 85711



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7015 1660 0001 1744 9109

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TUCSON, AZ 85745

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Regina Romero
 Ward 1
 940 W. Alameda St
 Tucson, AZ 85745

Postmark Here
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TUCSON, AZ 85745

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Shirley Roman (Go-Chair)
 N.A.-Barrio Kroeger Lane
 906 W. 21st St.
 Tucson, AZ 85745

Postmark Here
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TUCSON, AZ 85733

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Chris Gans
 N.A.-West University
 P.O. Box 42825
 Tucson, AZ 85733

Postmark Here
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TUCSON, AZ 85719

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Karin Uhlig
 Ward 3
 1510 East Grant Rd
 Tucson, AZ 85719

Postmark Here
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TUCSON, AZ 85719

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Evren Sonmez
 N.A.-Rincon Heights
 1735 E 8th St
 Tucson, AZ 85719

Postmark Here
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TUCSON, AZ 85705

Certified Mail Fee \$3.30 0748
 \$ 11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

Tina Gonzales
 N.A.-Barrio Anita
 855 N. Contzen
 Tucson, AZ 85705

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Certified Mail Fee	\$3.30		0748
\$	\$0.00		11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130420
 RALLY POINT APARTMENTS LP
 504 W 29TH ST
 TUCSON AZ 85713

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Certified Mail Fee	\$3.30		0748
\$	\$0.00		11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130420
 Mark S. Homay
 N.A.-Rincon Heights
 1619 E 8th St
 Tucson, AZ 85719

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Certified Mail Fee	\$3.30		0748
\$	\$0.00		11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130448
 MIVI LA PLACITA PARKING LLC
 ATTN: HSL LA PLACITA LLC
 3901 E BROADWAY BLVD
 TUCSON AZ 85711

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Certified Mail Fee	\$3.30		0748
\$	\$0.00		11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130448
 Roger Becksted
 N.A.-Millville
 1070 E 20th St
 Tucson, AZ 85719

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Certified Mail Fee	\$3.30		0748
\$	\$0.00		11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130430
 Steve Kozachik
 Ward 6
 3202 E. 1st St
 Tucson, AZ 85716

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 PHOENIX, AZ 85013

Certified Mail Fee	\$3.30		0748
\$	\$0.00		11

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.47

117130430
 GREAT WESTERN ASSOC LP
 520 W LAWRENCE RD
 PHOENIX AZ 85013

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HOLLYWOOD, FL 33021

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Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

117120290 \$3.77
 SIEBENBERG SAMUEL MAX & HENRIETTE TR
 3900 N HILLS DR APT 204
 HOLLYWOOD FL 33021

Postmark Here
 NOV 07 2016
 TUCSON, AZ 85715-9908

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Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Timothy A. Olcott \$3.77
 N.A.-Rincon Heights
 1141 E. 9th St.
 Tucson, AZ 85719

Postmark Here
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 TUCSON, AZ 85715-9908

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TUCSON, AZ 85701

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Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

11712037A \$3.77
 RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT
 400 W CONGRESS ST STE 152
 TUCSON AZ 85701

Postmark Here
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 TUCSON, AZ 85715-9908

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Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Richard Mayers \$3.77
 N.A.-West University
 PO Box 42825
 Tucson, AZ 85733

Postmark Here
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 TUCSON, AZ 85715-9908

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7015 1660 0001 1744 9055

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TUCSON, AZ 85714

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Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Richard Forbes \$3.77
 Ward 5
 4300 S. Park Av
 Tucson, AZ 85714

Postmark Here
 NOV 07 2016
 TUCSON, AZ 85715-9908

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1660 0001 1744 8591

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TUCSON, AZ 85726

OFFICIAL USE

Certified Mail Fee	\$3.30	0748
\$		11
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

117120860 \$3.77
 CITY OF TUCSON REAL ESTATE DIVISION
 ATTN: PROPERTY MANAGEMENT
 PO BOX 27210
 TUCSON AZ 85726

Postmark Here
 NOV 07 2016
 TUCSON, AZ 85715-9908

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TUCSON, AZ 85713

Certified Mail Fee	\$3.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.47

0748
11

Postmark
Here

11/07/2016

Ernie Lujan
N.A.-Barrio Santa Rita Park-West Ocho
1445 S 4th Ave
Tucson, AZ 85713

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117132250
FITCH LIVING TR
ATTN: MORGAN L & PATRICIA R FITCH TR
44 E BROADWAY BLVD UNIT 403
TUCSON AZ 85701

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Gilbert Finnes
N.A.-Menlo Park
934 W Grandview Ln
Tucson, AZ 85745

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Postage	\$0.47

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11

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117120110
US BANK NATIONAL ASSN TR
ATTN: SQUIRE SANDERS & DEMPSEY LLP
1 E WASHINGTON ST STE 2700
PHOENIX AZ 85004

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George Kai
N.A.-Millville
931 S Highland
Tucson, AZ 85719

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Nancy Robins
N.A.-Pie Allen
801 E 7th St
Tucson, AZ 85719

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Ted Warmbrand
N.A.-Barrio San Antonio
402 S Star Ave
Tucson, AZ 85719

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Sent To Diana Lett (Co-Pres)
N.A.-Feldman's
1309 N 1st Ave
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Pedro M Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

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Nicole Gonzales
N.A.-Barrio Santa Rosa
323 W. 19th Street
Tucson, AZ 85701

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Yolanda Quroz
N.A.-Barrio Santa Rita Park-West Ochoa
440 E 22nd St
Tucson, AZ 85713

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Letitia A Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

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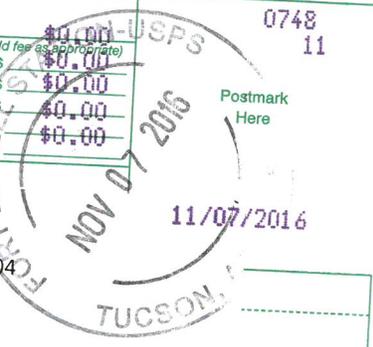
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Postage \$0.47
 11712098A
 15C PARTNERS LLC 77
 6700 N ORACLE RD STE 504
 TUCSON AZ 85704



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Postage \$0.47
 11712033A
 BC LIMITED LLC \$3.77
 CHAPMAN MANAGEMENT GROUP LLC
 33 W CONGRESS ST #205
 TUCSON AZ 85701



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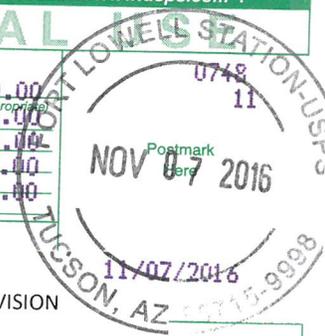
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Postage \$0.47
 11712087C
 CITY OF TUCSON REAL ESTATE DIVISION
 ATTN: PROPERTY MANAGEMENT
 PO BOX 27210
 TUCSON AZ 85726



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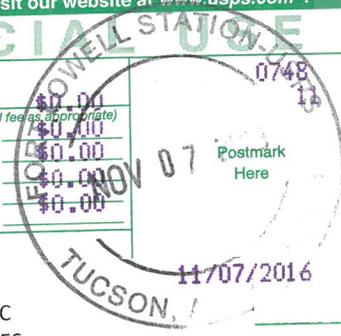
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 117121330
 BP POST DEVELOPERS LLC
 ATTN: BOURN COMPANIES
 20 E CONGRESS ST STE 300
 TUCSON AZ 85701



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Postage \$0.47
 11720016H
 METROPOLITAN TUCSON CONVENTION &
 VISITORS BUREAU
 100 S CHURCH AVE
 TUCSON AZ 85701



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Notice of Infill Incentive District (IID) Neighborhood Meeting

Date: Monday, November 21, 2016
Time: 6:00 PM
Location: 1 South Church, 20th Floor, Tucson, AZ 85701 – parking in the garage below
Proposal: IID Redevelopment on the northwest corner of Broadway Blvd. and Stone Ave.

You are cordially invited to attend the IID Neighborhood Meeting at the date, time & location listed above. This meeting is to present and discuss the redevelopment on the northwest corner of Broadway Boulevard and Stone Avenue. This development will transform the existing building foundation at the corner into a six story, mixed use building featuring retail space on the ground floor and 100+ rental apartments. This building will be built over the existing underground parking garage and provide a community gathering area in the center courtyard between the existing and new buildings. The project is located within the Rio Nuevo Area and the design team will be utilizing the IID. Within the IID process we are requesting the following Unified Development Code (UDC) modifications:

1. Relief from MS&R setbacks
2. Relief from minimum perimeter yard standards
3. Relief from maximum lot coverage standards
4. Relief from landscape and screening standards
5. Relief from native plant preservation standards
6. Seeking use of multi-zone parcel standards
7. Seeking modification from solid waste collection

The development and design teams will provide a brief overview of the project with floor plans, schematic building elevations and perspectives for your review. Your questions and comments are welcome during the meeting but may also be submitted in writing to the City of Tucson Planning & Development Services Director.

MEETING LOCATION
1 S. CHURCH, 20th FLOOR

PARKING IN
UNDERGROUND GARAGE



PROJECT LOCATION

For additional information, you may contact Scott Rathbun of Aerie Development via email at

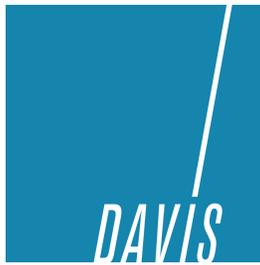
scott@erie-development.com

We look forward to seeing you at the meeting and discussing the next exciting development in downtown Tucson.

swaim

ASSOCIATES LTD
ARCHITECTS AIA

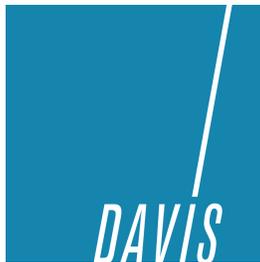
7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



NEIGHBORHOOD MEETING AGENDA

Date: November 21, 2016
Location: 1 South Church, 20th Floor
Attendees: See attached Sign-in Sheet
Presenters: Mike Culbert, Swaim Associates, LTD.
Buck Yee, The Davis Experience
Scott Rathbun, Aerie Development

1. Introductions (Mike)
 - Swaim, Davis and Aerie Development
2. Meeting intent (Mike)
 - What is the IID & purpose for the IID
 - Neighborhood liaison volunteer?
 - Responsibilities and requirements
3. Project introduction
 - Location and existing zoning C-3 & OCR-2 (Mike)
 - Intent with Ben's Bells murals (Mike)
 - Developer intent with this project (Scott)
 - Project design (Buck)
 - Building description
 - Building plans, elevations and images
 - Courtyard design and planning
4. Modifications to the UDC through the IID process (Mike)
 - Section 5.4 – Major street and routes setback
 - Section 6.3 – Minimum perimeter yards, maximum lot coverage and maximum building height
 - Section 7.6 – Landscaping and screening standards
 - Section 7.7 – Native plant preservation standards
 - Technical Standards - Section 8-01.4.0 – Solid waste and recycling standards
 - Multi-zone parcels
5. Parking is not included in the request, we meet all City of Tucson parking requirements based on the previously approved development plan for the tower and the current project needs.
6. Questions and open floor
7. Wrap up



NEIGHBORHOOD MEETING MINUTES

Meeting called to order at 6:05 pm.

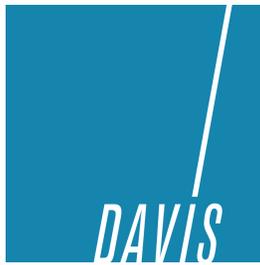
- Presenters were introduced along with their company and their role on the project.
- Infill Incentive District (IID) and the city requirements were explained.
 - Mailings were sent to all neighbors living within 300' of the project site and all neighborhoods within one mile
- Request was made for anyone who wanted to volunteer to be the Neighborhood Liaison. The role of this person is to share the information between the attendees, the project team, and the City of Tucson. No one volunteered to be the liaison.
- Project location was defined along with current zones. Project is located on two parcels with different zones, C-3 & OCR-2.
- Relocation and salvage of the existing Ben's Bells murals was discussed. One will be reused on the site, the other ones will be salvaged and stored for future reuse. The team is looking for other possible location either on site or at other developments.

Scott Rathbun explained the project from the developer's perspective.

- Design and development teams are locals with roots in Tucson.
- Scott worked for TEP and was involved in bringing the UniSource Tower project to downtown Tucson.
- Developer is looking for an activate space in downtown Tucson which stays active after the 5pm hour when so many businesses close.
- Project includes 100 rental units with a mixture of 60% one bedrooms and 40% two bedrooms. Combined with the current residential units and the goal is to vitalize the west side of downtown with after hours activity.
- The developer is pursuing different clientele than the student housing projects and the future HSL development at La Placita.

Buck Yee explained the project design.

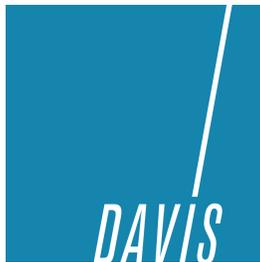
- Existing site has a diagonal access route across the site, the design team wanted to maintain that access to promote and activate the center courtyard.
- Project consists of a first floor concrete podium with five floors of apartments above. The apartment levels overhang the ground floor giving the appearance that the apartment building is floating.
- A portion of the site is open on the ground floor with the apartment floors above creating a covered outdoor space for dining and other activities.
- Architecture is floor to ceiling glass, with balconies to break up the façade.



- There are premium apartments at the corners of the building which are bigger units with larger balconies and great views.
- Materials include concrete, EIFS, metal panels and glass.
- The balconies are wrapped in colored metal panels that are inspired by the colors of the desert.
- Upper apartment units have 10' high ceilings and the rest of the units below have 9' high ceilings.
- The covered area has columns supporting the building above but opens to a water feature that is below the location for the relocated Ben's Bells mural.
- Red brick pavers which existing on site now and all over downtown will be used on this development as well.
- Amenities for the residents include an outdoor barbecue area (behind the Ben's Bells mural) and is segregated from the public area for resident privacy.
- The lack of Broadway access currently was pointed out and the new development will provide an access route along Broadway which will be covered by the building above.
- Question was asked about the retail development and activation of the street.
 - Retail space existing along Stone Avenue with another small space along Broadway. The main entrance into the apartments is also located on Stone. All of these spaces open directly onto the street.

Modifications this project is requesting were reviewed and discussed.

- Descriptions of the UDC, IID and the DCS were presented.
- Major streets and routes setback – City has defined the major streets and routes around Tucson and requires that properties allocate space for future road widening. This is not required for development in downtown Tucson but the exception must be requested through the ID process.
- UDC Section 6.3 defines the minimum perimeter yards, maximum lot coverage and maximum building heights.
 - This project is requesting 0' perimeter yards so we can build to the property lines which is the desire for development in downtown locations.
 - In the DCS projects are encouraged to maximize their lot usage and this project is requesting to cover more the existing property than is currently allowed by the UDC.
 - The two different zones found on this site have very different height restrictions. The C-3 zoning has a maximum building height of 75' while the OCR-2 zone has a maximum height of 300' This project is asking for an increase of the 75' height restriction to 95', well below the 300' max height for the OCR-2 zone.
- Landscaping and screening standards are applicable to many locations throughout Tucson but is not ideal for development in downtown locations. This project will be landscaping the sidewalks around the site but is requesting relief on the dense

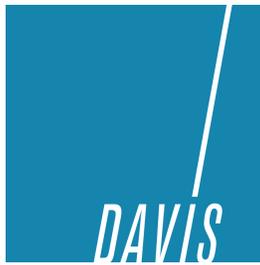


landscaping requirements found in the UDC.

- Projects in the City of Tucson are also required to protect native plants on the development site. This project is asking for relief from this requirement primarily because the site was originally disturbed to building the underground parking garage in the mid 1980's. No existing native protected plants remain on site.
- Solid waste and recycling standards require the design team to calculate the quantity of dumpsters required to serve the project. This project will be utilizing the existing compactor in the parking garage eliminating the need for dumpsters.
- Multi-zone parcels is a process that allows development to be spread over parcels of different zones without forcing the project to go through a rezoning. This is allowed in the Downtown Core Sub-District.
- The rest of the IID process was described including:
 - Submitting the IID application
 - Project will be presented to the Historic Committee and the Design Review Committee
 - There will be a joint meeting combining the DRC and Design Review Board (DRB)
- Existing parking garage currently meets all the parking needs for the original building and this new development. This is due to the original development plan for one south Church and the small size of development we are proposing for this project.

Floor was opened to questions:

- Project timeline?
 - Submit for permitting in January, construction starts in mid March with occupancy happening in summer of 2018. Demo permit will be pursued earlier so site prep can be started to determine some items which were not properly reflected on the existing drawings.
- Is this going to be a LEED building?
 - The project is not pursuing a LEED certification but the existing code requirements will put the project very close to a LEED silver level.
- Does the project have to show how this development will impact views from adjacent buildings such as 1 West Broadway?
 - No, city does not require that we show that impact on adjacent properties.
 - The city does require that we identify the adjacent historic properties and the impact we have on those buildings. This site has both the Charles O Brown house and the Chase bank building is also historic. Other historic sites include the Samiengo House and the stables in La Placita.
- Are we required to install vehicle charging stations in the garage?
 - We are not required to do any improvements to the existing in the parking garage but the developers are the majority owners of the existing garage and the one



South Church building and are planning on upgrading the garage to more current standards. Items being considered include charging stations, Uber and taxi pick-up/drop off spaces, car sharing possibilities plus valet parking which will allow more parking density.

- Is the developer team considering car free leases where rent is reduced if the tenants do not have a vehicle? If car sharing is utilized has the developer team considered using Chevy Volts or other electric cars? Is this project looking for an exception form the UDC on commercial parking spaces?
 - There are four loading zones spaces in the parking garage already and the size of the retail spaces does not require any additional spaces.
- Loading zones and deliveries are a huge problem in downtown.
 - This project has a service elevator which goes down to the first level of the parking garage where the loading spaces are located. This will allow deliveries and movers to access the building of the main roadways.
- Has the team tried to work with Gibson's market to find products which would keep residents from going to Safeway or other locations away from downtown? Sharing this information between businesses would help them all.
 - There is no renter's association in downtown Tucson so if you are not a home owner, the city does not recognize you.
 - Communication between developments possibly via the downtown partnership where the businesses have access to an email list of downtown residents. This will give the businesses direct access to the consumers.
- The plaza at this project is designed to allow people to meet, hold functions and other public functions to help energize this end of downtown after hours.

Meeting concluded at 6:46 pm and the attendees were invited to look over the boards that were presented.

These notes represent Swaim Associates' understanding of the issues discussed during this meeting and the response to the questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Culbert".

Mike Culbert, AIA

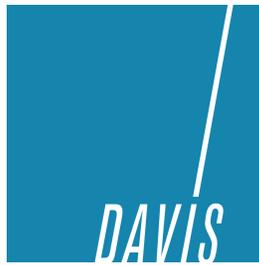
Swaim Associates LTD

November 21, 2016

RENDEZVOUS URBAN FLATS
Infill Incentive District Neighborhood Meeting

SIGN IN SHEET

NAME	STREET OR E-MAIL ADDRESS
Scott Rathke	scott@erie-development.com
Buck YEE	BYEE@THEVANUJENY023EE.COM
Amie Urken	1 E Bay Blvd, Apt 612
Maddy Urken	maddyurken2@gmail.com
CHRIS GANS	130 E-UNIVERSITY
Terry Noel	terry@hslproperties



PROJECT INTRODUCTION

RendezVous urban flats offers the Tucson Downtown Core a mixed-use, transit-oriented development for an urban residential experience. The project is sited on the city block of W. Broadway Boulevard and S. Stone Avenue and W. Congress Street and S. Church Avenue on an approximate 0.56-acre site and adjacent to an existing 24-story glass office building.

RendezVous urban flats consists of 5-stories residential apartments over a 1st floor podium with approximately 100 units of one and two bedroom apartments. The project has a total gross building area of approximately 121,750 SF. 1st floor podium includes (4) residential units, approximately 4,200 SF of retail, related amenity areas and landscape/hardscape features. No structured parking required as the project is over (3) three levels of existing below grade parking with 150 spaces allocated for the apartments. Residential amenities are located on the first floor will include building lobby, mailroom and club room.

Podium: 5 residential floors over podium design expression. The upper 5 floors expressly float above a primarily glazed and recessed first floor with retail, service, lobby and residential use areas. The building plan is an 'L' configuration with 45 degree cantilevered end conditions for maximum architectural impact and site utilization.

The building architecture is minimal and contemporary with a neutral yet richly contrasting palette of white, warm grays and dark charcoal features in metal and cementitious panel facade materials. Warm, desert flora inspired accent colors wrap balcony edges, providing dynamic stripes of color along the street facades.

The facades are articulated into a series of projecting vertical white frame elements which overlay a gray facade layer and engage the tiers of balconies. These elements give scale and a sequential rhythm to the main facades and contrast with the strong horizontal character of the balcony elements. Accent vertical wall panels in dark cement board or masonry veneer further refine the rich compositional interplay and layering of vertical and horizontal elements within the essentially flat facades.

Large full height window areas with clear glazing are used throughout to enhance the living experience in the building by maximizing views and natural daylighting.

All residential units feature open floor plan living areas that open out onto walls of glass with large exterior balconies, blurring the distinction of inside/outside and creating a feeling of even greater openness within the spaces. Corner units have living areas with angled walls and dramatic cantilevered prow balconies.

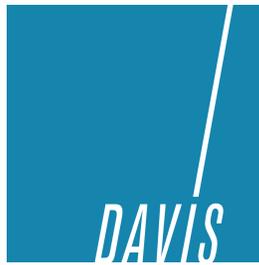
The north wing of the building is cantilevered above an open plaza shared with the office tower. This urban plaza - 'rendezvous', is shaded and landscaped with an art mural wall and water features, retail outdoor patio spaces and is designed for flexibility of outdoor uses. The plaza area also features a more private residential amenity area with lounge, fire pit and barbecues.

Development in Tucson, especially the Downtown Core, must preserve the rich cultural history while seeking to obtain an architectural model focused on accommodating the future higher population densities within the Central Business District. This project understands the balance between progress and respect for previous developments.

As part of the Infill Incentive District Overlay, comments and questions are welcomed as a part of the Design Review Committee process. This project is committed to bringing long-term value to Downtown Tucson, and looks forward to a positive review process.

Sincerely,
DAVIS

Buck Yee
Project Architect



PROJECT STATEMENT - INFILL INCENTIVE DISTRICT (IID) NARRATIVE:

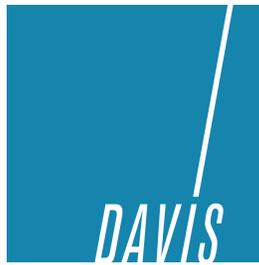
December 15, 2016

City of Tucson Development
Services 201 N Stone Avenue
Tucson, Arizona 85701

The following letter provides a description outlining the proposed scope of work for the RendezVous Urban Flats development as it relates to the Downtown Area Infill Incentive District (IID) overlay zone:

The project at 20 S. Stone is located at the northwest corner of Stone Avenue and Broadway Boulevard, within the Downtown Core Sub-district (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the DCS, the Development will be required to comply with the following:

1. Permitted uses listed within Section 5.12.9.A;
Mixed Use – combination of Retail Trade Group, Commercial Services Group, and Multifamily Dwelling Residential Group
2. Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID’s Development Transition Element requires less;
Allowable height C-3 = 75’, OCR-2 = 300’
3. Demolition and façade alteration standards and review requirements in accordance with UDC Section 5.8.10, Demolition of Historic Properties, Landmarks, and Structures of the Rio Nuevo Area and Infill Incentive District;
New Construction – no demolition or alteration
4. When provided, landscaping shall be in accordance with the City’s drought-tolerant plant list;
Plants have been selected from approved list
5. Bicycle parking shall be provided when motor vehicle parking is provided; The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan, Section 5.12.8.E;
New bicycle parking provided per UDC requirements
6. Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation;
No Native Plants to be removed



1. *STATE THE APPLICANT'S INTENTION TO USE THE IID ZONING OPTION IN LIEU OF EXISTING UNDERLYING ZONING;*

Response: It is the intent of the proposed development to use the IID zoning option in lieu of the underlying zoning in order to maximize the site's location as it pertains to creating a sustainable, transit-oriented infill development project; that offers a pedestrian friendly environment, takes advantage of the Tucson Sun-Link transportation system, and provides a much needed boost to the Downtown Core and the major Broadway/Stone activity center. All the modifications we are pursuing are allowed within the DCS. The project seeks the following modifications permitted through the use of the IID overlay zone:

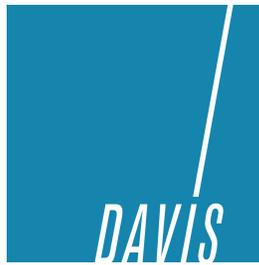
Major Streets and Routes Setback Zone UDC Section 5.4 –The proposed project is located within the DCS, and as such, the proposed development seeks relief from the requirements of the Major MS&R setbacks. Relief from this requirement is consistent with development in a downtown environ and pedestrian access will be increased around and through the project site.

Minimum Perimeter Yard UDC Section 5.12.10.C.2 – Since the proposed project is located within the DCS, the development seeks relief from the minimum perimeter yard requirements. This will allow the building footprint to maximize the site and is consistent with the surrounding buildings within this development zone. To maintain the pedestrian access and visibility to the ground floor retail, relief from the minimum perimeter yard requirement is necessary.

Maximum Lot Coverage UDC Section 5.12.10.C.3 – Relief from the lot coverage requirements would allow this Development to maintain a buildable footprint, and be consistent with downtown/urban developments that already exists.

Landscaping/Screening UDC Section 5.12.10.C.7 – The proposed project seeks relief to maintain a building footprint similar to the surrounding buildings within this development zone. In order to develop the pedestrian friendly environment this project desires, while maintaining visibility on the ground floor retail, relief from the landscaping and screening requirement is necessary. Where applicable, drought tolerant trees and plants will be installed to maintain the minimum 50% shade coverage for pedestrian paths.

Native Plant Preservation Standards UDC Section 7.7 – This projects seeks relief from the requirements of the Native Plant Preservation Standards. The existing



building was built in the mid 1980's and development for that building cleared the entire site. Therefore no native plants exist on the site now.

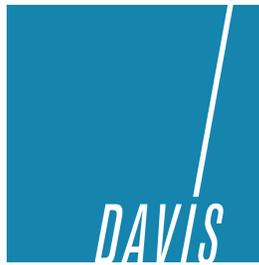
Multi-Zone Parcels, UDC Section 5.12.8.F – multi-zone parcels may distribute the uses and building massing across the multiple zoning districts and parcels. The site consists of 2 zoning districts – C-3 and OCR-2. In return for allowing uses and building massing to be distributed across the multiple districts and parcels, the proposed development will enhance pedestrian access around and across the site where access does not presently exist.

Environmental Services UDC Section 5.12.10.D.2 – The existing property at 1 South Church, which shares the underground parking garage with this development, is already using a trash compactor for trash collection. Due to the site's constraints, and the building's design additional trash and recycle area is difficult to find. With this in mind, both buildings will share the compactor utilizing a joint use agreement. Frequency of pick-ups will be increased as required to handle the additional load.

Building Height UDC Section 5.12.10.B.1 & 6.3.4 –The site consists of 2 zoning districts – C-3 and OCR-2, which allow for a maximum building height of 75 feet and 300 feet respectively. As a multi-zone parcel, the proposed development seeks to distribute the building massing across the entire site and establish a maximum height limit of 95 feet. The even distribution of building mass allows for a consistent architectural approach to the site, maximizing the building footprint. This approach was also found in the recent adjacent developments to the east and south. Building heights for all three developments is about equal.

2. *DESCRIBE HOW THE PROJECT IS CONSISTENT WITH THE IID PURPOSE TO CREATE SUSTAINABLE INFILL DEVELOPMENT;*

Response: This project creates 100+ multi-family residential units and approximately 4,000 square feet of retail space on a 0.56 acre vacant parcel within the Downtown Core Sub-district. This development helps bring the development already found on the east side of downtown to the west helping to re-vitalize more of the downtown area. The development is a model for transit-oriented development, and will provide easy access to/from, the Tucson Central Business District, the vibrant 4th Avenue, and the University of Arizona. Amenities and employment opportunities surround the project site, including 1 South Church, La Placita, Fox Tucson Theatre, St. Augustine Cathedral, the City/County Municipal Complex, the Tucson Convention Center, and Congress Street to name a few.



3. *DESCRIBE THE BENEFITS THE PROJECT WILL BRING TO THE ADJACENT PROPERTIES AND THE SURROUNDING AREA;*

Response: Development of the eastern edge of downtown has been going on for years, this project will increase consumer traffic on the western end but still within an area lush with restaurant, retail, and office employment centers. It also develops a vacant site that has had plans for development since the mid 1980's and yet the existing parking garage meets the city requirements for parking therefore does not increase the parking problems. The building will provide an upscale residential building in downtown Tucson which does not exist today.

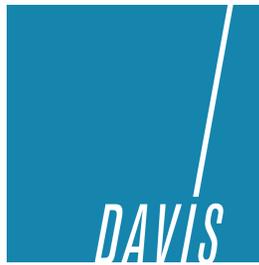
4. *DESCRIBE ANY SIGNIFICANT ADVERSE EFFECTS, SUCH AS NOISE LEVELS, GLARE, ODORS, VIBRATION, ILLUMINATION, FUMES AND VAPORS, THE PROJECT WILL HAVE ON ADJACENT PROPERTY;*

Response: Noise levels, glare, odors, vibration, illumination, fumes and vapors associated with this project will be no different than the existing surrounding businesses. The proposed uses of a small retail and predominantly residential, are all relatively low intensity uses, and comparable to those being implemented by adjacent properties. The limited size of the retail space reduces the options for prospective tenants whose operations conflict with the quiet, peaceful nature of the residences.

5. *DESCRIBE HOW THE PROJECT WILL CREATE A PEDESTRIAN-ORIENTED STREETScape IN COMPLIANCE WITH THE STREET STANDARDS (UDC SEC. 5.12.8.A);*

Response: The name and focus of this project is to provide an urban area for people to gather (RendezVous). The center courtyard is designed with open space for the public with enough size to hold small concerts, farmer's market, or art fairs. The existing site does not currently provide a pedestrian path along Broadway but the new development will provide a covered public access way along that street front.

The ground floor is made up of retail and building amenities such as exercise all of which have windows for at least 50% of the Stone Avenue frontage. The Broadway frontage is blocked by the existing entrance ramp to the parking garage below and therefore is not ideal for open frontage so the building, back of house functions are located there. The east and west ends which abut the pedestrian way do have windows opening that façade up to the street.



The limited quantity of residential units on the ground floor are oriented towards the center courtyard keeping the streetscape open to the other building functions. The apartment floors above overhang the ground floor providing architectural relief and is broken up with balconies for the apartments. The front doors of the apartments and the retail space open along Stone Avenue as does the courtyard at the north end of the property. Also at the north end, the apartments above create a large open area on the ground floor that allows sight lines into the public plaza. The height of the building is consistent with the other residential properties on the adjacent corners but helps transition to the much higher office building to the west.

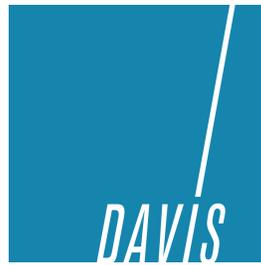
The streetscape will provide shaded opportunities by way of the recessed and projecting architectural elements, along with trees and various planters to assist in reducing the variable heat island effect. Varied paving along Broadway Boulevard and Stone Avenue will offer an enhanced pedestrian environment, and along with the inclusion of a recessed corner plaza, provide a safe and friendly pedestrian zone at one of Downtown Tucson's major activity intersections.

6. *DESCRIBE HOW THE PROJECT WILL SUPPORT A SAFE STREETScape COORDINATED WITH ADJOINING PROPERTIES;*

Response: Entry into the existing parking garage is off Broadway with the exit on to Congress. These two locations do not have any pedestrian access across them, all pedestrian traffic is routed onto the property providing safe pedestrian access across the site. The diagonal access from Broadway and Church to Congress and Stone is maintained with this new design and is actually enhanced.

7. *DESCRIBE HOW THE PROJECT WILL TRANSITION TO ADJACENT EXISTING RESIDENCES AND PROVIDE MITIGATION IN COMPLIANCE WITH THE DEVELOPMENT TRANSITION STANDARDS (UDC SEC. 5.12.8.B);*

Response: The only residences near this site are the existing multi story buildings at 1 West Broadway & 1 East Broadway. With that in mind the Development Transition standards do not apply to this project since it does not abut any residential structures.



8. *INDICATE WHETHER THE PROJECT WILL SIGNIFICANTLY IMPEDE SOLAR ENERGY OPTIONS TO ADJACENT PROPERTIES;*

Response: This project's underlying zoning is C-3 and OCR-2, which allows construction up to 75 feet and 300 feet in height respectively. The project is proposing a building height of 95 feet, less than 1/3 of the maximum allowable height under the OCR-2 zoning. The existing building at 1 S. Church building stands at approximately 330 feet in height, far higher than this development. Broadway Boulevard is to the south of the property and Congress is to the north providing a buffer between this building and the adjacent properties. Considering the standard design of facing solar panels south, the proposed development will not keep adjacent properties from pursuing solar energy options in the future.

8. *DESCRIBE THE TYPES OF DROUGHT TOLERANT AND NATIVE LANDSCAPING THAT WILL BE USED IN THE PROJECT AND HOW IT WILL BE USED TO ENHANCE THE PROJECT;*

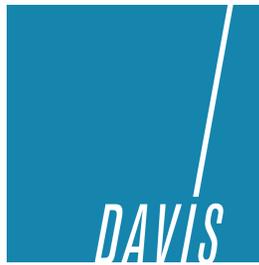
Response: This project will be using drought tolerant trees/shrubs per the approved City of Tucson Plant List, as well as those species recommended within the Downtown Streetscape Interim Policy. Thus, the potable water demand ratio for this project per square foot of usable space will be drastically lower than the typical City of Tucson commercial retail and lodging project ratio.

RIO NUEVO DISTRICT (RND) NARRATIVE:

Building Design Standards – UDC section 5.12.7.C

1. *THE PROPOSED BUILDINGS SHALL RESPECT THE SCALE OF THOSE BUILDINGS LOCATED IN THE DEVELOPMENT ZONE AND SERVE AS AN ORDERLY TRANSITION TO A DIFFERENT SCALE. BUILDING HEIGHTS WITH VASTLY DIFFERENT SCALE THAN THOSE ON ADJACENT PROPERTIES SHOULD HAVE A TRANSITION IN SCALE TO REDUCE AND MITIGATE POTENTIAL IMPACTS. IN AREAS UNDERGOING CHANGE, LONG-RANGE PLANS SHOULD BE CONSULTED FOR GUIDANCE AS TO APPROPRIATE HEIGHTS;*

Response: The project is zoned C-3 and OCR-2, allowing for a maximum height of up to 300 feet. The existing building on the same block stands at approximately 330 feet tall but has a two story component to the south. This development will help to offset the transition from the two story section to the high rise it is attached to. The other developments nearby by either will be or are about the same size as this project



except the historic Charles O Brown house used by Ben's Bells which is directly south of the building across Broadway.

2. *ALL NEW CONSTRUCTION SHALL MAINTAIN THE PREVAILING SETBACK EXISTING WITHIN ITS DEVELOPMENT ZONE;*

Response: As part of the Downtown Core Sub-district, this project is exempt from Perimeter Yard Setback standards. The development will be up to the property lines along Stone and Broadway but will be setback from the existing building and the property line dividing them.

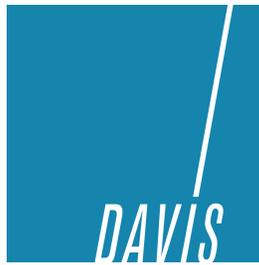
3. *ALL NEW CONSTRUCTION SHALL PROVIDE SCALE-DEFINING ARCHITECTURAL ELEMENTS OR DETAILS AT THE FIRST TWO FLOOR LEVELS, SUCH AS WINDOWS, SPANDRELS, AWNINGS, PORTICOS, CORNICES, PILASTERS, COLUMNS AND BALCONIES;*

Response: The ground floor is made up of retail and building amenities such as exercise all of which have windows for at least 50% of the Stone Avenue frontage. The Broadway frontage is blocked by the existing entrance ramp to the parking garage below and therefore is not ideal for open frontage so the building, back of house functions are located there. The east and west ends which abut the pedestrian way do have windows opening that façade up to the street.

The limited quantity of residential units on the ground floor are oriented towards the center courtyard keeping the streetscape open to the other building functions. The apartment floors above overhang the ground floor providing architectural relief and is broken up with balconies for the apartments with full height glass. The front doors of the apartments and the retail space open along Stone Avenue as does the courtyard at the north end of the property. Also at the north end, the apartments above create a large open area on the ground floor that allows sight lines into the public plaza.

4. *EVERY COMMERCIAL BUILDING FRONTAGE SHALL PROVIDE WINDOWS, WINDOW DISPLAYS, OR VISIBLE ACTIVITY WITHIN THE ADJACENT BUILDING AT THE GROUND FLOOR LEVEL, WITH A MINIMUM OF 50 PERCENT OF THE BUILDING FRONTAGE PROVIDING SUCH FEATURES;*

Response: The ground floor of the building has a single level of retail with the apartment levels above overhanging the base. The amount glass and open space will provide transparency at the pedestrian level with minimal structural impact and providing windows or openings for at least 50% of the frontage.



5. *A SINGLE PLANE OF FAÇADE AT THE STREET LEVEL MAY NOT BE LONGER THAN 50' WITHOUT ARCHITECTURAL RELIEF OR ARTICULATION BY FEATURES SUCH AS WINDOWS, TRELLISES AND ARCADES;*

Response: See included elevations and images within this package. Architectural relief has been provided with balconies and articulation of the building faces, ensuring that no single plane of façade exceeds 50 feet.

6. *BUILDING FAÇADE DESIGN SHALL INCLUDE PEDESTRIAN-SCALED, DOWN-SHIELDED, GLARE CONTROLLED EXTERIOR BUILDING AND WINDOW LIGHTING;*

Response: Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture without distracting from the elements of the façade, but also be in full compliance with the Dark Sky Ordinance.

7. *THE FRONT DOORS OF ALL COMMERCIAL AND GOVERNMENT BUILDING SHALL BE VISIBLE FROM THE STREET AND VISUALLY HIGHLIGHTED BY GRAPHICS, LIGHTING, MARQUEES, OR CANOPIES;*

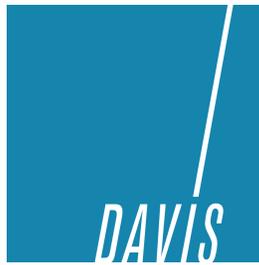
Response: Main entrance to the apartments and the retail spaces are along Stone Avenue. Entrances will be highlighted by lighted signage to meet City of Tucson standards

8. *MODIFICATIONS TO THE EXTERIOR OF HISTORIC BUILDINGS SHALL COMPLIMENT THE OVERALL HISTORIC CONTEXT OF THE DOWNTOWN AND RESPECT THE ARCHITECTURAL INTEGRITY OF THE HISTORIC FAÇADE;*

Response: This project is new construction and does not impact the existing historic buildings, Charles O. Brown home and the Chase building on Stone.

9. *BUILDINGS SHALL BE DESIGNED TO SHIELD ADJACENT BUILDINGS AND PUBLIC RIGHTS-OF-WAY FROM REFLECTED HEAT AND GLARE;*

Response: Architectural details and features such as recessed windows, balconies, and other façade variations provide both depth and shadow reducing glare. Placement on the site and direction of the one-way traffic on Broadway and Congress will eliminate glare on passing cars due to shading from the adjacent tower. The



development will add landscaping along the roadways and in the center court that will reduce the heat island effect.

10. *SAFE AND ADEQUATE VEHICULAR PARKING AREAS DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIANS AND BICYCLES SHALL BE PROVIDED;*

Response: The existing underground parking garage has a single-entry point along Broadway and exit drive along Congress. Access around the site keeps walkways from crossing either of the driveways eliminating conflicts with traffic.

11. *ADEQUATE SHADE SHALL BE PROVIDED FOR SIDEWALKS AND PEDESTRIAN PATHWAYS, USING SHADE STRUCTURES OR VEGETATION, WHERE PERMITTED BY THE CITY OF TUCSON;*

Response: This project will utilize architectural building features such as overhanging the apartment building over the ground floor pedestal plus balconies at the rooms above to shade the pedestrian pathways. The new canopy of trees along with the existing tower adjacent to the property will contribute to the shading for pedestrians.

12. *COLORS MAY CONFORM TO THE OVERALL COLOR PALLETTE AND CONTEXT OF THE DOWNTOWN AREA OR SUBAREA OR MAY BE USED EXPRESSLY TO CREATE VISUAL INTEREST, VARIETY, AND STREET RYTHMS. THE RATIONALE FOR AN EXPRESSIVE OR IDIOSYNCRATIC USE OF COLOR SHALL BE DESCRIBED IN THE SITE PLAN SUBMITTAL;*

Response: The colors and materials on this project are found at several of the adjacent properties. Accent colors on the balconies are derived from the desert flora and vegetation. Materials to be used include, but are not limited to concrete, glass, steel, and exterior insulation finishing system (EIFS).

13. *NEW BUILDINGS SHALL USE MATERIALS, PATTERNS, AND ELEMENTS THAT RELATE TO THE TRADITIONAL CONTEXT OF THE DOWNTOWN AREA OR SUBAREA;*

Response: Concrete, glass, steel, and EIFS/stucco are all materials found throughout the Downtown area and on adjacent buildings. The use of all of these materials throughout the building façade will provide a connection to the downtown area.

14. *TWENTY-FOUR HOUR, STREET LEVEL ACTIVITY IS ENCOURAGED BY PROVIDING A MIXTURE OF RETAIL, OFFICE AND RESIDENTIAL USES WITHIN EACH BUILDING;*

Response: This project proposes a Mixed Use Development – a combination of Retail and Multifamily Residential Dwellings.

15. *PRIMARY PUBLIC ENTRIES SHALL BE DIRECTLY ACCESSED FROM A SIDEWALK ALONG A STREET RATHER THAN FROM A PARKING LOT. PUBLIC ACCESS TO COMMERCIAL AND GOVERNMENTAL BUILDINGS SHALL BE PROVIDED AT SIDEWALK GRADE. THE PRIMARY FLOOR OR, AND ACCESS TO, RESIDENTIAL STRUCTURES MAY BE ELEVATED. SECONDARY ACCESS MAY BE PROVIDED FROM OFF-STREET PARKING AREAS;*

Response: The primary public pedestrian entry for the building will be on Stone Avenue near Broadway Boulevard. It will be highlighted by signage and an entry canopy providing increased visibility from the street. Access from the existing underground parking garage will be handled via interior elevators.

Rio Nuevo Area; Site Design Standards – UDC section 5.12.7.D

1. *VEHICULAR CIRCULATION;*

Response: See attached Development Plan.

2. *PARKING;*

Response: Existing underground parking garage will be used, see attached Development Plan.

3. *PLAZAS AND OPEN SPACE;*

Response: See responses above and attached Development Plan.

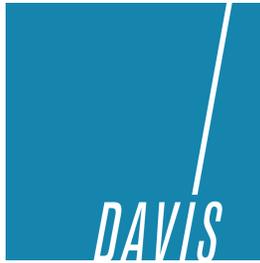
4. *STREETSCAPE;*

Response: See responses above and attached Development Plan, Color Building Elevation, and Downtown Streetscape Interim Policy response.

swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Culbert".

Mike Culbert, AIA

Swaim Associates, LTD.

Planning & Development Services Department

PRO - Property Research Online

Plan Review Detail Results

Permit Status: PLAN RFC **Activity Number:** DP16-0200
Permit Type: SITE/GRADING- RendezVous Urban Flats
Site Address: 20 S STONE AV **Applicant Name and Address:**
 METRO TUCSON EXPEDITING & DEVELOPMENT
 2030 E SPEEDWAY BL
 STE #110
 TUCSON AZ85719

Review Completed	Reviewer's Name	Type of Review	Review Status
11/17/2016 Comments: none	ARUIZ1	PLANS SUBMITTED	This has been completed
11/17/2016 Comments: Agencies does not need to respond; for notification purposes only.	AHINES2	PIMA ASSN OF GOVTS	Not Required
11/17/2016 Comments: Agencies does not need to respond; for notification purposes only.	AHINES2	U. S. POST OFFICE	Not Required
11/17/2016 Comments: Agencies does not need to respond; for notification purposes only.	AHINES2	SOUTHWEST GAS	Not Required
11/17/2016 Comments: Agencies does not need to respond; for notification purposes only.	LIZA CASTILLO	TUCSON ELECTRIC POWER	Not Required
11/21/2016 Comments: PCRWRD approved DP16-0200 Rendezvous Urban Flats with no further review required, whoever, the proposed private sewer need to be approved by PDEQ. We have create file for this DP on our system for records and future building permit. Respectfully Hussein Al Zubaidi Engineering Plans Tech. Regional Wastewater Reclamation Department 201 N. Stone Ave., 1st Floor Tucson, AZ 85701 (520) 724-6404	TIM ROWE	WASTEWATER	Approved
11/21/2016 Comments: The City of Tucson - Environmental Services Department has completed our review of DP16-0200, Rendezvous Urban Flats / 1st Submittal. General Note No. 16 on Drawing No. C001 provides the waste stream calculations for the existing and proposed structures on the 20 S. Stone Avenue property. It is stated that 312 tons per year of solid waste are generated for the existing building and that 155 tons per year will be generated for the new development. The new building development includes 118,773 square feet of multi-family dwelling and 2,739 square feet of general merchandise / retail development. 118,773 sq. ft. x 0.0057 tons/sq. ft. (generation rate for multi-family development) = 677 tons per year. 2,736 sq,	AHINES2	ENVIRONMENTAL SERVICES	Plan requires change prior to approval

ft. x 0.0013 tons / sq. ft. (generation rate for small retail use) = 3.5 tons. The applicant shall review the waste stream calculations for this site and revise as necessary.

It is proposed that a compactor will be used for on-site solid waste storage. There will be a joint compactor use agreement between property owners. In general, the use of a solid waste compactor would be approved by Environmental Services for this site. The applicant shall provide information on the on-site storage and management of recycling materials in the next submittal.

Please contact me at (520) 837-3713 if there are any questions concerning the review of this development package.

Tom Ryan, P.E.
City of Tucson - Environmental Services Department

11/23/2016	CLAURIE1	REVIEW	Denied
Comments:			
none			
11/29/2016	PAUL BAUGHMAN	ENGINEERING	Plan requires change prior to approval
Comments:			
DATE: December 1, 2016			
DUE DATE: December 13, 2016			
SUBJECT: New 6-story Structure			
TO: William E Gasque, PE			
LOCATION: 20 S Stone Ave			
REVIEWERS: Paul Baughman, PE, CFM			
ACTIVITY: DP16-0200			
SUMMARY: Engineering Division of Planning and Development Services Department has received and reviewed the proposed Development Plan Package. Where the code reference is not cited below the AM2-06.4.9N section should be applied as appropriate. The following items need to be addressed:			
1) Per AM 2-06.4.3 please add the case number (DP16-0200).			
2) Per UDC 7.14.4, Section 2.3.1.5 and UDC 7.6.6C please provide a more detailed proposed conditions exhibit showing the locations of the proposed conditions watersheds with flow arrows showing which basin each watershed/hardscape area drains to. Also provide horizontal dimensioning of all retention and detention basins with elevations of basin bottoms, weir outlet elevations and top of basin elevations as applicable on this proposed conditions exhibit. The exhibit may need to be enlarged to a full size sheet in order to make it legible with the required information. The total volume of retention and detention should be notated on each basin in this proposed conditions exhibit. The dimensions that are required on the proposed conditions drainage map should be reflected on the horizontal control sheet C300. The basins should be called out with identifiers that allows each basin to be referenced back to the calculations contained in the drainage report appendices. The calculations for the retention/detention basins contained in appendix H of the drainage report are not sufficient to support the narrative or the plans. Additional input and output information beyond the hydrographs shown in this appendix is required to clearly show the requirements are being met. The same should be done for the storm drains.			
3) Please note that per UDC 7.14.4, Section 12.2.1, Item 7 the amount of stormwater discharged from the site should not increase significantly from the predeveloped/pregraded condition. This is considered to be the original natural predeveloped condition of the site. While it is anticipated this can be addressed through the use of the water harvesting/planter areas being proposed, it is not clear from the plan how stormwater from the new building area is being harvested/retained in these planters. Please update plan per AM 2-06.4.9N.			
4) Infill incentive district general note 4 on sheet C001 has a typo where landscape is mistyped. Please correct.			
5) Infill incentive district general note 7 needs the code references to be clarified and corrected as follows; Section TSM 8-01.4.0, Justification UDC 5.12.10.D2.			
6) Per AM 2-06.4.8F there is a significant amount of existing stormdrain lines shown on the demo plan that should be augmented to show the existing inlets. Per AM 2-06.4.8D the pipe diameters of these storm sewers should be shown. Per AM 2-06.4.8G the disposition of whether these storm drain inlets and pipes should be noted as to remain or to be removed. Please update the plan accordingly.			
7) Per AM 2-06.4.8D the diameter of all of the water, sewer and storm drains within 50 feet of the site should be shown.			
8) Keynote 16 on sheet C400 should be called out at the proposed storm drain catch basin locations.			
9) Keynote 28 on sheet C400 which shows 2' wide weir notch should be supported by calculations to be contained in the drainage report.			
10) The basin bottom elevation 84.40 and the invert elevation 84.76 related to the			

northern most detention retention basin as shown on sheet C500 (ie. grading plan) needs supporting data from calculations to be contained in the next submittal of the drainage report. A cross section of this basin which reflects the 4:1 slope from the top of wall/patio to the basin bottom elevation also needs to be provided for clarity of construction.

11) There are grades of -0.77%, -0.57% and -1.00% shown on the north side of sheet C500 (ie. grading plan) that suggest there is not enough impervious area being routed to the detention/retention basins to make them effective. A Proposed condition drainage map will need to address this concern along with calculations showing the impact on runoff to be required in the next submittal of the drainage report. The drainage report narrative will also need to clarify this.

12) Update the grading plan C500 (ie. grading plan) to provide grades for all of the planter/retention facility basin bottoms and top of basin/planter. This should match supporting information to be provided in the next submittal of the drainage report.

13) Per AM 2-06.4.8G show the location of the existing trash enclosure.

14) Per AM 2-06.4.9T show the proposed location of the trash enclosures and vehicle maneuverability for accessing these trash enclosures.

15) Since the new building is adding an additional 155 tons of solid waste per year based on the waste stream calculation, this review must consider compliance with current solid waste standards. Please provide additional plan detail that show compliance with TSM 8-01.5.3E and F.

16) Per TSM 10-01.4.1D1a please call out a maximum 2% slope where any pedestrian way crosses a driveway.

If you have any comments questions or wish to discuss new information, please call or email me at 520-837-5007 or paul.baughman@tucsonaz.gov.

11/30/2016 AHINES2 TUCSON AIRPORT AUTHORITY Approved with conditions

Comments:

November 28, 2016

Thank you for the opportunity to comment on DP16-0200, Rendvzous Urban Flats; 1st Submittal, a development package application for an approximately 0.73 acre site located on the northwest corner of West Broadway Boulevard and South Stone Avenue. The proposed land use is mixed use; comprised of commercial and residential uses.

This site is within the Tucson International Airport avigation easement requirements and public disclosure area, FAA traffic pattern airspace, and FAA Part 77 airspace.

The applicant shall file Form 7460 with the FAA at least 45 days before constructions activities begin. Any cranes used for the project must also be identified with Form 7460. Please file Form 7460 at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.

The Tucson Airport Authority conditionally approves the subject request contingent upon the following condition of approval, as noted below. This condition should be identified in the general notes of the approved development plan.

Conditions of approval:

"That prior to the City's approval of any construction permit for a permanent building, the property owner shall record the Avigation Easement prior to the subdivision process which discloses the existence, and operational characteristics of the Tucson International Airport to future owners or tenants of the property and further conveys the right to the public to lawfully use the airspace above the property. The content of such documents shall be according to the form and instructions provided."

The current property owner or person authorized to sign on behalf of the current property owner shall complete, sign, and record the Avigation Easement. Once the Avigation Easement is recorded please send a copy of the recorded easement to Tucson Airport Authority by either email (send to srobidoux@flytucson.com) or to the mailing address provided below.

Scott Robidoux
Airport Planner
Tucson Airport Authority
7250 South Tucson Boulevard
Suite 300
Tucson, AZ 85756

For only the residential units (the commercial units are excluded) the developer shall provide the Airport Disclosure Statement form, at time of sale, to the new property owners with new unit purchases. The new property owner shall forward a signed copy of the Airport Disclosure Statement form to:

Scott Robidoux
 Airport Planner
 Tucson Airport Authority
 7250 South Tucson Boulevard
 Suite 300
 Tucson, AZ 85756

Please do not hesitate to contact me if you have any questions or concerns regarding this comment letter. I can be reached by email at srobidoux@flytucson.com or by telephone at 520-573-4811.

Respectfully,

Scott Robidoux,
 Airport Planner

cc file

11/30/2016 JENNIFER STEPHENS ADDRESSING Plan requires change prior to approval

Comments:

See attachments at PRO under Documents and Plans button in Documents folder.

DP16-0200 Rendvzous Urban Flats/1st Submittal is being Returned for Corrections by Pima County Addressing. Please see the sticky note comments in the attached pdf. There is also a comment summary for your use.

Please let me know if you have any questions.

Thank you,

Robin Freiman
 Addressing Specialist
 Pima County Development Services Department
 201 N Stone AV ? 1st Floor
 Tucson, AZ 85701
 (520) 724-7570

12/02/2016 STEVE SHIELDS ZONING Plan requires change prior to approval

Comments:

CDRC TRANSMITTAL

TO: Development Services Department
 Plans Coordination Office

FROM: Steve Shields
 Principal Planner

PROJECT: RendzVous urban flats
 Development Package (1st Review)
 DP16-0200

TRANSMITTAL DATE: December 05, 2016

DUE DATE: December 13, 2016

COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.

This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).

Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is November 13, 2017.

2-06.3.0 FORMAT REQUIREMENTS

1. 2-06.3.2 - All mapped data shall be drawn at an engineering scale having no more than 50 feet to the inch. That said all sheets need to be drawing at an engineering scale.

CONTENT REQUIREMENTS

2. 2-06.4.2.D - The page number and the total number of pages in the package (i.e., sheet xx of xx). Shall be provided in the lower right hand corner of every sheet. This should include all sheets in this set.

3. 2-06.4.3 - Provide the development package case number, DP16-0200, adjacent to the title block on all sheets.

4. 2-06.4.3 - Provide the IID case number, T16SA00442, adjacent to the title block on all sheets.

5. 2-06.4.3 - Remove the address from the title block and provide it adjacent to the title block on all sheets.

6. 2-06.4.4 - Remove the subdivision information from the location map as it is not required.

2-06.4.7 - General Notes

The following general notes are required. Additional notes specific to each plan are required where applicable.

2-06.4.7.A - Zoning and Land Use Notes

7. 2-06.4.7.A.6.a - Once the IID is approved ensure that general note 6 is completed along with listing any conditions of the IID.

8. 2-06.4.7.A.6 - As the site boarders on Major Streets and Routes provide a general note stating "THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R) & UDC ARTICLE 5.5 GATEWAY CORRIDOR ZONE (GCZ)."

2-06.4.7.A.8 - For development package documents provide:

2-06.4.8 - Existing Site Conditions

The following information shall be provided on the plan/plat drawing to indicate the existing conditions on site and within 50 feet of the site. On sites bounded by a street with a width of 50 feet or greater, the existing conditions across the street will be provided.

9. 2-06.4.8.A - As this site is made up of three (3) parcels, 117-12-103C, 117-12-098A & 117-12-099A, a lot combination is required. Provide a copy of the approved Pima County Combo Request form with you next submittal.

10. 2-06.4.8.C - Provide dimensioned width of paving, curbs, curb cuts, and sidewalks for all streets shown on this plan.

2-06.4.9 - Information on Proposed Development

The following information on the proposed project shall be shown on the drawing or added as notes.

11. 2-06.4.9.F - All existing zoning classifications on and adjacent to the project (including across any adjacent right-of-way) shall be indicated on the drawing with zoning boundaries clearly defined.

12. 2-06.4.9.H.5.a - The vehicle parking space calculation appears to be incorrect. The ratio shown for the residential use appears to from UDC Article 7.4.5.B.3.c but you have also stated that you are using the IID. UDC Article 5.12.8.E.2.d states Section 7.4.5.B, Downtown Parking District, does not apply. Clarify what overlay you are proposing to use and adjust the vehicle parking calculation accordingly. If you are using the IID the vehicle parking is based on UDC Table 7.4.4-1.

13. 2-06.4.9.H.5.d - The short term bicycle parking space calculation is not correct. Per UDC Table 7.4.8-1 RETAIL TRADE USE GROUP, Retail Trade Uses Less Than 50,000 sq. ft. GFA, the required number is based on 1 space per 5,000 sq. ft. GFA. Minimum requirement is 2 spaces. That said the minimum number required for the retail space is two (2). The total short term required should be 16.

14. 2-06.4.9.H.5.d - The long term bicycle parking space calculation is not correct. Per UDC Table 7.4.8-1 RETAIL TRADE USE GROUP, Retail Trade Uses Less Than 50,000 sq. ft. GFA, the required number is based on 1 space per 12,000 sq. ft. GFA. Minimum requirement is 2 spaces. That said the minimum number required for the retail space is two (2). The total long term required should be 73.

15. 2-06.4.9.H.5.d - Show the required short-term bicycle parking in the site plan and provide a detail that demonstrates how the requirements of 7.4.9.B.1, B.2 & .C are met.

16. 2-06.4.9.H.5.d - Show the required long-term bicycle parking in the site plan and provide a detail that demonstrates how the requirements of 7.4.9.B.1, B.2 & .D are met.

17. 2-06.4.9.O - The street perimeter yard setbacks shown under general note 19 does not appear to be correct. As this site boards on streets designated as arterial streets on the COT MS&R map this site should use developing area street perimeter yard setbacks. Based on the height of 92' listed under general note 19 the required street perimeter yard setbacks to Congress St., Broadway Bl., and Stone Av., would be 92', see UDC Article 6.4.5.C.2.

18. 2-06.4.9.Q - Provide the square footage and the height of each commercial structure and the specific use proposed within the footprint of the building(s).

If you have any questions about this transmittal, please Steve Shields, (520) 837-4956 or Steve.Shields@tucsonaz.gov

RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package

12/02/2016 TOM MARTINEZ AZ DEPT TRANSPORTATION Plan requires change prior to approval

Comments:

Regional Traffic Engineering has reviewed the submittal and recommends a discussion of any impacts to I-10 and Congress by this development be included in the traffic study. Note the development lies within a half mile from ADOT facilities. Thank you.

Tom Martinez

12/05/2016 SSHIELD1 ZONING HC Approved

Comments:

none

12/06/2016 GARY WITTWER TDOT Plan requires change prior to approval

Comments:

I have reviewed the subject plans and have the following comments:

1. 3/4 " rock near ped path is a hazard. Rock can get on walkway. Reduce size to 3/8".
2. The pavers in the general ped walk area does not meet the "Downtown Streetscape Policy" - Change to concrete.
3. I am unable to find the Ironsmith 4160 tree grate. Please submit a cut sheet.
4. Plants in the ROW must be on the approved plant list. Honeylocust is not on the list. Please consider following the City's approved tree planting plan. Heritage Oaks are the street tree along Stone.

12/07/2016 ANDREW CONNOR NPPO Not Required

Comments:

none

12/07/2016 ANDREW CONNOR LANDSCAPE Plan requires change prior to approval

Comments:

UNIFIED DEVELOPMENT CODE
 4.1 Identification and Descriptive Data
 A. All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.
 The landscape plan will contain the following identification in the lower right corner

of each sheet:

1. Legal description and address of site;
2. Cross-reference to:
 - a. Rezoning case;
 - b. Subdivision case;
 - c. Board of Adjustment case;
 - d. Design Development Option case;
 - e. Development Review Board (DRB) case; and/or,
 - f. Any other relevant case number for reviews or modifications that affect the site.

7.6.4. LANDSCAPE STANDARDS:

5.12.8. GENERAL IID ZONING OPTION DESIGN STANDARDS

Shade

a. Except as provided below, shade shall be provided for at least 50% of all sidewalks and pedestrian access paths as measured at 2:00 p.m. on June 21 when the sun is 82 degrees above the horizon. Shade may be provided by trees, arcades, canopies, or shade structures provided their location and design characteristics are compatible with the historic and design context of the street and the architectural integrity of the building. The use of plantings and shade structures in the City right-of-way is permitted to meet this standard with the approval of the Transportation Department. The shade provided by a building may serve to meet this standard. Provide shade plan.

b. Exception

The PDS Director may approve an IID Plan providing less than 50% shade where compliance is not feasible due to a project site's location and/or building orientation and the applicant has made a reasonable attempt to comply with this standard.

Use of the Public Right-of-Way

Non-required landscaping may be placed in the public right-of-way, if the following standards are met:

1. The landscaping is approved by the City Engineer or designee and complies with the City Engineer's standards on construction, irrigation, location, and plant type;
2. All vegetation complies with the standards of Section 7.6.4, Landscaping Standards; and,
3. The landscaping does not interfere with the use of the sidewalk.

Obtain permission for the use of ROW and add the appropriate notes on landscape plans.

Ensure that all Zoning and Engineering comments and concerns are addressed prior to landscape approval.

Additional comments may apply.

12/12/2016	KBROUIL1	FIRE	Plan requires change prior to approval
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Comments:

It appears that the roof may considered "an occupied roof". The height appears to be more than 75 feet from the lowest level of fire department access. This would require the building to be designed as a "High Rise". Please clarify if this is the intent.

12/12/2016	ZELIN CANCHOLA	TRAFFIC	Approved
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Comments:

none

12/13/2016	ROBERT SHERRY	PLUMBING-COMMERCIAL	This has been completed
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Comments:

none

12/14/2016	PATRICIA GEHLEN	ZONING-DECISION LETTER	Plan requires change prior to approval
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Comments:

This review has been completed and resubmittal is required. Please resubmit the following items:

- 1) Two rolled sets of the plans
- 2) All approved documents submitted previously
- 3) A disk containing all items submitted
- 4) All items requested by review staff
- 5) All items needed to approve these plans

FINAL STATUS of the Workflow

11/14/2016	ANY	REJECT SHELF	Received
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Comments:

none

Conditions:
none

Back

Help



Pima County Geographic Information Systems

Parcel 117-12-099A

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address	Legal description
117-12-099A 1SC PARTNERS LLC 6700 N ORACLE RD STE 504 TUCSON AZ 85704-7736	TUCSON IRR PTN LOTS 1 2 6 7 8 9 BLK 209 & PUEBLO CENTER REDEVELOPMENT PROJECT ARIZONA R-8 BLK 506 PTN LOT 2

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code	
20 S STONE AV	TUCSON	TUCSON	85701	<input type="button" value="ZIP+4 Lookup"/>

Information for this parcel

- For **Assessor parcel details**, copy and paste Parcel ID **11712099A** into the [Pima County Assessor's "Quick Search"](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- **Recorded Information** from the [Pima County Recorder's Office](#)
 - [Recorded Document](#) for Sequence Number 20002420529.
 - [Voter Precinct and Districts](#)
- [Subdivision Plat Map](#) for Book 3, Page 70.
- Pima County [Sanitary Sewer Connection Search](#) and [Connection Records Overview](#).
- **Permits** from [Pima County Development Services](#).
 - [Permit Database Search](#)
 - [Historical Permit Cards](#) - Prior to about 1998
- [Development Activity Records](#) (permit, plat, rezoning) from City of Tucson DSD [Property Research Online](#).
- [Section Information and Maps](#) for Township 14S, Range 13E, Section 13.
This parcel's GIS [overlay details Grids group](#) is a **more complete analysis** of sections when parcel boundaries extend outside of the listed section.
- **Floodplain Information:**
 - [Parcel Floodplain Information](#). See [FEMA Digital Flood Insurance Rate Maps \(DFIRMs\)](#) for more.
 - City of Tucson jurisdiction. See [City of Tucson Floodplain Information](#) or call (520) 791-5609.

- [ZoomTucson services](#) and [ZoomBiz incentives](#) near this parcel from the [City of Tucson](#). These are also useful for many parcels outside of the City of Tucson.

Over 100 parcel details from GIS overlay analysis

[Learn more](#) about parcel GIS overlay details. See a [list of all details](#).

Airports Associations Census Comprehensive Plan-Pima Prospers Development Floodplain-Defined by Pima County RFCD Floodplain-FEMA Governmental Districts and Areas	Grids Incentive Zones Jurisdictions Landscape Classifications Miscellaneous Other Regulatory Areas Public Safety Schools	Sonoran Desert Conservation Plan Transportation Utilities Zoning
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Parcel GIS geometry details

Accuracy is limited to that of the GIS parcel data. All data is subject to this [disclaimer](#).

Parcel centroid coordinates	Approximately 32.221227 degrees latitude, -110.971589 degrees longitude.
Parcel area	<p>This is only an estimate from GIS data. The Subdivision Plat Map may also specify parcel area. See Finding Parcel Areas.</p> <hr/> Approximately 0.47 acres or 20,369 square feet.

Zoom to maps of the parcel's area

 <ul style="list-style-type: none"> ◦ Main map  <ul style="list-style-type: none"> ◦ Main map ◦ Orthophoto map 	<p>Oblique Aerial Photos</p> <hr/> <p>You can change the view (N,S,E,W) or pan and zoom the oblique photo.</p> <p>If the parcel centroid is outside the oblique photo area, either a flat map is shown or the page remains empty.</p> <hr/>  <p>Pictometry Photos</p> <p>(Legacy Internet Explorer Viewer) Learn more</p> <hr/>  Bing Maps Photos If you don't see the oblique photo, pick "Bird's Eye".	 Area Map  Area Map  Area Map  Area Map
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Pima County Geographic Information Systems

Parcel 117-12-098A

Read the [Disclaimer](#). Information on this page is **unofficial**.

Mail name and address	Legal description
117-12-098A 1SC PARTNERS LLC 6700 N ORACLE RD STE 504 TUCSON AZ 85704-7736	TUCSON PTNS LOTS 1 & 2 BLK 209

Situs (property) address

[\(About situs addresses\)](#)

Street Address	Jurisdiction	Postal City	Zip Code
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There is no situs address information.

Information for this parcel

- For **Assessor parcel details**, copy and paste Parcel ID **11712098A** into the [Pima County Assessor's "Quick Search"](#). We cannot link directly. Also see [Assessor Record Maps](#).
- [Real Estate Property Tax Inquiry](#) and [Property Tax Statement](#) from the [Pima County Treasurers's Office](#).
- **Recorded Information** from the [Pima County Recorder's Office](#)
 - [Recorded Document](#) for Sequence Number 20002420529.
 - **Voter Precinct and Districts** are not available because there is no parcel situs address information.
- [Subdivision Plat Map](#) for Book 3, Page 70.
- Pima County [Sanitary Sewer Connection Search](#) and [Connection Records Overview](#).
- **Permits** from [Pima County Development Services](#).
 - [Permit Database Search](#)
 - [Historical Permit Cards](#) - Prior to about 1998
- City of Tucson Development Activity Records are not available because there is no parcel situs address information.
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- **Floodplain Information:**
 - [Parcel Floodplain Information](#). See [FEMA Digital Flood Insurance Rate Maps \(DFIRMs\)](#) for more.
 - City of Tucson jurisdiction. See [City of Tucson Floodplain Information](#) or call (520) 791-5609.

- ZoomTucson is not available because there is no parcel situs address information.

Over 100 parcel details from GIS overlay analysis

[Learn more](#) about parcel GIS overlay details. See a [list of all details](#).

Airports Associations Census Comprehensive Plan-Pima Prospers Development Floodplain-Defined by Pima County RFCD Floodplain-FEMA Governmental Districts and Areas	Grids Incentive Zones Jurisdictions Landscape Classifications Miscellaneous Other Regulatory Areas Public Safety Schools	Sonoran Desert Conservation Plan Transportation Utilities Zoning
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Parcel GIS geometry details

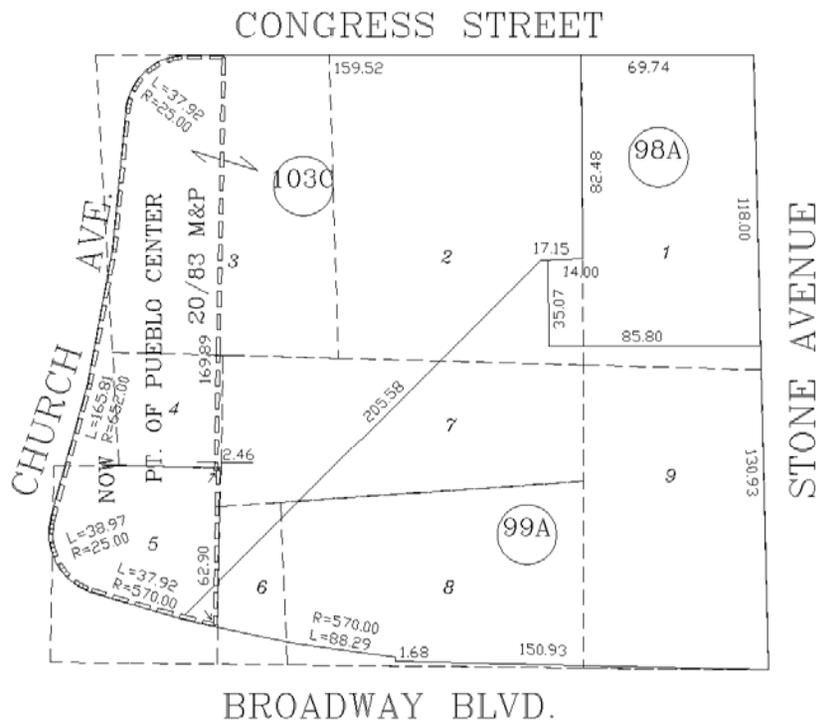
Accuracy is limited to that of the GIS parcel data. All data is subject to this [disclaimer](#).

Parcel centroid coordinates	Approximately 32.221583 degrees latitude, -110.971455 degrees longitude.
Parcel area	<p>This is only an estimate from GIS data. The Subdivision Plat Map may also specify parcel area. See Finding Parcel Areas.</p> <hr/> Approximately 0.23 acres or 9,902 square feet.

Zoom to maps of the parcel's area

<p>PimaMaps</p> <ul style="list-style-type: none"> o Main map <p>Autodesk MapGuide</p> <ul style="list-style-type: none"> o Main map o Orthophoto map 	<p>Oblique Aerial Photos</p> <p>You can change the view (N,S,E,W) or pan and zoom the oblique photo.</p> <p>If the parcel centroid is outside the oblique photo area, either a flat map is shown or the page remains empty.</p> <p> Pictometry Photos</p> <p>(Legacy Internet Explorer Viewer) Learn more</p> <hr/> <p> Bing Maps Photos</p> <p>If you don't see the oblique photo, pick "Bird's Eye".</p>	<p> Area Map</p> <p> Area Map</p> <p> Area Map</p> <p> Area Map</p>
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ASSESSOR'S RECORD MAP
 117-12 BLOCK 209, CITY OF TUCSON



SEE BOOK 03, PAGE 70 M&P
 1990-1

S12&S13,T14S,R13E

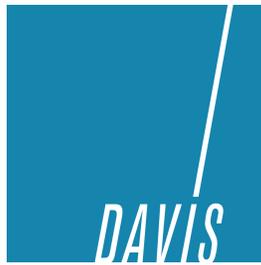
\\ARM\MP03\03070209- 08/05/03



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



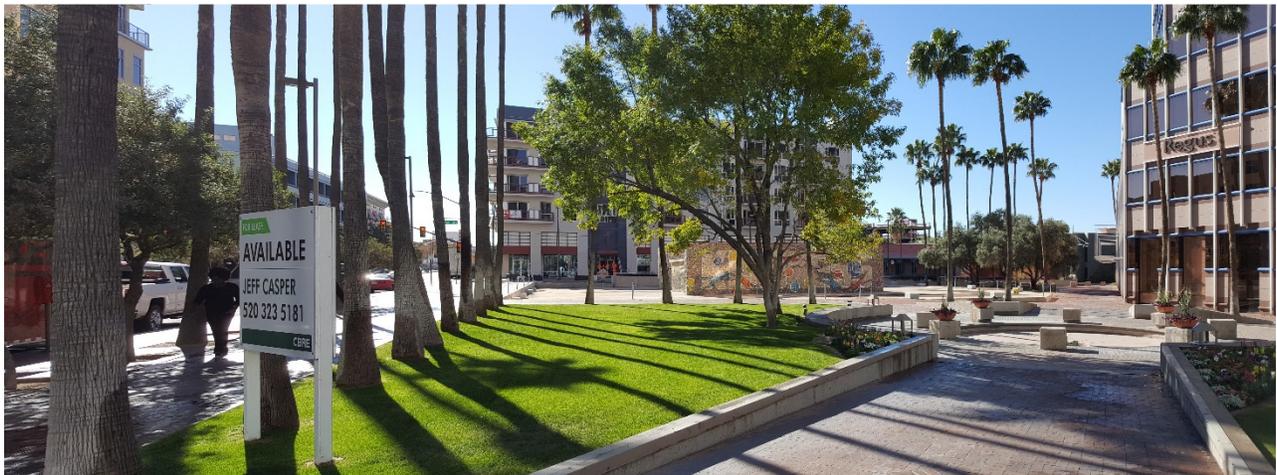
NORTHEAST LOOKING SWHVEST

This picture shows existing conditions at the intersection of Stone Avenue and Congress Street looking southwest.



NORTHEAST LOOKING INTO THE SITE

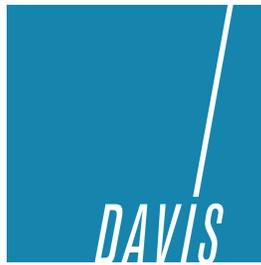
This picture shows existing conditions at the northeast corner of the project site looking southwest.



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



SOUTHEAST LOOKING NORTHWEST

This picture shows existing conditions at the intersection of Stone Avenue and Broadway Boulevard looking northwest.



SOUTHEAST LOOKING INTO THE SITE

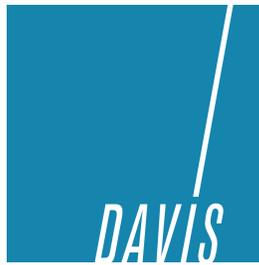
This picture shows existing conditions at the northeast corner of the project site looking southwest.



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



SOUTHWEST LOOKING NORTHEAST

This picture shows existing conditions at the intersection of Church Avenue and Broadway Boulevard looking northwest.



SOUTHWEST LOOKING INTO THE SITE

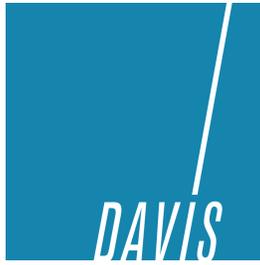
This picture shows existing conditions at the northeast corner of the project site looking southwest.



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



ARCHITECTURAL PRECEDENT

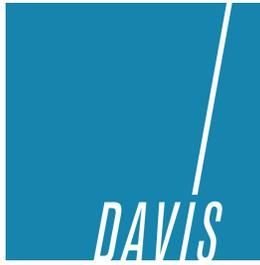
One East Tucson - 1 East Broadway



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



ARCHITECTURAL PRECEDENT

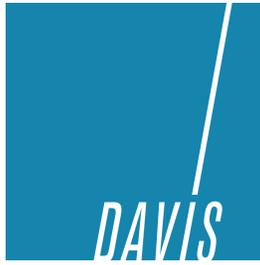
One West Broadway - 1 West Broadway



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



ARCHITECTURAL PRECEDENT

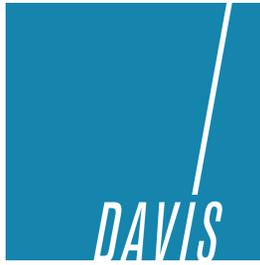
One South Church - 1 South Church



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148

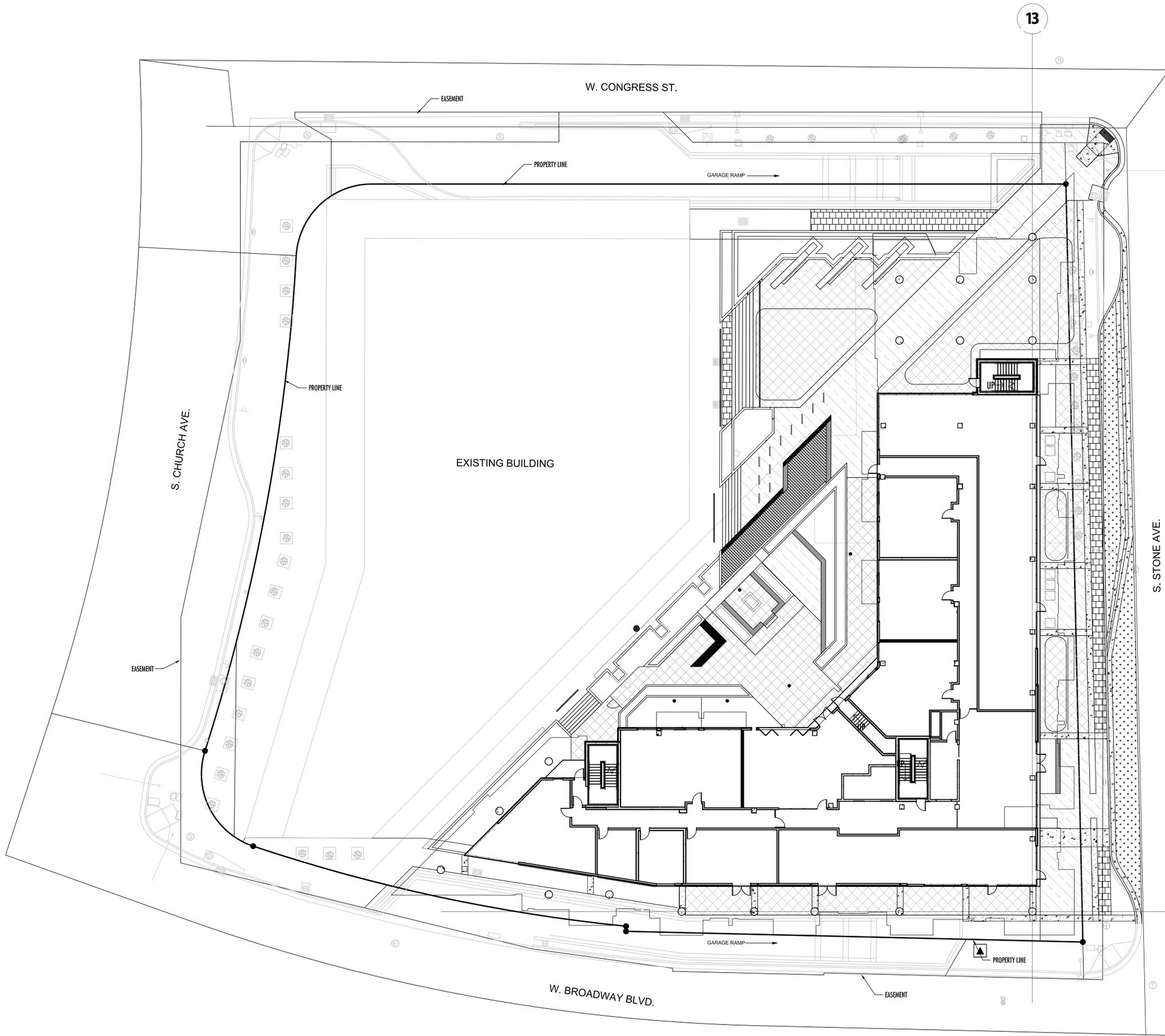


ARCHITECTURAL PRECEDENT

UniSource – Tucson Electric Power - 88 East Broadway



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0 5' 15' 30'
SCALE: 1/16"=1'-0"

01 SITE

1/16"=1'-0"

PROJECT INFO:

THE EXISTING USE IS VACANT. THE PROPOSED USE FOR THE DEVELOPMENT IS MIXED USE: GENERAL MERCHANDISE - EXCLUDING LARGE RETAIL ESTABLISHMENT AND MULTIFAMILY DEVELOPMENT.

THE GROSS SITE AREA:
33,146.49 SQUARE FEET, OR 0.76 ACRES.

TOTAL BUILDING AREA:
120,544 GROSS SF (EXCLUDING BALCONIES 8,730)
129,994 GROSS SF (INCLUDING OF BALCONIES)
RESIDENTIAL RENTABLE UNITS:
100 TOTAL (5 FLOOR 1 AND 95 FLOORS 2-6)

THE PROPOSED BUILDING HEIGHT = 92' TO TOP OF MECHANICAL PENTHOUSE.

TOTAL PARKING PROVIDED ON-SITE IS 125 SPACES. PROPOSED DEVELOPMENT SUBJECT TO THE DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID) - UDC SECTION 5.12.

NOTE: SOLID WASTE COLLECTION IS PROVIDED INTO PARKING GARAGE LEVEL BELOW. ABOVE GRADE STORAGE WILL NOT BE PROVIDED.

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, AZ 85701
ATTN: SCOTT RATHBUN
EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
BLOCK 209 & PUEBLO CENTER
REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
LOT 2, BEING A PORTION OF
SECTIONS 12 & 13, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> PRZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |

DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DAVIS
www.thedavisexperience.com

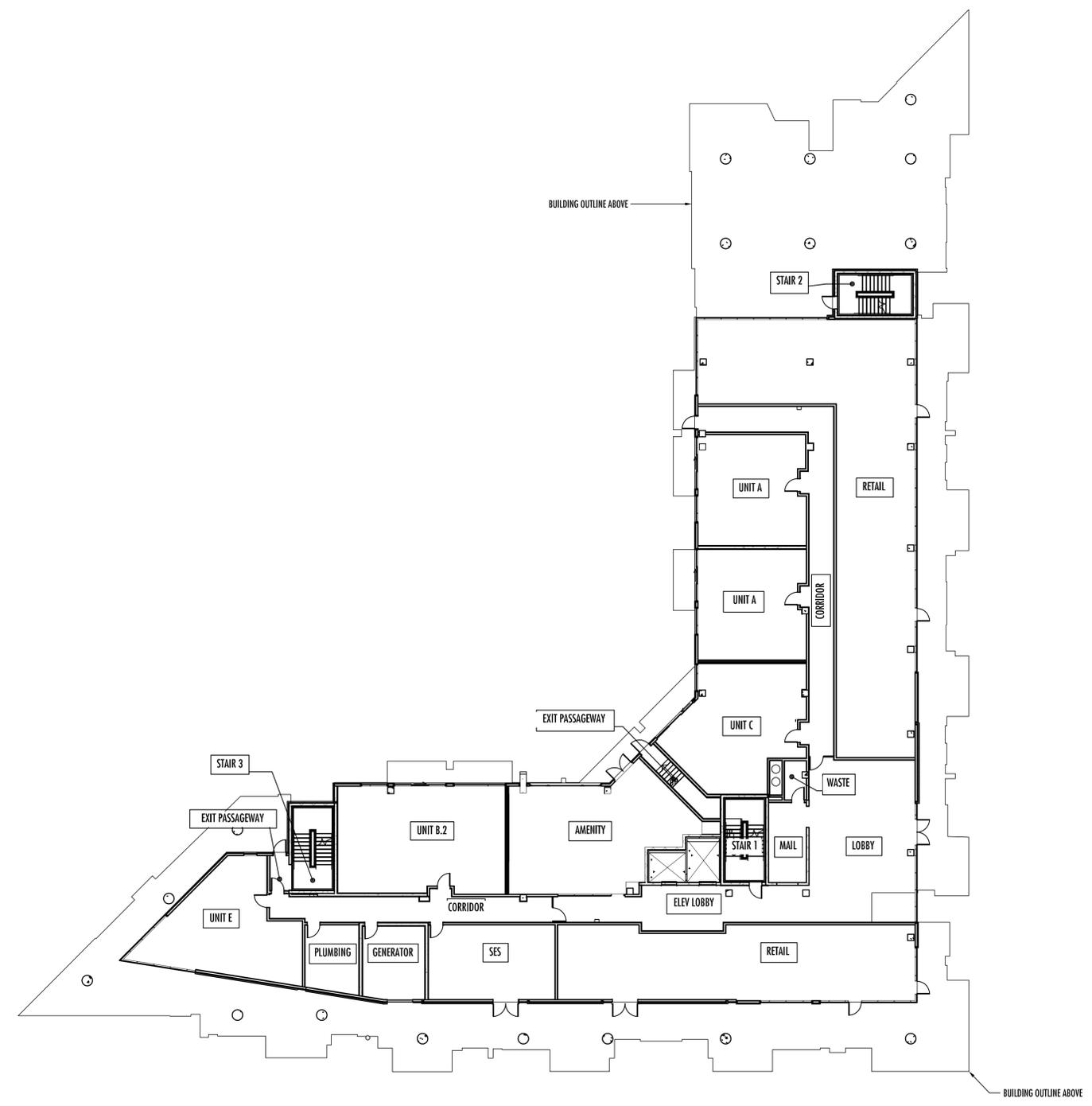
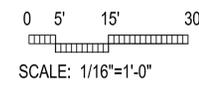
RendzVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

DEVELOPMENT	PLANNING DEPT. APPROVAL
DATE ISSUED 9.DEC.16	DRAWN BY ES
CHECKED BY BY	PROJECT NO. 16118.001
CADD FILE	

PP100
PLAN
OVERALL
SITE
SCALE: 1/16" = 1'-0"

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01 PLAN

1/16"=1'-0"

PROJECT INFO:

BUILDING AREAS:

FLOOR 1:

- 14,719 GROSS SF
- 5,724 SF LOBBY, CORE, MECHANICAL
- 1,844 SF AMENITY
- 2,748 SF RENTABLE RETAIL
- 4,403 SF RENTABLE UNITS
- 5 UNITS
- UNIT A: 1BR - 2
- UNIT A.1: 1BR - 0
- UNIT A.2: 1BR - 0
- UNIT B: 2BR - 0
- UNIT B.1: 2BR - 0
- UNIT B.2: 2BR - 1
- UNIT C: 1BR - 1
- UNIT D: 1BR - 0
- UNIT E: 1BR - 1
- UNIT F: 2BR - 0
- UNIT G: 2BR - 0
- UNIT H: 2BR - 0

TOTAL BUILDING:

120,544 GROSS SF (EXCLUDING BALCONY 9,450) 129,994 GSF

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
 ONE SOUTH CHURCH AVENUE,
 SUITE 2030
 TUCSON, AZ 85701
 ATTN: SCOTT RATHBUN
 EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
 BLOCK 209 & PUEBLO CENTER
 REDEVELOPMENT PROJECT
 ARIZONA R-8 BLOCK 506 PTN
 LOT 2, BEING A PORTION OF
 SECTIONS 12 & 13, T. 14 S., R. 13 E.,
 G.&S.R.M., CITY OF TUCSON, PIMA
 COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> PRZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |

DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE



RendzVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

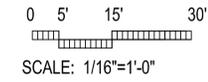
PRELIMINARY
NOT FOR
CONSTRUCTION

- DEVELOPMENT
- PLANNING DEPT. APPROVAL

DATE ISSUED **9.DEC.16**
 DRAWN BY **ES**
 CHECKED BY **BY**
 PROJECT NO. **16118.001**
 CADD FILE _____

PP201
 PLAN
 FIRST
 FLOOR
 SCALE: 1/16" = 1'-0"

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PROJECT INFO:

BUILDING AREAS:

FLOORS 2-6:

105, 825 GROSS SF (EXCLUDING BALCONY)

21,165 GROSS SF (PER LEVEL, EXCLUDING BALCONY)

17,129 SF RENTABLE UNITS (85,645 TOTAL)

- 95 UNITS (19 PER FLOOR)

UNIT A: 1BR (7 PER FLOOR) - 35

UNIT A.1: 1BR (1 PER FLOOR) - 5

UNIT A.2: 1BR (1 PER FLOOR) - 5

UNIT B: 2BR (3 PER FLOOR) - 15

UNIT B.1: 2BR (2 PER FLOOR) - 10

UNIT B.2: 2BR - 0

UNIT C: 1BR (1 PER FLOOR) - 5

UNIT D: 1BR (1 PER FLOOR) - 5

UNIT E: 1BR - 0

UNIT F: 2BR (1 PER FLOOR) - 5

UNIT G: 2BR (1 PER FLOOR) - 5

UNIT H: 2BR (1 PER FLOOR) - 5

3,977 SF CORE/ CIRCULATION

TOTAL BUILDING:

120, 544 GROSS SF (EXCLUDING BALCONY 9,450) 129,994 GSF

OWNER/ DEVELOPER:

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 ONE SOUTH CHURCH AVENUE,
 SUITE 2030
 TUCSON, AZ 85701
 ATTN: SCOTT RATHBUN
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LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
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 REDEVELOPMENT PROJECT
 ARIZONA R-8 BLOCK 506 PTN
 LOT 2, BEING A PORTION OF
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 G.&S.R.M., CITY OF TUCSON, PIMA
 COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- SCZ
- PRZ
- HDZ
- WASH
- Other

DVPKG MGR	_____	Date	_____
Zoning	_____	Date	_____
Engineering	_____	Date	_____
H/C Site	_____	Date	_____
Fire	_____	Date	_____
Landscape	_____	Date	_____
PL/ME	_____	Date	_____
Revision #	_____		<input type="checkbox"/> per letter in SIRE

**RendzVous urban flats
 Development Package**
 20 SOUTH STONE AVENUE
 TUCSON, ARIZONA 85701

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

- DEVELOPMENT
- PLANNING DEPT. APPROVAL

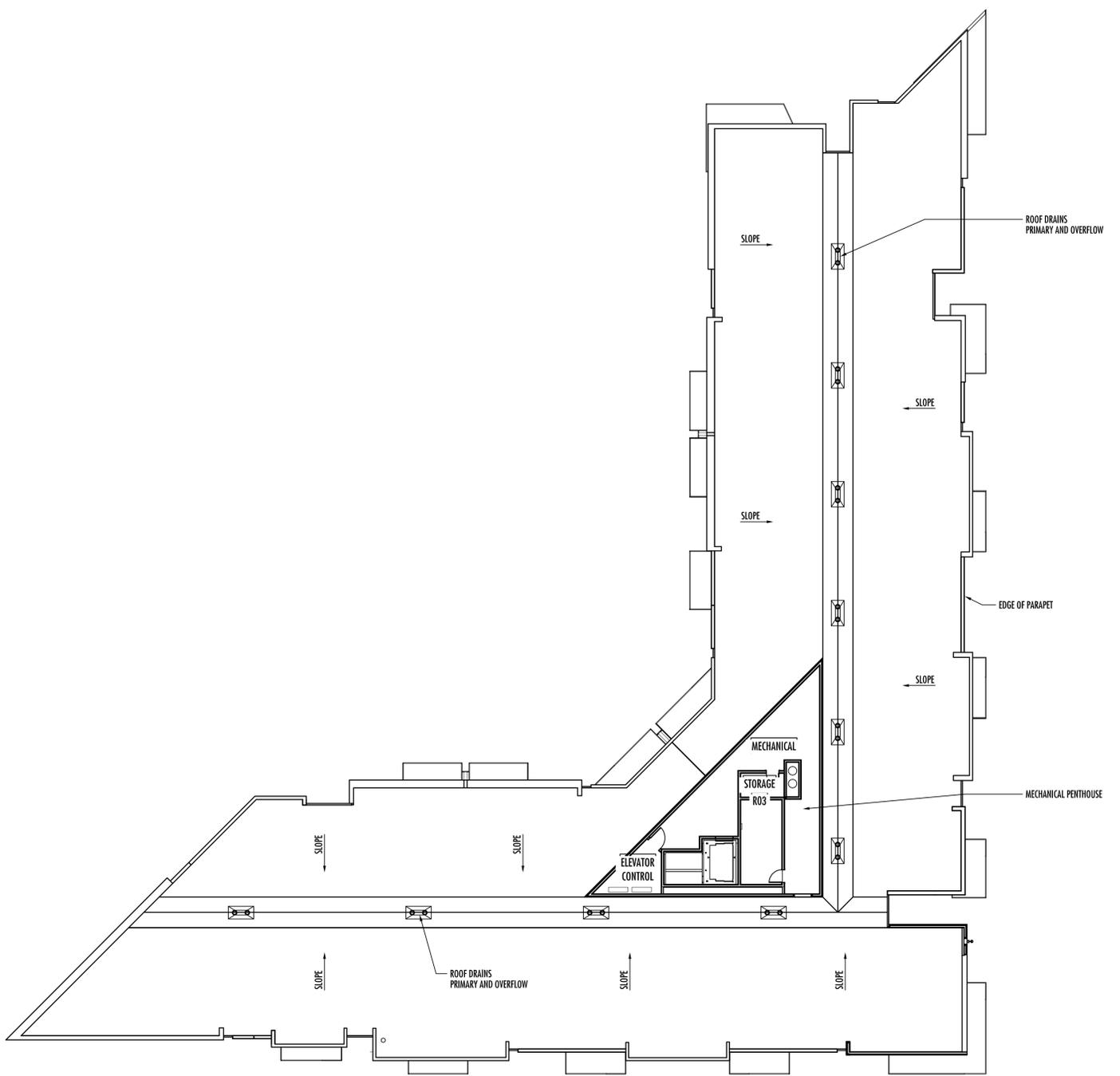
DATE ISSUED **9.DEC.16**
 DRAWN BY **ES**
 CHECKED BY **BY**
 PROJECT NO. **16118.001**
 CADD FILE _____

PP202
 PLAN
 2ND - 6TH
 FLOOR
 SCALE: 1/16" = 1'-0"

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0 5' 15' 30'
SCALE: 1/16"=1'-0"



01 PLAN

1/16"=1'-0"

PROJECT INFO:



www.thedavisexperience.com

RendzVous urban flats
Development Package

20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

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TUCSON, AZ 85701
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COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> PRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT
 PLANNING DEPT.
APPROVAL

DATE ISSUED 9.DEC.16
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PROJECT NO. 16118.001
CADD FILE

PP203
PLAN
ROOF

SCALE: 1/16" = 1'-0"

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02 WEST



01 EAST

PROJECT INFO:



RendezVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, AZ 85701
ATTN: SCOTT RATHBUN
EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
BLOCK 209 & PUEBLO CENTER
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ARIZONA R-8 BLOCK 506 PTN
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G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> PZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

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PP301
EXTERIOR
ELEVATIONS

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01 VIEW FROM CORNER OF BROADWAY AND STONE



01 VIEW FROM CONGRESS SOUTH FROM THE FOX THEATER

PROJECT INFO:



RendzVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, AZ 85701
ATTN: SCOTT RATHBUN
EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
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REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
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G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

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 PROJECT NO. 16118.001
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DEVELOPMENT
 PLANNING DEPT. APPROVAL

PP400
EXTERIOR
IMAGERY

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01 VIEW OF OVERALL PLAZA



01 VIEW FROM STONE

PROJECT INFO:

DAVIS
www.thedavisexperience.com

RendzVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, AZ 85701
ATTN: SCOTT RATHBUN
EMAIL: scott@aerie-development.com

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G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

	DEVELOPMENT PACKAGE PDS APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT
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APPROVAL

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CADD FILE

PP401
EXTERIOR
IMAGERY



01 VIEW FROM STONE



01 VIEW FROM CORNER OF CONGRESS AND STONE

PROJECT INFO:



RendzVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
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COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
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 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

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DEVELOPMENT
 PLANNING DEPT. APPROVAL

PP402
EXTERIOR
IMAGERY

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01 VIEW FROM STONE



01 VIEW FROM STONE OF PRIMARY ENTRY

PROJECT INFO:



RendezVous urban flats
Development Package

20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701

PRELIMINARY
NOT FOR
CONSTRUCTION

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, AZ 85701
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EMAIL: scott@aerie-development.com

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COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- SCZ
- PRZ
- HDZ
- WASH
- Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
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 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

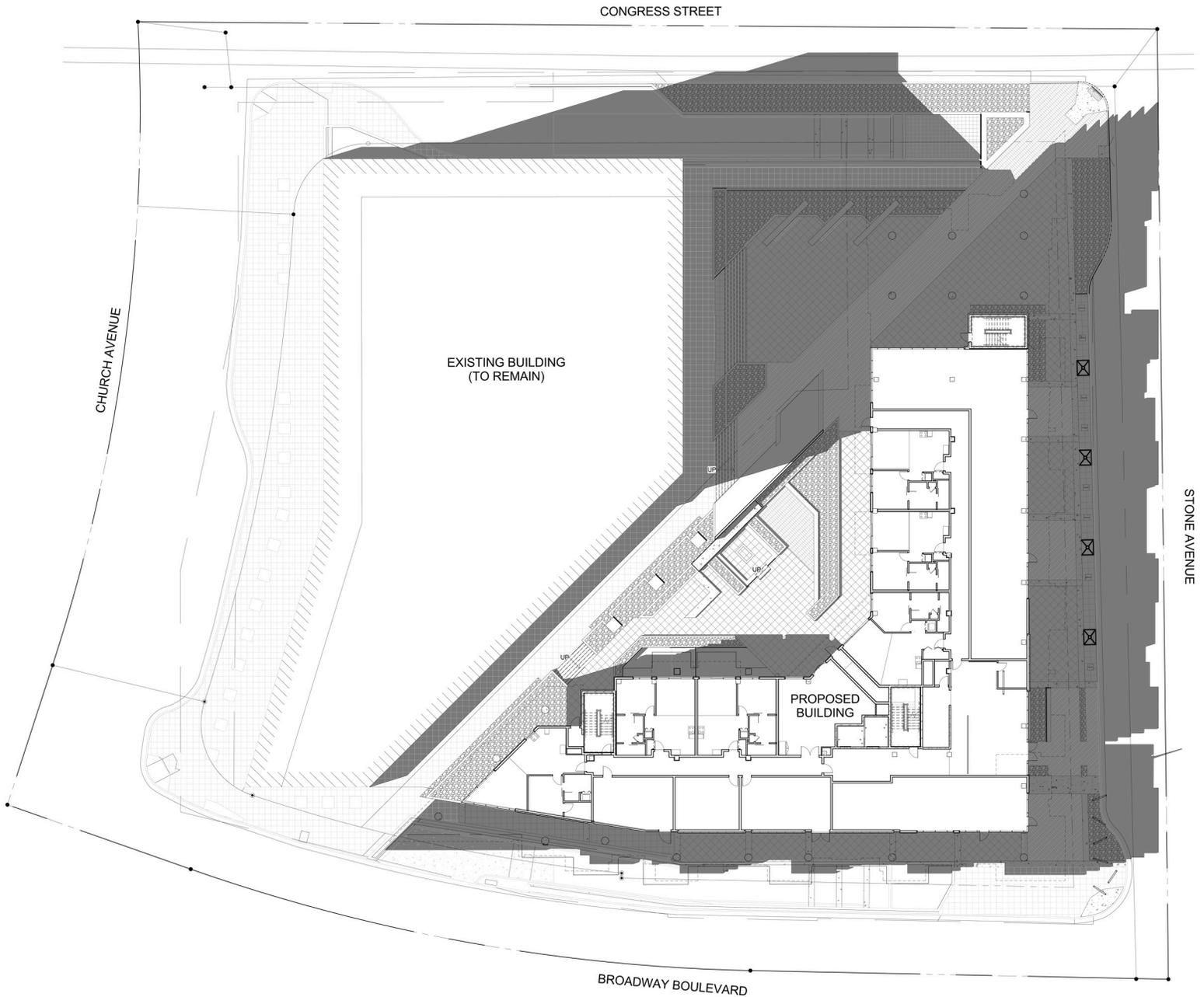


- DEVELOPMENT
- PLANNING DEPT. APPROVAL

DATE ISSUED 9.DEC.16
 DRAWN BY ES
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 PROJECT NO. 16118.001
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PP403
EXTERIOR
IMAGERY

APPENDIX #2 - SHADE STUDY EXHIBIT



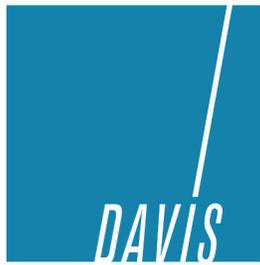
Shading Calcs: (Shadow calculated using BIM model based on June 21st at 2:00 PM)

Total Area -	= 12,902 SF
Total Shaded Area -	= 10,161 SF
Percent Shaded -	= 78.8%

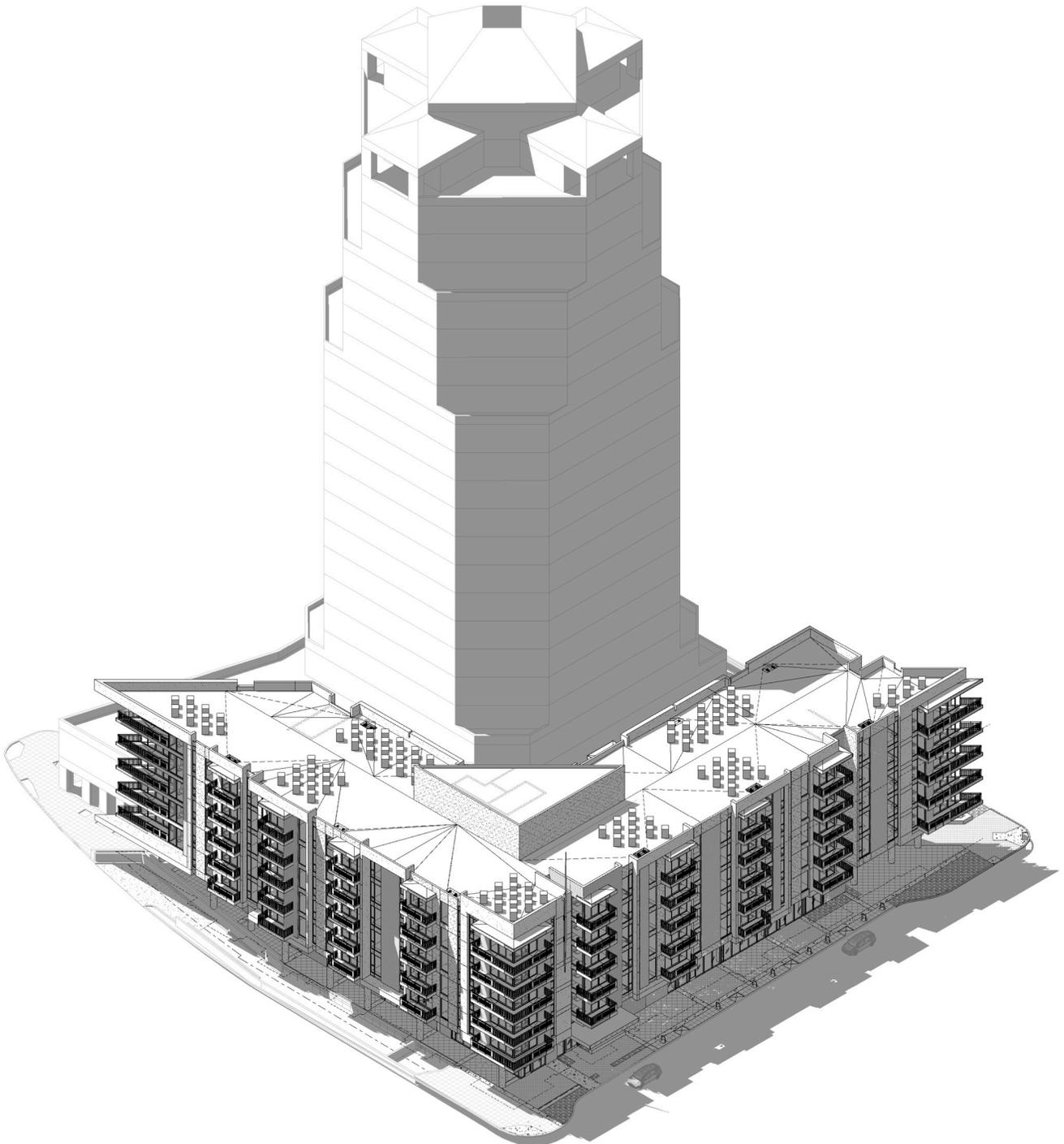
swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



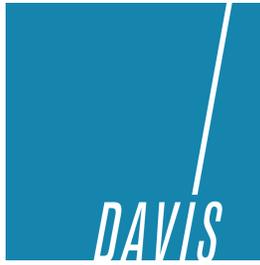
APPENDIX #2 - SHADE STUDY EXHIBIT



swaim

ASSOCIATES LTD
ARCHITECTS AIA

7350 E SPEEDWAY 210
TUCSON, ARIZONA 85710
(520) 326-3700 FAX 326-1148



DEVELOPMENT PACKAGE SUBMITTAL #1

DEVELOPMENT PACKAGE for RENDEZVOUS URBAN FLATS

general notes

- THE GROSS SITE AND BUILDING AREA IS **33,146** SQUARE FEET, OR 0.731 ACRES.
- EXISTING USE IS **PARKING GARAGE BELOW, PLAZA ABOVE**. NEW USES ARE SUBJECT TO SPECIFIC STANDARDS OF TABLE 4.8-4: PERMITTED USES - COMMERCIAL AND MIXED USE ZONES, C-3, & OCR-2, AND SECTION 4.9.9.B.1 OF THE UNIFIED DEVELOPMENT CODE (UDC). THE PROPOSED DEVELOPMENT IS MIXED USE: A COMBINATION OF **PARKING, MULTIFAMILY DWELLING, AND GENERAL MERCHANDISE SALES**.
- DEVELOPMENT INCLUDES 101 RESIDENTIAL APARTMENT UNITS (TOTAL).
- USE AREA BREAKDOWN:
 EXISTING PARKING (3 LEVELS BELOW GRADE) = 201,121 SF
 GENERAL MERCHANDISE/RETAIL = 2,739 SF
 MULTIFAMILY DWELLING = 118,773 SF
 TOTAL NEW DEVELOPMENT GFA = 121,512 SF.
- THE DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **33,146** SF.
- THIS PROJECT IS SUBJECT TO THE INFILL INCENTIVE DISTRICT (IID) OVERLAY ZONING. THE PROJECT MEETS THE REQUIREMENTS OF THE IID AS APPROVED BY THE CITY OF TUCSON AS IID CASE #XXXXXXXX (IID-XX-XX) ON XXXX XX, 2017. SEE THIS SHEET FOR APPLICABLE IID NOTES.
- DRAINAGE WILL REMAIN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES ON ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE UDC TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS ARE PRIVATE AND EXISTING WILL BE MAINTAINED.
- ANY WASTEWATER DISCHARGE INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- ACCESSIBLE STANDARDS SHALL MEET 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1
 - PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7' ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
 - THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- ALL SIGNS REQUIRED A SEPARATE SIGN PERMIT. NO FREESTANDING MOUNTED SIGNS ARE PROPOSED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- A PROPERTY MANAGEMENT COMPANY WILL BE RESPONSIBLE FOR THE MANAGEMENT AND MAINTENANCE OF THE SOLID WASTE COLLECTION SERVICES AND STORAGE AREA(S) FOR ALL DEVELOPMENT/BUSINESS OCCUPANTS. TRASH PICKUP ALREADY EXISTS WITHIN THE PARKING GARAGE
- WASTE STREAM CALCULATIONS: PER TSM 8-01.8.0 THIS SITE PRODUCES APPROX:
 312 TONS OF SOLID WASTE PER YEAR FOR THE EXISTING BUILDING
 155 TONS OF SOLID WASTE PER YEAR FOR THE NEW DEVELOPMENT
 EQUALS 5,987 GALLONS PER WEEK. A MINIMUM OF (4) EIGHT CUBIC-YARD CONTAINERS WILL BE REQUIRED TO BE PICKED UP ON-SITE ONCE PER WEEK.

 THE EXISTING BUILDING PRESENTLY HAS A 25 CUBIC YARD COMPACTOR WHICH IS LOCATED ON THE P1 PARKING LEVEL. SEE ENCLOSED JOINT USE AGREEMENT (SEE IID GENERAL NOTES THIS SHEET)
- EXISTING PARKING GARAGE WILL NOT BE MODIFIED WITH THE NEW DEVELOPMENT AND IS DESIGNED TO MEET THE REQUIREMENTS OF THE LAND USE CODE (LUC) AS WAS REQUIRED IN 1985. ONLY THOSE PARKING SPACES WHICH MEET THE MINIMUM STANDARDS OF THE LUC ARE INCLUDED FOR THESE CALCULATIONS.
 - PARKING REQUIRED FOR THE EXISTING OFFICE AND NEW DEVELOPMENT:
 MOTOR VEHICLE PER SEC. 7.4.4.B.3:
 EXISTING OFFICE =
 TOTAL REQUIRED PER ORIGINAL DRAWINGS= 275 SPACES
 (UNIFORM BUILDING CODE, 1982 EDITION - 21% REDUCTION PER SEC. 23-620(4))

 GENERAL MERCHANDISE/RETAIL = 1 SPACE PER 300 GSF;
 TOTAL REQUIRED = (2,739/300) = 10 SPACES

 RESIDENTIAL = 1 SPACE PER UNIT;
 TOTAL REQUIRED - 101 UNITS = **101 SPACES**

 TOTAL SPACES REQUIRED = 386 SPACES
 TOTAL SPACES PROVIDED = 416 SPACES

 TOTAL ACCESSIBLE SPACES REQUIRED = 9 SPACES
 TOTAL ACCESSIBLE SPACES PROVIDED = 9 SPACES

general notes (cont.)

- BICYCLE PARKING PER SEC. 7.4.8.B:
 SHORT TERM:
 1 SPACES PER 5,000 SF OF RETAIL (2 MIN.) + 0.1 PER BEDROOM (2 MIN.)
 TOTAL REQUIRED = (2739/5000)+(0.1x141) = 15 SPACES
 TOTAL PROVIDED = 15 SPACES

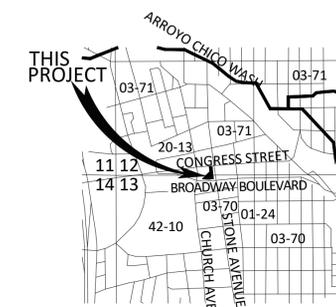
 LONG TERM:
 1 SPACE PER 12,000 SF OF RETAIL GFA (2 MIN.)+ 0.5 PER BEDROOM (2 MIN.)
 TOTAL REQUIRED= (2739/12000)+(0.5x141) = 71 SPACES
 SPACES PROVIDED = 71 SPACES

 NOTE: LONG-TERM SPACES ARE PROVIDED IN EACH RESIDENTIAL UNIT AS WELL AS STORAGE UNITS WITHIN PARKING GARAGE
 - LOADING ZONES REQUIRED = 0 SPACES (NEW DEVELOPMENT)
 EXISTING LOADING ZONES PROVIDED = 4 SPACES
- EXISTING ZONING IS OCR-2 AND C-3. NO ZONING CHANGE REQUESTED FOR THIS PROJECT
- U.D.C. DIMENSIONAL STANDARDS:
 (NON-RESIDENTIAL USES OCR-2 & C-3 ZONES (MULTI FAMILY CONSIDERED NON-RESIDENTIAL))
- MAXIMUM BUILDING HEIGHT= 75' FOR C-3 AND 300' FOR OCR-2
 ACTUAL BUILDING HEIGHT= 92'-0" TOP OF MECHANICAL WALLS
- PERIMETER YARDS:
- | | REQUIRED | PROVIDED |
|-------|----------|----------|
| NORTH | 118.5* | 0' MIN. |
| EAST | 118.5* | 0' MIN. |
| SOUTH | 118.5* | 0' MIN. |
| WEST | 0* | 0' MIN. |
- *ALL REQUIRED MINIMUM BUILDING SETBACKS SHALL BE REDUCED TO 0' (SEE IID GENERAL NOTES THIS SHEET)
- PLAZAS AND OPEN SPACE REQUIRED = 5% OF GROSS FLOOR AREA
 REQUIRED 0.05x121,512 = 6,076 SF
 PROVIDED (INCL. PEDESTRIAN R.O.W.) = 13,157 SF
- ANY WORK WITHIN WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT (PIA). CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
 - THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.

infill incentive district general notes

PURSUANT TO SECTION 5.12.10.C (DOWNTOWN CORE SUBDISTRICT-EXEMPTIONS), THE APPLICANT REQUESTS THE FOLLOWING:

- THIS PROJECT IS SEEKING RELIEF FROM MS&R SETBACKS OUTLINED IN SECTION 5.4;
 - JUSTIFICATION: 5.12.10.C.1 - RELIEF FROM THE MS&R SETBACKS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS, AND AS SUCH, THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE REQUIREMENTS OF THE MAJOR MS&R SETBACKS.
- THIS PROJECT IS SEEKING RELIEF FROM MINIMUM PERIMETER YARD STANDARDS OUTLINED IN SECTION 6.3;
 - JUSTIFICATION: 5.12.10.C.2 - RELIEF FROM THE MINIMUM PERIMETER YARD STANDARD IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE MINIMUM PERIMETER YARD
- THIS PROJECT IS SEEKING RELIEF FROM MAXIMUM LOT COVERAGE STANDARDS OUTLINED IN SECTION 6.3;
 - JUSTIFICATION: 5.12.10.C.3 - RELIEF FROM MAXIMUM LOT COVERAGE STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE MAXIMUM LOT COVERAGE
- THIS PROJECT IS SEEKING RELIEF FROM LANDSCAPING AND SCREENING STANDARDS OUTLINED IN SECTION 7.6;
 - JUSTIFICATION: 5.12.10.C.7 - RELIEF FROM LANDSCAPING AND SCREENING STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE LANDSCAPE AND SCREENING STANDARDS.
- THIS PROJECT IS SEEKING RELIEF FROM NATIVE PLANT PRESERVATION STANDARDS OUTLINED IN SECTION 7.7;
 - JUSTIFICATION: 5.12.10.C.7 - RELIEF FROM NATIVE PLANT PRESERVATION STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE NATIVE PLANT PRESERVATION STANDARDS.
- THIS PROJECT IS SEEKING USE OF MULTI-ZONE PARCEL STANDARDS;
 - JUSTIFICATION: 5.12.8.F - USE OF MULTI-ZONE PARCEL IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND THE PROPOSED DEVELOPMENT SEEKS USE OF MULTI-ZONE PARCEL STANDARDS.
- THIS PROJECT IS SEEKING MODIFICATION FROM SOLID WASTE COLLECTION STANDARDS: OUTLINED IN SECTION 8-01.4.0;
 - JUSTIFICATION: 5.12.10.0.Z - MODIFICATIONS TO THE SOLID WASTE COLLECTION STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND THE PROPOSED DEVELOPMENT SEEKS MODIFICATIONS TO THE SOLID WASTE COLLECTION STANDARDS TO ALLOW COMPACTOR USE WITH A JOINT USE AGREEMENT BETWEEN PROPERTY OWNERS.



IN SECTIONS 12 & 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

Location map

3" = 1 MILE

swaim
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 ARCHITECTS AIA

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GENERAL NOTES:

SHEET INDEX:

C001	COVER PAGE
CIVIL	
C101	GENERAL NOTES
C200	DEMOLITION PLAN
C300	HORIZONTAL CONTROL
C400	SITE PLAN
C500	GRADING PLAN
C501	DETAIL GRADING
C600	UTILITY PLAN
C700	SITE DETAILS

LANDSCAPE

L100	LANDSCAPE LAYOUT
L200	PLANTING PLAN
L300	IRRIGATION PLAN
L400	LANDSCAPE DETAILS
L401	LANDSCAPE DETAILS

ARCHITECTURAL

PP001	EXISTING PARKING LEVEL P1
PP002	EXISTING PARKING LEVEL P2
PP003	EXISTING PARKING LEVEL P3
PP100	PLAN OVERAL SITE
PP201	PLAN FIRST FLOOR
PP202	PLAN 2ND - 6TH FLOOR
PP203	PLAN ROOF
PP300	EXTERIOR ELEVATIONS
PP301	EXTERIOR ELEVATIONS
PP400	EXTERIOR IMAGERY
PP401	EXTERIOR IMAGERY
PP402	EXTERIOR IMAGERY
PP103	EXTERIOR IMAGERY

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CIVIL ENGINEER

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 PHONE: (520) 882-8696
 CONTACT: WILLIAM GASQUE, PE

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
 ONE SOUTH CHURCH AVENUE,
 SUITE 2030
 TUCSON, AZ 85701
 ATTN: SCOTT RATHBUN
 EMAIL: scott@erie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
 BLOCK 209 & PUEBLO CENTER
 REDEVELOPMENT PROJECT
 ARIZONA R-8 BLOCK 506 PTN
 LOT 2, BEING A PORTION OF
 SECTIONS 12 & 13, T. 14 S., R. 13
 E., G.&S.R.M., CITY OF TUCSON,
 PIMA COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscaping _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

Rendezvous urban flats
 Development Package
 20 SOUTH STONE AVENUE
 TUCSON, ARIZONA 85701



DEVELOPMENT

PLANNING DEPT. APPROVAL

DATE ISSUED **8.NOV.16**

DRAWN BY **JK**

CHECKED BY **MC**

PROJECT NO **16118.001**

CADD FILE

C001
 GENERAL NOTES

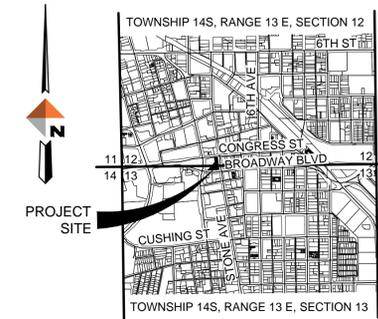
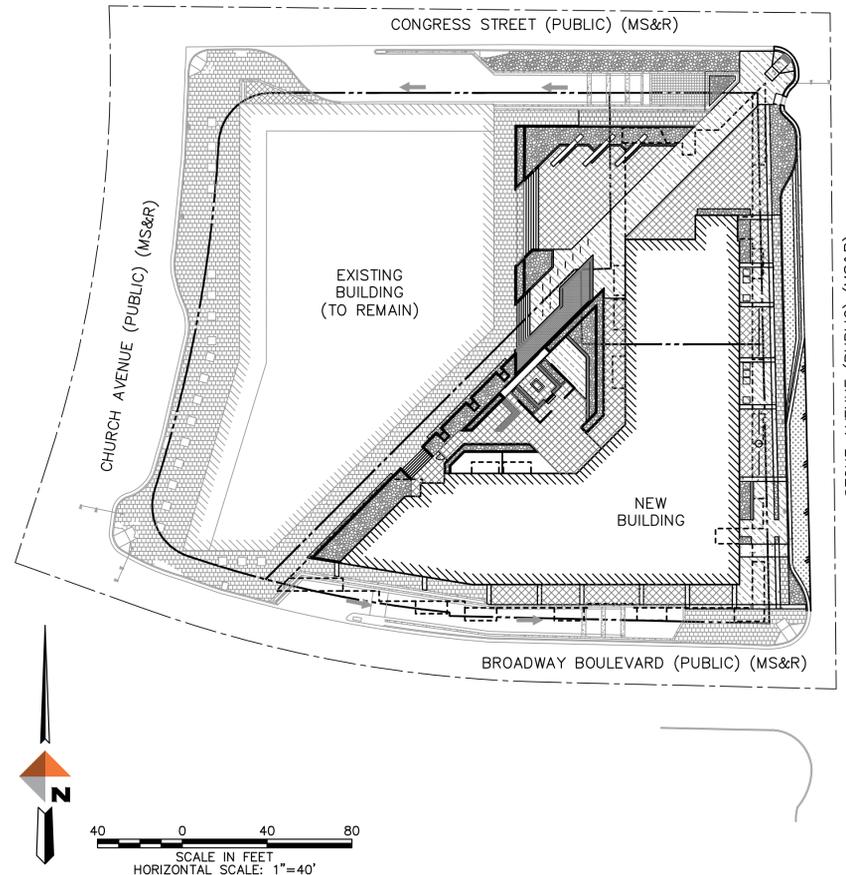
DEVELOPMENT PACKAGE FOR RendezVous urban flats TUCSON, ARIZONA

PROJECT INFO:

LEGEND

FEATURE	NEW	EXISTING
BENCH MARK	●	●
MINOR CONTOUR LINE	---41---	---41---
MAJOR CONTOUR LINE	---40---	---40---
PROPERTY LINE	---	---
RIGHT-OF-WAY LINE	---	---
SECTION LINE	---	---
EASEMENT LINE	---	---
CENTERLINE LINE	---	---
GRADE BREAK	---	---
ASPHALT PAVEMENT	▨	▨
CURB	▨	▨
CONCRETE SIDEWALK OR PAD	▨	▨
BUILDING EXTERIOR WALL	▨	▨
WALL	▨	▨
ELECTRIC LINE	—E—	—E—
OVERHEAD ELECTRIC LINE	—OE—	—OE—
POWER POLE	⊕	⊕
ELECTRIC TRANSFORMER	⊠	⊠
JUNCTION BOX	⊠	⊠
LIGHT POLE	⊕	⊕
COMMUNICATION/POWER PEDESTAL	⊠	⊠
COMMUNICATION LINE	—C—	—C—
OVERHEAD COMMUNICATION LINE	—OC—	—OC—
GAS LINE	—G—	—G—
GAS VALVE	⊕	⊕
STORM DRAIN	—SD—	—SD—
SD CATCH BASIN	⊠	⊠
MANHOLE, STORM DRAIN	⊕	⊕
SANITARY SEWER LINE	—S—	—S—
CLEANOUT, SANITARY SEWER	⊠	⊠
MANHOLE, SANITARY SEWER	⊕	⊕
END CAP	⊠	⊠
WATER LINE	—W—	—W—
WATER METER	⊕	⊕
WATER VALVE	⊕	⊕
AIR RELEASE VALVE	⊕	⊕
BACKFLOW ASSEMBLY	⊕	⊕
FIRE HYDRANT	⊕	⊕
BOLLARD	○	○
FENCE	—x—	—x—
LANDSCAPE ROCK	▨	▨
SIGN	▨	▨

SITE OVERVIEW



LOCATION MAP

SCALE: 3" = 1 MILE
PORTION OF THE SW ¼ SECTION 12 AND NW ¼ SECTION 13,
TOWNSHIP 14 SOUTH, RANGE 13 EAST, G&SRM, TUCSON, AZ.

ARCHITECT

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SUITE 2030
TUCSON, ARIZONA 85701
ATTN: MR. SCOTT RATHBUN
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LAND INFORMATION:

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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

ABBREVIATIONS

ABC	AGGREGATE BASE COURSE	DTL	DETAIL	L	LENGTH/LEFT	PG	PAGE	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
ADA	AMERICAN'S WITH DISABILITIES ACT	DWG	DRAWING	LAT	LATITUDE	PL	PROPERTY LINE	T	TOWNSHIP
ARCH	ARCHITECTURAL	E	EAST/EASTING/ELECTRIC	LF	LINEAR FOOT	PSI	POUNDS PER SQUARE INCH	TC	TOP OF CURB
A.R.S.	ARIZONA REVISED STATUTES	EA	EACH	LONG	LONGITUDINAL	PT	POINT	T.C.C.	TUCSON CITY CODE
AZ	ARIZONA	EB	ELECTRICAL BOX	LT	LEFT	PTN	PORTION	TELE	TELEPHONE
BCSM	BRASS CAP SURVEY MONUMENT	ELEC	ELECTRICAL	M	MEASURED	PVC	POLYVINYLCHLORIDE PIPE	TSB	TRAFFIC SIGNAL BOX
BK	BOOK	ELEV	ELEVATION	MATL	MATERIAL	PVMT	PAVEMENT	TW	TOP OF WALL
BLDG	BUILDING	ESMT	EASEMENT	MAX	MAXIMUM	R	RADIUS/RIGHT/RANGE	TYP	TYPICAL
BLVD	BOULEVARD	EXIST	EXISTING	ME	MATCH EXISTING	RCP	REINFORCED CONCRETE PIPE	UDC	UNIFIED DEVELOPMENT CODE
BM	BENCH MARK	FFE	FINISH FLOOR ELEVATION	MECH	MECHANICAL	RD	ROAD	UG	UNDERGROUND
BOT	BOTTOM	FG	FINISH GRADE	MH	MANHOLE	RLS	REGISTERED LICENSED SURVEYOR	VERT	VERTICAL
C	CALCULATED	FH	FIRE HYDRANT	MID	MIDDLE/MID-POINT	ROW	RIGHT-OF-WAY	W	WEST/WATER
CATV	CABLE TELEVISION	FL	FLOW LINE	MIN	MINIMUM	RT	RIGHT		
CB	CATCH BASIN	FND	FOUND	MISC	MISCELLANEOUS	S	SOUTH/SECTION/SEWER		
CEN	CENTER	FPS	FIRE PROTECTION SERVICE	MON	MONUMENT	SD	STORM DRAIN		
CFS	CUBIC FEET PER SECOND	FT	FEET	M&P	MAPS AND PLATS	SE	SOUTHEAST		
CL/℄	CENTERLINE	G	GUTTER	MS&R	MAJOR STREETS AND ROUTES	SEC	SECTION		
CMP	CORRUGATED METAL PIPE	GB	GRADE BREAK	N	NORTH/NORTHING	SPEC	SPECIFICATION		
CO	CLEANOUT	G&SRM	GILA AND SALT RIVER MERIDIAN	NE	NORTHEAST	SQ	SQUARE		
COMM	COMMUNICATION	HC	HANDICAP	NIC	NOT IN CONTRACT	SS	SANITARY SEWER		
CY	CUBIC YARD	HCS	HOUSE CONNECTION SEWER	NO	NUMBER	SSPI	STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT		
DCS	DOWNTOWN CORE SUBDIVISION	HDPE	HIGH DENSITY POLYETHYLENE	NTS	NOT TO SCALE	ST	STREET		
DEPT	DEPARTMENT	ID	INFILL INCENTIVE DISTRICT	NW	NORTHWEST	STA	STATION		
DIA	DIAMETER	IN	INCH	OC	ON CENTER	STD	STANDARD		
DIP	DUCTILE IRON PIPE	INV	INVERT	PAG	PIMA ASSOCIATION OF GOVERNMENTS	SWLK	SIDEWALK		
DKT	DOCKET	JT	JOINT	P.C.R.	PIMA COUNTY RECORDS	SW	SOUTHWEST		



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520-882-8696



RendezVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



DATE ISSUED 8.NOV.16

DRAWN BY NW

CHECKED BY WG

PROJECT NO. 16118.001

CADD FILE

C100
COVER

SCALE 1" = 40'

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ZONING AND LAND USE NOTES

- EXISTING ZONING IS C-3 AND OCR-2.
- THE SITE GROSS AREA IS 33,146.49 SQ FT (0.76 ACRES)
- THE EXISTING LAND USE IS VACANT. THE PROPOSED LAND USE OF RETAIL/OFFICE AND RESIDENTIAL.
- THE TOTAL NUMBER OF PROPOSED UNITS IS 101.

DRAINAGE NOTES

- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYERS, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.

STREETS AND ROADS NOTES

- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH DEVELOPMENT STANDARD 3-01.0.

UTILITIES NOTES

- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

WASTEWATER MANAGEMENT NOTES

- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED.

TRAILS NOTES

- THE EASTERN PIMA COUNTY TRAILS SYSTEM MASTER PLAN DOES NOT SHOW ANY TRAILS ON OR ADJACENT TO THE DEVELOPMENT SITE.

GENERAL NOTES

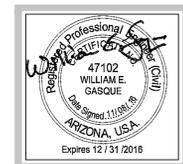
- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL, AND THE PIMA ASSOCIATION OF GOVERNMENT'S (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (SSPI), CURRENT EDITION.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSPI #303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSPI#406.
- ALL CONCRETE SHALL COMPLY WITH PAG SSPI SECTION 1006, CLASS S 3,000-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
- EXISTING GROUND CONTOURS ARE BASED ON A TOPOGRAPHIC SURVEY BY TERRASCAPE PERFORMED IN JANUARY, 2016 CONTRACTOR SHALL VERIFY SITE CONDITIONS.
- THE OWNER WILL RETAIN THE SERVICES OF AN INDEPENDENT ENGINEERING TESTING LABORATORY TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CONCRETE. DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE ARCHITECT.
- THE ENGINEER MAKES NO WARRANTY THAT UNDERGROUND UTILITIES SHOWN ARE COMPLETE, CORRECT OR COMPRISE SERVICE OR ABANDONED. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. RECORD LOCATIONS AND CHANGES TO UTILITIES IN SURVEY NOTES AND ON AS-BUILT DRAWINGS. CONTRACTOR SHALL EXERCISE CAUTION DURING CONSTRUCTION AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AFFECTING LOCATION OR CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL CALL BLUE STAKE (1-800-782-5348) TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL BE NOTIFIED FOR FURTHER DIRECTION OR INSTRUCTIONS.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE ENGINEER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST SEVENTY-TWO (72) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- CONTRACTOR SHALL GIVE 48 HOURS NOTICE WHEN REQUIRING THE SERVICES OF THE ENGINEER OR SURVEYOR FOR LAYING OUT ANY PORTION OF THE WORK. CONTRACTOR SHALL DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS.
- CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY THE ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUB-CONTRACTORS MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- A STAMPED SET OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- UNLESS OTHERWISE NOTED, DIMENSIONS ON THESE DRAWINGS ARE TO CENTERLINE, PROPERTY LINE, FACE OF CURB, AND OUTSIDE FACE OF BUILDING. PIPE RUNS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- ELEVATIONS AND PROPOSED CONTOURS ARE TO THE TOP OF FINISHED SURFACE. ALL CURB ELEVATIONS ARE AT GUTTER FLOWLINE UNLESS SPECIFIED OTHERWISE.
- BUILDING COORDINATES ARE TO FACE OF BUILDING FOUNDATION.
- GRADING AND CONSTRUCTION OPERATIONS SHALL BE CONFINED TO AN AREA NOT TO EXTEND BEYOND THOSE AREAS SPECIFICALLY INDICATED TO BE DEVELOPED. ANY ADDITIONAL DISTURBANCE OF THE SITE SHALL REQUIRE THE DISTURBED AREA TO BE RETURNED TO THE EXISTING GRADES SHOWN ON THESE DRAWINGS. THIS WORK SHALL CONFORM TO THE EARTHWORK SPECIFICATIONS AND SHALL BE RE-VEGETATED IN CONFORMANCE WITH THE LANDSCAPE PLANS AND SPECIFICATIONS OR TO A LEVEL COMPATIBLE WITH THE EXISTING VEGETATION AS DEEMED APPROPRIATE BY THE PROJECT ARCHITECT OR ENGINEER.
- HANDICAPPED PARKING SPACES SHALL BE SIGNED PER CITY OF TUCSON ORDINANCE NO. T.C.C. 20-222.
- PAVING CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- SAW CUT NEAT LINE ALONG EXISTING ASPHALT CONCRETE PAVEMENT, TACK COAT EDGE AND MATCH GRADE WITH EXISTING PAVEMENT.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.

- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY THE GOVERNMENTAL AGENCIES.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING FENCES IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED AT THE CONTRACTOR'S EXPENSE. ANY UNDERGROUND PIPES, IRRIGATION LINES, STRUCTURES, OR OBSTRUCTIONS NOT SHOWN ON THESE PLANS SHALL BE MOVED, ALTERED, OR REPAIRED BY THE CONTRACTOR WHEN ENCOUNTERED, AS DIRECTED BY THE ENGINEER, AND IS A DEFINITE PART OF THIS PROJECT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- ALL WORK SHALL CONFORM TO CITY OF TUCSON DEVELOPMENT STANDARDS, CHAPTER 11.0 "EXCAVATION AND GRADING".
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE ENGINEER AND OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN PRIOR TO REQUEST FOR FINAL INSPECTION/CERTIFICATION OF OCCUPANCY OR RELEASE OF ASSURANCES. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FOOT OF FINISH BUILDING PAD ELEVATIONS INDICATED. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADES INDICATED. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.
- ALL PROPOSED FENCING AND WALLS WILL REQUIRE A SEPARATE PERMIT FOR REVIEW AND APPROVAL BY ALL NECESSARY DEVELOPMENT SERVICES DEPARTMENTS.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A DSD PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE SYSTEM IVR (520-791-3111), OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT DSD ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.tucsonaz.gov/pdsd/scheduling-inspections>.

PROJECT INFO:



Rendezvous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, ARIZONA 85701
ATTN: MR. SCOTT RATHBUN
EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
BLOCK 209 & PUEBLO CENTER
REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
LOT 2, BEING A PORTION OF
SECTIONS 12 & 13, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS D APPROVAL

- Site/Dev Plan
- Tentative Plat
- Grading
- SWPPP
- FUP
- SCZ
- FRZ
- HDZ
- WASH
- Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PLME _____ Date _____
 Revision # _____ per letter in SIRE

DEVELOPMENT
PLANNING DEPT.
APPROVAL

DATE ISSUED **8.NOV.16**
 DRAWN BY **NW**
 CHECKED BY **WG**
 PROJECT NO. **16118.001**
 CADD FILE _____

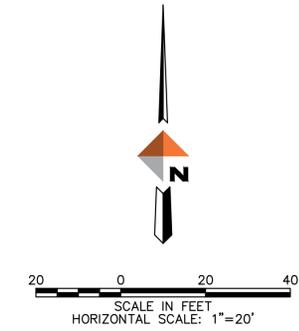
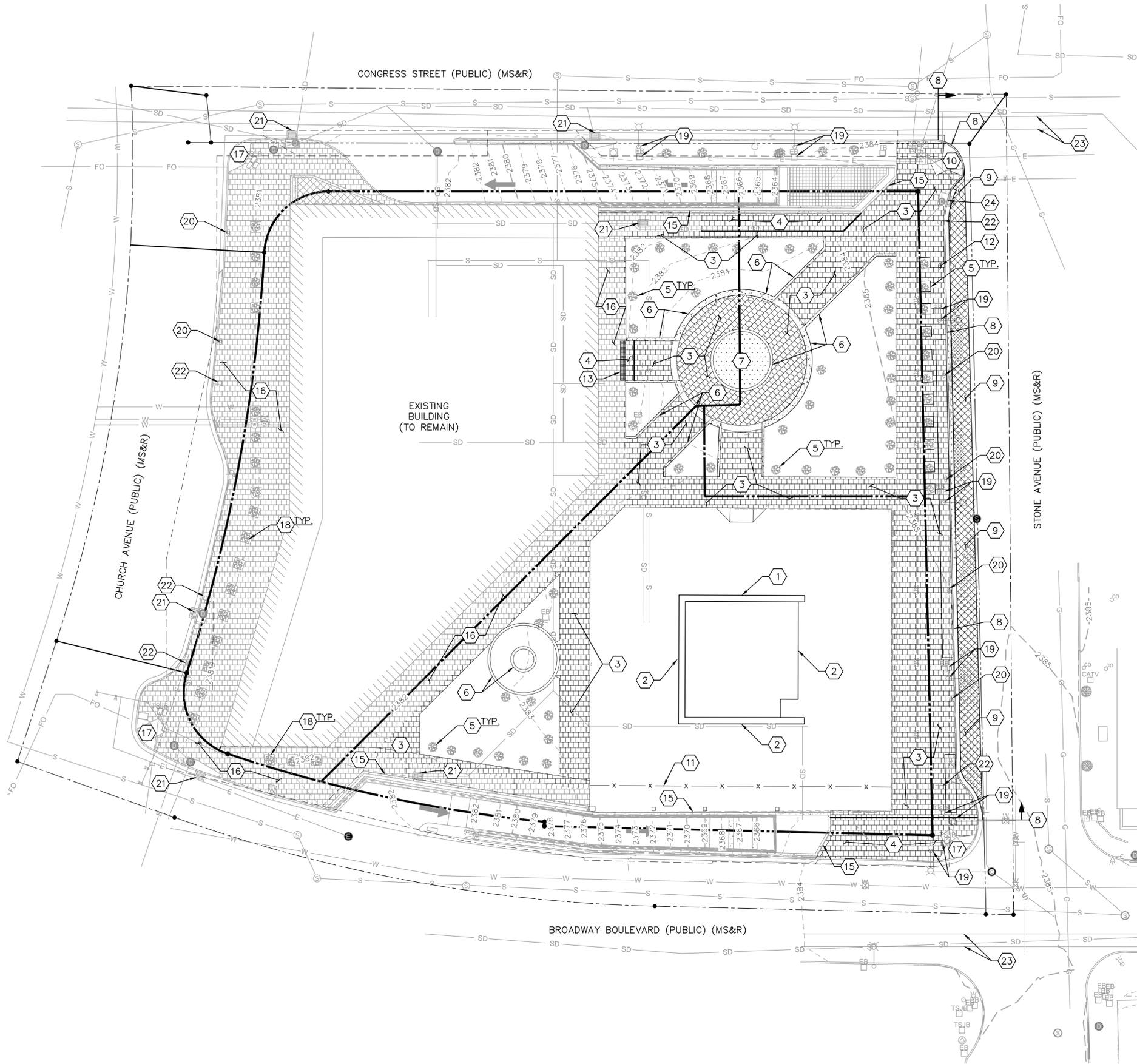


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520-882-8696

C101
GENERAL
NOTES
SCALE = NA

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KEYNOTES

1. SALVAGE EXISTING NORTH WALL AND RELOCATE ON-SITE PER THE SITE PLAN.
2. EXISTING WALL TO BE REMOVED.
3. EXISTING PAVERS TO BE REMOVED.
4. EXISTING PAVERS TO BE REMOVED AND SALVAGED. PATHWAY TO BE REGRADED PER THE GRADING PLANS AND PAVERS ARE TO BE REUSED.
5. EXISTING TREE TO BE REMOVED.
6. EXISTING CURB/LANDSCAPE WALL TO BE REMOVED.
7. EXISTING FOUNTAIN TO BE REMOVED.
8. EXISTING CURB AND GUTTER TO BE REMOVED.
9. EXISTING ASPHALT TO BE REMOVED. SAWCUT NEAT LINE.
10. EXISTING CURB RAMP TO BE REMOVED.
11. EXISTING FENCE TO BE REMOVED.
12. EXISTING PARKING METER TO BE REMOVED.
13. EXISTING TRENCH DRAIN AND ASSOCIATED STORM DRAIN PIPING TO BE REMOVED.
14. NOT USED.
15. EXISTING WALL TO REMAIN.
16. EXISTING PAVERS TO REMAIN.
17. EXISTING CURB RAMP TO REMAIN.
18. EXISTING TREES TO REMAIN.
19. EXISTING LIGHT POLE/PULL BOX TO REMAIN.
20. EXISTING PARKING METER TO REMAIN.
21. EXISTING CATCH BASIN TO REMAIN.
22. EXISTING SIGN TO REMAIN.
23. EXISTING STREETCAR TRACKS TO REMAIN.
24. EXISTING STORM DRAIN TO REMAIN. TIE IN NEW CURB AND GUTTER TO EXISTING STORM DRAIN INLET.

PROJECT INFO:



**RendezVous urban flats
Development Package**
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TUCSON, ARIZONA 85701



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COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> FRZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |

DVPKG MGR _____	Date _____
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PL/ME _____	Date _____
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- DEVELOPMENT
- PLANNING DEPT. APPROVAL

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PROJECT NO. **16118.001**
CADD FILE _____



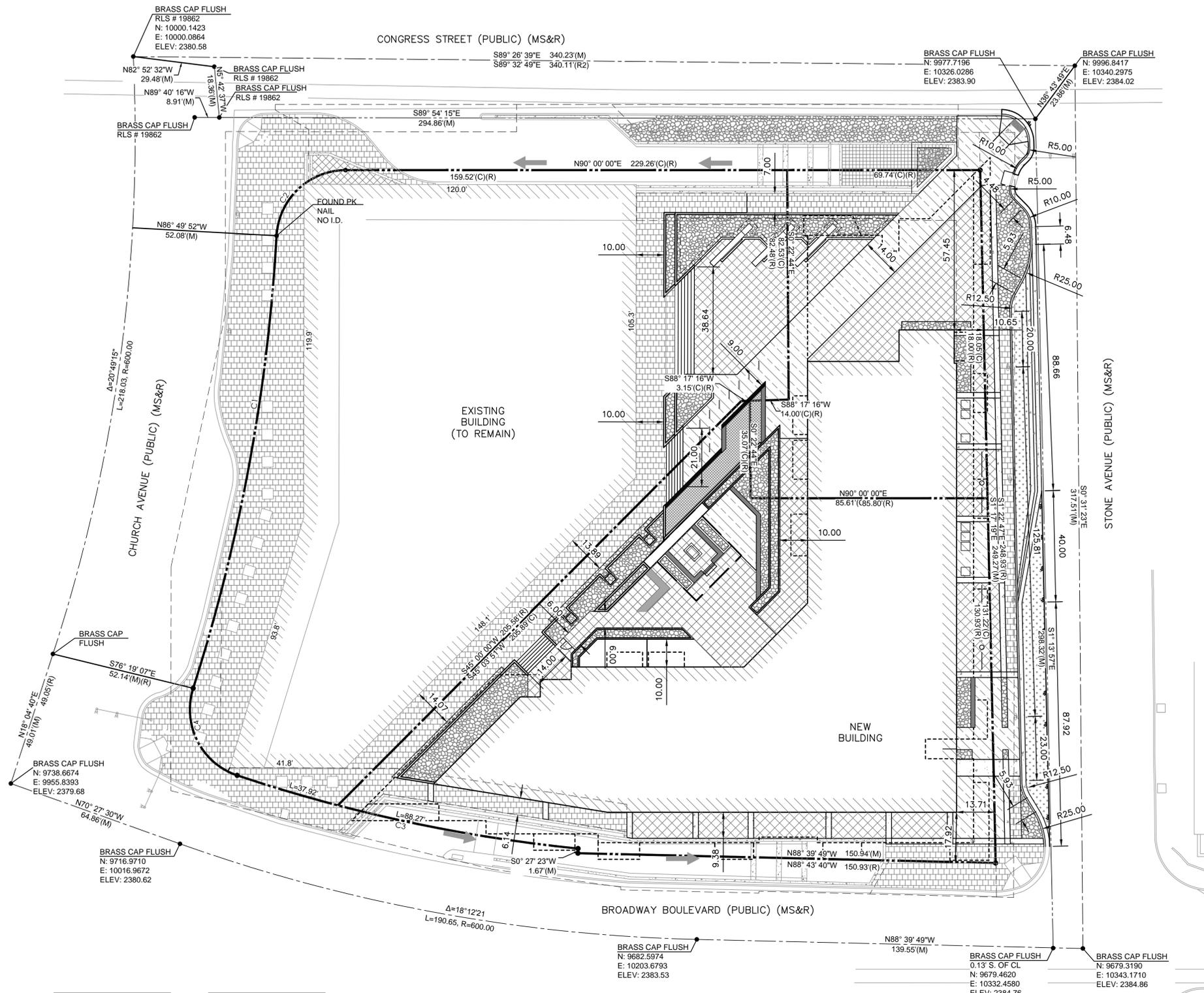
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520-882-8696

**C200
DEMOLITION
PLAN**

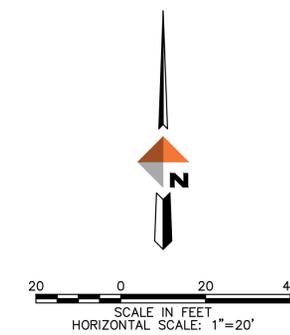
SCALE 1" = 20'

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(M) Curve Table			
Curve #	Radius	Length	Delta
C1	652.00	165.95	014°34'59"
C2	25.00	37.88	086°48'13"
C3	570.00	126.19	012°41'06"
C4	25.00	39.00	089°22'31"

(R) Curve Table			
Curve #	Radius	Length	Delta
C1	652.00	165.81	014°34'15"
C2	25.00	37.92	086°54'22"
C3	570.00	126.21	012°41'13"
C4	25.00	38.97	089°18'46"



BASIS OF BEARING

BEING THE MONUMENT LINE OF SOUTH CHURCH AVE., BEGINNING AT THE INTERSECTION OF CHURCH AVE. AND BROADWAY BLVD., BEING MONUMENTED BY A BRASS CAP FLUSH, THENCE NORTH 18 DEGREES 04 MINUTES 40 SECONDS EAST, A DISTANCE OF 49.05' TO A POINT OF CURVATURE OF CHURCH STREET, BEING MONUMENTED BY A BRASS CAP FLUSH, AS DESCRIBED IN THE DEED OF RECORD.

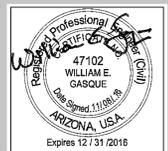
BASIS OF ELEVATION

NGS POINT V 19, BEING A BRASS CAP FLUSH HAVING A NAVD 88 ELEVATION OF 2390.75.

PROJECT INFO:



RendezVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- Site/Dev Plan
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DVPKG MGR	_____	Date	_____
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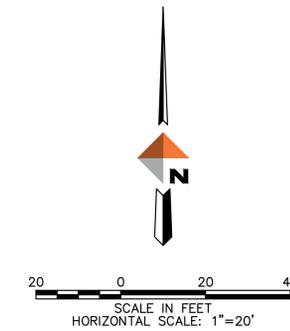
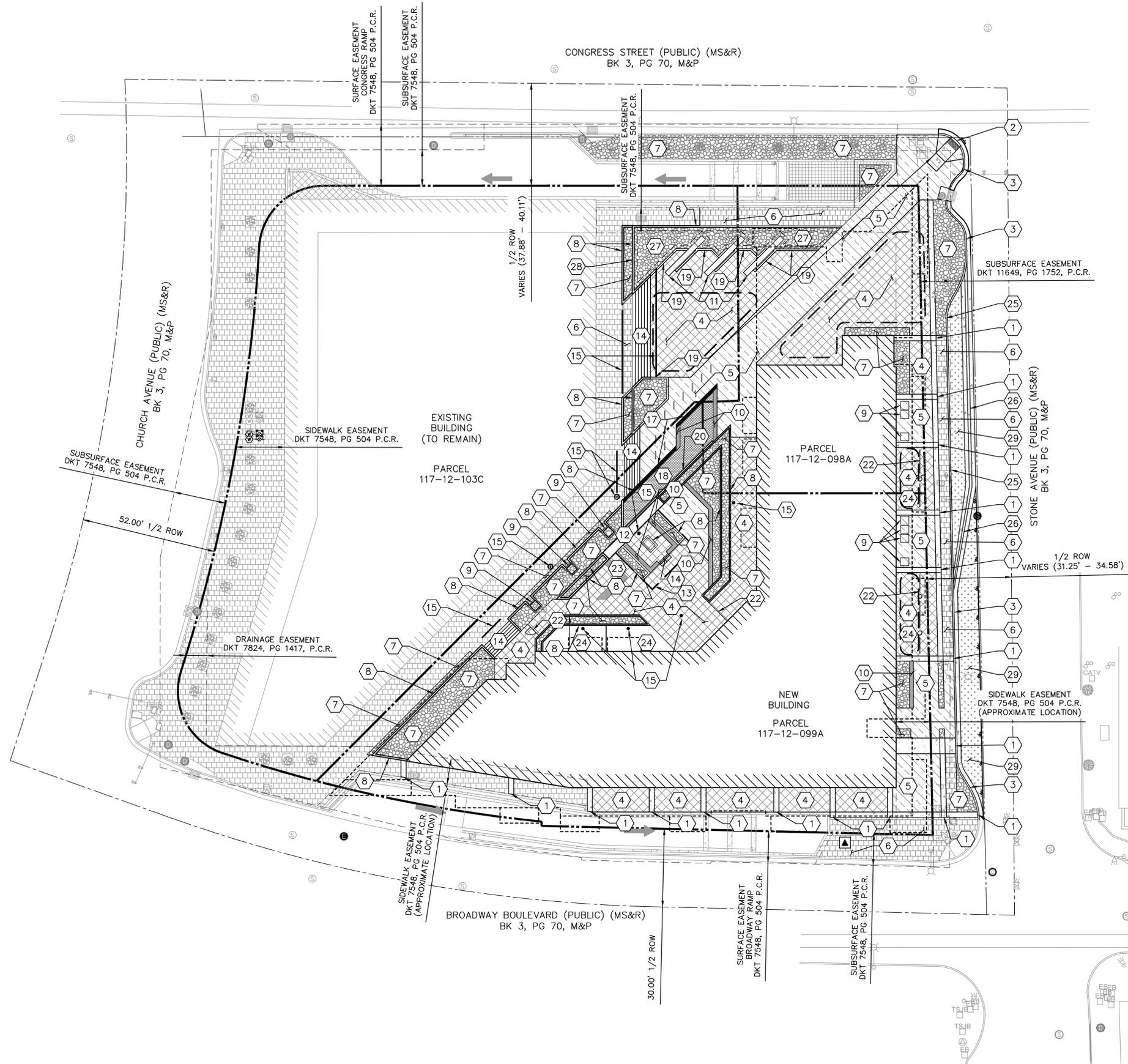
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520-882-8696

**C300
HORIZONTAL
CONTROL**

SCALE 1" = 20'

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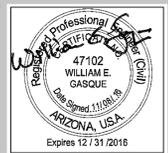
KEYNOTES

1. CONCRETE SIDEWALK PER PAG STD DTL 203.
2. CONCRETE CURB RAMP PER DETAIL 1, SHEET C700.
3. CONCRETE CURB AND GUTTER, PER PAG STD DTL 209. MATCH EXISTING CURB AND GUTTER DIMENSIONS AND SHAPE.
4. PAVEMENT SURFACE 'B' PER LANDSCAPE PLANS.
5. PAVEMENT SURFACE 'A' PER LANDSCAPE PLANS.
6. EXISTING PAVERS TO BE REMOVED, SUBGRADE TO BE REGRADED PER GRADING PLAN, AND EXISTING PAVERS TO BE REPLACED.
7. LANDSCAPE PLANTER, REFER TO LANDSCAPE PLANS FOR GROUND COVER AND PLANTINGS.
8. RETAINING WALL FOR PLANTER.
9. RAISED PLANTER PER CONSTRUCTION DOCUMENTS.
10. SEAT WALL PER CONSTRUCTION DOCUMENTS.
11. CUSTOM SEAT WALL PER CONSTRUCTION DOCUMENTS.
12. RAISED WALL WITH FIREPLACE.
13. SHADE STRUCTURE.
14. STAIRS, DETAILS, RISER, AND TREAD LENGTHS PER CONSTRUCTION DOCUMENTS.
15. STORM DRAIN, REFER TO UTILITY PLAN FOR DETAILS.
16. STORM DRAIN CATCH BASIN, REFER TO UTILITY PLANS FOR DETAILS.
17. TRENCH DRAIN FOR WATER FEATURE PER LANDSCAPE PLANS.
18. WATER FEATURE PER CONSTRUCTION DOCUMENTS.
19. HEADER CURB PER PAG STD DTL 213.
20. RELOCATED WALL.
21. NOT USED.
22. FENCE/SCREEN WALL PER CONSTRUCTION DOCUMENTS.
23. BARBECUE COUNTER PER CONSTRUCTION DOCUMENTS.
24. PRIVATE PATIO.
25. CONCRETE CURB, PER PAG STD DTL 209. MATCH EXISTING CURB DIMENSIONS AND SHAPE.
26. CONCRETE VALLEY GUTTER, PER PAG STD DTL 208.
27. LANDSCAPE RETENTION/DETENTION BASIN. SEE GRADING PLANS FOR BASIN ELEVATIONS.
28. INSTALL 2' WIDE WEIR NOTCH CENTERED ON WALL. SEE GRADING PLANS FOR WEIR INVERT ELEVATION.
29. ASPHALT PAVEMENT. MATCH EXISTING STONE AVENUE PAVEMENT SECTION.

PROJECT INFO:



**RendezVous urban flats
Development Package**
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, ARIZONA 85701
ATTN: MR. SCOTT RATHBUN
EMAIL: scott@erie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
BLOCK 209 & PUEBLO CENTER
REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
LOT 2, BEING A PORTION OF
SECTIONS 12 & 13, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> FRZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |

DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
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Revision # _____	<input type="checkbox"/> per letter in SIRE

- DEVELOPMENT
- PLANNING DEPT. APPROVAL

DATE ISSUED **8.NOV.16**
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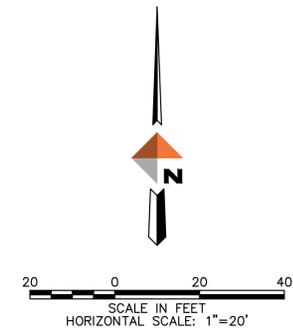
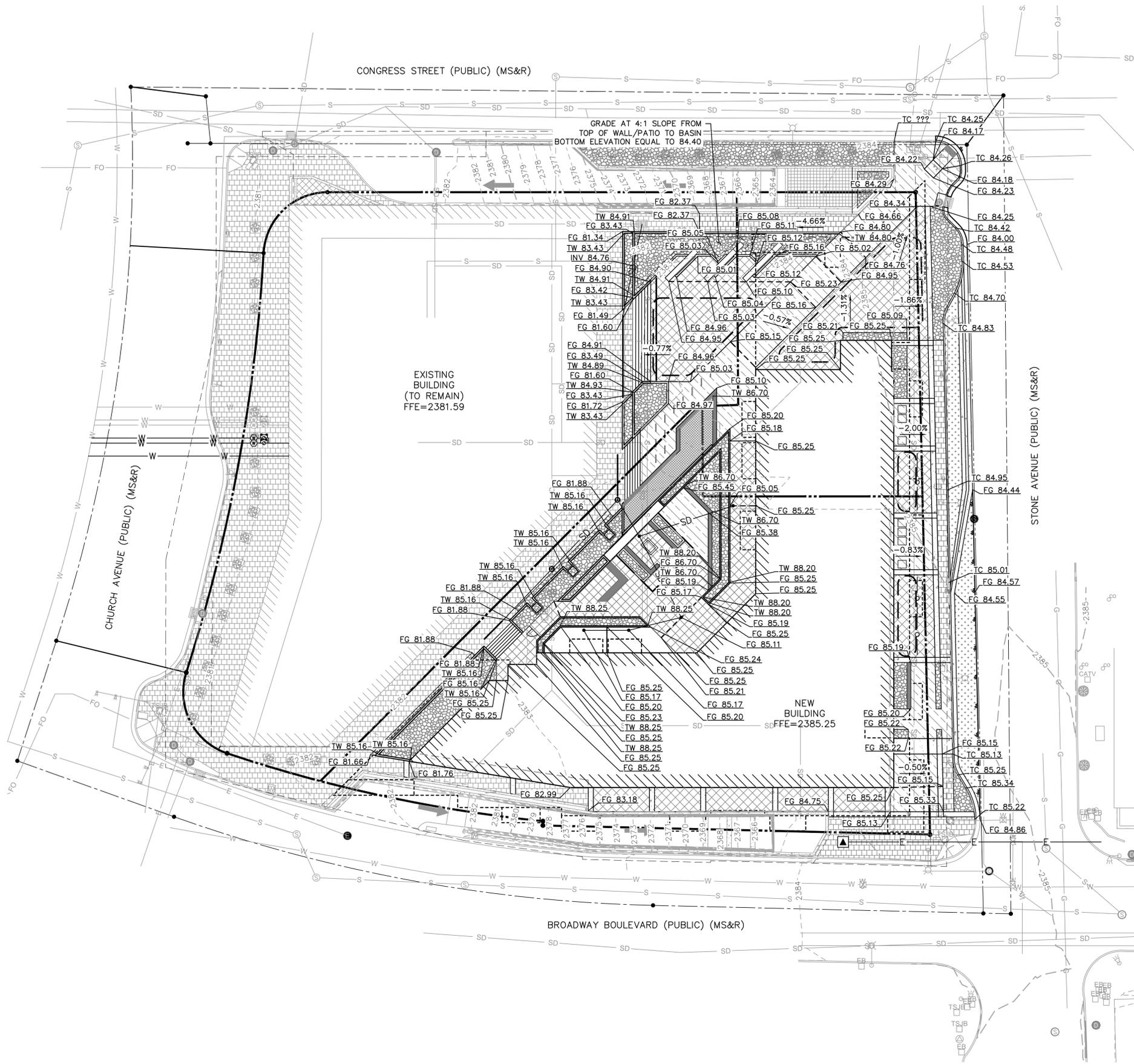
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Tucson, Arizona 85701
520-882-8696

**C400
SITE PLAN**

SCALE 1" = 20'

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RendezVous urban flats
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<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR	Date
Zoning	Date
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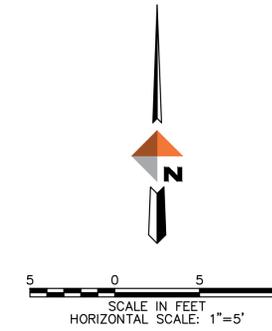
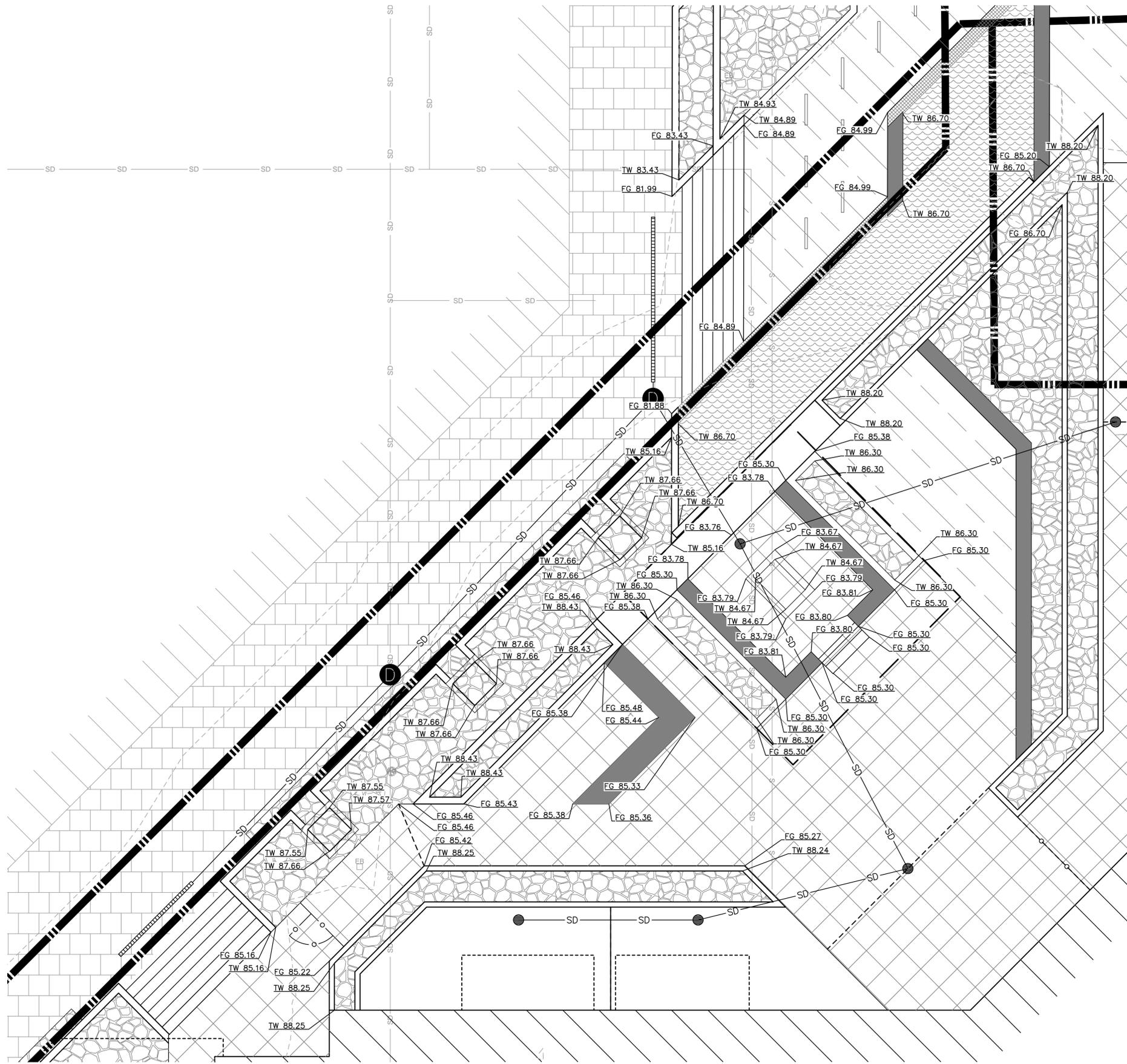
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C500
GRADING
PLAN

SCALE 1" = 20'

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PROJECT INFO:



**RendezVous urban flats
Development Package**

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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

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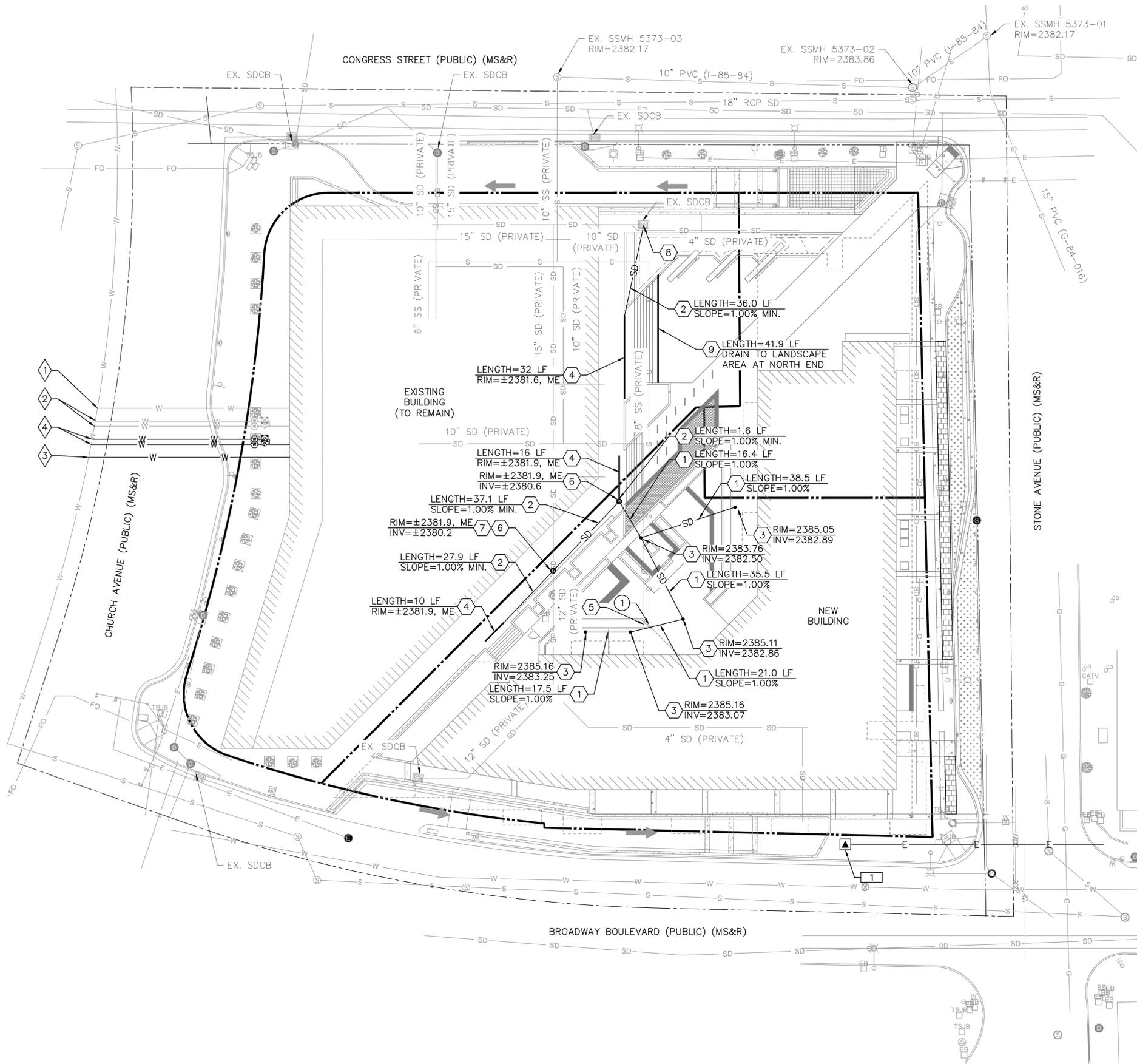
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520-882-8696

**C501
DETAILED
GRADING**

SCALE 1" = 5'

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STORM DRAIN KEYNOTES

1. 8" HDPE STORM DRAIN WITH SMOOTH INTERIOR, LENGTH AND SLOPE PER PLAN.
2. 6" PVC STORM DRAIN, LENGTH AND SLOPE PER PLAN.
3. NYLOPLAST 12" DRAIN BASIN WITH 12" PEDESTRIAN GRATE, OR APPROVED EQUAL, INVERT AND RIM PER PLAN.
4. NEENAH FOUNDRY TRENCH DRAIN (R-4996-B) WITH TYPE Q GRATE, LENGTH, INVERT, AND RIM PER PLAN. CENTER LENGTH OF TRENCH ON STAIRS. PIPE OUTLET TO BE FROM SIDE.
5. CONNECT BUILDING STORM DRAIN PIPES INTO EXISTING 8" STORM DRAIN PIPE.
6. NYLOPLAST 12" DRAIN BASIN WITH 12" SOLID GRATE, OR APPROVED EQUAL, INVERT AND RIM PER PLAN.
7. EXTEND 8" PIPE FROM BOTTOM OF DRAIN BASIN THROUGH THE TOP OF THE GARAGE AND TEE INTO EXISTING 12" STORM DRAIN LINE..
8. CONNECT NEW 6" STORM DRAIN PIPE TO EXISTING CATCH BASIN, MATCH EXISTING INVERT.
9. NEENAH FOUNDRY TRENCH DRAIN (R-4996-B) WITH TYPE Q GRATE, LENGTH PER PLAN.

SANITARY SEWER KEYNOTES

1. CONNECT BUILDING SEWER TO EXISTING 8" SANITARY SEWER PIPE.

WATER KEYNOTES

1. EXISTING FIRE SERVICE.
2. EXISTING 2" WATER SERVICE.
3. NEW 6" FIRE SERVICE. REFER TO PLUMBING PLANS FOR CONTINUATION.
4. NEW (2) 2" TURBO METERS/WATER SERVICE. WATER METERS AND BACKFLOW PREVENTERS TO BE INSTALLED IN FENCED ENCLOSURE IN SUBSURFACE PARKING GARAGE NEXT TO EXISTING WATER METERS. REFER TO PLUMBING PLANS FOR CONTINUATION.

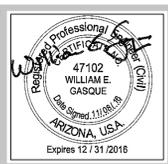
ELECTRIC KEYNOTES

1. NEW ELECTRICAL TRANSFORMER.

PROJECT INFO:



RendezVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, ARIZONA 85701
ATTN: MR. SCOTT RATHBUN
EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
BLOCK 209 & PUEBLO CENTER
REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
LOT 2, BEING A PORTION OF
SECTIONS 12 & 13, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON	DEVELOPMENT PACKAGE PDS APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

<input checked="" type="checkbox"/> DEVELOPMENT
<input checked="" type="checkbox"/> PLANNING DEPT. APPROVAL

DATE ISSUED	8.NOV.16
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CHECKED BY	WG
PROJECT NO.	16118.001
CADD FILE	



406 North Church Avenue
Tucson, Arizona 85701
520-882-8696

C600
UTILITY
PLAN

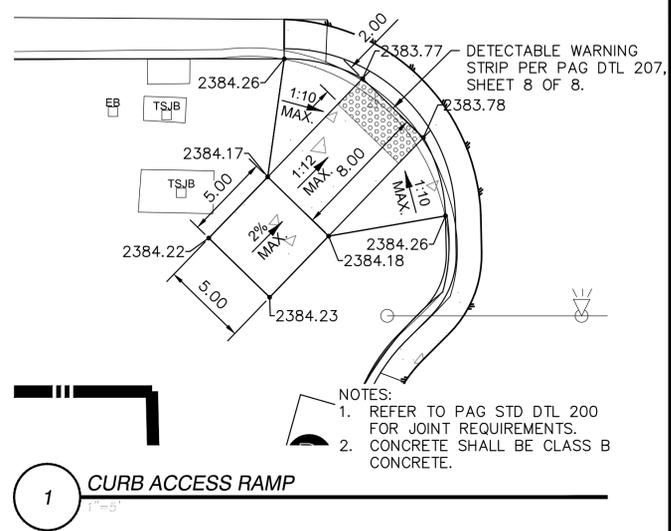
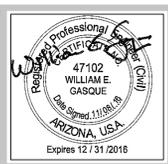
SCALE 1" = 20'

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1 CURB ACCESS RAMP
1"=5'

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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
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<input type="checkbox"/>	
<input type="checkbox"/>	

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DOWL
WWW.DOWL.COM
406 North Church Avenue
Tucson, Arizona 85701
520-882-8696

C700
SITE
DETAILS
SCALE = NA

LANDSCAPE MATERIALS

Keynote 1: Decorative Paver 'A'
Concrete Pavers set per City of Tucson Standards and Specifications. See construction documents for model and color. Contractor to submit sample for approval prior to construction.

Keynote 2: Paver Tree Grate
48"x60" Tree Grate by Ironsmith. Model: #4160. Finish: Galvanized. Install per manufacturer's recommendations.

Keynote 3: Brick Pavers
To match existing brick pavers (pattern, materials, and installation). Installed on sand and aggregate base. Outside of major pedestrian circulation and traffic areas.

Keynote 4: Concrete Pavement
Concrete, 3000 PSI. Color: natural. Finish: Medium Broom Finish. 6" depth, 2" ABC, 95% compact subgrade.

Keynote 5: Bike Rack
Bike Rack, 2 bike capacity, See construction documents for model and color.

Keynote 6: Decorative Paver 'B'
Concrete Pavers set per City of Tucson Standards and Specifications. See construction documents for model and color. Contractor to submit sample for approval prior to construction.

Keynote 7: Precast Planter
Precast concrete planter. Integral color with sandblast finish. See construction documents for model and color.

Keynote 8: Residential Courtyard Perimeter Barrier
Fence barrier controlling physical access to residential courtyard. See construction Documents for details.

Keynote 9: Seatwall
Custom formed concrete w/ cap and accent lighting. Integral color with sandblast finish. Concrete, 3000 PSI. See construction documents for details.

Keynote 10: Seatwall-Cantilevered
Custom formed concrete w/cap and accent lighting. Integral color with sandblast finish. Concrete, 3000 PSI. See construction documents for details.

Keynote 11: DG
Decorative rock. Size: 3/4" screened. Color: Santa Fe Slate by Pioneer. Contractor to submit sample for approval.

Keynote 12: Metal Planter-Custom
Custom metal planter. Height: 12". Material: 0.125 stainless steel, with 1" drain hole. Finish: satin #4 finish.

Keynote 13: Water Feature
Custom reflecting pool. Water depth to meet City of Tucson Pool code non-drowning requirement. 18" seat walls and infinity edge on pool boundaries. See construction documents for details.

Keynote 14: Tile Mosaic Wall
Existing Ben's Bells tile mosaic. 50'x0.66'x12'. Salvaged from existing location on site. Mounted to steel frame. See construction documents for details.

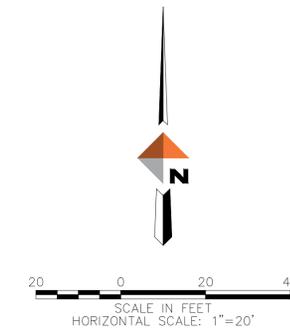
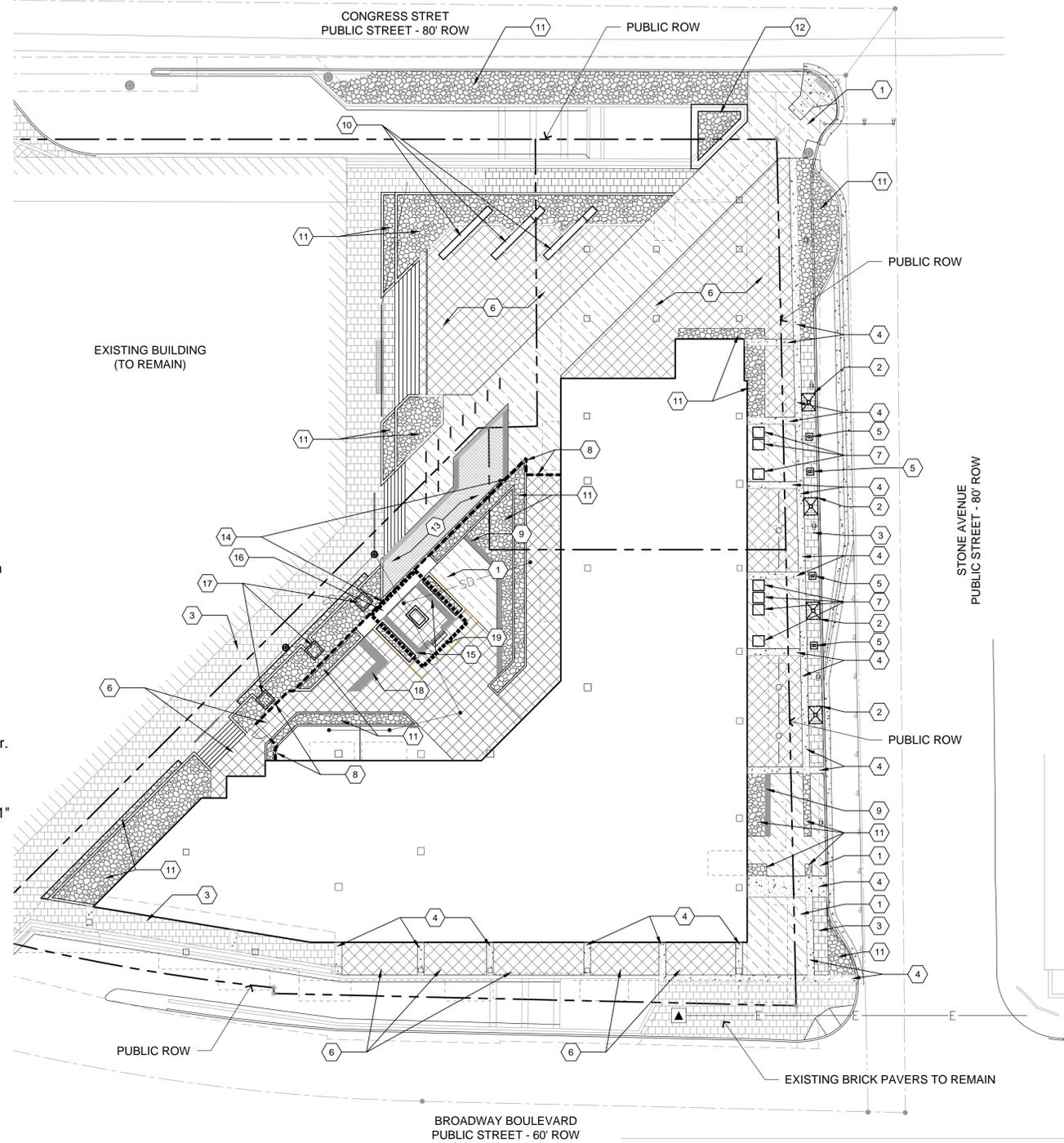
Keynote 15: Sunken Seating Area
Sunken seating area. 18" below surrounding grade. See construction documents for details.

Keynote 16: Fireplace
Gas fired fireplace in cmu block wall with composite cladding. Wall dimensions: 30'x3.5'wx8'h. See construction documents for details.

Keynote 17: Metal Planter - Palms
Custom metal planter. 4'x4'wx5.5'h. Material: 0.125 stainless steel, with 1" drain hole. Finish: satin #4 finish. See construction documents for details.

Keynote 18: BBQ Counter
Stainless steel barbeque grill, gas fired. Composite counter tops on cmu block base with composite cladding. Finish: satin #4 finish. See construction documents for details.

Keynote 19: Pergola
Custom metal framed pergola. Roof dimensions: 21'x18'. Max. height: 12'. Minimum vertical clearance: 8'-0". See construction documents for details.

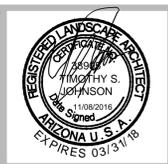


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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- Site/Dev Plan
- Tentative Plat
- Grading
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- HDZ
- WASH
- Other

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Zoning	_____	Date	_____
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H/C Site	_____	Date	_____
Fire	_____	Date	_____
Landscape	_____	Date	_____
PL/ME	_____	Date	_____
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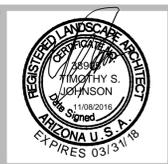


L100
LANDSCAPE
LAYOUT

SCALE 1" = 20'



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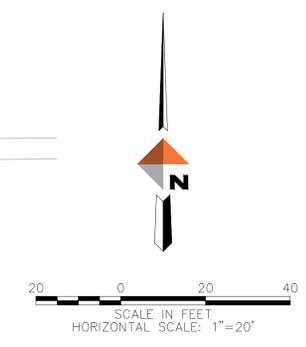
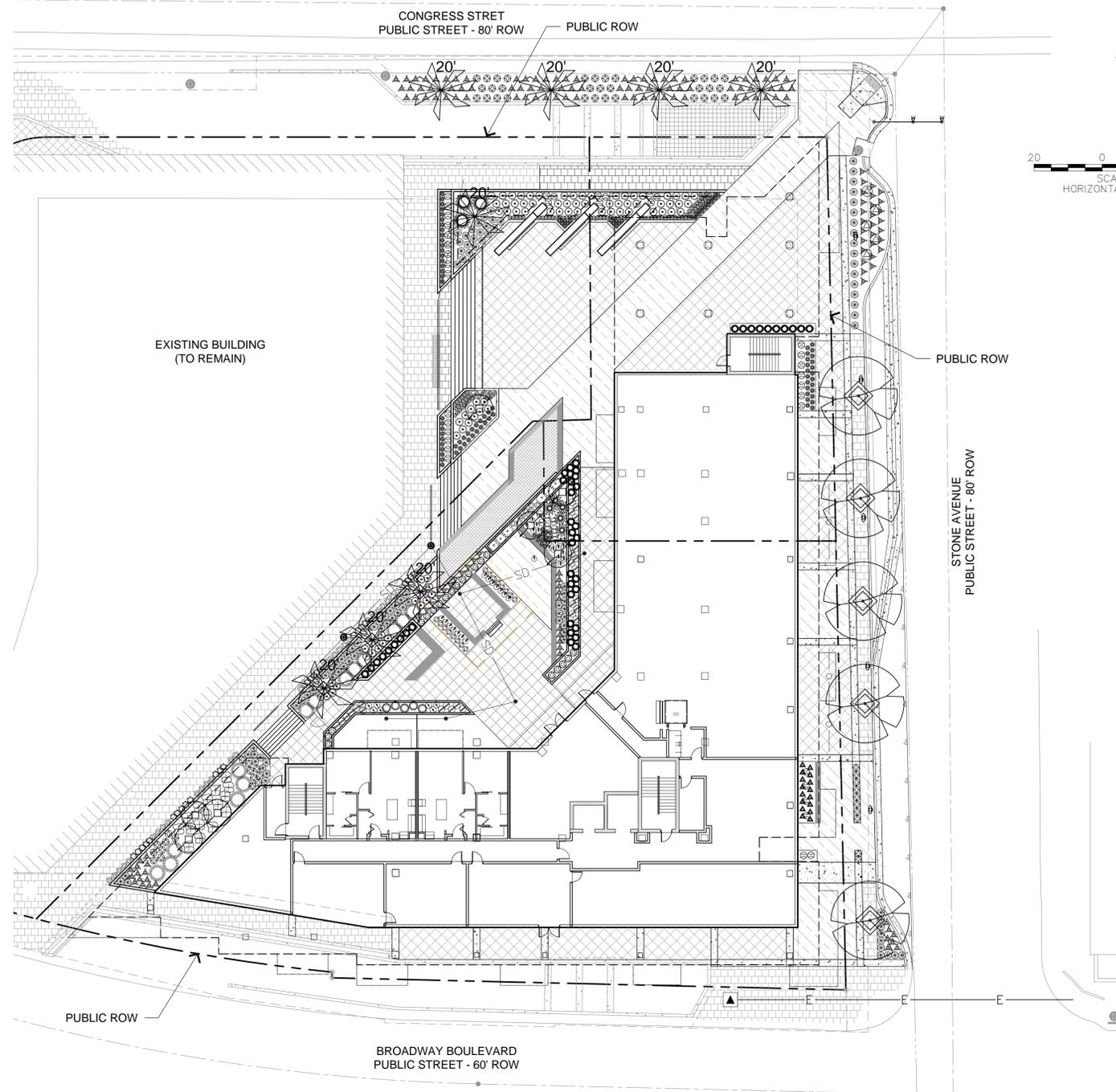
L200
PLANTING
PLAN
SCALE 1" = 20'

PLANT SCHEDULE

TREES	QTY	SIZE
BAUHINIA LUNARIODES	7	24" BOX
ANACACHO ORCHID		
GLEDITSIA TRIACANTHIS 'SHADEMASTER'	5	24" BOX
SHADEMASTER HONEY LOCUST		
PHOENIX DACTILIFERA	8	20' HT.
DATE PALM		
SHRUBS	QTY	SIZE
AQUILEGIA CHRYSANTHA	27	5 GAL
GOLDEN COLUMBINE		
BULBINE FRUTESCENS 'TINY TANGERINE'	81	1 GAL
TINY ORANGE BULBINE		
JUSTICIA SPICIGERA	8	1 GAL
MEXICAN HONEYSUCKLE		
OENOTHERA SPECIOSA	16	1 GAL
MEXICAN EVENING PRIMROSE		
PHLOMIS FRUTICOSA	7	1 GAL
JERUSALEM SAGE		
PORTULACARIA AFRA	18	5 GAL
ELEPHANT'S FOOD		
RUELLIA BRITTONIANA 'KATIE'	39	5 GAL
KATIE DWARF RUELLIA		
SALVIA GREGGII	18	5 GAL
AUTUMN SAGE		
SETCREASEA PALLIDA	42	5 GAL
PURPLE HEART VINE		
ACCENTS	QTY	SIZE
AGAVE OCAHUI	25	5 GAL
OCAHUI AGAVE		
AGAVE WEBERII	3	5 GAL
WEBER'S AGAVE		
ALOE 'BLUE ELF'	16	1 GAL
BLUE ELF ALOE		
FESTUCA GLUACA 'ELIJAH BLUE'	41	1 GAL
ELIJAH BLUE FESCUE		
HESPERALOE 'PINK PARADE'	6	5 GAL
PINK PARADE HESPERALOE		
HESPERALOE PARVIFLORA 'YELLOW'	5	5 GAL
YELLOW YUCCA		
HESPERALOE FUNIFERA	14	15 GAL
GIANT HESPERALOE		
MUHLENBERGIA LINDHEIMERI 'AUTUMN GLOW'	5	5 GAL
LINHEIMER MUHLY GRASS		
MUHLENBERGIA RIGIDA 'NASHVILLE'	44	5 GAL
NASHVILLE MUHLY GRASS		
PEDILANTHUS MACROCARPUS 'CHILLY WILLY'	18	5 GAL
CHILLY WILLY LADY SLIPPER		
YUCCA RECURVIFOLIA	5	5 GAL
PENDULOUS YUCCA		
YUCCA RUPICOLA	142	5 GAL
TWISTED LEAF YUCCA		

LANDSCAPE IN RIGHT-OF-WAY(ROW)
NOTES

- It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Land Use Code (LUC) section.
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- Final plant locations must be in compliance with all utility setback requirements.
- The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the ROW in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right Of Way permit prior to construction within the right-of-way.

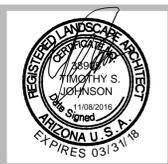


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RendezVous urban flats
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TUCSON, ARIZONA 85701



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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

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L300
IRRIGATION
PLAN

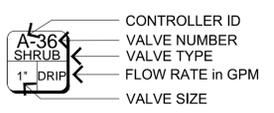
SCALE 1" = 20'

IRRIGATION EQUIPMENT SCHEDULE

NOTE: SLEEVE UNDER ALL PAVEMENT WHEN NECESSARY. IRRIGATION LINES AND SLEEVES ARE SHOWN SCHEMATICALLY.
NOTE: THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE UNDER A MINIMUM STATIC PRESSURE OF 55 PSI (AT IRRIGATION BACK FLOW PREVENTER, AFTER WATER METER AND MAIN BACK FLOW PREVENTER). CONTRACTOR SHALL TEST STATIC PRESSURE PRIOR TO ORDERING IRRIGATION MATERIAL OR BEGINNING THE INSTALLATION AND ADVISE (IN WRITING) LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE IF PRESSURE TESTS BELOW 55 PSI. CONTRACTOR SHALL, AT HIS EXPENSE, REDESIGN AND REINSTALL THE SYSTEM FOR PROPER OPERATION IF TEST PRESSURE IS BELOW 55 PSI AND HE FAILS TO NOTIFY (IN WRITING) LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ORDERING OR INSTALLING MATERIAL.

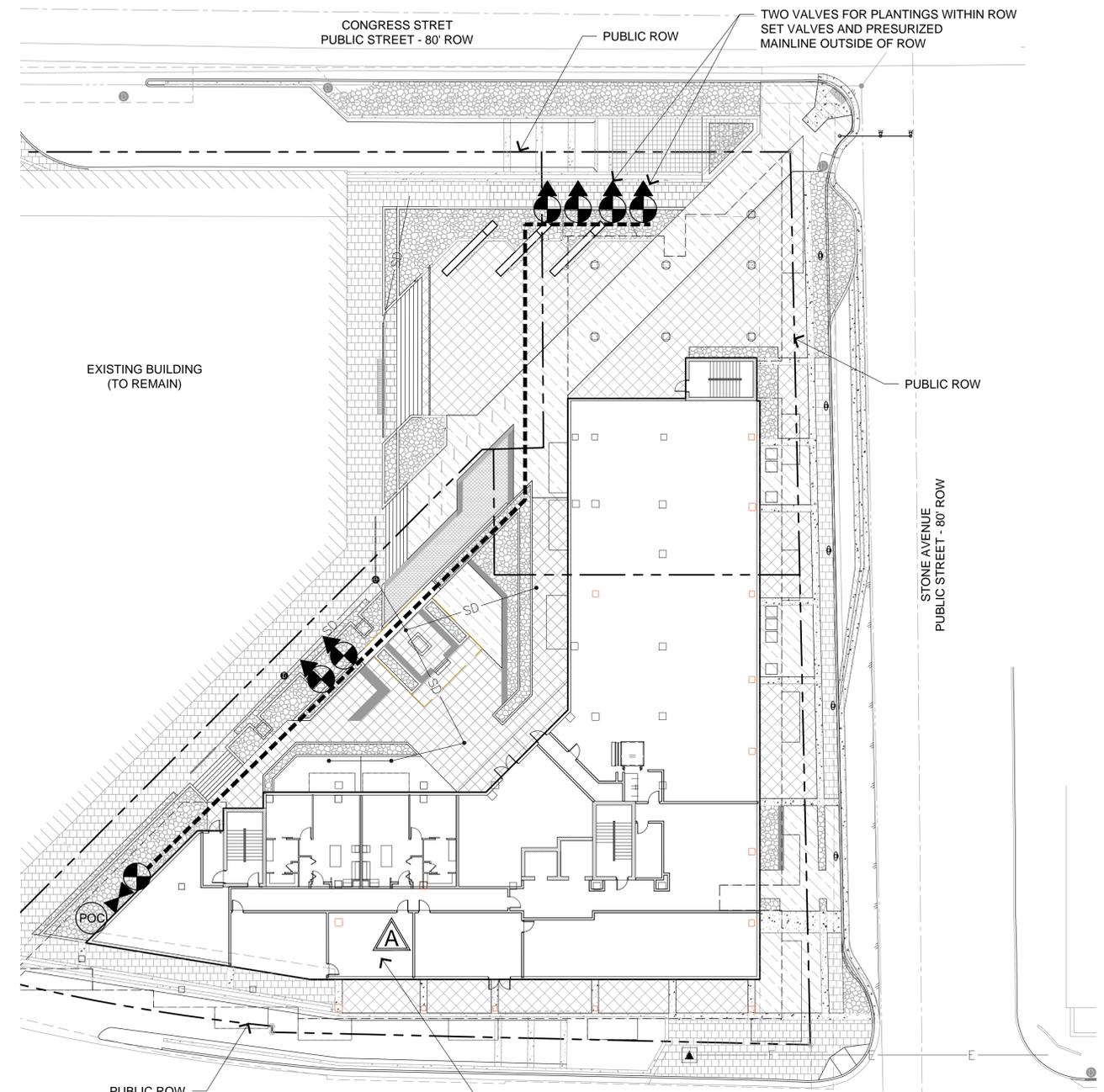
- POINT OF CONNECTION: CONTRACTOR TO INSTALL BACKFLOW PREVENTER FOR IRRIGATION SERVICE TO WATER METER TO SERVE BUILDING.
- IRRIGATION CONTROLLER: RAINBIRD ESP12LXMEF, 12 STATION CONTROLLER W/ FLOW MODULE. WALL MOUNTED IN MECHANICAL ROOM
- REDUCED PRESSURE BACKFLOW PREVENTER: FEBCO 825Y/A, 3/4". INSTALLED IN ENCLOSURE W/ LOCK, COLOR - DESERT TAN.
- MASTER VALVE: RAINBIRD 100 - PEB 1" VALVE.
- DRIP ZONE KIT: RAINBIRD 100 - PEB 1" VALVE, RAINBIRD RBY075MPTX - RBY FILTER
- IRRIGATION MAINLINE PIPE: PVC SCHEDULE 40. SIZE: 1.5"

- NOT SHOWN SLEEVES: ALL SLEEVES TO BE SCHEDULE 40 PVC, IF SIZE AND QUANTITY ARE NOT NOTED, SIZE SHALL BE 2", QUANTITY SHALL BE (2). ALL SLEEVE ENDS SHALL BE WIRE MARKED. CONTRACTOR TO COORDINATE INSTALLATION WITH GENERAL CONTRACTOR. EXTEND 12" BEYOND PAVEMENT AND CURB. SLEEVES TO PROVIDE IRRIGATION TO TREE GRATES AND METAL PLANTERS.
- NOT SHOWN TREE EMITTER LATERAL: SCHEDULE 40 PVC, SIZE 3/4" (UNLESS OTHERWISE NOTED), COMPRESSION OR THREADED FITTING WITH HOSE THREADED CAP.
- NOT SHOWN SHRUB EMITTER LATERAL: SCHEDULE 40 PVC, SIZE 3/4" (UNLESS OTHERWISE NOTED), COMPRESSION OR THREADED FITTING WITH HOSE THREADED CAP.
- NOT SHOWN FLUSH CAP ASSEMBLY W/ HOSE THREADED CAP. INSTALLED IN 6" ROUND BOX.
- NOT SHOWN SINGLE EMITTERS - RAINBIRD XERIBUG BARB X BARB EMITTERS.
- NOT SHOWN CONTROL WIRE BURIED WITH MAINLINE. CONTRACTOR TO SIZE WIRE PER MANUFACTURER'S REQUIREMENTS. CONTROL WIRE TO BE PLACED IN SEPARATE 2" PVC 40 SLEEVES WHERE SLEEVES ARE REQUIRED. INSTALL PULL BOXES AS REQUIRED PER COT STANDARD DETAIL 405.
- NOT SHOWN DISTRIBUTION TUBING: RAINBIRD 16MM DISTRIBUTION TUBING. BURY DEPTH: 2" BELOW FINISHED SUBGRADE.
- NOT SHOWN FLOW SENSOR: RAINBIRD FS100B, 1" BRASS FLOW SENSOR



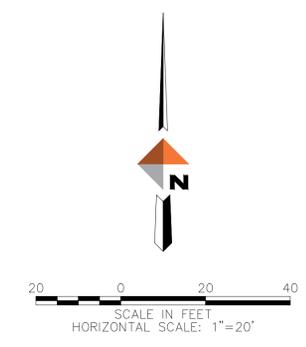
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IRRIATION CONTROLLER LOCATED WITHIN MECHANICAL ROOM.
INSTALL CONTROLLER IN METAL CABINET MOUNTED TO WALL.
INSTALL CONDUIT/SLEEVING FROM MECHANICAL ROOM TO IRRIGATION METER & BACK FLOW PREVENTER OUTSIDE OF BUILDING.

NOTE: ALL IRRIGATION VALVES AND DEVICES TO BE CONTAINED IN VALVE BOXES SET FLUSH TO GRADE.



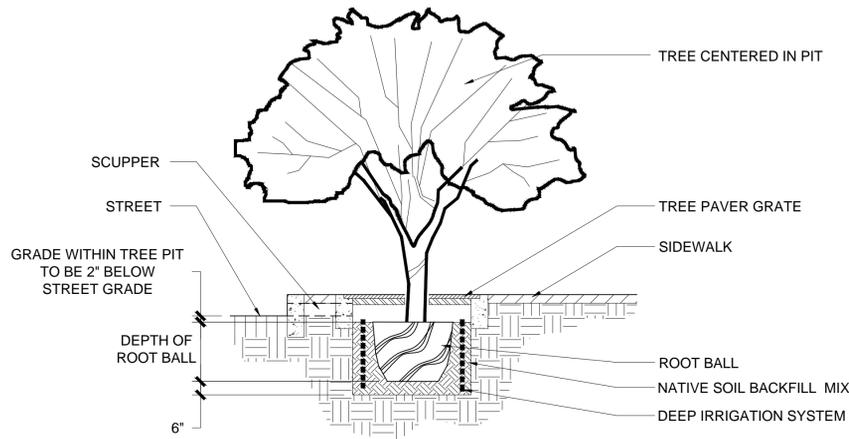
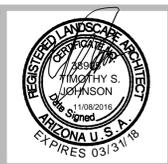
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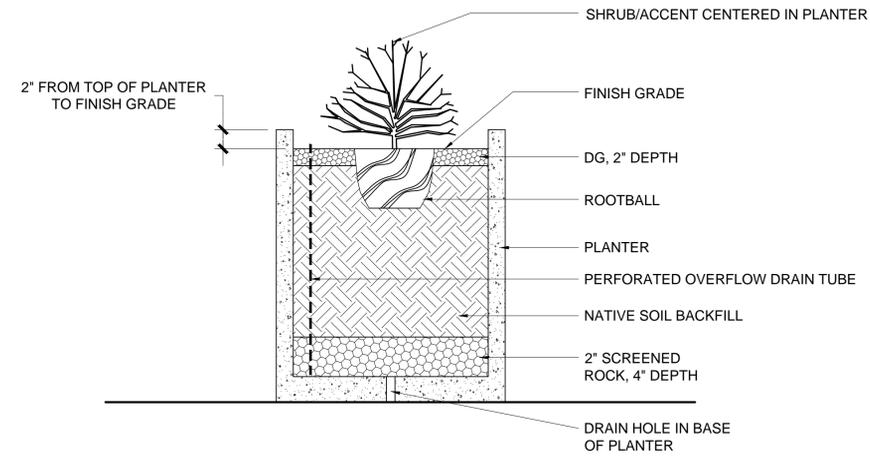


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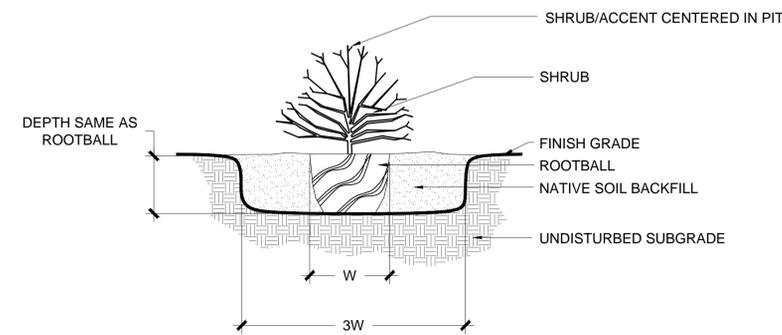
- NOTES:
1. MARK THE NORTH SIDE OF THE TREE IN THE FIELD BEFORE TRANSPLANTING, AND WHEN TRANSPLANTING ROTATE THE TREE TO FACE NORTH, WHENEVER POSSIBLE.
 2. SUFFICIENT CLEARANCE SHALL BE MAINTAINED BETWEEN PLANTS AND UTILITY FACILITIES SO AS TO NOT HINDER UTILITY MAINTENANCE.
 3. PRUNE TREE ONE YEAR AFTER INSTALLATION.
 4. TREES SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.

1 TREE PLANTING IN PAVER TREE GRATE NTS



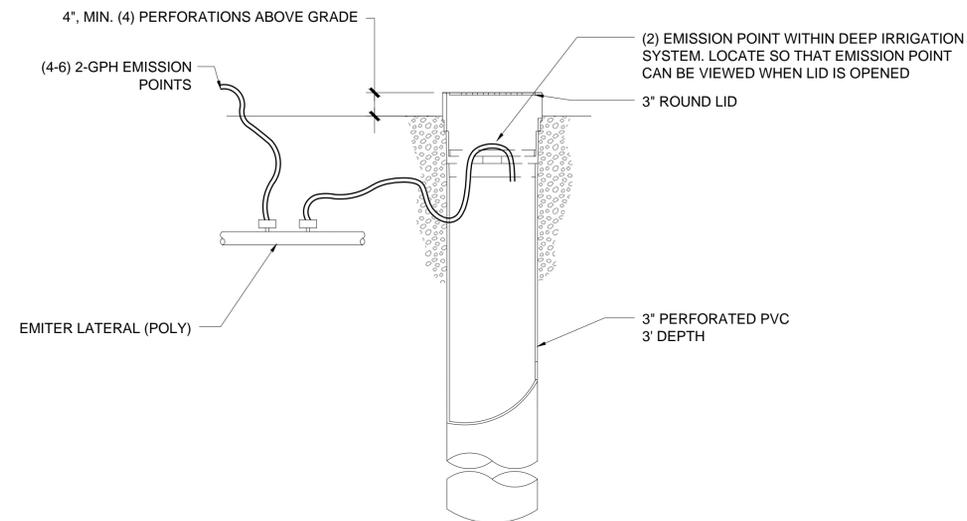
- NOTES:
1. PLANTS SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.
 2. BLOOMING AGAVES SHALL NOT BE REPLACED UNTIL BLOOM AND STALK ARE COMPLETELY SPENT.
 3. BLOOM STALKS OF OTHER ACCENTS SUCH AS DESERT SPOONS AND YUCCAS SHALL REMAIN IN PLACE UNTIL STALK IS COMPLETELY SPENT.
 4. INSTALL WATERPROOF LINER AND PROTECTION MAT INSIDE OF PLANTER.

2 SHRUB & ACCENT PLANTING IN PLANTER DETAIL SCALE: NTS



- NOTES:
1. SUFFICIENT CLEARANCE SHALL BE MAINTAINED BETWEEN PLANTS AND UTILITY FACILITIES SO AS TO NOT HINDER UTILITY MAINTENANCE.
 2. CONTRACTOR SHALL ASSURE THAT PLANTS ARE LOCATED SO THAT AT FULL GROWTH PLANTS DO NOT INTERFERE WITH HARDSCAPE SURFACES SUCH AS WALKS AND PATHS.
 3. PLANTS SHALL BE MAINTAINED IN THEIR NATURAL FORM. OVER PRUNING AND/OR "BALLING" IS PROHIBITED.
 4. BLOOMING AGAVES SHALL NOT BE REPLACED UNTIL BLOOM AND STALK ARE COMPLETELY SPENT.
 5. BLOOM STALKS OF OTHER ACCENTS SUCH AS DESERT SPOONS AND YUCCAS SHALL REMAIN IN PLACE UNTIL STALK IS COMPLETELY SPENT.

3 SHRUB & ACCENT PLANTING DETAIL SCALE: NTS



4 DEEP IRRIGATION SYSTEM DETAIL SCALE: NTS

OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, ARIZONA 85701
ATTN: MR. SCOTT RATHBUN
EMAIL: scott@erie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
BLOCK 209 & PUEBLO CENTER
REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
LOT 2, BEING A PORTION OF
SECTIONS 12 & 13, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> FRZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |

DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

- DEVELOPMENT
- PLANNING DEPT. APPROVAL

DATE ISSUED **8.NOV.16**
DRAWN BY **TJ**
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PROJECT NO. **16118.001**
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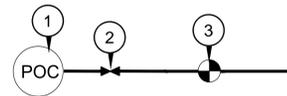
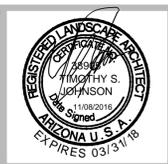


L400
LANDSCAPE
DETAILS

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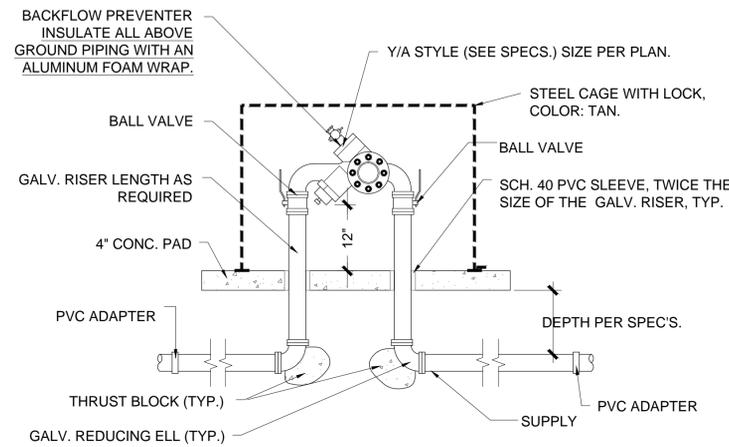
RendezVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



KEYNOTES:

1. POINT OF CONNECTION: INSTALL WATER METER
2. REDUCED PRESSURE BACKFLOW PREVENTER
3. NORMALLY CLOSED 1" MASTER SOLENOID CONTROL.

NOTE: IRRIGATION CONTROLLER TO BE INSTALLED IN MECHANICAL ROOM IN METAL CABINET.

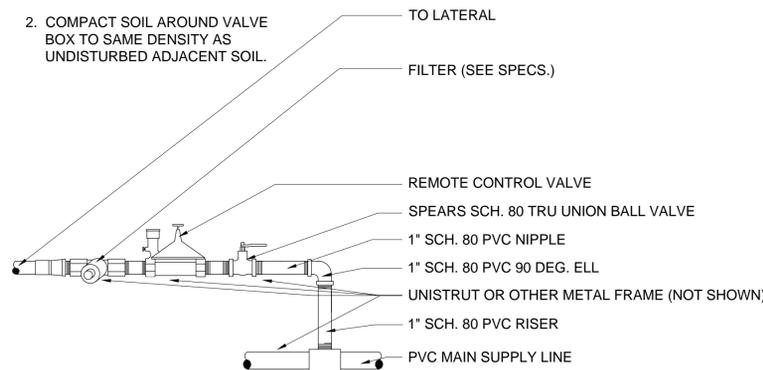


1 MASTER VALVE ASSEMBLY
DETAIL SCALE: NTS

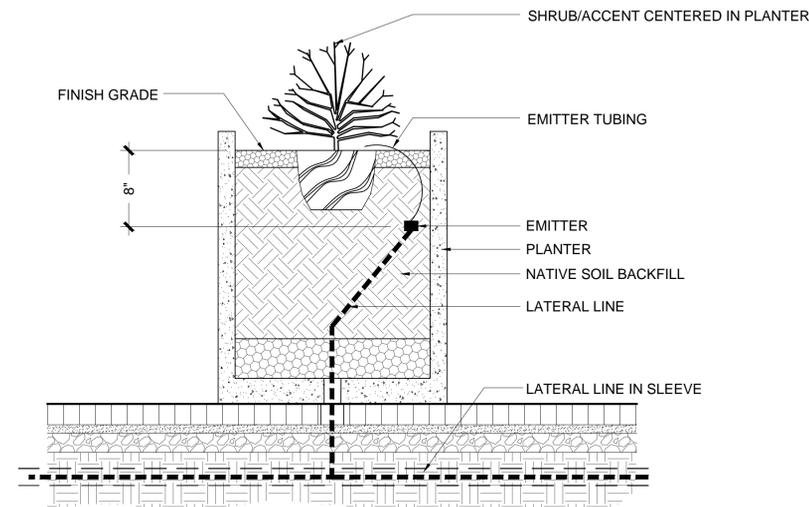
2 REDUCED PRESSURE BACKFLOW PREVENTER SCALE: NTS

NOTES:

1. ALL WIRE TO BE INSTALLED AS PER LOCAL CODE. TAPE AND BUNDLE WIRE EVERY 20' PROVIDE EXPANSION COILS AT EA. WIRE CONNECTION IN VALVE BOX (WRAP AROUND 1/2" PIPE 15 TIMES)
2. COMPACT SOIL AROUND VALVE BOX TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
3. ALL THREADED PVC JOINTS TO BE WRAPPED WITH TEFLON TAPE OR APPROVED EQUAL.
4. SEAL BOTTOM AND ALL OPENINGS WITH GEOTEXTILE FABRIC.

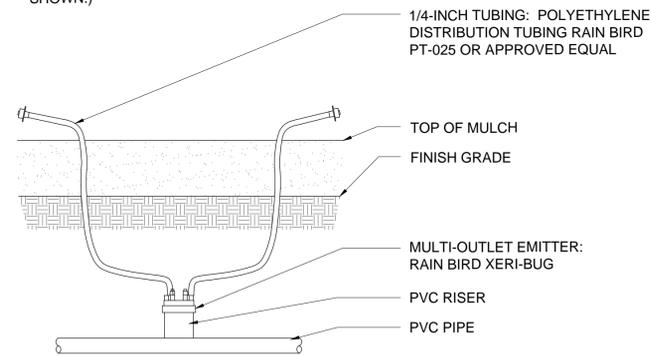


3 DRIP VALVE ASSEMBLY
DETAIL SCALE: NTS

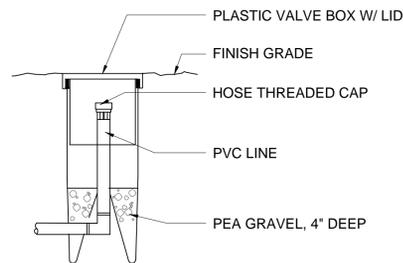


4 IRRIGATION TO PLANTER
DETAIL SCALE: NTS

NOTE: OPEN ALL (6) OUTLETS AND ATTACH DISTRIBUTION TUBING. (NOT SHOWN.)



5 MULTI-PORT EMITTER
DETAIL SCALE: NTS



TO BE USED ON ENDS OF ALL LATERAL LINES - LOCATE WHERE SHOWN ON PLAN.

6 END FLUSH CAP ASSEMBLY
DETAIL SCALE: NTS

OWNER/ DEVELOPER:

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ONE SOUTH CHURCH AVENUE,
SUITE 2030
TUCSON, ARIZONA 85701
ATTN: MR. SCOTT RATHBUN
EMAIL: scott@aerie-development.com

LAND INFORMATION:

TUCSON IRR PTN LOTS 1, 2, 6-9
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REDEVELOPMENT PROJECT
ARIZONA R-8 BLOCK 506 PTN
LOT 2, BEING A PORTION OF
SECTIONS 12 & 13, T. 14 S., R. 13 E.,
G.&S.R.M., CITY OF TUCSON, PIMA
COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> SCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> FRZ |
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| <input type="checkbox"/> FUP | <input type="checkbox"/> Other |

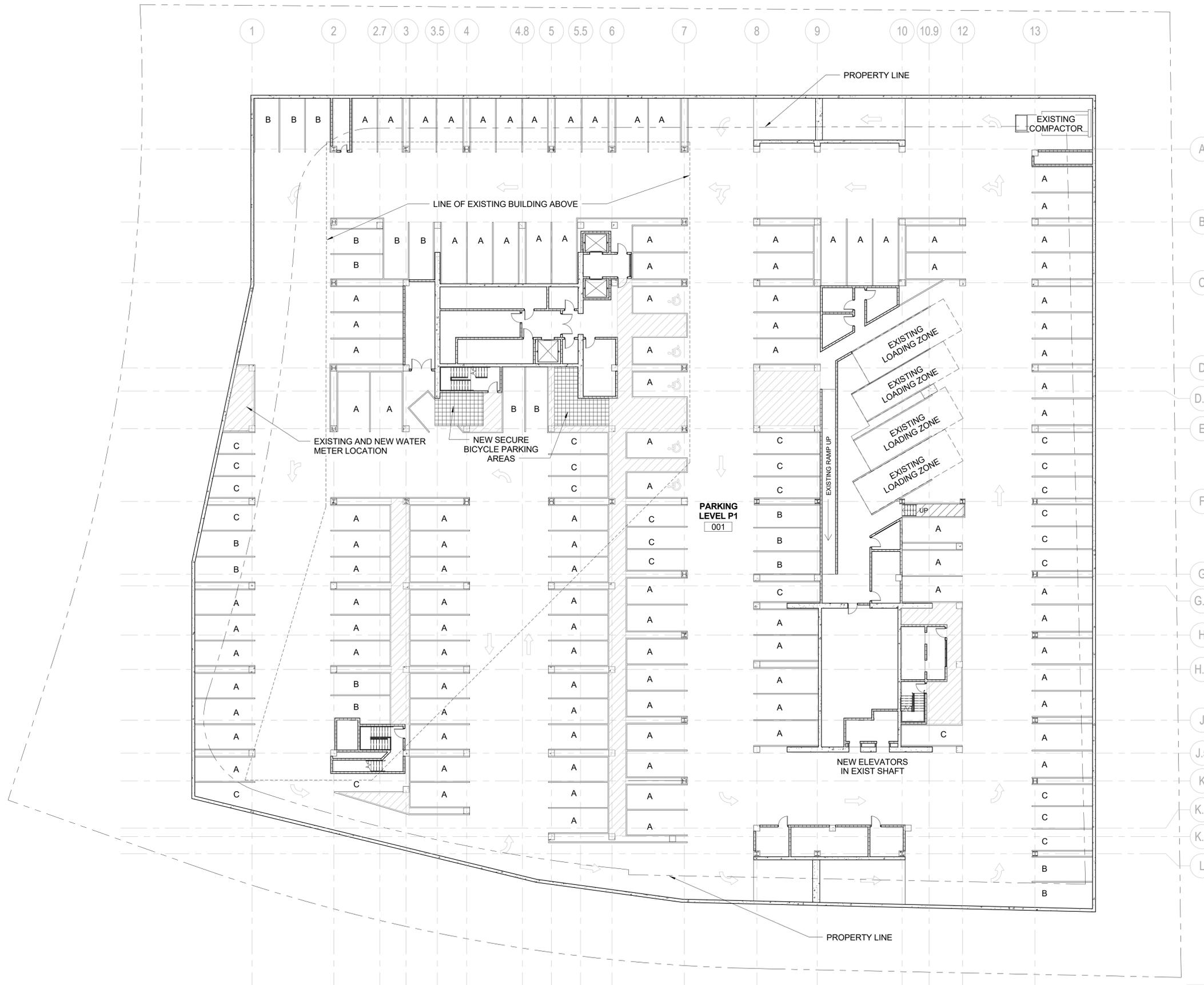
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Zoning	_____	Date	_____
Engineering	_____	Date	_____
H/C Site	_____	Date	_____
Fire	_____	Date	_____
Landscape	_____	Date	_____
PL/ME	_____	Date	_____
Revision #	_____	per letter in SIRE	_____

- DEVELOPMENT
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L401
LANDSCAPE
DETAILS



1 Existing Parking Level P1
 PP001 1/16" = 1'-0"

swaim
 ASSOCIATES LTD
 ARCHITECTS AIA
 7350 EAST SPEEDWAY 210
 TUCSON, ARIZONA 85710
 OFFICE (520) 326-3700
 FAX (520) 326-1148
 www.swaimaia.com

GENERAL NOTES:
 1. EXISTING UNDERGROUND PARKING GARAGE WILL NOT BE MODIFIED WITH THE NEW DEVELOPMENT. THE EXISTING GARAGE WAS DESIGNED TO MEET THE REQUIREMENTS OF THE LAND USE CODE (LUC). ONLY THOSE PARKING SPACES WHICH MEET THE MINIMUM STANDARDS OF THE LUC ARE INCLUDED FOR THE PARKING CALCULATIONS WHICH INCLUDE ALL 'A' & 'B' TYPE SPACES. 'C' SPACES ARE IN ADDITION TO THOSE COUNTED.

parking types

SIZE	P1	P2	P3	TOTAL
A FULL SIZE ≥ 8'-6" X 18'	107	121	124	352
B COMPACT ≥ 7'-6" X 16'	18	24	22	64
C NON-VIABLE ≤ 7'-6" X 16'	27	30	30	87

OWNER/ DEVELOPER:
 AERIE DEVELOPMENT LLC
 ONE SOUTH CHURCH AVENUE,
 SUITE 2030
 TUCSON, AZ 85701
 ATTN: SCOTT RATHBUN
 EMAIL: scott@erie-development.com

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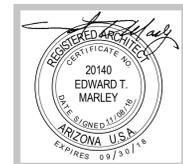
CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

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<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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Rendezvous urban flats
 Development Package
 20 SOUTH STONE AVENUE
 TUCSON, ARIZONA 85701

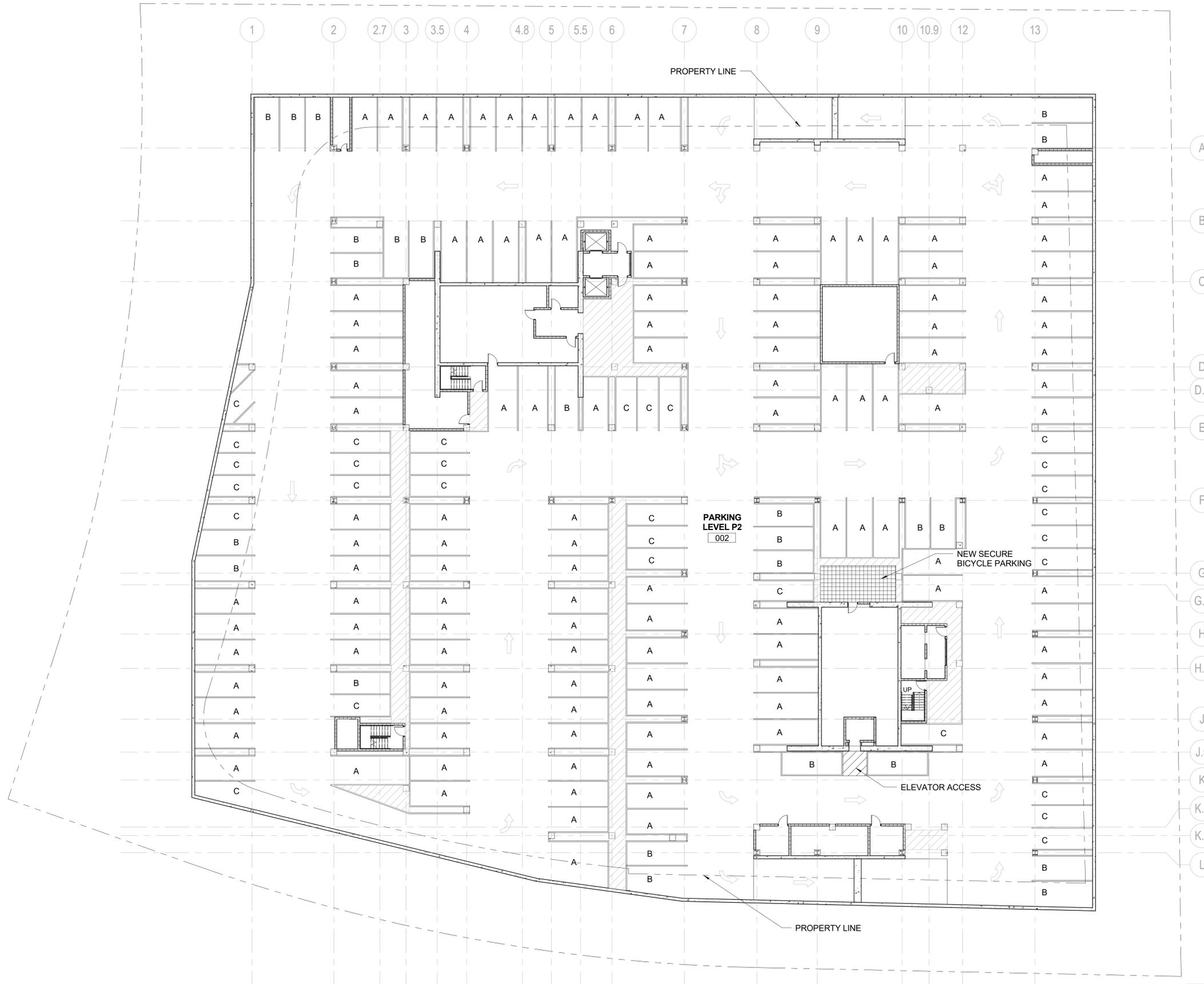


DEVELOPMENT
 PLANNING DEPT. APPROVAL

DATE ISSUED 8.NOV.16
 DRAWN BY JK
 CHECKED BY MC
 PROJECT NO 16118.001
 CADD FILE

PP001
 EXISTING
 PARKING
 LEVEL P1
 SCALE As indicated

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1 Existing Parking Level P2
PP002 1/16" = 1'-0"



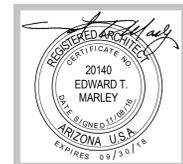
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Rendezvous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



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ONE SOUTH CHURCH AVENUE,
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E., G.&S.R.M., CITY OF TUCSON,
PIMA COUNTY, ARIZONA

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
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<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR _____ Date _____
Zoning _____ Date _____
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H/C Site _____ Date _____
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DEVELOPMENT
PLANNING DEPT.
APPROVAL

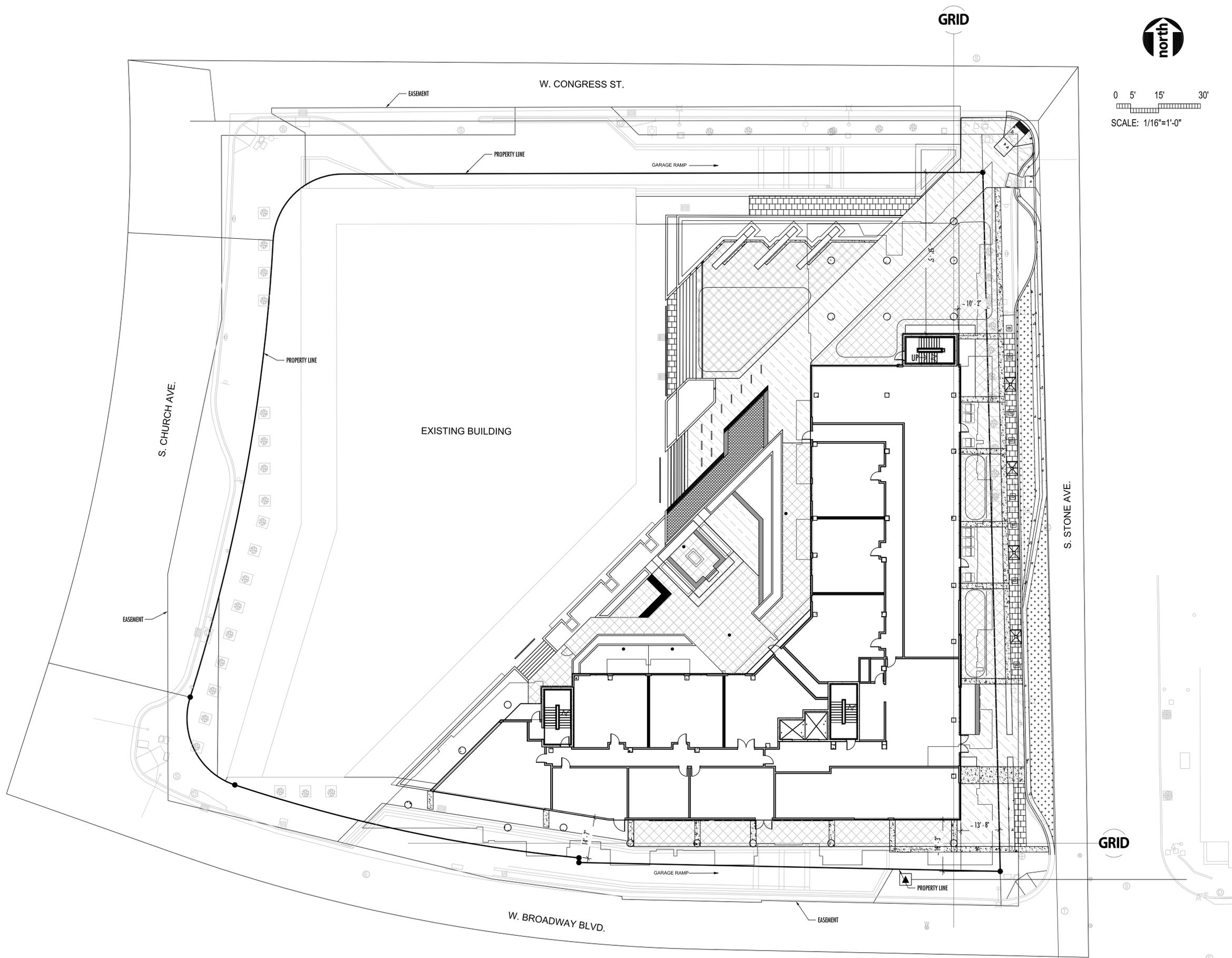
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CHECKED BY MC
PROJECT NO 16118.001
CADD FILE

swaim
ASSOCIATES LTD
ARCHITECTS AIA

7350 EAST SPEEDWAY 210
TUCSON, ARIZONA 85710
OFFICE (520) 326-3700
FAX (520) 326-1148
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PP002
EXISTING
PARKING
LEVEL P2
SCALE As indicated

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PROJECT INFO:

THE EXISTING USE IS VACANT. THE PROPOSED USE FOR THE DEVELOPMENT IS MIXED USE: GENERAL MERCHANDISE - EXCLUDING LARGE RETAIL ESTABLISHMENT AND MULTIFAMILY DEVELOPMENT.

THE GROSS SITE AREA:
33,146.49 SQUARE FEET, OR 0.76 ACRES.

TOTAL BUILDING AREA:
121,512 GROSS SF (EXCLUDING BALCONIES 8,730)
130,242 GROSS SF (INCLUDING OF BALCONIES)
RESIDENTIAL RENTABLE UNITS:
101 TOTAL (6 FLOOR 1 AND 95 FLOORS 2-6)

THE PROPOSED BUILDING HEIGHT = 92' TO TOP OF MECHANICAL PENTHOUSE.

TOTAL PARKING PROVIDED ON-SITE IS 125 SPACES. PROPOSED DEVELOPMENT SUBJECT TO THE DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID) - UDC SECTION 5.12.

NOTE: SOLID WASTE COLLECTION IS PROVIDED INTO PARKING GARAGE LEVEL BELOW. ABOVE GRADE STORAGE WILL NOT BE PROVIDED.



RendezVous urban flats
Development Package
20 SOUTH STONE AVENUE
TUCSON, ARIZONA 85701



OWNER/ DEVELOPER:

AERIE DEVELOPMENT LLC
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TUCSON, AZ 85701
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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
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DEVELOPMENT
PLANNING DEPT.
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PP100
PLAN
OVERALL
SITE
SCALE: 1/16" = 1'-0"