

INFILL INCENTIVE DISTRICT DESIGN PACKAGE for THE FLIN

IID-17-01
T17SA00465

October 2017

Revised: June 2018

June 18, 2018

OWNER

HSL La Placita, LLC
3901 East Broadway Boulevard
Tucson, Arizona 85711

PREPARED FOR

HSL La Placita, LLC
3901 East Broadway Boulevard
Tucson, Arizona 85711



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HSL
PROPERTIES

THE FLIN

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SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS:

X	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
X	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
X	3. Project statement outlining scope of work.
X	4. UDC compliance review comments (obtained at the 1 st floor).
X	5. Pima county assessor’s record parcel detail and record map.
X	6. Color aerial photograph of subject property (if applicable).
X	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
X	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
X	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11”x17”, folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
X	10. Elevations (and contextual elevations if applicable) drawn to scale at 11”x17”, folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
X	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
X	12. PDF of all above listed items (number of hard copies may be required).
X	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11” X 17” format “z” fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.

Project Introduction

With a surge of investment in Tucson’s Downtown Core, long term housing has become important to the future fabric of the area. The increasing employment opportunities and amenities being offered in the Downtown Core are resulting in increased demand for a variety of housing options and lifestyles. The Flin multi-family development project seeks to fulfill that demand by offering a high-density residential transit-oriented development, at one of the major gateway activity corners of Downtown Tucson — Church & Broadway.

The Flin development will offer a distinct residential experience, offering 243 individual units with a mix of Studio, 1, 2, and 3 bedrooms. The project aims to go beyond the current residential offerings within the Downtown Core and provide a product mix that can appeal to a greater population, while offering prospective tenants exceptional access to some of the finest establishments and employment opportunities Tucson has to offer. Bounded to the east by Church Avenue, and the north by Broadway Boulevard, the project site is surrounded by amenities and employment opportunities, including 1 South Church, Fox Tucson Theatre, St. Augustine Cathedral, the Municipal Complex, the Tucson Convention Center, the Tucson Music Hall, and Congress Street to name a few. Conveniently located along the Sun-Link transportation system, the proposed development offers easy access to the entire Central Business District, 4th Avenue, and the University of Arizona.

Development in Tucson, especially the Downtown Core, must preserve the rich cultural history while seeking to obtain an architectural model focused on accommodating the future higher population densities within the Central Business District. This project understands the balance between progress and respect, and aims to incorporate the rich history of the Samaniego House, the Stables, The Flin building, The Eckbo Landscape, and the La Placita Park (Gazebo) into both the public & private framework of the development site.

Being a part of the Infill Incentive District Overlay, comments and questions are welcomed as a part of the Design Review Committee process. This project is committed to bringing long-term value to Downtown Tucson, and looks forward to a positive review process. Please see the following pages representing a snapshot of the proposed Diocese development.

Sincerely,



Matt Stuart
Project Manager
Cypress Civil Development

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THE FLIN



February 19, 2018

Carolyn Laurie
Planning and Development Services
City Of Tucson

RE: The Flin's Project Planning Process

Mrs. Laurie,

The Flin, formerly La Placita Village, was originally conceived in early 2015. Over the last three years, HSL has continuously refined The Flin based on extensive community engagement, site-specific opportunities and constraints, and a deep understanding of the local market. Our project planning process systematically addressed a diverse and inherently complex set of issues associated with large-scale redevelopment in an urban core while also ensuring an economically viable project. Our process has resulted in downtown Tucson's first luxury living community.

Housing demand downtown has been strong in recent years, with vacancy rates hovering around 4% (Downtown Tucson Partnership, 2015). The Downtown Tucson Partnership's Strategic Plan emphasized the need for more housing downtown and to "implement and support aggressive housing and mixed-use development efforts." The Flin will provide 244 units equating to more than 500 residents and increasing the apartment unit supply by almost 19%. This represents nearly half the projected market-rate homes to be developed over a 2-year period within downtown, interjecting much needed life into Tucson's urban core (Downtown Tucson Partnership, Development Report, Summer 2017).

The Flin goes beyond the current residential offerings within Tucson's urban core. It will provide a product mix that appeals to a broader market demographic, offering prospective residents exceptional access to some of Tucson's top recreational and employment opportunities. The Flin's residents will activate downtown streets – walking their dogs, riding bikes, relaxing in the parks or at a café and thus livening an area that historically lacked 24-hour activity. Located along the Sun-Link transportation system, The Flin offers easy access to the entire Central Business District, 4th Avenue, and the University of Arizona. The connectivity to these districts is a fundamental aspect of our development.

The following provides key details involved in HSL's three-year planning process. We address previous concerns by staff and we are confident The Flin will deliver considerable value to downtown and the broader community. Our community engagement efforts during the planning process have created great partnerships with interested parties and neighbors. The Flin successfully balances many community needs and objectives while enabling us to provide an economically viable project.

The Flin Planning Process

Community Engagement

The Flin's planning process included direct engagement with neighboring property owners, community development organizations, as well as state and local government departments. Key community engagement included:

- Presentations to the State Historic Preservation Board as well as the Tucson/Pima County Historical Commission.
- Neighborhood meetings as part of the Infill Incentive District Overlay (IID) process.
- Six Ward Office presentations, twice with the Mayor's office, and twice with the City Manager's office.
- On-going working relationship with stakeholders regarding the Historic Eckbo Landscape (includes Elaine Becherer- City Manager's Office, Helen & Karla – TCC Today), working to ensure demolition and construction does not affect the historic landscape eligibility.
- Outreach to leaders of the local Hispanic community regarding remaining Barrio elements of La Placita, including Lydia Otero and Betty Villegas of Los Descendientes del Presidio de Tucson. Since early 2016, we have actively engaged the group 10-12 times to ensure local residents that the remaining Barrio elements of La Placita Village would remain intact and rehabilitated with the proposed future development.
- The IID and the Development Plan Package (DP) process involved multiple municipal agencies that would be impacted by the proposed development; including but not limited to City of Tucson Planning & Development Services, Economic Development Office, Parks & Recreation, Department of Transportation, Park Tucson, Tucson Fire, Tucson Water, City Manager's office, Historic Preservation Office, and the Tucson Convention Center (among others related to the standard review process).

Finally, HSL has created a website (www.theflin.com) to offer information and answers to commonly asked questions regarding the demolition, proposed development, and preservation efforts. The website will be updated continually as a tool for communication from the start of demolition until certificate of occupancy.

Urban Planning and Design

The Flin's development team has systematically worked through the planning process over a three-year period. We continue to work closely with the neighboring property owners and stakeholders to create an impact that extends beyond the parcel boundaries. With The Flin, we are both developing a new multi-family/commercial project and helping to define a distinct district within the Downtown Core where people will live, work and play. Our project planning process identified several ways to add value and further define the surrounding area as a unique place within downtown:

- HSL continues to coordinate, identify, and remedy any impacts our project might have with the historic Eckbo Landscape. As part of our effort and partnership with the Eckbo Landscape we have made clear our intention that upon the Development Plans approval we will make a donation toward the landscape's rehabilitation, as we not only understand the value the landscape will have on our project and residences, but hope will inspire and leverage future funding opportunities.
- HSL has engaged Poster, Frost, Mirto Architects and ARC Landscaping to assist in making improvements to the City owned and operated La Placita Park. It is our intention to work with the City's Parks and Recreation Department to identify improvement and additional landscape/hardscape opportunities – including possible public artwork, to make the park and surrounding public pedestrian area more user friendly and safe.
- HSL is coordinating with the City of Tucson Department of Transportation (DOT) to improve approximately 250 linear feet of The Flin's streetscape along Church Avenue. The DOT is moving forward with a preliminary design to improve the pedestrian and bicycle facilities within the right-of-way through the use of additional curbing, dedicated bike lanes, new striping, and a landscaped median island, all with the purpose of enhancing the streetscape and creating a more scenic and safer boulevard appearance. HSL has partnered with the Marist on Cathedral Square development team on the proposed Church Avenue improvements and its integration into their respective developments. The preliminary design is integrated into our Development Package and will enhance the streetscape

beyond the budgetary and physical limits of the DOT to increase the curb appeal for future pedestrians and residents.

- HSL intends to make improvements to the La Placita Garage across the street, formerly associated with La Placita Village, the garage is no longer necessary for The Flin. HSL understands the import role the garage plays within the greater Downtown Core context and plans to make visual improvements, such as repainting, as well as operational improvements, in order to better serve the community.

*Attached is Exhibit A depicting these four (4) key areas around our property.

The Flin is consistent with the goals of the Infill Incentive District (IID). The IID “encourages sustainable infill development that supports the creation of urban neighborhoods that are pedestrian and transit-oriented and benefits the IID, the major activity centers in the area, and the City as a whole, while promoting compatibility with existing residential and non-residential properties and neighborhoods.”

In that regard, we strongly believe The Flin exemplifies “... sustainable infill development...” and maintains “...compatibility with (the) existing residential and non-residential properties...” through the redevelopment of an existing blighted development within the Downtown Core. Specifically, The Flin’s utilization of existing foundation walls and underground structures enables the building to maintain the existing developable footprint and setbacks. This is not only important from a feasibility and construction standpoint, but it also maintains the original intended goals of the “Pueblo Center” and development agreement executed in 1980. Moreover, The Flin’s site design respects and incorporates the surrounding context, establishing pedestrian space around the La Placita Park and the Eckbo Landscape and rehabilitating the three (3) eligible to be listed historic structures (Samaniego House, the Flin Building, and the Stables) and incorporating them into the overall development block.

Commercial Development Opportunities and Constraints

Redevelopment projects in urban cores require good bones – a strategic location, parks, transportation and nearby cultural attractions. Each site is unique with different opportunities and constraints and not every site lends itself or needs to have both commercial and residential components. The Flin is surrounded by a wonderfully diverse set of uses – the Tucson Community Center, Leo Rich Theater, Music Hall, bus and streetcar routes, a couple nearby parks, restaurants and an abundance of office buildings. It is not necessary for a development to be successful to have all uses occur in the same building.

The Visit Tucson building located at the southwest corner of Broadway and Church, has an intrinsic relationship with The Flin. Even though it is on a separate parcel and under different ownership the buildings share facilities and a legal relationship. The Visit Tucson building offers over 24,000 square feet of office/commercial space for the block.

Paired with The Flin’s residential component, this “block” has the potential to provide residents with the live/work/play atmosphere desired of a downtown living environment. Recognizing its importance, HSL has invested in considerable alterations and improvements to the Visit Tucson building to ensure continued operational success during demolition and construction, as well as compliance with accessibility and building code standards. This includes the addition of a new elevator, new utility infrastructure, new boiler and chiller, and enhanced safety and fire measures.

The Flin provides almost 5,000 square feet in commercial uses for the development through the adaptive reuse of the historic Samaniego House, the Flin Building, and the Stables. Older and historic areas of Tucson are much more walkable and the “Best of Tucson” can be found where old and new buildings sit side-by-side (Older, Smaller, Better Tucson 2016). Our future uses for these buildings are discussed below.

- *Samaniego House* – Our intent is to market the property and have a restaurant operator highly engaged in the proposed repairs and rehabilitation. Market statistics show a need for residential to support restaurants in this area. We plan to return to TPCHC with a detailed adaptive reuse plan. Landscape treatments will be developed with The Flin as shown on the current development and landscape plans.
- *Stables* – HSL will utilize the Stables as maintenance and amenity space for the proposed apartments. From an operational and management perspective this means the rooms will be utilized for storage of equipment and possibly storage for residents. HSL will return to TPCHC to present more detailed plans of the proposed repairs and rehabilitation.
- *Flin Building* – HSL would like to return the store-front to its original 4 bays, filling in the section that was removed in the 70's. HSL continues to discuss with a coffee shop operator, who expressed strong interest in pursuing a lease agreement, upon development plan and building plan approval. As with the Samaniego House, the preferred operator will more than likely want to incorporate finishes and designs into the construction. We would like to return to TPCHC to present more detailed plans.

It is our intent to rehabilitate the Flin Building and the Stables along with the construction of our new building. These two buildings are incorporated into The Flin and their reuse is critical to our redevelopment project and clearly demonstrates how our planning process included engagement with community stakeholders as well as local governments. We are working with a qualified architect on a preservation plan for the Samaniego House, Stables and Flin Building to be used during demolition and construction.

The site configuration relative to street frontage is another significant factor driving design. The Flin has approximately 254' of street frontage along Church Avenue. The repurposed Samaniego House (commercial) occupies approximately 53' of the street frontage, and the main entrance/office/lobby (commercial) occupies approximately 75' of street frontage – exceeding the 50% minimum requirement. Church Avenue is The Flin's only accessible vehicular entrance, limiting us to where we can place vehicular ingress/egress points, trash, and other necessary utilities. Of the 126' of street frontage left along Church, approximately 66' are provided for those services and access. The remaining 60' of street frontage is indeed a parking area, but is setback and screened from the Church Avenue right-of-way, per the Infill Incentive District design requirements. Attached is Exhibit B depicting the Church Avenue street frontage.

The Flin has approximately 105' of street frontage along Broadway Boulevard, however our building is placed 65' away and over 12' above the street level. This is due to the nebulous nature of the property and the site, including the harsh grade changes and the connection with the Municipal Bridge. The area along Broadway Boulevard serves as a retention basin for hardscape drainage for La Placita Park, Visit Tucson, and The Flin, which is a City of Tucson requirement of the development code for commercial uses. HSL intends improve the area by planting additional landscape and repainting the wall – potentially providing public art opportunities as well.

Impact to Downtown

With Church Avenue on the East and Broadway Boulevard on the North, The Flin site is surrounded by amenities and employment opportunities, including the Fox Tucson Theatre, St. Augustine Cathedral, the Municipal Complex, the Tucson Convention Center, the Tucson Music Hall, and Congress Street to name a few. We want our project to contribute to the revitalization of the downtown's west side, along with the surrounding development projects currently underway - Marist College, St. Augustine, and Rendezvous Lofts.

The ULI Study, performed in 2013, noted that La Placita Village should be removed, as it is an “outmoded and unsuccessful complex.” One goal of our project is to create a mixed-use, multi-family residential community that we can all be proud of and provide residents to have an active and urban lifestyle allowing residents to

incorporate and connect with the cultural and entertainment spaces associated with the Tucson Convention Center, Eckbo Landscape, La Placita Park, and the surrounding neighborhoods. We envision The Flin as providing an essential component to the 'live, work, play' mantra current Tucson residents and future tenants demand of an urban living environment. Additionally, The Flin will provide residents to Downtown with higher disposable incomes which will draw many additional services to the area.

Ultimately, our three-year design process resulted in more than just a multi-family project. The Flin will be a key piece in further defining this area of downtown, incorporating elements of historic preservation and adaptive reuse, blending with complementary commercial and civic uses to create a truly mixed use district within downtown, integrating and activating the Historic Eckbo Landscape, and critically, also delivering an economically viable project to the market.

Sincerely,



Teresa Vasquez
HSL Properties, Inc.

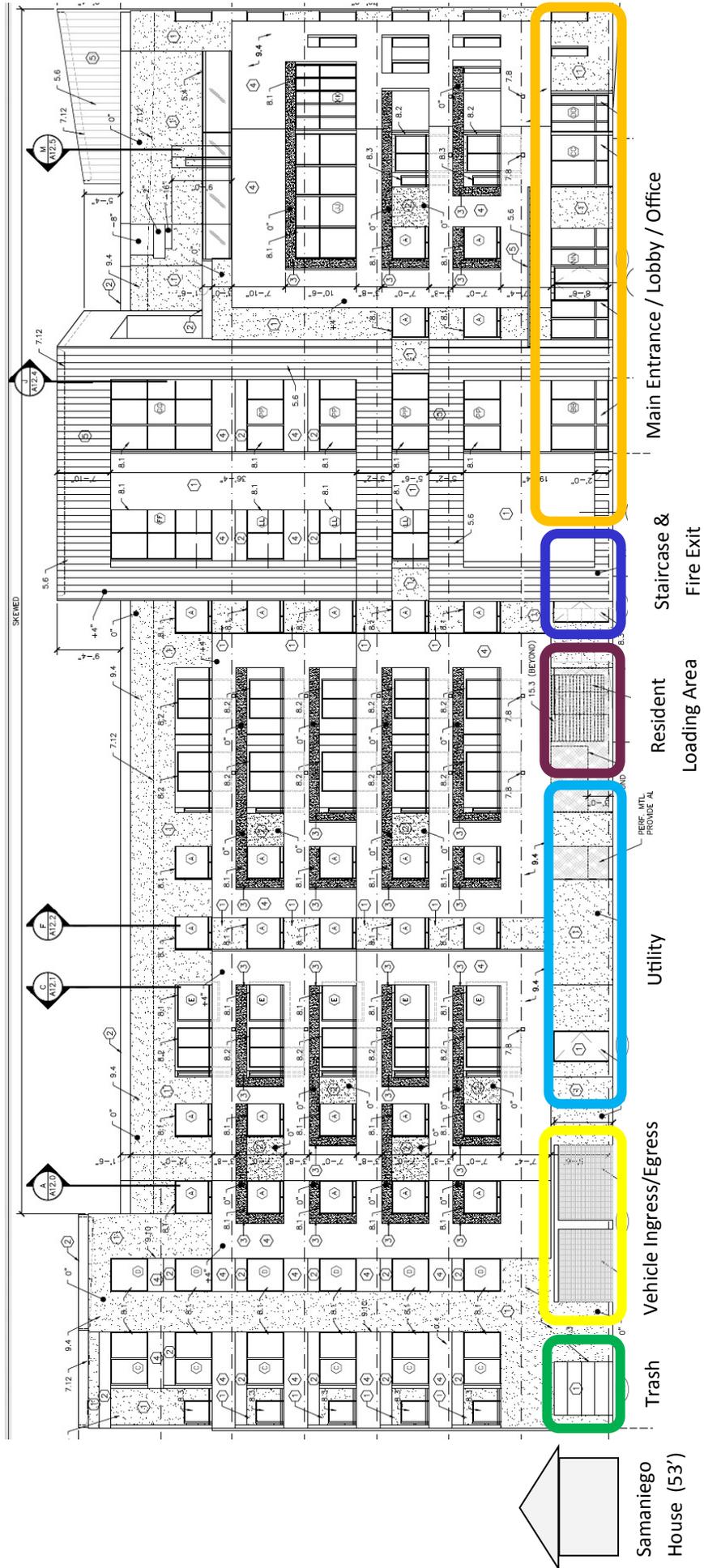
CC: Lynne Birkinbine
Maria Gayosso

Exhibit A



1. Historic Eckbo Landscape
2. City of Tucson, La Placita Park
3. Church Avenue
4. La Placita Parking Garage

Exhibit B



EXISTING PHOTO INDEX

The following pages show images taken from various locations adjacent to The Flin development area. Please refer to this page to orient the following photos with the surrounding area.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along Broadway Boulevard — looking east. This photo displays the existing streetscape adjacent to the property.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along Broadway Boulevard — looking west. This photo displays the existing streetscape adjacent to the property.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, along Broadway Boulevard — looking south. This photo displays the existing streetscape and infrastructure as part of the La Placita Public Park and access to The Flin and The Stables.



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NORTHCENTRAL

This picture displays the existing conditions at the northcentral corner of the site, adjacent to La Placita Park — looking north. This photo displays the existing streetscape of the Park area to remain in place.



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NORTHCENTRAL

This picture displays the existing conditions at the northcentral corner of the site, adjacent to La Placita Park — looking east. This photo displays the existing Visit Tucson building and the streetscape of the Park area to remain in place.



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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Church Street—looking south. This photo displays the existing streetscape along Church.



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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Chuch Street—looking north. This photo displays the existing streetscape and architecture of the Visit Tucson building to remain in place.



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SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site, along Church Street—looking north. This photo displays the existing streetscape Church Street.



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SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site, along Church Street—looking west. This photo displays the existing hardscape along the Fire Access Lane.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site—looking east. This photo displays the existing hardscape along the Fire Access Lane.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site—looking east. This photo displays the existing hardscape adjacent to Eckbo Park.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site—looking east. This photo displays the existing hardscape adjacent to Eckbo Park.



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INFILL INCENTIVE DISTRICT RESPONSES:

The following letters provide a description outlining the proposed scope of work for THE FLIN – mixed use/multi-family development as it relates to the Downtown Area Infill Incentive District (IID) overlay zone:

The Flin development project is located at the southwest corner of Broadway Boulevard and Church Avenue within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the DCS, the Development will be required to comply with the following:

- 1) Permitted uses listed within Section 5.12.9.A;
Mixed Use – Multi-family & Retail Trade
- 2) Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID’s Development Transition Element requires less;
Allowable height OCR-2 = 300’
- 3) Demolition and façade alteration standards and review requirements in accordance with UDC Section 5.8.10, Demolition of Historic Properties, Landmarks, and Structures of the Rio Nuevo Area and Infill Incentive District;
The Samaniego House, The Stables, and The Flin Building will not be demolished as part of IID process
- 4) When provided, landscaping shall be in accordance with the City’s drought-tolerant plant list;
Plants have been selected from approved list
- 5) Bicycle parking shall be provided when motor vehicle parking is provided; The required number of bicycle parking spaces may be reduced pursuant to Section 5.12.8.E;
Short-term bicycle parking reduction request
- 6) Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation;
No Native Plants to be removed

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DOWNTOWN CORE SUBDISTRICT (DCS) NARRATIVE:

1. STATE THE APPLICANT'S INTENTION TO USE THE IID ZONING OPTION IN LIEU OF EXISTING UNDERLYING ZONING;

Response: It is the intent of the proposed development to use the IID zoning option in lieu of the underlying zoning in order to maximize the site's location as it pertains to creating a sustainable, transit-oriented infill development project; that offers a pedestrian friendly environment, takes advantage of the Tucson Sun-Link transportation system, and provides a much needed boost to the Downtown Core and the major Congress/Broadway activity center. The project seeks the following modifications permitted through the use of the IID overlay zone:

Major Streets and Routes Setback Zone – Per UDC Section 5.12.5.C.1 – relief from the MS&R setbacks is allowed for projects within the DCS. The proposed project is located within the DCS, and as such, the proposed development seeks relief from the requirements of the Major MS&R setbacks. Doing so creates a unique pedestrian friendly environment that maximizes the development footprint with setbacks and perimeter yards congruent with adjacent parcels and the current development pattern.

Minimum Perimeter Yard – Per UDC Section 5.12.10.C.2 – relief from the minimum perimeter yard standard is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain a building footprint that is congruent with the surrounding buildings within this development zone. Also, in order to create a unique pedestrian friendly environment that maximizes the transit-oriented development's footprint, relief from the minimum perimeter yard requirement is necessary.

Landscaping/Screening – Per UDC Section 5.12.10.C.7 – relief from landscaping and screening standards is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain a building footprint that is congruent with the surrounding buildings within this development zone. Also, in order to create a unique pedestrian friendly environment that maximizes the transit-oriented development's footprint, relief from the landscaping and screening requirement is necessary. Where available and applicable, drought tolerant trees and plants will be installed or left in place to maintain the minimum 50% shade coverage for pedestrian paths.

Native Plant Preservation – Per UDC Section 5.12.10.C.8 – relief from Native Plant Preservation standards is allowed for projects within the DCS. The proposed project does not contain a drainage corridor or any native plants on the project site.

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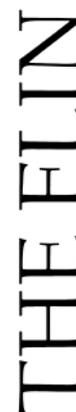
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Motor Vehicle Parking – Per UDC Section 5.12.10.C.5 – relief from minimum vehicular and bicycle parking standards is allowed for projects within the DCS. The proposed project is located within the DCS and Downtown Parking District, as such; the proposed development seeks relief from the UDC requirements for on-site Motor Vehicle Parking as it relates to the prohibition of compact and tandem parking spaces, minimum vehicular use area dimensions, and the number of spaces. Currently, only within parking structures of the Main Gate Overlay District are compact parking spaces and tandem parking spaces allowed for a residential, mixed-use building. UDC Article 7.4.6.D requires 90 degree parking to be 8.5 feet in width and 18 feet in length. This development seeks to utilize a reduced minimum parking space width of 7.5 feet (while maintaining the 18 foot length) to accommodate structural infrastructure necessary to support the podium development. This development also seeks to utilize tandem parking spaces for multi-family residential development, a use currently not allowed within UDC Article 7.4.6.3. This development also seeks to modify the vehicular use area dimensions as outlined in UDC Article 7.4.6.D.2 in regard to vertical obstructions as previously outlined in the Main Gate Overlay District, to allow for the protrusion of parking structure columns up to 6 inches into the clear area width.

Lastly, this project seeks to modify the overall parking calculation. Per UDC Table 7.4.4-1, the development site requires 354 parking spaces. Under the Downtown Parking District per UDC Article 7.4.5.B, the development site requires 267 parking spaces. The site currently provides 278 parking spaces. Other downtown parking options are also available to the development, including on-street metered spaces and within the La Placita Garage across Church Avenue from the development site.

These modifications allow the development to utilize the existing foundation pattern and walls to meet the Downtown Parking District vehicular parking requirements as outlined in the UDC.

Bicycle Parking – Per UDC Section 5.12.8.E.2.b – reduction in the number bicycle parking spaces may be allowed by the PDSD Director depending on the use, setting, and intensity of the proposal. This project seeks to reduce the short-term bicycle parking in and around the overall development site from 48 spaces to 26 spaces. The proposed use provides a reduction in overall visitor traffic in comparison to the previous commercial/office use; therefore, long-term bicycle parking is emphasized for residents within their individual units, and within a secure room in the parking garage for retail/commercial employees. Visitor short term bicycle parking is maximized and focused for the intended use at the 2 main entry points, along Church Avenue and at the west entry along Eckbo Landscape. This maintains a pedestrian friendly environment, free of potential bike/pedestrian conflict within the greater



central core/common area of the development - which includes the adjacent La Placita Park.

Environmental Services – Per UDC Section 5.12.10.D.2 – modifications to the on-site refuse collection standards are allowed for projects within the DCS. Due to the site’s constraints, and the building’s design to create a sustainable, transit-oriented development, a modification is necessary to accommodate the recycle and waste removal. Waste and recycle containers will remain hidden from pedestrian view during normal business hours through storage options within the architectural footprint, providing easy and secure access for tenants and building management. A loading zone will be designated along Church Avenue adjacent to the Parking and vehicular entry point, for the purposes of Environmental Services pickup. A management plan will be implemented, and as part of building managements responsibilities, they will be required to escort the trash containers from the on-site trash enclosure to the pickup location along Church Avenue and return said enclosures following pickup.

Pedestrian Access – Per UDC Section 5.12.9.C.6 – This project seeks to modify the requirements of pedestrian access. Due to the relative short property frontage along Broadway Boulevard, and the drastic elevation change within this area, pedestrian access from the new development is directed to the public areas accessible from Broadway Boulevard – Eckbo Landscape and La Placita Park. Both public spaces have direct access to Broadway Boulevard as well as the ability to connect pedestrians to Church Avenue to the east and the Tucson Convention Center complex to the south. Shade will continue to be provided along sidewalks, pedestrian circulation paths, and outdoor patios in accordance with Section 5.12.8.A.2.

2. *DESCRIBE HOW THE PROJECT IS CONSISTENT WITH THE IID PURPOSE TO CREATE SUSTAINABLE INFILL DEVELOPMENT;*

Response: This project aims to create 243 multi-family residential units with approximately 4,500 square feet of restaurant and retail space on approximately 2.5 acres of land with the Downtown Core Subdistrict. This development supports the existing commercial, retail, and office development within the Downtown Core by providing workers and consumers a unique downtown housing and dining opportunity. Ideally positioned along the Tucson Sun-Link transportation system, the proposed project is a model for transit-oriented development, and will be able to provide easy accessibility to, and from, the Tucson Central Business District, the vibrant 4th Avenue, and the University of Arizona. The project site is surrounded by amenities and employment opportunities, including 1 South Church, Fox Tucson Theatre, St. Augustine Cathedral, the Municipal Complex, the Tucson Convention Center, the Tucson Music Hall, and Congress Street to name a few.



3. *DESCRIBE THE BENEFITS THE PROJECT WILL BRING TO THE ADJACENT PROPERTIES AND THE SURROUNDING AREA;*

Response: This project will increase consumer traffic within an area lush with restaurant, retail, and office employment centers, both new and old, within Tucson’s Downtown Core Subdistrict. This project replaces an underutilized office complex with residential and dining opportunities, meeting the increasing demand of the general population to relocate to an urban environment and experience the various amenities offered. It is ideally located adjacent to the Tucson Convention Center and the Tucson Music Hall, bringing residents to an area of downtown that has historically lacked the 24 hour activity we seek within the Downtown Core and Rio Nuevo Area. The result is an improved built environment that provides a pedestrian friendly streetscape, compatible with the existing Eckbo Landscape and La Placita Park, accessibility to alternative modes of transportation, and architectural features that offer a more modern visual appeal than the existing development.

4. *DESCRIBE ANY SIGNIFICANT ADVERSE EFFECTS, SUCH AS NOISE LEVELS, GLARE, ODORS, VIBRATION, ILLUMINATION, FUMES AND VAPORS, THE PROJECT WILL HAVE ON ADJACENT PROPERTY;*

Response: Noise levels, illumination, vibration, fumes and vapors, and odors associated with this project would be no different than those associated with the existing surrounding businesses. The proposed uses – restaurant and predominantly residential, are relatively low intensity uses, and comparable to those being implemented by adjacent properties (see 1 West Broadway, Rendezvous Lofts, Marist College, Westerner). It is not only in the best interest of building management, but also their goal, to be cautious in leasing the restaurant/convenience space to those operations that may conflict with the quiet, peaceful nature of the residences.

The Samaniego House, The Stables, and The Flin Building will remain intact and be renovated per the Secretary of Interior’s Standards. Sensitive demolition techniques (i.e. no wrecking ball or blasting) are being utilized to deconstruct the current office development complex. Specific measures are in place to ensure any potential damage is mitigated to the maximum extent possible and the public areas, such as Eckbo Landscape and La Placita Park, remain accessible to the general public.

5. *DESCRIBE HOW THE PROJECT WILL CREATE A PEDESTRIAN-ORIENTED STREETScape IN COMPLIANCE WITH THE STREET STANDARDS (UDC SEC. 5.12.8.A);*

Response: The proposed development has limited street frontage, making it a challenge to provide the necessary infrastructure and accessibility that is typically



required for a development of this scale. As such, greater effort was paid to providing appropriate pedestrian-oriented scale along the non-vehicular use areas of the development. The proposed development has approximately 254' of street frontage along Church Avenue. Of that, the repurposed Samaniego House (commercial) occupies approximately 53' of the street frontage, and the main entrance/office/lobby (commercial) occupies approximately 75' of street frontage – exceeding the 50% minimum. As this is the only accessible entrance for the project, we are indeed limited in where we can place vehicular ingress/egress points, trash, and other necessary utilities. Of the 126' of street frontage left along Church Avenue, approximately 66' are provided for those services and access. The remaining 60' of street frontage is indeed a parking area, but is setback and screened from the Church Avenue right-of-way.

Along Broadway Boulevard, the project has approximately 105' of street frontage, however the proposed buildings are placed 65' away and over 12' above the street level. This is due to the nebulous nature of the property and the site, including the harsh grade changes, the Municipal Bridge, and the Sun Link Streetcar infrastructure. As such, the cost of development for this street frontage has proven to impose harsh economic barriers as well as tremendous difficulty in construction without having to significantly impact and disrupt the already established infrastructure in the vicinity. This area also currently serves as retention for hardscape drainage related to La Placita Park, Visit Tucson, and this development, which is a necessary requirement of the City of Tucson development code for commercial uses.

The project will provide architectural elements and details on all floor levels, ensuring any single plane of façade at the street level is no longer than 50 linear feet without being broken up by additional architectural detail. The horizontal lines of the first floor will closely resemble the height and lines associated with the existing Samaniego House, The Stables, and The Flin Building. The building mass is punctuated by balconies consisting of both recessed and projecting elements. The recesses add a degree of privacy, while the combination with projection adds both depth and shadow interplay to the façade. The building mass both steps down and is broken at the parapet line with 2-story loft units, creating a varied silhouette at the skyline.

The streetscape will provide shaded opportunities by way of the recessed and projecting architectural elements, along with trees and various planters to assist in reducing the variable heat island effect. The existing varied paving along Broadway Boulevard and the proposed varied paving along Church Avenue will offer an enhanced pedestrian environment along with the Eckbo Landscape and La Placita Park.

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ARCHITECTS, P.C.

FLIN
PROPERTIES

THE FLIN

Entrances will be visible and identifiable from both Church Avenue and the Eckbo Landscape through the use of illumination, graphics, or other unique details. Parking is located within the interior of the site and will be screened accordingly through the use of the building's architecture, ensuring the view from the street level of parked vehicles is limited.

6. *DESCRIBE HOW THE PROJECT WILL SUPPORT A SAFE STREETScape COORDINATED WITH ADJOINING PROPERTIES;*

Response: Vehicular traffic into the property will be limited to a single ingress and egress location along Church Avenue. The single entry/exit for vehicles focuses travel to a predictable location for pedestrians, all but eliminating pedestrian/vehicle conflict along the major arterial – Broadway Boulevard. This design improves the ability for pedestrian users to anticipate vehicle movements and increases caution at the conflict point, while offering a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized.

7. *DESCRIBE HOW THE PROJECT WILL TRANSITION TO ADJACENT EXISTING RESIDENCES AND PROVIDE MITIGATION IN COMPLIANCE WITH THE DEVELOPMENT TRANSITION STANDARDS (UDC SEC. 5.12.8.B);*

Response: The Development Transition standards do not apply to this project as this development does not abut any residences lying outside of the Downtown Core Subdistrict.

8. *INDICATE WHETHER THE PROJECT WILL SIGNIFICANTLY IMPEDE SOLAR ENERGY OPTIONS TO ADJACENT PROPERTIES;*

Response: In the Downtown Core Subdistrict, future development is zoned for higher intensity developments. This project's underlying zoning is OCR-2, which allows for construction up to 300 feet in height respectively. The project is proposing a building height of 82 feet, less than 1/3 of the maximum allowable height under the OCR-2 zoning. Being in the northern hemisphere, it is recommended that solar panels are oriented in a southerly fashion. The proposed project will not impede the existing adjacent parcels, to the west and south from exploring solar energy options in the future.

9. *DESCRIBE THE TYPES OF DROUGHT TOLERANT AND NATIVE LANDSCAPING THAT WILL BE USED IN THE PROJECT AND HOW IT WILL BE USED TO ENHANCE THE PROJECT;*

Response: This project is within the Downtown Core Subdistrict and will be proposing the use of drought tolerant trees/shrubs per the approved City of Tucson

Plant List, as well as those species recommended within the Downtown Streetscape Interim Policy. As a result, the potable water demand ratio for this project per square foot of usable space will be drastically lower than the typical City of Tucson commercial retail and lodging project ratio.

THIS PROJECT REQUESTS REDUCTIONS IN PARKING AND THEREFORE MUST RESPOND TO THE FOLLOWING:

1. *DEMONSTRATE HOW THE PROPOSED REDUCED OFF-STREET MOTOR VEHICLE PARKING WILL NOT HAVE AN ADVERSE IMPACT ON ADJACENT PROPERTIES;*

Response: This project lies within the Downtown Core Subdistrict and is surrounded by arterial and collector streets. The new development will incorporate garage parking, exceeding the parking requirements as outlined in the Downtown Parking District section of the UDC. Also, other urban parking options are available, including metered on-street spaces and spaces within the La Placita garage on the eastside of Church Avenue.

2. *DEMONSTRATE HOW TRAFFIC GENERATED BY THE OFF-STREET MOTOR VEHICLE PARKING PROPOSED IN THE MDR APPLICATION DOES NOT BURDEN NEIGHBORING RESIDENTIAL STREETS;*

Response: (SAME AS RESPONSE #1) This project lies within the Downtown Core Subdistrict and is surrounded by arterial and collector streets. The new development will incorporate garage parking, exceeding the parking requirements as outlined in the Downtown Parking District section of the UDC. Also, other urban parking options are available, including metered on-street spaces and spaces within the La Placita garage on the eastside of Church Avenue.

These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,
Cypress Civil Development



Matt Stuart
Project Manager

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

RIO NUEVO DISTRICT (RND) NARRATIVE:

Building Design Standards – UDC section 5.12.7

1. *THE PROPOSED BUILDINGS SHALL RESPECT THE SCALE OF THOSE BUILDINGS LOCATED IN THE DEVELOPMENT ZONE AND SERVE AS AN ORDERLY TRANSITION TO A DIFFERENT SCALE. BUILDING HEIGHTS WITH VASTLY DIFFERENT SCALE THAN THOSE ON ADJACENT PROPERTIES SHOULD HAVE A TRANSITION IN SCALE TO REDUCE AND MITIGATE POTENTIAL IMPACTS. IN AREAS UNDERGOING CHANGE, LONG-RANGE PLANS SHOULD BE CONSULTED FOR GUIDANCE AS TO APPROPRIATE HEIGHTS;*

Response: The project is zoned OCR-2, allowing for a maximum height of up to 300 feet. However, to reduce the impact on the surrounding developments and to maintain an appropriate scale, the new building will be at a maximum height of approximately 82 feet, less than 1/3 of the allowable and underlying zoning height. This height is of similar scale to the recently approved downtown developments adjacent to the project site (see 1 West Broadway, Rendezvous Lofts, Marist College, Westerner, Arizona Hotel).

As the building moves north along Church Avenue, the general building mass steps down, providing a balance and scale when adjacent to the existing Visit Tucson building at the intersection corner. The west lobby entry along the Eckbo Landscape provides a vertical opening between the 2 buildings, allowing light and visual perspectives for both residences and the general public toward the interior of the site as well as the Stables and Flin Building.

2. *ALL NEW CONSTRUCTION SHALL MAINTAIN THE PREVAILING SETBACK EXISTING WITHIN ITS DEVELOPMENT ZONE;*

Response: As part of the Downtown Core Subdistrict, this project may request an exemption from Perimeter Yard Setback standards. The existing development and the remaining Visit Tucson building, along with existing development within the same general area (see 1 West Broadway, Rendezvous Lofts, Marist College, Westerner), maintain a zero lot line setback. The new building will be utilizing the existing foundation walls as the general footprint, providing minimal setbacks and providing congruency with the development zone.

3. *ALL NEW CONSTRUCTION SHALL PROVIDE SCALE-DEFINING ARCHITECTURAL ELEMENTS OR DETAILS AT THE FIRST TWO FLOOR LEVELS, SUCH AS WINDOWS, SPANDRELS, AWNINGS, PORTICOS, CORNICES, PILASTERS, COLUMNS AND BALCONIES;*



Response: The overall building design emphasizes a horizontal theme, consistent with historical and modern downtown developments. The articulated masses of the building appear to be floating on top of the first and second levels, holding a pronounced architectural line cohesive with the adjacent and remaining structures on-site. Projecting elements, overhangs, recessed balconies, and larger windows along the ground floor provide an inviting visual scale to complement the lobby and other pedestrian accessible openings.

4. *EVERY COMMERCIAL BUILDING FRONTAGE SHALL PROVIDE WINDOWS, WINDOW DISPLAYS, OR VISIBLE ACTIVITY WITHIN THE ADJACENT BUILDING AT THE GROUND FLOOR LEVEL, WITH A MINIMUM OF 50 PERCENT OF THE BUILDING FRONTAGE PROVIDING SUCH FEATURES;*

Response: The proposed development has limited street frontage, making it a challenge to provide the necessary infrastructure and utility accessibility that is typically required for a development of this scale. As such, greater effort was paid to providing appropriate pedestrian-oriented scale and visible activity along the public and pedestrian use areas. The streetscape along Church Avenue will contain oversized storefront windows to accentuate the the lobby and leasing office, along with the vehicular ingress/egress point, screened parking, and the renovation of the Samaniego House. Along the pedestrian use areas of the Eckbo Landscape and La Placita Park, visible activity will be provided through the use and renovation of The Stables and The Flin Building, along with larger windows and private patios for residents.

5. *A SINGLE PLANE OF FAÇADE AT THE STREET LEVEL MAY NOT BE LONGER THAN 50 WITHOUT ARCHITECTURAL RELIEF OR ARTICULATION BY FEATURES SUCH AS WINDOWS, TRELLISES AND ARCADES;*

Response: Architectural relief has been detailed on all sides of the building, ensuring any single plane of façade at the street level does not extend further than 50 feet. See included elevation following this narrative

6. *BUILDING FAÇADE DESIGN SHALL INCLUDE PEDESTRIAN-SCALED, DOWN-SHIELDED, GLARE CONTROLLED EXTERIOR BUILDING AND WINDOW LIGHTING;*

Response: Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture without distracting from the elements of the façade, but also be in full compliance with the Dark Sky Ordinance.

7. *THE FRONT DOORS OF ALL COMMERCIAL AND GOVERNMENT BUILDING SHALL BE VISIBLE FROM THE STREET AND VISUALLY HIGHLIGHTED BY GRAPHICS, LIGHTING, MARQUEES, OR CANOPIES;*

Response: The main pedestrian entries for the residential units will be from Church Avenue to the east, and along the Eckbo Landscape to the west, via Broadway Boulevard. It will be highlighted by oversized storefront windows which will provide and promote a pedestrian friendly refuge environment. A large, steel number “110” will be located and lighted adjacent to the main lobby along Church Avenue to announce the address, and a more pronounced sign will be provided above the entry indicating the developments marketing name, “The Flin.”

8. *MODIFICATIONS TO THE EXTERIOR OF HISTORIC BUILDINGS SHALL COMPLIMENT THE OVERALL HISTORIC CONTEXT OF THE DOWNTOWN AND RESPECT THE ARCHITECTURAL INTEGRITY OF THE HISTORIC FAÇADE;*

Response: This project consists of a combination of new building construction as well as the renovation of eligible for listing structures. The Samaniego House, The Stables, and The Flin Building were all evaluated and deemed eligible for listing in the State and National Registers of Historic Places by the State Historic Preservation Officer. This statement was confirmed, memorialized, and concurred in separate letters dated June 29, 2016 and March 15, 2018 from City of Tucson Historic Preservation Office and State Historic Preservation Office. In addition, the development team presented the aforementioned letter and a preliminary design package to the Tucson/Pima County Historical Commission’s Plans Review Subcommittee for conceptual approval, which was granted subject to certain design principles (see Appendix 4).

It is the developments intent to integrate these eligible to be listed buildings architecturally and functionally with the proposed new development. Any proposed renovations to these structures will be to the Secretary of Interior’s Standards.

An architect with a historical background has been retained and has performed a Preservation Plan for the three eligible to be listed for historic structures. This plan also includes a Treatment and Use Analysis, which identifies recommended Preservation Treatment for the buildings, and identifying Character Defining Elements (CDE’s) related to conveying the significance of the building.

9. *BUILDINGS SHALL BE DESIGNED TO SHIELD ADJACENT BUILDINGS AND PUBLIC RIGHTS-OF-WAY FROM REFLECTED HEAT AND GLARE;*

Response: Architectural details and features such as recessed windows, and other façade variations are represented throughout the design, and provide both depth and shadow interplay to the building appearance. Glazing on the upper level windows will reduce not only the infiltration, but drastically reducing the reflective glare and impact on the surrounding buildings. The proposed building will be within the existing La Placita office complex development, utilizing the existing foundation walls as a footprint. This design will provide consistency and adversely affect adjacent buildings and rights-of-way.

10. *SAFE AND ADEQUATE VEHICULAR PARKING AREAS DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIANS AND BICYCLES SHALL BE PROVIDED;*

Response: Vehicular traffic into the property will be limited to a single ingress and egress location along Church Avenue. The single entry/exit for vehicles focuses travel to a predictable location for pedestrians, all but eliminating pedestrian/vehicle conflict along the major arterial – Broadway Boulevard. This design improves the ability for pedestrian users to anticipate vehicle movements and increases caution at the conflict point, while offering a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized.

11. *ADEQUATE SHADE SHALL BE PROVIDED FOR SIDEWALKS AND PEDESTRIAN PATHWAYS, USING SHADE STRUCTURES OR VEGETATION, WHERE PERMITTED BY THE CITY OF TUCSON;*

Response: This project will utilize a combination of architectural building features and new canopy trees to provide adequate shading for pedestrians.

12. *COLORS MAY CONFORM TO THE OVERALL COLOR PALLETTE AND CONTEXT OF THE DOWNTOWN AREA OR SUBAREA OR MAY BE USED EXPRESSLY TO CREATE VISUAL INTEREST, VARIETY, AND STREET RYTHMS. THE RATIONALE FOR AN EXPRESSIVE OR IDIOSYNCRATIC USE OF COLOR SHALL BE DESCRIBED IN THE SITE PLAN SUBMITTAL;*

Response: The color palette for this project will adhere to the existing color scheme prevalent within the downtown development area (see Elevations and Material Board). The proposed palette will feature a natural color tone with a variety of browns and greys, and utilizing warmer colors to accentuate and highlight architectural features. Materials to be used include but are not limited to stucco, glass, concrete and steel.

13. *NEW BUILDINGS SHALL USE MATERIALS, PATTERNS, AND ELEMENTS THAT RELATE TO THE TRADITIONAL CONTEXT OF THE DOWNTOWN AREA OR SUBAREA;*

Response: Stucco, glass, and steel are all materials prevalent throughout the Downtown area. This project intends to feature all of these materials as major architectural elements throughout the building façade.

14. *TWENTY-FOUR HOUR, STREET LEVEL ACTIVITY IS ENCOURAGED BY PROVIDING A MIXTURE OF RETAIL, OFFICE AND RESIDENTIAL USES WITHIN EACH BUILDING;*

Response: This project proposes a combination of multi-family residential dwellings and restaurant/retail uses. Along with the surrounding public spaces, this will provide activity during both normal working hours and evening social hours.

15. *PRIMARY PUBLIC ENTRIES SHALL BE DIRECTLY ACCESSED FROM A SIDEWALK ALONG A STREET RATHER THAN FROM A PARKING LOT. PUBLIC ACCESS TO COMMERCIAL AND GOVERNMENTAL BUILDINGS SHALL BE PROVIDED AT SIDEWALK GRADE. THE PRIMARY FLOOR OR, AND ACCESS TO, RESIDENTIAL STRUCTURES MAY BE ELEVATED. SECONDARY ACCESS MAY BE PROVIDED FROM OFF-STREET PARKING AREAS;*

Response: The main pedestrian entries for the residential units will be from Church Avenue to the east, and along the Eckbo Landscape to the west, via Broadway Boulevard. It will be highlighted by oversized storefront windows which will provide and promote a pedestrian friendly refuge environment. A large, steel number “110” will be located and lighted adjacent to the main lobby along Church Avenue to announce the address, and a more pronounced sign will be provided above the entry indicating the developments marketing name, “The Flin.”

Site Design Standards:

1. *VEHICULAR CIRCULATION;*

Response: See Development Plan. Vehicular ingress and egress is limited to a single access point off of Church Avenue. All vehicular circulation will be contained within the development footprint of a parking garage at, or below, ground level.

2. *PARKING;*

Response: See Development Plan. Parking is provided on-site within the development footprint through the use of a parking garage. Spaces are provided at, or below, ground level.

3. *PLAZAS AND OPEN SPACE;*

Response: See Development Plan. Plaza and Open Space is integrated into the development footprint, and provides permeability and accessibility between the La Placita Park, Eckbo Landscape, and the development project itself. In addition, Plaza and Open Space is created around the eligible to be listed historic structures to provide not only maintenance relief but also an environment to highlight their respected heritage and history.

4. *STREETSCAPE;*

Response: See Development Plan, Color Building Elevation, and Downtown Streetscape Interim Policy response.

General Restrictions:

1. *NEW DRIVE-IN OR DRIVE-THROUGH FACILITIES ARE NOT PERMITTED, EXCEPT FOR BUSINESSES LOCATED ADJACENT TO THE FREEWAY, OR AS APPROVED THROUGH THE DEVELOPMENT REVIEW PROCESS;*

Response: This project will not have any drive-in or drive-through facilities.

2. *USES SHALL BE ACCOMODATED WITHOUT ALTERING THE HISTORIC CHARACTER-DEFINING FEATURES OF STRUCTURES ON OR ELIGIBLE FOR DESIGNATION ON THE NATIONAL REGISTER;*

Response: This project consists of a combination of new building construction as well as the renovation of eligible for listing structures. The Samaniego House, The Stables, and The Flin Building were all evaluated and deemed eligible for listing in the State and National Registers of Historic Places by the State Historic Preservation Officer. This statement was confirmed, memorialized, and concurred in separate letters dated June 29, 2016 and March 15, 2018 from City of Tucson Historic Preservation Office and State Historic Preservation Office. In addition, the development team presented the aforementioned letter and a preliminary design package to the Tucson/Pima County Historical Commission's Plans Review Subcommittee for conceptual approval, which was granted subject to certain design principles (see Appendix 4).

It is the developments intent to integrate these eligible to be listed buildings architecturally and functionally with the proposed new development. Any proposed renovations to these structures will be to the Secretary of Interior's Standards to the greatest extent possible and reverse inappropriate alterations made during the original La Placita development.

Samaniego House – The intent is to market the property to a restaurant operator, who will be involved with the preservation and rehabilitation process. Market statistics show a need for residential uses within the area to support a new restaurant. The development team proposes to return to the Tucson/Pima County Historical Committee’s Plans Review Subcommittee with a detailed adaptive reuse plan in conjunction with the restaurant operator. A Preservation Plan will be implemented during demolition and construction of the new development, and landscape treatments will be developed as detailed within the Development Plan and Landscape Plan.

Stables – The intent will be to utilize the Stables as maintenance and amenity space for the proposed multi-family development. From an operational and management perspective this means the Stables and their individual rooms will be utilized for storage of equipment and possibly storage of residents. A Preservation Plan will be implemented during demolition and construction of the new development, and landscape treatments will be developed as detailed within the Development Plan and Landscape Plan.

Flin Building – The intent is to return the store front to its original 4 bays, and fill in the section that was removed in the 70's. A coffee shop operator has been identified and expressed strong interest in pursuing a lease agreement upon Development Plan approval. As with the Samaniego House, the preferred operator will more than likely want to incorporate finishes and designs into the construction. A Preservation Plan will be implemented during demolition and construction of the new development, and landscape treatments will be developed as detailed within the Development Plan and Landscape Plan.

These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

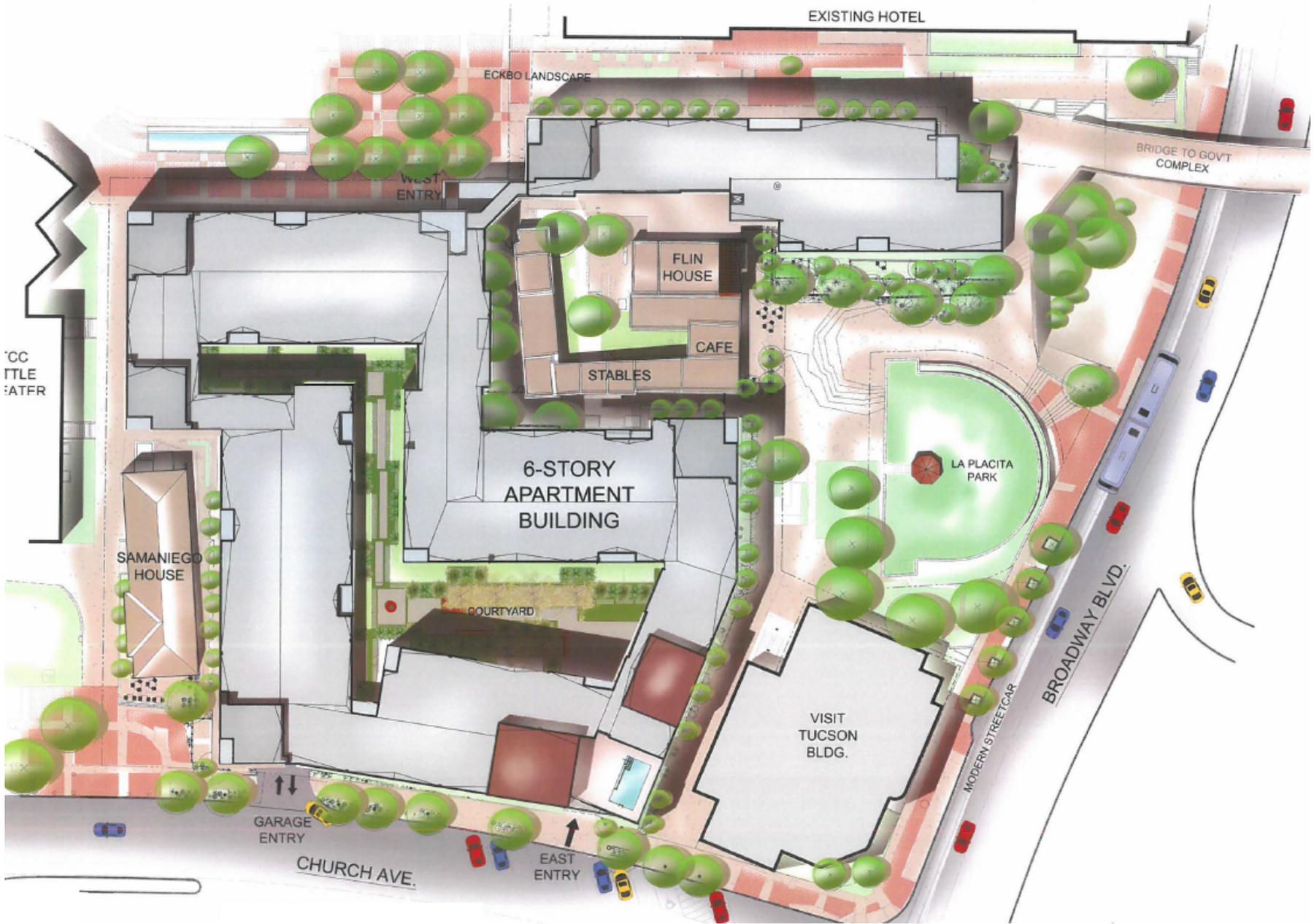
CYPRESS
CIVIL DEVELOPMENT

EGLIN+BRESLER
ARCHITECTS, P.C.



THE FLIN

SITE PLAN



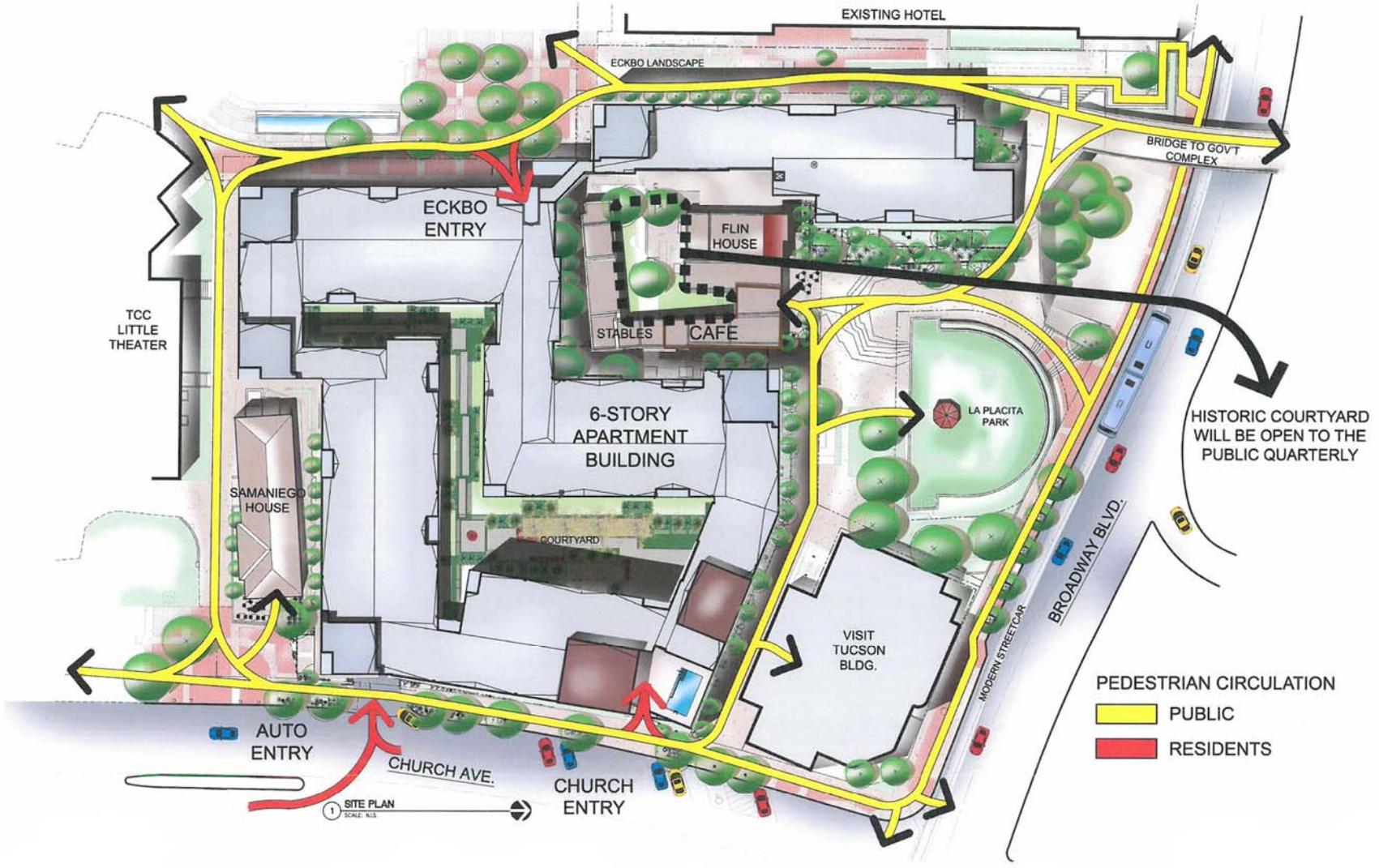
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43

THE FLIN



PEDESTRIAN CIRCULATION PLAN



ELEVATIONS



THE FLIN



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PERSPECTIVE-3 (Church Ave. from North)

THE FLIN



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CIVIL DEVELOPMENT



PERSPECTIVE-1 (Church Ave. from South)

THE FLIN



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PERSPECTIVE-4 (Broadway Blvd.)

THE FLIN





50

PERSPECTIVE-2 (Eckbo Plaza from South)

THE FLIN



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EAST ELEVATION (Church Ave.)



DET 620
BARNWOOD
GREY



DEC 786
MINER'S
DUST



DE 5368
BROWN
WOOD



DE 6063
BLACK
WALNUT



SOUTH ELEVATION

- DET 620
BARNWOOD
GREY
- DEC 786
MINER'S
DUST
- DE 5368
BROWN
WOOD
- DE 6063
BLACK
WALNUT



WEST ELEVATION (ECKBO)

- DET 620 BARNWOOD GREY
- DEC 786 MINER'S DUST
- DE 5368 BROWN WOOD
- DE 6063 BLACK WALNUT



NORTH ELEVATION (Broadway Blvd.)

- DET 620
BARNWOOD
GREY
- DEC 786
MINER'S
DUST
- DE 5368
BROWN
WOOD
- DE 6063
BLACK
WALNUT

ELEVATIONS

55



NORTH ELEVATION (BROADWAY BLVD.)

THE FLIN





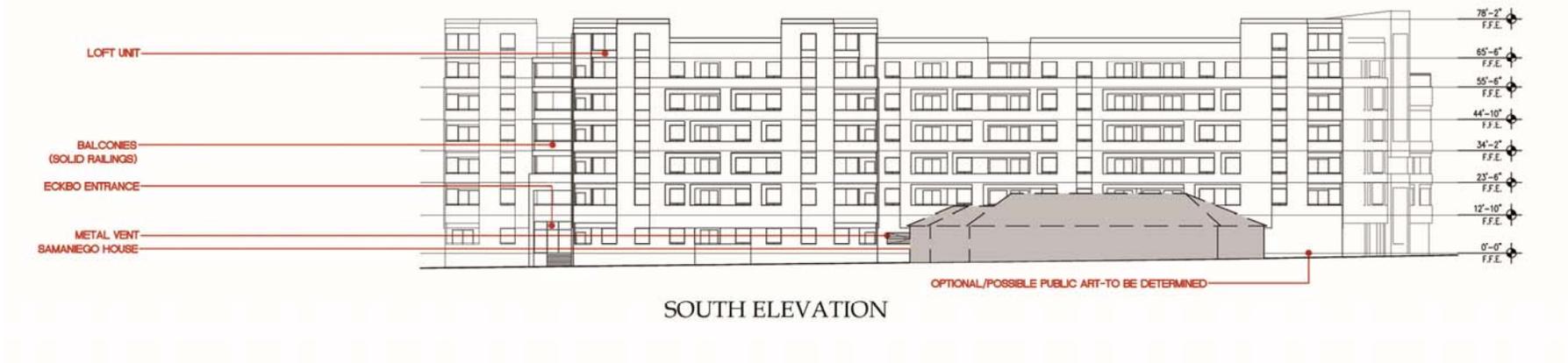
EAST ELEVATION (CHURCH AVE.)

THE FLIN





EAST ELEVATION (Church Ave.)

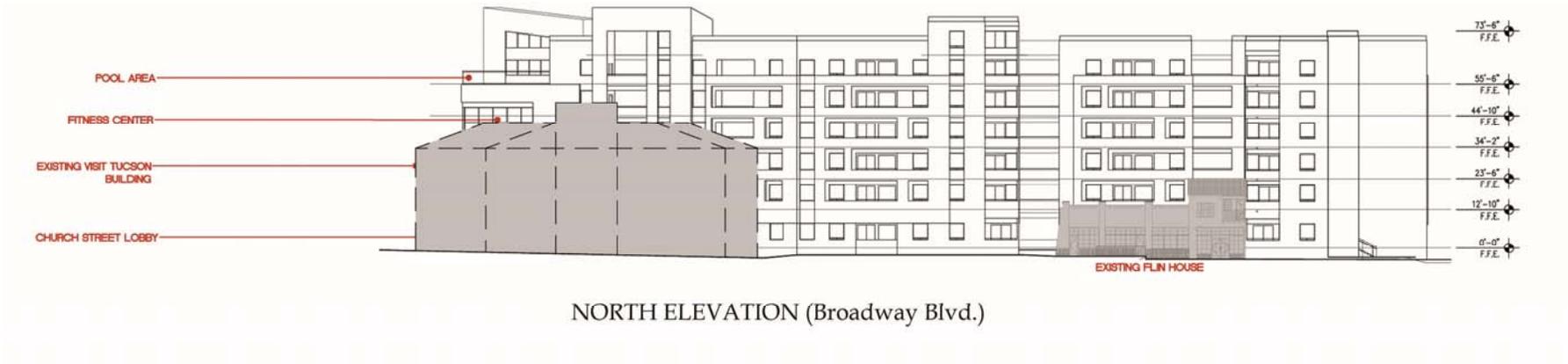


THE FLIN





WEST ELEVATION (ECKBO)



THE FLIN



EXTERIOR SURFACE MATERIAL

COLORS



BARNWOOD GREY
DET 620



BROWN WOOD
DE 5368



MINER'S DUST
DEC 786



BLACK WALNUT
DE 6063

ACCENT VENEER



TILE VENEER



STONE VENEER

HARDSCAPE SURFACES



EXPOSED CONCRETE

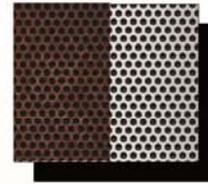


PAVING BRICK

RAILING



GLASS



PERFORATED
METAL

WINDOWS & DOORS

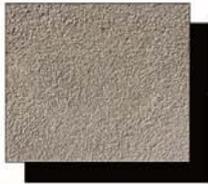


ALUMINUM
THERMALLY BROKEN



STOREFRONT

STUCCO



METAL SIDING



METAL SIDING

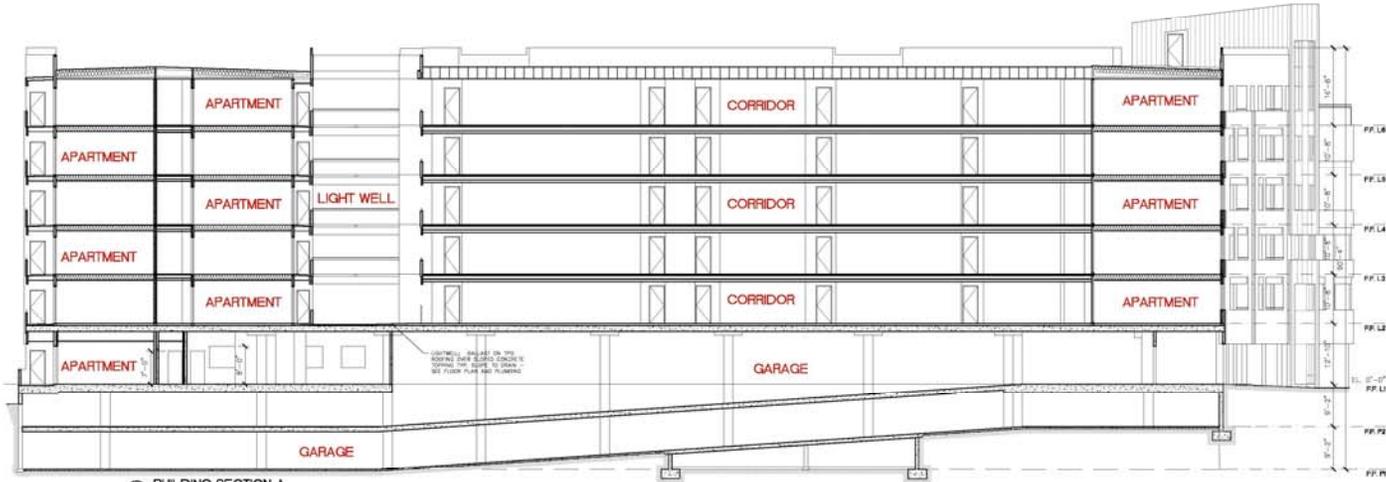


3M PRODUCT

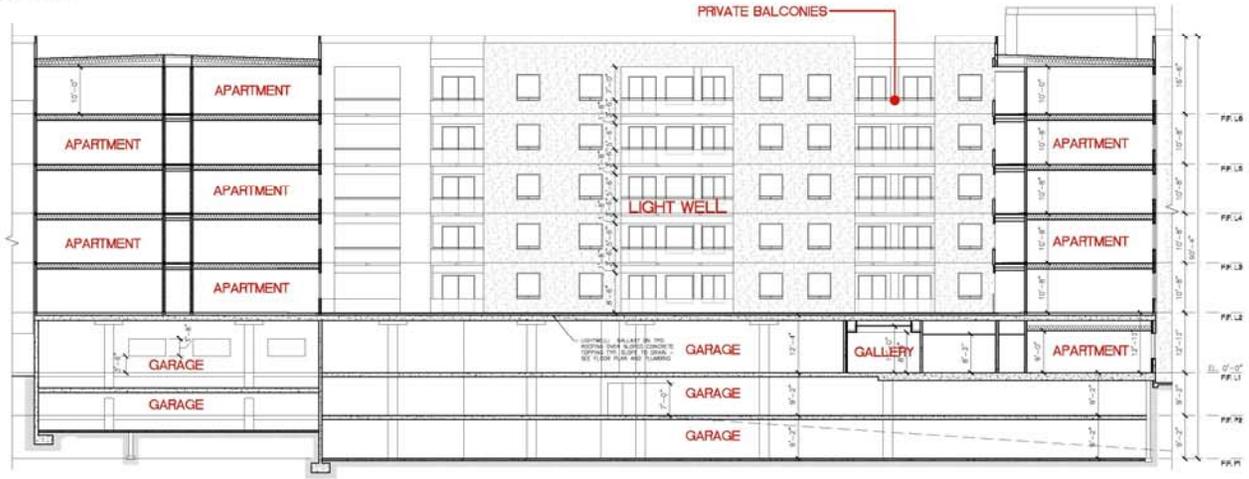


PERFORATED METAL
TO SCREEN GARAGE

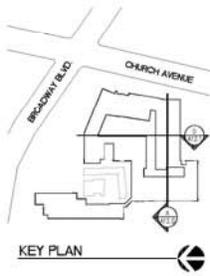
ELEVATIONS



A BUILDING SECTION A
SCALE: 1/8"=1'-0"

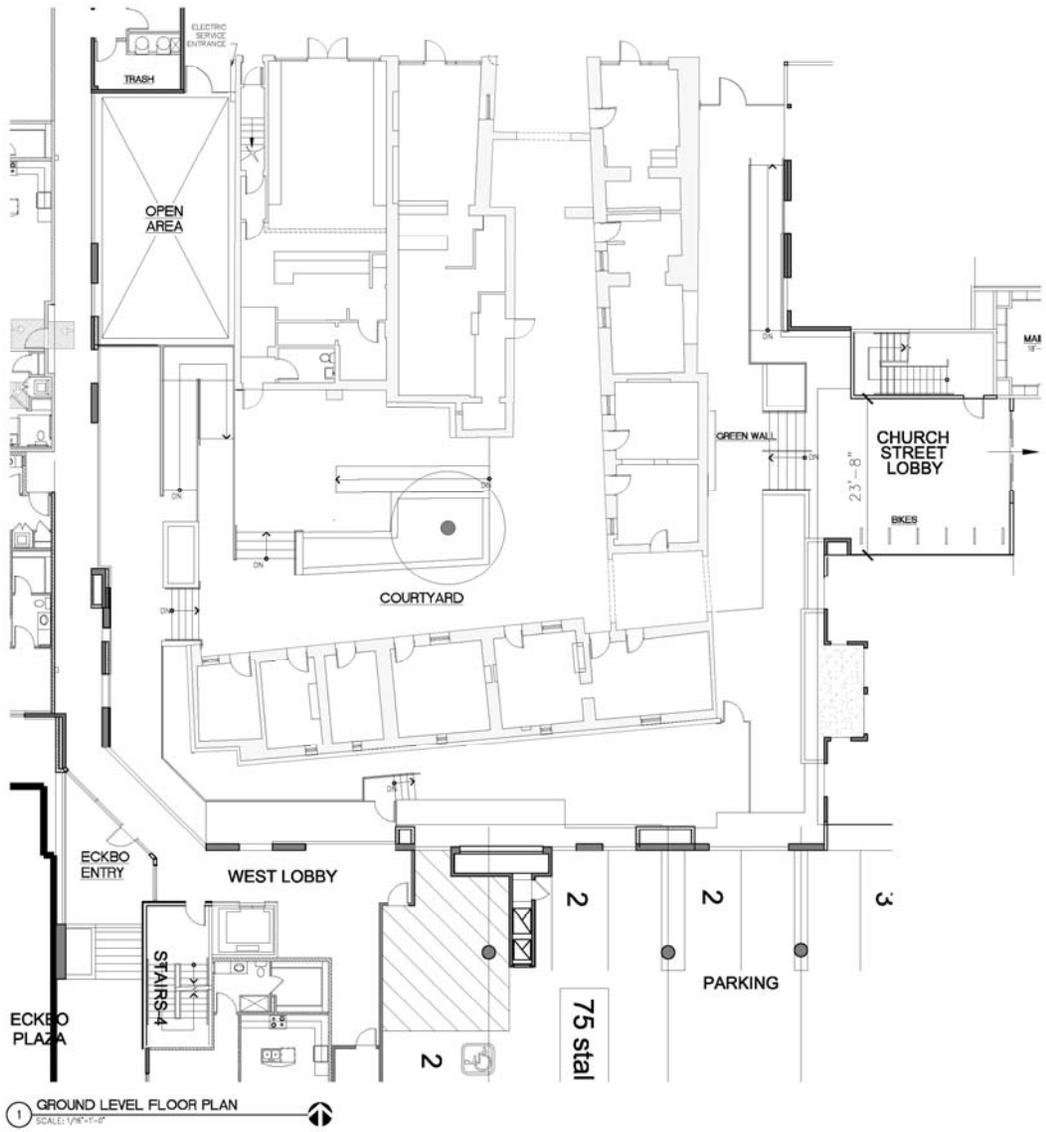


D BUILDING SECTION D
SCALE: 1/8"=1'-0"



KEY PLAN

HISTORIC FOOTPRINT (EXISTING)



Historical Buildings at The Flin

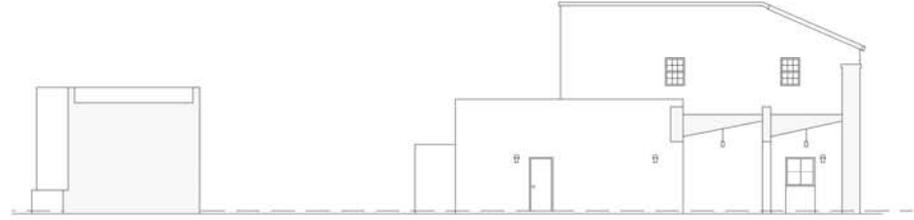
THE FLIN



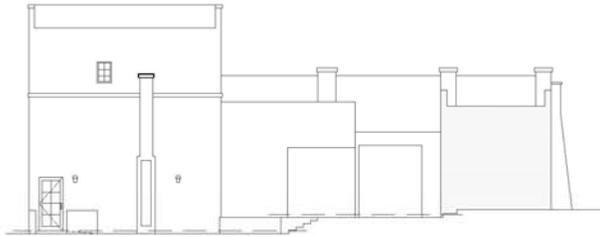
HISTORIC ELEVATIONS (EXISTING)



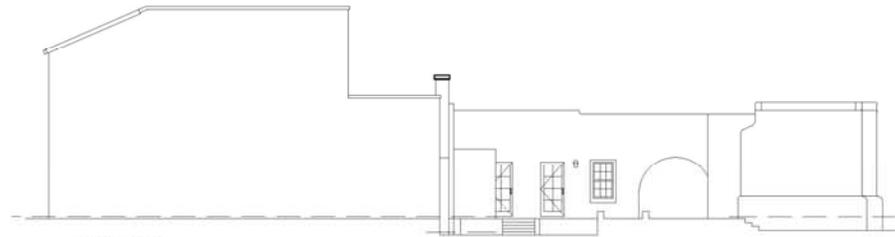
1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



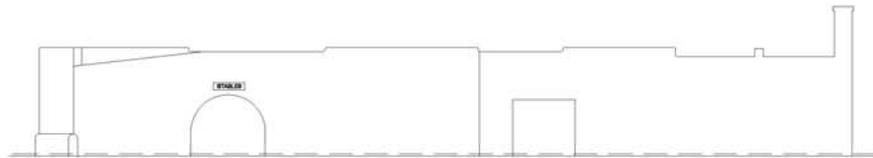
4 ELEVATION
SCALE: 1/8"=1'-0"



5 EAST ELEVATION
SCALE: 1/8"=1'-0"



6 ELEVATION
SCALE: 1/8"=1'-0"

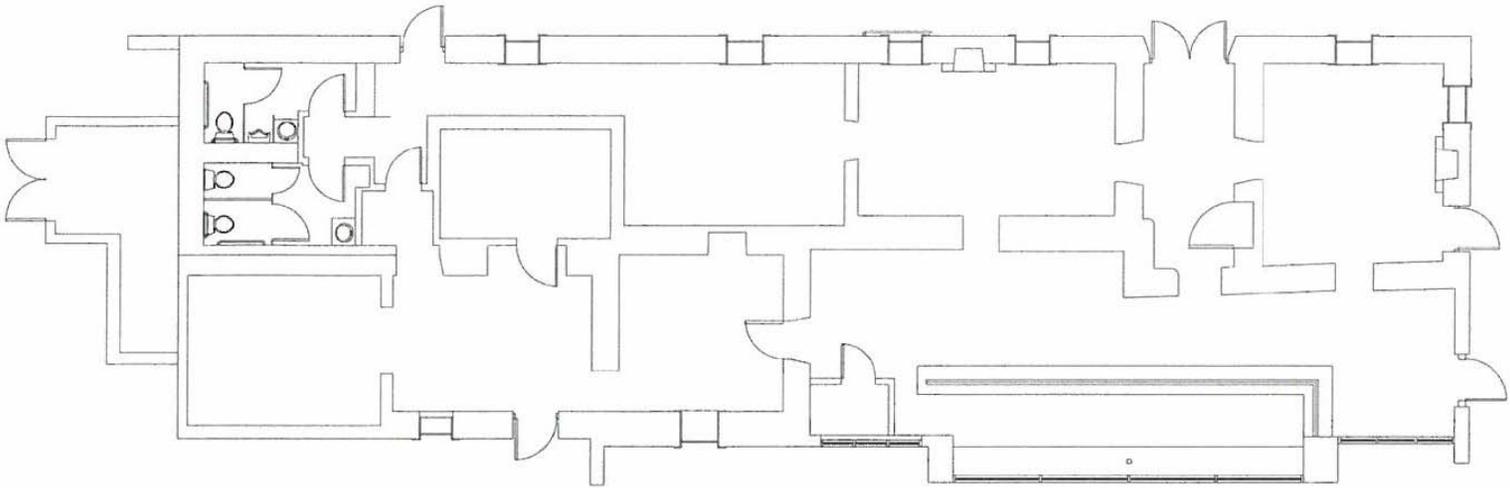


7 ELEVATION
SCALE: 1/8"=1'-0"



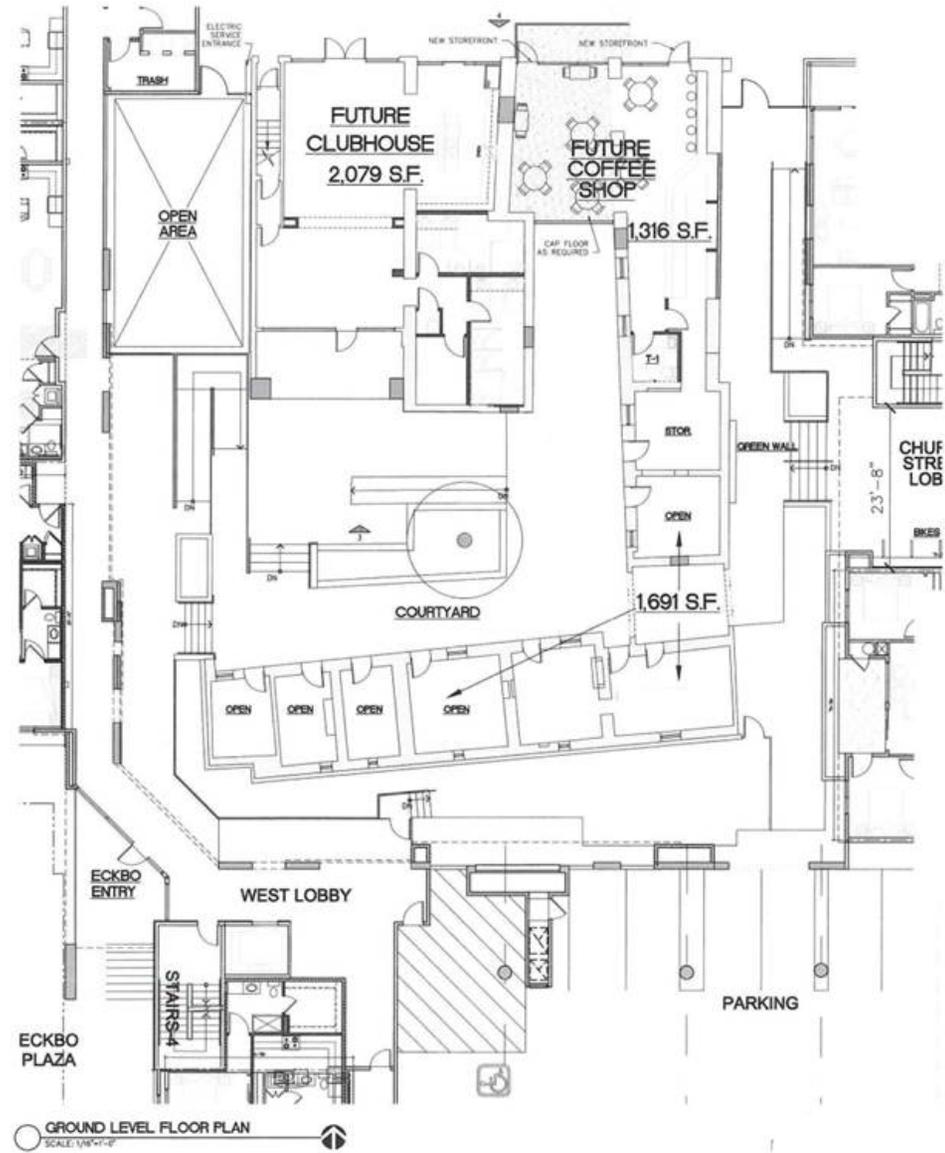
8 ELEVATION
SCALE: 1/8"=1'-0"

HISTORIC FOOTPRINT (EXISTING)



1 SAMANIEGO HOUSE
SCALE: 1/8"=1'-0"

HISTORIC ELEVATIONS (PROPOSED)



TUCSON, ARIZONA

Historical Buildings
at
The Flin
PROPERTIES

ARCHITECTURAL PRECEDENT



CYPRESS
CIVIL DEVELOPMENT

EGLIN+BRESLER
ARCHITECTS, P.C.


HL
PROPERTIES

THE FLIN



1 Henry Adams - San Francisco, CA



Solea Condominiums - Washington, D.C.



Erko Apartments Erskineville - Sydney



Museum Residences - Denver, CO



BUILDING DESIGN INFLUENCES

THE FLIN



ARCHITECTURAL PRECEDENT



CYPRESS
CIVIL DEVELOPMENT

EGLIN+BRESLER
ARCHITECTS, P.C.

HL
PROPERTIES

THE FLIN

ARCHITECTURAL PRECEDENT



CYPRESS
CIVIL DEVELOPMENT

EGLIN+BRESLER
ARCHITECTS, P.C.

HL
PROPERTIES

THE FLIN

ARCHITECTURAL PRECEDENT



CYPRESS
CIVIL DEVELOPMENT

EGLIN+BRESLER
ARCHITECTS, P.C.



THE FLIN

ARCHITECTURAL PRECEDENT



CYPRESS
CIVIL DEVELOPMENT



THE FLIN

APPENDICES

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

1 - NEIGHBORHOOD MEETING DOCUMENTATION

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

REQUEST FOR MAILING LABELS

Project Address 110 S Church Street, Tucson, AZ 85701
(Note: if this is a new address, please provide verification from Pima County Addressing)

Applicant/Agent Name Matt Stuart - Cypress Civil Development

Mailing Address 2030 E Speedway Blvd, #110, Tucson, AZ 85711

Phone 520-499-2456

Matt Stuart 02/01/17
Applicant/Agent Signature Date

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

- Assessor's Property Inquiry Printout (APIQ) Assessor's Block & Lot Map
(one printout for each lot comprising the project site)

THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- | | |
|---------------------------------------------------------------------------|-----------------------------------------------------------------------|
| <input type="checkbox"/> Environment Resource Zone | <input type="checkbox"/> WASH Ordinance |
| <input type="checkbox"/> Hillside Development Zone | <input type="checkbox"/> Scenic Corridor Zone |
| <input type="checkbox"/> Design Development Option | <input type="checkbox"/> Board of Adjustment |
| <input type="checkbox"/> Design Development Option (Full Notice) | <input checked="" type="checkbox"/> Other: <u>IID - Downtown Core</u> |
| <input type="checkbox"/> Rezoning/SE | |

PROCESSING FEE

- \$220.00 Check Number: _____ Cash
 Charge Account: _____

Date Received: _____ Date Due: _____

Requested By: _____ Due To: _____

Request to: JR _____ SM _____ Other _____

Comments/Special Notes: _____

ACTIVITY NUMBER: _____

Book-Map-Parcel: 117-20-016G

[Oblique Image](#)

Tax Year:

Tax Area: [0150](#)

Property Address:

Street No	Street Direction	Street Name	Location
110	S	CHURCH AV	Tucson
120	W	BROADWAY BL	Tucson
222	S	CHURCH AV	Tucson

Taxpayer Information:

HSL LA PLACITA LLC
 ATTN: OMAR MIRELES
 3901 E BROADWAY BLVD
 TUCSON AZ

Property Description:

PUEBLO CENTER REDEVELOPMENT PROJECT
 ARIZONA R-8 LOTS 5 & 6 EXC NLY PTN BLK 510

85711- 3452

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2016	COMMERCIAL (1)	18.0	\$1,541,017	\$4,709,893	\$6,250,910	\$6,250,910	\$1,125,164
2017	COMMERCIAL (1)	18.0	\$1,541,017	\$4,709,893	\$6,250,910	\$6,250,910	\$1,125,164

Property Information:

Section: 13
 Town: 14.0
 Range: 13.0E
 Map & Plat: 20/83
 Block: 510
 Tract:
 Rule B District: 1
 Land Measure: 102666.00F
 Group Code: 000
 Census Tract: 100
 Use Code: 1514 (OFFICE BUILDING 4 OR MORE STORY)
 File Id: 1
 Date of Last Change: 5/4/2012

Commercial Characteristics:

Property Appraiser: Mark Baudendistel Phone: (520)724-7458

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	154,812	\$16,271,625	\$0	\$4,709,893

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
012-001	1974	101/3	0000000	0	\$244,666	\$100,191	COMMERCIAL YARD IMPROVEMENTS
013-001	1967	114/3	0000000	1,184	\$104,163	\$40,144	STRIP STORE
014-001	1967	114/3	0000000	1,276	\$112,178	\$43,233	STRIP STORE
015-001	1967	201/3	0000000	4,245	\$510,181	\$191,828	RESTAURANT FULL SERVICE
016-001	1977	201/3	0000000	2,890	\$406,458	\$164,290	RESTAURANT FULL SERVICE
017-001	1983	151/3	0000000	14,196	\$1,706,837	\$1,258,280	BUSINESS OFFICE
018-001	1983	151/3	0000000	7,493	\$1,120,536	\$826,059	BUSINESS OFFICE
019-001	1983	151/3	0000000	18,545	\$2,514,180	\$1,853,453	BUSINESS OFFICE
020-001	1983	151/3	0000000	24,094	\$4,822,866	\$3,555,417	BUSINESS OFFICE
021-001	1983	151/3	0000000	7,752	\$1,083,646	\$798,864	BUSINESS OFFICE
022-001	1983	151/3	0000000	20,052	\$2,626,779	\$1,936,461	BUSINESS OFFICE
023-001	1983	151/3	0000000	7,687	\$1,060,201	\$781,580	BUSINESS OFFICE
024-001	1983	151/3	0000000	10,090	\$1,387,402	\$1,022,793	BUSINESS OFFICE
025-001	1983	151/3	0000000	9,674	\$1,308,409	\$964,559	BUSINESS OFFICE
026-001	1974	151/3	0000000	25,634	\$4,546,846	\$2,734,473	BUSINESS OFFICE

Valuation Area:

Condo Market: 60
 DOR Market: 31
 MFR Neighborhood: CB_DOWNTOWN
 SFR Neighborhood: 01020201
 SFR District: 30

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20042250324	3	11/2004	Commercial/Industrial	\$7,800,000	\$7,800,000	N W1 LCB DEED: Special Warranty Deed

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20113640537	0	0	12/30/2011	WARRANTY DEED
20050640761	12523	4077	4/4/2005	WARRANTY DEED
20042250324	12433	1768	11/22/2004	WARRANTY DEED
0	11068	1083	6/15/1999	
19991140456	11068	1119	6/15/1999	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2011	\$3,262,173		
2010	\$5,500,000		
2009	\$5,050,027		
2006	\$5,000,000		
2004	\$3,100,000		
2003	\$3,100,000		

Parcel Note: Click to see/expand 8 note(s)

Book-Map-Parcel: 117-20-016F

[Oblique Image](#)

Tax Year:

Tax Area: [0150](#)

Property Address:

Taxpayer Information:

HSL LA PLACITA LLC
 ATTN: OMAR MIRELES
 3901 E BROADWAY BLVD
 TUCSON AZ

Property Description:

PUEBLO CENTER REDEVELOPMENT PROJECT
 ARIZONA R-8 NWLY PTN LOTS 5 & 6 BLK 510

85711- 3452

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2016	Vacant/Ag/Golf (2)	15.0	\$74,014	\$0	\$74,014	\$74,014	\$11,102
2017	Vacant/Ag/Golf (2)	15.0	\$74,014	\$0	\$74,014	\$74,014	\$11,102

Property Information:

Section: 13
Town: 14.0
Range: 13.0E
Map & Plat: 20/83
Block:
Tract:
Rule B District: 1
Land Measure: 4931.00F
Group Code: 000
Census Tract: 100
Use Code: 0021 (VACANT COMMERCIAL URBAN SUBDIVIDED)
File Id: 1
Date of Last Change: 5/4/2012

Valuation Area:

Condo Market: 60
DOR Market: 31
MFR Neighborhood: CB_DOWNTOWN
SFR Neighborhood: 01020201
SFR District: 30

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20042250324	3	11/2004	Commercial/Industrial	\$7,800,000	\$7,800,000	N W1 LCB DEED: Special Warranty Deed
19980870608	2	05/1998	Commercial/Industrial	\$8,500,000	\$8,500,000	N W1 LLC DEED: Special Warranty Deed

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

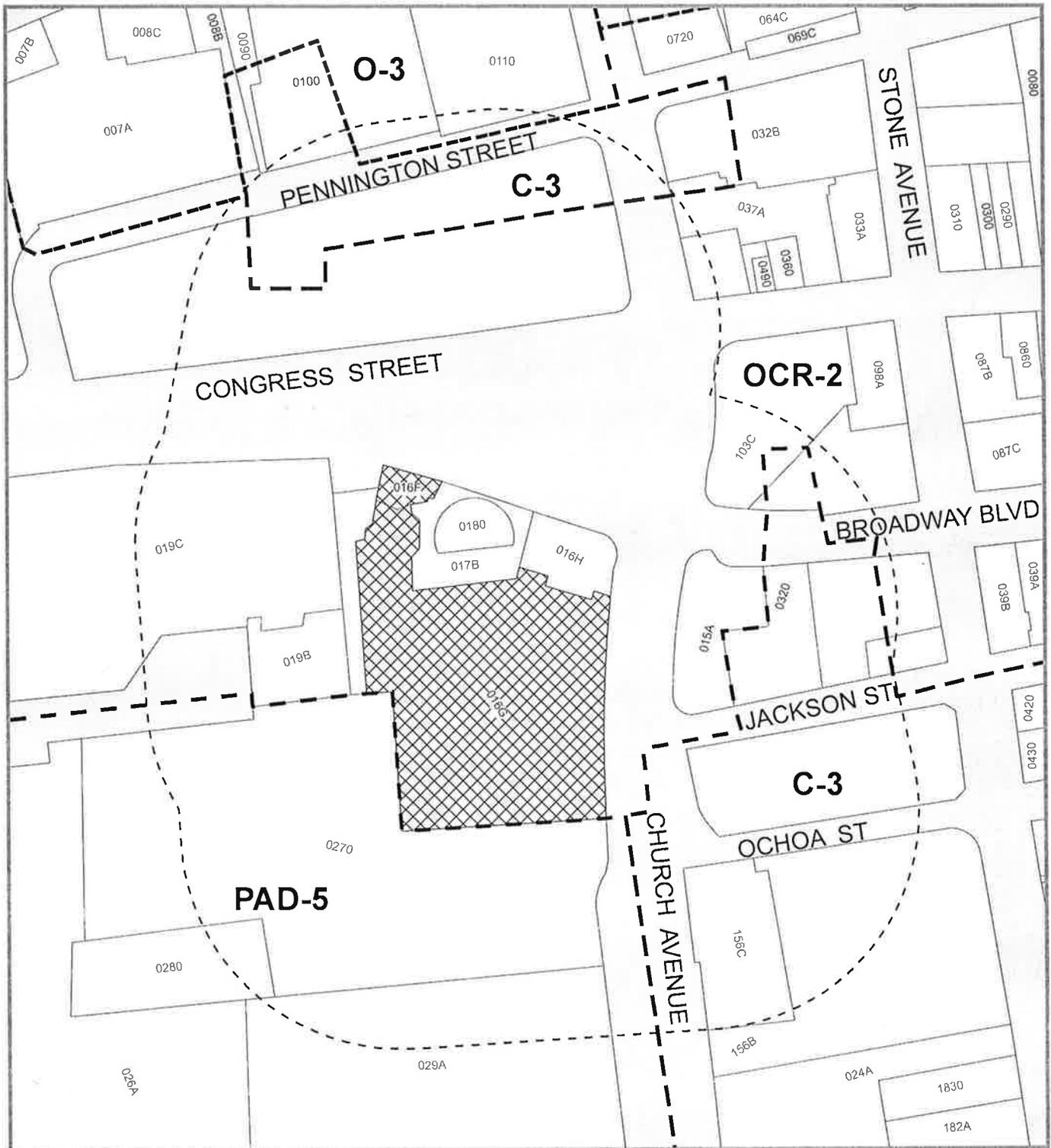
Sequence No.	Docket	Page	Date Recorded	Type
20113640537	0	0	12/30/2011	WARRANTY DEED
20050640761	12523	4077	4/4/2005	WARRANTY DEED
20042250324	12433	1768	11/22/2004	WARRANTY DEED
0	11068	1083	6/15/1999	
19991140456	11068	1119	6/15/1999	
19980870608	10810	1254	6/4/1998	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2010	\$50,000		
2009	\$74,014		
2006	\$50,000		
2003	\$500		
2002	\$500		

Parcel Note: Click to see/expand 5 note(s)

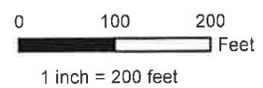
110 S. Church Avenue



-  Site
-  300' Notification Area
-  Zone Boundaries



Address: 110 S. Church Avenue
Base Maps: Sec.13 T.14 R.13
Ward: 6



07 March 2017

RE: Use of the Infill Incentive District Optional Overlay (IID) – La Placita Village Redevelopment – 110 S Church Avenue

Dear Neighbor:

We will be holding a neighborhood meeting to discuss the requested use of the Infill Incentive District Optional Overlay (IID) standards for the proposed mixed-use/multi-family development project located at 110 S Church Avenue, aka La Placita Village. The goal of the development project is to redevelop the downtown property with approximately 247 residential units and associated parking; while also rehabilitating the historic structures (Samaniego House, Flin Building, Stables) and incorporating them into the overall development scheme. We would like to invite you to attend, provide insight about the area and the surrounding neighborhoods, and ask any questions you may have regarding the potential project and/or the use of the IID at this location.

We will be holding the meeting at the Park Tucson downtown office - **110 E Pennington Street, Suite 150**, at the southwest corner of E Pennington Street and N 6th Avenue. The meeting will be held at **5:00 PM on Wednesday, March 22nd**.

We encourage public participation, and in addition to questions presented in person at the meeting, you may also direct written questions or comments to Matt Stuart at mstuart@cypresscivil.com prior to, or following the public meeting. If you have any questions about location or the scheduling of the neighborhood meeting, please feel free to contact via email or by phone at (520) 499-2456.

The purpose of this meeting will be to present the proposed development, explain relative details, its use of the IID, and hear any constructive ideas that you may have relating to our proposal. Our goal with this process is to be able to respond to your ideas, and make every effort to become a welcomed future neighbor. We look forward to meeting with you personally.

If you have any questions, please do not hesitate to contact. Additional contact information is contained directly below. Thank you for your time and consideration.

Sincerely,

Cypress Civil Development



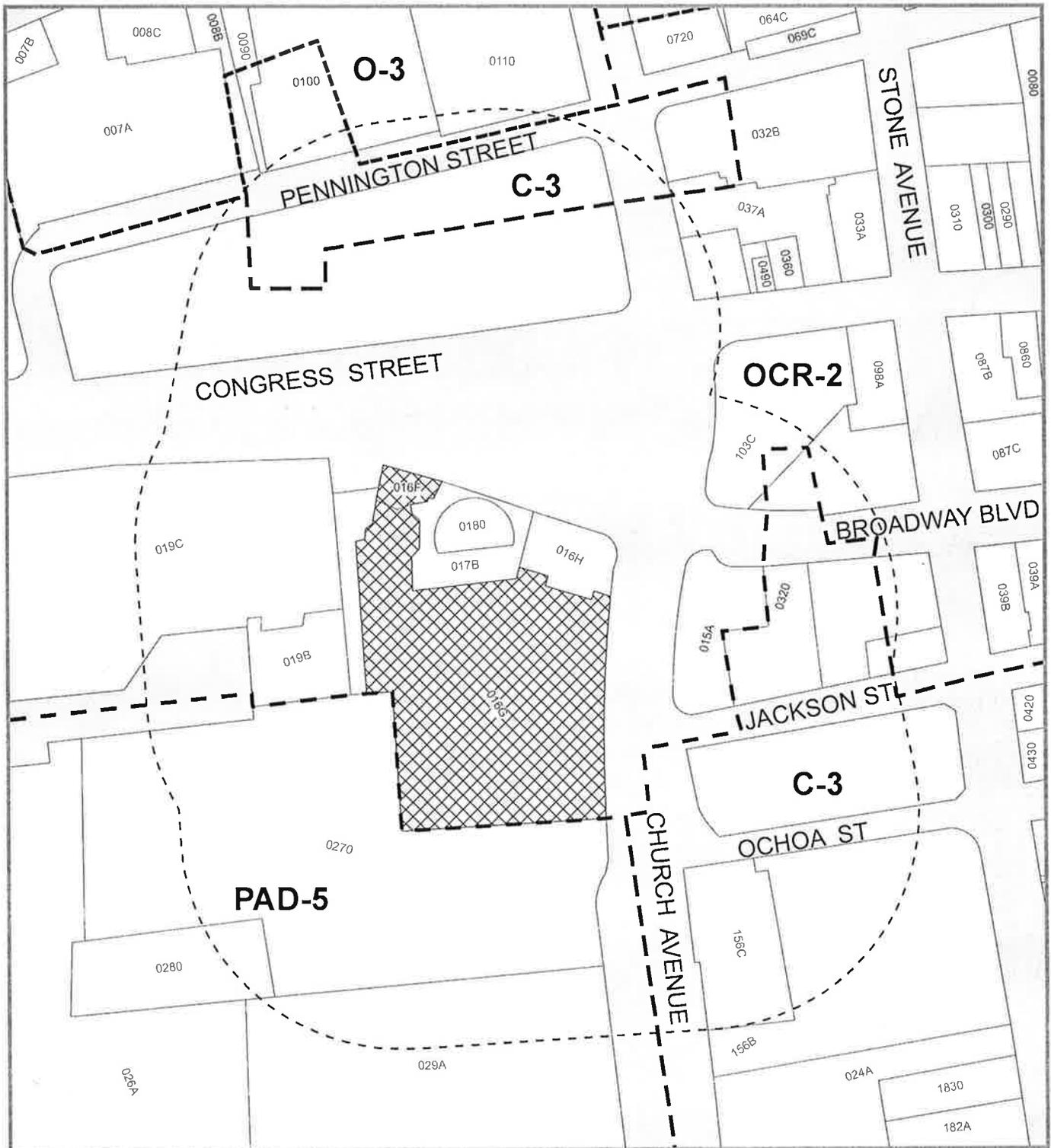
Matt Stuart

Project Manager

(520) 499-2456

mstuart@cypresscivil.com

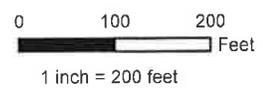
110 S. Church Avenue



-  Site
-  300' Notification Area
-  Zone Boundaries



Address: 110 S. Church Avenue
Base Maps: Sec.13 T.14 R.13
Ward: 6





CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on 03/8/17,
(date of mailing)

for the neighborhood meeting to be held on 03/22/17.
(date of neighborhood meeting)

Matt Stuart
(signature of applicant/applicant's agent)

03/30/17
(date signed)

Documentation if available (such as receipt)

SUN
2100 E SPEEDWAY BLVD
TUCSON
AZ

85719-9998
0388970747

03/08/2017 (800)275-8777 1:58 PM

Product Description	Sale Qty	Final Price
---------------------	----------	-------------

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85705)
(Weight:0 Lb 0.40 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
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(@USPS Certified Mail #)
(70151520000300670917)

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85745)
(Weight:0 Lb 0.40 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
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(70151520000300670924)

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85719)
(Weight:0 Lb 0.30 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
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(@USPS Certified Mail #)
(70151520000300670931)

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85719)
(Weight:0 Lb 0.30 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
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(70151520000300671130)

Total		\$96.00
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Credit Card Remitd		\$96.00
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(Card Name:VISA)
(Account #:XXXXXXXXXX5992)
(Approval #:008684)
(Transaction #:717)

Text your tracking number to 28777

SUN
2100 E SPEEDWAY BLVD
TUCSON
AZ

85719-9998
0388970747

03/08/2017 (800)275-8777 2:13 PM

Product Description	Sale Qty	Final Price
---------------------	----------	-------------

First-Class Mail Letter	1	\$0.49
-------------------------	---	--------

(Domestic)
(TUCSON, AZ 85705)
(Weight:0 Lb 0.40 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
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(@USPS Certified Mail #)
(70151520000300670900)

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85701)
(Weight:0 Lb 0.40 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
-----------	---	--------

(@USPS Certified Mail #)
(70151520000300671204)

First-Class Mail Letter	1	\$0.49
-------------------------	---	--------

(Domestic)
(TUCSON, AZ 85701)
(Weight:0 Lb 0.40 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
-----------	---	--------

(@USPS Certified Mail #)
(70151520000300671211)

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85701)
(Weight:0 Lb 0.40 Oz)
(Expected Delivery Day)
(Friday 03/10/2017)

Certified	1	\$3.35
-----------	---	--------

(@USPS Certified Mail #)
(70151520000300671228)

First-Class Mail Letter	1	\$0.49
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(Domestic)
(TUCSON, AZ 85719)

Total		\$149.76
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Credit Card Remitd		\$149.76
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(Card Name:VISA)
(Account #:XXXXXXXXXX5992)
(Approval #:008367)
(Transaction #:242)

Text your tracking number to 28777
(2USPS) to get the latest status.
Standard Message and Data rates may
apply. You may also visit USPS.com
USPS Tracking or call 1-800-222-1811.

PRESENTATION OUTLINE

- ⦿ Project Overview
 - Location
 - Project Goals
- ⦿ Infill Incentive District
 - IID & DCS
 - Requested Modifications
 - Site Plan
 - Design/Development Package Process
- ⦿ Architectural Precedence
 - Downtown Projects
- ⦿ Site Renderings
- ⦿ Question & Answer

PROJECT OVERVIEW



PROJECT OVERVIEW

◎ Goals:

- To provide market rate, class A, multi-family residential dwelling opportunities in the Downtown Core.
- Incorporate and retain the 3 eligible Historic structures on the property (Samaniego House, Flin Building, Stables).
- Create a sustainable, eco-friendly environment for future downtown residents adjacent to a unique urban park setting and entertainment opportunities.

INFILL INCENTIVE DISTRICT

◎ INFILL INCENTIVE DISTRICT (IID)

- An optional overlay zone that allows certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.

◎ DOWNTOWN CORE SUBDISTRICT (DCS)

- Development is intended to take advantage of the Modern Street Car, and promote high-density infill transit-oriented development.
- Development incentives for this zone include greater developable footprint and reduced parking requirements.

INFILL INCENTIVE DISTRICT

- ◎ Requested modifications
 - Major Streets and Routes Setback
 - Street perimeter yards
 - Maximum Lot Coverage
 - Minimum Lot Size
 - Bicycle & Vehicle parking
 - Off-street loading
 - Landscaping & Screening
 - Pedestrian Access
 - Solid waste collection

SITE PLAN



INFILL INCENTIVE DISTRICT

◎ Process (Major Design Review)

- Pre-application conference w/ City Staff and Design Professional
- ★ Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile)
- Summarize Neighborhood Meeting and coordinate minutes.
- Submit Design Package to City Staff
- Tucson/Pima County Historical Commission Review & Recommendation
- Meet & review Design Package with Design Professional
- Design Review Committee Review & Recommendation
- Planning & Development Services Director – Review findings and issues DECISION

ARCHITECTURAL PRECEDENCE



ARCHITECTURAL PRECEDENCE



ARCHITECTURAL PRECEDENCE



ARCHITECTURAL PRECEDENCE



ARCHITECTURAL PRECEDENCE



SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



QUESTIONS & ANSWERS

◎ Questions?

◎ Contact information:

- Matt Stuart – Cypress Civil Development
mstuart@cypresscivil.com

THANK YOU FOR COMING!

THE FLIN Neighborhood Meeting Notes March 23rd, 2017

Cypress Civil Development Attendee:

Matt Stuart, Project Manager

HSL Properties Attendees:

Teresa Vasquez, Project Manager

Mike Gensky, Assistant Vice President

Omar Mireles, President

Eglin + Bresler Architecture Attendees:

Evan Eglin, Principle Architect

Tatyana Bresler, Principle Architect

Start Time: 5:06 p.m.

Finish Time: 6:05 p.m.

- 1) **PowerPoint Slide 1**
 - a) Matt Stuart opened the meeting, introducing himself and CYPRESS, to the attendees. Mr. Stuart further explained the project name The Flin, a dedication to the rich history of the site and area.
- 2) **PowerPoint Slide 2**
 - a) Mr. Stuart provided an overview of the PowerPoint Presentation and the flow of the neighborhood meeting, explaining that after the presentation, the floor will be open for questions.
- 3) **PowerPoint Slide 3**
 - a) A map overview of the site was provided, showing the specific location in relation to streets and Downtown Tucson in general. Mr. Stuart pointed out the close proximity of some of the recently approved and under construction projects that have utilized the IID.
- 4) **PowerPoint Slide 4**
 - a) Goals specific to the proposed project were provided, outlining the inspiration for the project design. This included providing 247 market rate, class A, multi-family residential dwelling opportunities in the Downtown Core; incorporate and retain the 3 eligible to

be listed historic structures on the property (Samaniego House, Flin Building, Stables) for restaurant/retail use as well as resident amenity space; and create a sustainable, eco-friendly environment for future downtown residents adjacent to a unique urban park setting and entertainment opportunities.

5) **PowerPoint Slide 5**

- a) Mr. Stuart provided a brief explanation of the intent of the optional Infill Incentive District (IID) overlay, and further explained the goal of the Downtown Core Subdistrict (DCS) - to create a pedestrian and transit oriented development that take advantage of the existing street car infrastructure and other alternative transportation options.
- b) Mr. Stuart further explained the trade-off involved with the IID, and with the flexibility of certain code modifications there is a greater emphasis placed on the design of the project and its contribution to the area and Tucson as a whole.

6) **PowerPoint Slide 6**

- a) Mr. Stuart explained the modifications pertinent to the IID, and highlighted those development regulations which would be part of the IID request:
- b) **Major Streets & Routes** – Under the DCS, it is encouraged to maintain the existing development setbacks of neighboring properties and to provide relief from the setback requirement is necessary to maximize the development potential of the lot and meet the expectations of a pedestrian/transit oriented development.
- c) **Street Perimeter Yards** – Under the DCS, it is encouraged to maintain the existing development setbacks of neighboring properties and to provide relief from the setback requirement is necessary to maximize the development potential of the lot and meet the expectations of a pedestrian/transit oriented development.
- d) **Bicycle and Vehicular Parking** – Under the DCS, reduced parking requirements are allowed. This project seeks to modify the existing parking requirements as it relates to compact and tandem parking stalls. Currently, both are only allowed within garage structures within the Main Gate Overlay District. This project would like to utilize a reduced parking width from 8.5' to 8.0' to accommodate internal structural infrastructure for the podium project. Tandem spaces are also desired to help maximize the space within the existing foundation walls and building footprint. Currently the UDC excludes multi-family residential uses from utilizing tandem space designs, which is specifically allowed under the Main Gate Overlay District. Allowing the use of compact and tandem parking spaces allows the site to exceed the required parking outlined in the Downtown Parking District.
- e) **Landscaping & Screening** – If a minimum of 50% of the sidewalks and pedestrian pathways are shaded, the IID allows an exception to the landscaping and screening requirements. Specifically for this project, the existing structure and streetscape vegetation provide in excess of the 50% requirement. Landscaping will continue to be oriented throughout the site and streetscape.
- f) **Pedestrian Access** – Due to the nature and topography of the site, in conjunction with the limited footprint along Broadway Boulevard, pedestrian accessibility to Broadway Boulevard is provided via the existing public Eckbo Park and La Placita Park. Both

provide pedestrian friendly access to Broadway Boulevard and allow for a more integrated site design.

- g) **Solid Waste Collection** – Due to the nature of the site and limited accessibility/maneuverability within the buildable footprint, an alternative solid waste collection system and agreement has been established with Environmental Services. The site will utilize an internal trash compactor system and building management will be responsible for moving the dumpsters from inside the site to the refuse area on Church for collection and back. Environmental Services has approved this alternative design as part of the Development Plan package submittal.

7) **PowerPoint Slide 7**

- a) An overhead map of the building and site was shown, demonstrating the relationship of the building and the existing parcel to the remaining eligible to be listed structures, Eckbo Landscape, La Placita Park, as well as the Tucson Convention Center complex.
- b) Mr. Stuart explained that the proposed building layout utilizes the existing foundation walls, therefore providing a footprint consistent with the previous development which still allows public accessibility to the eligible to be listed structures and the other public spaces.
- c) Mr. Stuart also explained that the use of the Infill Incentive District (IID) would assist in creating a building that would be inviting to pedestrian traffic, while also highlighting the public spaces that surround the entire building site.

8) **PowerPoint Slide 8** – Mr. Stuart discussed the Major IID process, who is involved and their role in the process:

- a) **Pre-Application Conference** – Includes City staff to discuss the use of the IID for the project.
 - b) **Host a Neighborhood Meeting** – Neighborhood meeting is held with interested residents and owners within a 300 foot notification radius and Neighborhood Associations within 1 mile of the project site.
 - c) **Submittal of a Design Package** – Presented to City staff
 - d) **Tucson/Pima County Historical Commission** – Review and Recommendation
 - e) **Meet & Review Design Package** – with Design Professional
 - f) **Design Review Committee** – Review & Recommendation
 - g) **Planning & Development Services Director** – Reviews findings and issue a final decision
- 9) **PowerPoint Slide 9 - 13**
- a) Architectural Precedence. Mr. Stuart provided photo examples of existing and recently approved Downtown Core developments and streetscapes to highlight inspiration behind the proposed design.

10) **Power Point Slide 14**

- a) Site Renderings. Mr. Stuart provided a rendering of a west bird's eye view of the building from Broadway Boulevard. Highlighting the relationship to the existing streetscape, La Placita Park, and The Stables and Flin Building.
- b) Mr. Stuart pointed out the proposed maximum height of the structures at just under 80', consistent with adjacent development projects in the area.

11) PowerPoint Slide 15

- a) Mr. Stuart provided a rendering of a bird's eye view of the building from the corner of Broadway and Church. The Visit Tucson building was made invisible to highlight the facade and its relationship to the streetscape and other public spaces.
- b) Mr. Stuart highlighted the horizontal lines of the architecture, consistent with historic and modern downtown developments.
- c) Mr. Stuart highlighted the varying mass of the roof line and facade, where balcony spaces both recessed and extended allow for greater architectural detail and natural light/shadow play for residents.
- d) Mr. Stuart highlighted the main lobby and entry for the development at the corner of the building in the foreground, with resident amenity space above.

12) PowerPoint Slide 16

- a) Mr. Secret provided a rendering of the building from the west side, along Eckbo Landscape.
- b) Mr. Stuart pointed out the important relationship to the pedestrian scale, while also trying to provide privacy and security for the residents.
- c) Mr. Stuart highlighted the uniqueness and challenge of this site, having public pedestrian accessibility on all 4 sides.
- d) Mr. Stuart pointed out that the topography of the area would mean that the residences and their respective patios would be elevated along the west side, approximately 5'. This helps with privacy and security while still incorporating "activity" along this area.
- e) Mr. Stuart highlighted the opening between the two buildings above the west entry lobby. Sky bridges link the two buildings on each floor allowing for natural light and visibility to the interior of the site and eligible to be listed Stables and Flin Building. Mr. Stuart also emphasized the large storefront windows of the lobby area, which will also provide visibility from the public space into the interior of the site and the interior buildings.

13) PowerPoint Slide 17

- a) Mr. Stuart provided a rendering of a bird's eye view of the building from the south, with the Samaniego House in the foreground.
- b) Mr. Stuart highlighted the vertical lines of the ground floor and its relationship to the Samaniego house roof line, noting the cohesiveness.
- c) Mr. Stuart pointed out the main vehicular ingress/egress location, which is in close proximity to the existing loading area as part of the La Placita office complex.

14) PowerPoint Slide 18

- a) Mr. provided an aerial bird's eye view of the development from the north. This view highlighted the scale of the new development as it relates to those structures in close proximity.
- b) Mr. Stuart highlighted the approved mid-rise low income, senior housing development to be constructed at the southeast corner of Church and Broadway by the Foundation for Senior Living, and its approximate building height of 80'.

- c) Mr. Stuart also pointed out the relationship of the new structure with the Stables and Flin Building, noting the new developments openings between the buildings, which allows for light and visibility of the eligible to be listed structures from the public spaces along the west side.
- d) Mr. Stuart further pointed out the courtyard design of the development, which allows residents to experience private outdoor space in addition to the existing public space on all 4 sides.

15) **Questions and Answers** – Mr. Stuart thanked everyone for coming to the neighborhood meeting and the floor was then opened to the attendees for questions:

- a) **Question** – How are you addressing access from Broadway?
 - i) **Response** – We are utilizing Eckbo landscape and the La Placita Park to accommodate the pedestrian access requirement. Because of the grade differential and limited actual frontage on Broadway, there was no way to accommodate an actual physical building entrance. Lobby’s will be along Church and Eckbo.
- b) **Question** – Will there be further excavation for the garage? My concern is how this would affect the historic buildings.
 - i) **Response** – In some places we need to excavate approximately an additional foot to meet the underground parking limits. However, the basement does not extend under the eligible to be listed buildings. The proposed building footprint utilizes the existing foundation/basement wall footprint. We don’t anticipate any issues with excavation and the buildings to remain.
- c) **Question** – Does the foundation meet current code?
 - i) **Response** – I’ll have to research specifics, but to our knowledge yes, it meets code. A structural engineer has been hired and hard at work, nothing in their assessment has indicated the foundation is not supportive of the proposed development.
- d) **Question** – Are you available to present at a Menlo Park neighborhood association meeting?
 - i) **Response** – Absolutely. We can exchange contact information after the meeting and find a suitable date.
- e) **Question** – Is there room around the historic buildings to repair them in the future?
 - i) **Response** – Yes, all areas around the building will be accessible for maintenance. The goal was to utilize the existing buildings and incorporate it into the open space aspect of the future development.
- f) **Question** – What types of renderings are we seeing?
 - i) **Response** – These are conceptual renderings, and are based off of the building plan models, so they are quite accurate to what we anticipate to be built. The goal with these renderings is to highlight the different elevations and vantage points of the building.
- g) **Question** – What type of materials will be used?
 - i) **Response** – The building will utilize three main materials, EIFS, glass, and steel.
- h) **Question** – What will happen to the hotel side and pedestrian connection?

- j) Response – The hotel is a separate project, so cannot speak to it, but the proposed project is not planning to disrupt the pedestrian connection offered by the Eckbo Landscape between the Convention Center and Municipal complex. HSL has been in contact with the Eckbo Landscape group about how this project can help their mission and goal.
- i) **Question** – How much space between the north side of the Samaniego House and the new building? Could there be an opportunity to step the new building back to honor the Samaniego House?
 - j) Response – At the closest point the buildings are 8 feet apart, and it widens as you move west. Under the ILD, and especially the DCS, there is specific language encouraging the full use of the allowable building height. We see as what is being proposed not any different than the 1W Broadway project and the proposed FSL Mid-rise adjacent to the Brown House.
- j) **Question** – Are there other ways not to have a “canyon” around the historic buildings?
 - i) Response – There is a break in the buildings along the west side, above the west lobby entrance. Pedestrian sky bridges connect the two buildings, but it will remain open, letting in light and air. The lobby will also feature storefront windows to assist in the open affect between the two structures along west side.
- k) **Question** – What is the zoning for this?
 - j) Response – Underlying zoning is OCR-2.
- j) **Question** – Why stop at 6 stories?
 - i) Response – It really comes down to the cost of construction as it relates to the standards of the building code. As buildings begin to increase above 80’ in height, the structural requirements change, adding substantial costs.
- m) **Question** – Is there a projected budget for this project?
 - j) Response – Yes, we are currently projecting a budget of about \$50 million.
- n) **Question** – Will this be LEED certified?
 - j) Response – No, we will not be applying for LEED certification. We will be using energy efficient products and materials as part of our internal goals and standards, just won’t be trying to obtain actual certification.
- o) **Question** - What happens to all of the existing steel when demolished?
 - j) Response – It won’t be recycled onsite, but will be taken to a recycling facility.
- p) **Question** – Are you rehabbing or restoring the historic buildings?
 - j) Response – This will be a rehabilitation. There was significant work done to the buildings as part of the original La Placita construction, and so a full rehabilitation would be excessive and unlikely. We will be held to the Department of Interiors standards, but are aiming to renovate and rehabilitate the structures so they can adequately serve today’s operational needs. Due to the lengthy construction time of the project, we don’t have specifics on the three existing buildings and how the rehabilitation process will be executed. We anticipate returning at a later date to the TPCHC with more specific details regarding the how and what, as the demolition and site construction will prevent the usability/marketability of these structures.

- q) **Question** – What do you envision for the Samaniego House?
- i) Response – Right now we envision the Samaniego House becoming a restaurant. With all the construction and new residences in the area, we feel a restaurant could be sustainable in that location.
- r) **Question** – What is the total square footage?
- i) Response – The overall building footprint including the lower levels of parking are just over 400,000 square feet.
- s) **Question** – What is the status of the parking garage across the street? Are there long term leases, is it open, can others lease spaces?
- i) Response – HSL currently leases the parking garage. The proposed project will not need to utilize the parking garage to meet its parking requirements and doesn't plan to hold any spaces. Currently the Visit Tucson building utilizes the parking garage under an agreement, but otherwise with the removal of the office tenants the garage has availability and can lease spaces to others.
- t) **Question** – If a hotel were to go on the west side of the project, could they utilize the garage?
- i) Response – Yes, at this point in time there is availability within the garage to accommodate other users in the area.
- u) **Question** – What is the economic life of the building?
- i) Response – We aim to construct buildings that can last 50+ years.
- v) **Question** – What are you planning to do to help restore Eckbo Landscape?
- i) Response – We are working with the organization, right now it is their plan and their expertise. We have expressed interest in being involved and how we can help to make it an amenity for our project. But right now those conversations are still in their infancy stages.
- w) **Question** – The main exterior material is EIFS? Would you consider other products? Concrete panels, glass, etc?;
- i) Response – We will need to take that into consideration and see what we can do in regard to alternative materials.
- x) **Question** – Any thought given to having zip-car in the garage, and/or bus or bike programs offered to residents?
- i) Response – Yes, it is definitely a consideration. We have been working with TDOT in regard to future Church Avenue improvements and being able to tie into the bike program, which plans on putting a bike share facility at the TCC as well as perhaps by St. Augustine. The greatest motivator behind the need to provide the number of parking we do is we see this project reaching toward a market that includes residents who work outside of the downtown limits. Its accessibility to the freeway makes commuting north or south relatively painless. So we think this project will open up the demographic a bit more and introduce downtown living to individuals and families who may not work that close to the downtown area.
- y) **Question** – Not lace stucco right?
- i) Response – No, EIFS, won't be like residential stucco material.

- z) **Question** – Where are we staging?
- i) **Response** – Ideally we would like to be staging on-site and along Church Avenue. Because of the street car along Broadway, primary access to the site will be off of Church. We are working with City agencies as well as the other surrounding projects on how to best accommodate everyone and where possible street closures would be best suited.
- aa) **Question** – Are the historic buildings work to be completed last?
- i) **Response** – Mostly last. Because they are tenant driven and because of the length of construction time, their usability and marketability will probably mean they are completed last.
- bb) **Question** – What happens if the developer leaves or there is a recession? Is there a performance bond for the historic buildings?
- i) **Response** – HSL has factored in the cost of the development and renovation of the three existing buildings into the overall budget, and fully intend to fulfill that commitment. As part of the IID, there are milestone steps in the process that also can be utilized as a form of assurance that certain tasks are completed in a reasonable amount of time.
- cc) **Question** – What is the guarantee that the historic buildings are maintained and kept up?
- i) **Response** – Internally, there will a management company established for the overall project, and the three existing buildings will be under their purview. Externally, this would be no different than any other building and would be enforced to the same extent an historic building is now.
- dd) **Question** – Will the demolition be moving forward? I am aware you have the permit.
- i) **Response** – Yes, we are in the final stages of the financing deal – about 95% complete. Once that is completed we will be able to proceed with the demolition. We anticipate beginning demolition early this summer.
- ee) **Question** – Drainage & rainwater harvesting? How much roof area?
- i) **Response** – The roof area has not increased for the overall site. There is currently a stormdrain network that redistributes runoff into the TDOT stormdrain system under Broadway Boulevard. As part of coordination with TDOT, it was determined that we could continue to use that redistribution as long as the roof runoff remained the same. Because there is subfloors, it is difficult to provide rainwater harvesting onsite, but the landscaping out in the rights-of-way and where there is no subfloor will have a capture component.
- ff) **Question** – What is the status of the parking garage across the street? Are there long term leases, is it open, can others lease spaces?
- i) **Response** – HSL currently leases the parking garage. The proposed project will not need to utilize the parking garage to meet its parking requirements and doesn't plan to hold any spaces. Currently the Visit Tucson building utilizes the parking garage under an agreement, but otherwise with the removal of the office tenants the garage has availability and can lease spaces to others.

gg) **Question** – Insurance during demolition?

i) Response – Yes, the contractor and owner will carry insurance in case of any accidents or unintentional damage to surrounding/existing structures is done.

hh) **Question** – Will there be more detailed plans on the webpage?

i) Response – We will provide the information seen tonight and can provide a link to the City's permitting database – PRO, which will offer copies of the submitted plansets.

ii) **Question** – Did Mayor and Council approve the GPLET?

i) Response – Yes, the GPLET application was approved.

16) **Closing** – Mr. Stuart thanked everyone for coming, encouraged those to sign the sign-in sheet if had not already done so, and closed the neighborhood meeting.

REQUEST FOR MAILING LABELS

Project Address 110 S. Church Ave.

Applicant/Agent Name Matt Stuart - Cypress Civil Development

Mailing Address 2030 E Speedway Blvd, Ste. 110

Phone 520.499.2456

Matt Stuart
Applicant/Agent Signature

08.03.17

Date

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

- Assessor's Property Inquiry Printout (APIQ) Assessor's Block & Lot Map
(one printout for each lot included in the project)

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- Environment Resource Zone WASH Ordinance
 Hillside Development Zone Scenic Corridor Zone
 Design Development Option Board of Adjustment
 Design Development Option (Full Notice) Other: Infill Incentive District
 Rezoning/SE

PROCESSING FEE

- \$220.00 Check Number: _____ Cash
 Charge Account: _____

Date Received: _____ Date Due: _____

Requested By: _____ Due To: _____

Request to: HS _____ GDS _____ SM _____ Other _____

Comments: TIPRE 00168

Book-Map-Parcel: 117-20-016F
 Property Address:
 Taxpayer Information:
 HSL LA PLACITA LLC
 ATTN: OMAR MIRELES
 3901 E BROADWAY BLVD
 TUCSON AZ

Property Description:
 PUEBLO CENTER REDEVELOPMENT PROJECT
 ARIZONA R-8 NMLY PTN LOTS 5 & 6 BLK 510

Oblique Image

Tax Year: 2018

Tax Area: 0150

85711- 3452

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2017	Vacant/Ag/Golf (2)	15.0	\$74,014	\$0	\$74,014	\$74,014	\$11,102
2018	Vacant/Ag/Golf (2)	15.0	\$74,014	\$0	\$74,014	\$74,014	\$11,102

Property Information:

Section: 13
 Town: 14.0
 Range: 13.0E
 Map & Plat: 20/83

Block:

Tract:

Rule B District: 1
 Land Measure: 4931.00F

Group Code:

Census Tract:

Use Code:

0021 (VACANT COMMERCIAL URBAN SUBDIVIDED)

File Id:

1
 Date of Last Change: 5/4/2012

Valuation Area:

Condo Market: 80
 DOR Market: 31
 MFR Neighborhood: CB_DOWNTOWN
 SFR Neighborhood: 01020201
 SFR District: 30

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale Price	Time Adjusted Sale	Cash Validation
20042250324	3	11/2004	Commercial/Industrial	\$7,800,000	\$7,800,000	N W/1 LCB DEED: Special Warranty Deed
19980870808	2	05/1998	Commercial/Industrial	\$8,500,000	\$8,500,000	N W/1 LLC DEED: Special Warranty Deed

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20113640537	0	0	12/30/2011	WARRANTY DEED
20050840761	12523	4077	4/4/2005	WARRANTY DEED
20042250324	12433	1789	11/22/2004	WARRANTY DEED
0	11088	1083	6/15/1999	
19991140455	11068	1119	6/15/1999	
19980870808	10810	1254	6/4/1998	

Petition Information:

Tax Year	Owner's Estimate	Petition SBOE
2010	\$50,000	
2009	\$74,014	
2006	\$50,000	
2003	\$500	
2002	\$500	

Parcel Note: Click to see/expand 5 note(s)

Book-Map-Parcel: 117-20-016G

Oblique Image

Tax Year: 2018

Tax Area: 0150

Property Address:

Street No 110
120
222

Street Name

CHURCH AV
BROADWAY BL
CHURCH AV

Location

Tucson
Tucson
Tucson

Taxpayer Information:

HSL LA PLACITA LLC
ATTN: OMAR MIRELES
3901 E BROADWAY BLVD
TUCSON AZ

Property Description:

FUEBLO CENTER REDEVELOPMENT PROJECT
ARIZONA R-8 LOTS 5 & 6 EXC NLY PTN BLK 510
TUCSON AZ

85711-3452

Valuation Data:

Valuation Year	Legal Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2017	COMMERCIAL (1)	18.0	\$1,541,017	\$4,709,893	\$6,250,910	\$6,250,910	\$1,125,164
2018	COMMERCIAL (1)	18.0	\$1,541,017	\$4,709,893	\$6,250,910	\$6,250,910	\$1,125,164

Property Information:

Section: 13

Town: 14.0

Range: 13.0E

Map & Plat: 20/83

Block: 510

Tract:

Rule B District: 1

Land Measure: 102866.00F

Group Code: 000

Census Tract: 100

Use Code: 1514 (OFFICE BUILDING 4 OR MORE STORY)

File Id: 1

Date of Last Change: 5/4/2012

Commercial Characteristics:

Property Appraiser: Mark Baudendistel Phone: 520-724-7458

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Commercial Detail	154,812	\$15,760,134		\$4,709,893

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
012-001	1974	101/3	0000000	0	\$243,252	\$96,328	COMMERCIAL YARD IMPROVEMENTS
013-001	1967	114/3	0000000	1,184	\$103,441	\$38,480	STRIP STORE
014-001	1967	114/3	0000000	1,276	\$111,403	\$41,442	STRIP STORE
015-001	1967	201/3	0000000	4,245	\$506,653	\$188,475	RESTAURANT FULL SERVICE
016-001	1977	201/3	0000000	2,890	\$403,656	\$161,422	RESTAURANT FULL SERVICE
017-001	1983	151/3	0000000	14,196	\$1,898,183	\$1,222,682	BUSINESS OFFICE
018-001	1983	151/3	0000000	7,493	\$1,114,920	\$802,742	BUSINESS OFFICE
019-001	1983	151/3	0000000	18,545	\$2,501,436	\$1,801,034	BUSINESS OFFICE
020-001	1983	151/3	0000000	24,094	\$4,798,818	\$3,455,149	BUSINESS OFFICE
021-001	1983	151/3	0000000	7,752	\$1,078,213	\$776,313	BUSINESS OFFICE
022-001	1983	151/3	0000000	20,052	\$2,613,559	\$1,881,762	BUSINESS OFFICE
023-001	1983	151/3	0000000	7,887	\$1,054,232	\$759,047	BUSINESS OFFICE
024-001	1983	151/3	0000000	10,090	\$1,379,642	\$993,342	BUSINESS OFFICE
025-001	1983	151/3	0000000	9,674	\$1,301,139	\$936,820	BUSINESS OFFICE
026-001	1974	151/3	0000000	25,634	\$4,522,719	\$2,605,086	BUSINESS OFFICE

Valuation Area:

Condo Market: 60

DOR Market: 31

MFR Neighborhood: CB_DOWNTOWN

SFR Neighborhood: 01020201

SFR District: 30

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted	Cash Validation
20042250324	3	11/2004	Commercial/Industrial	\$7,800,000	\$7,800,000	N

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20113840537	0	0	12/30/2011	WARRANTY DEED
20050940761	12823	4077	4/4/2005	WARRANTY DEED
20042280324	12433	1768	11/22/2004	WARRANTY DEED
0	11086	1083	6/15/1999	WARRANTY DEED
19991140456	11068	1119	6/15/1999	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2018	\$1,541,017	link	
2011	\$3,262,173		
2010	\$5,500,000		
2009	\$5,050,027		
2006	\$5,000,000		
2004	\$3,100,000		
2003	\$3,100,000		

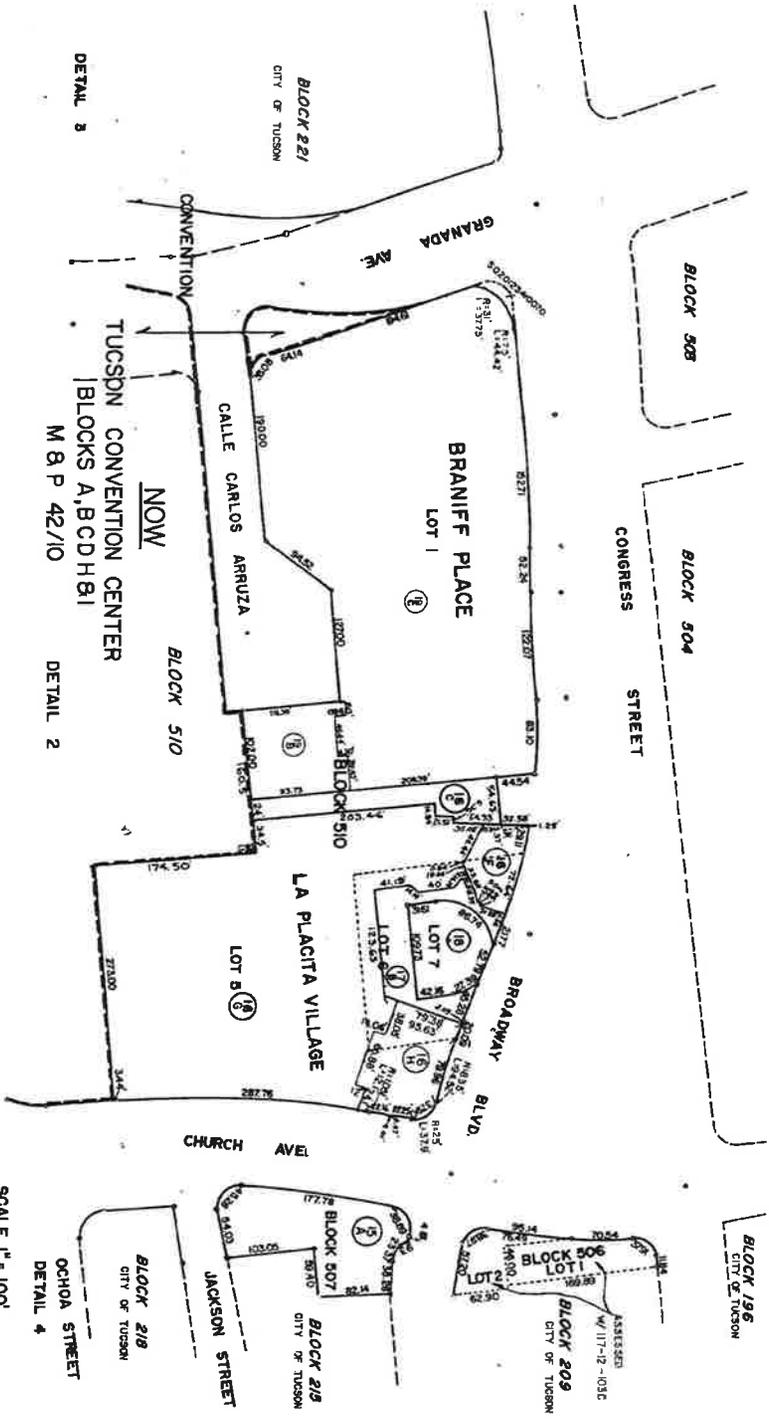
Parcel Note: [Click to see/expand 9 note\(s\)](#)

ASSESSOR'S RECORD MAP

117-20

PUEBLO CENTER

DETAIL No. 1



DETAIL 3

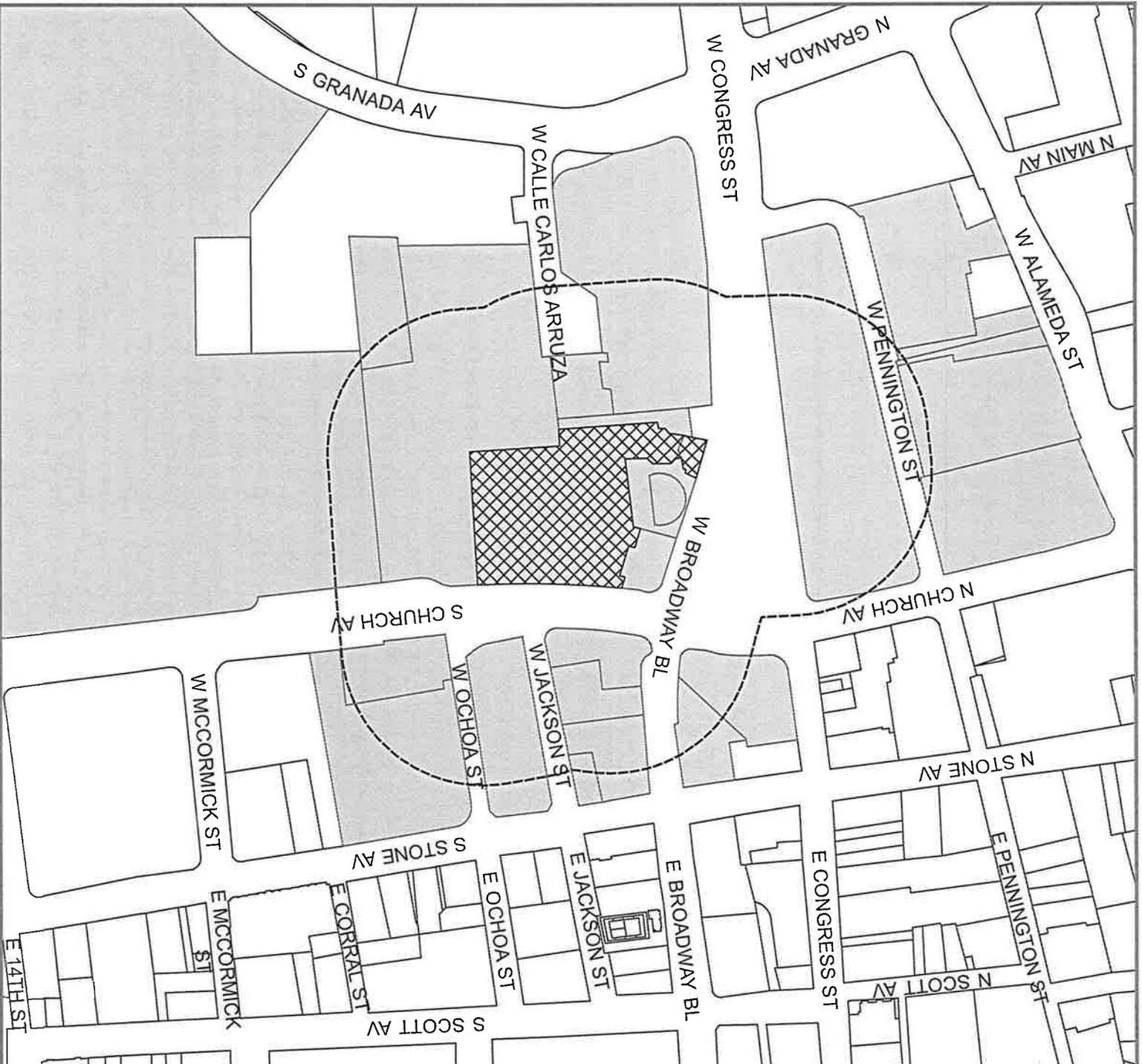
TUCSON CONVENTION CENTER
BLOCKS A, B, C, D, H, I
M & P 42/10

DETAIL 2

DETAIL 4

SCALE 1" = 100'
SEE BOOK 20 PAGES M&P
2013-1

20083001
SCANNED



Address: 110 S. Church Ave.
Base Maps: Twp. 14S Range13E Sec. 13
Ward: 6

-  Subject Property
-  Notification Area (300-foot Radius)
-  Properties Notified



1 Inch = 300 feet



T17PRE0068



Santa Cruz
Southwest

18 August 2017

RE: Use of the Infill Incentive District Optional Overlay (IID) – La Placita Village Redevelopment – 110 S Church Avenue

Dear Neighbor:

We will be holding a neighborhood meeting to discuss the requested use of the Infill Incentive District Optional Overlay (IID) standards for the proposed mixed-use/multi-family development project located at 110 S Church Avenue, aka La Placita Village (The Flin). The goal of the development project is to redevelop the downtown property with approximately 244 residential units and associated parking; while also rehabilitating the historic structures (Samaniego House, Flin Building, Stables) and incorporating them into the overall development scheme. We would like to invite you to attend, provide insight about the area and the surrounding neighborhoods, and ask any questions you may have regarding the potential project and/or the use of the IID at this location.

We will be holding the meeting at the Park Tucson downtown office (conference room) - **110 E Pennington Street, Suite 150**, at the southwest corner of E Pennington Street and N 6th Avenue. The meeting will be held at **5:00 PM on Tuesday, September 5th**.

We encourage public participation, and in addition to questions presented in person at the meeting, you may also direct written questions or comments to Matt Stuart at mstuart@cypresscivil.com prior to, or following the public meeting. If you have any questions about location or the scheduling of the neighborhood meeting, please feel free to contact via email or by phone at (520) 499-2456.

The purpose of this meeting will be to present the proposed development, explain relative details, its use of the IID, and hear any constructive ideas that you may have relating to our proposal. Our goal with this process is to be able to respond to your ideas, and make every effort to become a welcomed future neighbor. We look forward to meeting with you personally.

If you have any questions, please do not hesitate to contact. Additional contact information is contained directly below. Thank you for your time and consideration.

Sincerely,

Cypress Civil Development

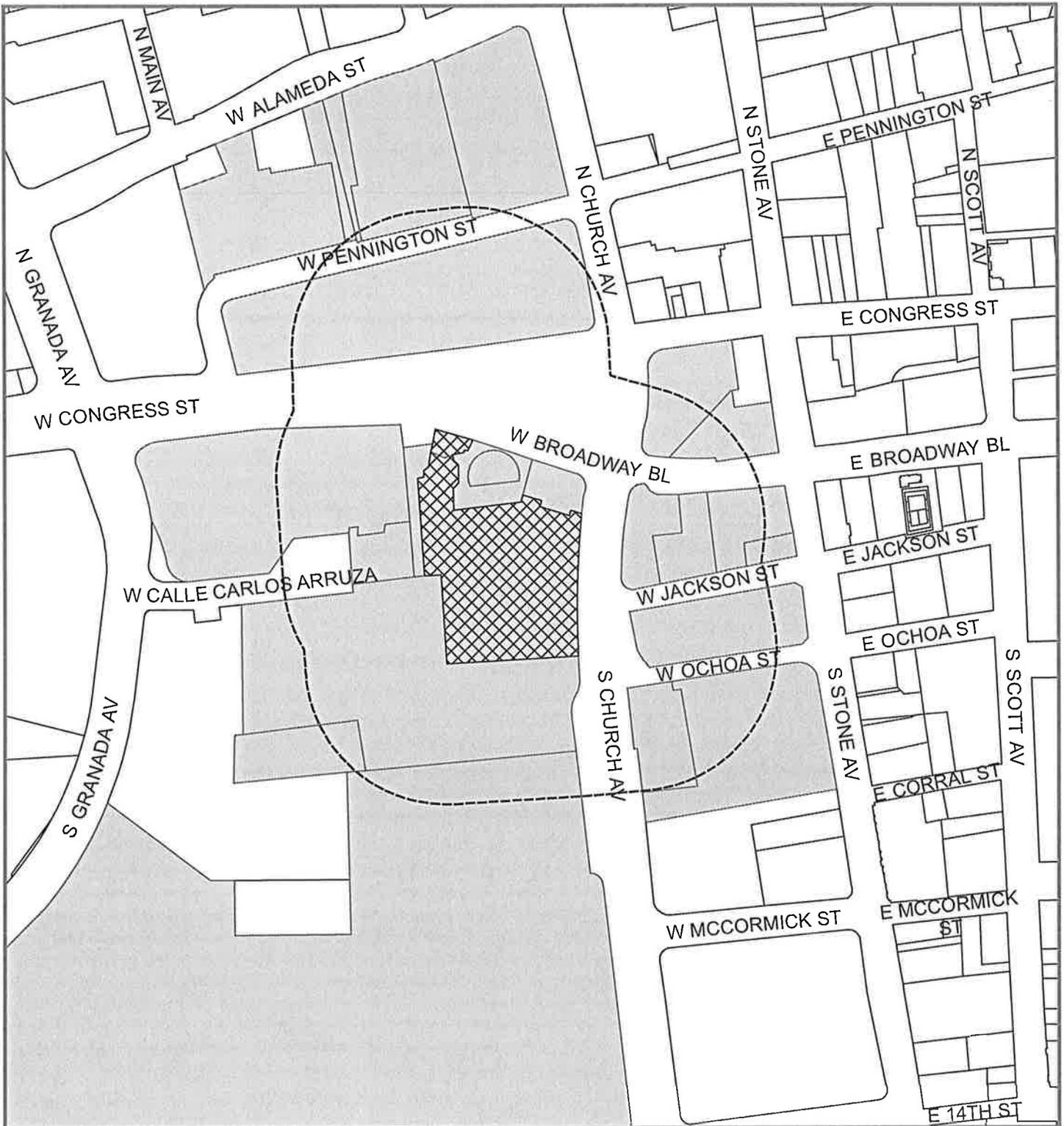


Matt Stuart

Project Manager

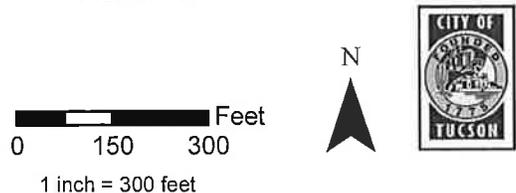
(520) 499-2456

mstuart@cypresscivil.com



Address: 110 S. Church Ave.
Base Maps: Twp.14S Range13E Sec. 13
Ward: 6

-  Subject Property
-  Notification Area (300-foot Radius)
-  Properties Notified





CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on 08/18/2017,
(date of mailing)

for the neighborhood meeting to be held on 09/05/2017.
(date of neighborhood meeting)

Matt Stuart
(signature of applicant/applicant's agent)

08/18/2017
(date signed)

Documentation if available (such as receipt)

=====
 SUN
 2100 E SPEEDWAY BLVD
 TUCSON
 AZ
 85719-9998
 0388970747
 08/18/2017 (800)275-8777 2:48 PM
 =====

Product Description	Sale Qty	Final Price
First-Class Mail Letter (Domestic) (TUCSON, AZ 85704) (Weight:0 Lb 0.40 Oz) (Expected Delivery Day) (Monday 08/21/2017) Certified (@@USPS Certified Mail #) (70151520000300671716)	1	\$0.49
First-Class Mail Letter (Domestic) (TUCSON, AZ 85701) (Weight:0 Lb 0.50 Oz) (Expected Delivery Day) (Monday 08/21/2017) Certified (@@USPS Certified Mail #) (70151520000300671723)	1	\$3.35
First-Class Mail Letter (Domestic) (TUCSON, AZ 85719) (Weight:0 Lb 0.40 Oz) (Expected Delivery Day) (Monday 08/21/2017) Certified (@@USPS Certified Mail #) (70151520000300671730)	1	\$0.49
First-Class Mail Letter (Domestic) (TUCSON, AZ 85711) (Weight:0 Lb 0.40 Oz) (Expected Delivery Day) (Monday 08/21/2017) Certified (@@USPS Certified Mail #) (70151520000300672263)	1	\$0.49
First-Class Mail Letter (Domestic) (TUCSON, AZ 85733) (Weight:0 Lb 0.50 Oz) (Expected Delivery Day) (Monday 08/21/2017) Certified (@@USPS Certified Mail #) (70151520000300672270)	1	\$3.35
First-Class Mail Letter (Domestic) (TUCSON, AZ 85714) (Weight:0 Lb 0.50 Oz) (Expected Delivery Day) (Monday 08/21/2017) Certified (@@USPS Certified Mail #) (70151520000300672287)	1	\$0.49
Total		\$222.72
Credit Card Remitd		\$222.72
(Card Name:VISA) (Account #:XXXXXXXXXXXX5992)		



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Name and Address of Sender		Check type of mail or service		Affix Stamp Here <i>(if issued as an international certificate of mailing or for additional copies of this receipt).</i> Postmark with Date of Receipt.													
USPS Tracking/Article Number		Addressee (Name, Street, City, State, & ZIP Code™)		Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	7015 1520 0003 0067 1723	1 SC Partners LLC 6700 N Oracle Rd Ste 504 Tucson, AZ 85704-7736	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery														
2.	7015 1520 0003 0067 1723	One West Broadway LLC Attn: Paula Caylor 2 E Congress St Ste 900 Tucson, AZ 85701-1722															
3.	7015 1520 0003 0067 1730	Arizona Pioneers Historical Society 949 E 2nd St Tucson, AZ 85719-4840															
4.	7015 1520 0003 0067 1747	HSL La Placita LLC Attn: Oma R Mireles 3901 E Broadway Blvd Tucson, AZ 85711															
5.	7015 1520 0003 0067 1754	HSL Circle Properties Ltd Partnership 3901 E Broadway Blvd Tucson, AZ 85711															
6.	7015 1520 0003 0067 1761	Mivi La Placita Parking LLC Attn: HSL La Placita LLC 3901 E Broadway Blvd Tucson, AZ 85711-3452															
7.	7015 1520 0003 0067 1778	Saint Augustine Cathedral Roman Catholic Parish - Tucson PO Box 31 Tucson, AZ 85702-0031															
8.																	
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 Adult Signature Restricted Delivery \$
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 City, State, Zip \$

11712099A
1SC PARTNERS LLC
6700 N ORACLE RD STE 504
TUCSON AZ 85704-7736

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0003 0067 1221

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
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 Adult Signature Restricted Delivery \$
 Postage \$
Total Postage \$
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 Street and Apt. \$
 City, State, Zip \$

11713029A
ONE WEST BROADWAY LLC/ATTN:
PAULA CAYLOR
2 E CONGRESS ST STE 900
TUCSON AZ 85701-1722

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 Adult Signature Restricted Delivery \$
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Total Postage \$
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 City, State, Zip \$

117130320
ARIZONA PIONEERS HISTORICAL S
OCIETY
949 E 2ND ST
TUCSON AZ 85719-4840

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 Adult Signature Restricted Delivery \$
 Postage \$
Total Postage \$
 Sent To \$
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 City, State, Zip \$

11720016F
HSL LA PLACITA LLC/ATTN:OMA
R MIRELES
3901 E BROADWAY BLVD
TUCSON AZ 85711-3452

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0003 0067 1221

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 Return Receipt (electronic) \$
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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
Total Postage \$
 Sent To \$
 Street and Apt. \$
 City, State, Zip \$

11720019B
HSL CIRCLE PROPERTIES LTD PAR
TNERSHIP
3901 E BROADWAY BLVD
TUCSON AZ 85711-0000

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7015 1520 0003 0067 1221

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 Adult Signature Restricted Delivery \$
 Postage \$
Total Postage \$
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 Street and Apt. \$
 City, State, Zip \$

11713044B
MIVI LA PLACITA PARKING LLC/IN
ATTN: HSL LA PLACITA LLC
3901 E BROADWAY BLVD
TUCSON AZ 85711-3452

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<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage \$ _____



11713156B

SAINT AUGUSTINE CATHEDRAL ROM
ANN CATHOLIC PARISH-TUCSON
PO BOX 31
TUCSON AZ 85702-0031

Total Postage a \$ _____

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Street and Apt. _____

City, State, ZIP+4 _____

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7015 1278 8227 2900 E000 0257 5702



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1.	7015 1520 0003 0067 1785	Pueblo Center Partners LP 3901 E Broadway Blvd Tucson, AZ 85711-3452																										
2.	7015 1520 0003 0067 1792	HSL La Placita LLC Attn: Oma R Mireles 3901 E Broadway Blvd Tucson, AZ 85711-3452																										
3.	7015 1520 0003 0067 1808	Metropolitan Tucson Convention Visitors Bureau 100 S Church Ave Tucson, AZ 85701-1631																										
4.	7015 1520 0003 0067 1815	FSL Padre Kino Village LP 1201 E Thomas Rd Phoenix, AZ 85014-5734																										
5.	7015 1520 0003 0067 1822	COPE Properties LLC 82 S Stone Ave Tucson, AZ 85701-1713																										
6.	7015 1520 0003 0067 1839	Saint Augustine Cathedral Roman Catholic Parish - Tucson PO Box 31 Tucson, AZ 85702-0031																										
7.	7015 1520 0003 0067 1846	Rio Nuevo Multipurpose Facilities District Attn: Property PO Box 27210 Tucson, AZ 85726-7210																										
8.	7015 1520 0003 0067 1853	I SC Partners LLC 6700 N Oracle Rd Ste 504 Tucson, AZ 85704-7736																										
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Total Number of Pieces Received at Post Office		5																										
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 City, State, Zip

11720019C
 PUEBLO CENTER PARTNERS LP
 3901 E BROADWAY BLVD
 TUCSON AZ 85711-3452

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7015 1520 0003 0067 1292

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 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage \$
 Sent To \$
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 City, State, Zip

11720016G
 HSL LA PLACITA LLC/ATTN: OMA
 R MIRELES
 3901 E BROADWAY BLVD
 TUCSON AZ 85711-3452

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11720016H
 METROPOLITAN TUCSON CONVENTIO
 N & VISITORS BUREAU
 100 S CHURCH AVE
 TUCSON AZ 85701-1631

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7015 1520 0003 0067 1808

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 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage \$
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 Street and Apt.
 City, State, Zip

11720015A
 FSL PADRE KINO VILLAGE LP
 1201 E THOMAS RD
 PHOENIX AZ 85014-5734

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0003 0067 1815

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage \$
 Sent To \$
 Street and Apt.
 City, State, Zip

11713027A
 COPE PROPERTIES LLC
 82 S STONE AVE
 TUCSON AZ 85701-1713

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7015 1520 0003 0067 1822

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
 Postage \$
 Total Postage \$
 Sent To \$
 Street and Apt.
 City, State, Zip

11713156C
 SAINT AUGUSTINE CATHEDRAL ROM
 AN/CATHOLIC PARISH-TUCSON/INATT
 PO BOX 31
 TUCSON AZ 85702-0031

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7015 1520 0003 0067 1839

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage: \$ _____

Sent To: **11712103C**

Street and Apt.: **15C PARTNERS LLC**

City, State, Zip: **6700 N ORACLE RD STE 504
TUCSON AZ 85704-7736**

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TUCSON AZ 85719

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Return Receipt (electronic) \$ _____

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage: \$ _____

Sent To: **11720029A**

Street and Apt.: **RIO NUEVO MULTIPURPOSE FACILI
TIES DISTRICT ATTN: PROPERTY M
PO BOX 27210**

City, State, Zip: **TUCSON AZ 85726-7210**

Postmark Here: **AUG 18 2017**

TUCSON AZ 85719

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USPS Tracking/Article Number		Addressee (Name, Street, City, State, & ZIP Code™)										Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee		
1.	7015 1520 0003 0067 1860	Jonathan Rothschild Mayor 255 W Alameda St Tucson, AZ 85701																								
2.	7015 1520 0003 0067 1877	Tod E Santee N.A. - Armory Park 519 S 3rd Ave Tucson, AZ 85701																								
3.	7015 1520 0003 0067 1884	Steve Leal N.A. - Barrio Hollywood 1455 W Delaware Tucson, AZ 85745																								
4.	7015 1520 0003 0067 1891	Shirley Roman (Chair) N.A. - Barrio Kroeger Lane 906 W 21st St Tucson, AZ 85745																								
5.	7015 1520 0003 0067 1907	Yolanda Gonzales N.A. - Barrio Santa Rosa 826 S Rubio Tucson, AZ 85701																								
6.	7015 1520 0003 0067 1914	Pedro M Gonzales N.A. - Barrio Viejo 423 S Elias Tucson, AZ 85701																								
7.	7015 1520 0003 0067 1921	Karen Greene N.A. - Dunbar Spring 1023 N Perry Ave Tucson, AZ 85705																								
8.	7015 1520 0003 0067 1938	Mary Jo Curtain N.A. - El Presidio 233 N Main Ave Tucson, AZ 85701																								
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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To \$

Street and Apt

City, State, Zip

Jonathan Rothschild
 Mayor
 255 W. Alameda ST
 Tucson, AZ 85701

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To \$

Street and Apt

City, State, Zip

Tod E. Santee
 N.A.-Armory Park
 619 S 3rd Ave
 Tucson, AZ 85701

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To \$

Street and Apt

City, State, Zip

Steve Leal
 N.A.-Barrio Hollywood
 1455 W Delaware
 Tucson, AZ 85745

Postmark Here

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7015 1520 0003 0067 1891

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To \$

Street and Apt

City, State, Zip

Shirley Roman (Chair)
 N.A.-Barrio Kroeger Lane
 906 W 21st St.
 Tucson, AZ 85745

Postmark Here

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7015 1520 0003 0067 1907

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To \$

Street and Apt

City, State, Zip

Yolanda Gonzales
 N.A.-Barrio Santa Rosa
 826 S. Rubio
 Tucson, AZ 85701

Postmark Here

AUG 18 2017

TUCSON AZ 85719

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7015 1520 0003 0067 1914

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

Sent To \$

Street and Apt

City, State, Zip

Pedro M Gonzales
 N.A.-Barrio Vrejo
 423 S Elias
 Tucson, AZ 85701

Postmark Here

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Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage: \$ _____

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Street and Apt. _____

City, State, ZIP+4 _____

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USPS SUN STATION
AUG 18 2017

Max Curtin
 N.A.-ENPrestidlo AZ 85701
 233 N Main Ave
 Tucson, AZ 85701

7015 1520 0003 0067 1221

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Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

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USPS SUN STATION
AUG 18 2017

Karen Greene
 N.A.-Dunbar Spring
 1023 N Perry Ave
 Tucson, AZ 85705

7015 1520 0003 0067 1221



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Name and Address of Sender		Check type of mail or service										Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee									
		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Priority Mail																														
USPS Tracking/Article Number		Addressee (Name, Street, City, State, & ZIP Code™)																														
1.		John Daniel Twelker																														
7015 1520 0003 0067 1945		N.A. - Iron Horse 229 N 1st Ave Tucson, AZ 85719																														
2.		John D Burr																														
7015 1520 0003 0067 1952		N.A. - Armory Park PO Box 2132 Tucson, AZ 85702																														
3.		Feliciano Leon																														
7015 1520 0003 0067 1969		N.A. - Barrio Anita 772 N Anita Ave Tucson, AZ 85705																														
4.		Katherine M Medberry																														
7015 1520 0003 0067 1976		N.A. - Barrio Hollywood 1204 W Ontario St Tucson, AZ 85745																														
5.		Josefina Cardenas																														
7015 1520 0003 0067 1983		N.A. - Barrio Kroeger Lane 902 W 21st St Tucson, AZ 85745																														
6.		Ted Warmbrand																														
7015 1520 0003 0067 1990		N.A. - Barrio San Antonio 402 S Star Ave Tucson, AZ 85719																														
7.		Joanna Williams																														
7015 1520 0003 0067 2003		N.A. - Dunbar Spring 938 N Perry Ave Tucson, AZ 85705																														
8.		Stephen M Rebro																														
7015 1520 0003 0067 2010		N.A. - El Presidio 426 N Court Ave Tucson, AZ 85701																														
Total Number of Pieces Listed by Sender		Postmaster, Per (Name of receiving employee)																														
8		GWA																														

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Joanna Williams
N.A.-Dunbar Spring
938 N Perry Ave
Tucson, AZ 85705

AUG 18 2017

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Postage \$

Total Postage \$

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Stephen M. Rebro
N.A.-El Presidio
426 N Court Ave
Tucson, AZ 85701

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USPS Tracking/Article Number		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Priority Mail										Postage (Extra Service) Fee Handling Charge Actual Value if Registered Insured Value Due Sender if COD ASR Fee ASRD Fee RD Fee RR Fee SC Fee SCRD Fee SH Fee									
1.	7015 1520 0003 0067 2027	Gene Einfrank N.A. - Menlo Park 212 S Avenida del Sembrador Tucson, AZ 85745										Handling Charge - if Registered and over \$50,000 in value									
2.	7015 1520 0003 0067 2034	Anne Cooper N.A. - Armory Park PO Box 2132 Tucson, AZ 85712																			
3.	7015 1520 0003 0067 2041	Gracie N Soto N.A. - Barrio Anita 809 N Anita Ave Tucson, AZ 85705																			
4.	7015 1520 0003 0067 2056	Scott Egan N.A. - Barrio Hollywood 1409 W Niagara St Tucson, AZ 85745																			
5.	7015 1520 0003 0067 2065	Nicole Gonzales N.A. - Barrio Santa Rosa 323 W 19th St Tucson, AZ 85701																			
6.	7015 1520 0003 0067 2072	Leticia A Gonzales N.A. - Barrio Viejo 423 S Elias Tucson, AZ 85701																			
7.	7015 1520 0003 0067 2089	Thaddeus Pace (Co-Pres) N.A. - El Presidio 425 N Main Ave Tucson, AZ 85701																			
8.	7015 1520 0003 0067 2096	Mary Lynn Miners N.A. - Iron Horse 528 E 8th St Tucson, AZ 85705																			
Total Number of Pieces Listed by Sender		8										Total Number of Pieces Received at Post Office									
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Return Receipt (electronic) \$ _____

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage a \$ _____

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City, State, ZIP+4 _____

Gene Einfrank
N.A.-Menlo Park
212 S. Avenida del Sembrador
Tucson, AZ 85745

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

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Anne Cooper
N.A.-Army Park
P.O. Box 2132
Tucson, AZ 85712

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

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Gracie N. Soto
N.A.-Barrio Anita
809 N. Anita Ave.
Tucson, AZ 85705

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Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage a \$ _____

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Street and Apt. # _____

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Scott Egan
N.A.-Barrio Hollywood
1409 W Niagara St
Tucson, AZ 85745

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Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage : \$ _____

Sent To _____

Street and Apt. # _____

City, State, ZIP+4 _____

Nicole Gonzales
N.A.-Barrio Santa Rosa
323 W. 19th Street
Tucson, AZ 85701

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

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Letitia A Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

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Thaddeus Pace (Co-Pres)
N.A.-El Presidio
425 N Main Ave
Tucson, AZ 85701

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

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Mary Lynn Miners
N.A.-Iron Horse
528 E. 8th St.
Tucson, AZ 85705

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Addressee (Name, Street, City, State, & ZIP Code™)		Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee							
1.	7015 1520 0003 0067 2102	Wendy Sterner N.A. - Menlo Park 1039 W Congress Tucson, AZ 85745																			
2.																					
3.																					
4.																					
5.																					
6.																					
7.																					
8.																					



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Postmaster, Per (Name of receiving employee)

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USPS SUIITE 1000
TUCSON AZ 85719

Wendy Stern
N.A.-Menlo Park
1039 W Congress
Tucson, AZ 85745

Total Postage \$
Sent To
Street and Ap
City, State, Zi

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7015 1520 0003 0067 2102



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		Addressee (Name, Street, City, State, & ZIP Code™)										Postage (Extra Service) Fee Handling Charge Actual Value if Registered Insured Value Due Sender if COD ASR Fee ASRD Fee RD Fee RR Fee SC Fee SCRD Fee SH Fee									
1.	7015 1520 0003 0067 2119	Adalberto Ballesteros III N.A. - Menlo Park 402 S Melwood Ave Tucson, AZ 85745										Handling Charge - if Registered and over \$50,000 in value									
2.	7015 1520 0003 0067 2126	George Kalil N.A. - Millville 931 S Highland Tucson, AZ 85719																			
3.	7015 1520 0003 0067 2133	Pat Homan N.A. - Pie Allen 850 E 7th St Tucson, AZ 85719																			
4.	7015 1520 0003 0067 2140	Amanda Smith N.A. - Rincon Heights 1625 E 8th St Tucson, AZ 85719										Adult Signature Required Adult Signature Restricted Delivery Return Receipt Signature Confirmation Special Handling									
5.	7015 1520 0003 0067 2157	Ernie Lujan N.A. - Santa Rita Park - West Ochoa 1445 S 4th Ave Tucson, AZ 85713																			
6.	7015 1520 0003 0067 2164	Richard Mayers N.A. - West University PO Box 42825 Tucson, AZ 85733																			
7.	7015 1520 0003 0067 2171	Steve Kozachik Ward 6 3202 E 1st St Tucson, AZ 85716																			
8.																					



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Adult Signature Required \$

Adult Signature Restricted Delivery \$

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Total Postage \$

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Street and Apt. # _____

City, State, ZIP+4 _____

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Adalberto Ballesteros III
N.A.-Menlo Park
402 S Melwood Av
Tucson, AZ 85745

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7015 1520 0003 0067 2149

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Adult Signature Restricted Delivery \$

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Total Postage \$

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George Kaili
N.A.-Millville
931 S Highland
Tucson, AZ 85719

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Adult Signature Restricted Delivery \$

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Total Postage \$

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Pat Homan
N.A.-Ple Allen
850 E. 7th St
Tucson, AZ 85719

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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

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TUCSON AZ 85719

Amanda Smith
N.A.-Rincon Heights
1625 E 8th St
Tucson, AZ 85719

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

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Street and Apt. # _____

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TUCSON AZ 85719

Ernie Lujan
N.A.-Santa Rita Park-West Ochoa
1445 S 4th Ave
Tucson, AZ 85713

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

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Street and Apt. # _____

City, State, ZIP+4 _____

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TUCSON AZ 85719

Richard Mayers
N.A.-West University
PO Box 42825
Tucson, AZ 85733

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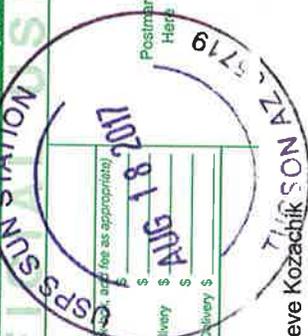
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Extra Services & Fees (choose one, add fee as appropriate)	\$	
<input type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	



Steve Kozachik SON AZ
Ward 6
3202 E. 1st St
Tucson, AZ 85716

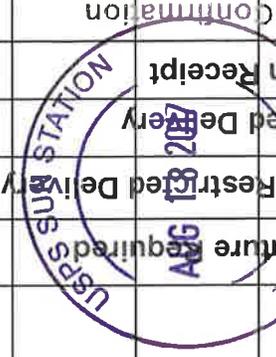
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7025 1520 003 007 2172



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USPS Tracking/Article Number		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery										Postage (Extra Service) Fee Handling Charge Actual Value if Registered Insured Value Due Sender if COD ASR Fee ASRD Fee RD Fee RR Fee SC Fee SCRD Fee SH Fee				
1.	7015 1520 0003 0067 2188	Addressee (Name, Street, City, State, & ZIP Code™) Roger Becksted N.A. - Millville 1070 E 20th St Tucson, AZ 85719 Colby Henley N.A. - Rincon Heights 1140 E 10th St Tucson, AZ 85719 Angela M Quiroz N.A. - Santa Rita Park - West Ochoa 448 E 22nd St Tucson, AZ 85713 Chris Gans N.A. - West University PO Box 42825 Tucson, AZ 85733 Regina Romero Ward 1 940 W Alameda St Tucson, AZ 85745										Adult Signature Restricted Delivery Restricted Delivery Return Receipt Signature Confirmation Signature Confirmation Restricted Delivery Special Handling				
2.	7015 1520 0003 0067 2195											Handling Charge - if Registered and over \$50,000 in value				
3.	7015 1520 0003 0067 2201															
4.	7015 1520 0003 0067 2218															
5.	7015 1520 0003 0067 2225															
6.																
7.																
8.																



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Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

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TUCSON AZ 85719

Roger Becksted
N.A.-Milville
1070 E 20th St
Tucson, AZ 85719

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage \$

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Street and Apt. _____

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TUCSON AZ 85719

Colby Henley
N.A.-Rincon Heights
1140 E 10th St
Tucson, AZ 85719

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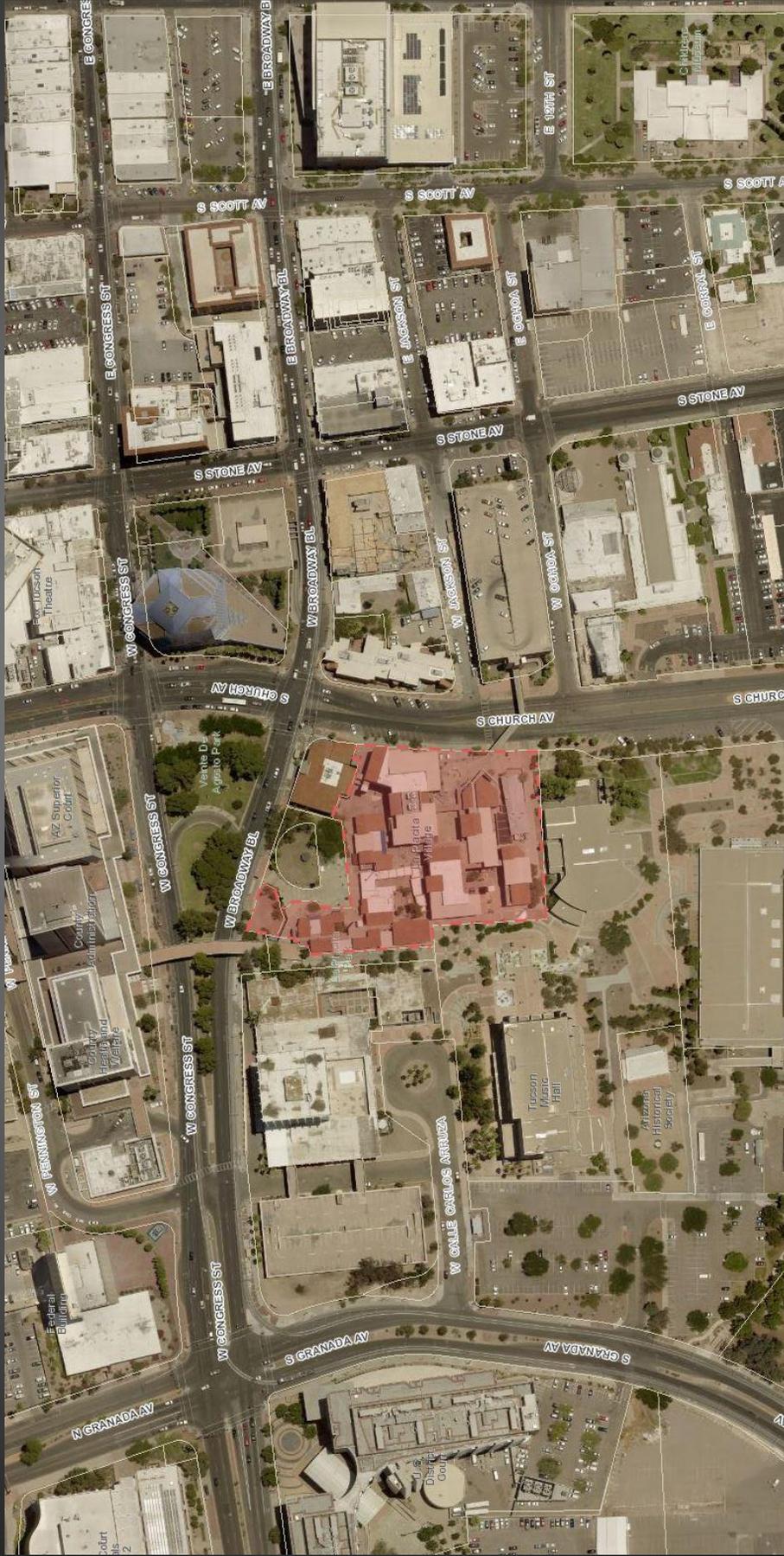
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PRESENTATION OUTLINE

- Project Overview
 - Location
 - Project Goals
- Infill Incentive District
 - IID & DCS
 - Requested Modifications
 - Site Plan
 - Design/Development Package Process
- Architectural Precedence
 - Downtown Projects
- Site Renderings
- Question & Answer

PROJECT OVERVIEW



PROJECT OVERVIEW

- Goals:
 - To provide market rate, class A, multi-family residential dwelling opportunities in the Downtown Core.
 - 244 UNITS (1, 2, 3, & 4 BEDROOMS)
 - 267 PARKING SPACES
 - Incorporate and retain the 3 eligible Historic structures on the property (Samaniego House, Flin Building, Stables).
 - Create a sustainable, eco-friendly environment for future downtown residents adjacent to a unique urban park setting and entertainment opportunities.

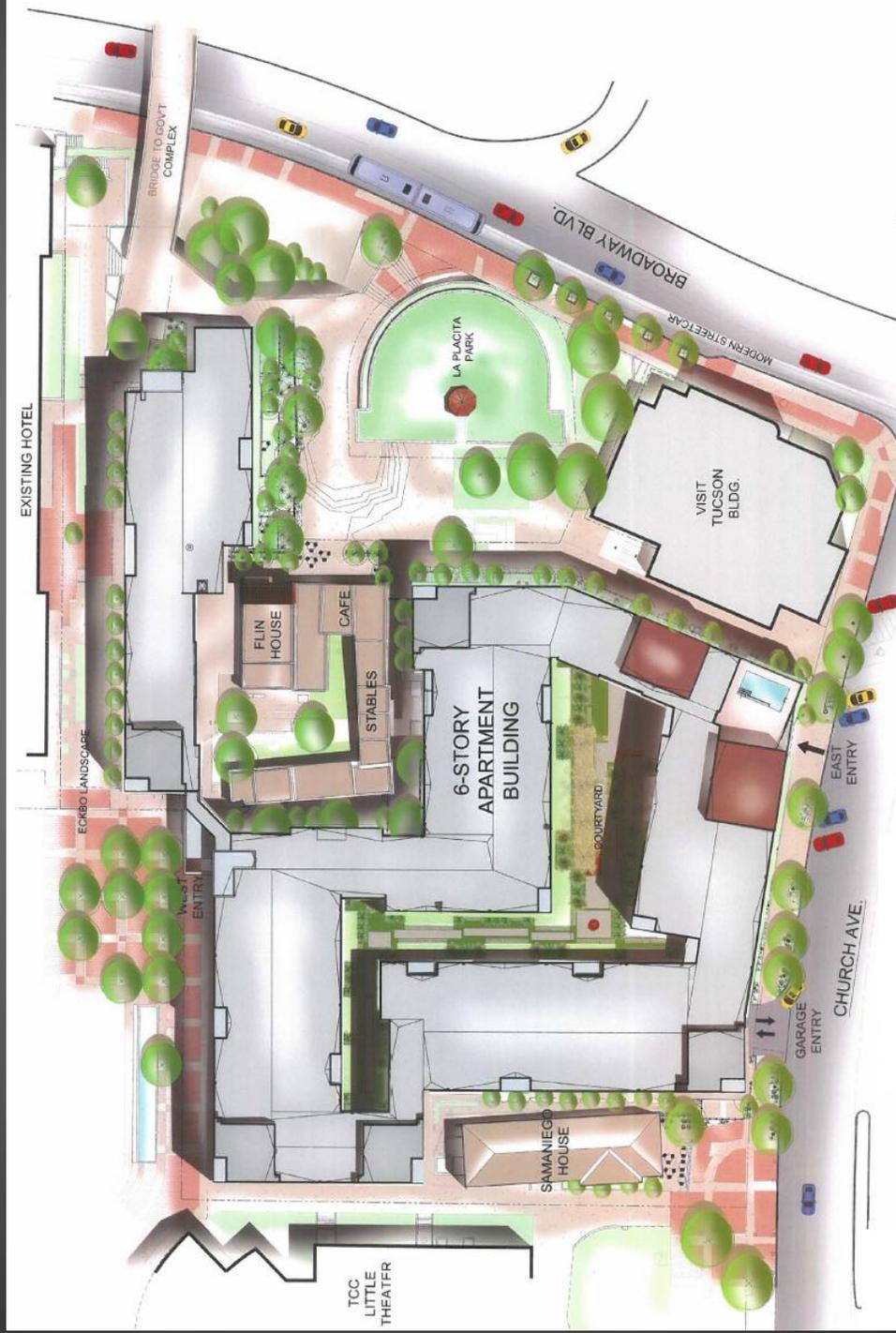
INFILL INCENTIVE DISTRICT

- **INFILL INCENTIVE DISTRICT (IID)**
 - An optional overlay zone that allows certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.
- **DOWNTOWN CORE SUBDISTRICT (DCS)**
 - Development is intended to take advantage of the Modern Street Car, and promote high-density infill transit-oriented development.
 - Development incentives for this zone include greater developable footprint and reduced parking requirements.

INFILL INCENTIVE DISTRICT

- Requested modifications
- Major Streets and Routes Setback
- Street perimeter yards
- Maximum Lot Coverage
- Minimum Lot Size
- Bicycle & Vehicle parking
- Off-street loading
- Landscaping & Screening
- Pedestrian Access
- Solid waste collection

SITE PLAN



SITE PLAN (PREVIOUS)



INFILL INCENTIVE DISTRICT

- Process (Major Design Review)
 - Pre-application conference w/ City Staff and Design Professional
 - ★ Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile)
 - Summarize Neighborhood Meeting and coordinate minutes.
 - Submit Design Package to City Staff
 - Tucson/Pima County Historical Commission Review & Recommendation
 - Meet & review Design Package with Design Professional
 - Design Review Committee Review & Recommendation
 - Planning & Development Services Director – Review findings and issues DECISION

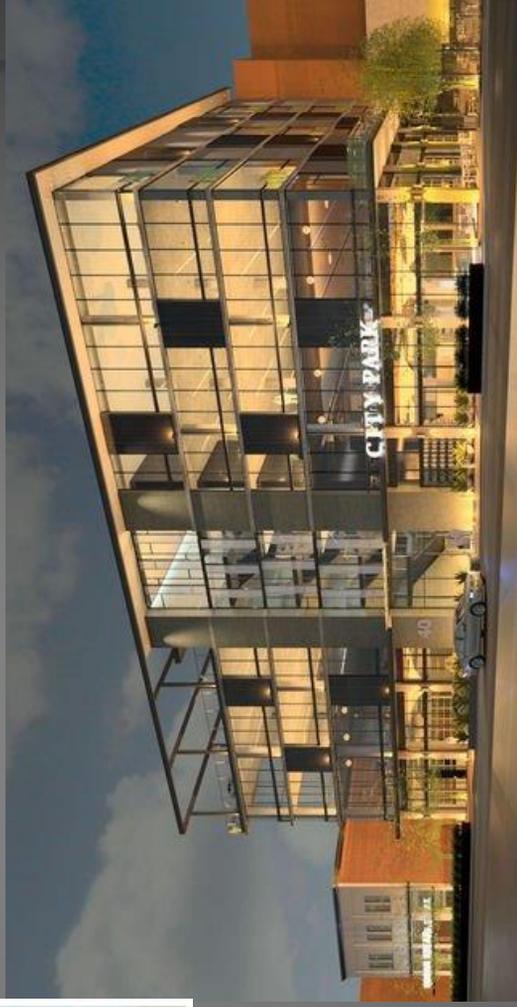
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ARCHITECTURAL PRECEDENCE



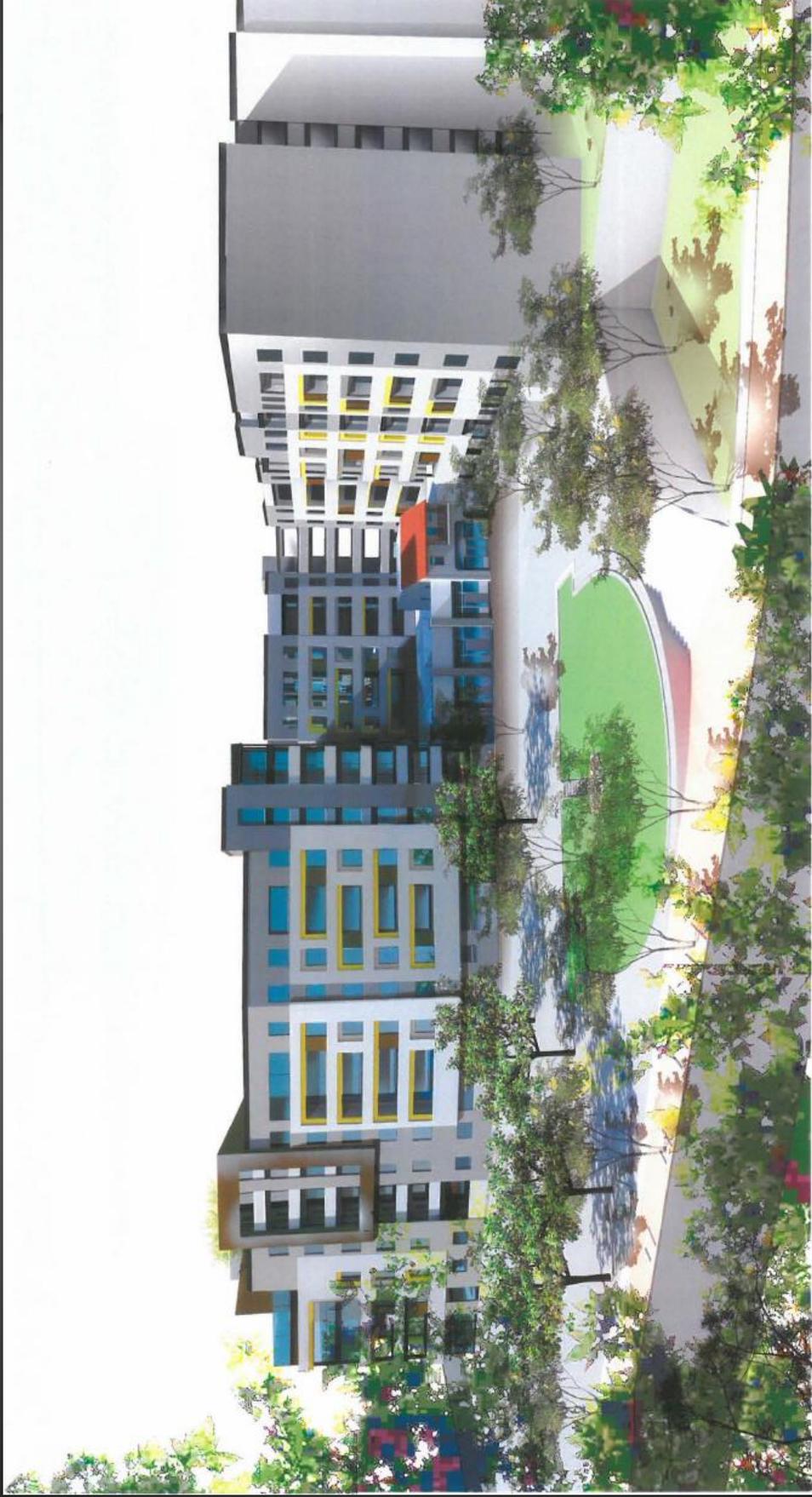
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ARCHITECTURAL PRECEDENCE



SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



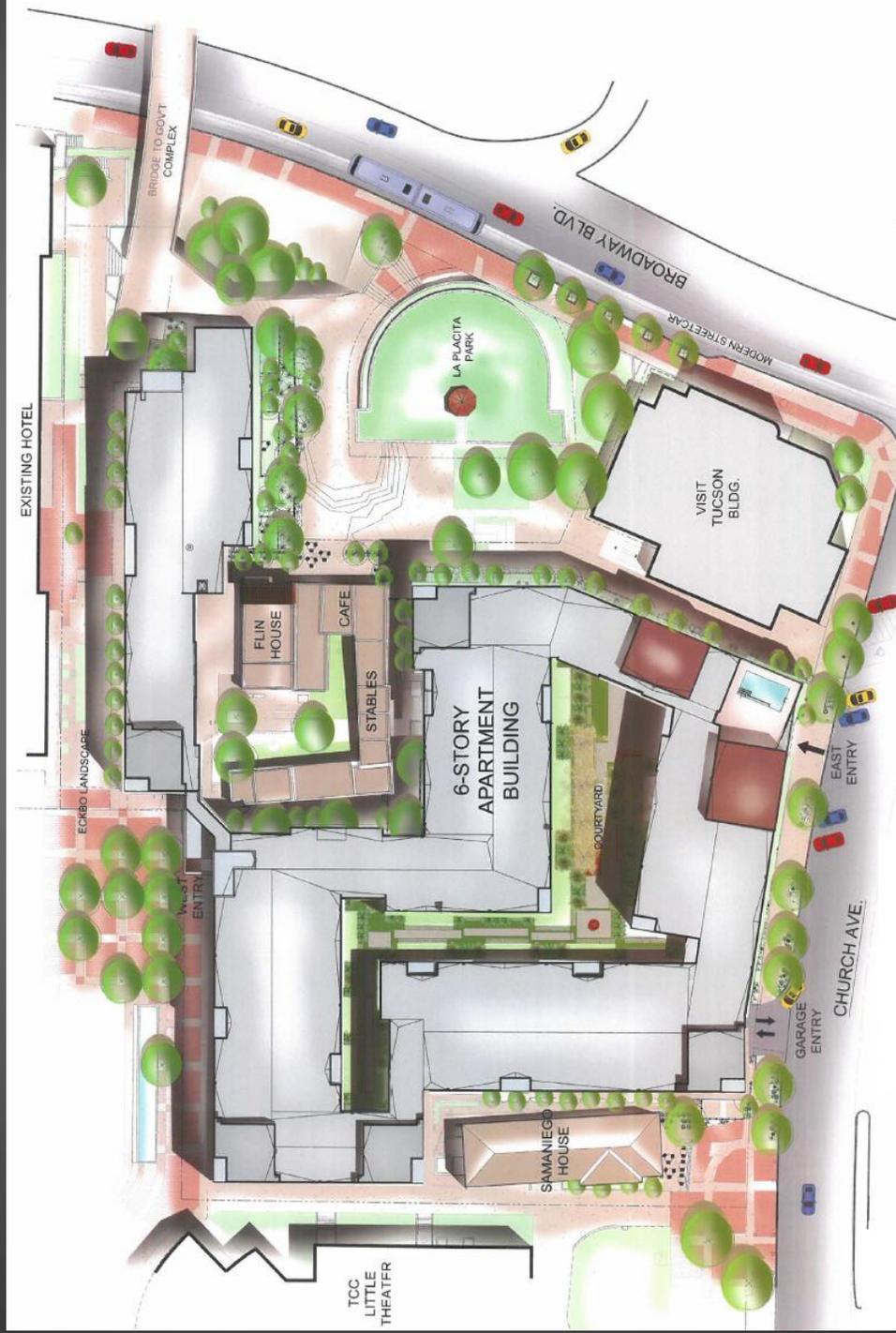
SITE RENDERINGS



SITE RENDERINGS



SITE RENDERINGS



QUESTIONS & ANSWERS

- Questions?
- Contact information:
 - Matt Stuart – Cypress Civil Development
mstuart@cypresscivil.com

THANK YOU FOR COMING!

THE FLIN Neighborhood Meeting Notes September 5, 2017

Cypress Civil Development Attendee:

Matt Stuart, Project Manager

HSL Properties Attendees:

Mike Censky, Assistant Vice President
Omar Mireles, President

Eglin + Bresler Architecture Attendees:

Evan Eglin, Principle Architect
Tatyana Bresler, Principle Architect

Start Time: 5:03 p.m.

Finish Time: 6:05 p.m.

- 1) **PowerPoint Slide 1**
 - a) Matt Stuart opened the meeting, introducing himself and CYPRESS, to the attendees. Mr. Stuart further explained the project name The Flin, a dedication to the rich history of the site and area.
- 2) **PowerPoint Slide 2**
 - a) Mr. Stuart provided an overview of the PowerPoint Presentation and the flow of the neighborhood meeting, explaining that after the presentation, the floor will be open for questions.
- 3) **PowerPoint Slide 3**
 - a) A map overview of the site was provided, showing the specific location in relation to streets and Downtown Tucson in general. Mr. Stuart pointed out the close proximity of some of the recently approved and under construction projects that have utilized the IID.
- 4) **PowerPoint Slide 4**
 - a) Goals specific to the proposed project were provided, outlining the inspiration for the project design. This included providing 244 market rate, class A, multi-family residential dwelling opportunities in the Downtown Core; incorporate and retain the 3 eligible to be listed historic structures on the property (Samaniego House, Flin Building, Stables)

for restaurant/retail use as well as resident amenity space; and create a sustainable, eco-friendly environment for future downtown residents adjacent to a unique urban park setting and entertainment opportunities.

5) **PowerPoint Slide 5**

- a) Mr. Stuart provided a brief explanation of the intent of the optional Infill Incentive District (IID) overlay, and further explained the goal of the Downtown Core Subdistrict (DCS) - to create a pedestrian and transit oriented development that take advantage of the existing street car infrastructure and other alternative transportation options.
- b) Mr. Stuart further explained the trade-off involved with the IID, and with the flexibility of certain code modifications there is a greater emphasis placed on the design of the project and its contribution to the area and Tucson as a whole.

6) **PowerPoint Slide 6**

- a) Mr. Stuart explained the modifications pertinent to the IID, and highlighted those development regulations which would be part of the IID request:
- b) **Major Streets & Routes** – Under the DCS, it is encouraged to maintain the existing development setbacks of neighboring properties and to provide relief from the setback requirement is necessary to maximize the development potential of the lot and meet the expectations of a pedestrian/transit oriented development.
- c) **Street Perimeter Yards** – Under the DCS, it is encouraged to maintain the existing development setbacks of neighboring properties and to provide relief from the setback requirement is necessary to maximize the development potential of the lot and meet the expectations of a pedestrian/transit oriented development.
- d) **Bicycle and Vehicular Parking** – Under the DCS, reduced parking requirements are allowed. This project seeks to modify the existing parking requirements as it relates to compact and tandem parking stalls. Currently, both are only allowed within garage structures within the Main Gate Overlay District. This project would like to utilize a reduced parking width from 8.5' to 8.0' to accommodate internal structural infrastructure for the podium project. Tandem spaces are also desired to help maximize the space within the existing foundation walls and building footprint. Currently the UDC excludes multi-family residential uses from utilizing tandem space designs, which is specifically allowed under the Main Gate Overlay District. Allowing the use of compact and tandem parking spaces allows the site to exceed the required parking outlined in the Downtown Parking District.
- e) **Landscaping & Screening** – If a minimum of 50% of the sidewalks and pedestrian pathways are shaded, the IID allows an exception to the landscaping and screening requirements. Specifically for this project, the existing structure and streetscape vegetation provide in excess of the 50% requirement. Landscaping will continue to be oriented throughout the site and streetscape.
- f) **Pedestrian Access** – Due to the nature and topography of the site, in conjunction with the limited footprint along Broadway Boulevard, pedestrian accessibility to Broadway Boulevard is provided via the existing public Eckbo Park and La Placita Park. Both

provide pedestrian friendly access to Broadway Boulevard and allow for a more integrated site design.

- g) **Solid Waste Collection** – Due to the nature of the site and limited accessibility/maneuverability within the buildable footprint, an alternative solid waste collection system and agreement has been established with Environmental Services. The site will utilize an internal trash compactor system and building management will be responsible for moving the dumpsters from inside the site to the refuse area on Church for collection and back. Environmental Services has approved this alternative design as part of the Development Plan package submittal.

7) **PowerPoint Slide 7**

- a) An overhead map of the building and site was shown, demonstrating the relationship of the building and the existing parcel to the remaining eligible to be listed structures, Eckbo Landscape, La Placita Park, as well as the Tucson Convention Center complex.
- b) Mr. Stuart explained that the proposed building layout utilizes the existing foundation walls, therefore providing a footprint consistent with the previous development which still allows public accessibility to the eligible to be listed structures and the other public spaces.
- c) Mr. Stuart also explained that the use of the Infill Incentive District (IID) would assist in creating a building that would be inviting to pedestrian traffic, while also highlighting the public spaces that surround the entire building site.
- d) Lastly, Mr. Stuart highlighted the main difference between the proposed building footprint and the design presented at the neighborhood meeting on March 23rd, 2017 – pointing out the reduction in building footprint along Broadway Boulevard, which allows for improved and direct pedestrian connection between the Municipal Complex Bridge and La Placita Park.

8) **PowerPoint Slide 8**

- a) An overhead map of the building and site as was previously shown at the neighborhood meeting on March 23rd, 2017, was displayed to demonstrate the reduction in building size and bulk along Broadway Boulevard.

9) **PowerPoint Slide 9** – Mr. Stuart discussed the Major IID process, who is involved and their role in the process:

- a) **Pre-Application Conference** – Includes City staff to discuss the use of the IID for the project.
- b) **Host a Neighborhood Meeting** – Neighborhood meeting is held with interested residents and owners within a 300 foot notification radius and Neighborhood Associations within 1 mile of the project site.
- c) **Submittal of a Design Package** – Presented to City staff
- d) **Tucson/Pima County Historical Commission** – Review and Recommendation
- e) **Meet & Review Design Package** – with Design Professional
- f) **Design Review Committee** – Review & Recommendation
- g) **Planning & Development Services Director** – Reviews findings and issue a final decision

10) **PowerPoint Slide 10 - 14**

- a) Architectural Precedence. Mr. Stuart provided photo examples of existing and recently approved Downtown Core developments and streetscapes to highlight inspiration behind the proposed design.

11) Power Point Slide 15

- a) Site Renderings. Mr. Stuart provided a rendering of a south bird's eye view of the building from Broadway Boulevard. Highlighting the relationship to the existing streetscape, La Placita Park, and The Stables and Flin Building.
- b) Mr. Stuart pointed out the proposed maximum height of the structures at just under 82', consistent with adjacent development projects in the area.

12) PowerPoint Slide 16

- a) Mr. Secrest provided a rendering of the building from the west side, along Eckbo Landscape.
- b) Mr. Stuart pointed out the important relationship to the pedestrian scale, while also trying to provide privacy and security for the residents.
- c) Mr. Stuart highlighted the uniqueness and challenge of this site, having public pedestrian accessibility on all 4 sides.
- d) Mr. Stuart pointed out that the topography of the area would mean that the residences and their respective patios would be elevated along the west side, approximately 5'. This helps with privacy and security while still incorporating "activity" along this area.
- e) Mr. Stuart highlighted the opening between the two buildings above the west entry lobby. Sky bridges link the two buildings on each floor allowing for natural light and visibility to the interior of the site and eligible to be listed Stables and Flin Building. Mr. Stuart also emphasized the large storefront windows of the lobby area, which will also provide visibility from the public space into the interior of the site and the interior buildings.

13) PowerPoint Slide 17

- a) Mr. Stuart provided a rendering of a bird's eye view of the building from the south, with the Samaniego House in the foreground.
- b) Mr. Stuart highlighted the vertical lines of the ground floor and its relationship to the Samaniego house roof line, noting the cohesiveness.

14) PowerPoint Slide 18

- a) Mr. Stuart provided a horizontal elevation of the proposed development along Church Avenue.
- b) Mr. Stuart pointed out the main vehicular ingress/egress location, which is in close proximity to the existing loading area as part of the La Placita office complex and the main entry of the multi-family adjacent to the existing Visit Tucson Building.
- c) Mr. Stuart also highlighted the relative scale and character of the development with the the existing eligible to be listed structure – Samaniego House, and the Visit Tucson Building.

15) PowerPoint Slide 19

- a) Mr. Stuart provided a horizontal elevation of the proposed development along Broadway Boulevard.

- b) Mr. Stuart pointed out the varying elevation and the relationship between the proposed development and the Municipal Complex Bridge and La Placita Park.
- c) Mr. Stuart also highlighted the relative scale and character of the development with the the existing eligible to be listed structures – Stables and Flin House, and the Visit Tucson Building.

16) PowerPoint Slide 20

- a) Mr. provided an aerial bird’s eye view of the development from the north. This view highlighted the scale of the new development as it relates to those structures in close proximity.
- b) Mr. Stuart highlighted the approved mid-rise low income, senior housing development to be constructed at the southeast corner of Church and Broadway by the Foundation for Senior Living, and its approximate building height of 80’.
- c) Mr. Stuart also pointed out the relationship of the new structure with the Stables and Flin Building, noting the new developments openings between the buildings, which allows for light and visibility of the eligible to be listed structures from the public spaces along the west side.
- d) Mr. Stuart further pointed out the courtyard design of the development, which allows residents to experience private outdoor space in addition to the existing public space on all 4 sides.

17) Questions and Answers – Mr. Stuart thanked everyone for coming to the neighborhood meeting and the floor was then opened to the attendees for questions:

- a) **Question** – So the main change is really just the footprint along Broadway?
 - i) Response – Yes, from the first neighborhood meeting to now, the building footprint has remained constant, except for the shortening of the building footprint along Broadway. This will also help with pedestrian circulation as it will allow the existing route from the Municipal Complex Bridge to the La Placita Park/Gazebo.
- b) **Question** – You mentioned low income housing going in downtown and lack of market rate? Which projects are you referring to?
 - i) Response – Yes, the Westerner, the Mid-rise – old Diocese office building across the street, Marist College, and near the westside station we are seeing construction begin on Low Income Housing units. The market rate housing that we have seen downtown so far in the past year has really been the Stone Avenue homes project south of here, and the 1 W Broadway project. There has been planning for other market rate units, but those are either still in the planning stage or have not begun construction. This would obviously be a huge contribution to that market segment.
- c) **Question** – Will students be living there?
 - i) Response – While I cannot restrict a student from living or wanting to rent an apartment, that is not the target audience. These will not be rented by the bed like student housing, these will be rented by the unit.
- d) **Question** – Are you thinking you are going to have a lot of families living downtown, since you stated you will have 4 bedroom units?

- i) Response – Correction, my apologies, there are no longer any 4 bedroom units as part of this development. We do have 3 bedroom, and larger loft units, but those are the minority mix. The focus is on 1 & 2 bedroom as that is what we are seeing the market demand.
- e) **Question** – Who are you anticipating to move into these units?
 - i) Response – The market already for the existing units downtown has shown a real mix, from younger new professionals, up to retirees looking to downsize. We anticipate a similar mix of clientele. There is still a segment of the population that wants to live downtown but isn't able to work downtown, so we think that this project will be attractive to those renters as well. This is a growing activity area, a lot of new construction and renovation is going on at this street corner as well as potential projects in and around the TCC. So we think this will really help bring people to this area and life back into it.
- f) **Question** – The historic structures, is the plan still to have those renovated or restored?
 - i) Response – The official direction we received from SHPO and later endorsed by the TPCHC is that these will be rehabilitated to the Department of Interior standards. Because of the length of time for construction of this development we are seeking to delay the actual plans and what that might entail until later in the process. Partially due to the fact that we do not have commercial tenants signed up and don't anticipate too until the site is actually accessible again and marketable – as that is typically how commercial leasing plays out, and partially due to the fact that we know it is going to be an ongoing process, that these buildings have had a lot of work done to them already in the past, and as we begin to uncover them more and more, that will also shape what the desired look and which era of the buildings should the rehabilitation focus on. The goal is to absolutely utilize them and integrate them into the site, and there has been a lot of commercial interest already, but with almost 2 year demolition and construction schedule for the new units, it's just not smart to try and anticipate the end-user needs.
- g) **Question** – Are you going to be monitoring the buildings during demolition to make sure they aren't further damaged?
 - i) Response – Yes, we have been discussing with City staff in regard to performing a vibration study and monitoring during the demolition and construction phase. The good news is that the lower level basements do not run under the 3 buildings, which should help lessen any potential impacts.
- h) **Question** – What type of materials will be used?
 - i) Response – The new buildings will utilize stucco/EIFS, glass, concrete, and steel and the main construction elements.
- i) **Question** – What will happen to the hotel side and pedestrian connection?
 - i) Response – The hotel is a separate project, so cannot speak to it, but the proposed project is not planning to disrupt the pedestrian connection offered by the Eckbo Landscape between the Convention Center and Municipal complex. HSL has been in

contact with the Eckbo Landscape group about how this project can help their mission and goal.

- j) **Question** – How much space is between the historic structures and the new buildings?
 - i) **Response** – At the closest point the buildings are over 7 feet apart, and it widens from there up to almost 14 feet.
- k) **Question** – How many stories is the new building?
 - i) **Response** – It is 6 stories in height. Where the pop-up elements are is where the 2-story loft units will be places, and that raises it in those few areas to 7 stories.
- l) **Question** – What is the height of the current La Placita Village?
 - i) **Response** – If my memory serves me correctly it is somewhere around the 60' mark. We are looking at about a 2 story overall increase to the development site.
- m) **Question** – What is the status of the parking garage across the street? Are there long term leases, is it open, can others lease spaces?
 - i) **Response** – HSL currently leases the parking garage. The proposed project will not need to utilize the parking garage to meet its parking requirements and doesn't plan to hold any spaces. Currently the Visit Tucson building utilizes the parking garage under an agreement, but otherwise with the removal of the office tenants the garage has availability and can lease spaces to others, which also should help the downtown area and parking needs.
- n) **Question** – What are you planning to do to help restore Eckbo Landscape?
 - i) **Response** – We are working with the organization, right now it is their plan and their expertise. We have expressed interest in being involved and how we can help to make it an amenity for our project. But right now those conversations are still in their infancy stages.
- o) **Question** – What about solar options on the roof, are you planning to install any?
 - i) **Response** – At this point in time no. The building will be developed and constructed to support the technology should it ever be desired, but right now it does not make economic sense for this project to construct. The units use energy efficient appliances and our existing projects have shown great reduction in energy consumption and use. Unfortunately solar is an added cost, and we haven't seen the willingness or demand from residents to pay extra to support the use and construction of solar at these projects.
- p) **Comment** – I manage the 1 East and 1 West projects, and we do have some solar at 1 East. When we were starting to market and lease 1 West we actually sent out a survey to prospective tenants on the waiting list asking them what were their top desires/priorities in their units, and solar use did not make it in the top five. So we saw that while it is becoming more popular, it still is not priority feature for future tenants, and the willingness to pay or invest more to have it isn't making or breaking any decisions on whether to lease or not.
- q) **Question** – Where do you anticipate most of your traffic to be going?
 - i) **Response** – We only have access out onto Church, so we anticipate almost all of the traffic to be using Church in either a north or south direction. The majority we

anticipate will be heading north to Broadway/Congress to either head toward the freeway or make their way through downtown to access the rest of Tucson proper. We did perform a traffic analysis for the project, and while I don't have a copy with me, that is what I recall the findings to be.

- r) **Question** – Is Church going to be improved?
 - i) **Response** – The City has been working on a plan to improve Church and make it more pedestrian/bike friendly, but as of the last 2 weeks we were informed that those plans have been halted due to lack of funding. We will still work with the City and communicate with them, so when the time does come to improve Church we can offer assistance where we can. But for now, we are having to design the project to the current orientation of Church.
- s) **Question** – Broadway is very busy, and people who use it as a cross through town route do so with little regard for those of us who live along here and our safety. Is anything being done to help with that?
 - i) **Response** – This project in particular won't be able to address any of those items specifically to attempt and reduce those concerns. I do understand the level of traffic that is experienced on the roadway, especially during rush hours, but the new Downtown Links project that will direct cross town traffic around downtown from Aviation to St. Mary's should help reduce the congestion on Broadway/Congress. I don't recall the construction and completion dates, but I believe they are finalizing the design and have been acquiring properties for the roadway expansion; which to me indicates construction should be starting soon.

18) **Closing** – Mr. Stuart thanked everyone for coming, encouraged those to sign the sign-in sheet if had not already done so, and closed the neighborhood meeting.

2 - DOWNTOWN INTERIM STREETScape POLICY

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

October 2017

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter addresses the Downtown Streetscape Interim Policy for the THE FLIN – Mixed-use/Multi-family IID Design Package Application:

The Flin development project is located at the southwest corner of Broadway Boulevard and Church Avenue within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. As a part of the DCS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Downtown Streetscape Interim Policy:

2. Trees;

Response: Trees will be, at time of installation, of 24" box minimum size. It is the goal of this development to provide a unique streetscape experience and, as such, will be providing the following plant species in addition to the existing species already located adjacent to the site: Palo Blanco, Netleaf Hackberry, Red Push Pistache, Fan-tex Ash, Mexican Bird of Paradise, Texas Mountain Laurel, and Oklahoma Redbud. Encumbrances to Pedestrian, Streetcar, and Environmental Services movement will be monitored by building management, and a management plan will be put in place to ensure clear movement by all affected parties.

3. Pavers;

Response: Brick pavers currently exist along Broadway Boulevard, Church Avenue, and the Eckbo Landscape. To the extent possible, these pavers will remain in place and along with tree and shrub plantings, and raised steel planters a varied pedestrian environment will be created.

4. Paving;

Response: Grey concrete paving will be provided both on and off-site, and will serve as the predominate (less than 70% of the paved area) hardscape material for pedestrian zones and sidewalk areas. To maintain consistency with the surrounding areas, a mixture of smooth grey, medium broom, and other colored finishes per the architectural program will be utilized.

5. *Street furniture;*

Response: Street furniture currently exists at the Sun-Link Transportation stop along Broadway Boulevard. Additional bike racks, benches, trash receptacles, and raised planters will be added along the Church Avenue frontage. All additional planters or furniture will be a neutral sage green-grey earth tone, natural/rustic steel, or black.

6. *Planters and pots;*

Response: Raised steel planters will be provided along Church Avenue and will be limited to a height of 12 to 20 inches. The raised planters will be of steel construction, and be of similar color to other street furniture elements.

7. *Pedestrian lighting;*

Response: Existing pedestrian and street lighting will remain within the public rights-of-way. Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture, without distracting from the elements of the façade, but be in full compliance with the City of Tucson Outdoor Lighting Code.

These responses are intended to supplement the Infill Incentive District and Rio Nuevo District Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

(520) 499-2456

mstuart@cypresscivil.com

3 - PARKING PLAN

CYPRESS
CIVIL DEVELOPMENT

EGLIN+BRESLER
ARCHITECTS, P.C.

HL
PROPERTIES

THE FLIN

October 2017

Revised: April 2018

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

RE: Parking Plan for THE FLIN

The proposed project, The Flin, is located 110 South Church Avenue, and is for a new mixed use/multi-family residential development. The project has been designed and will be constructed under the governance of the City of Tucson's Unified Development Code (UDC), the Downtown Area Infill Incentive Overlay District (IID), and the Downtown Core Subdistrict (DCS).

The proposed development intends to utilize the existing building foundation and associated infrastructure of the existing La Placita Village development, in conjunction with the new development, to create a mixed use/multi-family residential development. The proposed multi-family residential use is required to be parked at 1.25 spaces per every 1 residential unit, 1 space per every 300 square feet of gross floor area of Retail, and 1 space per every 100 square feet of gross floor area for Food Service, as noted in Table 7.4.4-1: Minimum Number of Motor Vehicle Spaces Required of the UDC. As a result, the required parking based on 244 residential units, 1,330 square feet of the gross floor area of Retail, and 4,501 square feet of Food Service is 354 spaces. *(see Attachment 1 – Applicable Parking Codes)*

Under the Downtown Parking District of UDC Article 7.4.5.B (allowed for projects opting out of the IID), the required number of parking spaces is 1 space per 1 residential unit, and 1 space per 400 square feet of gross floor area (non-office). This result, as required by the Downtown Parking District, is 267 spaces. *(see Attachment 1 – Applicable Parking Codes)*

The subject development project is proposing to construct 278 on-site parking spaces, and requests an overall reduction of 61 spaces. *(see Attachment 2 – Site Plan)*

The subject development is adjacent to multiple alternative transit opportunities, including the Sun Link Street Car, Sun Tran Bus service. The Sun Link Street Car currently stops along Broadway Boulevard, in front of Visit Tucson building at the SWC of Broadway & Church. Sun Tran Bus services currently stop along Broadway Boulevard in front of La Placita Park. Both service stops are adjacent and within direct pedestrian access to the proposed development. *(see Attachment 3 – Street Car & Bus Station Proximity Map).*

In addition, the subject development is also adjacent to other alternative transportation opportunities including the future City of Tucson Bike Share Program. The City of Tucson recently received a federal grant to implement a Bicycle Share program in around the greater downtown area. 36 stations are currently proposed, with 2 being located adjacent to the development project

– at Church and McCormick (in front of the TCC) & Church and Congress (in front of 1 S Church building). (see Attachment 4 – Bike Share Map)

Lastly, the subject development is adjacent to on-street metered parking spaces along Church Avenue, and the La Placita Garage - which offers approximately 500 parking spaces available for daily and monthly lease. The garage is currently not at capacity, and was originally intended to serve the over 200,000 square feet of office development of the former La Placita Village. With the addition of the parking garage, and the 297 spaces within The Flin development, the overall parking distribution within the area is increased.

The hours of operation for the Project will be similar to other residential and commercial businesses with similar uses. The hours of operation for this use will not violate any of the provision of the City of Tucson’s Unified Development Code. The result is a well distributed arrival and departure trip load with peak traffic time associated with the AM and PM rush.

In conclusion, the proposed 278 on-site parking spaces will provide adequate parking to meet the needs of proposed use.

Thank you for the opportunity to provide the above Parking Plan narrative to support the attached Development Plan and Design Package for The Flin development project. If you have any questions or concerns please feel free to contact.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

mstuart@cypresscivil.com

Attachment 1 – Applicable Parking Codes

Attachment 2 – Site Plan

Attachment 3 – Street Car & Bus Station Proximity Map

Attachment 4 – Bike Share Map

TABLE 7.4.4-1: MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED

<u>Land Use</u> Group/Class	Motor Vehicle Parking Required
COMMERCIAL SERVICES USE GROUP	1 space per 300 sq. ft. GFA, except as follows:
Food Service	1 space per 100 sq. ft. GFA and outdoor seating areas
RESIDENTIAL USE GROUP	
Multifamily Dwellings - Over 70 units/ <u>acre</u>	1.25 spaces per <u>dwelling unit</u>

B. Downtown Parking District

The following off-street motor vehicle and bicycle parking regulations apply within the Downtown Parking District as set forth in Section 11.4.5.

1. Change of Use within an Existing Building

No additional motor vehicle or bicycle parking spaces are required for a change of use which does not expand the existing building.

2. Expansions of Existing Development

a. No additional motor vehicle or bicycle parking spaces are required for the following:

- (1) Expansions that do not involve construction of new building or the elimination of existing required parking spaces; or,
- (2) Expansions that involve construction of new structures of less than 1,000 square feet of gross floor area or less than 25% of the existing gross floor area, whichever is less.

b. Expansions that involve construction of a new building(s) of 1,000 square feet or more of gross floor area or 25% or more of the gross floor area of the existing building must provide motor vehicle and bicycle parking spaces only for the area of expansion.

c. Expansions that involve the removal of existing required motor vehicle or bicycle parking spaces must relocate the removed spaces either on site or in conformance with the provisions of this division.

3. New Development

a. Office Use

Required off-street motor vehicle parking for office use is one space for every 500 square feet of gross floor area.

b. Uses Other Than Office

Required off-street motor vehicle parking for all uses other than office uses in the Downtown Parking District is one space per 400 square feet of gross floor area.

c. Residential

Required off-street motor vehicle parking for residential uses in the Downtown Parking District is one space for each dwelling unit, one space for each apartment where rent/lease of space is not by the bedroom, or one space for each bedroom in projects where rent/lease of space is by the bedroom.

4. Public Area Amenity Incentive

Required off-street motor vehicle parking spaces for a use may be reduced by a percentage equal to twice the ratio of open space to GFA up to a maximum of 8%, if an interior public open space is provided. The interior public open space may be a roofed atrium, courtyard, plaza, galleria, or similar area. To qualify for a public area amenity reduction in required parking, all of the following criteria must be met:

- a. The space is designed to encourage pedestrian activity and public use;
- b. The space is not, in whole or in part, designated as tenant area;
- c. Not more than 15% of the total area of the space is allocated toward corridor space;
- d. The space is a minimum of 30 feet wide in any horizontal direction, with a floor-to-ceiling height of at least 20 feet;
- e. The space is visible and physically accessible directly from a public right-of-way or public open space and is located no more than one floor level above or below grade;
- f. A minimum of one linear foot of seating is provided for every 30 square feet of interior public open space; and,

g. A natural lighting source, either direct or indirect, such as skylights or clerestory windows, is provided for the space.

5. Motor Vehicle Parking Location

Motor vehicle parking in the Downtown Parking District may be located within 1,500 feet of the use provided the parking is within the District boundaries and is approved by the PDSD Director.

6. Bicycle Parking

Bicycle parking spaces in the Section 11.4.5, *Downtown Parking District*, and the Section 11.4.7, *Fourth Avenue Business District*, may be provided:

a. On site. The PDSD Director may allow short-term bicycle parking to be more than 50 feet from a public entrance(s) based on a finding from the City of Tucson's Bicycle Coordinator that the proposed location is consistent with best practices pertaining to siting short-term bicycle racks, particularly in regards to visibility, security, and convenience for bicyclists; or,

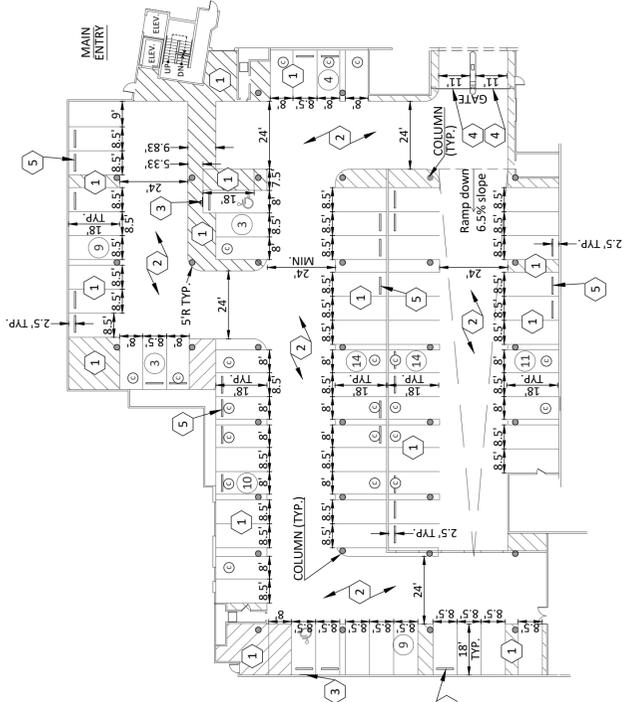
b. By paying the City parking in-lieu fee in accordance with Section 7.4.5.B.7.

7. In-Lieu Fee

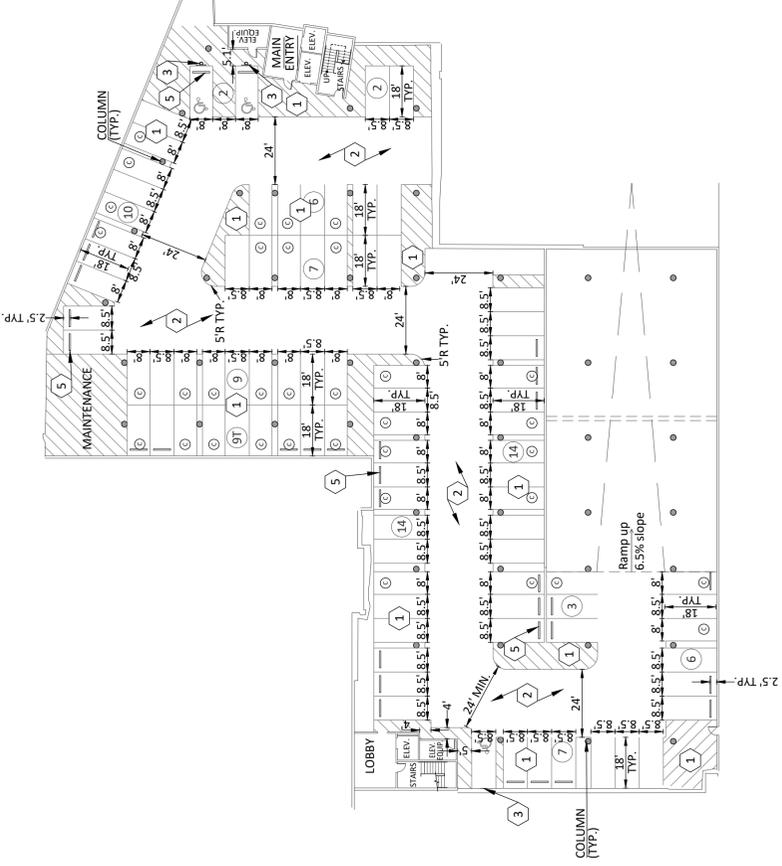
The off-street parking requirements established by this Section may be satisfied in whole or in part by paying the City parking in-lieu fee in an amount established by separate ordinance to be used by the City for the installation of bicycle parking facilities or the construction of one or more Downtown public parking facilities.

8. Design Criteria

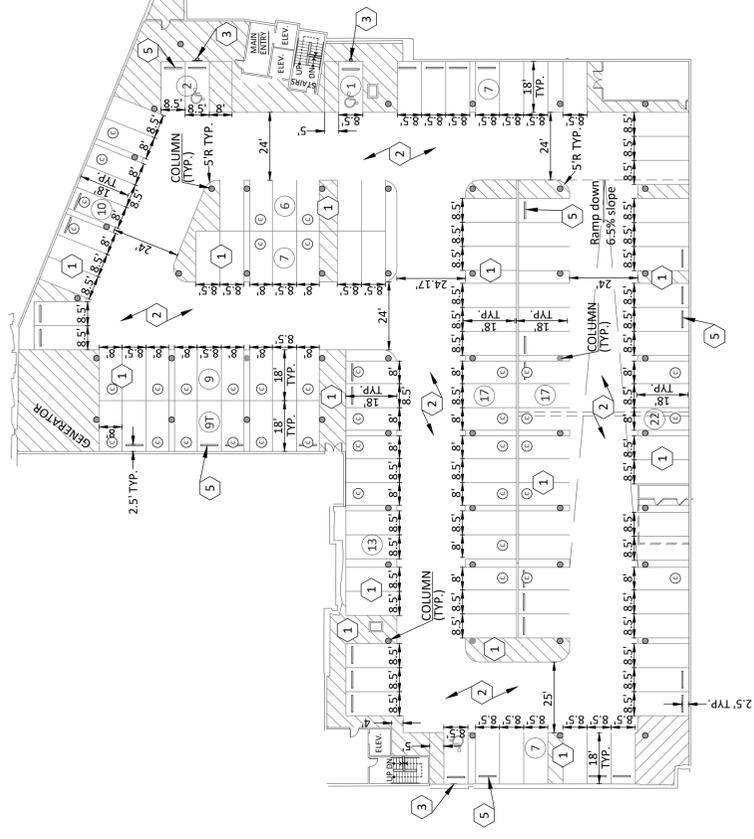
All new parking facilities must be designed so that vehicles are not visible from the adjoining street level, through incorporation of design elements such as pedestrian arcades, occupied space, or display space.



PARKING PLAN - GROUND FLOOR
SCALE: 1"=30'

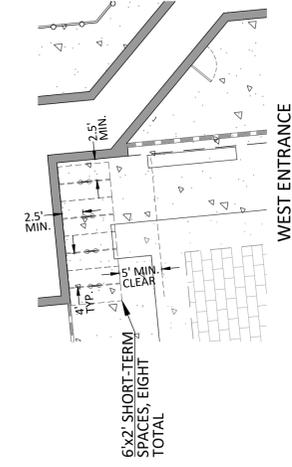


PARKING PLAN - P1 UNDERGROUND
SCALE: 1"=30'



PARKING PLAN - P2 UNDERGROUND
SCALE: 1"=30'

NOTE: BICYCLE PARKING AREAS TO BE ILLUMINATED BY ADJACENT BUILDING, PARKING AREA, OR STREET LIGHTING



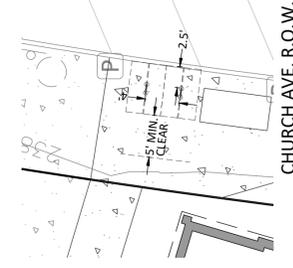
WEST ENTRANCE



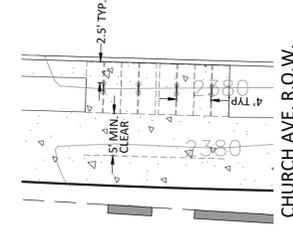
COURTYARD EAST



COURTYARD EAST ENTRANCE



CHURCH AVE. R.O.W.



CHURCH AVE. R.O.W.



CHURCH AVE. R.O.W.

LEGEND - PARKING PLAN

- ⑭ PARKING SPACE COUNT
- ⑨① PARKING SPACE COUNT, TANDEM
- ⊙ COMPACT SPACE

KEYNOTES

- 1 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 2 NEW PAVEMENT. SEE STRUCTURAL/ARCHITECTURAL.
- 3 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL G, SHEET 11.
- 4 NEW VEHICULAR ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS.
- 5 NEW 6" WHEEL STOP (TYP.). SEE DETAIL H, SHEET 11.

PARKING SPACE BREAKDOWN

REGULAR SPACES = 106
 COMPACT SPACES = 168
 TANDEM SPACES = 20
TOTAL PROVIDED = 294



BIKE RACK PLACEMENT DETAIL
SCALE: 1"=30'

NO.	DATE	REVISION DESCRIPTION	BY



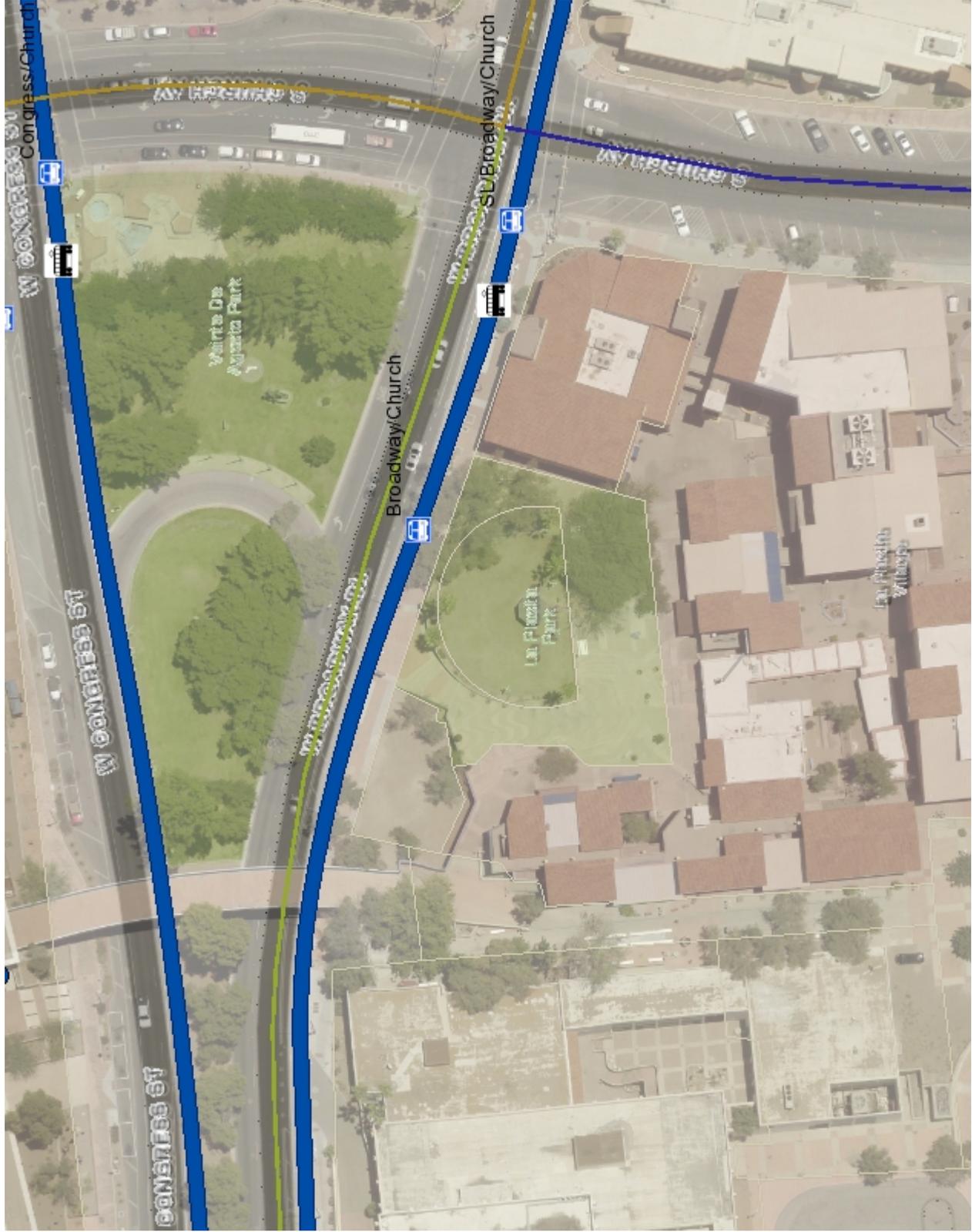
CYPRESS CIVIL DEVELOPMENT
 2030 east speedway boulevard suite #110
 tuscon, arizona 85719
 ph: 520.499.2456
 e: rmacias@cypresscivil.com

OWNER/DEVELOPER
 HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC
 3901 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711
 ATTN: MR. MIKE CENSKY
 PH: (520) 322-6994 mike@hslproperties.com

DEVELOPMENT PACKAGE for
 LA PLACITA VILLAGE
 parking plan

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G. 85 R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

The Flin - Public Transportation



Legend

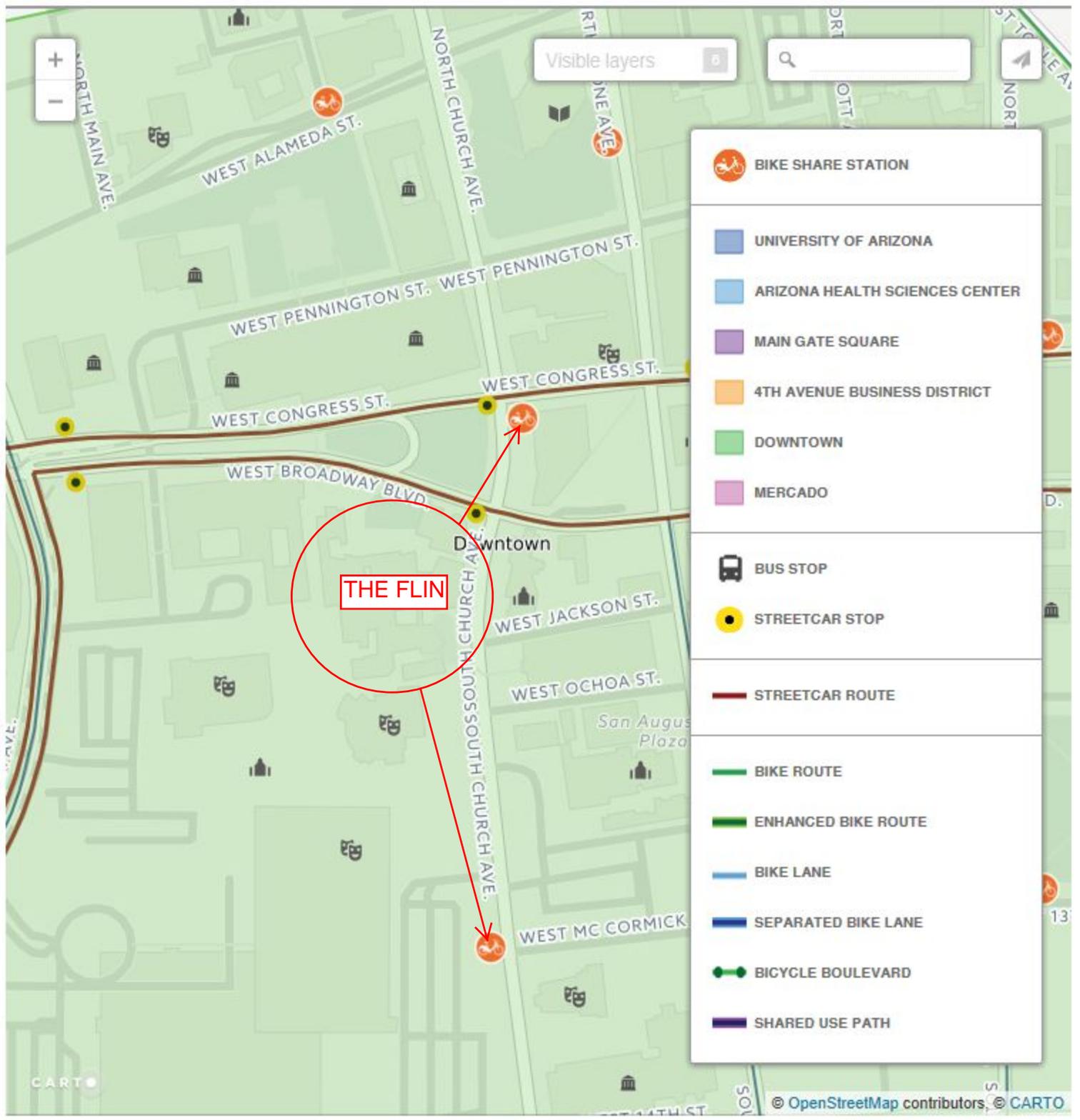
- Parcels
- Bus Stops
- 🚫 No Shelter
- 🚰 Shelter
- 🚏 Bus Pullouts
- Existing
- In Design
- Sun Tran Bus Routes
- 10th/12th Ave
- 22nd St.
- 6th St./Wilcox
- Alpi Way
- Alvernon Way
- Benson Highway
- Broadway
- Campbell Ave.
- Congress/Silverbell
- Country Club/29th St.
- Craycroft/Fl. Lowell
- Euclid/N. 1st Ave.
- Flowing Wells
- Glenn/Swan
- Grande
- Grant Road
- La Cholla
- Midvale Park
- Mission Road
- Oracle/Ina
- Pantano
- Pima/West Speedway
- Pueblo Gardens
- S. 12th Ave.
- S. 6th Ave.
- S. Park Ave
- Speedway

Notes

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.0 0.02 0.0 Miles





THE FLIN

BIKE SHARE STATION

UNIVERSITY OF ARIZONA

ARIZONA HEALTH SCIENCES CENTER

MAIN GATE SQUARE

4TH AVENUE BUSINESS DISTRICT

DOWNTOWN

MERCADO

BUS STOP

STREETCAR STOP

STREETCAR ROUTE

BIKE ROUTE

ENHANCED BIKE ROUTE

BIKE LANE

SEPARATED BIKE LANE

BICYCLE BOULEVARD

SHARED USE PATH

4 - HISTORIC DOCUMENTATION

- A. Response Letter - October 2017 (updated March 2018)**
- B. RNA-16-15/HPZ-16-63**
- C. SHPO Concurrence - June 2016**
- D. Response Letter - March 2018**
- E. TPCHC LAR - February 2018**
- F. SHPO Concurrence - March 2018**
- G. Preservation Plan Scope Document**
- H. Motley Design Group, LLC - Resume**
- I. IID-17-01/HPZ-18-26 - May 2018**
- J. Response Letter - May 2018**
- K. Historic Properties Treatment Plan - May 2018**

October 2017
Updated: March 2018

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter provides responses to the design principles outlined by the Tucson/Pima County Historic Commission for THE FLIN – Mixed-use/Multi-family IID Design Package Application:

The Flin development project is located at the southwest corner of Broadway Boulevard and Church Avenue within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. As a part of the DCS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Historic Preservation and Rio Nuevo Area:

1. Maintain visibilities of the historic buildings and pedestrian circulation in relation to them.

Response: Complied. Public accessibility remains intact and encouraged with the proposed development. The proposed new building footprint matches the existing foundation/basement walls, ensuring no further encroachment unto the three eligible structures. Public accessibility to Samaniego House will remain intact from the current east and south access points; and the Flin Building and the Stables will remain publicly visible and accessible internally from La Placita Park and the Municipal Complex Bridge. Circulation around La Placita Park from Broadway to Church will remain uninhibited. In addition, the buildings along the west will continue to provide a visual break between them to allow for air and light into the interior of the development. The lobby along the west will offer large storefront windows to provide additional visual vantages internally.

2. Rehabilitate the exteriors of the historic buildings according to the Secretary of Interiors Standards for Rehabilitation.

Response: Acknowledged. Robert Graham with Motley Design Group, LLC has been retained and is currently performing a Preservation Plan for the three eligible to be listed structures. The Preservation Plan will include: Brief Development History – a brief synopsis of known historical data, in order to identify significance of building features and elements; Architectural Description – specific description of the structures and elements, including the known chronology of development identifying changes over time; Feature Analysis – brief analysis of building condition, integrity, deterioration and significance of existing elements

and systems on a feature by feature basis; and the identification of Character Defining Elements (CDE's) related to conveying the significance of the building and recommended approaches to adaptive reuse.

3. *Design the new building to be compatible but visually differentiated from the historic buildings.*

Response: Complied. The proposed buildings maintain the existing development footprint and emphasize a horizontal theme, consistent with the historical and modern developments downtown. The articulated masses of the building hold a pronounced architectural line, cohesive with the adjacent and remaining structures onsite. Columns, overhands, recessed and projected balcony areas, and large storefront windows along the ground floor provide an inviting visual scale to complement the pedestrian areas.

4. *Design the connections between historic and new buildings in ways that minimize physical and visual impacts to the historic buildings.*

Response: Complied. The proposed new building footprint matches the existing foundation/basement walls, ensuring no further encroachment unto the three eligible structures. The buildings along the west will continue to provide a visual break between them to allow for air and light into the interior of the development. The lobby along the west will offer large storefront windows to provide additional visual vantages internally. The areas around the Stables and the Flin Building are intended to serve as common area, amenity, and open space for the residents, acting as an internal courtyard and connection between the east and west lobbies. Public accessibility and visualization will remain intact from the north and La Placita Park area.

5. *Integrate the new building with the historic buildings through appropriate transitions in height.*

Response: Complied. The proposed development height is consistent with the recently constructed 1 West Broadway and recently approved FSL mid-rise (SEC Broadway & Church) projects. Both projects share a property boundary and are adjacent to the historic Brown House. The proposed development will utilize greater separation between the eligible structures and the proposed new construction (minimum of 7 feet at the closest point).

Please note, Section 5.12.6.E.2.e specifically states as part of IID Historic Preservation Review for projects not in an HPZ:

“It is not the intent of the design review process to impose additional limitations or building preservation requirements on the allowable building heights in the IID. Unless a building height limitation in a Sub-District is specifically required herein, the proposed development may use the entire building height allowed by the IID.”

6. *Ensure proper drainage to protect historic buildings.*

Response: Complied. Roof drainage will be redirected to an underground stormdrain system that will redirect runoff off the site, and ground level drainage will be directed away from the structures and toward the north and west of the property. Additional measures in terms of materials and seals will be addressed at a later time.

7. *Return to PRS with actual detailed architectural plans and/or any significant changes to the presented concept plan.*

Response: Complied. Robert Graham with Motley Design Group, LLC has been retained and is currently performing a Preservation Plan for the three eligible to be listed for historic structures. Part of the plan scope is to prepare a Treatment and Use Analysis, which will identify recommended Preservation Treatment for the buildings, and identify Character Defining Elements (CDE's) related to conveying the significance of the buildings.

These responses are intended to supplement the Infill Incentive District and Rio Nuevo Area Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart
Project Manager

August 9, 2016



CITY OF
TUCSON

Zoning
Administration
Division

Planning &
Development
Services
Department
(PDSD)

Teresa Vasquez
HSL Construction
3901 East Broadway Boulevard.
Tucson, AZ 85701

Dear Ms. Vasquez:

Subject: **RNA-16-15/ HPZ-16-63** La Placita Village-Redevelopment Project: Samaniego House, the Flin Building, the Stables Residential Development-Conceptual Design Plan -110 South Church Avenue; OCR-2 (Rio Nuevo Area-Downtown Core Subdistrict)

The Zoning Administration has reviewed your application for Historic Preservation and Rio Nuevo Area Zones Development. Specifically, application is for a request for review, recommendation and approval of the conceptual design. Pursuant to provisions of Section 5.8 and RNA 5.12 of the City of Tucson Unified Development Code, the conceptual design has been:

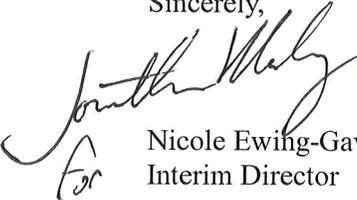
APPROVED to proceed as shown on the submitted plans and drawings subject to sensitivity to the following design principles:

- 1) Maintain visibilities of the historic buildings and pedestrian circulation in relation to them;
- 2) Rehabilitate the exteriors of the historic buildings according to the Secretary of the Interior's Standards for Rehabilitation;
- 3) Design the new building to be compatible but visually differentiated from the historic buildings;
- 4) Design the connections between historic and new buildings in ways that minimize physical and visual impacts to the historic buildings;
- 5) Integrate the new building with the historic buildings through appropriate transitions in heights;
- 6) Ensure proper drainage to protect the historic buildings;
- 7) Return to PRS with actual detailed architectural plans and/or any significant changes to the presented concept plan.

The decision of the Planning & Development Services Department (PDSD) Director may be appealed to the Mayor and Council by filing the appeal with the City Clerk's Office within 14 days of the effective date of the decision (the date of this decision letter) and paying the appeal fee at the PDSD on the same day the appeal is filed. No building permit will be issued prior to the expiration of the appeal period. If there are any changes in the plans, please call the Zoning Administration staff for historic design reviews, Michael Taku at 837-4963 or Jonathan Mabry at 837-6968, to find out the extent of review needed for changes.

August 9, 2016

Sincerely,



for

Nicole Ewing-Gavin
Interim Director

NEG: MT/RNA-16-15
HPZ-16-63

c: Teresita Majewski , Tucson-Pima County Historical Commission, Chair
Jonathan Mabry, COT/Historic Preservation Program Manager

***** PLEASE NOTE *****

Plans MUST be approved by the Zoning Administration PRIOR to submitting for a permit at the Planning and Development Services Department (PDSD). Plans are approved on the 3rd floor of Public Works Building, 201 North Stone Avenue. Please call for an appointment with the staff member who has processed your case.



CITY OF TUCSON HISTORIC PRESERVATION PROGRAM
PLANNING AND DEVELOPMENT SERVICES

June 29, 2016

Bob Frankeberger, Architect
State Historic Preservation Office
1100 West Washington St.
Phoenix, AZ 85007

 **E-MAILED**
29 JUN 16

Re: La Placita Redevelopment Concept

Dear Mr. Frankeberger:

As part of a redevelopment plan for the site of La Placita Village in downtown Tucson, the property owner HSL Properties intends to retain three existing buildings that were evaluated to be eligible for listing in the State and National Registers of Historic Places by the State Historic Preservation Officer, as recommended by the Historic Sites Review Committee. These buildings, including the Samaniego House, the Flin Building, and the Stables date from the late 19th century to the early 20th century and are the last surviving remnants of Tucson's downtown barrio that was mostly demolished as part of the Tucson Convention Center urban renewal project in the early 1970s.

The developer's intent is to integrate these buildings architecturally and functionally with the proposed new six-story apartment building. The plan includes rehabilitations of the facades to expose and restore architectural details shown in historical photographs, reversing inappropriate alterations made during the La Placita project. Also proposed are new openings on secondary facades and minor modifications to the floor plans to allow for new connections between the historic and new buildings. The new building is designed to be compatible but differentiated from the historic buildings.

It is my finding that—as presented in the conceptual design package dated 5/15/2016 and site plan dated 6/20/2016—the proposed project will not affect the historic statuses of the three existing buildings that will be retained. Please review these plans and indicate whether you concur with this finding.

Sincerely,

Jonathan B. Mabry, Ph.D.
City of Tucson Historic Preservation Officer

CONCUR

Arizona State Historic Preservation Office

29 JUN 16

March 2018

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter provides responses to the comments received from the Tucson/Pima County Historic Commission on February 8, 2018 for THE FLIN – Mixed-use/Multi-family IID Design Package Application:

The Flin development project is located at the southwest corner of Broadway Boulevard and Church Avenue within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. As a part of the DCS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Historic Preservation and Rio Nuevo Area:

1. Use of Adobe Specialist.

Response: Complied. In addition to retaining the historic architectural services of Robert Graham with the Motley Design Group, LLC, Brian Tellez Masonry has also been retained to help evaluate and perform repairs to the three structures adobe walls. Brian Tellez Masonry is also currently working on the Marist College project across Church Avenue.

2. Consult with a knowledgeable historic architect(s).

Response: Complied. Robert Graham with Motley Design Group, LLC has been retained and will be performing a Preservation Plan for the three eligible to be listed structures, as well as assisting with the renovation details of each building.

3. Repurpose of historic buildings.

Response: Samaniego House: The intent is to market the property to a restaurant operator. Stables: The intent is to utilize the Stables as maintenance and amenity space for management and residents, in the form of storage of non-flammable equipment. Flin Building: The intent is to return the store front to the original 4 bays, and fill in the section that was removed in the 70's. A coffee shop operator has been identified and is pursuing a lease agreement upon Development Plan approval.

4. Detailed long-term restoration and preservation plan for historic buildings.

Response: Robert Graham of the Motley Design Group, LLC has been retained and is in the process of performing a Preservation Plan. The Preservation Plan will include: Brief Development History – a brief synopsis of known historical data, in order to identify significance of building features and elements; Architectural Description – specific description of the structures and elements, including the known chronology of development identifying changes over time; Feature Analysis – brief analysis of building condition, integrity, deterioration and significance of existing elements and systems on a feature by feature basis; and the identification of Character Defining Elements (CDE's) related to conveying the significance of the building and recommended approaches to adaptive reuse.

5. Preservation of Eckbo Landscape around Flin & Stables.

Response: Development Team has been in constant contact and has been working closely with Elaine Becherer of the City of Tucson, in coordinating the preservation of the landscape during demolition and construction.

From: Elaine Becherer [mailto:Elaine.Becherer@tucsonaz.gov]

Sent: Tuesday, December 12, 2017 6:34 PM

To: Carolyn Laurie <Carolyn.Laurie@tucsonaz.gov>; Maria Gayosso <Maria.Gayosso@tucsonaz.gov>

Cc: Teresa Vasquez <teresav@hslproperties.com>; Scott Clark <Scott.Clark@tucsonaz.gov>

Subject: La Placita: Project and Demo Coordination in Conjunction with Eckbo Landscape

Carolyn and Maria -

Since demolition of La Placita and The Flin is ramping up, I wanted to connect and share with you both a quick update and let you know that I am working closely with Teresa (and have been over the past year and a half) on the coordination of the following...

1. Protection of the historic materials and City assets in the Eckbo Landscape that are immediately adjacent to La Placita.
2. Material storage of existing site features in the Eckbo Landscape that will be removed for protection during construction that are immediately adjacent to La Placita.
3. Coordination between demolition of HSL property that is immediately adjacent to the Eckbo Landscape.
4. Replacing existing site features after construction.

Let me know if you have any questions.

Elaine

Elaine Becherer, LEED AP

Assistant to the City Manager

City Manager's Office | City of Tucson

o: 520.837.4066

c: 520.429.1439

Elaine.Becherer@tucsonaz.gov

6. Pedestrian accessibility and connectivity of exterior spaces.

Response: The proposed new building footprint matches the existing foundation/basement walls, ensuring no further encroachment unto the three eligible structures. Public accessibility to Samaniego House will remain intact from the current east and south access points; and the Flin Building and the Stables will remain publicly visible and accessible internally from La Placita Park and the Municipal Complex Bridge. Circulation around La Placita Park from Broadway to Church will remain uninhibited. In addition, the buildings along the west will continue to provide a visual break between them to allow for air and light into the interior of the development. The lobby along the west will offer large storefront windows to provide additional visual vantages internally.

7. Written comments from the State Historic Preservation Office.

Response: Complied. The State Historic Preservation Office issued a revised letter of concurrence March 2018.

These responses are intended to supplement the Infill Incentive District and Rio Nuevo Area Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart
Project Manager

2018

Tucson-Pima County Historical Commission
Plans Review Subcommittee

LEGAL ACTION REPORT

Thursday, February 8, 2018

**4th Floor Conference Room, Joel D. Valdez Main Library, 101 N. Stone, Tucson, AZ
85701**

1. Call to Order / Roll Call

Meeting called to order at 1:02 P.M.

Commissioners Present: Terry Majewski (Chair), Arthur Stables, Jim Sauer (arrived 1:08 P.M.), Helen Erickson (excused at 1:48 PM), Michael Becherer, Jill Jenkins

Commissioner Absent/Excused: Sharon Chadwick

Staff: Michael Taku, Maria Gayosso, Carolyn Laurie (PDSD), Allison Diehl and Marty McCune (City Historic Preservation Office), Alison Miller (Ward 6), Art Villegas (General Services Department), Elaine Becherer (City Manager's Office)

2. Approval of the Legal Action Report (LAR) and Summary of Minutes for the Meeting(s) of 1-25-18

Motion by Commissioner Erickson to approve the Legal Action Report and Summary of the Minutes for the meeting of 1-25-18. Motion seconded by Commissioner Stables.

Motion passed unanimously. Voice Vote 5-0. (Commissioner Sauer arrived at 1:08 P.M.)

3. Courtesy Review Cases

- a. **Eckbo Landscape** – TCC Plant HVAC Piping –Remove/Replace Pavers - (Elaine Becherer, Project Manager, City Manager's Office & Art Villegas, Project Coordinator, General Services Department).

Staff Taku introduced the project and mentioned that the Historic Preservation staff had an on-site review of the project.

Staff Villegas summarized the project scope of work to include but not limited to: ADA accessible pedestrian route, continuous access to TCC, Leo Rich Theater, Church Avenue, signage and ramps, removal of brick pavers by hand, top side up, replacement in original location, damaged bricks disposed and replaced, new bricks integrated into existing to create uniform pattern.

Staff Becherer discussed the protection of the historic TCC Landscape features, lights, concrete, and pavers adjacent to the construction area. Staff discussed coordination with adjacent La Placita development to ensure historic landscape was not adversely impacted.

Subcommittee asked for clarification on some items, and clarifications were provided. The subcommittee was supportive of the project and commended staff for being sensitive to the preservation of one of the remaining few Eckbo historic landscape in the community and nationwide. No action taken.

- b. The Flin-** Proposed Six-Story Mixed-Use/Multi-Family Residential Development [Revised Design Concept] - An Informational Presentation and Feedback. No Action Required-110 South Church Avenue-(Cypress Civil Development)

Staff Taku introduced the project, emphasizing that the role of the subcommittee is to review for architectural compatibility of the proposal with adjacent historic districts and the preservation and protection of the historic properties on the project site. Additionally, the subcommittee reviews to ensure that the construction would not affect the historic statuses of three existing historic buildings on-site or cause them to be delisted from the National or Arizona Register of Historic Places.

Staff Laurie provided clarification on the IID -DRC waivers and the formal review process and limitations. Staff stated per IID guidelines, Plans Review Subcommittee (PRS) comments are provided to DRC as part of the review documentation and consideration for recommendation to PDSD Director.

The applicants, Matt Stuart, from Cypress Civil Development, Tatyana Bresler, from Eglin+Bresler Architects, Mike Censky and Omar Mireles from HSL Properties, presented the proposal. The presenters discussed site renderings and inspiration for the design, use of historic buildings and consultation with Poster Frost Mirto, Inc. as historic architects and Ken Goodman and Brian Tellez as adobe specialists.

Subcommittee asked questions and provided some feedback to the applicants. Feedback included, but not limited to: use of adobe specialist;

consult with knowledgeable historic architect(s); repurpose of historic buildings; consideration of scale, density and massing; detailed long-term restoration and preservation plan for the historic buildings; preservation of Eckbo landscape around Flin & Stables (Eckbo landscape listed at the Nationally significant level in the National Register of Historic Places); pedestrian accessibility and connectivity of exterior spaces; address Design Professional's comments as relates to historic design review; interpretation of the significance of the Eckbo landscape (work with Elaine Becherer); demonstrate how the design supports historic preservation; work with Poster Frost Mirto, Inc. or similar qualified firm on the team and let them review and comment at all stages of plan development. Additionally, written comments from the State Historic Preservation Office (SHPO) on the project's impact on the historic buildings must be submitted as part of the documents for PRS review. Finally, the historic buildings will be part of the overall design and not an "after-the-fact" review. No action was taken.

For the record, Commissioner Sauer recused himself from the discussion due to the conflict of interest clause of A.R.S. 38-501-511), Open Meeting Law.

4. Historic Preservation Zone Review Cases

UDC Section 5.8/TSM 9-02.0.0/Historic District Design Guidelines/ Revised Secretary of the Interior's Standards and Guidelines

- a. **HPZ-17-99-** Weinstein-New Single-Family Residence [Revisions to Approved Plans-Remove Wall on Front Porch/Add Security Bars on Doors/Windows] -1040 North Arizona Avenue - (West University Historic Preservation Zone).

For the record, Commissioner Sauer rejoined the discussion.

Staff Taku provided a summary of the requested revisions and read into the record the recommendation of the West University Historic Zone Advisory Board (WUHZAB) from their meeting of 1-17-18.

Property owner David Weinstein presented the proposed revisions to the design. Owner stated that the proposed security bars on windows and doors as well as front porch without a wall are typical within the development zone and consistent with West University Historic District Design Guidelines. Discussion was held.

It was moved by Commissioner Becherer, duly seconded by Commissioner Stables, to recommend approval of the proposed revisions to the plans as submitted.

Motion passed unanimously. *Voice Vote 5-0. (*Commissioner Erickson excused from meeting and did not vote.)

Supplemental Items for Subcommittee Consideration/Discussion/Action

- a. Architectural Documentation prior to Demolition of Historic Buildings-City Ordinance # 10776, Section 5.3.11-Documention Retention Process.- (Historic Preservation Office).

Allison Diehl reviewed the portion of City of Tucson Ordinance 10776 stating that copies of architectural documentation for historic buildings are to be provided to the Tucson-Pima County Historical Commission. The commission does not have the means to store such records. Copies of all approved architectural documentation packages can be viewed online or downloaded through the Planning and Development Services Department's Property Records Online (PRO) website.

Subcommittee discussed various options of providing the information to the Historical Commission.

It was moved by Commissioner Stables, duly seconded by Commissioner Jenkins, to recommend that Tucson Historic Preservation Office staff provide a quarterly summary report of all approved demolition applications for historic buildings (National Register listed or eligible) to the Plans Review Subcommittee.

Motion passed unanimously. *Voice Vote 5-0. (*Commissioner Erickson excused from meeting and did not vote.)

- b. Pima County Zoning Code: Draft Text Amendment-"Historic Landmark Zone"-Subcommittee Review Comments.

Staff Taku and McCune had already communicated some of our initial concerns to county staff working on the text amendment changes. Further feedback was provided as follows:

The major concern relates to why the Plans Review Subcommittee (PRS) of the Tucson-Pima County Historical Commission (TPCHC) is not designated as the reviewing body. Only having PRS as a courtesy reviewer is inappropriate. TPCHC is a joint city-county commission; thus the county has no need to designate other reviewing bodies. Chair Majewski asked for definitive clarification on why the county will not recognize PRS. We urge the county to mirror the city's existing process that already works. Other comments include the vague and unwieldy structure for processing and the lack of clarity re the Historic District Advisory Boards.

Staff Taku and McCune said they would take these additional comments to the county staff.

No action was taken.

- c. Historic Design Review Process-Proposals for Text Amendments: Minor Review; Appeal Process; Height Modifications-Staff Summary

Staff Taku summarized the proposals being submitted for possible amendments to the UDC to improve the review process. Subcommittee was supportive of the proposals. No action was taken.

5. **Current Issues for Information/Discussion**

- a. Minor Reviews

Staff will undertake compliance reviews in the West University Historic Preservation Zone and Armory Park Historic Preservation Zone.

- b. Appeals
None at this time.

- c. Zoning Violations

Staff informed the subcommittee of pending zoning violations and “Stop-Work-Orders” on properties in the West University Historic Preservation Zone. Full historic design review will be followed to abate the violations.

- d. Review Process Issues

None at this time.

- e. Historic Zone Advisory Board Trainings

The first training session in Armory Park on Saturday, January 27. It was well attended and well received by members of the Historic Zone Advisory Board. The next session is scheduled for Tuesday, February 20 at 6 PM for the West University Historic Zone advisory board. It will be held at Trinity Presbyterian Church, 400 E. University Boulevard.

6. **Call to the Audience (Information Only)**

Commissioner Sauer informed the subcommittee that he is now a full Registered Architect.

Chair Majewski discussed her 5-minute presentation on February 2, 2018 in the Mayor and Council series for Boards and Commissions and thanked Staff Taku for providing information on PRS reviews in 2016 and 2017 that she used in the presentation.

APHZAB members (Martha McClements, Michael Means, and John Burr) attended to observe how PRS conducted its meetings.

7. **Future Items for Upcoming Meetings**

The Flin (La Placita) Revised Design Concept (RNA); Baffert Boundary Amendment (AP).

8. **Adjournment**

Meeting adjourned at 2:43 P.M.

Concept



CITY OF TUCSON HISTORIC PRESERVATION PROGRAM
PLANNING AND DEVELOPMENT SERVICES

March 15, 2018

Margy Parisella, Architect
State Historic Preservation Office
1100 West Washington St.
Phoenix, AZ 85007



Re: The Flin (La Placita) Redevelopment Concept

Dear Ms. Parisella:



E-MAILED
4/2/18 MP

Thank you for meeting with City of Tucson staff on February 22, 2018 at the site of The Flin (La Placita) redevelopment project in Tucson. As you saw, the property owner HSL Properties is in the process of demolishing several modern buildings, but is leaving in place three historic buildings that have been evaluated to be eligible for listing in the State and National Registers of Historic Places by your office. These buildings, including the Samaniego House, the Flin Building, and the Stables date from the late 19th century to the early 20th century and are among the last surviving remnants of Tucson's downtown barrio that was leveled as part of the Tucson Convention Center urban renewal project in the early 1970s. The property also abuts the National Register-listed Tucson Community Center Historic District (Eckbo Landscape) constructed between 1971 and 1974.

Based on the field meeting, during which developer concepts and plans dated 2/15/17 were examined, it is my understanding that the following aspects of those plans would not threaten the National Register eligibility of any of the four historic properties:

- Locations of new buildings (use of existing building footprints; no additional structures, public access and view of historic properties)
- Height and massing of new buildings
- Design of the new buildings (compatible with but distinct from historic properties)

HSL Properties has not yet created plans for re-use of the three historic buildings, but wishes to move forward with construction of the surrounding buildings. The Plans Review Subcommittee of the Tucson-Pima County Historic Commission has recommended that the developer work with a qualified historic architect to create a Historic Properties Treatment Plan. During our field visit, you stated you agreed with this recommendation.

An acceptable Historical Properties Treatment Plan for this project would include:

1. Evidence that HSL has engaged a qualified historic architect to be actively involved for the duration of the project, such as a contract document with scope,
2. A summary of the history and significance of the adobe buildings on site and the adjacent Eckbo Landscape,
3. Procedures that will be followed to protect the on-site adobe buildings and Eckbo Landscape during and after construction, including third-party vibration monitoring,
4. A description of any existing damage to the on-site and adjacent historic properties and contingency plans for repairing any further damage or deterioration that may occur during the project,
5. Preliminary design concepts for rehabilitation of the on-site adobe buildings, with reference to the Secretary of Interior Standards for the Treatment of Historic Properties,
6. A timeline for bringing rehabilitation design plans to the Plans Review Subcommittee and the State historic Preservation Office for approval,
7. A timeline for completion of historic building rehabilitation.

It is my finding that a Historic Properties Treatment Plan should be developed and approved by the Tucson Historic Preservation Office, State Historic Preservation Office, and the Plans Review Subcommittee. However, because the project is being carried out with the City of Tucson's optional Infill Incentive District allowances, the City will reserve the right to regulate the provisions and timeline of the Historic Properties Treatment Plan as appropriate.

Please review these plans and indicate whether you concur with this finding.

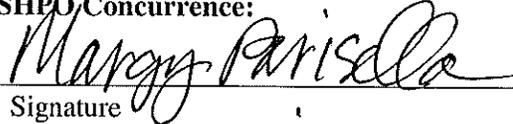
Sincerely,



Allison Diehl
Acting Historic Preservation Officer
City of Tucson

-earlier correspondence re this project was dated 6/29/16 and stated "the proposed project will not effect the historic statuses of the 3 existing buildings that will be retained"

SHPO Concurrence:


Signature

4/2/18
Date

Margy Parisella
Printed Name



Design Group, LLC

Architecture - Historic Preservation - Planning - Landscape Design

March 26, 2018

Teresa Vasquez
HSL Properties
3901 E. Broadway Rd.
Tucson, AZ 85711

RE: Preservation Plans for Flin Building, Stables, and Samaniego House, Tucson, AZ
Historical/Architectural Services Proposal
AMENDMENT #1

Dear Ms. Vasquez:

Based on the additional scope items requested at our meeting on 3/21/2018 with city of Tucson historic preservation officials, we propose the following extension of our scope of services.

The contents of the document will be revised to cover certain project-wide aspects of a "Treatment Plan" in addition to the specific preservation planning for each building. The revised outline will be as follows:

- A. Table of contents
- B. Executive Summary
- C. Introduction/Methodology
- D. Brief Developmental History: A brief synopsis of known historical data, in order to identify significance of building features and elements. No primary historical research will be undertaken within this scope. The historical information collected will be provided by HSL from previous surveys and National Register eligibility documents or accessible from online resources. **The history will cover the three buildings as well as the adjacent portion of the "Eckbo Landscape."**
- E. **Preservation Plans for the three individual buildings:**
 - a. Architectural Description: Overall description of the building and its elements, including the known chronology of development identifying changes over time. Current documentary photographs and reproduction of existing conditions plans/elevations provided by others.
 - b. Feature Analysis: Brief analysis of building condition, integrity, deterioration and significance of existing elements and systems on a feature by feature basis.
 - c. Treatment and Use Analysis: Based on the building reuse strategy identified by HSL (if any), identify the recommended overall Preservation Treatment for the building. Identify Character Defining Elements (CDE's) related to conveying the significance of the building,
 - d. **Rehabilitation Plan: Present schematic floor plan and elevation drawings for the rehabilitated building and summarize the preservation/rehabilitation work requirements and impact on significant CDE's.**

F. Implementation Plan

- a. **Project Timeline:** In consultation with HSL, develop a project schedule in terms of general time spans to accomplish various project elements and the relationship between them.
- b. **Protection Plan:** In consultation with HSL, develop a narrative describing both the protective measures already enacted as well as future measures planned to protect historic buildings and elements during construction of the overall project.
- c. **Contingency Plan:** In consultation with HSL, describe procedures and processes that may be triggered in response to foreseeable negative project events to ensure building preservation.

Two additional trips to Tucson are included in this scope:

1. Initial consultation meeting with city HP staff (occurred 3/21/2018).
2. Presentation to Tucson-Pima County Historical Commission.

The ADDITIONAL professional fees for these services shall be as follows:

Rehabilitation Planning:
Implementation Plan
Two Tucson Trips/meetings, incl. prep time

Total Services

Estimated Travel Expenses (two trips), not to exceed:

We will submit invoices monthly for the services completed over the preceding month. Invoiced amounts are due upon presentation and overdue 30 days after the invoice date. Past due amounts shall bear interest at the rate of 1.5% per month.

If this proposal is acceptable, please sign below and return one copy of this letter as our notice to proceed. Thank you again for this opportunity.

Sincerely,



Robert Graham, AIA
Principal Architect


Approved

3-26-2018
Date



Design Group, LLC

Architecture - Historic Preservation - Planning - Landscape Design

ROBERT G. GRAHAM, AIA, NCARB, LEED-AP

Education: Arizona State University; Bachelor of Architecture, 1985

Registration: Registered Architect - Arizona - 1988 #22434
NCARB Certification #41586

Experience:

Mr. Graham has 30 years of experience in architectural design, planning, and historic preservation, with an emphasis on architectural technology, building codes, and renovation of existing structures. He has experience in a wide variety of building types, including residential, public/governmental, commercial office, parks and recreation, and education.

The focus of Mr. Graham's past work has been in the areas of historic preservation, interpretive design, public facilities, and urban infill and rehabilitation projects. He prides himself on his projects' successful integration of new buildings or features with their natural and historic contexts.

Mr. Graham is recognized as a leader in the historic preservation field in Arizona. In his preservation work, Mr. Graham has become familiar with a wide variety of archaic and unusual construction materials and techniques. He is well versed in the proper methods for repair and restoration of wood, brick, adobe, concrete, and a wide variety of other materials. He is an expert at the application of modern building codes to historic structures, designing necessary modifications to achieve safety and comply with the code while preserving the important, character-defining elements essential to the historic integrity of the building. In the field of historic preservation planning, Mr. Graham has completed numerous historic building analysis reports, historic district surveys, National Register nominations, and preservation master plans. He is listed as an approved historic building assessor with Heritage Preservation.

His expertise in renovation and rehabilitation of existing structures carries over into modern structures as well. He has experience in dealing with the difficult technical issues posed by deteriorating and code-violating buildings. Particular areas of ability include the Americans with Disabilities Act (ADA), reroofing, and energy efficiency upgrades.

In addition to his preservation-related talents, Mr. Graham has to his credit a wide range of new construction projects. Particular areas of experience include maintenance and industrial buildings, projects involving the integration of pre-engineered metal structures, park facilities, urban infill development, low-income housing, and interior office improvements.

Mr. Graham has been honored for both his volunteer activities as well as his design work in historic preservation in 1999 with the Arizona Heritage Preservation Award in the Individual category. He was also awarded the President's Award from the Arizona Preservation Foundation and the first-ever Young Architect Citation from the Arizona Division of the American Institute of Architects. He is a past board member of the Arizona Preservation Foundation, Arizona's only statewide nonprofit preservation organization, and served two terms as the group's President. He currently serves as a member of the City of Phoenix's Central City Village Planning Committee and Design Review Committee. He is a Board member of the Phoenix Trolley Museum and is President and founder of the Grand Avenue Rail Project and the Grand Avenue Members Association.

ROBERT G. GRAHAM, AIA - Historic Preservation Project Experience

Historic Restorations and Rehabilitations

Welnick Arcade Marketplace, Phoenix
C. P. Stephens DeSoto Six Motorcars, Phoenix
American Way Market, Phoenix
Pemberton House Office Rehabilitation, Phoenix
L. G. Knipe House Fire Damage Reconstruction, Phoenix
Temple Beth Israel rehabilitation for the Cutler-Plotkin Jewish Heritage Center, Phoenix (Governor's Award for Historic Preservation, 2010)
Truxton Canyon Training School, Valentine, Arizona
22 E. Jackson St. Warehouse Conversion, Phoenix (Governor's Award for Historic Preservation, 2010)
Snowflake Stake Academy Adaptive Use/Library
Theraldson & Stone Houses Rehabilitation, Phoenix
Sachs-Webster House, Phoenix
Manistee Ranch Stabilization and Restoration, Glendale
Riordan Mansion State Historic Park Exterior Rehabilitation
Heritage Square Repairs & Re-Roofing, Phoenix
Sahuaro Ranch Park Repairs, Glendale
Phoenix Historic Streetlight Restoration
Edwards House, Tumbleweed Park, Chandler
Osterman Gas Station Stabilization, Peach Springs
Swindall House Rehabilitation, Phoenix
Old Las Vegas Mormon Fort Stabilization, Nevada
Kessler House Rehabilitation for the Arizona Theater Company
Bayless Market Facade Restoration
Glendale Grammar School Restoration
Colton Barn Residential Conversion, Flagstaff
Glendale Woman's Club Reroof
Silver King Hotel Phase II Rehabilitation, Florence
Old Stone Church Reroof, Casa Grande
*Arizona & New Mexico Passenger Station, Clifton (Governor's Award for Historic Preservation, 1994)
*Thomas House/Baird Machine Shop, Heritage Square, Phoenix
*Peoria Central School Rehabilitation as Art Museum
*Elias/Rodriguez House Stabilization, Tempe

Historic Building Investigation and Report

David & Gladys Wright House, Phoenix
House of Apache Fires, Red Rock State Park, Sedona
Kosier Hardware, Peoria
Old Main, Arizona State University, Tempe
VFW Post 720 Clubrooms, Phoenix
Phoenix Downtown Post Office Preservation Plan
Ellis-Shackleford House, Phoenix
W. L. Bobo House, Phoenix
First Baptist Church, Glendale
O. S. Stapley Hardware Buildings, Phoenix
Sachs-Webster House, Phoenix
Neilsen Radio & Sporting Goods Sidewalk Lights, Phoenix
Osterman Gas Station, Valentine
Orpheum Theatre, Phoenix
Morcomb House & Filling Station, Glendale
First Methodist Episcopal Church of Glendale
Temple Beth Israel, Phoenix
Sahuaro Ranch, 5 structures, Glendale
Manistee Ranch, Glendale
Paramount Theater, Casa Grande
Casa Grande Woman's Club
Montgomery House, Phoenix
Eisendrath House, Tempe
Camp Verde Commercial Building
Lee's Ferry and Lonely Dell Ranch, Glen Canyon National Rec. Area
Lehi Elementary School
Del Monte Market, Phoenix
Pendley Homestead Apple Packing Shed and Tourist Cabins, Slide Rock State Park
Yuma Quartermaster Depot Storehouse
Palmerita Ranch, La Paz County
Gold King Mansion, near Kingman
Cavalliere's Blacksmith Shop, Scottsdale
Fort Apache Log Cabin and COQ
Lost City Museum, Overton, NV
Wahweap Trailer Village Cabins, Page
Big Horn Station, Maricopa County
*Thomas House/Baird Machine Shop, Heritage Square
*Tovrea Castle, Phoenix
*Henning Block, Holbrook

*Freeman House, Snowflake
*New Dawn Hotel, St. Johns
*Arizona & New Mexico Passenger Station, Clifton
*Flagstaff Freight Depot
*Swindall House, Phoenix
*Clifton Town Hall
*Phoenix Union Train Station
*The Ice House, Phoenix
*Elias/Rodriguez House, Tempe
*Fort Yuma
*Silver King Hotel Master Plan, Florence
*Las Vegas Mormon Fort
*Sacred Heart Church, Tombstone
*Yuma Quartermaster Depot Corral House
*Cottonwood Civic Center
*Roxy Theater, Buckeye

National Register Nominations

Thompson Draw Summer Homes, Tonto National Forest
C. P. Stephens DeSoto Six Motorcars, Phoenix
Temple Beth Israel, Phoenix
Thunderbird Estates and the McDonald Addition Historic District, Glendale
Rose Eisendrath House, Tempe
Sage Acres Historic District, Glendale
Glendale Gardens Historic District, Glendale
Sands Estates Historic District, Glendale
Northfield Historic District, Glendale
Catlin Court Historic District Update, Glendale
First Methodist Church of Glendale Sanctuary
Floralcroft Historic District, Glendale
61st Avenue Residential Historic District, Glendale
Myrtle Avenue Residential Historic District, Glendale
Hoghe Bunk House, Glendale
Dowdy Rental Cottage, Glendale
Glendale Tract Historic District
Glendale High School Auditorium
Glendale Grammar School One-Room Class Building
Jonas McNair House, Glendale
C. H. Tinker House, Glendale
59th Avenue Residential Historic District, Glendale
Evergreen Addition Historic District, Casa Grande
E. C. Bunch House, Glendale
Manistee Ranch, Glendale
Chandler Commercial Historic District
Casa Grande Multiple Property Nominations
Town of Taylor (5 individual nominations)
Snowflake Historic District
*Clifton Townsite Historic District
*Eagar Townsite Historic District
*Eagar Elementary School
*Colter Ranch Historic District
*Globe Mine Rescue Station
*Swindall House, Phoenix (1995 Historic Sites Review Committee Award)
*Pendley Homestead Historic District
*El Zaribah Shrine Temple
*La Posada Hotel, Winslow
*Yuma Main Street Historic District
*Kitchel House, Phoenix

Conservation Assessments

Heritage Square, Phoenix
Douglas Williams House, Douglas, AZ
Lowell Observatory, Flagstaff
Sunnyslope Historical Society
NAU Old Main, Flagstaff
Bob Jones Museum, Superior
Cave Creek Museum
Lost City Museum, Overton, NV
AHS Tucson Museum, Freemont House
Mesa Historical Museum/Old Lehi School
Yuma QMD Storehouse
Slide Rock State Park Packing Shed/Cabins
Fort Apache
Lowell Observatory

*Completed as an employee of Don W. Ryden, AIA/Architects, Inc.

May 16, 2018



CITY OF
TUCSON

Zoning
Administration
Division

Planning &
Development
Services
Department
(PDSD)

Teresa Vasquez
HSL Construction
3901 East Broadway Boulevard.
Tucson, AZ 85701

Dear Ms. Vasquez:

Subject: **IID-17-01/HPZ-18-26** The Flin- Proposed Six-Story Mixed Use/Multi-Family Residential Development- Preservation and Treatment Plan for the Historic Resources of La Placita Village: Cano Drug Store/Hop Lee Laundry Building (Formerly Stables and Flin Building); Samaniego House, Eckbo Landscape-110 South Church Avenue- ((Downtown Core Sub-District, Downtown Infill Incentive District)

Zoning Administration has reviewed your application for Historic Preservation and Rio Nuevo Area Zones Development. Specifically, this application is for a request for review of the Preservation and Treatment Plan for the Historic Resources of La Placita Village. Pursuant to provisions of Section 5.8 and RNA 5.12 of the City of Tucson Unified Development Code, the Preservation and Treatment Plan and the proposed residential development conceptual design have been:

RECOMMENDED to proceed with further review subject to complying with the following Tucson Pima County Historical Commission, Plans Review Subcommittee guidelines:

- 1) Applicant will continue to the Design Review Committee (DRC) for IID review;
- 2) Applicant will return to PRS with detailed architectural drawings and design of the new buildings as specified in the concept plan approval letter dated 8-9-16 for review and recommendation;
- 3) Applicant will show how all the Design Professional's historic concerns are addressed;
- 4) Applicant will respond to all PRS feedback from the meeting of 2-8-18;
- 5) The Historic Property Treatment Plan will be revised to incorporate the pre-Sanborn history of the parcel and submitted to the PRS for review and recommendation;
- 6) Detailed plans for rehabilitation of historic buildings on site will be reviewed by PRS following the timeline provided in the Historic Property Treatment Plan; and
- 7) The Eckbo Landscape's national level of significance will be recognized and considered during the review process.

This Planning & Development Services Department (PDSD) Director concurrence with these recommendations is intended to keep the project on track for all review processes and does not constitute a decision on the application. If there are any changes to the plans, please call the Zoning Administration staff for historic design reviews, Michael Taku at 837-4963, or Carolyn Laurie at 837 4953 (IID review), to determine the appropriate review option for the changes.

Sincerely,



Scott Clark
Interim Director

SC: MT/IID-17-01
HPZ-18-26

c: Teresita Majewski, Tucson-Pima County Historical Commission, Chair



Design Group, LLC

Architecture - Historic Preservation - Planning - Landscape Design

May 31, 2018

HSL Properties
3901 E Broadway Blvd
Tucson, Arizona 85711

RE: Treatment Plan - Historic Resources of La Placita Village
Revision #1

Dear Ms. Vasquez:

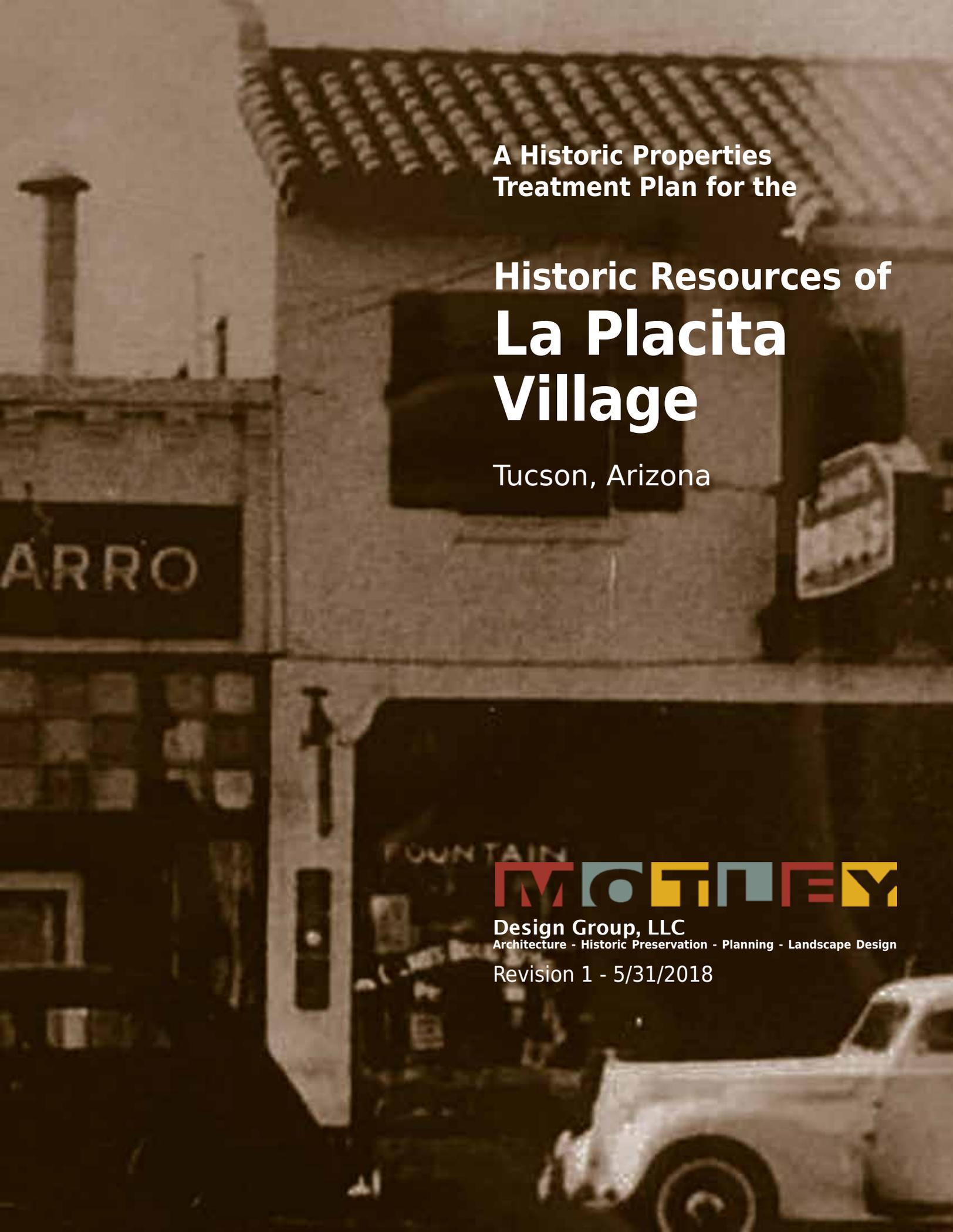
As requested, we have revised and updated the Treatment Plan in response to comments received from the Tucson-Pima County Historical Commission and city of Tucson, and to reflect new circumstances discovered since the initial document was published in April. The significant changes and extensions are summarized as follows.

- At the Commission's request, additional historical research was performed in Pima County recorded documents and an analysis was made of pre-Sanborn maps of Tucson that the city was able to provide. As a result, the historical background and significance section regarding the Cano Drug Store/Hop Lee Laundry Building was revised to properly indicate ownership by Julius Flin from 1895 to 1915 and by his descendents from then until 1967. Our conclusions regarding the significance have not changed, but we have provided additional discussion in this regard and our misinterpretation of the historical record has been corrected.
- A Treatment Plan has been added for the Tucson Community Center Historic District Walkway (Eckbo Landscape), since it has been discovered that the potential impact of The Flin development on this feature may be greater than initially anticipated. The section largely repeats and expands on the preliminary draft that was presented to the Commission in May.
- As a convenience to those interested in the historical background research, we have added an Appendix A containing the relevant historical facts, events, property transactions, and directory entries that we were able to find, organized sequentially in a timeline.
- In satisfaction of Item #4 in the city's concurrence request letter, we have added an Appendix B which contains a comprehensive set of photographs of all exterior historic features including the Cano Drug Store/Hop Lee Laundry, Samaniego House, and Tucson Community Center Historic District Walkway.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Graham", written over a horizontal line.

Robert Graham, AIA
Principal Architect



A Historic Properties
Treatment Plan for the

Historic Resources of
**La Placita
Village**

Tucson, Arizona

MOTIFLY

Design Group, LLC

Architecture - Historic Preservation - Planning - Landscape Design

Revision 1 - 5/31/2018



**A Historic Properties
Treatment Plan for the**

**Historic Resources of
La Placita
Village**

Tucson, Arizona

Prepared for:

HSL PROPERTIES

3901 E. Broadway Rd.
Tucson, Arizona 85711

By:

MOTLEY DESIGN GROUP, L.L.C.

1114 Grand Ave.
Phoenix, Arizona 85002
(602) 254-5599

Robert G. Graham, AIA - Historical Architect



Expires 12.31.20

Project No. 18-003
April, 2018
Rev. 1, May 2018



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Executive Summary

Overview

The former La Placita Village is located at the southwest corner of Broadway Boulevard and Church Avenue in Tucson, Arizona. HSL La Placita LLC acquired ownership of La Placita Village in 2011. The company plans to redevelop the site as a mixed use urban multifamily property.

This Plan addresses items identified in the letter dated March 15, 2018 from the City of Tucson to the SHPO requesting concurrence with the process to create a Historic Properties Treatment Plan.

Developmental History

Starting around 1965, the national urban renewal movement hit Tucson with proposals to redevelop parts of the downtown with a master-planned core of government buildings. In part, the project was intended to clean up the old Barrio Libre by clearing an area thought of by some as a slum, and replacing it with a convention center, hotel, and a festival marketplace, which was to become the “La Placita Village” project.

Nearly all of the land in the path of redevelopment was cleared. Among the survivors were the Cano Drug Store/Hop Lee Laundry Building and the Samaniego House, for a time as isolated islands. The redevelopment took place for the most part between 1970 and 1974. Both of these buildings were incorporated, in altered form, into La Placita Village.

The Cano Drug Store was constructed in 1929-30 as a major remodel of the earlier Hop Lee laundry to house the M. R. Cano Drug Store as well as the residence of the Miguel and Frances Cano family. The building incorporated substantial portions of the earlier Hop Lee Laundry, constructed of adobe prior to 1881, and contiguous adobe dwelling units extending around the back of the parcel, which had been constructed by 1896. The adobe portion of the building, while acquiring a new brick street façade, was leased to various tenants. The El Charro restaurant became a tenant in 1935; by 1947 El Charro had expanded

to take up the entire building, occupying it until the neighborhood was redeveloped starting in 1967. The building was remodeled as leased commercial retail and office space in 1973 as a part of the La Placita Village development.

The building known today as the Samaniego House reportedly has its origins in c. 1876. Preservation of the surviving portion of the Samaniego House was written into the development agreement for La Placita. La Placita was built in 1973.

Very little of the original house remains. 80% or more of the building fabric present today is a facsimile constructed of modern materials including concrete block, steel stud framing, and wood carpentry work. Interior and exterior finishes and features including plaster and stucco, flooring, roofing, doors, windows, viga ceilings, woodwork and trim are all modern. Historic features including one adobe wall in the center of the building, much of the framing for the hipped and gabled roofs, and chimneys appear to have been stabilized in situ and incorporated into the structure. Modern floors, walls, and finishes were constructed around, beneath, and above these historic relics such that no original surface or feature of the building is visible to a casual observer.

Influential, internationally recognized landscape architect Garrett Eckbo (1910-2000), was commissioned in 1970 to design the public pedestrian spaces surrounding the new redevelopment projects, now listed on the National Register as the Tucson Community Center Historic District. Bordering La Placita on the west is The Walkway, which was not finished until 1974, after construction of the hotel to the west, and La Placita were completed.

Cano Drug Store/Hop Lee Laundry Building Treatment Plan

Description: The Cano Drug Store / Hop Lee Laundry Building has, as the name implies, two major parts, which are of differing ages: a one-story section comprised of three contiguous rows of adobe rooms around a courtyard, and a two-story brick section

attached to one end of the adobe part. The two-story section, which lies at the northwest corner, and three bays of the adobe building are aligned along what used to be Broadway Street, which formed the northern boundary of the site historically. Together they form a continuous commercial storefront. The two additional rows of adobe rooms are aligned on what originally were the eastern and southern property lines. The earlier, adobe portion of the building is primarily associated with the Hop Lee laundry and the later brick section with the Cano Drug Store.

Significance/Integrity: The Cano Drug Store has suffered many alterations and a general erosion of the seven aspects of historical integrity. While the earlier, adobe portion of the building relates to important early potential areas of significance, it was substantially altered in both 1929 and 1974. The building was further altered by replacement of storefronts, doors, and windows, as well as sheathing in modern, heavily textured stucco, in 1974. The physical context has been obliterated twice; first in 1968, with the destruction of much of the Barrio Libre, and second, in 2018 with the demolition of the modern portions of La Placita Village. In its present form, the building (including both the earlier, adobe sections and the later, two story Drug Store) fairly represents the period just prior to its redevelopment between 1969 and 1974; even more so, the period after 1974. The property is most likely and most strongly eligible overall in the area of Commerce for its relationship to the many business that were housed there. Secondly, Architectural significance as a good local example of the Monterey Style may apply to the street front while Ethnic Heritage for its relationship to the period serving the Chinese community may apply to the adobe residences in the rear.

Program of Use: The intended use on the part of the current owners is as a support building for the multifamily development that will be constructed in place of La Placita Village. Uses for the building may include:

- Clubhouse for the use of residents, including new public restrooms, kitchenette, lounge and meeting/dining room.
- Coffee shop, accessible to the public, with associated restrooms and storage space.

- Lease space for resident use, such as personal storage.
- Other small business lease, serving resident needs (such as pet grooming).
- Second-floor residence.

Recommended Treatment: The recommended treatment of the building is “Restoration” combined with “Rehabilitation.” It is recommended to restore the appearance of the property, to the extent feasible, to the period relating to its appearance between 1929 and 1968 in order to strengthen its architectural and historical integrity. A Rehabilitation approach will allow adaptation of the building for the new uses.

Rehabilitation Plan: The Cano Drug Store/Hop Lee Laundry Building may be easily rehabilitated for the programmed uses outlined above. The proposed plan uses the original street side spaces along the north side of the building as public areas. The western half, comprising the first floor of the former Drug Store and the western-most of the three adobe bays, will be rehabilitated as the club house for the use of residents of the development. The eastern two bays of the adobe section, together with the two adobe rooms to the south (including all of the area most recently occupied by a small restaurant) will be rehabilitated as a coffee shop. The remaining spaces (the south adobe wing and part of the east adobe wing) may be leased to residents as storage space, or similar uses.

Samaniego House Treatment Plan

Description: The Samaniego House is a one story masonry building 100 feet long and 32 feet wide. The building is mostly a facsimile of the historic adobe Samaniego House, although it does incorporate a small fraction of the original. Its most recent use was as a restaurant.

Significance/Integrity: The Samaniego House possesses very little historical integrity overall. The building was substantially altered in about 1973. The physical context has been obliterated twice; first in 1968, with the destruction of much of the Barrio Libre, and second, this year with the demolition of the modern portions of La Placita Village. In its present form, the building fairly represents a facsimile of its general appearance c. 1890, and even more so, the

period after 1973. The property will be potentially eligible in the area of Social History in the year 2023, or perhaps earlier if a case can be made for exceptional significance. Traditionally accepted areas of significance for this building cannot apply due to the fact it is an ineligible reconstruction.

Program of Use: The intended use on the part of the current owners is to return it to its most recent use as a restaurant as part of the multifamily development that will be constructed in place of La Placita Village. Minimal alteration to the building is anticipated because of the good condition of the building and the fact that it was already a restaurant.

Recommended Treatment: The recommended treatment of the building, in National Parks Service terms, is "Preservation."

Rehabilitation Plan: The existing conditions of the Samaniego House already lend themselves to use as a restaurant, since it was converted to that use sometime after 1973. However, some adaptations will still be necessary, because the facility falls short of meeting the Americans with Disabilities Act guidelines.

Tucson Community Center Historic District Treatment Plan

Description: The Walkway segment of the Tucson Community Center Historic District is a linear park consisting of decorative hard surfaced walkway paving as a background for pedestrian amenities including kiosks, benches, water fountains, a linear water feature, sculptures and planting (trees and shrubs) both in the ground and in above-grade planters. The paving surface of the landscape design extends over the property line of the former La Placita site by eight feet, or two rows of four-foot modular concrete squares. This area coincides with a pedestrian access easement on the property. The basement of the old La Placita development, constructed in 1973, extends beneath the decorative paving and above-ground planters to the property line. The building face above grade was eight feet inside the property line.

Significance/Integrity: The Walkway area is part of the National Register-listed Tucson Community Center Historic District that encompasses a larger area. Its listed significance is as an outstanding example and

exceptionally significant work of landscape architect Garrett Eckbo. The Walkway possesses a high degree of the seven aspects of historical integrity, with minor alterations and additions of pedestrian furnishings.

Recommended Treatment: The recommended treatment of the landscape, in National Parks Service terms, is "Preservation" with "Reconstruction" of impacted elements.

Treatment Plan: The plan for redevelopment on the east side of The Walkway is as a mixed-use, multifamily structure ("The Flin"). The project will abandon the outer 8 feet of basement and construct a new retaining wall in line with the new building face, which will largely align with the footprint of the old La Placita buildings. The on-site paving will be removed in this area for construction of the new building, after which it will be reconstructed. The concrete will be replicated using new materials but matching the historic scoring patterns and surface texture. The brick paving areas will be replicated using salvaged original brick installed to match the original patterns. The above-grade planters will be reinstalled in their original positions and will be re-planted with new trees.

Implementation Plan

Project Timeline: The schedule for the project overall (including adjacent apartment units) is uncertain as of the date of this Plan. The design and construction of the apartments will dictate the schedule for moving forward on the historic buildings. The process for design and construction of the Cano Drug/Hop Lee Building will commence about one year prior to substantial completion of the apartments, with Design Review submission approximately 9 months prior. While it would be ideal for the Samaniego House to follow the same timeline, no user has yet been identified for this building. While the Samaniego House Design Review submission may be concurrent with the Cano Drug/Hop Lee Building, if no tenant has been identified, this submission will be delayed until such time as a user has been identified and a preliminary remodel plan can be developed.

Protection Plan

The Protection Plan is intended to protect and preserve the historic buildings and features from the

commencement of demolition through the completion of construction. Protection of the historic resources will include Installation of physical barriers and protective coverings, monitoring of existing cracks, periodic inspections to identify any new damage, and implementation of site intrusion detection and protection systems at times when the site is not staffed. Protection and contingency plans are presented for a variety of risks, including:

- Criminal acts
- Weather damage
- Flooding
- Damage from adjacent construction
- Fire

Existing Conditions

The existing condition of the historic buildings and features prior to commencement of construction work on the site is documented in Appendix B of the report.

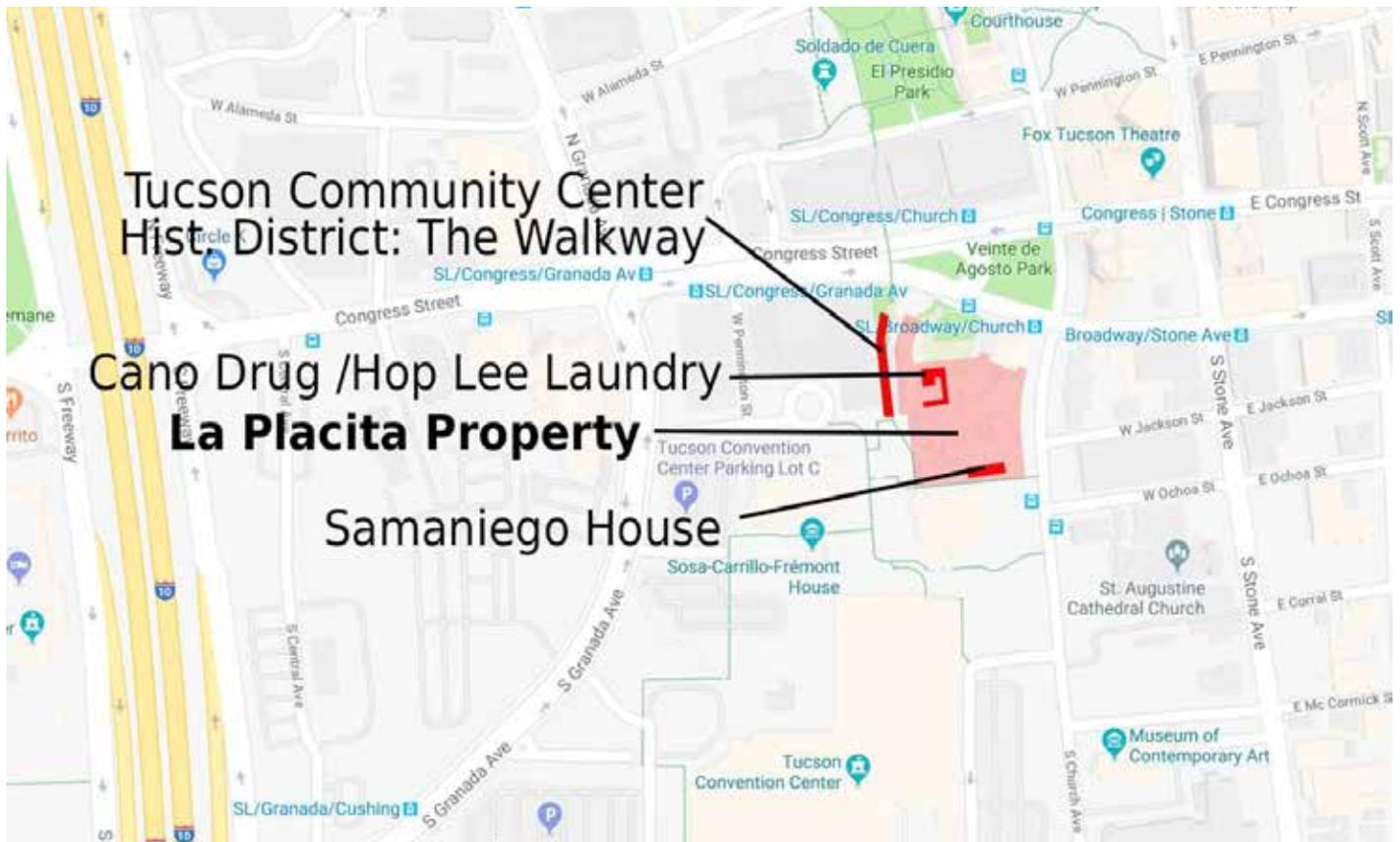
Introduction/Methodology

Purpose and Scope

The former La Placita Village is located at the southwest corner of Broadway Boulevard and Church Avenue in Tucson, Arizona. HSL La Placita LLC acquired ownership of La Placita Village in 2011. The company plans to redevelop the site as a mixed use urban multifamily property. This report was commissioned by the owners to satisfy a request by the City of Tucson for an Historic Properties Treatment Plan to be completed prior to obtaining approvals for the new development.

The Preservation Plan addresses items identified in the letter dated March 15, 2018 from the City of Tucson (Allison Diehl, Acting Historic Preservation Officer) to the State Historic Preservation Office (Margy Parisella, SHPO Architect) requesting concurrence in the city's finding that a Historic Properties Treatment Plan be developed and approved prior to redevelopment approval. The letter outlines the following requirements for the Plan:

1. Evidence that HSL has engaged a qualified historic architect to be actively involved for the duration of the project, such as a contract document with scope,
2. A summary of the history and significance of the adobe buildings on site and the adjacent Eckbo Landscape,
3. Procedures that will be followed to protect the on-site adobe buildings and Eckbo Landscape during and after construction, including third-party vibration monitoring,
4. A description of any existing damage to the on-site and adjacent historic properties and contingency plans for repairing any further damage or deterioration that may occur during the project,
5. Preliminary design concepts for rehabilitation of the on-site adobe buildings, with reference to the Secretary of the Interior's Standards for the Treatment of Historic Properties,



Historic Properties Treatment Plan: Historic Resources of La Placita Village

6. A timeline for bringing rehabilitation design plans to the Plans Review Subcommittee and the State Historic Preservation Office for approval,
7. A timeline for completion of historic building rehabilitation.

This report addresses these items.

Notes About Names and Identities of the Historic Resources

The author's intent within this plan report is to identify resources using the historic names that correctly identify their best-documented significant associations. These would be the associations for which a property is listed or would be considered eligible to national, state or local historical registers. Properties frequently have had many names and uses over the years. National Register of Historic Places policy is to use the first building name (if named) or the name of the first occupant of a building within its period of significance.

It was found in the course of study that the common names being used to identify some buildings do not best identify the association for which the building would be considered significant. In particular, the building identified previously as "the Flin Building" and the attached "Stables" have been identified for many years in a way that overstates their associations relative to extant historic fabric.

Analysis of the historical record, most specifically property deeds, Tucson city directories and available historic maps, and comparing the resulting data against the existing conditions of the buildings, clarifies that the Flin/Stables building should, in our opinion, be more properly identified as the **Cano Drug Store/Hop Lee Laundry Building**. This is because, although various members of the Flin family owned shares in the property continuously from 1875 to 1967, ownership itself does not confer a significant association. The building today best represents its appearance after 1929, when the two-story brick drug store and residence, as well as the facade of the remaining adobe portion, was constructed. Miguel R. Cano and his wife Frances Flin Cano had the brick building constructed and operated the Cano Drug Store and lived in the second floor residence. The

adobe "stables" present from the 1870s to 1880s have almost certainly been obliterated and the present appearance of these adobe rooms most strongly conveys its association to their use as residences for the Chinese community and by the Hop Lee laundry facilities.

The two parts of the building evolved together on the same property under the same ownership and would be considered by the National Register as one. Therefore our approach to preservation planning is to treat this holistically as one building.

This history and significance of the **Samaniego House** has been well documented and this historic name has continued to be used for this report.

While recent correspondence with the city of Tucson and in formal committee hearings refer to the adjacent, National Register-listed landscape corridor abutting the western edge of the La Placita property as the "Eckbo Landscape," it is understood that this is merely shorthand for the somewhat unwieldy historic name, **Tucson Community Center Historic District**.

Condition Assessment

The Cano/Lee building and the Samaniego House were assessed on March 13 and 14, 2018. The assessment team included:

- Robert Graham, AIA, of Motley Design Group, Historical Architect and Principal Investigator
- Roberta Graham, architectural designer/assistant

Preliminary floor plan documentation was provided, previously prepared by Eglin + Bresler Architects. Additional critical measurements were taken by the historical team, and the preliminary plans were adjusted to more closely match actual conditions. Structural materials of walls were also checked and where it was possible to ascertain, plans were updated to reflect the historic vs. modern materials.

The buildings were visually evaluated in all accessible spaces. Concealed conditions were exposed where, in the historical architect's judgement, it was necessary to evaluate the existing condition. Damage

was limited to modern materials or features that were already deteriorated.

Building features were investigated on an individual basis, following the Architect's standard break-down of building and site features and systems. Photographic documentation of each feature or condition was made at the same time using digital photography.

The Tucson Community Center Historic District is most directly affected in the "Walkway" portion of the element, which borders the western edge of the La Placita site. The Landscape was evaluated on May 11, 2018 by Robert Graham. The paving patterns, materials, and general location of other features was documented, particularly that portion that extends onto the La Placita site (over its former basement) and immediately adjacent.

Historical Research

Historical research was initially limited to that provided by the owners and available from the city of Tucson, prepared by others. Request of Preliminary Eligibility (ROPE) forms submitted to the SHPO were the starting point for the historical synopsis. The city's website offered the full National Register nomination for the Tucson Community Center Historic District.

When it became evident that some points of the construction chronology were unclear, additional research was conducted in readily-available on-line resources and in Pima County Assessor records. The most useful information was gleaned from historic Tucson city directories for the years 1881-1960 (accessed from ancestry.com) and from historic maps including the 1862 Ferguson map of cultivated fields and the 1870-1880 "George Hand's Tucson" map (both provided by the city of Tucson), and Sanborn fire insurance maps 1883-1949 (accessed from the Library of Congress). A general Google search for historical images related to the known prior uses of the properties turned up numerous new images.

Developmental History

Overview: the Barrio Libre to Urban Renewal

The Barrio Libre or “Free Neighborhood” encompasses some of the oldest areas of Tucson. The Barrio generally lay in the area east of Main Street south of Broadway and was the home of much of Tucson’s Spanish-speaking community. The Plaza de la Mesilla, also known as Church Square, was defined before 1862 and was a focal point of the community. The San Augustine church that bordered the eastern side of the plaza was built in 1863-68.

In territorial times, the neighborhood was home to many of Tucson’s leading citizens. It survived over 100 years of history while still retaining an urban form and architectural character that reflected its cultural roots.

Starting around 1965, the national urban renewal movement hit Tucson with proposals to redevelop parts of the downtown with a master-planned core of government buildings. In part, the project was intended to clean up the old Barrio by clearing an area thought of by some as a slum, and replacing it with a convention center, hotel, and a festival marketplace, which was to become the “La Placita Village” project.

Tucson’s first survey of its historic building stock (1969) canvassed the old Barrio Libre (among other areas) in an effort to identify important historic resources in advance of redevelopment. The survey resulted in subjects being placed into one of three categories: “Buildings to be Preserved at All Costs,” “Buildings to be Preserved if Possible,” and “Buildings For Which Only Photographs Are Available.” The Samaniego House at 112-140 W. Jackson St. was among those important to be preserved. The survey surveyed the El Charro Restaurant at 140 West Broadway and placed it into the last category, unworthy of preservation but to be documented. Numerous other area buildings were surveyed; while a few in the area survived, over a dozen were demolished to make



1886 Sanborn fire insurance map of a portion of Tucson, including the northern part of the Barrio Libre

way for redevelopment. In all, 263 old buildings on 29 blocks of the Barrio were demolished.

Nearly all of the land in the path of redevelopment was cleared. Among the survivors were the Cano Drug Store / Hop Lee Laundry Building (known then as the El Charro building) and the M. G. Samaniego House, for a time as isolated islands. The redevelopment took place for the most part between 1970 and 1974. Both of these buildings were incorporated, in altered form, into La Placita Village.

Cano Drug Store/Hop Lee Laundry Overview

The Cano Drug Store was constructed in 1929-30 to replace a portion of the earlier adobe building previously occupied by the Hop Lee laundry (c. 1881-1926) to house the M. R. Cano Drug Store as well as the residence of the Miguel and Frances Cano family. The two-story brick building was designed in a commercial adaptation of the Monterey style. The drug store building incorporated substantial portions of the earlier laundry building, constructed of adobe prior to 1880, and contiguous adobe dwelling units extending around the back of the parcel, which had been constructed by 1896. The adobe portion of the building, while acquiring a new brick street façade, was leased to various tenants. The El Charro restaurant became a tenant in 1935. In 1946 Monica Flin bought the property from the Canos and by 1947 El Charro had expanded to take up the entire building, occupying it until it was sold to the city of Tucson in 1967 for redevelopment. The building was remodeled as leased commercial retail and office space in 1973 as a part of the La Placita Village development.

Construction and Hop Lee Laundry Period, 1862-1929

The building began life as a Sonoran adobe row house or commercial structure with rooms aligned along the southern edge of the Plaza de la Mesilla, also known as Church Square. The earliest available map showing building footprints (1870-1880 George Hand's Tucson) shows a building of six adobe rooms, three bays along the street by two rooms deep, with wooden porches across the back. The center bay was marked "Sewing Machs" and by 1881 the western

rooms were used as a dwelling. On the rear of the lot, detached from the main building, was a long "horse shed" and a small building of unknown use (likely tack storage). By 1886 much of the shed was removed and two new adobe rooms were built, probably for tack and carriage storage. Because the front building was unlikely to have been purpose-built as a laundry, it likely predates 1881; the Plaza existed prior to 1862, so perhaps the original construction date can be estimated at about 1862-70. The 1881 directory lists the only uses of the property as the "Lee Hop laundry" (18 Camp St.) and the dwelling, at 16 Camp Street, as the residence of Howard Mercer.

Prior to 1885, the property was owned by Jose Maria Martinez, who apparently leased it to Hop Lee and other users. Property records prior to 1885 were not found.

Establishing the biography of Hop Lee, laundryman, is complicated by the fact that there appear to have been two or three different Hop Lees in Tucson over the years, as well as a Lee Hop. Because the laundry appears in city directories as early as 1881 and the building's "Sewing Machs" use prior to 1880, it is likely that Hop Lee arrived with the development of the Southern Pacific railroad, which was completed in 1881. Assuming he would have been a young man in his twenties, he would have been born c. 1860. That would have made him about 66 years old when the laundry went out of business in 1926. A later Hop Lee immigrated in 1912 and became a prominent merchant with his grocery business in Tucson. This



"Chinese" residences behind the commercial block

younger Hop Lee does not appear to be associated with the property.

Julius Flin purchased the property from the estate of Jose Maria Martinez in 1885. Thereafter, the property continued to be occupied by many Chinese-owned businesses in addition to the Hop Lee Laundry, and by Chinese residences; Hop Lee's long tenure in this location may have helped establish the ethnic mix that dominated the property into the 1920s and lingered into the 1940s.

Between 1889 and 1896, the dwelling at the west end of the building block had been demolished and new one-story adobe commercial space was constructed in its place. A wooden porch was constructed across the street front, uniting all four sections of the building. These four sections were used for the Chinese laundry, a cobbler, and restaurants. The 1897 city directory identifies the businesses as the Hop Lee laundry, the Los Angeles Restaurant (Lien You Song, proprietor) and the Heng Lee restaurant. (Presumably, the cobbler business belonged to Hop Lee.) By this time, the horse stables had been completely removed or rehabilitated as dwellings, marked "Chinese" on period maps. The back building had also been extended north along the east property line to form an "L," nearly joining with the primary

building. By 1909 the buildings were indeed joined, forming a single adobe building surrounding a central courtyard on three sides. With only minor alterations, the building remained in this form until 1929.

Julius Flin died in 1915. Property records imply that Lot 4, Block 214 was inherited by his heirs as undivided quarter-interests, including son Steven B. Flin and daughters Lydia Flin Flores, Frances Flin Cano and Lousie B. Flin Tully. The Flin heirs continued to own the property jointly until 1928.

During the period after 1900, the commercial space hosted a number of restaurant tenants in addition to Hop Lee's continuing laundry business and residence. Around 1900 the addressing was changed to identify the four segments of the building as (from east to west) numbers 134, 136, 140, and 144. Camp Street was renamed to Broadway in 1902. The Hop Lee laundry continued to operate at 136 W. Broadway through 1926. After it closed, the location became the Gee Hing grocery until the Depression, followed by Faustino Hendez barber shop. Other businesses occupying space in the building during this period included the Delmonico Restaurant (Jim Lee Co., proprietor, 136-144), the Union Restaurant (Jose Montoya, proprietor, 144), Mrs. Maria Flores restaurant (144), Mrs. Dolores Salazar restaurant (144), Maria Zazueta's restaurant (144), the Kee Tong cafe (140, shop suey and noodles), and the Gee Sing or Chung Sing café (140, noodles) and the Broadway Restaurant (144, Juan Fierros, proprietor).

The dwellings in the rear of the property continued during this period to be used as residences for the Chinese population, although these tenants are not noted in city directories.

Cano Drug Store, 1929-1942

In 1928, Miguel R. Cano and his wife Frances bought out the other Flin heirs' interest in the property. In 1929-30, Cano embarked on a building improvement project wherein the facades of the buildings were modernized, the western section (144 W. Broadway) was torn down, and a two-story Monterey-style brick building was constructed in its place. The new building, constructed for the Cano Drug store, consisted of commercial space on the first floor (numbered 144) and a residence on the second floor,

Los Angeles Restaurant

136 to 144 West Camp Street
On Church Plaza.

MEALS 25 CENTS.



Good Food
Clean Cooking
Polite Attendance.



LIEN YOU SING, Proprietor.

1897 Los Angeles Restaurant Ad (Tucson City Directory)

Delmonico Restaurant

136 to 144 Camp Street on Church Plaza

Good Food, Clean Cooking,
Polite Attendance

Jim Lee Company,

Proprietors.

1901 Delmonico Restaurant Ad (Tucson city directory)

accessed through an arched opening from the street (eventually numbered 146). The commercial space was accessed through a storefront within a broad, flat archway with Spanish style brackets at the corners. A new, corbelled, stuccoed brick façade was constructed across the front of the adobe section of the building, with new glazed wood storefronts typical of early 20th century design that featured central entry doors, shop windows above tiled bulkheads, and large, multi-light transoms across the top.

The M. R. Cano Drug Store opened at 144 W. Broadway in July, 1930 and remained there until 1941 or 1942. The Cano family lived above the store during his occupancy.

During this entire period, the back L of the building probably continued to be used as residences for the Chinese community, although the only evidence for this is a 1941 directory entry indicating "Chinese" in the rear.

El Charro, 1935-1968

Monica Flin moved to Tucson from Mexico in 1922 and opened the original El Charro Café on north 4th Avenue. Reflecting its continued success, El Charro moved to the old Hop Lee section of the building, 136 W. Broadway, in 1935. In 1946 Monica Flin purchased the property from the Canos and expanded the business to occupy the entire first floor. By 1960 Mrs. Flin had



1930 Cano Drugstore Ad (Arizona Star)



El Charro c.1937, with the Cano Drug Store - from EC Collection



Building just before demolition of surroundings (Tucson Citizen)



El Charro and Belmont Hotel (El Charro Collection)



El Charro - from El Charro Collection

moved to reside on the property as well (if not well before that). The second floor residence was rented out to various individuals.

After World War II, residential use of the back part of the property had declined and was no longer marked “Chinese” on fire insurance maps. By 1947 only two sections are marked as dwellings. The other uses, including storage and tortilla manufacturing, probably supported the primary restaurant use of the property.

In 1967, the city of Tucson purchased the property from Monica Flin as part of anticipated redevelopment of the entire north end of the Barrio Libre. El Charro was moved to the old Flin family home on Court Avenue just north of downtown.

Urban Renewal and La Placita Village, 1968-Present

Regardless of the potential “death warrant” of being declared historically insignificant, the El Charro building and related adobe structures were spared

and preserved to become part of the La Placita Village redevelopment project, which was built in 1973. Preservation of the building, as we would understand it today, was not a goal of the La Placita project. Rather, while much of the structural fabric was retained and reused, the buildings were “modernized” in the sense that they were made to blend with the design of the modern buildings of La Placita, with new doors and windows and sporting a thick coat of heavily textured stucco. The form of the buildings was adapted to the new use by removing some of the adobe walls to create breezeways to connect the series of interlocked plazas that formed the pedestrian circulation within the development. As a final touch, the buildings, which had always been painted white or light colors, were painted in bright polychrome in an effort to represent Hispanic heritage. Rehabilitation of the building took place in 1974 as designed by Adela and Frederick A. Palafox of Smith and Palafox, architects. Notwithstanding these alterations, the essential form and detail of the buildings as they appeared after about 1922 remains discernible.



Aerial view, 1960s (Barrio Stories website)



1973 La Placita construction photo - Arizona Daily Star

Samaniego House

Mariano Samaniego came to Tucson in 1869. He became a key figure in Tucson's and Arizona's early history, as a businessman, cattle rancher, real estate investor, city councilman, Pima County Assessor, chairman of the county Board of Supervisors, a representative to the Territorial Assembly, university regent and Arizona Historical Society President. Samaniego died in 1907 at the age of 65.

The building known today as the Samaniego House reportedly has its origins in c. 1876. As set forth in the 1969 Arizona State Landmarks Committee State Register of Historic Places form:

The Site and Plan

The site was acquired and developed by M.G. Samaniego in the late 1870s and early 1880s. The 1883 Sanborn fire maps show lots 2, 8, and 10 containing a continuous structure broken only on Lot 10 by what appears to have been an entry to the rear yard area. This open space has been closed in later years, and today, with that exception, the exterior dimension of the structure from [modern addresses] 122 to 140 agree generally with the building shown on the 1883 map. Unfortunately, the western end of No. 140 was partially destroyed during the urban renewal demolition in 1968.

The plan of the West Jackson Street structure is an interesting example of the townhouses of the 1880s. The first portion of the house built was [historical address] No. 112 [later No. 122] where Samaniego used a center hall, one room deep with narrow sidelights and a rectangular transom above. On either side of the entrance hall were the formal rooms of the house, the parlor to the west and possibly the living-dining room to the east. The entrance hall also provided access to the ramada area and the rear yard area. From this formal nucleus, the house developed westward to No. 136, as a series of rooms linked to the parlor of [modern] number 122 by doors, and "through room" internal circulation, in what is sometimes called a "shotgun" plan. These rooms were possibly the bedrooms or private family rooms of the house. They also have access to the rear ramadas and the rear yard, which may have also served as an external circulation way to reach [historical] No. 112, if privacy was desired in any of the bedrooms west of the parlor. It is possible that the house may have ended at [modern] No. 136, with the opening to the rear yard setting No. 140 apart for some other use, or for some tenant other than Samaniego. Today the rooms west of the original house, [historical] No. 112, are individual apartments, with doors to West Jackson Street. It cannot be determined, lacking any early façade photographs, if such entries to West Jackson Street were in existence when Samaniego used the entire structure or whether these were only windows to the street.



Samaniego House, 1967 (Tucson Citizen)

The rear yard was defined by the Samaniego house on the north, the Ochoa Street houses on the south, and walls to the east and west. This rear yard no doubt served many purposes – containing privies, wells, stables, and sheds for storage. The ramada has possibly served as cooking rooms, as well as sitting areas for the rear yard. Today, these ramadas have been enclosed and contain kitchen and bathroom for the various apartments or houses.

Exterior

Today, the West Jackson Street façade is a solid block from [modern addresses] No. 122 to No. 136 with a portion of No. 140 remaining intact on the western end. The most impressive doorway is [modern] No. 122, which was the entry to the portion of the house first built by Samaniego. The rest of the façade is punctuated by entries without any notable character or detail, which may be the result of later alterations, when the house was divided into separate apartments. The present roof is comprised of three sections, two of which are low-sloped hipped roofs broken on the street side by a gable connecting a ventilator and some typical 1890s “Queen Anne,” or possibly “Italianate” wood brackets. The third section on the western end has a flat roof. The gable breaks are not related geometrically to any of the entrances below, which may indicate that the roof geometry was designed relative to the entire West Jackson Street block (from [historic address] No. 112 to No. 140). The gable breaks are geometrically related to the whole block. This suggests that the opening between buildings on Lot 10 shown on the 1883 Sanborn fire map may have been a covered “zaguan,” or entry to the rear yard. It is also possible that the original roof was a typical flat roof, on vigas, and Samaniego, or some later tenant, added the present roof above the older flat roof, in order to improve drainage, and to add a note of “Victorian Style” to the West Jackson Street facade. The eaves display wooden moldings and brackets of the 1880-1900 period. Windows are wood double-hung, two light sash, with wood and trim. They are placed as flush as possible to the exterior wall surface, creating a deep sill on the interior, typical of the window type of the period.

Material Construction

The exterior walls vary in thickness. Generally they are about 24 inches thick, built of mud adobe brick with mud mortar. The exterior wall surface has a heavy stucco coat. Its texture, thickness and flush relationship to the exterior wood trim suggests a later period of application. Interior walls are plastered with a

lime plaster of considerable thickness. Foundations are rough stone.

Openings in walls were framed by wooden lintels, now covered with wooden trim and stucco. The roof was originally framed with round wooden vigas, probably mostly of pine, covered with saguaro rib savinas and mud. The present hipped roofs on two-thirds of the block are made from dimensional lumber, indicating a later period of construction.

Interior and Details

The interiors have been badly treated since Samaniego’s time. Alterations have all but destroyed the original character and details. [Modern address] No. 122 is the only portion still possessing surviving details worthy of mention. Rooms “A” and “C” have fine viga and saguaro rib ceilings as well as several paneled doors, with period hardware. Floors are of medium width wooden boards throughout.

Rooms “A” and “C” possess several fine examples of period wooden window trim, with deep jambs and sills.

It should be noted that the above description from prior to the construction of La Placita Village encompasses a length of street (historically numbered 112-136) more than double the length of the extant building, which historically was the portion numbered 112-118, extending its length by 5 apartment units. No. 140 (historic No. 136) was apparently already partially demolished in 1969, and it and four additional apartments (historic numbers 124, 126, 130, and 134) were apparently demolished soon thereafter as part of the redevelopment project.

One may surmise that a determination was made (between 1969 and 1973) that the original Samaniego House and the building next to it possessed the greatest significance and integrity and were spared demolition, while the remainder could be sacrificed. Preservation of the surviving portion of the Samaniego House was written into the development agreement for La Placita. La Placita was built in 1973.

A physical inspection of the house leads one to believe that preservation work did not go well, as very little of the original house remains. 80% or more of the building fabric present today is a facsimile constructed of modern materials including concrete block, steel stud framing, and wood carpentry work. Interior and exterior finishes and features including plaster and

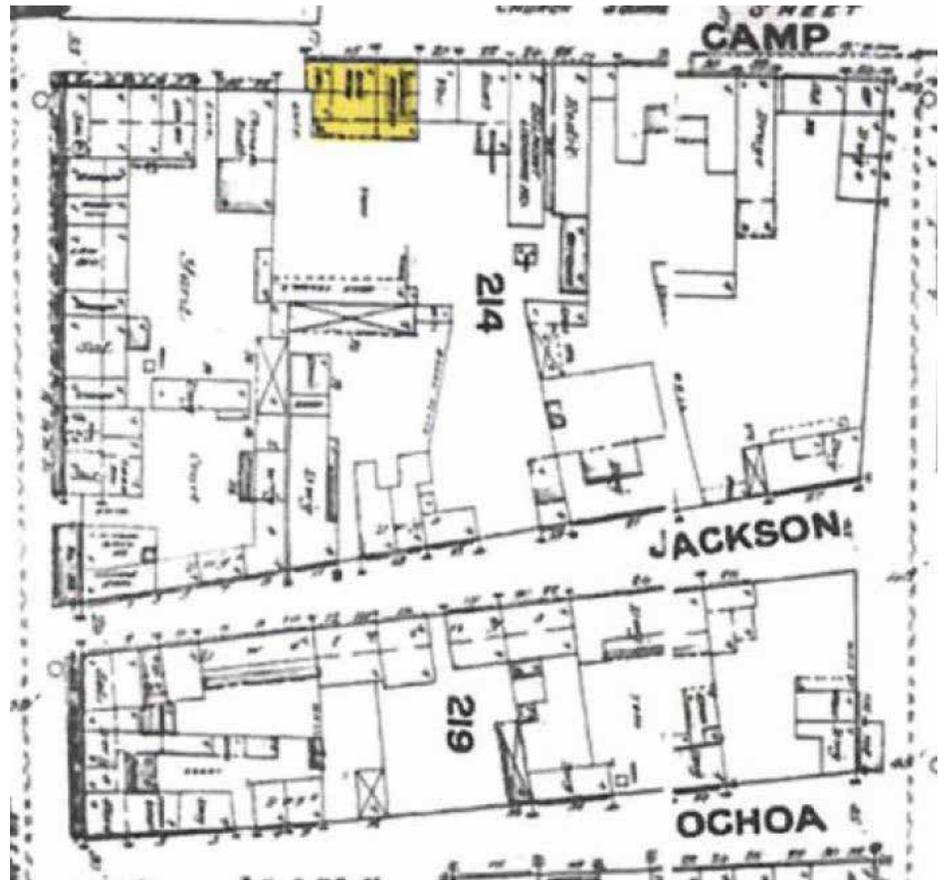
stucco, flooring, roofing, doors, windows, viga ceilings, woodwork and trim are all modern. Historic features including one adobe wall in the center of the building, much of the framing for the hipped and gabled roofs, and chimneys appear to have been stabilized in situ and incorporated into the structure. Modern floors, walls, and finishes were constructed around, beneath, and above these historic relics such that no original surface or feature of the building is visible to a casual observer.

Tucson Community Center Historic District

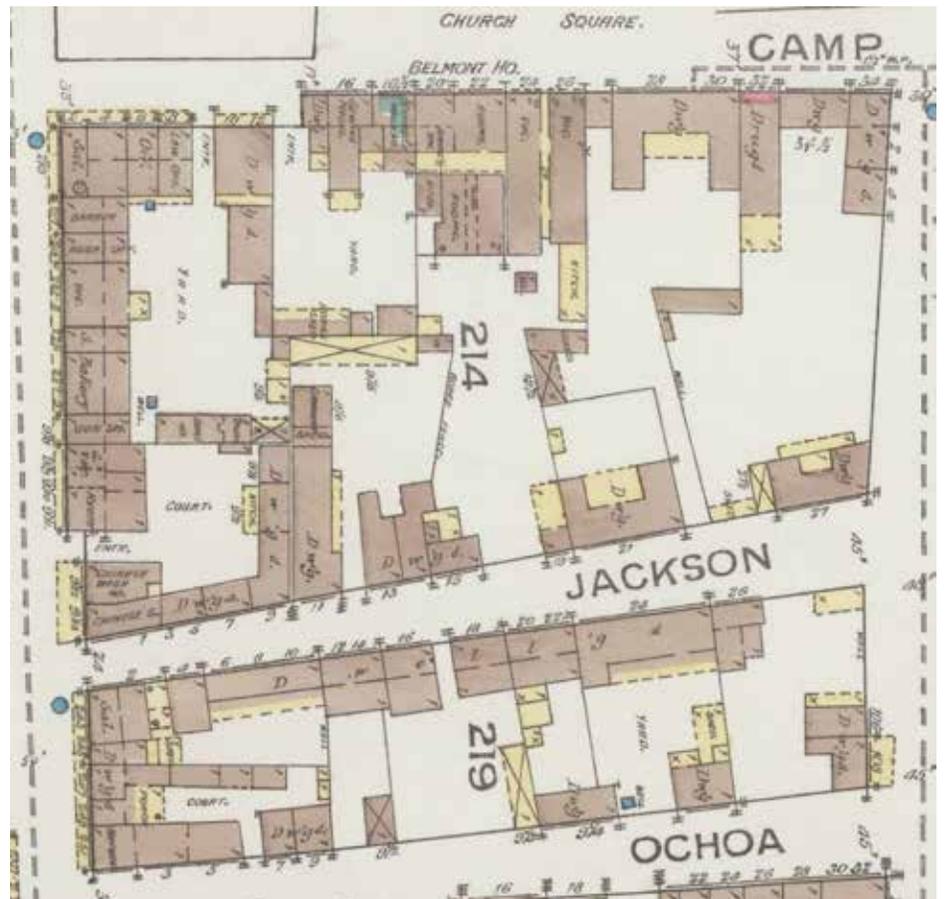
Influential, internationally recognized landscape architect Garrett Eckbo (1910-2000), was commissioned in 1970 to design the public pedestrian spaces surrounding the new redevelopment projects. These spaces, now listed on the National Register as the Tucson Community Center Historic District include three components: Viente de Agosto Park (a small park created in a triangle of land between Broadway Boulevard and Congress Street completed in 1971), Fountain Plaza (the public pedestrian spaces surrounding the Convention Center also completed in 1971) and The Walkway (a landscaped pedestrian route linking the two larger components to the north and south.) The Walkway was not finished until 1974, after construction of the hotel to the west, and La Placita to the east, were completed.

The Walkway remains generally intact, although some condition issues were noted in the Nomination from 2012. These included age-related failure of mechanical and electrical components, missing plants, damaged tile, and relocated or altered street furniture. As stated in the nomination, "Overall condition of this segment of the District is Fair."

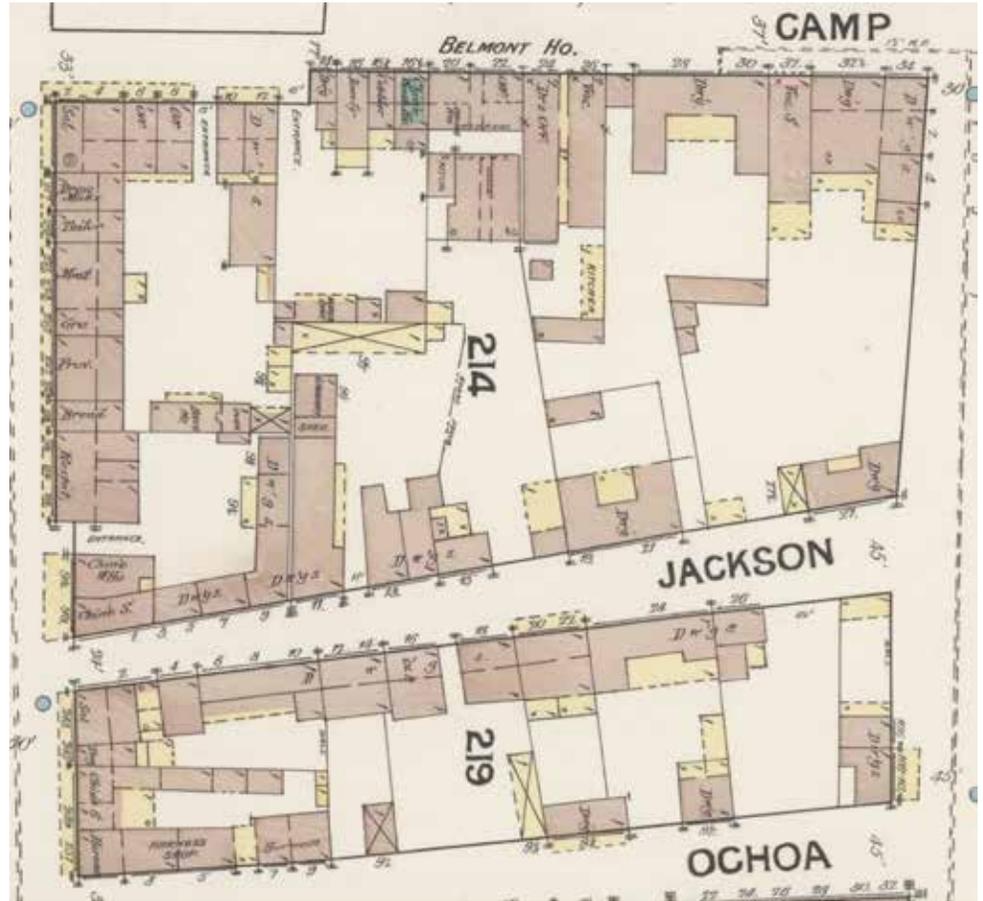
1883 Sanborn Fire Ins.



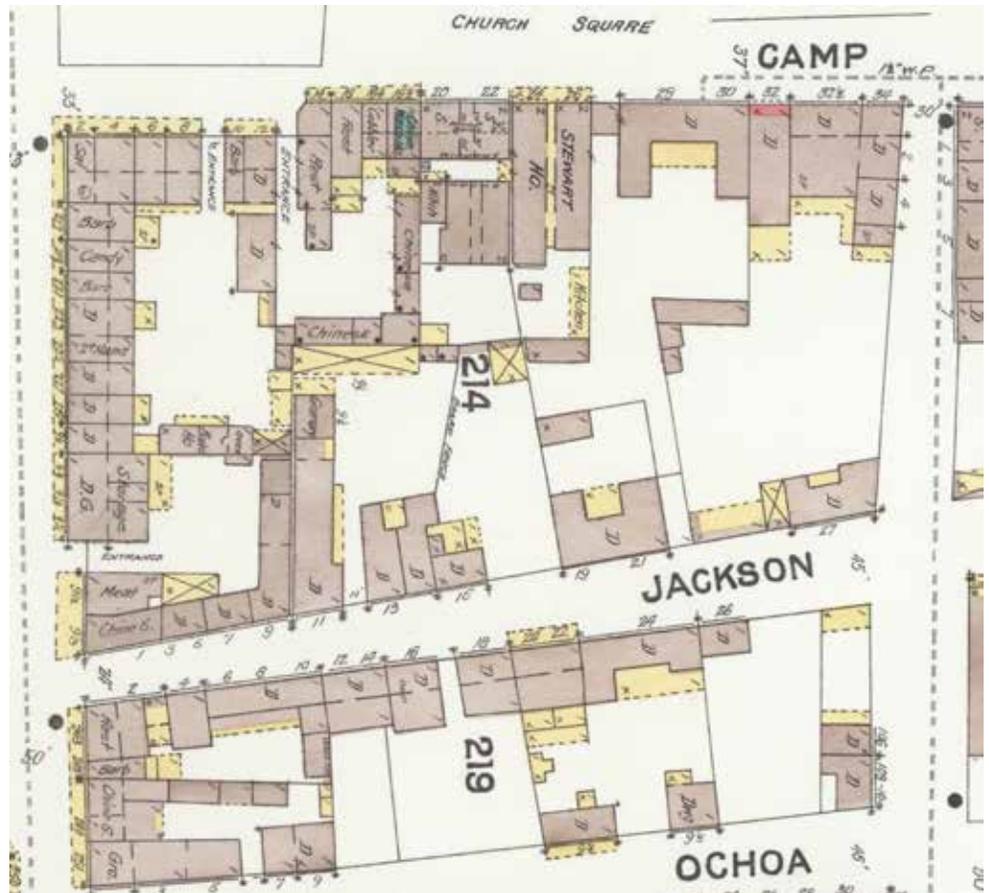
1886 Sanborn Fire Ins.



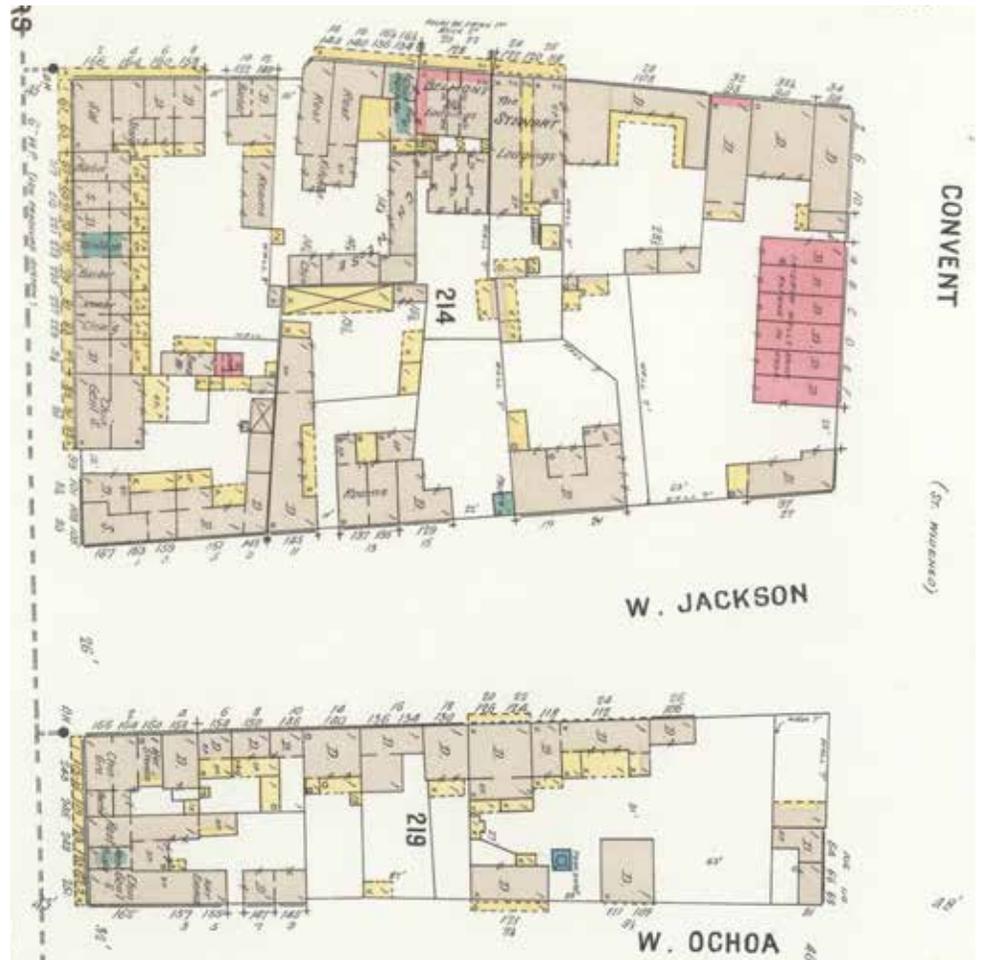
1889 Sanborn Fire Ins.



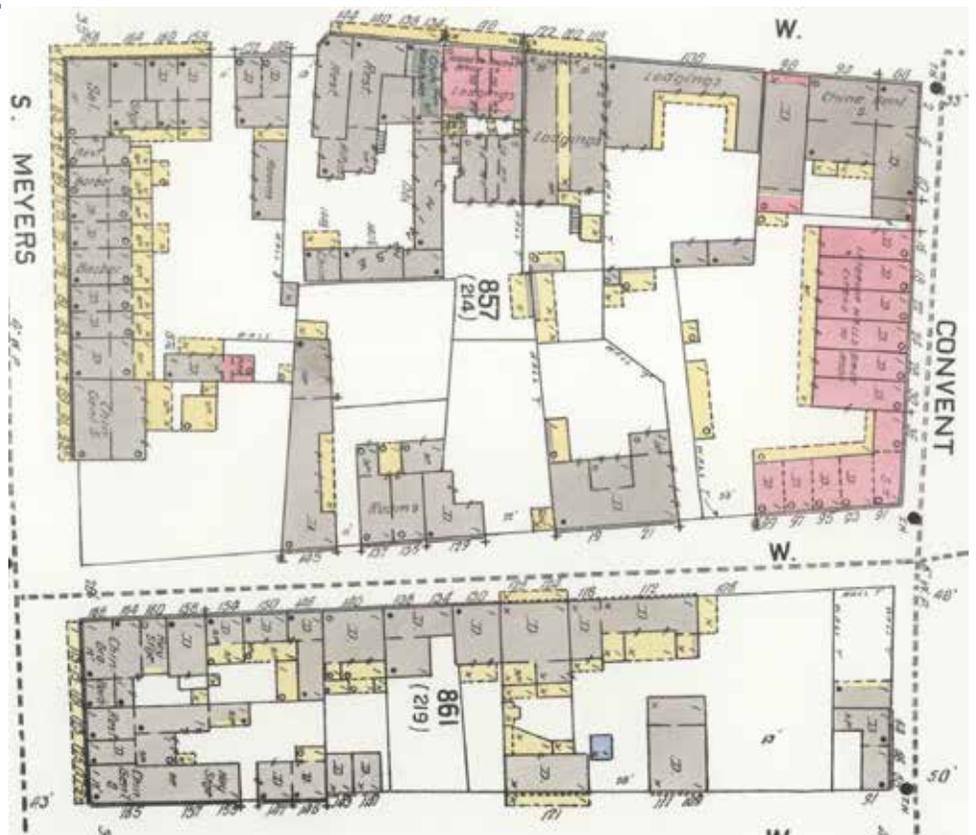
1896 Sanborn Fire Ins.



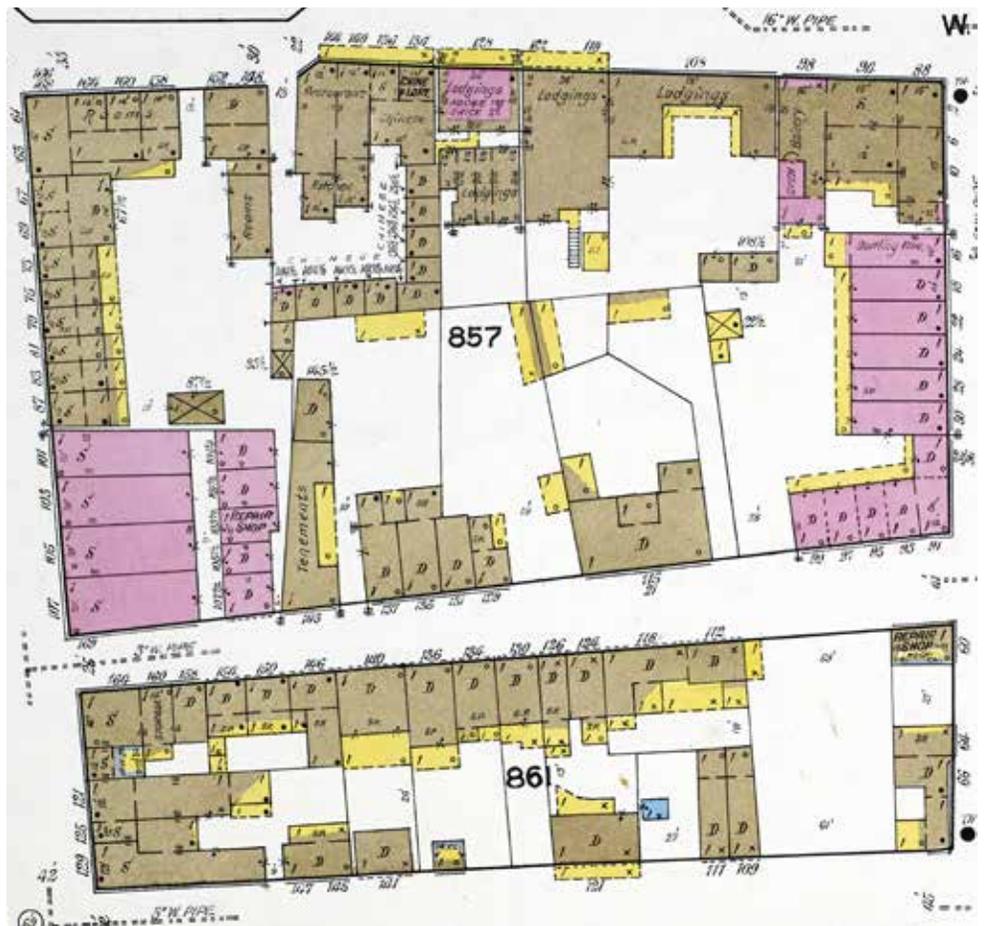
1901 Sanborn Fire Ins.



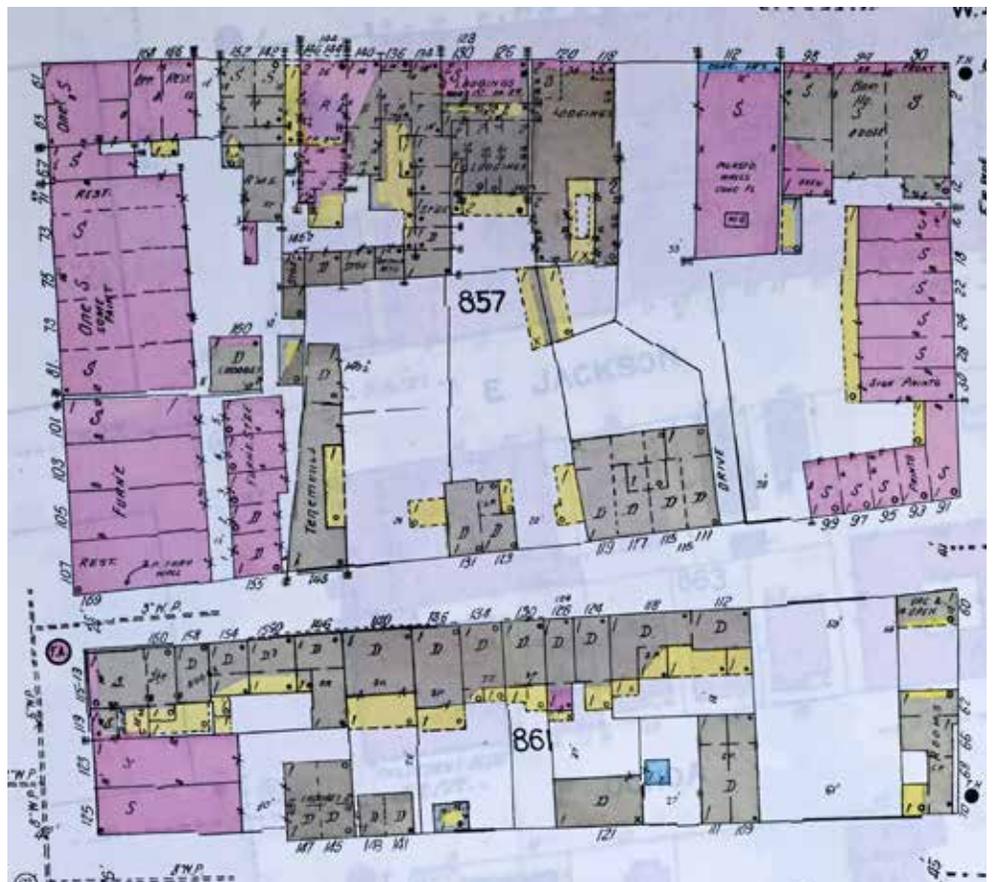
1909 Sanborn Fire Ins.



1919 Sanborn Fire Ins.



1947 Sanborn Fire Ins.



Cano Drug Store/Hop Lee Laundry Building Preservation and Treatment Plan

Architectural Description

The Cano Drug Store / Hop Lee Laundry Building has, as the name implies, two major parts, which are of differing ages: a one-story section comprised of three contiguous rows of adobe rooms around a courtyard, and a two-story brick section attached to one end of the adobe part. The two-story section, which lies at the northwest corner, and three bays of the adobe building are aligned along what used to be Broadway Street, which formed the northern boundary of the site historically. Together they form a continuous commercial storefront. The two additional rows of adobe rooms are aligned on what originally were the eastern and southern property lines. The earlier, adobe portion of the building is primarily associated with the Hop Lee laundry and the later brick section with the Cano Drug Store. Overall, the building measures around 100 feet in the north-south direction and 80 feet in the east-west direction. These dimensions are approximate, as the adobe portion of the building's plan is irregular.

Adobe Section

The adobe part of the building can be divided into north, east, and south wings. (Of course the corner room could be seen as part of either adjacent wing.) Parts of the wings are of different ages, the earliest having been constructed c. 1860-1870 and the latest (not counting alterations in the 1970s) between 1901 and 1919; the bulk of the building was present by 1896. The oldest sections are those rooms remaining on the north, two additional rooms back from the northeast corner, and the southeast corner room, all of which predate 1886. The remaining pieces came into place between 1890 and 1906 with just a small connecting room constructed in 1919 to make the building continuous.

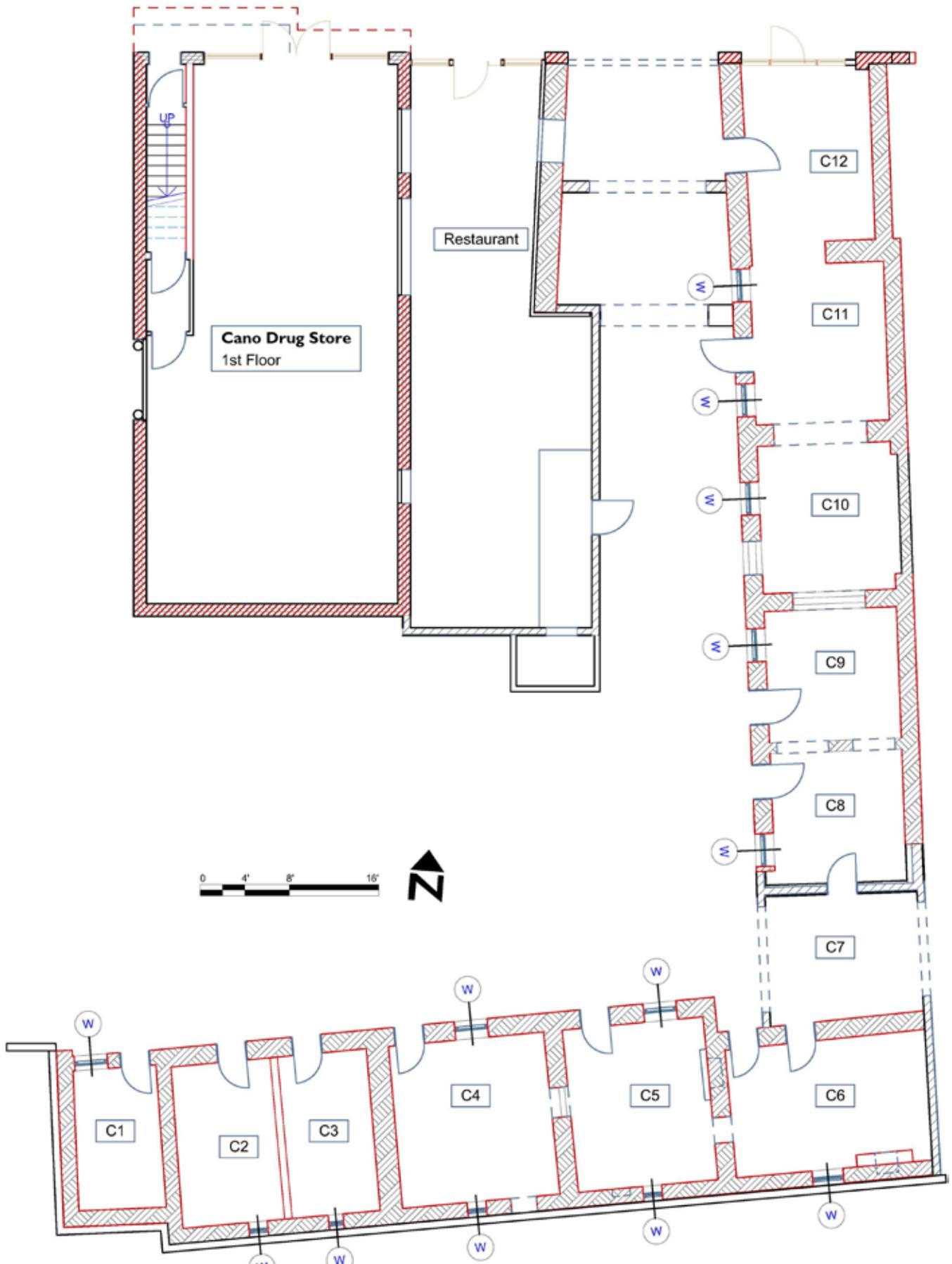
Up until 1974, there were five adobe pens in the south wing (one of which was subdivided by a frame partition into two rooms), and six along the east

wing (not counting the southeast corner twice). For purposes of identification in this report, the rooms and pens have been numbered counterclockwise starting from the western end. Rooms 1 through 6 border the south. Rooms 6 through 12 border the east. Portions of two additional adobe rooms (not assigned numbers) are found on the northern street front. Wall thicknesses vary widely from 12 inches to 24 inches, reflecting the haphazard and incremental nature of the construction. Roofs are generally flat with parapets, although one small section has a low-sloped shed roof with an eave. A line of simple doors and vertically proportioned window openings punctuate the courtyard-facing façades. In 1974, the inner (courtyard side) and outer walls of Room 7 were removed to create a passageway, with arches constructed in line with each exterior wall of stuccoed concrete block.

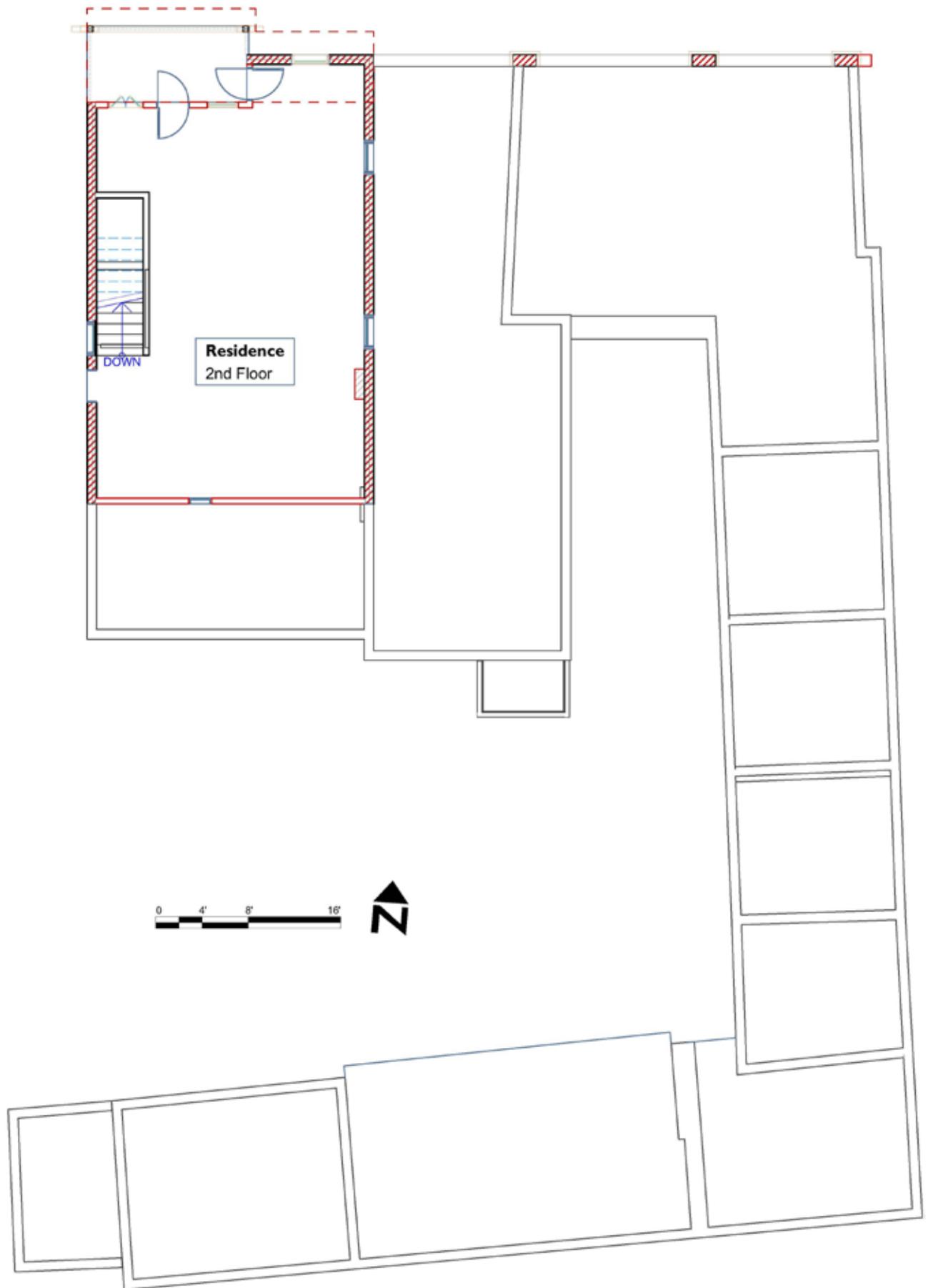
The three bays along the street side were altered in 1929-30 when the brick section was built, and then again in 1974 for the La Placita development. First, the original adobe street wall was demolished in order to build a brick façade with three storefront bays that corresponded to the three interior spaces behind. The brick façade was stuccoed and had a denticulated coping along the parapet line, with glazed storefront windows and entry doors below. In 1974, the center bay was opened up in order to create an entryway into the courtyard, by removing the storefront, the back wall, and any interior walls that may have been present. In addition, the back portion of the western bay was removed and rebuilt using concrete block. The other two storefronts were replaced as well, with modern construction.

Brick Section

The two-story Cano Drug Store replaced an earlier one-story adobe building on a similar footprint. The building measures about 25 feet along the (former) street front by 50 feet deep. The building was designed in a commercial adaptation of the Monterey Style, one of many period revival styles popular



First Floor Plan



Second Floor Plan

Historic Properties Treatment Plan: Historic Resources of La Placita Village

between World War I and World War II. The first floor of the building housed the drug store and was accessed through a recessed entry centered in a larger storefront opening. The second floor was used as a residence and featured a projected porch above an arched entryway, covered by a mansard roof finished in Mission tile. Behind the sloped roof, the rest of the building had a flat roof behind parapets.

Structurally, the building is a simple brick “box” with 12” thick walls at the first floor and 8” thick walls at the second floor. Both the second floor structure and the roof structure are wood trusses carrying wooden decks. The first floor is a concrete slab on grade.

The Drug Store had large openings on the east side that connected it internally to the commercial space immediately east. These openings were probably added as the El Charro restaurant expanded in the 1940s in to the former Drug Store space. They were closed in using steel stud partitioning in 1974 to separate the suites.

The interior spatial layout has been largely lost or obscured by later alterations on both floor levels. Only the stairwell in the corner can be confirmed as an original interior feature.

One anomalous exterior feature was discovered after the La Placita building abutting on the west side was removed. A broad Palladian archway supported on cast stone classical columns (of no specific classical order) was revealed, which would have connected to

the space to the west of the building. In 1947 that area was a narrow alley with a wood framed cover; a one-story, flat-roofed, open-air structure can be seen in 1960s photographs.



North Facade Elevation



Commercial storefronts looking southeast



Back of commercial section looking northwest



East wing of adobe section looking northeast



South wing of adobe looking west from breezeway

Feature Analysis

Foundations

The building foundations are not visible and could not be directly evaluated. No significant structural movement was noted in any of the walls that would indicate a foundation problem.

Exterior Walls

Description

Exterior walls of the two-story Cano Drug Store building are of un-reinforced clay brick masonry, 12 inches thick at the first floor and 8 inches at the second. The exterior of the building is stuccoed. Early photographs indicate a heavy dashed finish. Later coats of stucco applied in 1974 have a heavy lace finish to match the rest of the development, obscuring earlier decorative detail work. The interior has exposed brick above ceilings (in unfinished areas) and the brick is plastered in occupied areas. Walls around the second floor porch and the back wall of the second floor do not align over first floor brick walls; these are wood framed with plaster on both sides. At the building façade, decorative brackets were placed at the upper corners of the commercial storefront opening, and the window sill above was projected. These features have been reflected in the modern stucco, but the crispness of detail has been lost. A chimney-like feature is engaged with the rear wall. Its significance is not known.

The north facing façade of the Hop Lee building section is of brick masonry, stuccoed, although portions of the piers separating the storefront bays may be stuccoed adobe, as they align with interior adobe walls. The thickness appears to be 8 inches (double wythe) at a minimum, but decorative pilasters and corbels provide additional thickness. The composition of the lintel across the storefronts is not known. The parapet top has a two-step coping supported by dentils. The piers dividing the bays project above the parapet by about one foot and are finished with pier caps. All of the wall surfaces have been sheathed with an additional coat of modern, lace



brick front on adobe section has significant details, stuccoed over



Stucco on adobe has the same heavy texture

textured stucco, rounding and obscuring many of the surface details.

Other exterior walls of the Hop Lee part of the building are of adobe, varying in thickness from 16 to 23 inches. A few walls have been altered or reconstructed using 8" thick concrete block. This occurs primarily at the south breezeway, and at the back of the center commercial suite. The south wall of the complex was not evaluated in detail due to the limited access afforded by demolition work on adjacent buildings. This wall has a fairly tall curb placed against it, which appears to be about 8 inches thick, and therefore likely to be constructed of concrete block. Most other exterior walls have a bump out in the surface 3 to 4 feet in height, which probably indicates the existence of concrete curbs (typically used in stabilizing the bases of adobe walls in past years). The entire exterior of the building has been seamlessly sheathed in modern stucco on wire lath with a heavy lace finish. The historic finish would have typically been smooth lime plaster; it is not known whether the earlier finish is in place beneath the modern stucco. Most walls terminate at the top in a low parapet; some have a short projecting coping. One small section of the building has a sloped roof with an overhanging eave of about one foot depth.

Deficiencies

The thick stucco coat added in 1974 detracts significantly from the historic character of the building. In some places on the Drug Store it is obviously not well bonded to the older stucco beneath. The modern stucco coat is in poor condition on the rear (south) elevation of the Drug Store, de-laminating at the base of the wall in several places.

The portland cement composition of the stucco on adobe building sections does not allow the adobe to "breathe" in the event moisture is able to get into the wall through stucco cracks or rising damp from the earth. The ability of the portland cement stucco to hold together despite subsurface weakness could be masking adobe degradation.

Concrete curbing on adobe walls was typically installed to address maintenance issues related to basal coving due to backsplash and rising damp.



Walls are covered in heavy lace stucco, smoothing over important details



Brick exterior wall structure visible beneath stairs

This practice has been found to be injurious to the structural integrity of the adobe over time because the concrete holds moisture within the adobe and degrades it. However, no recent movement was noted in the curbs that would indicate progressive failure.

Integration of concrete block walls into the adobe structure as was done in 1974 is also not recommended, as the harder concrete material will erode the soft adobe over time due to temperature and humidity-caused movement. There are a small number of cracks in the stucco, mostly telegraphing changes in substrate from adobe to concrete block, indicating that such movement may be occurring.

The removal of adobe walls to create breezeways changes the form of the building and its historical character. The round archways, integrated with the building form by a continuous stucco skin,

inappropriately attempt to appear as an original feature undifferentiated from the historic walls.

Recommendations

Complete removal of the modern stucco on brick substrates would recover a good deal of historical character and is recommended, if found to be feasible. The stucco over the brick sections of the building may be easily removed, if it is not mechanically attached, which appears to be the case. A small test area could establish whether removal is feasible and economical. If found infeasible to remove, the stucco could remain over brick substrates and simply be patched as necessary without further erosion of historical integrity.

There are two potential approaches to treatment of modern stucco on adobe: either great care should be taken to keep moisture out of the walls from above and below, or moisture should be properly managed by allowing it to naturally move and evaporate.

Because there is no evidence of structural damage occurring, the first approach may be feasible and is certainly less expensive. The modern stucco would be kept in place and be made water tight by applying a vapor-permeable elastomeric paint to the surface, to bridge across any cracks in the stucco that could admit moisture without making the vapor-impermeable nature of the stucco any worse. At the ground level, the grading of the site should ensure that no rainwater puddles within 10 feet of the wall bases and that there are means for ventilating moisture vapor from the earth without driving it into the base of the wall (as would occur with solid, impervious paving on both sides of the wall). The shortcoming of this approach is that any latent adobe damage in the wall would not be discovered and could worsen, requiring future repairs.

The second approach is to restore the historic adobe wall condition by stripping off the modern stucco as well as any remaining historic plaster that may be present, repair underlying adobe issues that may be found, and re-plaster with moisture-pervious lime plaster and whitewash. The condition of any concrete curbing and the adobe behind it could be examined and if necessary, the curbing would be removed and the base of the wall would be repaired with new adobe. This approach would provide certainty that the adobe is structurally sound and will remain so.

Wall bases may need periodic maintenance depending on moisture conditions, but repairs should be fairly simple and inexpensive.

The breezeways created in 1974 should be reversed and infilled, if possible. If they must remain functionally as breezeways, then their form and finish should be altered to differentiate the alteration from the historic form.

Exterior Doors

This section addresses exterior doors, except those that are part of storefronts.

Description

Only a few original exterior doors were found. Replacement doors in other locations do not appear to be accurate reconstructions of original conditions.

At the Cano Drug Store, the entry door to the stairwell leading to the second floor is set back from the arched façade opening. The door, and the recessed wall, is modern; photographs prior to renovation show the door to be a 10-panel carved Spanish style door and wooden screen door within the archway, with a glazed round headed transom. The original wooden frame (for a 2'-8" wide door) remains in the archway. The modern door is recessed about three feet and is a wood door with two glass lights over six panels. There is also a back door to the first floor on the south elevation. This is a modern French door that has been boarded shut and could not be evaluated in detail; the original door would have been fairly utilitarian and not important architecturally.

The two doors at the second floor porch appear to be original and match historic photographs. Doors in both cases are 10-light French wood doors in wood frames, 1-3/8" thick, with historic hardware consisting of bit key mortise locksets and ball tipped hinges. The first finish on the doors is stain on the exterior with two colors of paint following. Each door is also fitted with a wood exterior screen door, likely modern replacements, but reusing spring hinges from earlier construction. The frames are trimmed with typical milled 6 inch casings on the interior jambs and head. A third exterior door occurs on the west side of the second floor near the top of the stairs. The pocket door in this location is modern.

At the adobe section of the building, all exterior doors in adobe wall openings are modern replacements. They are generally 10-light steel-faced wood French doors in wood frames with modern hardware, either 3'-0" x 6'-8" or 2'-8" x 6'-8". One exterior opening (to room 10) has been infilled with wood frame and stucco. The door to Room 11 is a hollow core steel door, fixed in place. Several doors (rooms 5 and 11) originally had much taller doors with transoms; this has been stuccoed over on the outside and made into drywall niches on the inside.

Deficiencies

Functionally, most doors are operational and reusable, although historically inaccurate in some cases. The west door at the second floor is an exception, as the pocket door function is no longer appropriate due to the adjacent building being removed.

The original entry door frame to the second floor of the drug store has been damaged by nails from boarding.

A number of doors are only 2'-8" in width, providing a clear opening less than that required by accessibility guidelines.

While most exterior doors do not provide an accurate historic appearance, with few exceptions they would be considered "compatible."

Recommendations

Incompatible doors, including doors of hollow metal and pocket doors, should be replaced with more compatible units that support the adaptive use of the building.

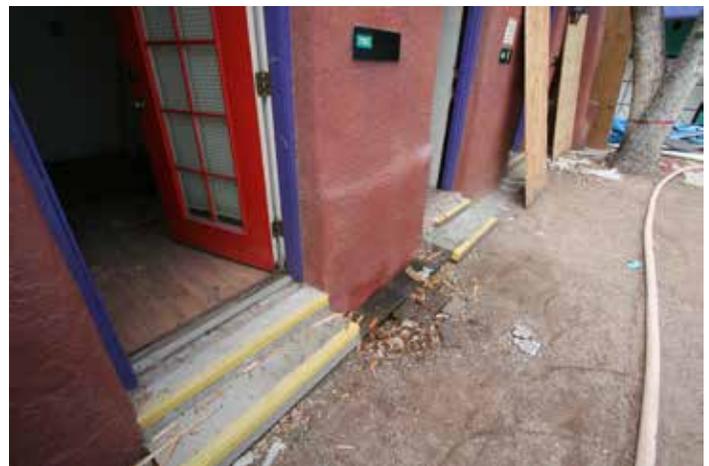
Preserve the original second floor doors at the porch.

Consider replacing the round-topped entry door in the original frame with a more accurate replica, since it is an important architectural feature.

Other replacement doors could be replaced if desired. In general, stile-and-rail paneled type wood doors of a simple character would be appropriate in adobe parts of the building.



Arched entry doorway



Typical doors at entries have step at the sill

Exterior Windows

This section addresses windows. It does not address glazing in storefronts.

Description

Windows are found in the first floor of the adobe section, 8 double hung windows facing into the courtyard and 5 fixed windows facing the north. At the second floor residence portion of the Drug Store are five windows, including three double hung, one casement, and one fixed replacement.

All windows in the adobe part of the building are modern replacements. All but one appear to date to the 1974 remodel and one is much later. The typical courtyard-facing window from 1974 is a 9-over-9 double hung wood unit, single glazed, although one is 6-over-6. Windows facing north are simple, fairly small openings with glass stopped into them.

At the Drug store residence there are four remaining original windows at the second floor and one fixed replacement. At least three additional window openings have been infilled on the east side (overlooking the adjacent roof) and others are likely on the south and west; walls in these directions are not visible in historical photographs. A horizontally-proportioned wood casement window opens out onto the porch. It appears to be an original window and likely served a small bathroom or closet. It was originally painted white on the inside and forest green on the outside, which may be a clue as to the original color scheme of the building. Original casement hardware is in place. The exterior side of the window has wide wood casings (since it is in a wood frame wall) with the modern, added stucco coming out nearly flush with the face of the casings. The other two front-facing windows, one on the porch and one in the front masonry wall, are original 6-over-6 light wood double hung units. The windows have typical sash weight counterbalances, double hung latch and lift hardware. They are currently not operable (painted shut), although well maintained. The exterior side's first paint coat is green. Some double hung windows have modern replacement screens, despite being inoperable.

Deficiencies

The remaining original windows at the second floor residence are generally in good to excellent condition. The double-hung units are painted shut, but appear to have all the parts. The casement window at the



Casement at second floor porch



Wood double-hungs at second floor



Typical double hung at adobe section

residence has termite damage on the interior side. The fixed replacement unit on the south has one light broken out.

All of the replacement windows in the adobe section appear to be serviceable and generally compatible. The fixed units on the north may not have been original window locations.

Recommendations

Damaged glass should be replaced.

As an option, previously infilled window openings at the second floor may be re-opened to the extent the building code allows.

First floor windows at the adobe section may be retained. While these 1974 vintage windows are likely to be fairly inefficient from an energy perspective, payback of the replacement cost coming from energy savings would likely be very slow. If altered, new windows should be fitted to the original opening size regardless of consistency of size window-to-window. Several of the openings are known to be larger than the windows installed in them.

Storefronts

Description

Historic photographs show the commercial storefront at the Drug Store originally consisted of glazed shop windows above short tile bulkheads, flanking a recessed entry. A transom story above the windows spanned the opening and was glazed with multi-light sash. The recessed wooden door had a single light over two panels. The floor within the recessed entry was tiled with the words CANO DRUGS. Most or all of this was removed in 1974 and replaced with a 6-foot wide pair of French doors flanked by multi-light glazed storefronts over a wood frame bulkhead finished in Mexican tile. The transom panel is now closed in with recessed stucco, although the wooden transom sill and flashing appear to remain in place (the first coat of paint on it is green). This may indicate the presence of the earlier transom behind the stucco; further investigation is warranted. Modern artistic tile mosaics appear above the door; one reads "BIENVENIDOS" while the other is a large scene with a



West storefront



Center storefront



East storefront

freestanding TUCSON VISITOR CENTER sign in front of it executed in ironwork.

The storefronts on the adobe section of the building would likely have dated to about 1922. Before that time, the front wall was adobe and probably had simple, punched door and window openings of some kind. The c. 1922 storefronts were of wood and had differing arrangements of glazing and entry doors in each bay, with multi-light sash transoms above divided three rows high by the number of roughly square lights required to make up a row. Bulkheads below the shop windows were originally paneled with wood. In later years, some of the storefronts were altered in order to create or relocate entries, and the bulkheads were covered in Mexican tile. The glass lights in the transom were painted in alternating shades to create a checkerboard effect, and later painted again, monochromatically. All of these storefronts were completely removed in 1974. The end bays were provided with new wooden storefronts. Both have central entry doors with single light sidelight, flanked by multi-light sash (one light tall) over tiled wood frame bulkheads. The heads of these openings have been framed down about 6 inches from the historic condition, extending the stuccoed wall surface. The interior side of the transom is covered over on the interior of the western bay. The center bay storefront was left out completely, in order to form a portal passageway through to the courtyard.

Deficiencies

All storefronts are modern replacements, although the transom sash could possibly remain in place behind the stucco at the Drug store. The modern storefronts would be considered to be compatible to the historic architecture, but do not represent the original appearance very well. One bay is completely missing. Two bays have been framed down to be shorter than the originals.

Recommendations

The existing storefronts could be retained and repaired, or they may be replaced with another compatible design or one replicating the originals.

If the stucco is removed to restore the historic wall finish, the mis-sizing of the three eastern storefronts

would need to be addressed through adding fill panels or replacing all or part of the storefronts. Restoring the original storefront design would solve the problem.

Exterior Floors/Porches

Description

The floor of the porch is of integrally colored red concrete scored into two-foot squares. It has a minimal thickness, about two inches, and was applied over a wood deck. It is sloped to drain outward to a 2" projection and drip edge.

The perimeter of the porch is guarded by a steel railing consisting of a standard steel molded handrail on alternating square and straight square steel pickets on 4 inch centers. The pickets are supported on a steel channel rail that is affixed at the ends to the wooden posts. A center support to the floor resists sagging. The railing is 36" high. The railing is a modern replacement, although it appears to replicate the original.

Deficiencies

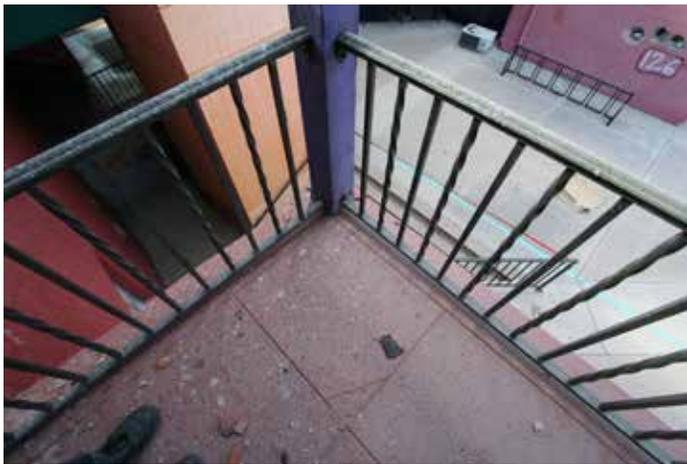
The second floor porch slab is damaged at the corner where a post that supports the roof has caused the structure below to deflect about ½", causing cracking.

In the event the second floor is not used as a residence, the 36" high railing is not of sufficient height to meet code.

Recommendations

The deflection of the porch posts bearing on the cantilevered floor should be investigated by a structural engineer. The double end beams could require steel reinforcement to resist the sagging. The structure should be jacked back into position (if it can be done without overstressing the members that have sagged) and adding reinforcing as recommended by the engineer.

If the second floor is used residentially, the railing is adequate. If any other use is made of the second floor, either the balcony should be made inaccessible (permanently closing the doors) or a 6-inch height extension, designed to be compatible and unobtrusive, could be added to the railing.



Porch floor and railing



Structure supporting porch post



Ceilings above and below porch

Exterior Ceilings

Description

The second floor porch floor cantilevers out above the first floor entry door to create an eave about two feet deep. The underside of the eave is exposed V-groove T&G wood decking supported on 4x8 rough-sawn wood timbers with decoratively cut ends, all painted. The 4x8's are doubled at the ends, where they are carrying porch posts.

The second floor porch ceiling is of 4x6 rough-sawn wood timbers with shaped rafter tails, supporting V-groove wood roof decking. This structure is supported at the outer edge by a timber beam on two 6x6 posts with corbelled capitals. All of the wooden structure is exposed and painted. Being in excellent condition, it is probably all reconstructed of modern materials. Modern framing hardware including strap ties, post bases, and hurricane ties are all left exposed. The roof plane continues east of the porch in a 2-foot eave projecting from the exterior wall surface.

The ceilings of the two breezeways at the first floor are both stuccoed and textured the same as the surrounding walls (heavy lace finish). These are modern ceilings of no significance.

Deficiencies

(See also Exterior Floors/Porches.) The structure of the porch floor appears to be insufficient for the load, as the corners have both sagged, with the northwestern corner sagging the most. The sag is clearly visible from a distance and has telegraphed to the roof as well. Other than the sag, all is in good condition and appears to be of modern materials.

Exposed modern hardware on the porch posts and beams is effective, but obtrusive. Since it is on the back side of the framing, few would see it, however, unless the second floor is occupied.

Breezeway ceilings do not contribute to the historic appearance of the building.

Recommendations

Reinforce the structure as necessary to reduce or eliminate sagging.

If the appearance of modern framing hardware is found to be objectionable, rework these connections to incorporate hidden knife plate connections or otherwise cover the hardware with finish trim.

If the breezeways are infilled or if the modern stucco coat is removed, restore the ceilings in these areas to be similar to the interior closed areas.

Roof and Drainage

Description

Approximately the front 8 feet of the Drug Store building has a sloped roof covered in 2-piece Mission tile, extending an additional 2 feet at the porch.

Flat roofed areas are covered in built-up roofing. The roofs drain through scuppers or canales toward the inner courtyard of the building.

Deficiencies

The tile roofing appears to be in excellent condition and was probably replaced when the building was rehabilitated in 1974.

Flat roofs have been analyzed by others and have been determined to contain some measure of asbestos. All of the low slope roofing is planned to be replaced. The roofing is not considered to be significant. Sheet metal scuppers are also of late vintage and are not significant.

Recommendations

Re-roof the low-slope areas. Detailing of the roofs at the parapets is critical to preservation of the adobe.

Interior Walls

Description

At the Drug Store, all of the interior walls and partitions at the second floor are modern drywall on steel studs. Original residential partitioning appears to have been completely removed, although it may remain in some places. The “ghost” of the original floor plan appears to be visible on the ceilings above the suspended grid, and it may exist on the floor as well, beneath carpeting.



Porch roof structure, covered in mission tile



Interior damage to adobe walls, Room 2

Most interior partitions in the above section are of adobe, most of which has similar thickness to the exterior walls. One interior wall (between rooms 8 and 9) is only 12 inches thick. One frame partition exists, between rooms 2 and 3, which has a wood lath and plaster finish indicating its age.

Deficiencies

Certain adobe walls are suffering moisture damage at the base. This is true on both sides of the walls between Rooms 1 and 2, and rooms 3 and 4. The interior side of the south exterior wall at rooms 4, 5, and 6 are similarly damaged.

Other interior walls and wall surfaces have been covered with various materials such as drywall and sheet metal in the former restaurant suite, rooms 10, 11, and 12. It is not known whether this obscures, or is causing, any adobe damage.

Recommendations

Examine extent of adobe damage in greater detail. Repair as necessary using matching materials.

Remove non-historic finishes in rooms 10, 11, and 12.

Interior Floors

Description

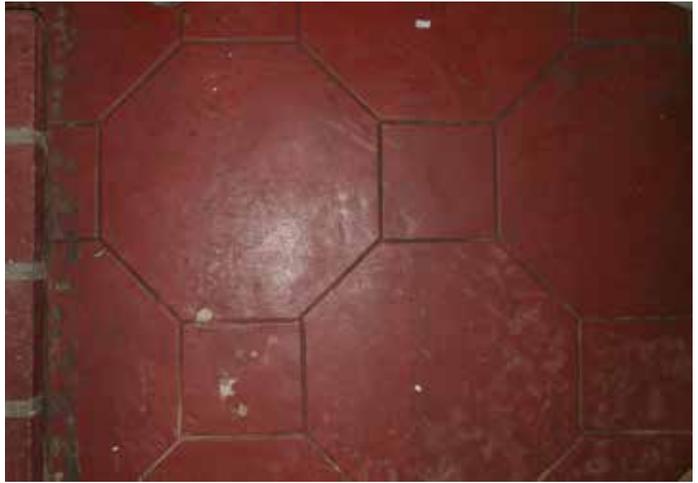
All floors throughout the first floor areas of both sections of the building are concrete slabs on grade, with a variety of surface finishes from ceramic tile, quarry tile and terra-cotta tile to carpet. Two rooms, numbers 5 and 6, have early red integrally colored scored concrete floors – 2' squares in room 6 and a complex pattern of squares and octagons in room 5.

The second floor floors probably had wood flooring through much of the space, which is now covered by modern commercial carpet. The carpet was pulled up in one location to reveal oak flooring.

Deficiencies

Most floors at the first floor lack historical significance.

The condition and variability of the floor surfaces underlying the carpet at the second floor is unknown.



Scored concrete floor, Room 5



Tile floors, rooms 8 and 9

Recommendation

Modern flooring finishes may be removed as necessary to accommodate new uses. Retain the integrally colored concrete floors.

Remove modern carpeting to expose the second floor finishes for further evaluation. Preserve significant original finishes encountered, if in good condition.

Interior Ceilings

Description

First floor ceilings of the Drug Store were plaster, most of which has been removed. A suspended acoustical tile grid was added to conceal the wood truss framing of the second floor and the utilities running through the floor-ceiling space.

The ceiling at the second floor of the Drug Store (the residence) was originally plaster on wood framing, at a height of about 9 feet. A modern grid ceiling with 2' x 4' acoustical tiles and fluorescent lighting was suspended below this at about 8 foot height. Much of the plaster remains in place above the suspended ceiling, although portions have been patched with drywall.

The ceilings within the commercial space immediately abutting the drug store were plastered originally on the roof framing, and a grid ceiling was suspended below at 9' height.

All the other ceilings in the adobe areas of the building were likely rehabilitated in 1974 and are fairly consistent. Most of the roofs are framed with 2x12 joists concealed by drywall soffits, below which decorative timber beam ceilings terminating in ledgers at the walls were placed. The ceiling in rooms 2 and 3 may predate the rehabilitation and are structural wood timber beams supporting 1x4 wood decking. Given the haphazard and incremental nature of the original construction, it is likely that the original ceilings and roof structures varied widely.

Deficiencies

The acoustical tile ceilings on both stories of the Drug Store are missing some tiles but may be serviceable. They do tend to obscure the original ceiling finishes and heights, however.

The ceiling grid in the commercial bay on the east side of the Drug Store is in fair to poor condition.

Ceilings through the remainder of the adobe are in fair to good condition.

Recommendations

Reevaluate the ceiling needs in commercial areas of the building related to the new uses. While there are no significant examples of original ceilings, restoring original ceiling heights would enhance the historic character.



Exposed beam ceiling, room 6



Opening in ceiling showing structure above, room 1



False beam ceiling, room 5

Interior Doors

Description

No examples of original interior doors remain in the building. All doors at the second floor are modern, flush wood doors in wood frames with standard

“streamline” style trim. One cased opening of historic vintage appears to remain between rooms 5 and 6. It has a wide 6” board casing on the room 6 side and a more modern, smaller casing trim on the room 5 side.

Deficiencies

Interior doors are modern and do not contribute to the historic character of the building.

Recommendations

Interior doors may be replaced as necessary. New doors should be compatible yet differentiated from historic construction.

Interior Stairs

Description

Stairs to the second floor residence rise directly from the front entry door at the first floor and consist of two flights separated by a short landing. The stairs are covered by modern carpet, but original wood base is visible. Railings are modern, made of 2x6 lumber. The railing attached to the exterior wall is not continuous; it breaks at the point that the wall steps in 4 inches in transitioning from the first floor to the second.

Deficiencies

The stairs are in generally good condition. The railing may not meet accessibility requirements.

Recommendations

No work is necessary. The railing should be considered for replacement.

Fireplaces/Chimneys

Description

Three fireplaces are found in the adobe section of the building. The only fireplace that appears to be historic is in the corner room 6. It is of simple solid masonry construction, plastered. The fireplace in the adjacent room 5 appears to be made of paver bricks and does not appear to ever have been used. It is likely non-functional. The third fireplace, in room 9, is false.



Early cased opening between rooms 5 and 6



Fireplace, room 6

A chimney is evident in the parapet on the east side of room 12, probably indicating a wood stove location. The parapet has been altered to match the height of the chimney and obscure its existence.

At the second floor, wood stoves were likely used originally for heat. Two chimney breasts were found along the east wall that served three different rooms. The chimneys likely were integrated into the parapet, as they do not appear evident on the exterior or in early exterior photographs.

Deficiencies

Only one fireplace is original. The others do not contribute to historic character.

Recommendations

Preserve the fireplace in Room 6. Others may be removed. Preserve all chimneys, as they may be original features even if fireplaces are modern.

Mechanical Systems

Description

Mechanical systems are predominantly rooftop evaporative coolers and package HVAC systems. The south row of rooms of the adobe was served with through-the-wall units, most of which have been removed, and gas space heaters.

Deficiencies

The operating status of the HVAC systems is not known. All of the systems seen were fairly old. Many spaces do not appear to be air conditioned.

Recommendations

It is assumed that in any major renovation of the building, the mechanical systems would be replaced.

Electrical Systems

Description

No electrical service entrance was found on or near the building. Therefore it is assumed that the building is currently fed from the connected adjacent non-historic buildings. Breaker panels are located in the southeast breezeway.

There are some exterior lighting fixtures that have an historic appearance, but are all in fact modern fixtures.

Deficiencies

No significant electrical power or lighting features were found in the building. The operating status of the electrical systems is not known.

Recommendations

The building electrical system will need to be re-fed from a new service. It may be possible to re-feed existing electrical panels. Analysis by an electrical engineer is required.

Fire Protection and Detection Systems

Description

The entire building has a commercial grade fire sprinkler system. However, the fire riser and fire department connection were not seen. They are likely located in the adjacent, connected building. There do not appear to be any alarm systems.

Deficiencies

Following demolition, the fire protection systems will no longer be active.

Recommendations

If the building will be “stand alone,” a new fire riser and FDC will be needed. Depending on the location, the remaining portions of the fire suppression system may need to be reworked or replaced. Fire alarm systems may be required by code depending on the occupancy of the space.

Treatment and Use Analysis

Integrity Evaluation

The Cano Drug Store/Hop Lee Laundry Building has suffered many alterations and a general erosion of the seven aspects of historical integrity (location, setting, design, materials, workmanship, feeling, and association). The critical aspects of integrity required to convey the building's significance may vary depending on which area of significance is being spotlighted.

While the earlier, adobe portions of the building relate to important areas of significance as outlined above, it was substantially altered in both 1929 and 1974. The building was further altered by replacement of storefronts, doors, and windows, as well as sheathing in modern, heavily textured stucco, in 1974. The physical context has been obliterated not once, but twice; first in 1968, with the destruction of much of the Barrio Libre, and second, this year with the demolition of the modern portions of La Placita Village. In its present form, the building (including both the earlier, adobe sections and the later, two story drug store) fairly represents the period just prior to its redevelopment between 1969 and 1974; even more so, the period after 1974.

An evaluation of each aspect of integrity, as defined by National Register of Historic Places guidelines, follows.

- **Location:** The building is in its original location and therefore retains this aspect of integrity.
- **Setting:** The physical setting, in terms of the area within about a block around the building, has been completely changed twice. The construction of the new multifamily development in place of La Placita Village will provide yet another setting for the building. The one aspect of setting that has survived, in one form or another, is the building's relationship to the open space representing the original Plaza de la Mesilla.
- **Design:** The building has fair integrity of design of the period after 1929, the construction of the Cano Drug Store and the alteration of the facades of the adobe section of the building to be consistent

with this Period Revival street front. The rear wings have sufficient design integrity to convey their use and appearance as residential apartments and/or restaurant related uses after 1898. The creation of the two breezeways erodes, but does not destroy, this area of integrity. The integrity of design may not be adequate to convey architectural significance without reversing late alterations and sheathing of the building.

- **Materials:** The building retains a fair degree of material integrity, in that much of the original and early building fabric is present, particularly for the period after 1929. Integrity of materials has been eroded by wholesale door and window replacements, and by being covered by modern stucco.
- **Workmanship:** Few examples of historic workmanship are evident, having been covered by modern materials. However, some integrity of workmanship may be recoverable, if the modern stucco can be removed without excessive damage to the underlying historic surfaces. A significant proportion of historic workmanship is likely to be unrecoverable; this would be the case if original plaster is found beneath modern materials on the adobe walls, but is found to be damaged beyond recovery.
- **Feeling:** This most intangible aspect of integrity results from human perception of the physical aspects outlined above. In our judgment, the property does convey the historic feeling, most particularly of the period between 1929 and 1968. Integrity of feeling would be improved with the reversal of some of the historically inappropriate alterations committed in 1974 and after.
- **Association:** Integrity of association identifies the ability of a property's features, taken as a whole, to convey its area of significance, and is analyzed below.

Significance

The Cano Drug Store/Hop Lee Laundry Building has a long and complex history. The property touches

on many different potential areas of significance at once. The following analysis is a reflection of the known history of the site in context with contemporary historical events and trends. The property may or may not be historically eligible under these themes, depending on its historical integrity and ability to convey the selected area of significance.

- 1. Exploration/Settlement:** Portions of the building likely date to the 1860s, and the building was one of those that defined the southern boundary of La Plaza de la Mesilla. The period of significance would be c. 1865 - 1928. The property does not possess adequate integrity of setting, design, workmanship, feeling, and association to convey this area of significance. It is, however, a fairly rare example of a settlement era property in this part of Tucson and may be considered for its archaeological potential. Additionally, it could be considered to be an element of the “continuity of place” embodied in the building form itself, which responded to the alignment of Camp Street and the Plaza.
- 2. Commerce:** The Hop Lee Laundry as well as a number of other commercial businesses operated out of the building from at least 1881 through 1967. The longevity of the anchor tenant Hop Lee (occupant from before 1881 through 1926), the development and operation of the Cano Drug Store (1930-1942) and the variety of other businesses including the El Charro Restaurant (1935-67) that occupied space in the building over a span of more than 80 years is illustrative of the patterns of commerce in the Barrio Libre and specifically around La Plaza de la Mesilla. The period of significance would be c. 1881-1968. The property’s lack of surrounding physical context complicates its ability to convey this area of significance, however the rarity of the resource likely overcomes this shortcoming. Therefore, the property does appear to possess adequate integrity of setting, design, workmanship, feeling, and association to convey this area of significance, particularly for the post 1929 period; however because the building retains elements reflecting commercial use from as early as 1881, the period of significance would remain 1881-1967.

- 3. Ethnic Heritage/Asian:** The adobe portions of the building were occupied, in part, both by Chinese-owned businesses in the front and Chinese residents in the back of the property from at least 1881 through World War II. Hop Lee likely arrived with the construction of the Southern Pacific Railroad and remained in Tucson after completion. As anchor tenant, it is likely his ethnicity that led to the succession of Chinese-owned businesses leasing space there, including the Los Angeles Restaurant, Heng Lee restaurant, Delmonico Restaurant, Gee Sing or Chung Sing restaurant, and the Tong Kee café. By 1896, the back of the property had been converted to apartments that were rented to Chinese residents, a use that continued to at least 1941. (It should be noted that the property was not exclusively Chinese-occupied; an almost equal number of restaurant businesses were owned by the Hispanic community, including the Union Restaurant, the Puerto Rica restaurant, Dolores Salazar restaurant, and the Broadway Café.) The period of significance would be c. 1881-1941. The property was extensively altered in 1929, after the major period of time it was related most directly to Tucson’s Chinese community; and the residential portion was rehabilitated in 1974, obscuring some of the historic character. Mainly, the basic form and substance of the adobe building parts remains to convey this area of significance, which is fairly weak. However, pending additional research, the residential parts of the building may be found to be a rare surviving example of this development pattern and ethnic use, and therefore would be significant.

- 4. Architecture:** The building is a good local example of the Monterey style as applied to a commercial storefront building, as well as an adaptation of the panel brick commercial style on the adjacent adobe storefronts. The period of significance would be the year of construction, 1929. Documenting architectural significance is unique in that integrity of setting is of lesser importance, while integrity of design is of greater importance, to convey its significance. Viewed through this lens, the alterations to the building, most particularly the sheathing of the exterior, are problematic. While it may marginally

have adequate integrity to convey this area of significance, it would be much stronger after reversal of the sheathing and replacement of storefronts with more compatible designs.

5. Community Planning and Development: The redevelopment of the Barrio Libre as a part of the urban renewal movement in the late 1960s is an important event in the development of Tucson. As of the year 2018, the demolition of much of the Barrio is 50 years in the past, the cutoff for typical eligibility under the National Register. The Cano Drug Store/Hop Lee Laundry Building is one of a small handful of survivors of this effort. Its incorporation into the La Placita Village development in 1973-1974 is noteworthy as an illustration of the cultural attitudes that were prevalent and the political compromises being made at the time the property was redeveloped. The period of significance would be 1968. Under this area of significance, the removal of the surrounding barrio is actually part of the story and not a weakness, however the demolition of La Placita Village is. While the property does not appear as it did in 1968, within 6 years the 1974 alterations will have attained the age of 50 years and could be considered an historic alteration. Eligibility under this context appears premature, and with demolition of La Placita, unlikely.

Conclusion: The property is most likely and most strongly eligible overall in the area of Commerce. Secondly, Architectural significance may apply to the street front while Ethnic Heritage may apply to the adobe residences in the rear.

Architectural Program

The intended use on the part of the current owners is as a support building for the multifamily development that will be constructed in place of La Placita Village.

Uses for the building may include:

- Clubhouse for the use of residents, including new public restrooms, kitchenette, lounge and meeting/dining room.

- Coffee shop, accessible to the public, with associated restrooms and storage space.
- Lease space for resident use, such as personal storage.
- Other small business lease, serving resident needs (such as pet grooming).
- Second-floor residence.

Treatment Approach

The recommended treatment of the building, in National Parks Service terms, is “Restoration” combined with “Rehabilitation.”

“Restoration” is defined as the depiction of property at a particular period of time in its history, while removing evidence of other periods.

“Rehabilitation” is defined as alteration or addition to a historic property to meet continuing or changing uses while retaining the property’s historic character.

It is recommended to restore the appearance of the property, to the extent feasible, to the period relating to its appearance between 1929 and 1968 in order to strengthen its architectural and historical integrity. Specific elements that might be reversed include:

- Removal of modern stucco coating and restoration of the underlying surface (pending physical and economic feasibility)
- Reversal of storefront designs that reduce the original masonry opening sizes
- Re-installation of missing stylistic elements such as the second floor window shutters
- Infill of one or both breezeways, returning the building to its historic form
- Restore original residential entry door configuration at the first floor vestibule.

In order to adapt the building to the new uses, some alterations and additions will need to be made.

- Installation of new storefronts, compatible in character to the historic condition
- New interior features and finishes

- New mechanical, electrical, and plumbing systems

Character-Defining Elements

Preservation of the following building elements and features should be given priority in designing the restoration and rehabilitation work on the building.

- Building form and scale: Two-story commercial façade abutting lower, one-story façade composed of three roughly equal storefront bays; one story extension behind, bordering original property line locations.
- Asymmetrical façade composition with arched entry beneath projecting second story porch
- Dashed stucco wall finish with crisp corners on brick (if recoverable)
- Relatively smooth stucco on adobe (if recoverable)
- Vertically proportioned, double hung wood windows in discrete openings
- Multiple, simple, discrete door openings
- Glazed storefronts with multi-light transoms and solid, low bulkheads
- Spanish tile, front facing second story roof
- Generally flat roofs with low parapets
- Exposed timber/wood porch posts, beams, and decking
- Steel balcony railing
- Parapet coping supported on dentils

Rehabilitation Plan

The Cano Drug Store/Hop Lee Laundry Building may be easily rehabilitated for the programmed uses outlined above.

The proposed plan uses the original street side spaces along the north side of the building as public areas. The western half, comprising the first floor of the former Drug Store and the western-most of the three adobe bays, will be rehabilitated as the club

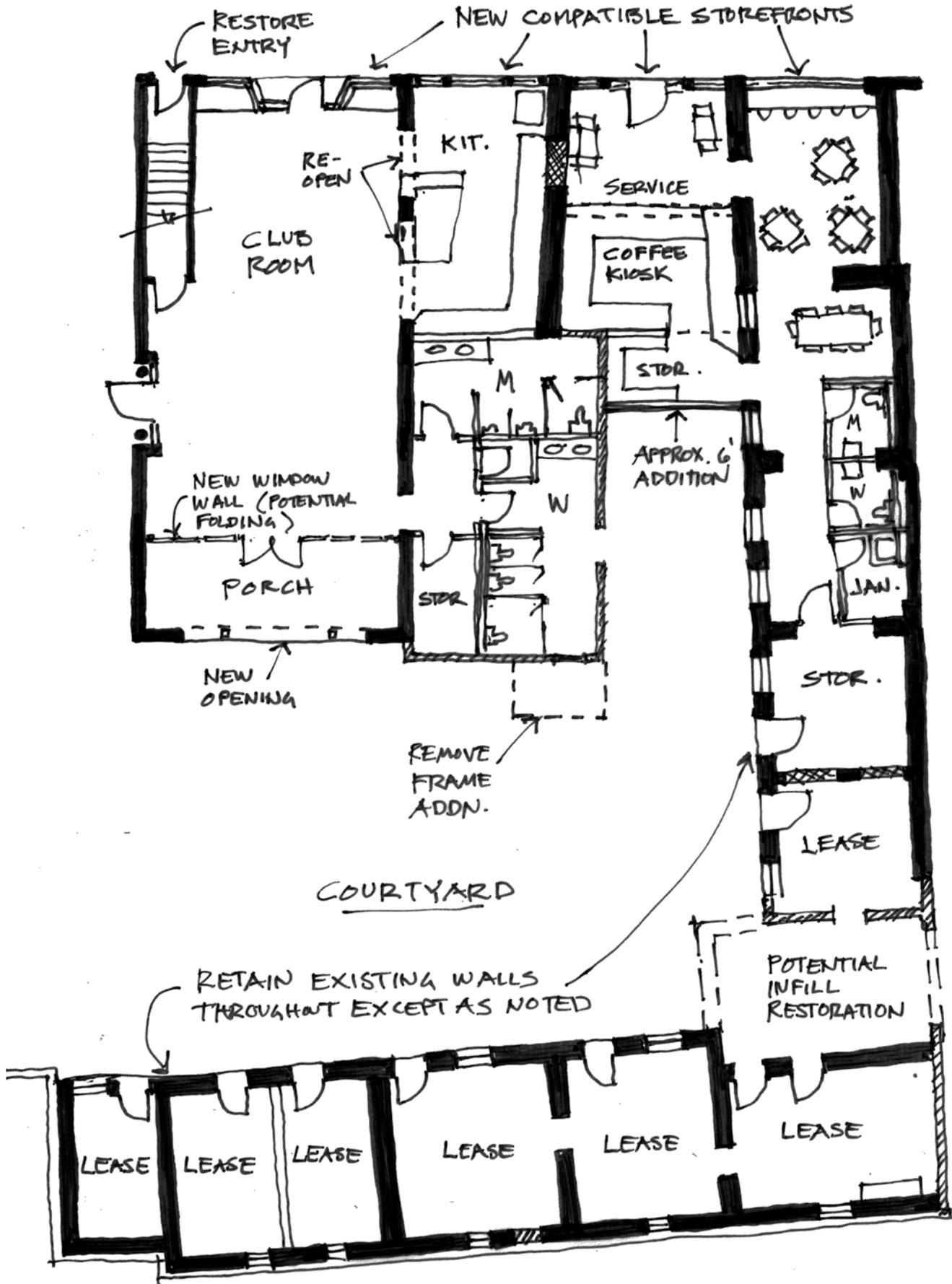
house for the use of residents of the development. The eastern two bays of the adobe section, together with the two adobe rooms to the south (including all of the area most recently occupied by a small restaurant) will be rehabilitated as a coffee shop. Infill of the second, open bay would restore the basic form of the building, while glazing in the storefront and in the south wall of the addition would retain public view of the adobe courtyard. The remaining spaces (the south adobe wing and part of the east adobe wing) may be leased to residents as storage space, or similar uses.

The goal of the rehabilitation is to retain, to the extent possible, the character-defining design elements of the building and the significant building fabric (adobe walls), while accommodating the new uses. Sensitively designed departures from historic conditions will affect features that have already been altered (such as storefronts) or will occur in secondary, non-character facades (such as the proposed porch on the back of the Club Room). Modern interior features will be retrofitted without altering original/early walls except to restore old openings.

One small addition is proposed, on the back of the center bay of the adobe section storefront (which is being restored as enclosed space). The addition is proposed only to enhance the functionality of the coffee shop use, and may not be built if, in the final design, it is determined unnecessary.

The breezeway at the southeast building corner could be infilled to recover additional space, if found not to be needed for site circulation. If so, it should be “bumped out” as shown in the plan sketch to recover the building footprint indicated in early site maps.

The second floor may be used as a residence unit. Since the interior has already been lost, the plan may depart from historic conditions, although replication of the original plan could be studied following demolition of the non-historic office interior. The exterior envelope will be retained more or less as-is, other than repairs and potential restoration of earlier window openings.



Proposed First Floor Rehabilitation Plan

Samaniego House

Preservation and Treatment Plan

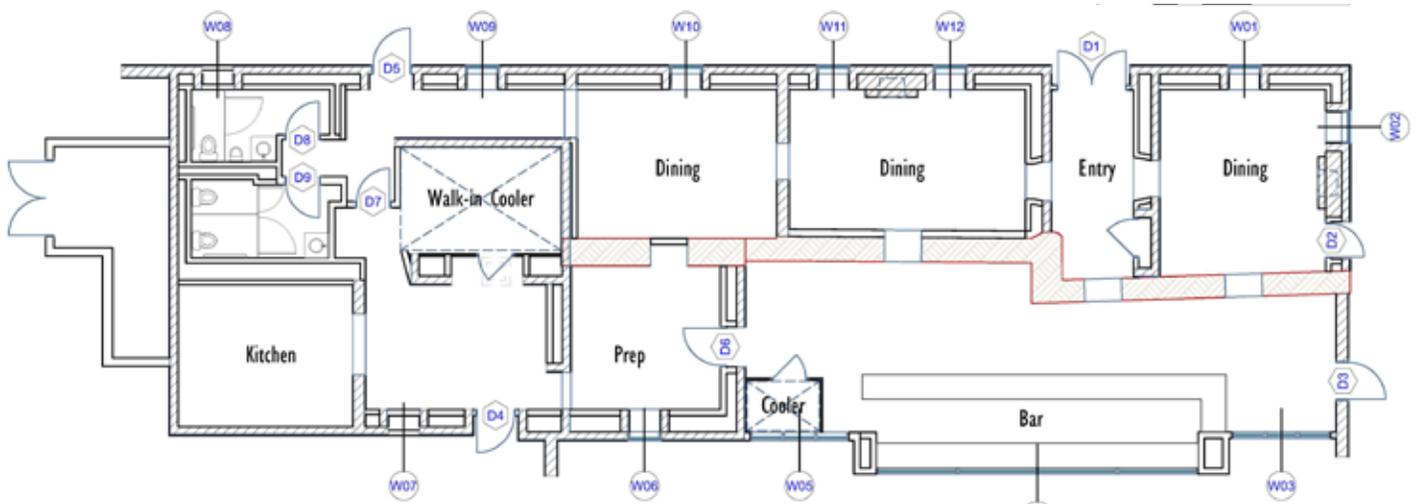
Architectural Description

The Samaniego House is a one story masonry building 100 feet long and 32 feet wide. The building is mostly a facsimile of the historic adobe Samaniego House, although it does incorporate a small fraction of the original. Its most recent use was as a restaurant.

The plan of the building is roughly rectangular. Exterior walls are of concrete masonry construction, stuccoed on the exterior, with the exception of the southeast $\frac{1}{4}$ of the building, which is framed in wood. The exterior walls support a fairly complex roof of medium pitch hips and gables. A large proportion of the wooden roof structure (about $\frac{3}{4}$ of the building) appears to retain original historic rafters and sheathing, encapsulated by modern construction. The roof is covered in galvanized corrugated steel panels. The building eaves have a shallow overhang supported on wooden brackets. Doors and windows are in punched openings, vertically proportioned.

The interior spatial arrangement appears to replicate that of the original house, although mostly of modern materials. A center spine wall 64 feet long is all that remains of the original house walls. All other walls are of concrete block or steel framing with drywall. Floors are concrete slabs on grade, finished with tile or wood plank flooring. Ceilings have several examples of viga-and-latilla detailing, again apparently replicating the originals.

The northeast $\frac{1}{4}$ of the building contains the entry and dining rooms of the restaurant. This area replicates the oldest portion of the Samaniego House and includes a zaguan entryway flanked by dining rooms. It connects through to the southeast $\frac{1}{4}$ of the building, historically ramadas or porches, which has been reconstructed of modern materials as the restaurant bar. The western half of the building was fitted with support space for the restaurant, including restrooms, kitchen, and food storage including a walk-in cooler.



Floor Plan



North elevation



East elevation



West elevation



South elevation

Feature Analysis

Foundations

Description

The building foundations are not visible and could not be directly evaluated. Because the walls are mostly of modern CMU, it is expected that these are founded on modern concrete spread footings. The adobe walls probably have stone footings, but these were not excavated or verified.

Deficiencies

No significant structural movement was noted in any of the walls that would indicate a foundation problem.

Recommendations

No work is necessary.

Exterior Walls

Description

All exterior walls are of modern construction. North, east, and west walls and part of the south wall are of concrete masonry units, furred 16 inches on the interior side with steel studs and gypsum board to appear overall approximately 24 inches thick. The furring void is un-insulated. It is used as a duct chase in some areas. The exterior sides of the walls are plastered directly on the masonry with portland cement stucco, with a knocked-down lace finish. A portion of the south wall, replicating an infilled porch, has exterior walls of 2x4 wood frame studs, insulated.

Deficiencies

The walls have suffered some cosmetic damage due to ongoing demolition operations, but are otherwise in good condition.

Recommendations

Minor repairs of the stucco finish will be necessary.



Despite there being crack monitors on the walls, there is no evidence of foundation movement.



Concrete block is exposed where fixtures have been removed

Roof Structure

Description

The roof structure appears to be a composite of old and new wood framing. Most of the framing, accessible within attic spaces, is concealed by modern white insulation scrim held in place by battens. Where this material has been dislodged, older 2x4 rough-sawn joists supporting 1x6 spaced sheathing is visible. Plywood was visible added above the spaced sheathing.

Deficiencies

No problems were noted with roof framing.

Recommendations

No work will likely be necessary.

Exterior Doors

Description

Doors and frames are modern throughout. The typical exterior door is a 15-light wood French door with fairly wide muntins. There are five exterior doors. The main entry, at the replicated zaguan, has double doors, each leaf with 6 lights over 2 panels, Victorian styling. The two doors on the east end of the building, and the rear public entrance by the bathroom, all are 15-light wood French doors in wood frames, with panic hardware. The south door into the kitchen area is a hollow core flush steel door in wood frame.

Deficiencies

The doors generally appear to be in usable condition, although damage has been caused by plywood boarding on the exterior, nailed to the door frames. Only the entry door appears to attempt historic replication. The other doors have no known relationship to historical conditions, other than location and size.

Recommendations

Doors may be retained/maintained. Alteration of the door sizes and locations is discouraged, if the building will continue to represent an historic reconstruction.



Early rafters and spaced sheathing exposed where insulation has been removed



Modern structure was added to support the historic framing



Exterior doors are generally modern French doors

Exterior Windows

Description

All windows are modern replacements. The extent to which they reflect earlier or original window locations is not known. The typical window is a fixed light of leaded stained glass of various designs, stopped into a wood frame. Casings and trim are generally 1x4 rough-sawn wood boards, inside and out. Windows into the “porch” (bar) at the southeast building corner are large panes of glass stopped between built-up wall studs.

Deficiencies

All windows have been boarded by nailing directly into the window frames.

The kitchen window has been drywalled over on the interior, as has the window adjacent to the Men’s restroom.

A beehive has been established between one window and the plywood boarding on the north side, center dining room.

Recommendations

The windows appear serviceable and may be maintained and repaired. If a more accurate reconstruction is desired, operable wood double hung windows would appear more appropriate.

Roofs and Drainage

Description

All roofs are covered in modern corrugated metal panels with molded trim strips on the hip ridges. The roofing has a fairly shiny, silvery galvalume finish. Small flat-roofed areas occur at the peak of east and west roofed areas; the roofing on these is assumed to be built-up or similar. A molded trim terminates the metal roofing at the junction with the flat roofs. The upper, hipped roofs appear to have integral gutters.

Deficiencies

Not all of the downspouts are fitted with rainwater leaders. The roof appears to be in excellent condition and is not known to leak.



All windows are modern decorative glazing stopped in place



A beehive has been established behind the boarding



Roofs are covered in modern corrugated metal panels

Recommendations

No work is necessary.

Exterior Floors

Description

Patios and walkways around the outside of the building are all of modern construction. Finishes vary and include concrete with Saltillo tile finish (east side), brick pavers (wrapping east to north side), exposed aggregate concrete (ramp), and scored concrete (north side).

Deficiencies

None of the flooring appears to relate to historic conditions or possess any significance.

Recommendations

No work is necessary. The paving may be removed and altered as appropriate to join with new adjacent site plan.

Exterior Ceilings/Soffits

Description

Roof overhangs have a shallow soffit of about 12 to 18 inches depth with cornice molding at the edge. Knee-brace brackets springing from verge boards at the wall surface appear in spaced pairs supporting the eaves. On the north side of the building, the eaves peak up to form gables in two locations. The gables have decorative molded trusswork at the apex, and rectangular sheet metal louvered vents into the attic. At the back "porch" roof, the shed roof edge has a simple rough-sawn and surfaced wood 2x vertical fascia with little or no overhang.

Deficiencies

All of the eaves are modern replicas which purportedly resemble original conditions. The projected, soffited overhangs are in good condition while the shallower, simple wood fascias are significantly weathered.

Recommendations

Weathered wood at the back "porch" roof should be reconditioned and refinished.



Paving around the building is various modern materials



Overhanging eaves are all of modern wood, painted

Insulation and Weatherstripping

Description

All roof insulation is located at the underside of the roof deck. The attic vents are therefore redundant or counter-productive. No insulation was found in wall cavities nor at the ceiling level. No weatherstripping was found at doors. Windows, being fixed, are assumed to be sealed.

Deficiencies

The building would be more energy efficient if it were better insulated.

Recommendations

Address energy issues including insulation as part of the overall building rehabilitation for new use.

Chimneys and Flues

Description

There are a number of masonry chimneys protruding above the roof deck. All are stuccoed with the same rough texture seen on the walls. In the attic, historic brick could be seen on at least two chimneys, and modern adobe at another, likely indicating they are preserved original features or replicas, although covered. None are in use; all are merely decorative. The chimney above the modern kitchen area was particularly accessible, and could be seen to be an older brick chimney bearing on a modern concrete block base balanced on an interior concrete block wall.

Deficiencies

None noted.

Recommendations

No work is necessary.

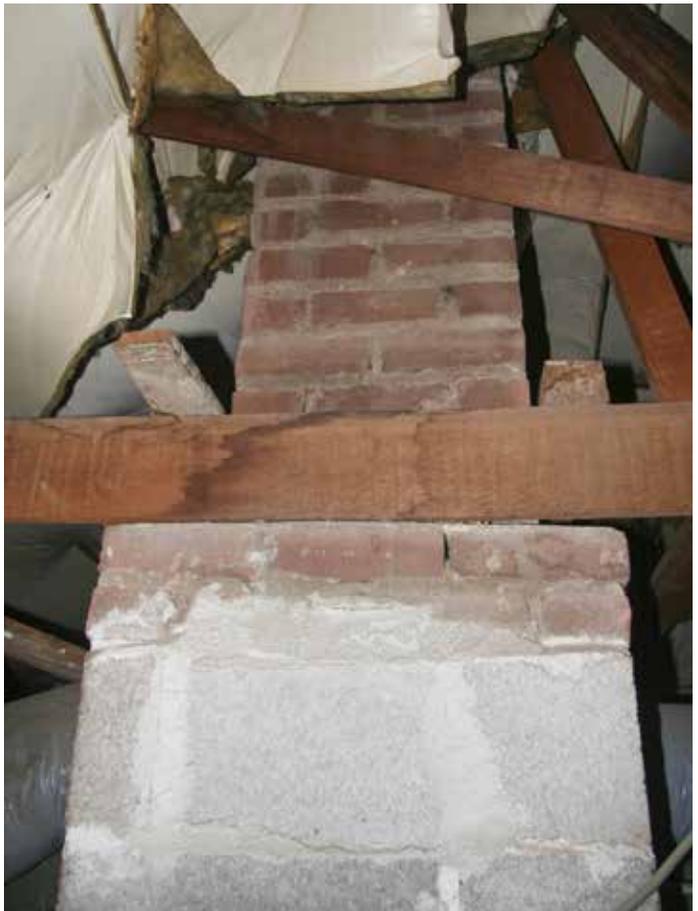
Interior Walls and Partitions

Description

Most interior walls are of masonry or furred masonry. The center wall of the eastern 2/3 of the plan is of historic adobe, 22 to 27 inches thick, varying from 12 to 14 feet in height, plastered on both sides. This remnant of the original Samaniego House is 64 feet



Insulation above plastic scrim was placed at the roof level



A historic chimney is supported by modern construction



Adobe is deteriorating behind the intact stucco in the interior wall

in length. Other masonry walls are of 12" thick CMU plastered both sides, or of 8" CMU furred on one side with steel frame and gypsum board to an overall width of about 2 feet. Steel stud partitioning with drywall finish is found at the restrooms. The interior finish at the restrooms is ceramic tile. All of the exposed gypsum board (including the interior side of exterior wall furring) is veneer-plastered to provide a heavy hand-textured finish to replicate adobe construction.

Deficiencies

83% of the historic adobe walls (including both interior and exterior walls) have been lost and replaced with modern construction. What remains of the adobe walls is in fair condition, with some deterioration noted at the wall base in both sides of a jog that occurs adjacent to the main entry.

Recommendations

Some minor adobe or plaster repair may be necessary. Patch plaster with like materials.

Interior Doors

Description

All interior doors are modern. Double-swinging pass doors are found at either end of the kitchen area. Doors to the restrooms are flush, pre-finished hollow core wood doors in wood frames. The door to the electrical closet in the entry room is made of salvaged, beaded T&G boards but is a modern door of older material. All other doorways are cased openings without door leaves. Four of these passageways penetrate the historic adobe wall. One opening is cased with modern wood trim. Two others are plastered with no trim. The fourth and last is closed with drywall partitioning, forming a plastered recess on one side. All of the openings in modern walls and partitions are plastered, with no trim.

Deficiencies

Restroom doors have conventional knob latching hardware and do not meet accessibility requirements for lever handles.

Recommendations

Provide accessible hardware at restrooms as a part of a general accessibility upgrade of the restrooms.

Historic Properties Treatment Plan: Historic Resources of La Placita Village



The south side of the wall exhibits moisture damage of the finishes



Additional damage at the north side of the wall in the east dining room



Door to electrical closet, faux-historic

Interior Floors

Description

All floors are on a concrete slab-on-grade base. Finishes include 12" x 12" terra-cotta tiles in the entry, center dining rooms, and kitchen prep area, wood plank flooring of random widths (4 to 8 inches) in the bar and easternmost dining room, and quarry tile in the service areas including restrooms, kitchens, and hallway.

Deficiencies

All floor structure and floor finishes are modern.

Recommendations

Floors are currently serviceable and may be retained or replaced.

Ceilings

Description

Many rooms have (or had) decorative viga-and-latilla ceilings imitating historic construction. These ceilings used high quality peeled logs 6 to 8 inches in diameter topped by a lattice of what may be saguaro ribs. These occur in the entry, dining rooms, above the walk-in refrigerator, and in the eastern two rooms of the kitchen area. In the kitchen areas, the latillas have been removed and a suspended T-bar ceiling has been added below; the suspended ceiling is in very bad condition and is missing all tiles. The ceiling of the bar is exposed wooden structure consisting of 4x6 joists at about 3 feet on centers, supporting a 1x12 wood deck, all stained and varnished. This roof structure is all modern, evidenced by its attachment to the historic adobe walls using a ledger and through-bolts. Ceilings in the western room of the kitchen and in the restrooms are suspended gypsum board.

Deficiencies

All of the ceilings are modern replicas at best. Grid ceilings are in very poor condition.

Recommendations

The ceilings may be repaired or removed as part of the new use of the building.



Quarry tile in kitchen areas



Terra cotta tile in part of the dining area



Wood flooring in east dining



Replica viga & latilla ceiling

Fireplaces

Description

Two fireplaces are extant, each occurring in a dining room. Both are in good condition and appear to be of modern construction. They are lined with fire brick and had steel dampers (one has been removed). The face of each fireplace is simple and plastered, and may be of concrete block in imitation of adobe.

Deficiencies

It could not be verified whether the fireplaces were intended to be functional. There is charring on the firebrick, indicating that they have been used.

Recommendations

The missing damper should be replaced or the fireplace should be abandoned or plugged.

Interior Woodwork and Trim

Description

1x4 rough-sawn wood casings surround exterior door and window openings. All trim is of modern materials. Most likely, the historic trim would have used surfaced lumber, particularly on the interior.

Deficiencies

All trim is modern and does not likely represent historic conditions.

Recommendations

Trim may be reused or modified as needed.



Abandoned & altered replica ceiling above later tile grid



East replica fireplace



West replica fireplace

Treatment and Use Analysis

Integrity Evaluation

The Samaniego House possesses very little historical integrity overall. The building was substantially altered in about 1973.

The physical context has been obliterated not once, but twice; first in 1968, with the destruction of much of the Barrio Libre, and second, this year with the demolition of the modern portions of La Placita Village. In its present form, the building fairly represents a facsimile of its general appearance c. 1890, and even more so, the period after 1973.

An evaluation of each aspect of integrity, as defined by National Register of Historic Places guidelines, follows.

- **Location:** The building is in its original location and therefore retains this aspect of integrity.
- **Setting:** The physical setting, in terms of the area within about a block around the building, has been completely changed twice. The construction of the new multifamily development in place of La Placita Village will provide yet another setting for the building.
- **Design:** The building has fair integrity of design of the period after the roofs were installed in the Victorian period; however the building features that define the design are largely reconstructions.
- **Materials:** The building very little material integrity, in that only select parts of the original and early building fabric is present. Specifically, one interior wall, the roof joists and sheathing, and portions of chimneys are believed to remain of the building that existed prior to redevelopment.
- **Workmanship:** Essentially no examples of historic workmanship are evident, having been replaced or covered by modern materials.
- **Feeling:** This most intangible aspect of integrity results from human perception of the physical aspects outlined above. In our judgment, the

property does not convey a historic feeling, because of the excellent (like new) condition of many character defining elements and the 1970s stucco finish; and because of its lack of historic context.

- **Association:** Integrity of association identifies the ability of a property's features, taken as a whole, to convey its area of significance, and is analyzed below.

The Samaniego House is classified by the National Register of Historic Places as a "Reconstructed Property." Such buildings are specifically excluded from eligibility to the Register except under certain narrow conditions, summarized in "Criteria Consideration E" which states:

A reconstructed property is eligible when it is accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan and when no other building or structure with the same associations has survived. All three of these requirements must be met. ...

Accuracy of the Reconstruction

The phrase "accurately executed" means that the reconstruction must be based upon sound archeological, architectural, and historic data concerning the historic construction and appearance of the resource. That documentation should include both analysis of any above or below ground material and research in written and other records.

It is unclear to what extent the reconstruction is accurately executed. Some elements appear to have been carefully replicated, but other aspects were completely ignored. Known major departures from a true reconstruction include the use of concrete block as the structural wall material, inaccurately detailed doors and windows, and inaccurate, modern wall finishes. The interior adaptive use, including kitchens and bathrooms, also depart from a true replica.

Suitable Environment

The phrase "suitable environment" refers to: 1) the physical context provided by the historic district and 2) any interpretive scheme, if the historic district is used for interpretive purposes. This means that the reconstructed property must be located at the same site as the original. It must also be situated in its original grouping of buildings,

structures, and objects (as many as are extant), and that grouping must retain integrity. In addition, the reconstruction must not be misrepresented as an authentic historic property. ...

While the building occupies its original site, it has completely lost its sense of context; the “grouping” of buildings does not retain integrity. The reconstruction has further been misrepresented as an authentic historic property for over 40 years.

Restoration Master Plans

Being presented “as part of a restoration master plan” means that: 1) a reconstructed property is an essential component in a historic district and 2) the reconstruction is part of an overall restoration plan for an entire district. “Restoration” is defined as accurately recovering the form and details of a property and its setting as it appeared at a particular period by removing later work or by replacing missing earlier work (as opposed to completely rebuilding the property). The master plan for the entire property must emphasize restoration, not reconstruction. In other words, the master plan for the entire resource would not be acceptable under this consideration if it called for reconstruction of a majority of the resource.

There is no historic district and no restoration master plan.

Under Criteria Consideration E, the Samaniego House fails the tests for National Register eligibility. However, the eligibility could be reconsidered within the next five or ten years, as follows:

Reconstructions Older than Fifty Years

After the passage of fifty years, a reconstruction may on its own attain significance for what it reveals about the period in which it was built, rather than the historic period it was intended to depict. On that basis, a reconstruction can possibly qualify under any of the Criteria.

Significance

Laying aside the question of historical integrity with respect to reconstructions, the Samaniego House has in the past been considered significant for a number of reasons, including as the home of prominent Tucson figure Mariano Samaniego c. 1876-1907, and as a rare surviving example of a one common construction type. But as outlined above, the lack of historical integrity from these earlier periods disqualifies it from being

considered significant for its relationship to these aspects of history.

The building’s best case for historical significance appears to lie in the final section of Criteria Consideration E: that the reconstruction itself could attain significance after 50 years. Assuming the rehabilitation dates to 1973, the building could be considered eligible in 2023, five years from the date of this writing; and perhaps earlier if the case can be made for “exceptional significance.”

Seen in this light, the building would be significant in the area of Social History of Tucson in 1968-73. The urban renewal project that resulted in the destruction of the northern part of the Barrio Libre was traumatic for many Tucsonians and resulted in intercultural social conflicts that reverberate to this day. That the community demanded preservation of certain key buildings and that the requirement to preserve the Samaniego House in particular was written into the development agreement illustrates the political deal-making that satisfied enough people to allow the project to go forward. The fact that the Samaniego House survives, even as a reconstruction, monumentalizes this event in a tangible form.

Conclusion: The property may be potentially eligible in the area of Social History in the year 2023, or perhaps earlier if a case can be made for exceptional significance. Traditionally accepted areas of significance for this building cannot apply due to the fact it is an ineligible reconstruction.

Architectural Program

The intended use on the part of the current owners is to return it to its most recent use as a restaurant as part of the multifamily development that will be constructed in place of La Placita Village. Minimal alteration to the building is anticipated because of the good condition of the building and the fact that it was already a restaurant.

Treatment Approach

The recommended treatment of the building, in National Parks Service terms, is “Preservation.”

“Preservation” is defined as the act or process of applying measures necessary to sustain the existing

form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. However, new exterior additions are not within the scope of this treatment.

Character-Defining Elements

Preservation of the following building elements and features should be given priority in designing the restoration and rehabilitation work on the building.

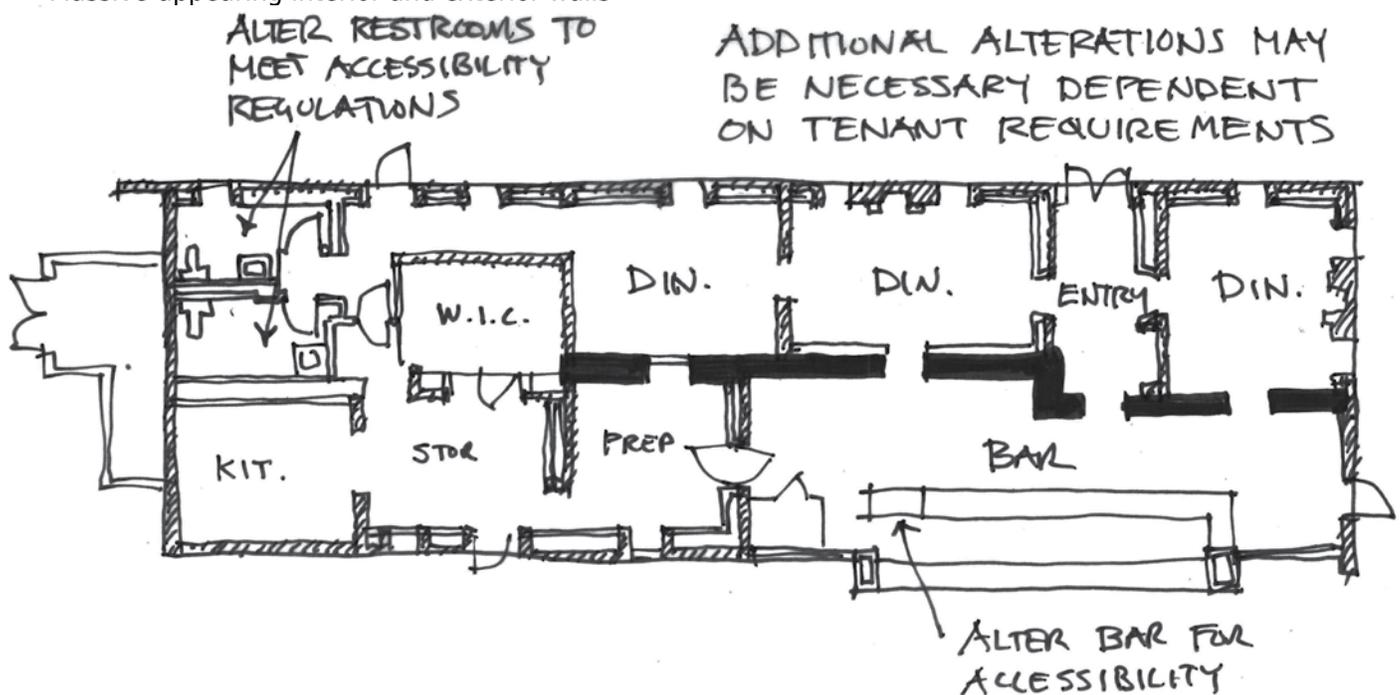
- Building form: tall exterior walls carrying low-pitched hip roofs
- Discrete door and window openings
- Heavily textured wall surfaces
- Vertically proportioned windows
- Corrugated metal roofing
- Bracketed wooden eaves with gables above entries
- Massive-appearing interior and exterior walls

- Viga/latilla ceilings
- Rustic floor surfaces such as terra-cotta tile and wood planks

Rehabilitation Plan

The existing conditions of the Samaniego House already lend themselves to use as a restaurant, since it was converted to that use sometime after 1973. However, some adaptations will still be necessary, because the facility falls short of meeting the Americans with Disabilities Act guidelines.

It does appear that the restrooms can be made to comply without expanding their size. With removal of one toilet fixture on each side (Men/Women) the water closet that remains can be made to meet current accessibility requirements. Essentially, they would become single-user restrooms, such as one finds to be common in many fast food operations today. The single fixture (x2) would handle a restaurant occupant load of up to 150 people, which is greater than the calculated occupant load of the existing dining rooms and bar.



Proposed First Floor Rehabilitation Plan

Tucson Community Center Historic District Preservation and Treatment Plan

Description

The Walkway segment of the Tucson Community Center Historic District is a linear park consisting of decorative hard surfaced walkway paving as a background for pedestrian amenities including kiosks, benches, water fountains, a linear water feature, sculptures and planting (trees and shrubs) both in the ground and in above-grade planters. The paving is of two types, concrete and brick paver. The entire walkway is organized around a consistent four-foot by four-foot modular grid. The concrete areas are scored into four-foot squares with secondary score marks inside the squares, eight inches away from the edges. The brick pavers in larger open areas are laid in a running bond (east-west orientation, at right angles to the typical path of travel) with an eight-inch header course around the perimeter. Where pavers are used to fill four-foot squares, the bricks are laid in a basket-weave pattern.

The paving surface of the landscape design extends over the property line of the former La Placita site by eight feet, or two rows of four-foot modular squares. This area coincides with a pedestrian access easement on the property. Most of this material is concrete, although a strip of brick paving extends



Concrete paving pattern



General view to south; construction fence is roughly on the property line



General view to north



Typical brick paving

to the former building face in the alignment of the original Broadway/Camp Street. Above-grade planters 3 feet in diameter containing small trees were placed at 12 feet on centers in the outer (western) line of squares on-site. The squares upon which the planters were placed are basket-weave brick instead of concrete.

The basement of the old La Placita development, constructed in 1973, extends beneath the decorative paving and above-ground planters to the property line. The building face above grade was eight feet inside the property line. See ALTA survey in the following



Salvaged Planters

page. The eastern eight feet of paving is supported on the east edge by steel beams and columns.

Significance/Integrity

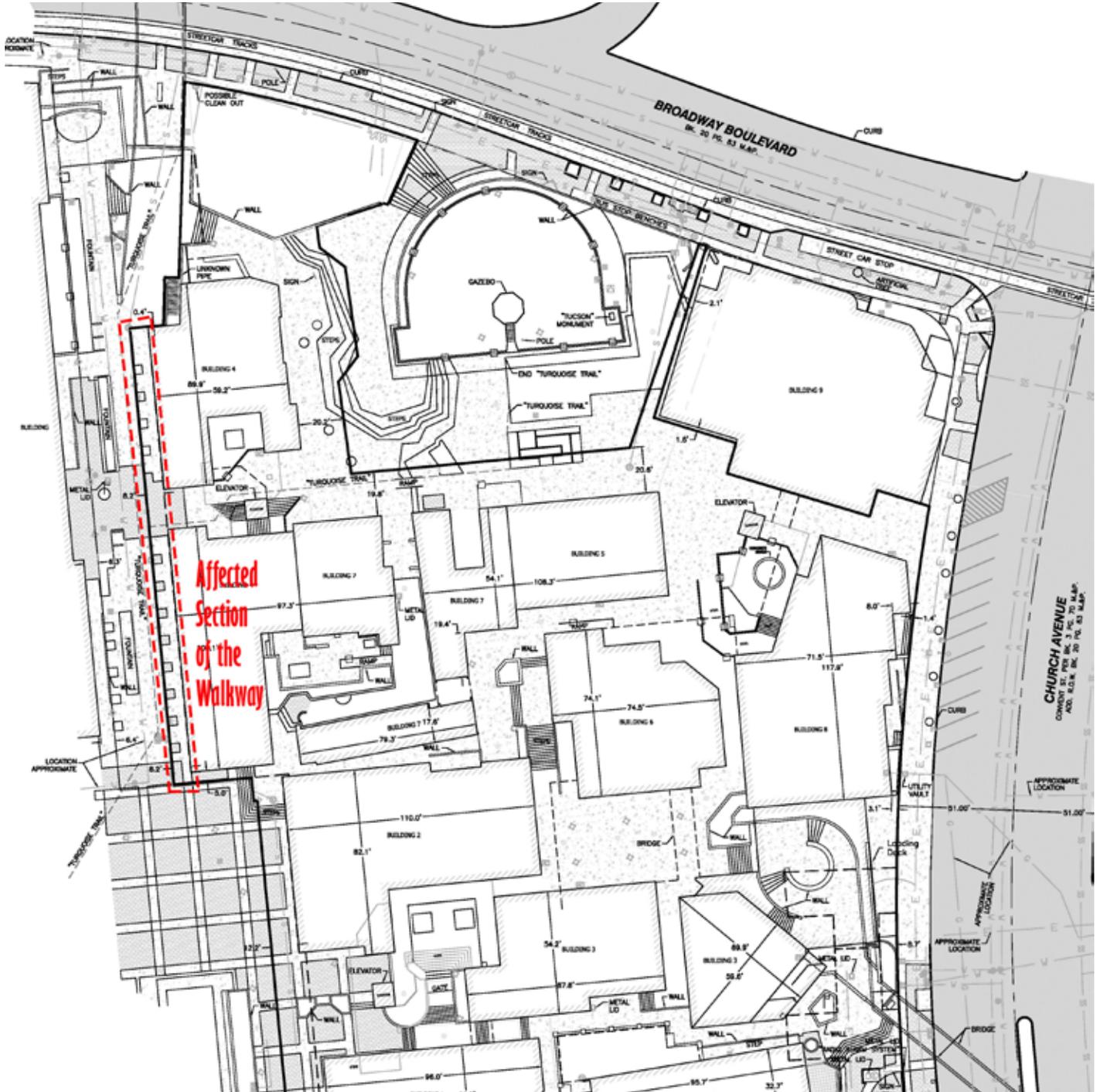
The Walkway area is part of the National Register-listed Tucson Community Center Historic District that encompasses a larger area. Its listed significance is as an outstanding example and exceptionally significant work of landscape architect Garrett Eckbo. The Walkway possesses a high degree of the seven aspects of historical integrity, with minor alterations and



View to South of on-site section



View to North on on-site section





La Placita basement after building demolition



8 ft. of paving is supported on steel columns

additions of the pedestrian furnishings. Some of the concrete paving has been patched or replaced as well.

Treatment Approach

The recommended treatment of the landscape, in National Parks Service terms, is “Preservation” with “Reconstruction” of impacted elements.

Treatment Plan

The plan for redevelopment of the La Placita site as a mixed-use, multifamily structure (“The Flin”) includes abandonment of the outer 8 feet of basement along the western edge of the site and construction of a new retaining wall in line with the new building face, which will largely align with the footprint of the old La Placita buildings. This will require the demolition of the supporting beam line to make way for the new retaining foundation wall that will be constructed in its place. The removal of the beam line makes it infeasible to preserve the on-site portion of the Landscape paving in place.

The on-site paving will be removed for construction of the new building, after which it will be replicated. Removal will include sawcutting along an existing score line in the paving that occurs on the property line. The concrete will be reconstructed of new materials but matching the historic scoring patterns and surface texture. The brick paving areas will be reconstructed using salvaged original brick matching the original patterns. The above-grade planters will be reinstalled in their original positions and will be replanted with new trees, of species to be determined through consultation with the city, either the original species or a compatible alternative.

Implementation Plan

Project Timeline

The schedule for the project overall (including adjacent apartment units) is uncertain as of the date of this Plan.

The design and construction of the apartments will dictate the schedule for moving forward on the historic buildings. The apartments will take about 20 months to build, while the historical rehabilitation is expected to take under a year for design, approvals, and construction. The intention of the project is to be able to undertake the historic building rehabilitations such that they are completed at the same time as the new construction elements.

As shown in the graphic below, the new construction (apartments) is planned for completion in about August, 2020. The process for design and construction of the Cano Drug/Hop Lee Building will commence about one year prior to substantial completion of the apartments, with Design Review submission approximately 9 months prior. The timeline will become certain when permits are issued

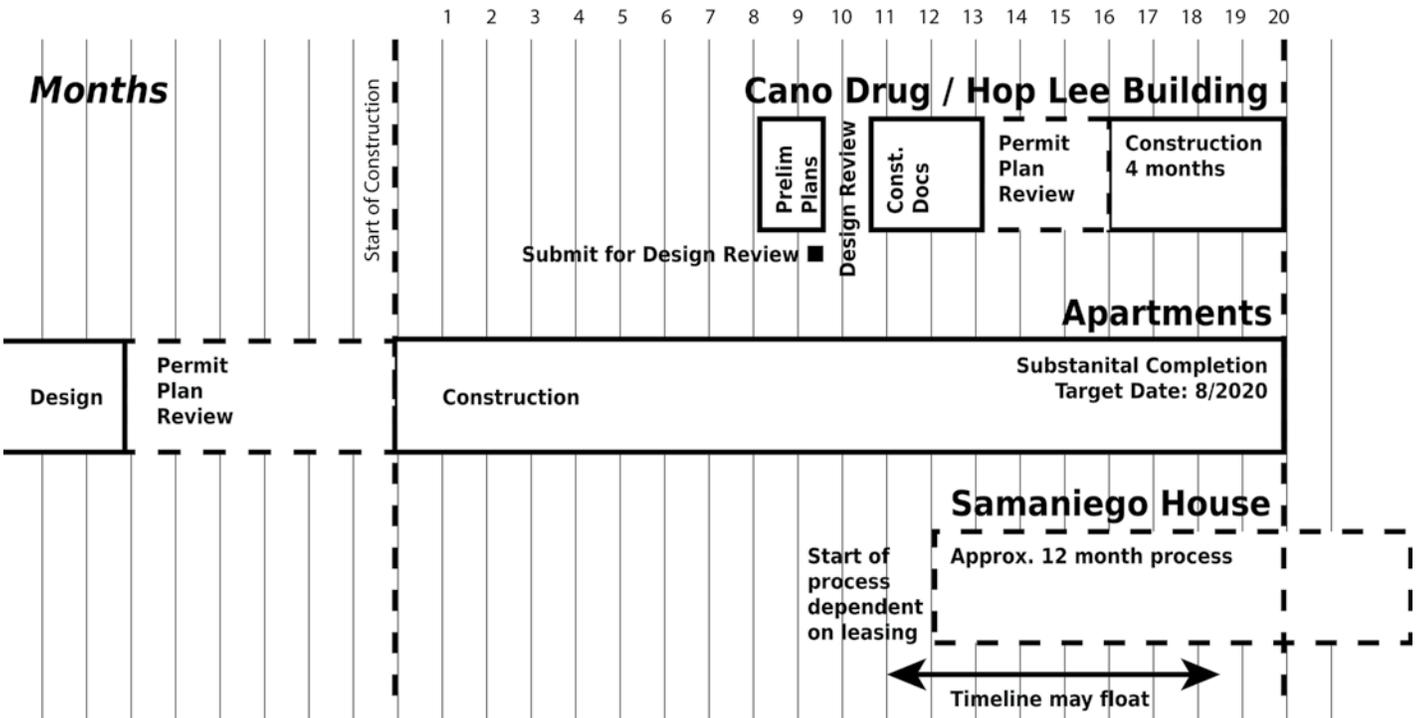
for the apartments and when the exact construction duration is established.

While it would be ideal for the Samaniego House to follow the same timeline, no user has yet been identified for this building. Little, if any, shell improvement needs to be done to make this building leasable. Therefore, while the Samaniego House Design Review submission may be concurrent with the Cano Drug/Hop Lee Building, if no tenant has been identified, this submission will be delayed until such time as a user has been identified and a preliminary remodel plan can be developed. As a preliminary plan, the Samaniego house project would begin about 12 months after start of apartment construction.

Protection and Contingency Plan

The Protection Plan is intended to protect and preserve the historic buildings and features from the commencement of demolition through the completion of construction.

Protection of the historic resources will include installation of physical barriers and protective



Project Timeline

coverings, monitoring of existing cracks, periodic inspections to identify any new damage, and implementation of site intrusion detection and protection systems at times when the site is not staffed. The primary contact for alarm or movement notifications will be identified in consultation with the city of Tucson Preservation Officer. In addition to notifications, logs will be maintained by the General Contractor of all monitoring activities. Logs and any underlying measurement data will be available to City staff for review on request.

Risk: Criminal Activity (Vandalism, Theft)

The overall construction site will be fenced with a chain link construction fence 6 feet in height. During most of the construction period, the contractor expects that the site will be staffed nearly 24 hours a day 7 days a week. The exception would be in the earliest stages of construction when on-site time may be more limited. On-site visual monitoring will be supplemented for off-hours and in visually inaccessible areas of the site by motion sensing camera and alarm systems. All exterior openings in historic buildings will be boarded and secured, except for one or two padlocked entries, until such time as work on these buildings commences.

Risk: Weather damage

Roofs on all buildings will be inspected to ensure they are watertight. The roofs will be repaired, if necessary. The remainder of the buildings' exterior envelope will be inspected and, if necessary, secured against wind damage and against driving rain. Following all weather events, the interior of each historic building space will be inspected for signs of leakage or other damage, and all sources of such weather intrusion will be repaired.

Risk: Flooding

As part of the overall design of the project, the existing site grades have been verified. The project Civil Engineer will examine the areas around the historic buildings to ensure that positive drainage away from the buildings exists. In the grading and drainage design of the project positive drainage will be maintained. During construction, and as a part of the periodic inspection of the buildings' condition, the

grades around the building will be inspected to ensure that temporary construction conditions cannot cause water to be retained around the historic buildings.

Risk: Damage from Adjacent Construction

Physical Impact: To the extent feasible given the limitations of the site area, the historic buildings and adjacent historic properties will be barricaded and/or fenced with construction fencing to create a 5-foot buffer zone on all sides. In the event the buffer line must be removed or relocated to allow for nearby construction work, a spotter will be designated within the construction team to guard against building impacts for the period the buffer line is down and while construction work is progressing.

Earth Vibration: The risk to historic features due to construction vibration is thought to be minimal because (1) large scale building demolitions are nearly complete; (2) the major excavations for basements and foundations on the site will be reused from the prior La Placita project, and (3) in the case of the Samaniego House, the building structure is of reinforced concrete block. Therefore, vibration protection protocols will focus on watching for its potential effects and responding appropriately. The buildings will be examined to locate any existing cracks in the walls. Calibrated crack monitors will be installed in several locations around each historic building. The monitors will be checked daily for signs of movement while construction operations are taking place. If any movement is encountered, construction will cease until qualified engineering consultants have evaluated the movement, have made recommendations to avoid further movement, and the recommendations have been implemented.

Tucson Community Center Historic District, Walkway: Historic brick pavers, historic concrete planters, and historic light posts within the construction area will be removed and stored. Obelisks will be protectively boarded. Construction fencing will separate the historic landscape area from construction operations. In the event that damage is inadvertently caused by construction, it will be promptly repaired.

Risk: Fire

While the buildings had fire sprinkler systems, these systems were integrated with other buildings on the site and cannot feasibly be kept in service. Fire risk will be mitigated through implementation of the security measures noted above as well as by eliminating potential fire risks from the historic buildings. Electrical systems will remain de-energized until rehabilitation commences. The buildings will not be used for construction storage.

Appendix A:

La Placita Property Historic Timeline

Date	Event	Source
Pre-1862	La Plaza de la Mesilla (aka La Placita) defined	La Placita ROPE
1863-8	San Augustine Church built	La Placita ROPE
1870-1880	Property on Plaza de la Mesilla has "Sewing Machines" in front-center building and "Horse Shed" in back. Property on south side of Jackson St. marked "M.G. Samaniego."	George Hand's Map of 1870-1880 Tucson
1875	Julius Flin arrives in Tucson	Flin ROPE / Arizona Star obit
1875-83	Samaniego house built	Samaniego ROPE/1969 survey
1881	Earliest listing for "Lee Hop Laundry" - 18 Camp St. 16 Camp St. listed as Mercer, Howard	1881 Tucson Directory
1885 - Jun 9	Estate of Jose Maria Martinez sells north property (Lot 4, Block 214) to Julius Flin	PCR Bk. 13 P. 117
1897	Hop lee laundry, 134 W. Camp St. Los Angeles Restaurant, Lien You Sing, prop., 136-44 W. Camp St Heng Lee Restaurant, 14 Church plaza	1897 Tucson Directory
1899	Hop Lee Laundry, 134 W. Camp St. - Res. Same	1899 Tucson Directory
1901	Hop Lee, Laundry - Residence 134 W. Camp St. Delmonico Restaurant, Jim Lee Co. Prop 136-144 W. Camp St.	1901 Tucson Directory
1902	Hop Lee Laundry - 134 W. Broadway Delmonico Restaurant - Jim Lee Co., Prop - 144 W. Broadway	1902 Tucson Directory
1912	Hop Lee Laundry - 124 (sic) W. Broadway Union Restaurant - Jose Montoya, prop - 144 W. Broadway	1912 Tucson Directory
1913-1914	No relevant listings found for north building	1914 Tucson Directory
1915 - January	Julius Flin Dies	Flin ROPE / Arizona Star obit
1917	Hop Lee Laundry 134 W. Broadway Mrs. Maria Flores Restaurant 144 W. Broadway	1917 Tucson Directory
Jan 18, 1918	"Original Town of Tucson" plat recorded, showing 136-144 Camp as one parcel. (Lot 4, block 214)	Book 3 of maps P. 71 PCR
1919	Hop Lee (Indy) - 134 Mrs. Maria F. Flores (Puerto Rica Restaurant) - 144 (rooms)	1919 Tucson Directory
1920	Hop Lee (Lndy) - 134 W. Broadway Mrs. Dolores Salazar restaurant - 144 W. Broadway (head)	1920 Tucson Directory
1920	City widens Broadway, condemns portion of north edge of property	Referenced in PCR Bk. 3156, P. 420, 12/26/1967
1921	Maria Zazueta (rest) - 144 (no residence listed) Hop Lee laundry 144 W. Broadway (sic) Juan Fierros (tamales) - 7 Convent	1921 Tucson Directory

1922	Lee Hop (Lndy) 136 W. Broadway Kee Tong (Chop Suey and Noodles) 140 W. Broadway Juan Fierros (Felicitas) (Rest) - 144 W. Broadway (no residence indicated)	1922 Tucson Directory
1922	El Charro established by Monica Flin on 4th Avenue	Flin ROPE / El Charro website
1923	Hop Lee Laundry - 136 W. Broadway Tong Kee Café - 140 W. Broadway Juan Fierros (rest) - 144 W. Broadway (no residence indicated) (No listing for Flin, nor El Charro)	1923 Tucson Directory
1924	Hop Lee Laundry - 136 W. Broadway Vacant - 140 W. Broadway Broadway Restaurant - 144 W. Broadway (no listing for Fierros)	1924 Tucson Directory
1926	Hop Lee - 136 Gee Sing - 140 Juan Fierros - 144 (no residence listed)	1926 Tucson Directory
1927	Vacant - 136 Chong Sing (noodles) - 140 Juan Fierros (restr) - 144 (r)	1927 Tucson Directory
1928 - June 14	Steven Flin sells share of property to Frances F. Cano, et. al	PCR Bk, 131 P. 109
1928 - Nov. 1	Fedinand Tully & Louise B. Tully sell share of ownership to M.R. Cano & Frances Flin Cano	PCR Bk. 129, P. 431
1928 - Nov. 5	Rafael R. Flores & Lydia Flin Flores sell share of property to M. R. Cano & Frances Flin Cano	PCR Bk. 131 P. 110
1928	Gee Hing (Groc) - 136 Chung Sing (noodles) - 140 Juan Fierros (restr) - 144	1928 Tucson Directory
1929	Gee Hing (Groc) - 136 Chong Sing (noodles) - 140 Juan Fierros (restr) - 144	1929 Tucson Directory
1929-1930	2-Story brick building replaces former adobe; Cano Drug Store opens July, 1930 at 144 W. Broadway	Sanborn maps, physical inspection, Arizona Star, July 1930
1930	Faustino Hendez (barber) - 136 Juan Fierros (restr) - 140 - (h) Vacant - 144	1930 Tucson Directory
1931	Inez Valdes (books) - 136 Gim Mow Co. (curios) 140 Cano's Drugs - 144 Miguel R. Cano (Frances F) (r)	1930 Tucson Directory
1932	Vacant - 136 Gin Mow Co. (curios) - 140 Cano's Drugs - 144	1932 Tucson Directory
1934	Vacant - 136 Cano's Drugs - 144 Chinese - 146	1934 Tucson Directory

1935	Vacant - 136 Cano's Drugs - 144 Chinese - 146	1935 Tucson Directory
1936	San Augustine Church demolished	La Placita ROPE
1936	Mrs. Monica Fernandez (restr) - 136 Cano's Drugs - 144 - Miguel R. Cano (r) P. M. Corke - 146	1936 Tucson Directory
1941	El Charro Rest - 140 Miguel. R. Cano (wife Frances) (drugs) - 144 - residence 146 Chinese - rear	1941 Tucson Directory
1943	Cano Drug Store located at 339 S. Stone	Tucson Citizen 1/11/1943
1946, Apr. 11	Miguel Cano and wife Frances sell property to Monica B. Flin, a single woman	PCR Bk. 1152, P. 554
1948	El Charro café, Monica Flin - 140 A. B. Nanez - 146	1948 Tucson Directory
1952	El Charro - 140	1952 Tucson Directory
1955	La Placita landscaping & Gazebo designs by Guy Greene ASLA and Henry Jaastad	La Placita ROPE
1960	El Charro - 140 Flin Monica Mrs. - 140 (r) Vacant - 146	1960 Tucson Directory
1965	El Charro property photographed	Flin ROPE
1967 - Dec. 26	Monica Flin sells property to the City of Tucson	PCR Bk. 3156 P.420
1967	Society for the Preservation of Tucson's Plaza de la Mesilla (aka La Placita committee) formed	La Placita ROPE
1968	Barrio Demolition	Flin ROPE / Tucson Daily Citizen
1969 - Sept.	Tucson Historical Sites survey completed	Survey document
1973	La Placita Village constructed	
1974	Stables building rehabilitated by Adela Palafox and architect Fred Palafox	Flin ROPE / Tucson Daily Citizen

Notes:

ROPE = Request of Potential Eligibility document to State Historic Preservation Office

PCR = Pima County Recorder office recorded deeds

Appendix B:

Existing Conditions Documentation

1. Cano Drug Store/Hop Lee Laundry



East side, north end



East side, north end



East side, north end



East side, north end



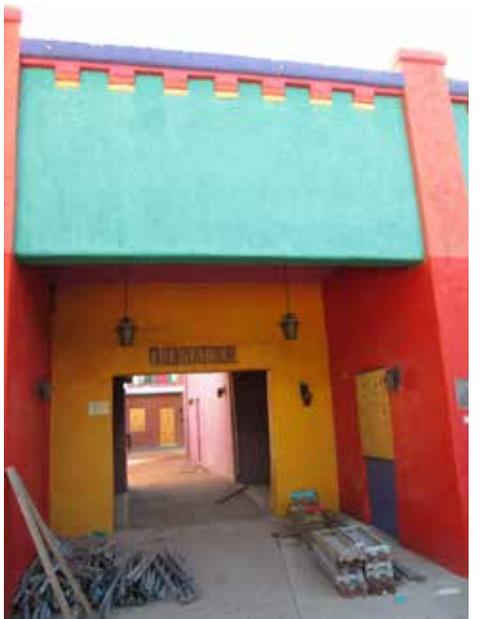
Northeast corner



North side, east bay



North side, east dividing pier



North side, center bay



North side, west bay



North side, east half Cano



North side, west half Cano



North breezeway, to SW



North breezeway, to SE



North breezeway, to NW



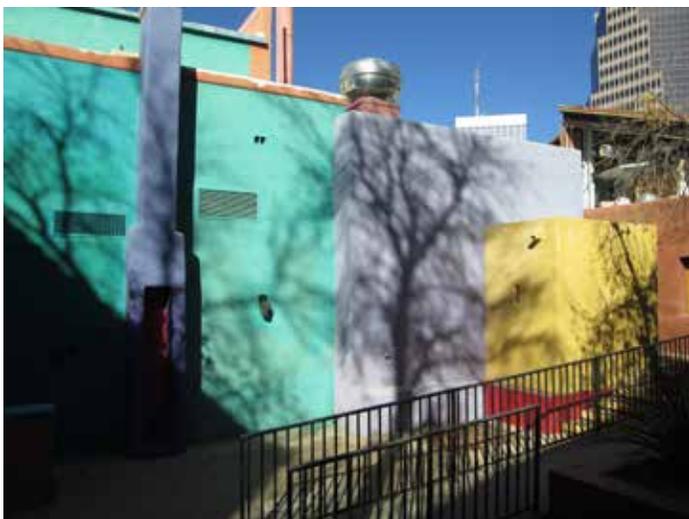
East side, west bay



East side, west bay



Southeast corner, west bay



South side, center bay and Cano



South side, Cano



Center bay, south side



West side at room 11



West side at rooms 10-11



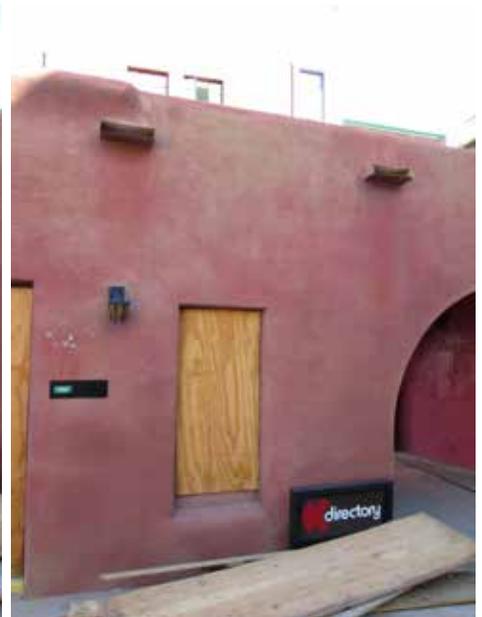
West side at room 10



West side at room 9



Wes side at room 8



West side at room 8



West side at room 7



North side at room 5



North side at rooms 4-5



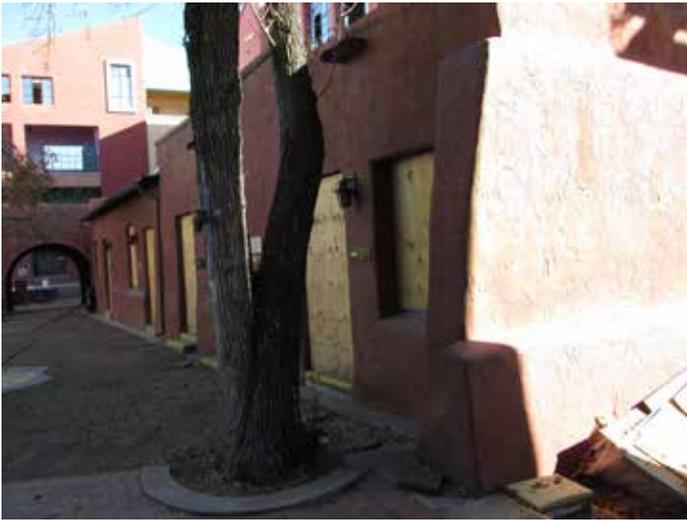
North side at rooms 3-4



North side at rooms 2-3-4



North side at rooms 1-2



Northwest corner of back L



West side room 1



Southwest corner of back L



Southwest corner of back L



South side rooms 1-2



South side at rooms 2-6



South side at rooms 2-6



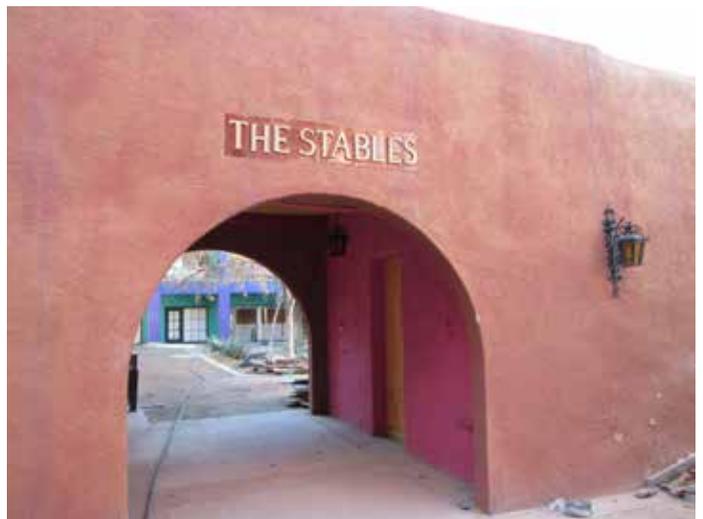
South side at Room 4



South side base at room 6



South side L to NW



East side at room 7



East side at room 6



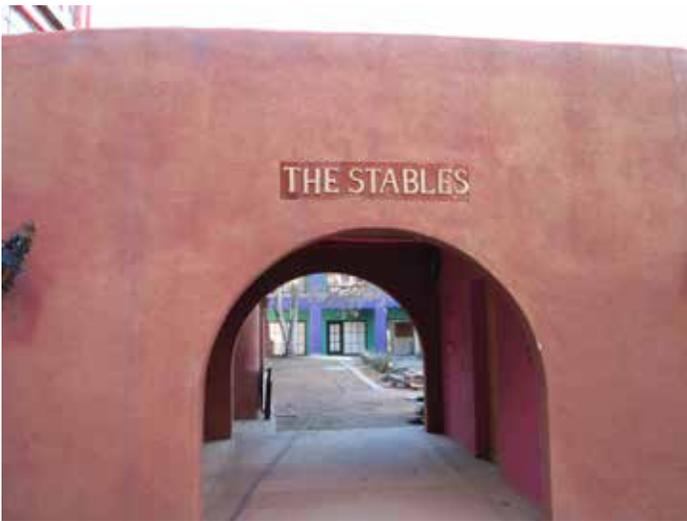
East side at room 6



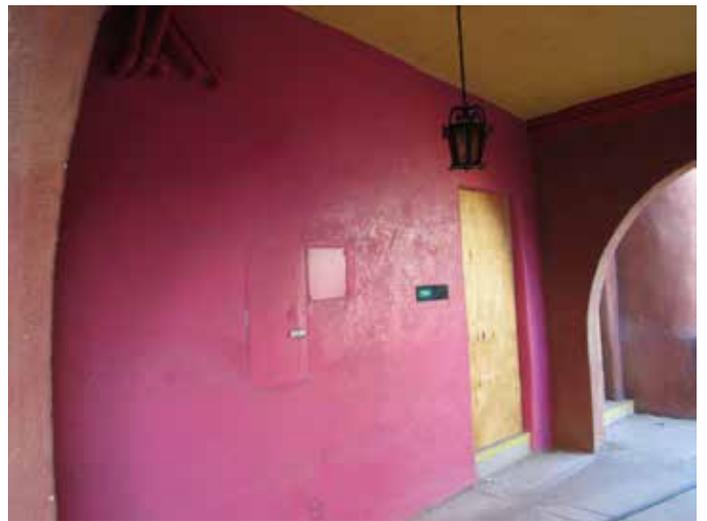
East side at rooms 8-9



East side at rooms 7-9



East side room 7



North side room 6



South side room 8



Ceiling of room 7 south breezeway

2. Samaniego House



East side, south end



East side, north end



East side, to SW



East planter, to SE



North side to SW



Northeast corner



North side, east end



North side, east entry



North side, east gable



North side



North side east of west entry



North side west of west entry



Northwest corner



West side utility enclosure



West side to NE



West side to SE



South side, west end



South side at kitchen entry



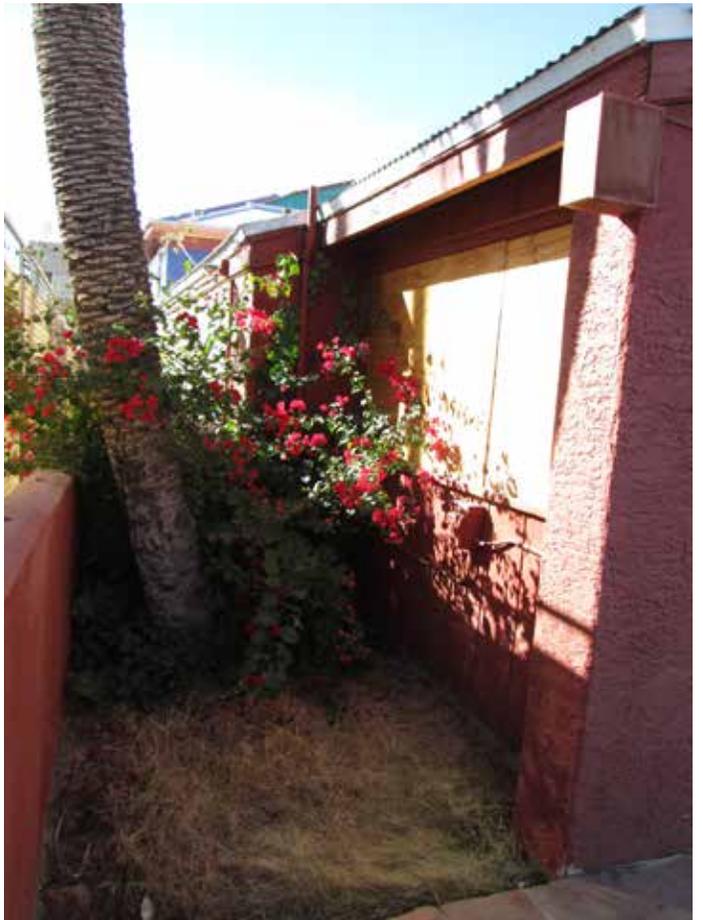
South side east of kitchen entry



South side at west end of bar



South side, east end



South side, to NW

3. Tucson Community Center Historic District - Walkway



Precast concrete obelisks



Obelisk after protection



Obelisk after protection



North end sculpture



North end sculpture



General view to south; construction fence is roughly on the property line



Planter and stump near north stairs



North end paving on-site



North end paving, off-site, to N



Water feature and benches



Concrete paving & trench drain



Water feature and paving



Water feature detail



General view to north



Overhanging paving, to NW



Overhanging paving, to SW



Pedestrian furnishings



Pedestrian furnishings



Bench Detail



Salvaged Planters

5 - PRE-APPLICATION SUBMITTAL COMMENT RESPONSE

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

14 April 2017

City of Tucson Planning & Development Services
201 South Stone Avenue
Tucson, Arizona 85701

RE: Responses to Pre-application Submittal Comments for La Placita Village – Infill Incentive District – Downtown Core Subdistrict

Cypress Civil Development has compiled the following responses to the various comment letters received from City of Tucson staff reviewers for the above mentioned project. The responses are listed by heading below:

Comments from Paul Baughman – Engineering

Comment 2 – Retention has been addressed and drainage report accompanied the Development Plan Package submittal. 1st review comments are provided within this Design Package.

Comment 3 – Maximum water harvesting has been provided. See Development Plan Package submittal and 1st review comments.

Comment 4 – A drainage report accompanied the Development Plan Package submittal. 1st review comments are provided within this Design Package.

Comments from Steve Teneo – Transportation

Comment 1 – A traffic report and analysis was conducted and provided to TDOT for review with the Development Plan Package.

Comment 2 – Acknowledged. The goal of the development project is to maintain access to the norther pedestrian paths along Broadway Boulevard.

Comment 3 – Acknowledged. Multiple meetings with TDOT and PDSO regarding Broadway, Church, and future staging areas have been conducted. Communication is ongoing and remains productive.

Comments from Thomas Ryan – Environmental Services

Comment 1 – Acknowledged. Waste rooms will be contained within the building footprint.

Comment 2 – Complied. Per 1st Development Plan submittal, the Trash service design has been APPROVED by Environmental Services.

Comments from Howard Dutt – Parks

Comment 1 – Complied. Park lines are clearly delineated.

Comment 2 – Complied. Communication has been open and on-going with Elaine Beckerer regarding Eckbo Landscape.

These comments addressed are the only comments received by CYPRESS for this project as of the date of this letter. If you have any questions, please do not hesitate to contact the undersigned.

Sincerely,
Cypress Civil Development



Matt Stuart
Project Manager

CASE INFORMATION

(To be completed by PDS staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01): IID-16-09

Related Permitted Activity Number(s): T16SA000431

Review Process (E.g. HPZ, DDO, IID – Major/Minor): IID- Major review

Applicable Fees: Total fees \$706 (pre-app, labels, review, IID hearing)

Pre-Application Accepted by: Carolyn Laurie

Pre-Application Meeting scheduled for: 10/31/2016 at 10AM

Additional Notes: See below

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

Additional Notes: IID Review Neighborhood Liaison Policy and IID Review process for additional information as attached. Review Section 5.12.6.D. prior to holding the required public meeting. Section 5.12.7. RNA Zoning Design Standards: provide narrative in the IID submittal which outlines how the required RNA design standards are being met. NOTE: these standards apply to all projects in the downtown core regardless of process. NOTE: these standards apply to all projects in the downtown core regardless of process. Section 5.12.10 DOWNTOWN CORE SUBDISTRICT also applies, provide narrative in the IID submittal document on how the architectural team is addressing this section.

Proposal: IID Major review. The proposed project seeks to develop a six (6) story market rate multi-family building with underground parking facilities at the corner of Broadway Boulevard and Church Avenue. The proposed building will contain approximately 240 market rate apartments and 250 ground level and below grade parking spaces. The La Placitas pedestrian bridge will come down as a portion of the redevelopment.

The proposed project is located within the IID Downtown Core Subdistrict, and the HSL development team (including Cypress Engineering and Eglin+Bresler Architects) are requesting the following development standard exemptions and modifications:

- 5.12.10.C.1 – Major Streets and Routes Setback Zone;
- 5.12.10.C.2 – Minimum Perimeter Yard standard per UDC Section 6.3;
- 5.12.10.C.3 – Maximum Lot Coverage standard per UDC Section 6.3;
- 5.12.10.C.5 – Motor Vehicle and Bicycle Parking per UDC Section 7.4;
- 5.12.10.C.6 – Off-street Loading per UDC Section 7.5;
- 5.12.10.C.7 – Landscaping and Screening standards per UDC Section 7.6;
- 5.12.10.C.8 – Native Plant Preservation per UDC Section 7.7;

and Other Permitted

- 5.12.10.D.1 – Pedestrian Access;
- 5.12.10.D.2 – Solid Waste Collection.

The HSL development team is in the process of working out easements associated with the Visit Tucson building which will not be disturbed. The Visit Tucson building currently has utilities that are tied into the La Placida development. Free standing utilities for both La Placita and Visit Tucson will be included in the future development package submittal. HSL is designing and building a freestanding elevator and updated external stairway in order for this visit Tucson site to be freestanding and meet ADA standards.

Demo and redevelopment: The current plan is to stay within the building footprint in order to utilize the pre-existing structural elements of La Placita, which is built out of concrete and steel. HSL is working on ways to utilize as much of the existing infrastructure as possible and minimize the demolition debris which will be placed in the landfill.

Historic: HSL representatives and the project engineer have completed two presentations in front of the Pima County Historic Plans review subcommittee. The first was an informal presentation, in which they requested input on how to address the following three historic structures on the property: Samaniego House, the Flin Building, and the Stables. The second was a full concept review which provided detailed information on how the consultant team wishes to adaptively reuse the historic structures on site and implement them into the new development. The committee suggested seven design principles to be integrated into the site layout and elevations. To date this process has been very positive.

Pre-application information: Outline of the IID process and timelines. The Major review will take approximately four months for completion once the document is submitted and the Zoning Compliance review has been reviewed.

Paul Baughman, engineering comments: A drainage report is required address impacts to downstream and retention drainage path should be considered throughout the site that currently exists.

1. SUMMARY: Engineering Division of Planning and Development Services Department has received and reviewed the proposed conceptual site plan for a new 6 story building.
2. Per Section 1.4 of the Detention Retention Manual (UDC 7.14.3) Five-year threshold retention is required. There appear to be trees at various locations throughout the property that provide a certain amount of retention. This retention will need to be calculated and offset by either passive and/or active water harvesting or retention.
3. Most onsite run off from paved areas will not be required to be discharged to water harvesting basins if the following code provision is waived (UDC 7.6.6C2) per the applicant request. However, maximum water harvesting to proposed landscaping areas will be required as a condition of approval.
4. Per Section 2.3.1.2A4 of the Drainage Standards Manual (UDC 7.14.4) a drainage report is required. The existing and proposed peak flows will need to be calculated and the difference mitigated. This will require the flow paths be delineated under existing and proposed conditions. Subsequent hydrologic calculations will need to show no adverse impacts to the street and existing storm drain system.

5. Per TSM 2-01.4.1C6 a soils report is required.
6. Waste Disposal Services will need to be provided per TSM Section 8.

Steve T. Department of Transportation (TDOT):

1. A traffic impact statement will be required for the project, the HSL team may build on the traffic analysis that was completed in partnership with the City of Tucson and PAG.
2. The side walk along the northern boundary must stay open during construction. Additional coordination shall be requested to address ADA and right of way issues.
3. A PDSD run coordination meeting will be set up to include Ann Chanecka and other consultants to address the construction phase of the project including: pedestrian and bike concerns, traffic mediation concerns, the TCC, and staging areas. The Broadway and Church road diet or improvements will also be included in this portion of the discussions.

Tom Ryan, with Environmental Services (ES):

1. Two waste/trash rooms will be associated for the entire project.
2. One 14 x 40 clear area will be required for both, to allow ES to access the site on a very regular basis. As long as clear area is in place no additional concerns had were noted at this time.

Howard Dutt, Parks:

1. Ensure that the parks property lines are clearly shown on all the plans.
2. Park will work with Elaine Beckerer and PDSD to ensure that the historic Ecbo design is properly integrated into the overall design of the project.

Additional information can be located on the IID webpage: <https://www.tucsonaz.gov/pdsd/infill-incentive-district-design-review-committee>

6 - DEVELOPMENT & LANDSCAPE PLAN (DP17-0038)

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

GENERAL NOTES

- OWNER:
HSL LA PLACITA, LLC
3901 EAST BROADWAY BOULEVARD
TUCSON, ARIZONA 85711
- DEVELOPER:
HSL CONSTRUCTION SERVICES, LLC
3901 EAST BROADWAY BOULEVARD
TUCSON, ARIZONA 85711
- THE EXISTING ZONING IS **OCR-2**, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USES ARE ADMINISTRATIVE & PROFESSIONAL OFFICE AND FOOD SERVICE. THE PROPOSED USES OF THE DEVELOPMENT ARE:
MULTIFAMILY DEVELOPMENT
FOOD SERVICE (EXCL. SOUP KITCHENS)
SUBJECT TO USE SPECIFIC STANDARD 4.9.9.B.1.
ALCOHOL BEVERAGE SERVICE (EXCL. LARGE BAR).
SUBJECT TO USE SPECIFIC STANDARD 4.9.4.C.3.
GENERAL MERCHANDISE SALES
SUBJECT TO USE SPECIFIC STANDARDS 4.9.9.B.2.
- THE GROSS SITE AREA IS **108,093** SQUARE FEET, OR 2.48 ACRES.
- THE TOTAL BUILDING GFA IS **416,920** SF. THE TOTAL NUMBER OF UNITS IS **244**. THE TOTAL PAVED AREA IS **17,350** SF.
- THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **100,000** SF.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- SIGNS WILL BE APPROVED PER SEPARATE PERMIT. PARKING AREA LIGHTING IS PROVIDED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.

GENERAL NOTES (cont.)

- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR OCR-2 ZONING:

RESIDENTIAL DENSITY CALCULATION:
MAXIMUM = N/A
ACTUAL = 244/2.48 = 100 UNITS/ACRE

MAXIMUM BUILDING HEIGHT = 300'
ACTUAL BUILDING HEIGHT = 80.5'

BUILDING SETBACKS:

NORTH (STREET)	REQUIRED	PROVIDED
EAST (STREET, FRONT)	81.5'*	78.8' MIN.
SOUTH	81.5'*	16.2' MIN.
WEST	0'*	9.7' MIN.
	0'*	0.1' MIN.

*SEE IID NOTE ____, SHEET 2.

NOTE: NORTH + EAST SETBACKS ARE MEASURED FROM THE BACK OF EXISTING CURB. SOUTH + WEST SETBACKS ARE MEASURED FROM THE PROPERTY LINE.

- MOTOR VEHICLE PARKING REQUIREMENTS:
FOR MULTIFAMILY RESIDENTIAL (OVER 70 UNITS/ACRE):
1.25 SPACES PER UNIT. THE TOTAL NUMBER OR UNITS IS 244.
FOR COMMERCIAL SERVICES USE GROUP (FOOD SERVICE):
1.00 SPACE PER 100 SF GFA
FOR RETAIL USE GROUP:
1.00 SPACE PER 300 SF GFA

UNITS= 244*1.25 = 305 SPACES
BUILDING #7 FOOD SERVICE= 1,165/100 = 12 SPACES
BUILDING #7 RETAIL= 1,330/300 = 4 SPACES
BUILDING #10 FOOD SERVICE= 3,336/100 = 33 SPACES
TOTAL REQUIRED = 354 SPACES

TOTAL PROVIDED = 293 SPACES*
NOTE: TOTAL PROVIDED INCLUDES 18 TANDEM SPACES AND 94 COMPACT, SEE PARKING PLAN

ACCESSIBLE SPACES REQUIRED = 7 SPACES
ACCESSIBLE SPACES PROVIDED = 8 SPACES
(NOTE: 4 OF WHICH ARE VAN ACCESSIBLE)

VAN ACCESSIBLE SPACES REQUIRED = 2 SPACE
VAN ACCESSIBLE SPACES PROVIDED = 4 SPACES

BICYCLE PARKING:
SHORT TERM: 0.1 SPACES PER BEDROOM (2 MIN.) 1 SPACE PER 2,000 SF GFA FOOD SERVICE USE (2 MIN.) 1 SPACE PER 5,000 SF RETAIL GFA (2MIN).

BEDROOM= 0.1*424 = 42 SPACES
BUILDING #7 FOOD SERVICE= 1,165/2000 = 2 SPACES
BUILDING #7 RETAIL= 1,330/5000 = 2 SPACES
BUILDING #10 FOOD SERVICE= 3,336/2000 = 2 SPACES
TOTAL REQUIRED = 48 SPACES

TOTAL PROVIDED = 34 SPACES**

LONG TERM: 0.5 SPACES PER BEDROOM (2 MIN.) 1 SPACE PER 12,000 SF GFA FOOD SERVICE USE (2 MIN.) 1 SPACE PER 12,000 SF RETAIL GFA (2MIN).

BEDROOM= 0.5*424 = 212 SPACES
BUILDING #7 FOOD SERVICE= 1,165/12,000 = 2 SPACES
BUILDING #7 RETAIL= 1,330/12,000 = 2 SPACES
BUILDING #10 FOOD SERVICE= 3,366/12,000 = 2 SPACES
TOTAL REQUIRED = 218 SPACES

PROVIDED = 244 SPACES***
PROVIDED = 6 SPACES****
TOTAL PROVIDED = 250 SPACES

***ONE LONG-TERM SPACE IS PROVIDED WITHIN EACH UNIT. SEE DETAIL A, SHEET 11.
****LONG-TERM SPACES ARE PROVIDED AS STORAGE UNITS WITHIN THE ENCLOSED REFUSE AREA

LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 0 SPACES

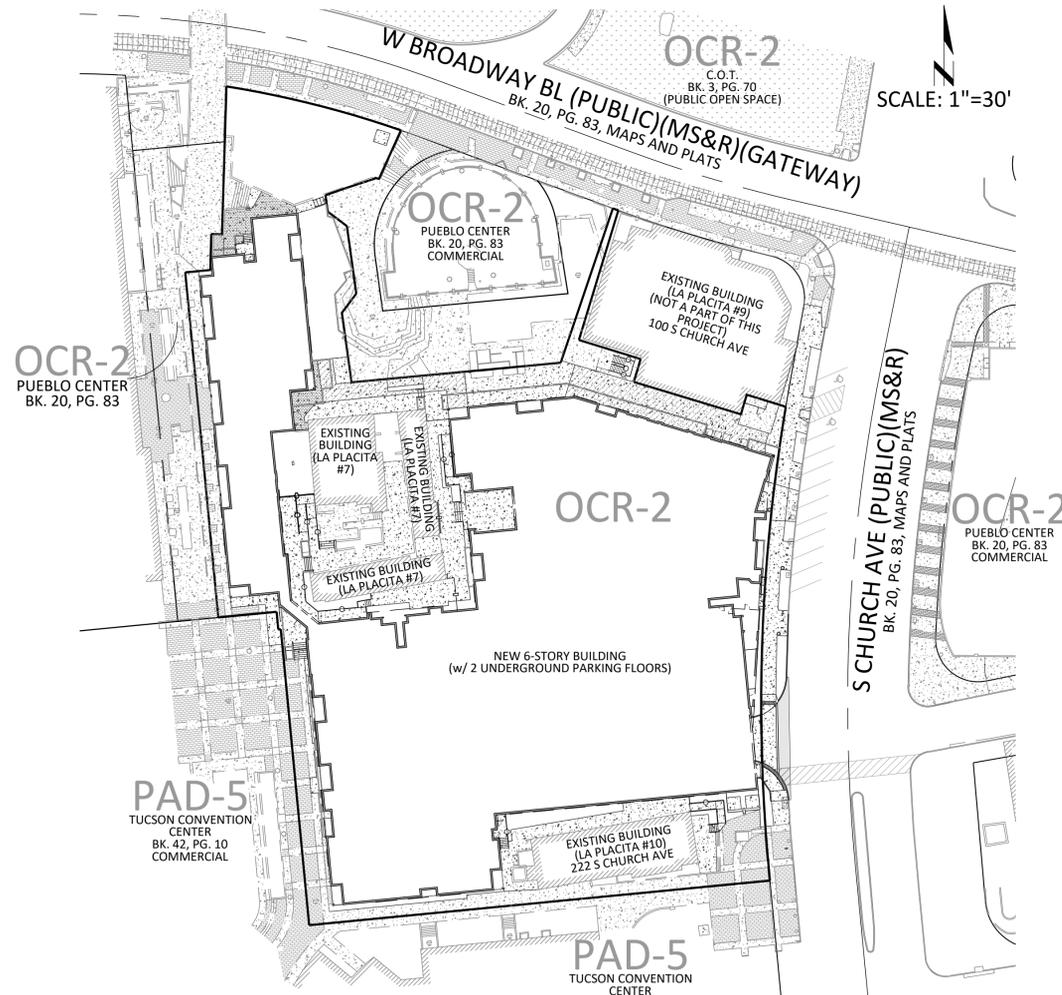
*SEE IID GENERAL NOTE ____, SHEET 2.
**SEE IID GENERAL NOTE ____, SHEET 2.
- WASTE STREAM CALCULATION:

PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 2,376.2 TONS OF SOLID WASTE PER YEAR (EQUATING TO 30,464 GALLONS PER WEEK). A MINIMUM OF 150.8 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.
NOTE: THIS PROJECT WILL BE PROVIDING TRASH COMPACTORS, DECREASING THE TOTAL VOLUME TO APPROXIMATELY 38 CUBIC YARDS.

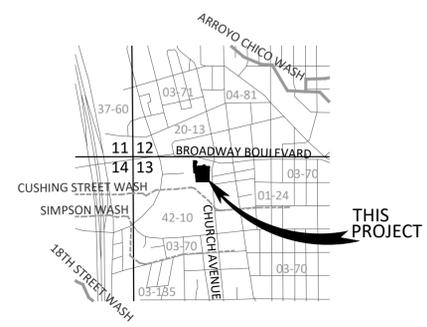
THIS WILL BE ACCOMPLISHED BY 12 CUBIC-YARDS OF TRASH COLLECTION AND 12 CUBIC-YARDS OF RECYCLABLES COLLECTION BEING PICKED UP SEVEN TIMES PER WEEK.

THE BUILDING OWNER'S FACILITY PERSONNEL WILL BE RESPONSIBLE FOR ROLLING OUT THE TRASH BINS TO THE SPECIFIED LOCATION & DURING THE SPECIFIED TIME OF SERVICE. SHORTLY AFTER SERVICE IS COMPLETE, THE BINS WILL BE REQUIRED TO BE ROLLED BACK INTO THE BUILDING. SEE IID GENERAL NOTE ____, SHEET 2.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R); UDC SEC. 5.5, GATEWAY CORRIDOR ZONE (GCZ); AND UDC SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID).
- THAT PRIOR TO THE CITY'S APPROVAL OF ANY CONSTRUCTION PERMIT FOR A PERMANENT BUILDING, THE PROPERTY OWNER SHALL RECORD THE AVIGATION EASEMENT PRIOR TO THE SUBDIVISION PROCESS WHICH DISCLOSES THE EXISTENCE, AND OPERATIONAL CHARACTERISTICS OF THE TUCSON INTERNATIONAL AIRPORT TO FUTURE OWNERS OR TENANTS OF THE PROPERTY AND FURTHER CONVEYS THE RIGHT TO THE PUBLIC TO LAWFULLY USE THE AIRSPACE ABOVE THE PROPERTY. THE CONTENT OF SUCH DOCUMENTS SHALL BE ACCORDING TO THE FORM AND INSTRUCTIONS PROVIDED.

DEVELOPMENT PACKAGE for THE FLIN



PROJECT OVERVIEW PLAN



SHEET INDEX

- COVER SHEET
- NOTES
- PROPERTY PLAN
- SITE PLAN (NORTH)
- SITE PLAN (SOUTH)
- PARKING PLAN
- GRADING + DRAINAGE PLAN (NORTH)
- GRADING + DRAINAGE PLAN (SOUTH)
- UTILITIES + EASEMENTS PLAN (NORTH)
- UTILITIES + EASEMENTS PLAN (SOUTH)
- DETAILS
- STORM WATER POLLUTION PREVENTION PLAN
- LANDSCAPE PLAN
- LANDSCAPE PLAN
- IRRIGATION PLAN
- IRRIGATION PLAN
- LANDSCAPE DETAILS
- IRRIGATION DETAILS
- IRRIGATION DETAILS
- SPECIFICATIONS
- SPECIFICATIONS
- SPECIFICATIONS

ARCHITECT

EGLIN AND BRESLER ARCHITECTS
7391 EAST TANQUE VERDE ROAD
TUCSON, ARIZONA 85715
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PH: (520) 885-4455
E: info@eglinbresler

LANDSCAPE ARCHITECT

ARC STUDIOS INC.
3117 EAST FLOWER STREET
TUCSON, ARIZONA 85716
ATTN: ERIC BARRETT
PH: (520) 882-9655
E: erb@arcstudiosinc.com

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ per letter in SIRE

CYPRESS PROJECT NO: 15.095

2030 east speedway boulevard suite #110
tucson, arizona 85719
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CYPRESS CIVIL DEVELOPMENT
Strength + sustainability

PROFESSIONAL ENGINEER
37307 RICHARD ST MACIAS
ARIZONA, U.S.A.
Expires 03/31/2027

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN cover sheet



DP17-0038
REF: T17SA00196

GENERAL PAVING + GRADING NOTES

- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):

TOTAL CUT	TOTAL FILL	COMPOSITE
35,926 CY	0 CY	17,963 CY (C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.
- A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION/CERTIFICATION OF OCCUPANCY, RELEASE OF ASSURANCES OR MODULAR PERMITS.

GENERAL PAVING + GRADING NOTES (cont.)

- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PSDS PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PSDS ENGINEERING AT 791-5550 EXTENSION 2101, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velocityhall.com/accela/velohall/index.cfm?city=tucson&state=arizona>
- ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY PROTEX THE PT EXPERTS LLC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED FEBRUARY 9, 2016, PROTEX PROJECT NO. 5103.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

SWPPP NOTES

- SEE THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN AS A PART OF THIS GRADING PERMIT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT.
- ALL REMAINING DISTURBED AREAS NOT OTHERWISE ALREADY TREATED SHALL BE STABILIZED IN A FINAL MANNER IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. A NOTICE OF TERMINATION TO CLOSE OUT THE SWPPP'S NOTICE OF INTENT CANNOT BE FILED WITH ADEQ UNTIL THESE FINAL STABILIZATION MEASURES ARE APPLIED.
- THE CONTRACTOR SHALL REMOVE THE FINE MATERIALS FROM THE BOTTOM OF THE DETENTION/RETENTION BASIN AND SCARIFY THE BASIN BOTTOM ONCE THE CONSTRUCTION ACTIVITIES ARE COMPLETED IN ORDER TO REMOVE ANY FINE MATERIAL BUILD UP CAUSED BY CONSTRUCTION AND TO RESTORE SOIL PERCOLATION. INSTALL BMP'S AT THE BASIN INLET(S) TO PREVENT THE FINES FROM ENTERING THE BASIN.

SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE CENTERLINE OF CHURCH AVENUE (FORMERLY COVENANT AVENUE) AS SHOWN ON THE "PUEBLO CENTER" PLAT AS RECORDED IN BOOK 20, PAGE 83 OF MAPS AND PLATS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID LINE IS **N 05°29'22" W**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS CITY OF TUCSON BENCHMARK "12" OF FIELD BOOK 1989X, PG. 2, DESCRIBED AS A "BCSM STAMPED LS1144 IN SIDEWALK S/E COR. CHURCH AND BROADWAY". THE ELEVATION OF SAID BENCHMARK IS **2,381.587'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY: POLARIS LAND SURVEYING, LLC
3528 NORTH FLOWING BELLS ROAD
TUCSON, ARIZONA 85705
ATTN: MR. TODD A. HOUT, AZ RLS #35543
PH: (520) 322-6400
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

LEGEND

	RIGHT-OF-WAY		EXISTING FIRE HYDRANT
	PROJECT BOUNDARY LINE		EXISTING ELECTRIC MANHOLE
	OTHER PARCEL LINE		EXISTING ELECTRICAL EQUIPMENT
	ROADWAY CENTERLINE		EXISTING TRANSFORMER
	EXISTING EASEMENT		EXISTING COMMUNICATION PEDESTAL
	EXISTING CONTOUR		EXISTING COMMUNICATION MANHOLE
	NEW CONTOUR		EXISTING TELEPHONE PEDESTAL
	SPOT ELEV. (NEW GRADE)		EXISTING LIGHT PULL BOX
	SPOT ELEV. (EXIST. GRADE)		EXISTING UNKNOWN UTILITY
	EXISTING CURB		EXISTING CONDENSING UNIT
	EXISTING PAINT STRIPE		NEW SEWER
	EXISTING CONCRETE		NEW WATER
	EXISTING FENCE		NEW FIRE SERVICE
	NEW CURB		NEW SIGN
	NEW PAINT STRIPE		NEW STORM DRAIN PIPE
	NEW CONCRETE		NEW SEWER CLEANOUT
	NEW ELEVATED CONCRETE SLAB		NEW SEWER MANHOLE
	NEW 5" CONCRETE SLAB		NEW WATER METER
	NEW CONCRETE FINISH		NEW BACKFLOW PREVENTER
	NEW FENCE		NEW IRRIGATION BOX
	NEW RAILING		NEW FIRE HYDRANT
	NEW WALL		SURVEY MONUMENTATION AS NOTED
	NEW ASPHALT		PARKING SPACE COUNT
	EXISTING PARKING METER		ZONING DIVISION
	EXISTING SIGN		RIGHT-OF-WAY
	EXISTING STREET/TRAFFIC LIGHT		RECORDED DISTANCE
	EXISTING FLOOR DRAIN		RADIUS
	EXISTING STORM DRAIN MANHOLE		CONCRETE
	EXISTING STORM DRAIN PIPE		LOW POINT
	EXISTING SEWER		HIGH POINT
	EXISTING WATER		GRATE
	EXISTING UNDERGROUND ELECTRIC		FINISHED FLOOR ELEVATION
	EXISTING GAS LINE		TOP OF BRIDGE ELEVATION
	EXISTING SEWER MANHOLE		RECYCLE BIN LOCATION
	EXISTING SEWER CLEANOUT		TRASH BIN LOCATION
	EXISTING WATER METER		HISTORIC ECKBO CENTER LIMITS
	EXISTING BACKFLOW PREVENTER		
	EXISTING WATER VALVE		
	EXISTING FIRE CONNECTION		

INFILL INCENTIVE DISTRICT GENERAL NOTES CASE # T17SA00196

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-
-
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CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
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CYPRESS PROJECT NO: 15.095

CYPRESS CIVIL DEVELOPMENT
Strength + sustainability

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PROFESSIONAL ENGINEER
37307 RICHARD MACIAS
ARIZONA, U.S.A.
Expires 03/31/2027

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

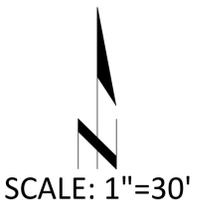
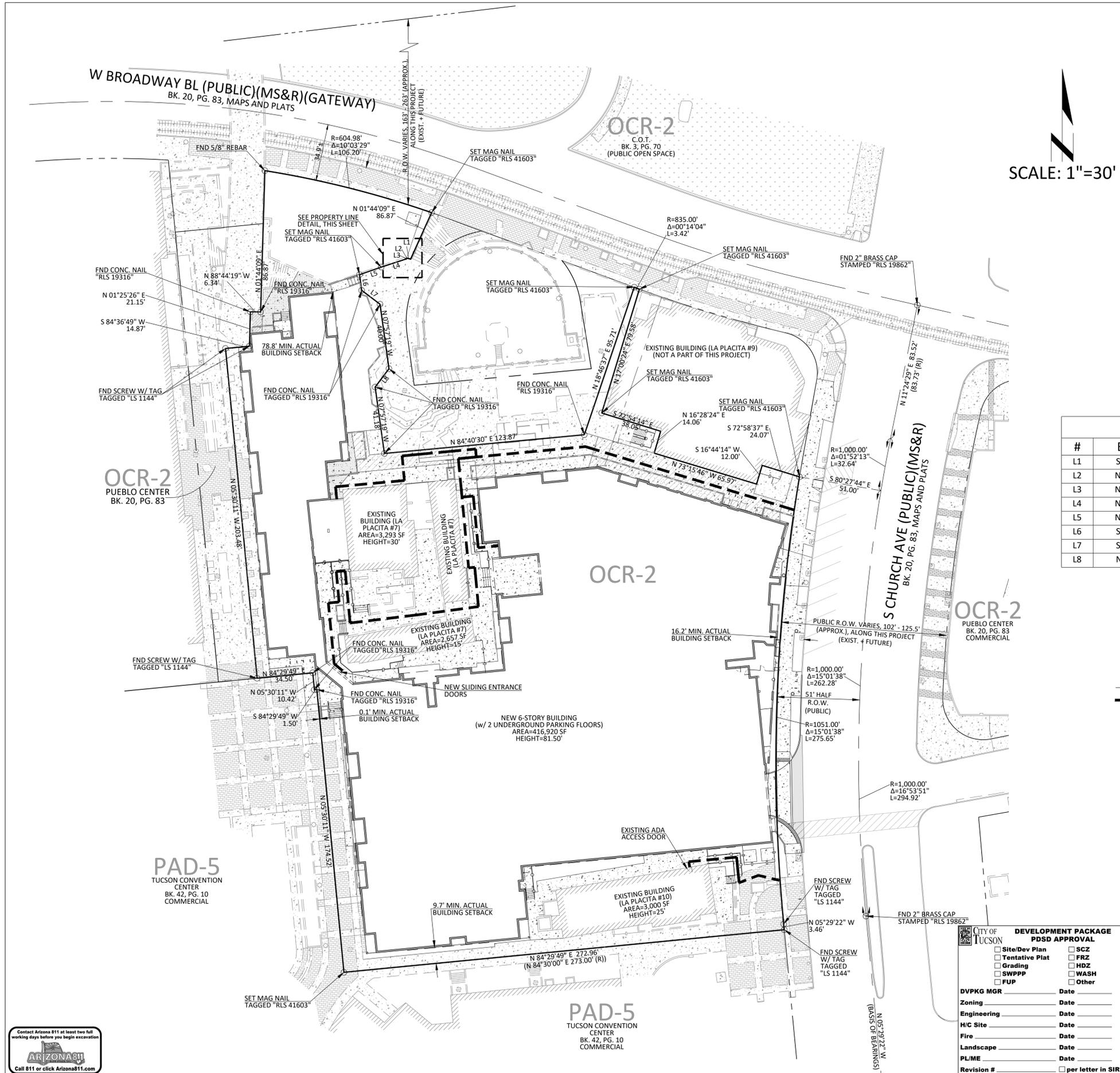
NO.	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER	
HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com	
SITE ADDRESS	
110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701	

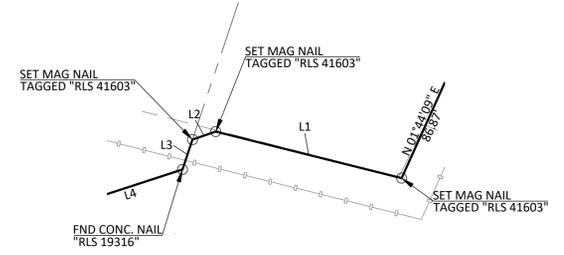
DEVELOPMENT PACKAGE for THE FLIN notes



DP17-0038
REF: T17SA00196



LINE TABLE		
#	BEARING	DISTANCE
L1	S 76°00'16" E	2.26'
L2	N 70°58'29" E	0.29'
L3	N 18°37'38" E	0.37'
L4	N 72°00'07" E	16.33'
L5	N 70°58'29" E	14.19'
L6	S 07°57'19" E	10.01'
L7	S 52°57'19" E	14.14'
L8	N 37°02'41" E	14.14'

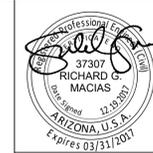


PROPERTY LINE DETAIL
SCALE: 1"=1'



- DEVELOPMENT PACKAGE PSD APPROVAL**
- Site/Dev Plan
 - Tentative Plat
 - Grading
 - SWPPP
 - FUP
 - SCZ
 - FRZ
 - HDZ
 - WASH
 - Other
- DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701



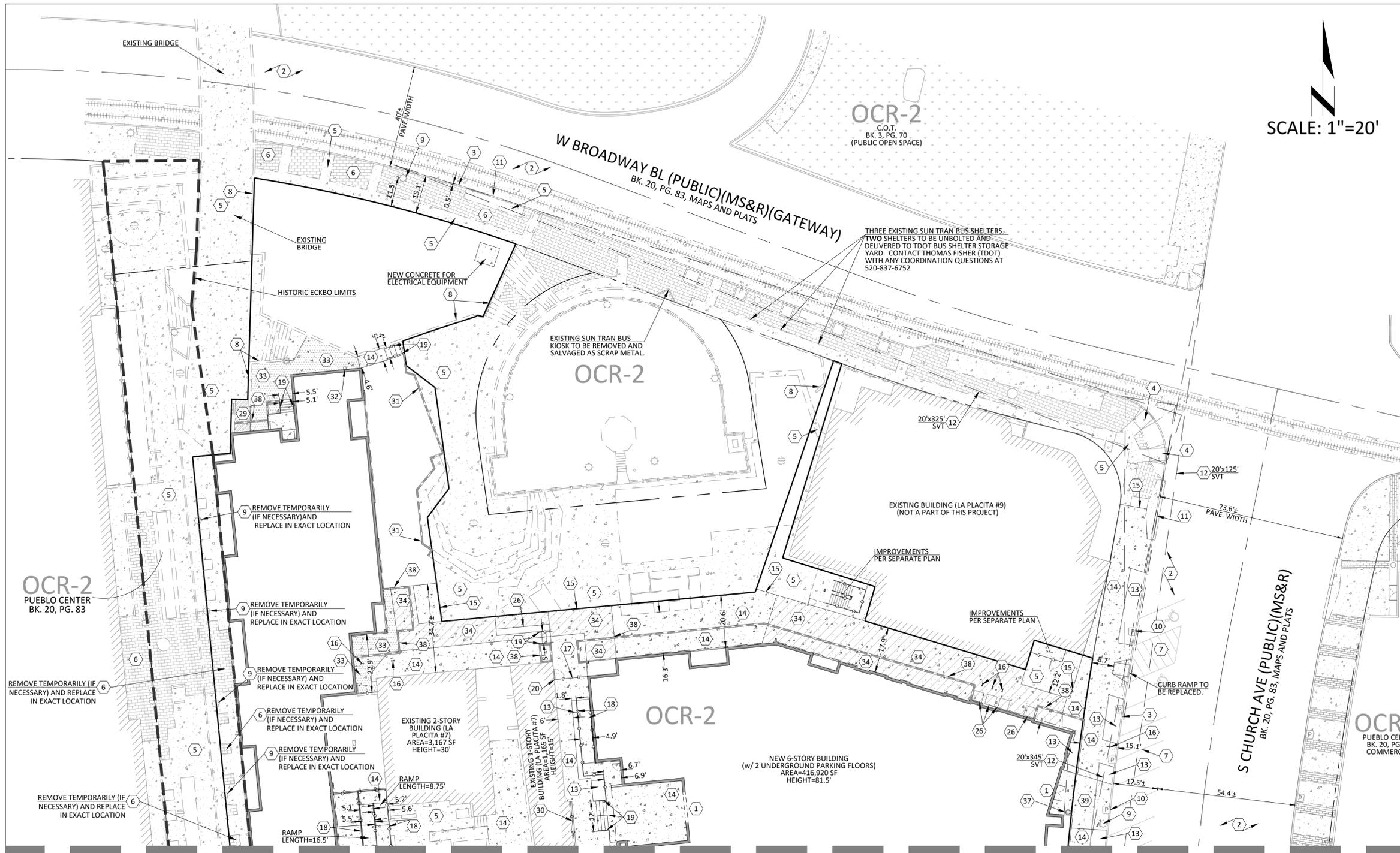
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DEVELOPMENT PACKAGE for
THE FLIN
property plan

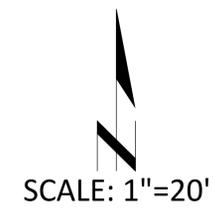


DP17-0038
REF: T17SA00196

3
OF
23



- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB RAMP TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 EXISTING BRICK PAVERS TO REMAIN.
 - 7 EXISTING STRIPING TO REMAIN.
 - 8 EXISTING WALL/FENCE TO REMAIN. SEE BUILDING PLANS FOR SUBSURFACE WALL PORTIONS REMAINING AS LOAD-BEARING SUPPORT.
 - 9 EXISTING LIGHT TO REMAIN.
 - 10 EXISTING PARKING METER TO REMAIN (TYP.).
 - 11 EXISTING CATCH BASIN TO REMAIN.
 - 12 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 13 NEW DEPRESSED LANDSCAPE AREA.
 - 14 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 15 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 16 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL B, SHEET 11. FOR RACK PLACEMENT, SEE DETAIL ON SHEET 6.
 - 17 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 18 NEW ICC A117.1 SECTIONS 405 + 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL C, SHEET 11. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 19 NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL D, SHEET 11. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 20 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 26 NEW PLANTER BOX, SEE LANDSCAPE PLAN FOR MORE DETAIL.
 - 29 5" EXTERIOR CONCRETE SLAB ON GRADE WITH 4 LBS/CUBIC YARD MACROFIBER OVER 4" A.B.C., SEE STRUCTURAL PLANS FOR MORE DETAIL.
 - 30 NEW 'GREEN WALL'. ARCHITECTURAL/LANDSCAPE TO PROVIDE DETAILS.
 - 31 NEW LANDSCAPE WALL. SAW CUT AND TREAT EDGE OF EXISTING STAIRS.
 - 32 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
 - 33 14" ELEVATED CONCRETE SLAB, SEE STRUCTURAL PLANS FOR MORE DETAIL.
 - 34 NEW CONCRETE SIDEWALK FINISH ABOVE EXISTING STRUCTURAL INFRASTRUCTURE. SEE STRUCTURAL PLANS FOR MORE DETAILS.
 - 37 NEW TRASH RECEPTACLE, SEE LANDSCAPE PLAN FOR MORE DETAIL.
 - 38 NEW CAST IN PLACE CONCRETE PLANTER, SEE LANDSCAPE PLAN FOR MORE DETAIL.
 - 39 NEW DECORATIVE CONCRETE AT ENTRY, SEE LANDSCAPE PLAN FOR MORE DETAIL.



MATCH LINE - SEE SHEET 5



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER
 HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC
 3901 EAST BROADWAY BOULEVARD
 TUCSON, ARIZONA 85711
 ATTN: MR. MIKE CENSKY
 PH: (520) 322-6994 mike@hslproperties.com

CYPRESS PROJECT NO: 15.095
 2030 east speedway boulevard suite #110
 tucson, arizona 85719
 ph: 520.499.2456
 e: rmacias@cyresscivil.com

CYPRESS CIVIL DEVELOPMENT
 strength + sustainability

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN site plan (north)

DP17-0038
 REF: T17SA00196

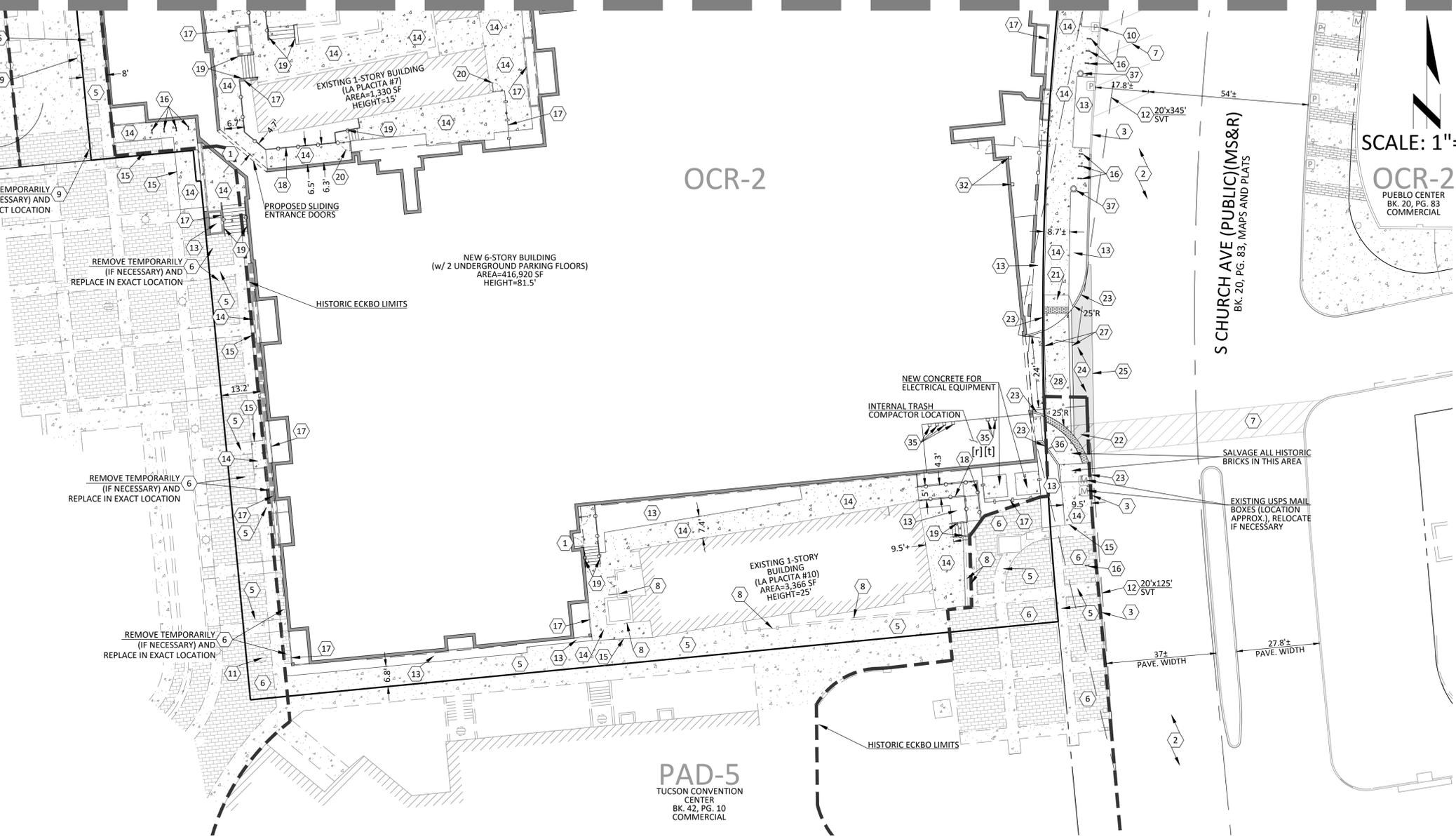
4 OF 23

MATCH LINE - SEE SHEET 4

REMOVE TEMPORARILY (IF NECESSARY) AND REPLACE IN EXACT LOCATION

OCR-2
PUEBLO CENTER
BK. 20, PG. 83

PAD-5
TUCSON CONVENTION CENTER
BK. 42, PG. 10
COMMERCIAL



SCALE: 1"=20'

OCR-2
PUEBLO CENTER
BK. 20, PG. 83
COMMERCIAL

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 EXISTING BRICK PAVERS TO REMAIN.
 - 7 EXISTING STRIPING TO REMAIN.
 - 8 EXISTING WALL/FENCE TO REMAIN. SEE BUILDING PLANS FOR SUBSURFACE WALL PORTIONS REMAINING AS LOAD-BEARING SUPPORT.
 - 9 EXISTING LIGHT TO REMAIN.
 - 10 EXISTING PARKING METER TO REMAIN (TYP.).
 - 11 EXISTING CATCH BASIN TO REMAIN.
 - 12 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 13 NEW DEPRESSED LANDSCAPE AREA.
 - 14 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 15 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 16 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL B, SHEET 11. FOR RACK PLACEMENT, SEE DETAIL ON SHEET 6.
 - 17 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 18 NEW ICC A117.1 SECTIONS 405 + 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL C, SHEET 11. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 19 NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL D, SHEET 11. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 20 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 21 NEW CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PAG DETAIL 207.
 - 22 NEW STRIPED CROSS-WALK (4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.)). EXTEND EXISTING CROSS-WALK WHERE NECESSARY.
 - 23 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL E, SHEET 11. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 24 NEW 3" AC PAVEMENT OVER 6" ABC. COMPACT ABC TO 100%. SEE DETAIL F, SHEET 11.
 - 25 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.
 - 28 NEW DECORATIVE CONCRETE SIDEWALK PER PAG DETAIL 202. SEE PLAN FOR DIMENSIONS.
 - 32 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
 - 35 NEW LONG TERM BIKE PARKING, FULLY ENCLOSED (SOLID FENCE, SECURED GATE, ROOF ETC.) TO COMPLY WITH U.D.C. 7.4.9.D.1-5, SEE DETAIL A, SHEET 11.
 - 36 NEW MODIFIED CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PAG DETAIL 207, MODIFIED AS SHOWN.
 - 37 NEW TRASH RECEPTACLE, SEE LANDSCAPE PLAN FOR MORE DETAIL.

OCR-2

PAD-5
TUCSON CONVENTION CENTER
BK. 42, PG. 10
COMMERCIAL

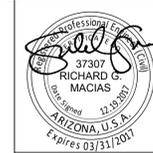
NO.	DATE	REVISION DESCRIPTION	BY

<p>OWNER/DEVELOPER HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com</p>	<p>CYPRESS PROJECT NO: 15.095 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: rmacias@cyresscivil.com</p>
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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

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 Zoning _____ Date _____
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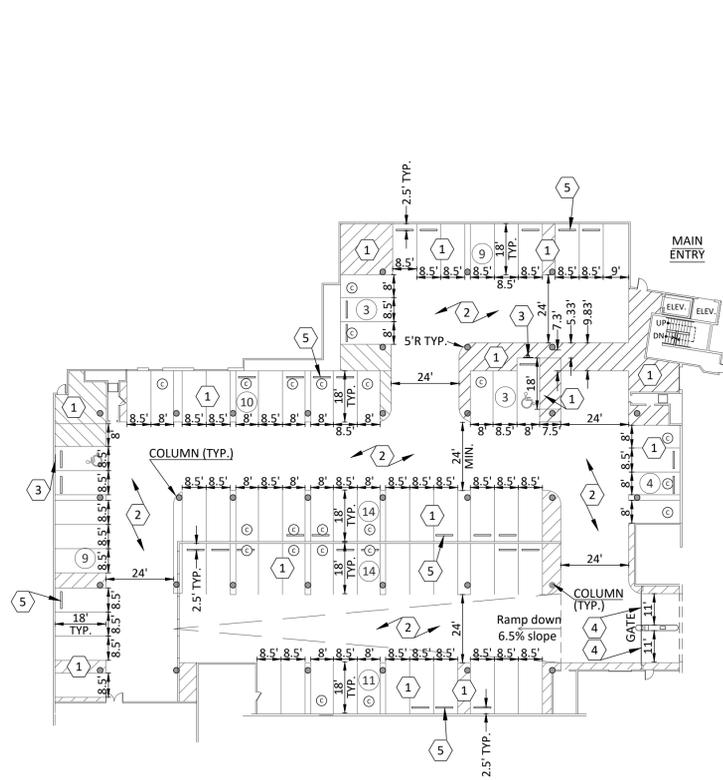
PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN site plan (south)

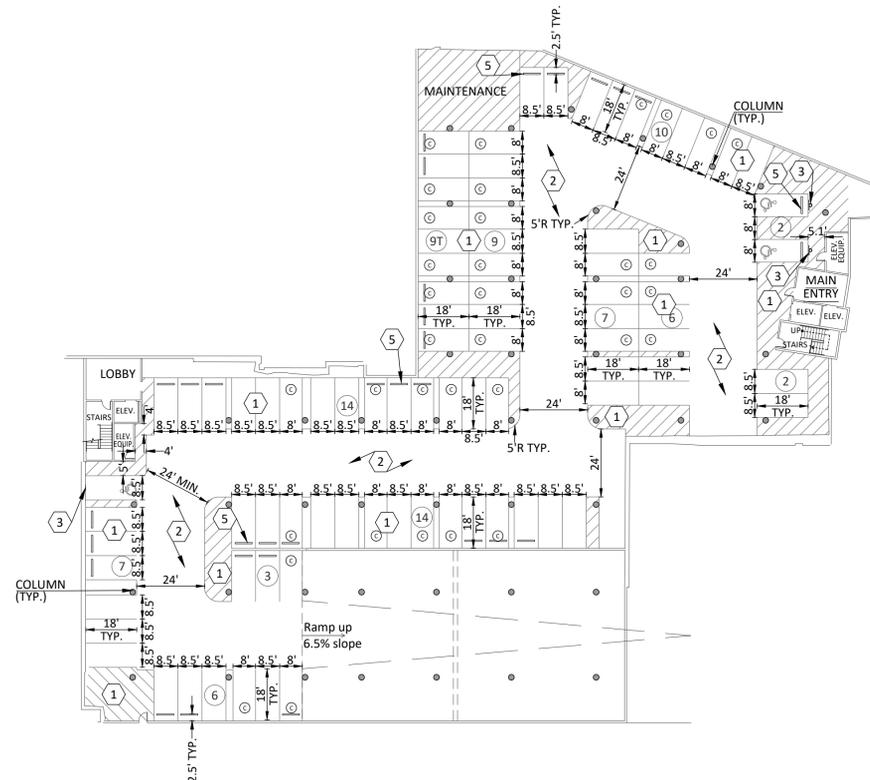


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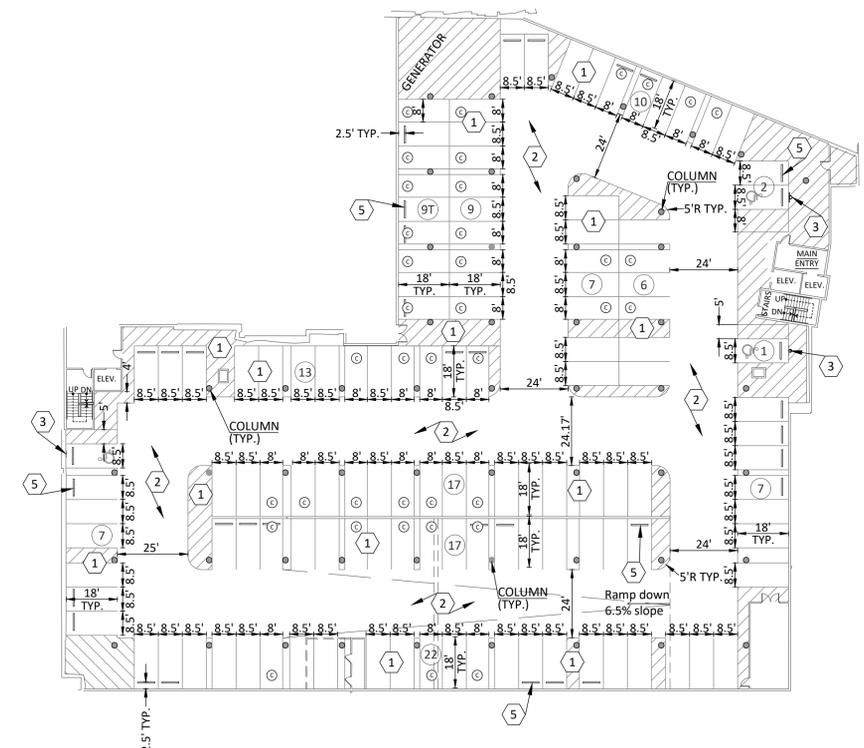
5 OF 23



PARKING PLAN - GROUND FLOOR
SCALE: 1"=30'

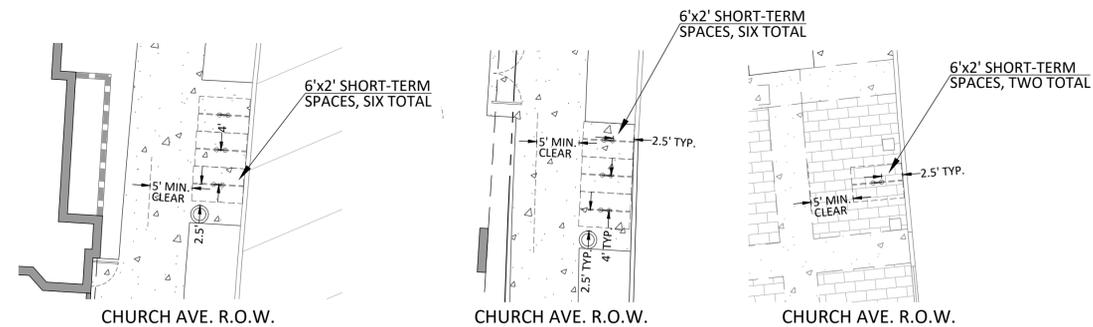
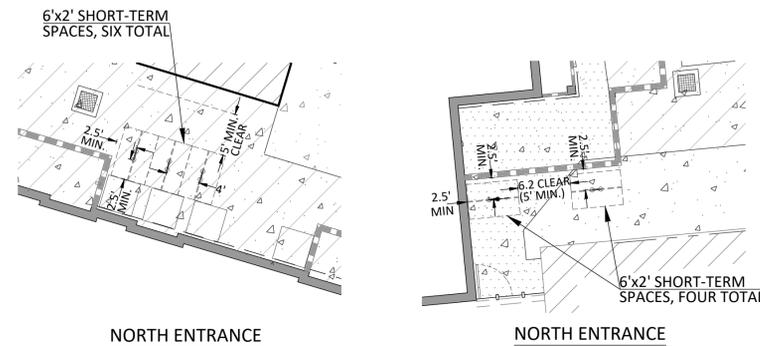
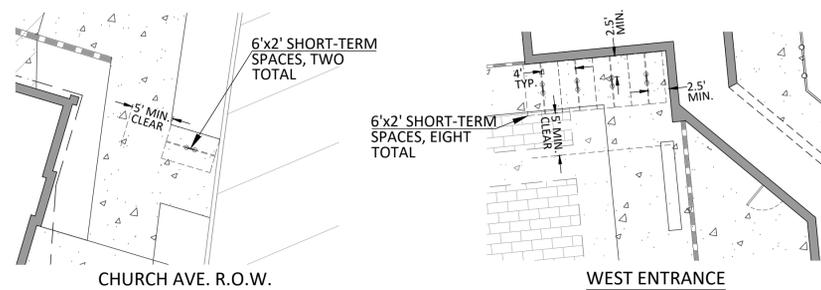


PARKING PLAN - P1 UNDERGROUND
SCALE: 1"=30'



PARKING PLAN - P2 UNDERGROUND
SCALE: 1"=30'

NOTE: BICYCLE PARKING AREAS TO BE ILLUMINATED BY ADJACENT BUILDING, PARKING AREA, OR STREET LIGHTING



BIKE RACK PLACEMENT DETAIL
SCALE: 1"=30'

LEGEND - PARKING PLAN

- 14 PARKING SPACE COUNT
- 9T PARKING SPACE COUNT, TANDEM
- ⊙ COMPACT SPACE

PARKING SPACE BREAKDOWN

REGULAR SPACES	= 106
COMPACT SPACES	= 168
TANDEM SPACES	= 20
TOTAL PROVIDED	= 294

KEYNOTES

- 1 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 2 NEW PAVEMENT. SEE STRUCTURAL/ARCHITECTURAL.
- 3 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL G, SHEET 11.
- 4 NEW VEHICULAR ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS.
- 5 NEW 6' WHEEL STOP (TYP.). SEE DETAIL H, SHEET 11.



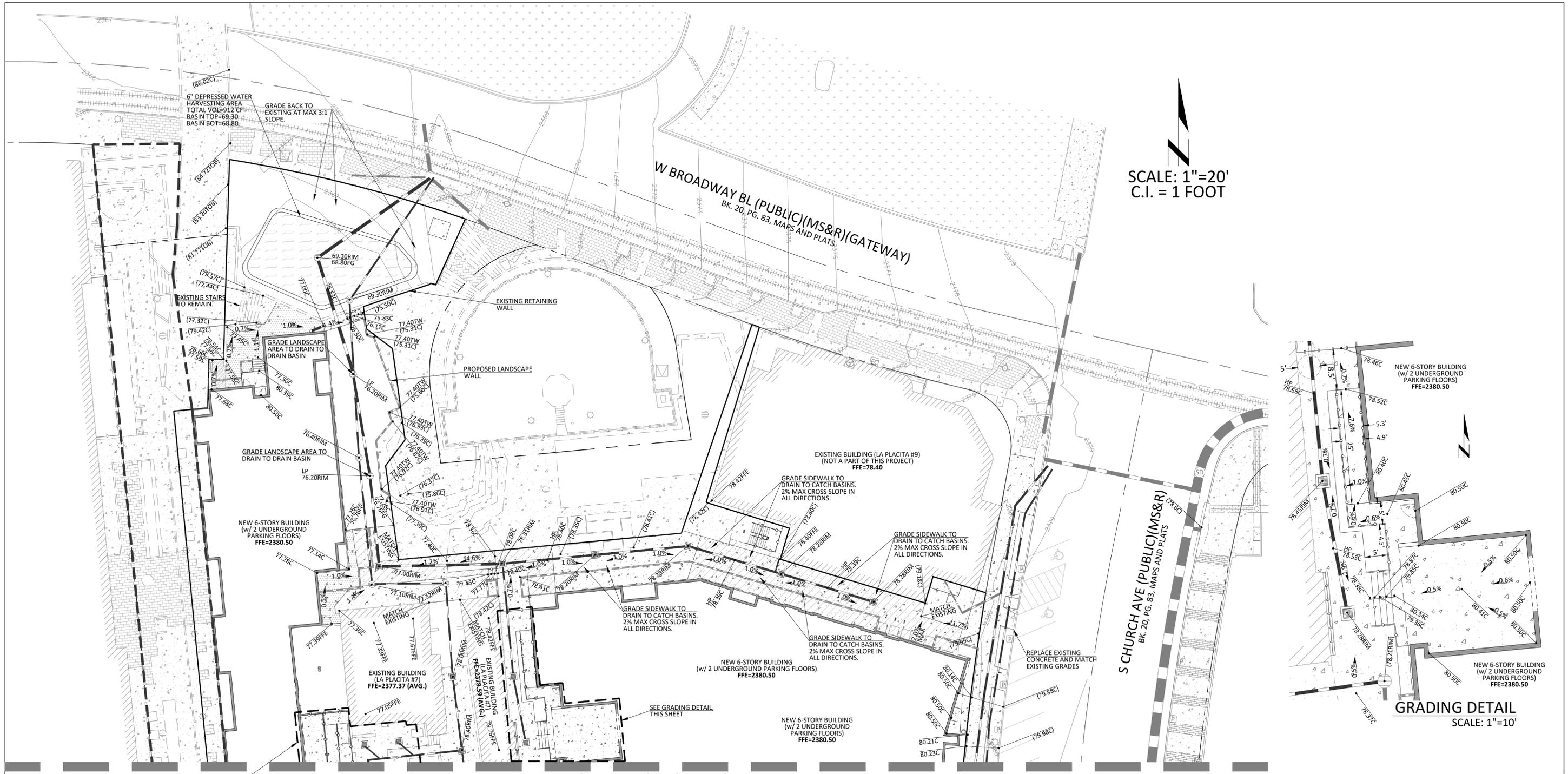
CITY OF TUCSON	DEVELOPMENT PACKAGE PSDS APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701
				CYPRESS CIVIL DEVELOPMENT strength + sustainability 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: rmacias@cyresscivil.com

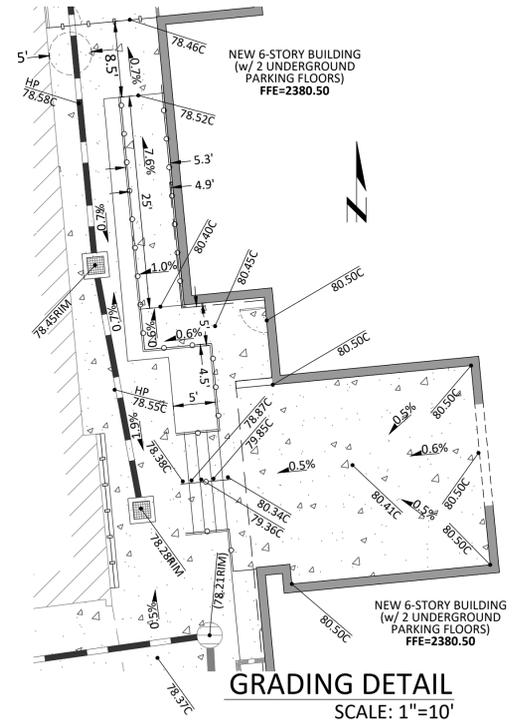
PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN parking plan

DP17-0038
REF: T17SA00196



SCALE: 1"=20'
C.I. = 1 FOOT



SEE GRADING DETAIL @ SHEET 8.

MATCH LINE - SEE SHEET 8



- CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL**
- Site/Dev Plan
 - Tentative Plat
 - Grading
 - SWPPP
 - FUP
 - SCZ
 - FRZ
 - HDZ
 - WASH
 - Other
- DVPKG MGR _____ Date _____
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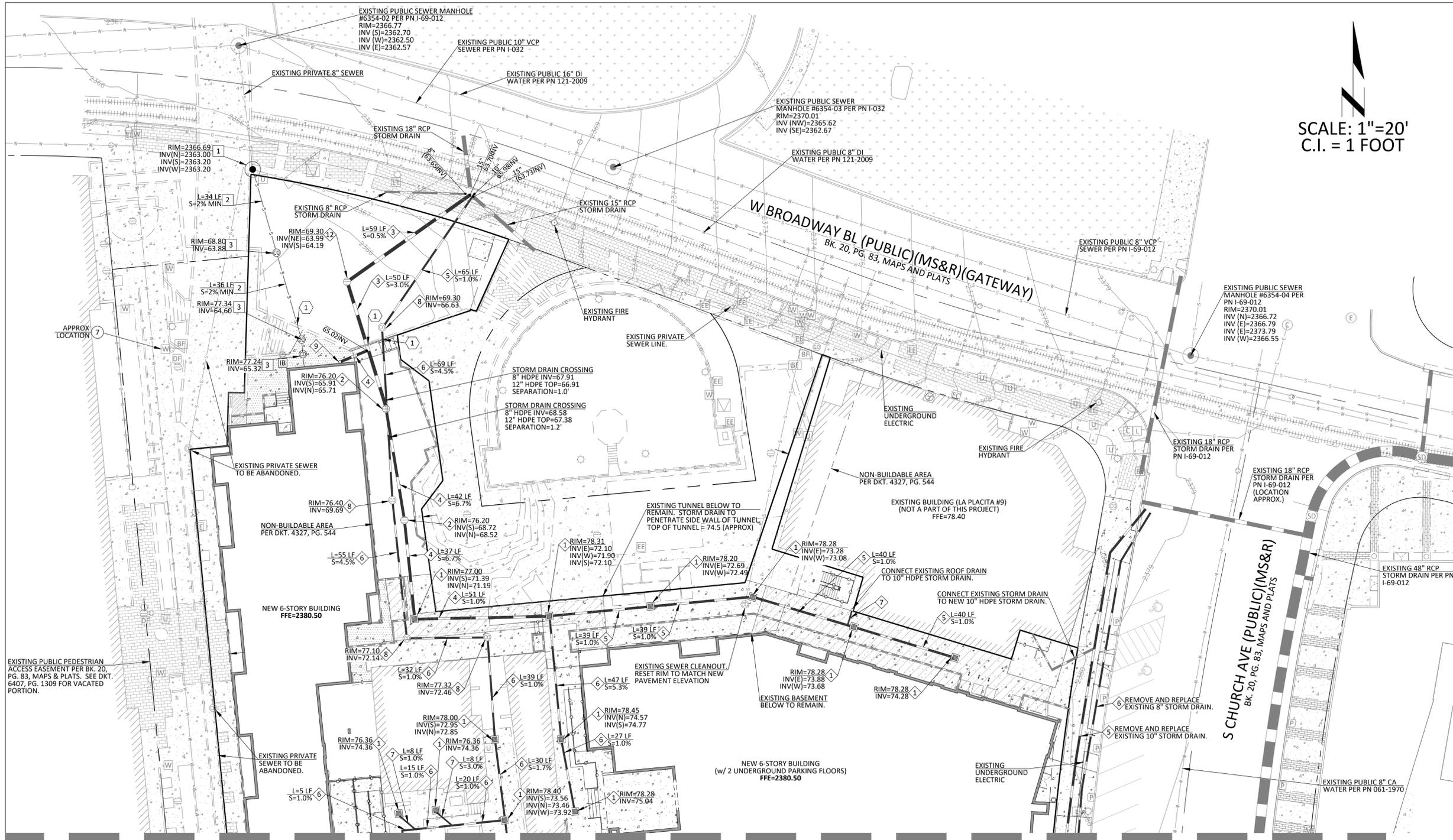
CYPRESS PROJECT NO: 15.095
2030 east speedway boulevard suite #110
tucson, arizona 85719
ph: 520.499.2456
e: rmacias@cypresscivil.com

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN
grading + drainage plan (north)

DP17-0038
REF: T17SA00196

7 OF 23



SCALE: 1"=20'
C.I. = 1 FOOT

WATER KEYNOTES

- 7 CONTRACTOR TO COORDINATE REMOVAL OF WATER METERS WITH TUCSON WATER AND CONFIRM LOCATIONS. PER TUCSON WATER THE METERS NEED TO BE IN PLACE WHEN UPGRADING TO 4" WATER METER IN ORDER TO RECEIVE METER CREDIT. DO NOT REMOVE WATER METER UNTIL COORDINATION WITH OWNER AND TUCSON WATER TAKES PLACE. METER #'S TO BE REMOVED: #15541033

SEWER KEYNOTES

- 1 NEW PRIVATE SEWER MANHOLE. SEE KEYNOTE FOR RIM AND INVERT(S).
- 2 NEW PRIVATE 8" PVC SEWER LINE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 3 NEW PRIVATE SEWER CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT.

STORM DRAIN KEYNOTES

- 1 NEW 2' SQUARE PRECAST CONCRETE CATCH BASIN WITH ADA GRATE. SEE KEYNOTE FOR RIM AND INVERT.
- 2 NEW NYLOPLAST 12" DRAIN BASIN WITH 12" DROP IN GRATE, OR APPROVED EQUAL.
- 3 NEW 15" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 4 NEW 12" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 5 NEW 10" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 6 NEW 8" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 7 NEW 6" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
- 8 NEW PRIVATE STORM DRAIN CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT.
- 9 CONNECT NEW 12" ROOF DRAIN TO 15" HDPE STORM DRAIN.
- 12 NEW NYLOPLAST 15" DRAIN BASIN WITH 15" DROP IN GRATE, OR APPROVED EQUAL.

STRUCTURAL NOTES

- A. VERTICAL REINFORCING BE LOCATED IN THE WALL AND ANY CORE DRILLED HOLES SHALL NOT CUT THROUGH VERTICAL REINFORCING. IF THE HOLE SIZE IS SUCH THAT CUTTING THROUGH VERTICAL REINFORCING IS UNAVOIDABLE, CONTACT THE STRUCTURAL ENGINEER THROUGH THE ARCHITECT TO COORDINATE A STRENGTHENING DETAIL. FOR BIDDING PURPOSES, IT IS ANTICIPATED THAT HOLES UP TO 12" DIAMETER SHOULD BE ABLE TO AVOID EXISTING VERTICAL REINFORCING. HOLES GREATER THAN 12" DIAMETER WILL MOST LIKELY INTERFERE AND WALL STRENGTHENING WILL BE REQUIRED.
- B. CORE DRILLED HOLES SHALL BE SLEEVED SUCH THAT PIPES PASSING THROUGH THEM HAVE AT LEAST A 1" ANNULAR GAP ON ALL SIDES, TO ALLOW FOR MOVEMENT. FILL GAP WITH COMPRESSIBLE AND WATERPROOFING MATERIAL.

MATCH LINE - SEE SHEET 10

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

- 1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- 2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- 3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

PRIVATE FIRE SUPPRESSION NOTES

- 1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
- 2. MINIMUM DEPTH OF BURY TO BE 36".
- 3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
- 4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
- 5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
- 6. TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
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PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

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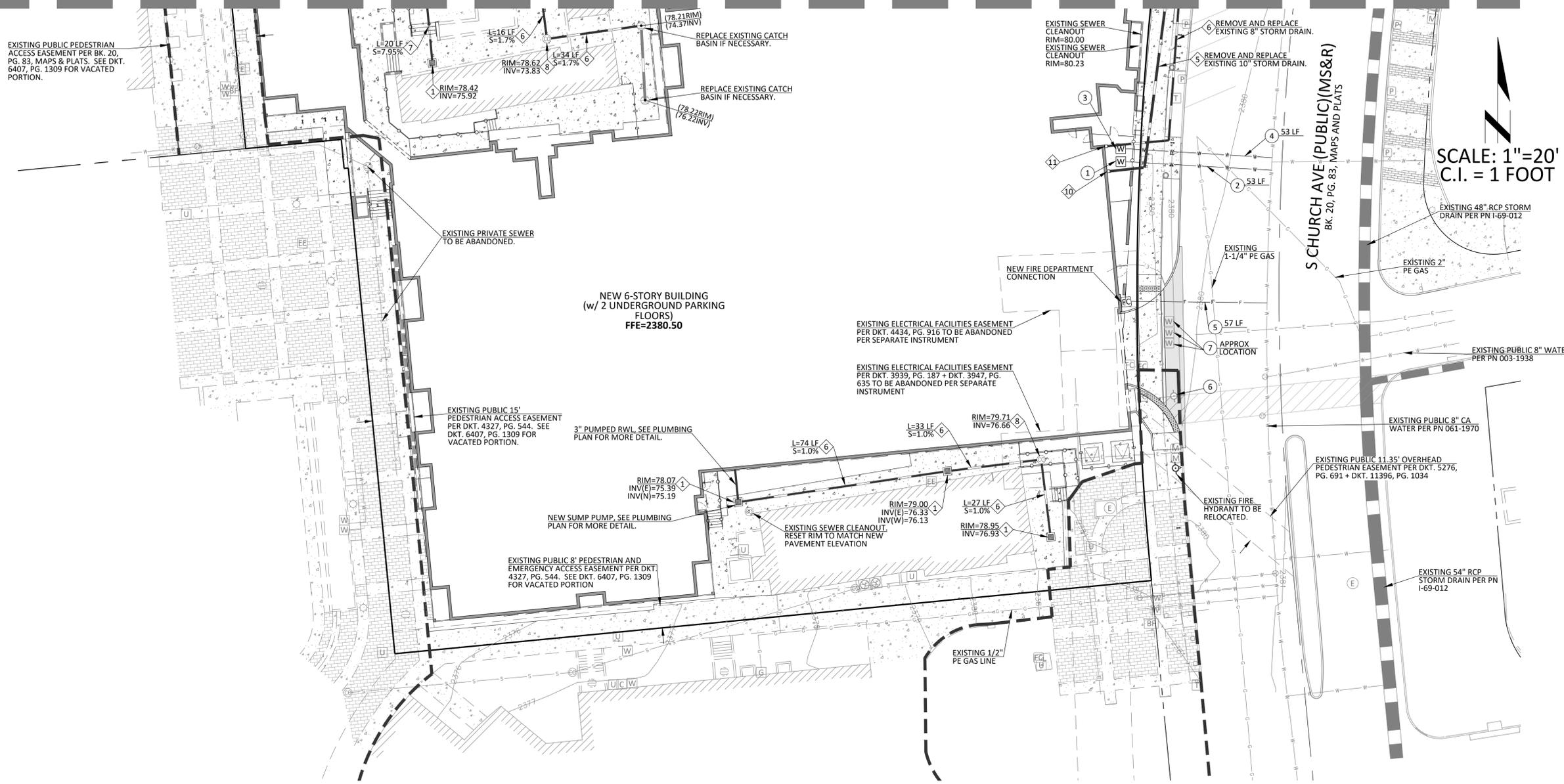


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DEVELOPMENT PACKAGE for THE FLIN utilities + easements plan (north)

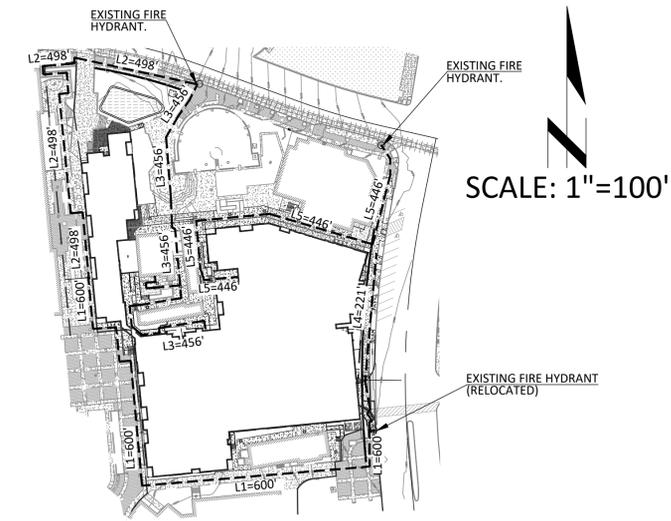
DP17-0038
REF: T17SA00196
9 OF 23

MATCH LINE - SEE SHEET 9



- WATER KEYNOTES**
- NEW 4" WATER METER.
 - NEW PRIVATE 4" PVC WATER SERVICE. SEE KEYNOTE FOR LENGTH.
 - NEW 1" WATER METER (FOR IRRIGATION).
 - NEW PRIVATE 2" IRRIGATION SERVICE
 - NEW PRIVATE 6" PVC FIRE SERVICE. SEE KEYNOTE FOR LENGTH. CONTRACTOR TO COORDINATE WITH TUCSON WATER.
 - FIRE HYDRANT TO BE RELOCATED CONTRACTOR TO COORDINATE WITH TUCSON WATER.
 - CONTRACTOR TO COORDINATE REMOVAL OF WATER METERS WITH TUCSON WATER AND CONFIRM LOCATIONS. PER TUCSON WATER THE METERS NEED TO BE IN PLACE WHEN UPGRADING TO 4" WATER METER IN ORDER TO RECEIVE METER CREDIT. DO NOT REMOVE WATER METER UNTIL COORDINATION WITH OWNER AND TUCSON WATER TAKES PLACE.
METER #'S TO BE REMOVED:
#2104661
#15541039
#15540979
- STORM DRAIN KEYNOTES**
- NEW 2' SQUARE PRECAST CONCRETE CATCH BASIN WITH ADA GRATE. SEE KEYNOTE FOR RIM AND INVERT.
 - NEW 10" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - NEW 8" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - NEW 6" HDPE STORM DRAIN PIPE. SEE KEYNOTE FOR LENGTH AND SLOPE.
 - NEW PRIVATE STORM DRAIN CLEANOUT. SEE KEYNOTE FOR RIM AND INVERT.
 - CONNECT NEW 10" ROOF DRAIN TO 10" HDPE STORM DRAIN.
 - CONNECT NEW 8" ROOF DRAIN TO 8" HDPE STORM DRAIN.

SCALE: 1"=20'
C.I. = 1 FOOT



FIRE HYDRANT DIMENSION DETAIL
SCALE: 1"=100'

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
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				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701

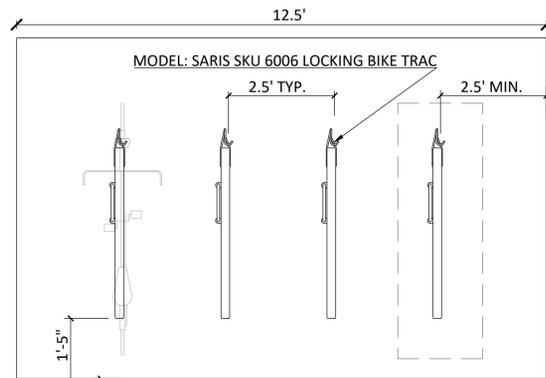
PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN
utilities + easements plan (south)

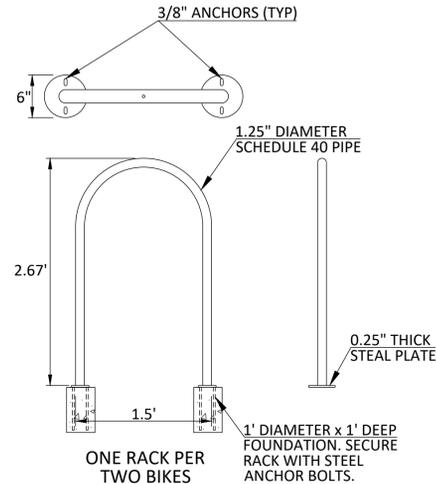


DP17-0038
REF: T17SA00196

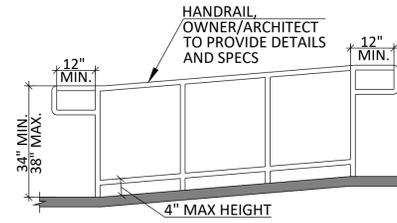
10 OF 23



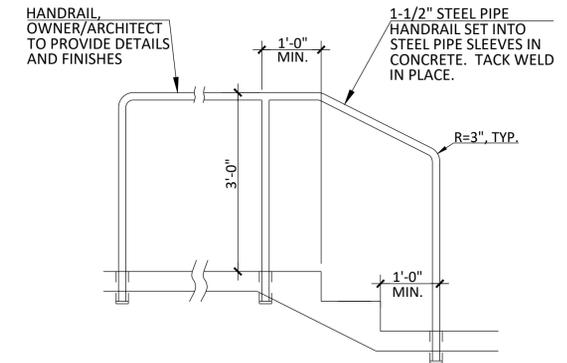
A INTERIOR LONG-TERM VERTICAL BIKE STORAGE
ELEVATION SCALE: 1"=2'



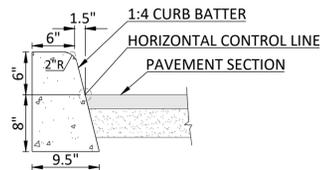
B BICYCLE RACK (SHORT TERM)
SURFACE MOUNT N.T.S.



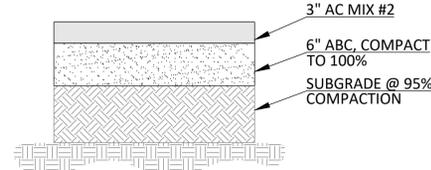
C HANDRAIL AT RAMP
N.T.S.



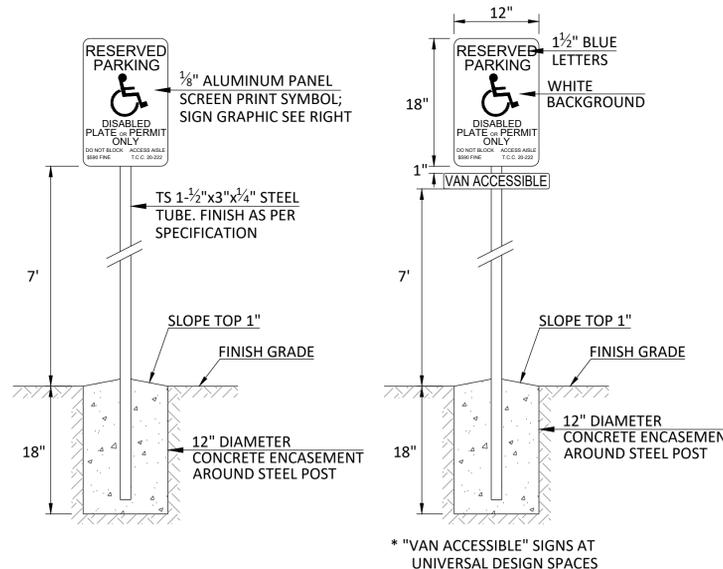
D HANDRAIL AT STAIRS
N.T.S.



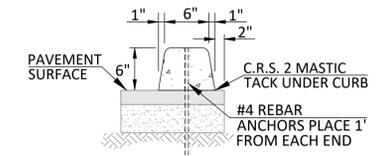
E CONCRETE VERTICAL CURB
TYPE 2, H=6" SCALE: 1"=1'
PAG DTL 209



F TYPICAL PAVEMENT SECTION
SCALE: 1"=1'



G ACCESSIBLE SIGN AND POST
SCALE: 1"=1'



H CONCRETE WHEEL STOP
SCALE: 1"=1'

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
Engineering _____ Date _____	
H/C Site _____ Date _____	
Fire _____ Date _____	
Landscape _____ Date _____	
PL/ME _____ Date _____	
Revision # _____ <input type="checkbox"/> per letter in SIRE	

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701
				CYPRESS PROJECT NO: 15.095 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: rmacias@cyresscivil.com
PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for THE FLIN details

SCALE: 1"=30'
C.I. = 1 FOOT



W BROADWAY BL (PUBLIC)(MS&R)(GATEWAY)
BK 20, PG. 83, MAPS AND PLATS

S CHURCH AVE (PUBLIC)(MS&R)
BK 20, PG. 83, MAPS AND PLATS

8" FIBER ROLL
1820 LINEAR FEET (TOTAL)
SEE PAGE 16 OF SWPPP
NARRATIVE

VEHICLE AND EQUIPMENT
MAINTENANCE AND
STORAGE AREA (APPROX.)

8" FIBER ROLL
2095 LINEAR FEET (TOTAL)
SEE PAGE 16 OF SWPPP
NARRATIVE

EXISTING STORM DRAIN
INLET, TYP.

HAZARDOUS MATERIALS
STORAGE AREA (APPROX.)

CONCRETE TRUCK
WASHOUT AREA
SEE PAGE 21 OF SWPPP
NARRATIVE

50'
0.0E

CONSTRUCTION ENTRANCE
SEE PAGE 16 OF SWPPP
NARRATIVE

8" FIBER ROLL
1820 LINEAR FEET (TOTAL)
SEE PAGE 16 OF SWPPP
NARRATIVE

GENERAL NOTES

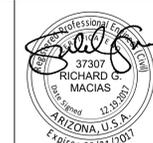
- TOTAL AREA OF THE SITE:
2.48 ACRES (108,093 SF) - Total Parcel
- TOTAL AREA OF THE LIMITS OF GRADING:
2.29 ACRES (100,000 SF) - Includes Access Driveways and R/W Grading
- SOIL STOCKPILES, WHEN NOT BEING ACTIVELY WORKED, I.E. EVENINGS, WEEKENDS AND OTHER DOWN TIMES, SHALL HAVE AN EFFECTIVE SEDIMENT CONTROL BMP PLACED AROUND THEM. AN EFFECTIVE TEMPORARY BMP FOR THIS SITUATION IS FIBER ROLL.
- THIS SITE REQUIRES NO OFFSITE DISPOSAL.
- NO DRYWELLS ON SITE.
- IN THE EVENT OF A SPILL, THE OPERATOR SHALL, WITHIN 24 HOURS, CONTACT ADEQ AT (602) 771-4505. REFER TO PAGE 13 OF THE SWPPP NARRATIVE FOR FURTHER INSTRUCTIONS.
- AN INSPECTION OF THE SITE AND AN INSPECTION REPORT WILL BE COMPLETED EVERY 14 CALENDAR DAYS AND AFTER EVERY 0.5 INCHES OR GREATER OF RAIN. INSPECTION REPORTS MUST BE KEPT WITH THE SWPPP NARRATIVE.
- SWPPP DEFICIENCIES THAT OCCUR ON THE SITE SHALL BE REPAIRED OR CORRECTED WITHIN 7 DAYS OF THE INSPECTION DATE.

BMPs LEGEND

-  VEHICLE, EQUIPMENT, AND HAZARDOUS MATERIALS STORAGE AREA (APPROXIMATE LOCATION)
-  FIBER ROLL
-  CONCRETE TRUCK WASHOUT AREA
-  CONSTRUCTION ENTRANCE/EXIT

CITY OF TUCSON	DEVELOPMENT PACKAGE PSD APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/HSL CONSTRUCTION SERVICES, LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701



CYPRESS PROJECT NO: 15.095
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
e: rmacias@cyresscivil.com

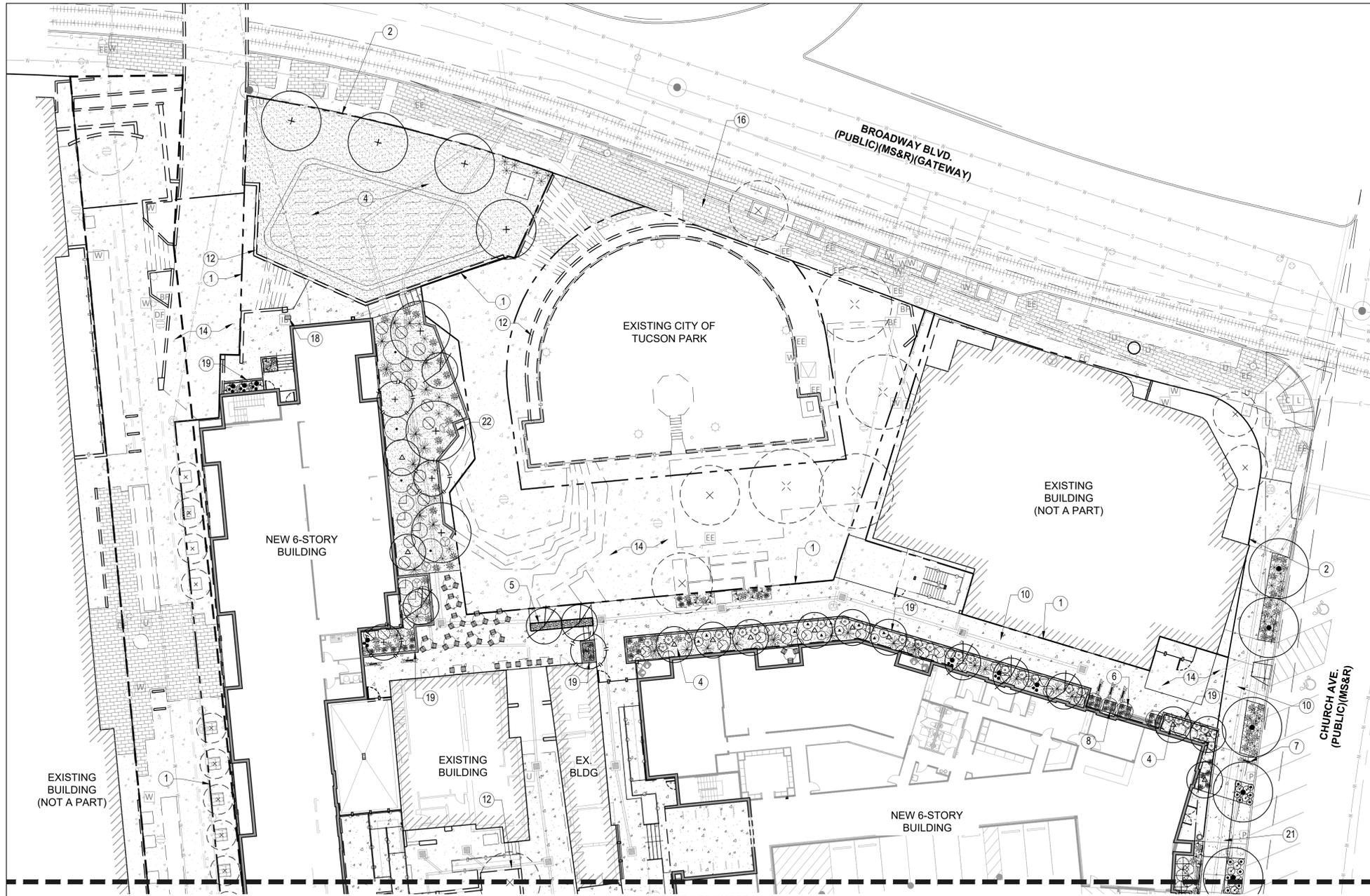
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DEVELOPMENT PACKAGE for THE FLIN
storm water pollution prevention plan



DP17-0038
REF: T17SA00196

12 OF 23



LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance. Landscape Architect to hand select and tag all trees for project.

Trees	Size	Qty
Acacia willardiana <i>palo blanco</i>	24" box	11
Celtis reticulata <i>netleaf hackberry</i>	36" box	11
Pistacia x 'Red Push' <i>red push pistache</i>	36" box	5
Caesalpinia mexicana <i>mexican bird of paradise</i>	24" box	7
Sophora secundiflora <i>texas mountain laurel</i>	24" box	1
Cercis canadensis 'oklahoma' <i>oklahoma redbud</i>	24" box	4
Existing tree		

Shrubs / Ground Covers

Shrubs / Ground Covers	Size	Qty
Bauhinia lunarioides 'White' <i>chihuahuan orchid shrub</i>	15 gallon	5
Cycas revoluta <i>sago palm</i>	5 gallon	4
Salvia clevelandii <i>cleveland sage</i>	5 gallon	22
Ruellia brittoniana <i>mexican burro weed</i>	5 gallon	16
Justicia californica <i>chuparosa</i>	5 gallon	6
Viguiera parishii (Deltoidea) <i>goldeneye</i>	5 gallon	18
Pedilanthus macrocarpus <i>slipper plant</i>	5 gallon	6
Salvia greggii <i>autumn sage</i>	5 gallon	11
Bouteloua gracilis <i>blue grama</i>	5 gallon	19
Calliandra californica <i>baja fairy duster</i>	5 gallon	8
Berlandiera lyrata <i>chocolate flower</i>	1 gallon	22
Setcreasea pallida <i>purple heart</i>	1 gallon	45
Lantana sp. <i>dallas red</i>	1 gallon	29

Vines

Vines	Size	Qty
Parthenocissus 'Hacienda Creeper' <i>hacienda creeper</i>	5 gallon	12
Trachelospermum jasminoides <i>star jasmine</i>	5 gallon	3
Bignonia capreolata <i>tangerine cross vine</i>	5 gallon	17

Cacti / Succulents

Cacti / Succulents	Size	Qty
Yucca rostrata <i>beaked yucca</i>	24" box	13
Nolina microcarpa <i>bear grass</i>	5 gallon	23
Hesperaloe parviflora <i>brakelights yucca</i>	5 gallon	72
Aloe wickensii <i>aloe - geelalwyn</i>	5 gallon	131
Euphorbia antisiphilitica <i>candellilla</i>	5 gallon	6
Yucca rupicola <i>twisted leaf yucca</i>	5 gallon	112
Lophocereus schoti <i>totem pole cactus</i>	5 gallon	17

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.
01 Decorative rock
type: screened rock
size: 1/2"
color: coco brown - pioneer materials
depth: 2"
notes: install in all landscape planting areas as indicated on plans

SITE AMENITIES LEGEND

Furnish and install all material per plans, details, and specs.
Bicycle rack
bicycle rack - function first inc. the bike rib 2.0, black, or approved equal
Waste receptacle
landscape forms - select recycling system, double unit, black color, install per manuf. spec.
Benches
landscape forms - towne square bench 70" perforated panel, black color
Steel square planter
landscape forms - sorella planter - 30"x30"x30" - install per manufacture specs and details
Site furnishings
furniture per tenant/ architect

Concrete valve box
irrigation access - extra large concrete valve box christies or approved equivalent
Cast In Place (cip) concrete raised planter
cast in place raised planter 24" height min, final heights to be field coordinated with architect
Steel raised planter
3/8" x 36" high plate steel raised planter coordinate with architect
Steel welded wire mesh trellis
2" tube steel frame w/ 1" x 3" wwm screen, 48" height to be field coordinated w/ arch.
01 Concrete - Entry
3/8" micro exposed aggregate with 6 sack mix - top case OAE retardant
02 Concrete - Sidewalk
refer to civil plans

LANDSCAPE KEY NOTES

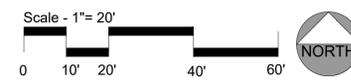
- Property line
- Right of way line
- Sight visibility triangle
- Decorative rock typ. - all landscape areas
- Raised steel planter - refer to detail
- Steel square planter - refer to detail
- Bicycle rack
- Bench
- Trash receptacle
- Concrete sidewalk - refer to civil
- Wall/fence - refer to civil
- Existing wall
- Existing fence
- Existing concrete
- Historic landscape limits - do not disturb within these limits beyond what plans show
- Existing pavers
- Contractor shall hand water plant material at installation and continue to hand water until project turn over
- Concrete valve box
- Cast in place concrete raised planter
- Steel welded wire mesh trellis
- Concrete at entry - refer to legend
- Saw cut at steps - cast in place wall if required

GENERAL LANDSCAPING NOTES:

- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
- For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
- The Landscape Architect is to approve any and all substitutions.
- Plant list quantities are provided for contractor's convenience only. Plans take precedence.
- Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
- Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
- Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
- Ground cover and/or decorative rock shall extend under shrubs unless noted.
- After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
- Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
- All earthwork is to be done so that all water drains away from all structures.
- All underground utilities are to be located before digging.
- All plant material to be guaranteed for a period of one (1) year after final acceptance.
- Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
- In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
- All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
- Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
- Contractor is responsible for providing sleeves to all

- landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
- All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
- Final plant locations must be in compliance with all utility setback requirements.
- Sleeve all pipes and wires under paved areas including streets and sidewalks.
- Irrigation lines are shown schematically; locate all line in unpaved areas.
- Locate all lines within the property line when possible.
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.

- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
- The owner understands that if the city of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.



NO.	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER
HSL LA PLACITA, LLC/ HSL CONSTRUCTION SERVICES LLC
3901 EAST BROADWAY BOULEVARD
TUCSON, ARIZONA 85711
ATTN: MR. MIKE CENSKY
PH: (520) 322-6994 email: mike@hslproperties.com

SITE ADDRESS
110 SOUTH CHURCH AVENUE
TUCSON, ARIZONA 85701



ARC STUDIOS PROJECT NO: 01-15072

ARC STUDIOS
3117 E. Flower Street
Tucson, Arizona 85716
phone: 520.892.9655
www.arcstudiosinc.com

landscape architecture . urban design .
environmental services . irrigation design.

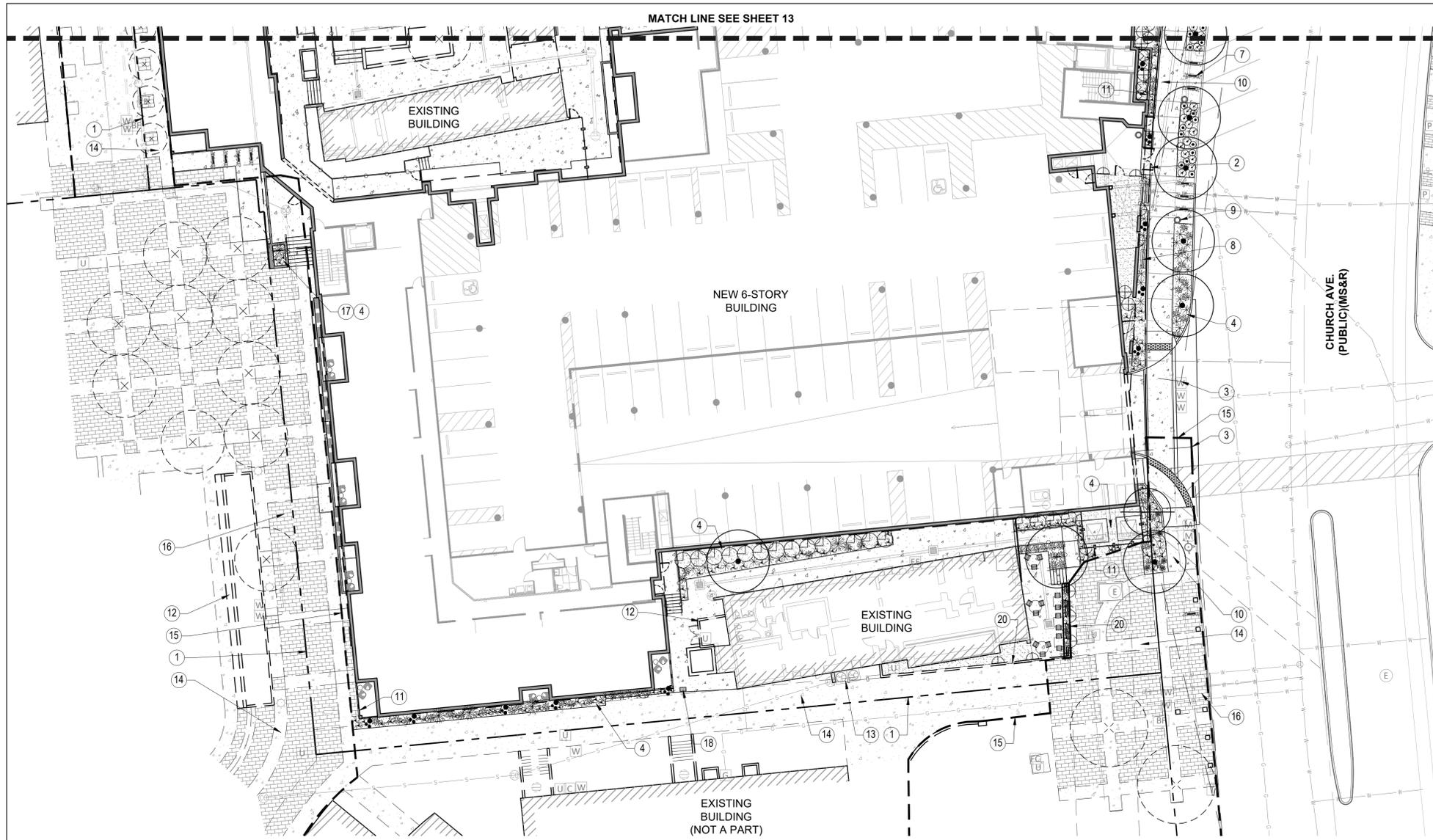
PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN landscape plan



ARC STUDIOS, INC. RETAINS ALL RIGHTS TO LANDSCAPE AND IRRIGATION PLANS AND PLANS MAY NOT BE REPRODUCED WITHOUT PRIOR APPROVAL BY ARC STUDIOS.

DP17-0038
REF:17SA00196
13 OF 23



LANDSCAPE LEGEND

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Existing tree		

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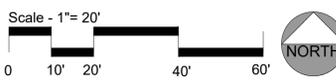
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bicycle rack - function first inc. the bike rib 2.0, black, or approved equal
Waste receptacle
landscape forms - select recycling system, double unit, black color, install per manuf. spec.
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landscape forms - towne square bench 70" perforated panel, black color
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landscape forms - sorella planter - 30"x30"x30" - install per manufacture specs and details
Site furnishings
furniture per tenant/ architect
Concrete valve box
irrigation access - extra large concrete valve box christies or approved equivalent
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cast in place raised planter 24" height min, final heights to be field coordinated with architect
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3/8" x 36" high plate steel raised planter coordinate with architect
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3/8" micro exposed aggregate with 6 sack mix - top case OAE retardant
02 Concrete - Sidewalk
refer to civil plans

LANDSCAPE KEY NOTES

- Property line
- Right of way line
- Sight visibility triangle
- Decorative rock typ. - all landscape areas
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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
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NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701



ARC STUDIOS PROJECT NO: 01-15072

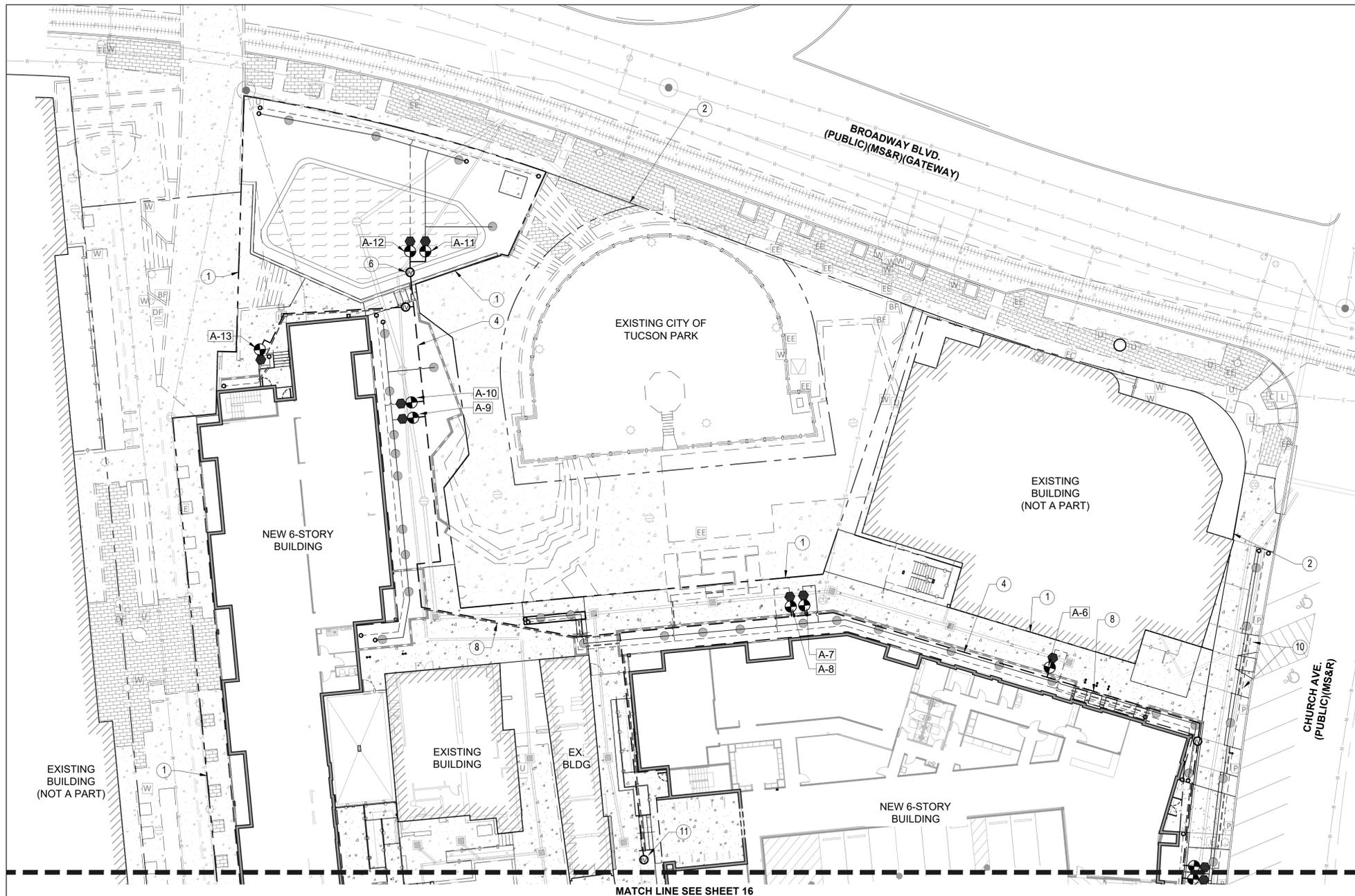
ARC STUDIOS
3117 E. Flower Street
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phone: 520.892.9655
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landscape architecture . urban design .
environmental services . irrigation design.

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G. & S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN landscape plan

DP17-0038
REF: T17SA00196



IRRIGATION LEGEND

- furnish and install all material per plans, details, and specifications
- irrigation source / point of connection - irrigation meter - 1" (refer to civil water plans)
- reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
- irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
- irrigation controller - rain master rme 24-eg-w, 24 station
- master valve and flow sensor: master valve - superior 3100 n.o. - 1"; flow sensor - cst fsi-t series - 1"
- isolation valve - 1-1/2" lead free brass ball valve
- remote control valve & filter - valve - irrigrol 700 series, 700-1; filter - rain bird rby-100-150mx
- irrigation sleeve - class 200 pvc - 4" mainlines / multiple lines, 2" single line / controller wiring
- tree line - sch. 40 pvc - 3/4" unless otherwise shown
- shrub line - sch. 40 pvc - 3/4" unless otherwise shown
- hose end cap
- pressure regulator - senniger - pmr-30-mf
- multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
- single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

IRRIGATION VALVE SCHEDULE

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-13	1"	shrub
A-2	1"	shrub	A-14	1"	shrub
A-3	1"	shrub	A-15		not used
A-4	1"	shrub - r.o.w.	A-16		not used
A-5	1"	tree - r.o.w.	A-17		not used
A-6	1"	pots	A-18		not used
A-7	1"	tree	A-19		not used
A-8	1"	shrub	A-20		not used
A-9	1"	tree	A-21		not used
A-10	1"	shrub	A-22		not used
A-11	1"	tree	A-23		not used
A-12	1"	shrub	A-24		not used

VALVE SCHEDULE NOTES:

1. Valve calculation is an estimate, contractor shall provide final valve flow in gallons per minute on as-built plans.
2. (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
3. Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

IRRIGATION KEY NOTES

1. Property line
2. Right of way line
3. Irrigation source
4. Irrigation mainline
5. Backflow preventer
6. Isolation valve
7. Master valve and flow sensor
8. Irrigation sleeve - refer to paving & grading plans
9. Irrigation controller
10. Not used
11. Contractor shall provide 4 valve wires and 1 common wire to courtyard for future irrigation

EMITTER SCHEDULE

Trees	Type	Outlets	Gph	Gph outlet	Gph plant
Acacia willardiana	m	3	2.0	2.0	6.0
<i>palo blanco</i>					
Celtis reticulata	m	5	2.0	2.0	10.0
<i>netleaf hackberry</i>					
Pistacia x 'Red Push'	m	6	2.0	2.0	12.0
<i>red push pistache</i>					
Caesalpinia mexicana	m	3	2.0	2.0	6.0
<i>mexican bird of paradise</i>					
Sophora secundiflora	m	3	2.0	2.0	6.0
<i>texas mountain laurel</i>					
Cercis canadensis 'oklahoma'	m	4	2.0	2.0	8.0
<i>oklahoma redbud</i>					
Shrubs / Ground Covers	Type	Outlets	Gph	Gph outlet	Gph plant
Bauhinia lunariodes 'White'	s/m	3	2.0	2.0	6.0
<i>chihuahuan orchid shrub</i>					
Cycas revoluta	s/m	2	2.0	2.0	4.0
<i>sago palm</i>					
Salvia clevelandii	s/m	2	1.0	2.0	2.0
<i>cleveland sage</i>					
Ruellia brittoniana	s/m	1	1.0	1.0	1.0
<i>mexican burro weed</i>					
Justicia californica	s/m	2	1.0	2.0	2.0
<i>chuparosa</i>					
Viguiera parishii (Deltaidea)	s/m	1	1.0	1.0	1.0
<i>goldeneye</i>					
Pedilanthus macrocarpus	s/m	1	1.0	1.0	1.0
<i>slipper plant</i>					
Salvia greggii	s/m	1	1.0	1.0	1.0
<i>autumn sage</i>					
Bouteloua gracilis	s/m	1	0.5	0.5	0.5
<i>blue grama</i>					
Calliandra californica	s/m	2	1.0	2.0	2.0
<i>baja fairy duster</i>					
Berlandiera lyrata	s/m	1	1.0	1.0	1.0
<i>chocolate flower</i>					
Setcreasea pallida	s/m	1	1.0	1.0	1.0
<i>purple heart</i>					
Lantana sp.	s/m	1	1.0	1.0	1.0
<i>dallas red</i>					
Vines	Type	Outlets	Gph	Gph outlet	Gph plant
Parthenocissus 'Hacienda Creeper'	s/m	2	1.0	2.0	2.0
<i>hacienda creeper</i>					
Trachelospermum jasminoides	s/m	2	1.0	2.0	2.0
<i>star jasmine</i>					
Bignonia capreolata	s/m	2	1.0	2.0	2.0
<i>tangerine cross vine</i>					
Cacti / Succulents	Type	Outlets	Gph	Gph outlet	Gph plant
Yucca rostrata	s/m	1	1.0	1.0	1.0
<i>beaked yucca</i>					
Nolina microcarpa	s/m	2	2.0	4.0	4.0
<i>bear grass</i>					
Hesperaloe parviflora	s/m	1	1.0	1.0	1.0
<i>brakelights yucca</i>					
Aloe sp.	s/m	1	1.0	1.0	1.0
<i>Aloe</i>					
Euphorbia antisiphilitica	s/m	1	1.0	1.0	1.0
<i>candelilla</i>					
Yucca rupicola	s/m	1	1.0	1.0	1.0
<i>twisted leaf yucca</i>					
Lophocereus schotti	s/m	1	0.5	0.5	0.5
<i>totem pole cactus</i>					

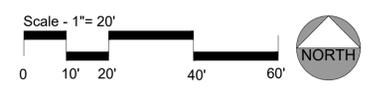
IRRIGATION NOTES:

1. The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
2. The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
3. Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
4. Contractor shall test pressure 30 days prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
5. If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
6. Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
7. Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
8. Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
9. Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
10. Contractor shall set additional programs on controller for deep root watering and plant growth from march thru June.
11. Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
12. Contractor shall have the irrigation functional, prior to start of planting.

Irrigation lines and equipment are shown schematically. Contractor shall locate all irrigation lines and equipment outside of hardscape areas unless otherwise noted.



ARC STUDIOS, INC. RETAINS ALL RIGHTS TO LANDSCAPE AND IRRIGATION PLANS AND PLANS MAY NOT BE REPRODUCED WITHOUT PRIOR APPROVAL BY ARC STUDIOS.



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
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<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PLME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/ HSL CONSTRUCTION SERVICES LLC
				3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 email: mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701



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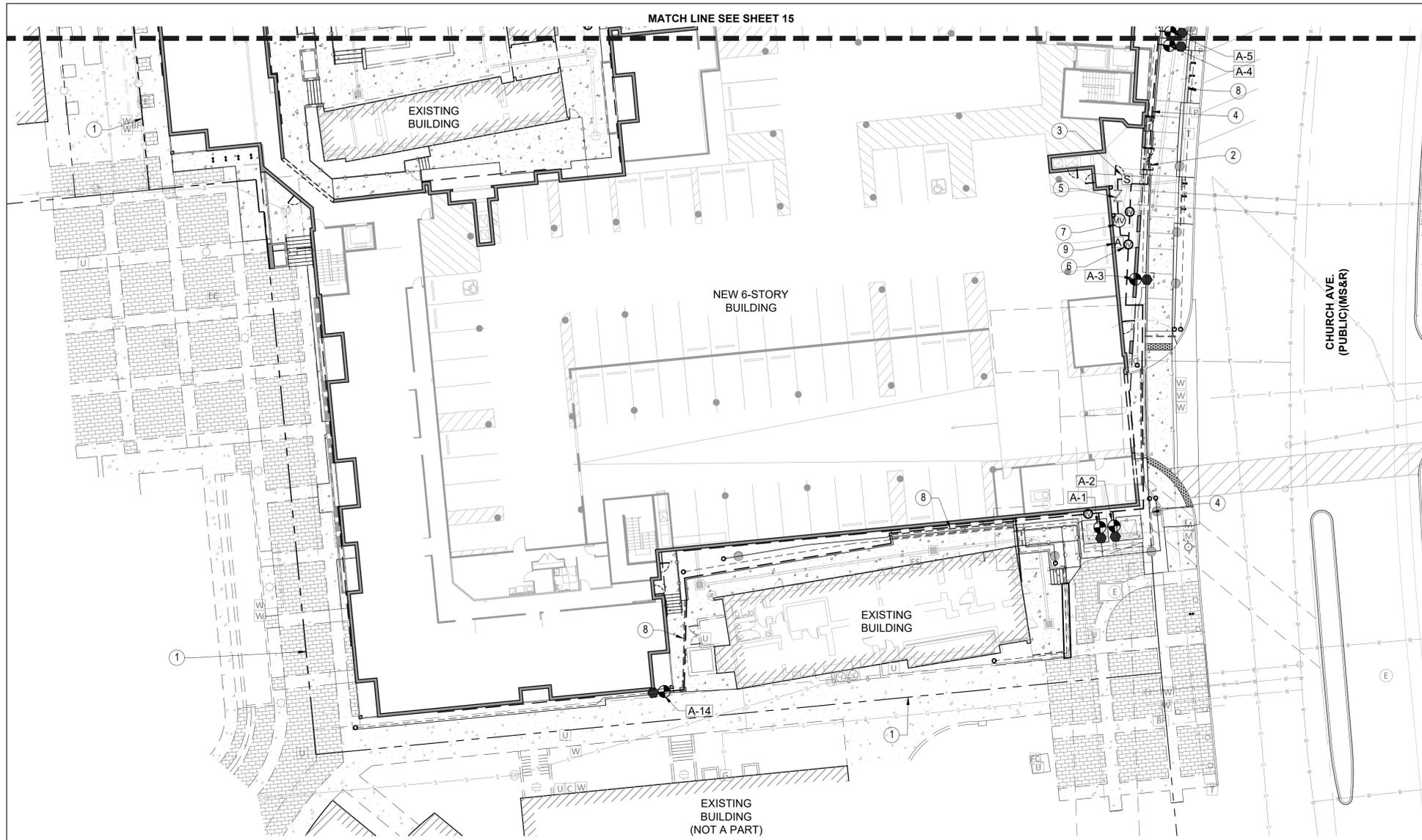
landscape architecture . urban design .
environmental services . irrigation design.

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN irrigation plan

DP17-0038
REF:17SA00196

15 OF 23



- IRRIGATION LEGEND**
- [S] furnish and install all material per plans, details, and specifications irrigation source / point of connection - irrigation meter - 1" (refer to civil water plans)
 - [N] reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
 - [A] irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
 - [M] irrigation controller - rain master rme 24-eg-w, 24 station
 - [MV] master valve and flow sensor: master valve - superior 3100 n.o. - 1"; flow sensor - cst fsi-t series - 1"
 - [V] isolation valve - 1-1/2" lead free brass ball valve
 - [R] remote control valve & filter - valve - irrigrol 700 series, 700-1; filter - rain bird rby-100-150mx
 - [S] irrigation sleeve - class 200 pvc - 4" mainlines / multiple lines, 2" single line / controller wiring
 - [L] tree line - sch. 40 pvc - 3/4" unless otherwise shown
 - [S] shrub line - sch. 40 pvc - 3/4" unless otherwise shown
 - [H] hose end cap
 - [P] pressure regulator - senniger - pmr-30-mf
 - [M] multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
 - [S] single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

IRRIGATION VALVE SCHEDULE

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-13	1"	shrub
A-2	1"	shrub	A-14	1"	shrub
A-3	1"	shrub	A-15		not used
A-4	1"	shrub - r.o.w.	A-16		not used
A-5	1"	tree - r.o.w.	A-17		not used
A-6	1"	pots	A-18		not used
A-7	1"	tree	A-19		not used
A-8	1"	shrub	A-20		not used
A-9	1"	tree	A-21		not used
A-10	1"	shrub	A-22		not used
A-11	1"	tree	A-23		not used
A-12	1"	shrub	A-24		not used

- VALVE SCHEDULE NOTES:**
- Valve calculation is an estimate, contractor shall provide final valve flow in gallons per minute on as-built plans.
 - (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
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- IRRIGATION KEY NOTES**
- Property line
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 - Irrigation source
 - Irrigation mainline
 - Backflow preventer
 - Isolation valve
 - Master valve and flow sensor
 - Irrigation sleeve - refer to paving & grading plans
 - Irrigation controller
 - Not used
 - Contractor shall provide 4 valve wires and 1 common wire to courtyard for future irrigation

EMITTER SCHEDULE

Trees	Type	Outlets	Gph outlet	Gph plant
Acacia willardiana	m	3	2.0	6.0
<i>palo blanco</i>				
Celtis reticulata	m	5	2.0	10.0
<i>netleaf hackberry</i>				
Pistacia x 'Red Push'	m	6	2.0	12.0
<i>red push pistache</i>				
Caesalpinia mexicana	m	3	2.0	6.0
<i>mexican bird of paradise</i>				
Sophora secundiflora	m	3	2.0	6.0
<i>texas mountain laurel</i>				
Cercis canadensis 'oklahoma'	m	4	2.0	8.0
<i>oklahoma redbud</i>				
Shrubs / Ground Covers	Type	Outlets	Gph outlet	Gph plant
Bauhinia lunariodes 'White'	s/m	3	2.0	6.0
<i>chihuahuan orchid shrub</i>				
Cycas revoluta	s/m	2	2.0	4.0
<i>sago palm</i>				
Salvia clevelandii	s/m	2	1.0	2.0
<i>cleveland sage</i>				
Ruellia brittoniana	s/m	1	1.0	1.0
<i>mexican burro weed</i>				
Justicia californica	s/m	2	1.0	2.0
<i>chuparosa</i>				
Viguiera parishii (Deltaidea)	s/m	1	1.0	1.0
<i>goldeneye</i>				
Pedilanthus macrocarpus	s/m	1	1.0	1.0
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Berlandiera lyrata	s/m	1	1.0	1.0
<i>chocolate flower</i>				
Setcreasea pallida	s/m	1	1.0	1.0
<i>purple heart</i>				
Lantana sp.	s/m	1	1.0	1.0
<i>dallas red</i>				
Vines	Type	Outlets	Gph outlet	Gph plant
Parthenocissus 'Hacienda Creeper'				
<i>hacienda creeper</i>				
Trachelospermum jasminoides	s/m	2	1.0	2.0
<i>star jasmine</i>				
Bignonia capreolata	s/m	2	1.0	2.0
<i>tangerine cross vine</i>				
Cacti / Succulents	Type	Outlets	Gph outlet	Gph plant
Yucca rostrata	s/m	1	1.0	1.0
<i>beaked yucca</i>				
Nolina microcarpa	s/m	2	2.0	4.0
<i>bear grass</i>				
Hesperaloe parviflora	s/m	1	1.0	1.0
<i>brakelights yucca</i>				
Aloe sp.	s/m	1	1.0	1.0
<i>Aloe</i>				
Euphorbia antisiphilitica	s/m	1	1.0	1.0
<i>candelilla</i>				
Yucca rupicola	s/m	1	1.0	1.0
<i>twisted leaf yucca</i>				
Lophocereus schotti	s/m	1	0.5	0.5
<i>tetem pole cactus</i>				

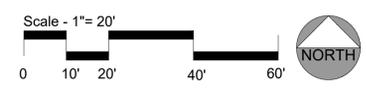
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- Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
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- Contractor shall have the irrigation functional, prior to start of planting.

Irrigation lines and equipment are shown schematically. Contractor shall locate all irrigation lines and equipment outside of hardscape areas unless otherwise noted.



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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

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<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/ HSL CONSTRUCTION SERVICES LLC
				3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 email: mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701



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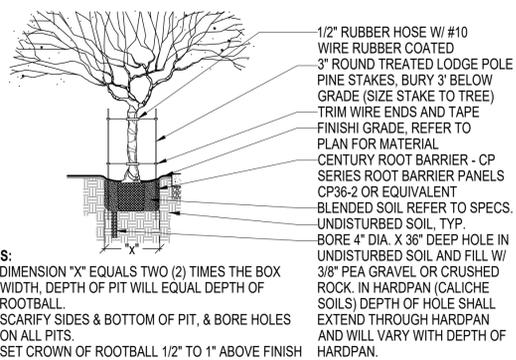
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PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN irrigation plan

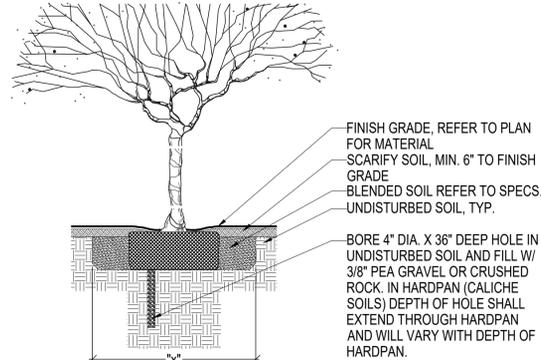
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16 OF 23



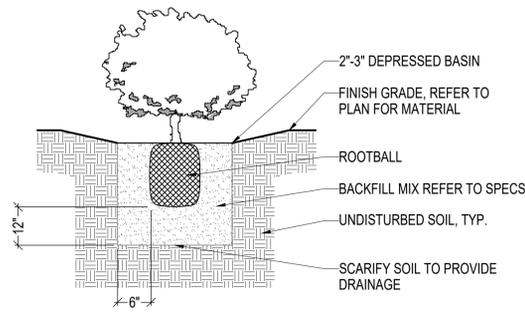
NOTES:

1. DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
2. SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
3. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
4. DO NOT COVER CROWN WITH SOIL.
5. ROOT GUARDS SHALL BE PROVIDED ON ALL SIDES WHERE HARDSCAPE IS ADJACENT TO PLANT.
6. REFER TO TREE GUYING DETAIL FOR ADDITIONAL INFORMATION.



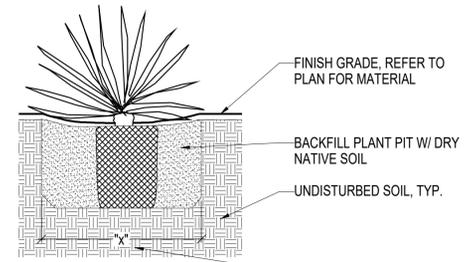
NOTES:

1. DIMENSION "X" EQUALS FOUR (4) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
2. SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
3. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
4. DO NOT COVER CROWN WITH SOIL.



NOTES:

1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
2. DO NOT COVER CROWN WITH SOIL.
3. SETTLE BACKFILL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.



NOTES:

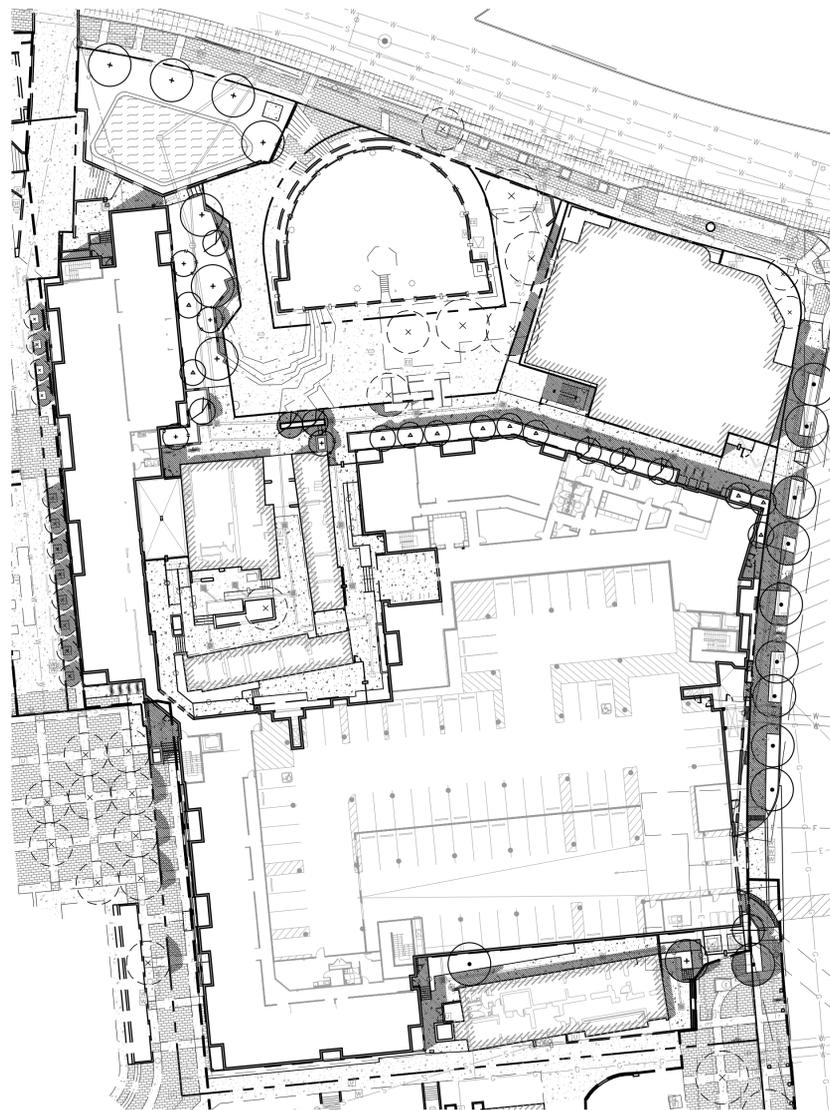
1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
2. DO NOT COVER CROWN WITH SOIL.
3. SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.

1 15 GALLON & 24IN BOX - TREE PLANTING NTS

2 36IN BOX OR LARGER - TREE PLANTING NTS

3 SHRUB PLANTING NTS

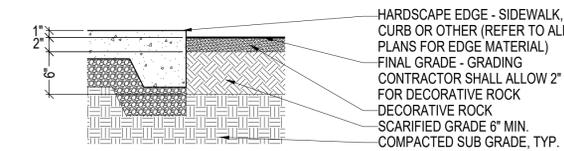
4 ACCENT PLANTING NTS



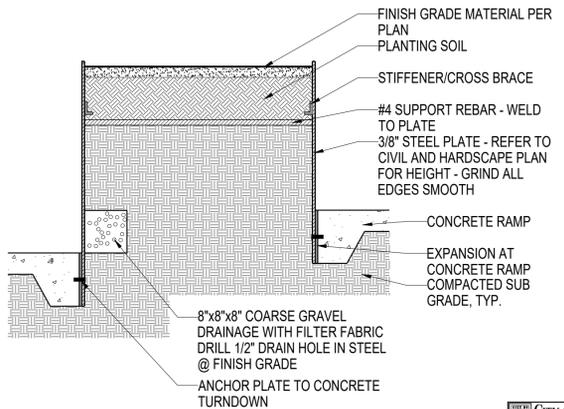
SHADE STUDY

public hardscape area 19,375 sf
 public hardscape shade required (50%) 9,688 sf
 public hardscape shade provided 9,781 sf

6 TREE STAKING NTS



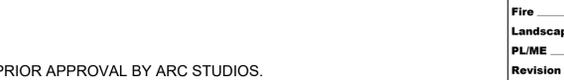
7 FINAL GRADE HARDSCAPE TO DEC. ROCK NTS



NOTES:

1. PROVIDE SLEEVES FOR IRRIGATION AND ELECTRICAL - REFER TO PLANS FOR SLEEVING SCHEDULE.
2. APPLY FLUID WATERPROOFING TO ALL SURFACES TO 1" ABOVE FINISH GRADE.

9 RAISED STEEL PLANTER NTS



5 SHADE STUDY



Scale: 1"= 40'-0"

8 STEEL SQUARE PLANTER NTS



NOTES:

1. EL TORO PLANT MIX, A BLEND OF COMPOSTED FINELY SCREENED EL TORO FOREST MULCH MIXED WITH FINELY SCREENED NATIVE TOPSOIL, WASHED MORTAR SAND, 90% SOIL SULFUR AND 16-20-0 AMMONIUM PHOSPHATE FERTILIZER OR APPROVED EQUAL.
2. CONTRACTOR SHALL REMOVED EXISTING SUBGRADE SOIL AND BACKFILL WITH PLANTING MIX.
3. CONTRACTOR SHALL ENSURE SUBGRADE DRAINS WITHIN 4 HOUR PERIOD. CONTRACTOR SHALL PROVIDE DRAINAGE CHIMNEYS 6' ON CENTER TO AREAS WHERE SUBGRADE DOES NOT DRAIN.

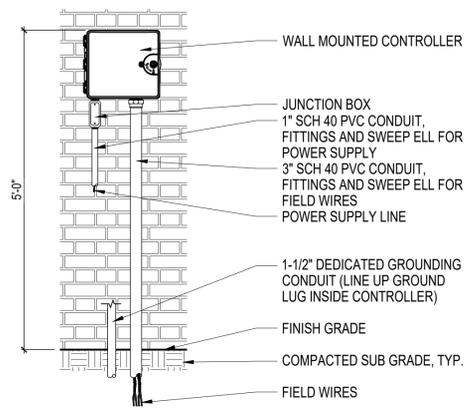
CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL	
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Revision # _____	<input type="checkbox"/> per letter in SIRE

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				HSL LA PLACITA, LLC/ HSL CONSTRUCTION SERVICES LLC 3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 email: mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701
				DEVELOPMENT PACKAGE for THE FLIN landscape details
PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA				17 OF 23



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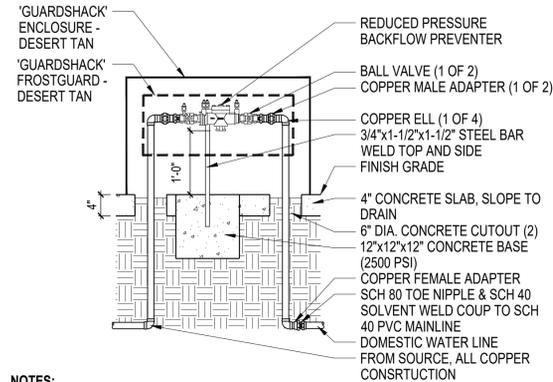
DP17-0038
 REF:17SA00196



- NOTES:**
1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

1 WALL MOUNTED CONTROLLER

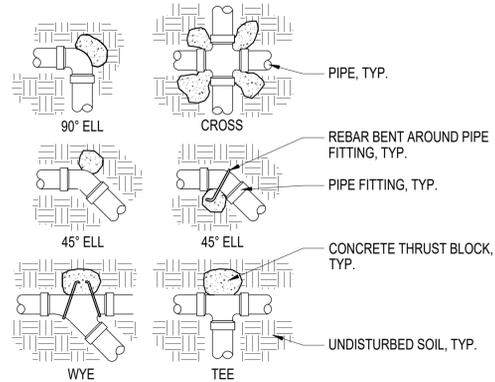
NTS



- NOTES:**
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
 2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)
 3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.

2 REDUCED PRESSURE BACKFLOW PREVENTER

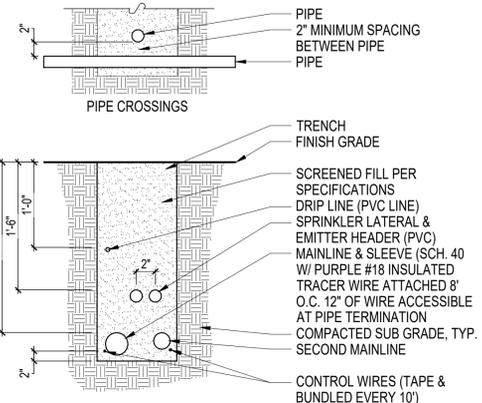
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- NOTES:**
1. SUPPLY LINES 2" IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.
 2. 1 CUBIC FOOT OF CONCRETE TO BE USED FOR EACH THRUST BLOCK.
 3. WRAP PLASTIC SHEETING AROUND PIPE WHERE IT CONTACTS CONCRETE.

3 MAIN LINE THRUST BLOCK

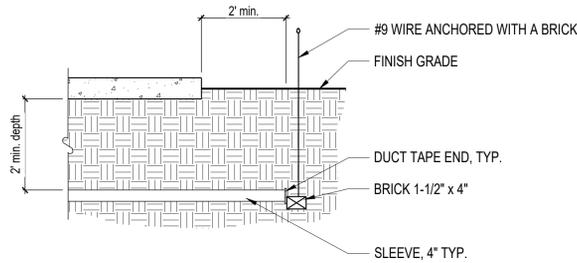
NTS



- NOTES:**
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
 2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.
 3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.
 4. 4" PIPE & LARGER SHALL BE 30" BELOW FINISH GRADE.

4 IRRIGATION TRENCHING

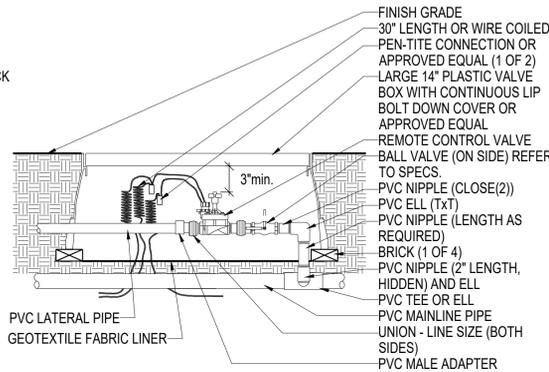
NTS



- NOTES:**
1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
 4. MECHANICALLY TAMP TO 95% PROCTOR.

5 SLEEVING

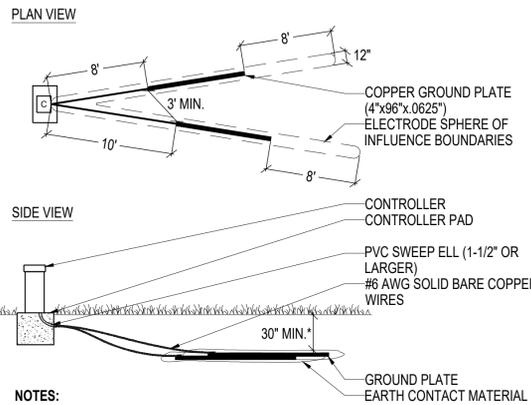
NTS



- NOTES:**
1. GREEN BOXES IN TURF AREAS.
 2. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
 3. PURPLE BOXES IN RECLAIMED SYSTEMS.

6 REMOTE CONTROL MASTER VALVE ASSEMBLY

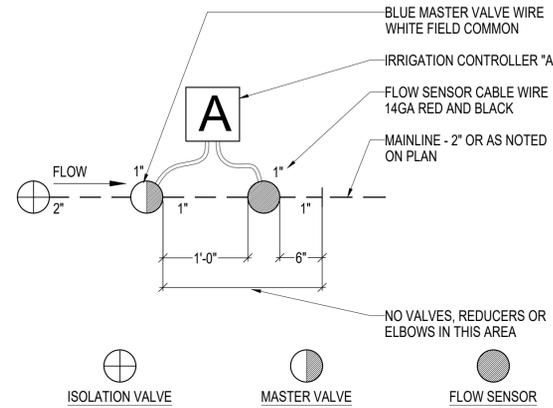
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- NOTES:**
1. DO NOT INSTALL ANY OTHER WIRES OR CABLE WITHIN THE SPHERE OF INFLUENCE.
 2. * OR BELOW FROSTLINE, WHICHEVER IS DEEPER

7 CONTROLLER GROUNDING

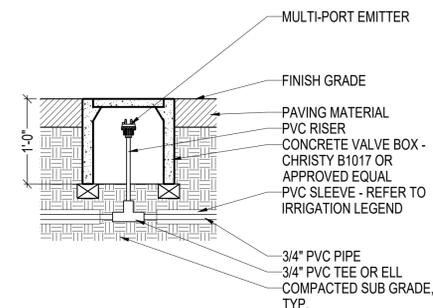
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- NOTE:**
- INSTALL MASTER VALVE AND FLOW SENSOR PER REQUIRED 10 - 5 RULE. 10 TIMES DIAMETER BEFORE AND 5 TIMES DIAMETER AFTER FLOW SENSOR FREE OF REDUCERS AND CHANGE IN DIRECTION

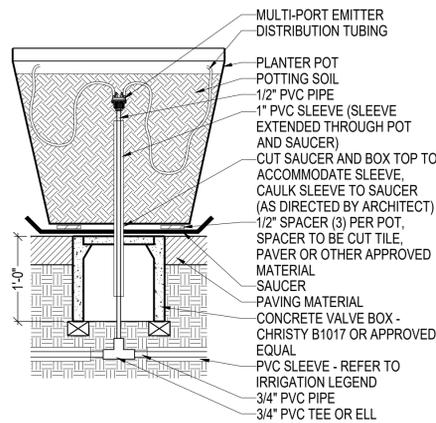
8 MASTER VALVE AND FLOW SENSOR DIAGRAM

NTS



9 CONCRETE PULL BOX

NTS



- NOTES:**
1. ALL POTS SHALL BE LINED OR WATERPROOFED.
 2. ALL POTS SHALL BE BACK FILLED WITH POTTING SOIL TO 1/2" OF TOP AFTER COMPACTION.

10 POT IRRIGATION

NTS



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CITY OF TUCSON	DEVELOPMENT PACKAGE PSDS APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
Engineering _____ Date _____	
H/C Site _____ Date _____	
Fire _____ Date _____	
Landscape _____ Date _____	
PLME _____ Date _____	
Revision # _____ per letter in SIRE	

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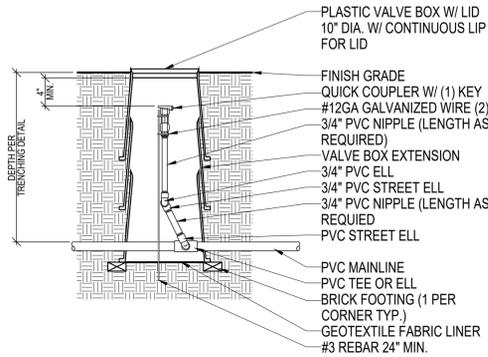
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PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN irrigation details

DP17-0038
REF:17SA00196

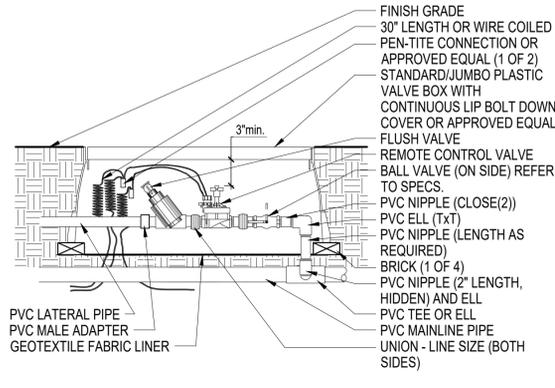
18 OF 23



- NOTES:**
1. ADD BOX EXTENSIONS AS NECESSARY.
 2. REFER TO PLANS FOR PIPE MATERIAL SPECS.

1 QUICK COUPLER

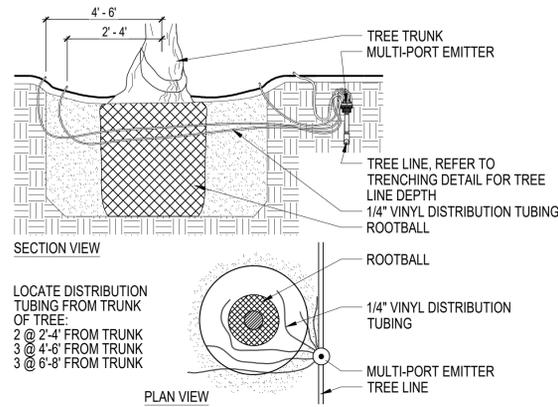
NTS



- NOTES:**
1. GREEN BOXES IN TURF AREAS.
 2. TAN BOXES IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
 3. PURPLE BOXES IN RECLAIMED SYSTEMS.

2 REMOTE CONTROL VALVE - DRIP/BUBBLER

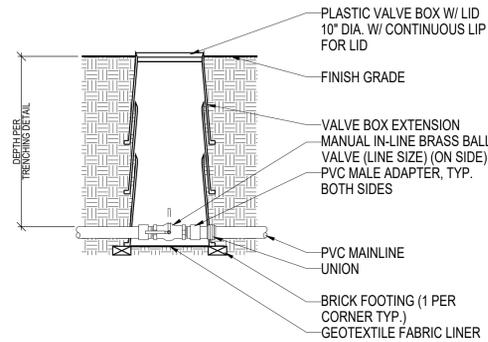
NTS



- NOTES:**
1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

3 MULTI-PORT EMITTER DRIP TUBING @ TREE

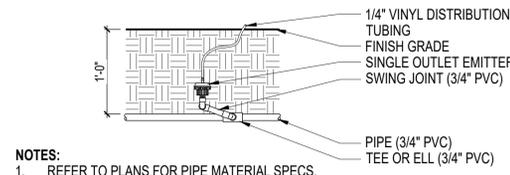
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- NOTES:**
1. ADD BOX EXTENSIONS AS NECESSARY.

6 ISOLATION BRASS BALL VALVE

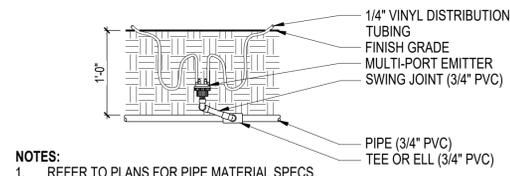
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- NOTES:**
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

7 SINGLE OUTLET EMITTER

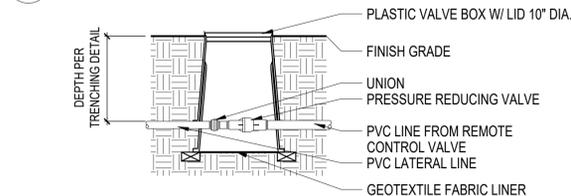
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- NOTES:**
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

8 MULTI-PORT EMITTER

NTS



9 PRESSURE REDUCING VALVE

NTS

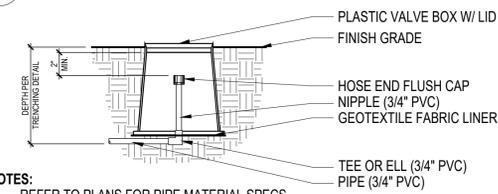
NOTES:

1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC, PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
2. MAIN LINE - SCH. 80 FITTINGS.
3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
4. PRESSURE TESTS, 4 HOURS:
 - MAIN LINE AT 150 PSI
 - LATERALS AND DRIP LINE AT 70 PSI

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

4 PIPE SIZING SCHEDULE

NTS



- NOTES:**
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

5 HOSE END CAP

NTS

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CITY OF TUCSON DEVELOPMENT PACKAGE PDS APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
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REF: T17SA00196

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SECTION 32 01 90 - OPERATION AND MAINTENANCE OF LANDSCAPE AND IRRIGATION

- PART 1 - GENERAL**
- 1.01 DESCRIPTION OF WORK
- A. The work shall consist of furnishing all labor, tools, motorized and non-motorized equipment, vehicles, appliances, materials, permits, insurance, and taxes as necessary to execute complete grounds maintenance of the entire project. The work shall include, but not necessarily be limited to, the following work:
- Litter control
 - Weed control
 - Pest and disease control
 - Rodent control
 - Irrigation system maintenance
 - Plant replacement
 - Pruning
 - Seed establishment
 - Sweeping and washing of sidewalks, curbs, paving, tables and benches.
 - Cleaning and raking of planting and field areas
 - Temporary protection
- 1.02 MAINTENANCE PERIOD
- A. On site maintenance from start of construction through Agency acceptance.
- B. On site maintenance period shall be three hundred sixty five (365) days from Agency acceptance and written substantial completion of the project.
- 1.03 MAINTENANCE ACTIVITY
- A. Maintenance shall be performed a minimum of one time per week.
- B. Work which the contractor fails to do when necessary during the maintenance period may be performed by others as directed by the owner, the cost to be borne by the contractor.
- PART 2 - PRODUCTS**
- 2.01 MATERIALS
- A. Materials for irrigation and landscaping maintenance shall be as specified in the irrigation and landscaping sections, respectively. Materials shall not be used until they have been approved by the owner who shall have the power to reject any material or defective workmanship.
- PART 3 - EXECUTION**
- 3.01 TREE SUPPORTS
- A. Maintain tree support ties, hoses, guy wires, tree stakes and wires which maintain upward and proper support of the trees. Protect the trees from wind and storm damage. Allow for movement of the trunks to encourage strong growth of trunks.
- B. Tree supports ties and hoses shall be adjusted during the maintenance period to maintain loose connection with tree trunks and minimize possible girdling to tree trunks.
- 3.02 LITTER REMOVAL AND CLEAN UP
- A. All litter and dead vegetation which is loose shall be removed from the entire project site at intervals not to exceed seven (7) calendar days all zones.
- B. Contractor shall clean concrete curbs, sidewalks, and other paving by sweeping and hosing down as necessary on a weekly basis for all zones.
- 3.03 WEED CONTROL
- A. Weed control shall be provided over the entire project site through the use of herbicides and manual labor, which method or methods shall be at the discretion of the contractor. Grass type weeds (bermuda) and other weeds which spread by underground roots shall be permanently eradicated by the use of translocating herbicides, such as "Round-Up".
- B. Weed control within on site shall consist of sonoran desert invasive species elimination and eradication:
- Contractor shall review entire site invasive species.
 - Contractor shall remove, by mechanical means, invasive species from landscape areas throughout the site. Confirm identification of invasive species in field with landscape architect or owner representative. Invasive species that may be found on this site include, but are not limited to: Salsola sp. (Russian thistle), Pennisetum ciliare (Buffelgrass), Pennisetum setaceum (Fountain Grass), Bromus rubens (Red Brome), Cynodon dactylon (Bermuda Grass), Eragrostis lehmanniana (Lehmann Lovgrass), Schismus barbatus (Mediterranean Grass), Schismus arabicus (Arabian Grass), Mellinis repens, Arundo donax (Giant Reed), Cortaderia selloana (Pampas Grass), Centaurea melitensis (Malta starthistle), Brassica tournefortii (Sahara mustard), Sisymbrium irio (London rocket), Eurca vesicaria (Garden Rocket), Alhagi maurorum (Camelthorn), Mesembryanthemum crystallinum (Ice plant), Tamarix ramosissima (Saltcedar), Rhus lancea (African sumac), Ailanthus altissima (Tree of Heaven).
3. Contractor shall provide a written summary of severity of invasive species found, duration of labor force, and means of eradication.
4. Contractor shall review weeded areas each month of the construction schedule, providing a written summary for each treatment and continue treatment of invasive species for the length of the contract including the maintenance period.
5. Contractor must eradicate invasive species by mechanical means or manual means wherever possible. If chemical means of removal is deemed necessary the contractor must submit a report outlining:
- justification for use of chemical herbicides
 - Plan showing limits of chemical application
 - Product information
6. Approved chemical control shall be applied when plants are in active growing periods with at least 80% of plant green, typically during the summer rainy period and early fall. All chemical

- applications shall be per manufacturer's instructions.
7. Mechanical control by means of pulling or digging to remove plants from the native landscape shall be preformed during the fall and early spring.
8. Mowing and cutting are not consider as an appropriate means for the site due to the geographical nature of the site.
- C. Organic and synthetic herbicides employed during the term of the maintenance period shall not cause the extermination of any landscape plant nor have detrimental side effects.
- D. No chemical or other materials shall stain or cause to stain, nor cause damage to any portion of the site or improvements, including landscape plant material. If staining or damage occurs, requisite repairs or replacements shall be made by the contractor.
- E. A record shall be kept of all chemical applications noting the date applied, location of application, rate of application, whether pre-emergent or post-emergent, and method of application. A copy shall be submitted to the owner at the end of the maintenance period.
- F. Applications of chemicals shall be in such a manner so as not to cause injury to the personal health of anyone working on the site, observing, or passing by. Care shall be taken such that no puddles or pools of water which contain toxic amounts of chemicals remain after completion of operations. Chemicals shall not be allowed to fall on or translocate to other areas of the site.
- G. Chemicals shall be approved by the EPA for the intended use and applied in strict accordance with EPA guidelines and the manufacturer's instructions. Chemicals shall be applied by an individual with proper training and possessing the required licenses and certifications for applying herbicides and other chemicals in the State of Arizona.
- 3.04 PEST AND DISEASED CONTROL
- A. All landscape plants and turf grass shall be provided protection which shall include, but not be limited to, eradication or control of insects, mites, fungi, and non-fungus diseases through the application of appropriate insecticides, miticides, and fungicides, approved by owner representative, which shall in from be sprays or dusts.
- B. All insecticides, fungicides, and miticides employed during the term of the Contract shall not cause extermination of any landscape plant material, nor cause damage to the growth characteristics such that the plants will not be able to recover in a normal manner.
- C. All precautionary provisions of paragraph "Weed Control" shall apply to the application of pest and disease control chemicals.
- 3.05 HYDRO SEEDED REVEGETATED AREAS.
- A. Refer to section 32 92 19 Hydraulic Seeding.
- B. Germinated plants and forbes shall be left to grow in a natural state with little to no maintenance. Germinated areas shall only be addressed due to conflict with operations of the port or visibility concerns and shall be addressed on an as needed bases directed by the owner.
- C. Non native species and undesired plants that occur within these areas shall be treated per Section 3.03 WEED CONTROL within this specification.
- 3.06 PRUNING AND SHRUB TRIMMING
- A. Pruning of plants shall be done in a manner which preserves the plant's natural growth characteristics and appearance. No shearing will be allowed. Any plant sheared by maintenance company shall be replaced with like size and kind at no additional cost to the owner.
- B. Trees shall be left in natural state when ever possible. Trees shall only be pruned to remove view obstructions, cross branching, and deadwood and mistletoe as directed by owner. Trees near pedestrian walkways and vehicle traffic shall be pruned up to allow clear viewing and access for pedestrians on sidewalks. Trees shall be maintained up to 12 feet high at no additional cost to owner.
- C. Native plants shall only be trimmed to remove dead or diseased branches at their point of origin.
- D. Shrub and accent plants generally will not require any pruning. Pruning shall only be done to remove dead, diseased, or damaged branches.
- E. Shrub and accent plants located within near pedestrian areas or vehicle viewing areas has be hand trimmed to control branches which impact walkways or impede viewing and shall be trimmed as directed by owner.
- 3.07 INERTS
- A. Landscape areas with decomposed granite, crushed stone and sized rock shall be raked to maintain a finished appearance. Replace material which is removed, damaged or otherwise no longer suitable for the use in which it was intended with like size and color.
- B. Rip rap in retention basins, at splash pads and other landscape areas shall be kept free of debris and litter and checked weekly and following storms.
- 3.08 PLANT REPLACEMENT
- A. All landscape plant material determined by the Owner to possess health or vigor insufficient to develop a normal plant habit shall be replaced by the Contractor within ten (10) calendar days after receipt of notification.
- B. Replacements shall be of the same genus, species, and variety and of the same size as originally provided.
- C. Following replacement, regardless of nature, the immediate and adjacent areas shall be left "broom clean" and in such appearance as prior to the aforementioned operations.
- 3.09 IRRIGATION
- A. Irrigation shall be operated at programmed intervals as necessary to maintain vegetation to the different planting zones while promoting good, sturdy, growth of all plant material and hydro seed.
- B. Precautions shall be taken to avoid soil erosion by the irrigation system. Soil eroded by the irrigation system shall be regarded or replaced with topsoil conforming to the landscape specifications.
- C. The entire irrigation system shall be maintained by the Contractor to insure balanced and necessary watering. This maintenance shall include, but not be limited, to the following:
- Removal of sand and debris causing restriction within the emitter orifices.
 - Flushing of drip system filters as required to remove debris.

3. Review filter and replace filters screens as necessary.
4. Necessary timing adjustments to the automatic controller(s), as provided within the mechanism of the equipment. Refer to programming below.
5. Adjustment of spray heads to maintain efficient, uniform application of water to hydro-seeded areas.
6. Adjusting spray heads to minimize overspray onto adjacent building, paved surfaces and other non-landscape areas.
7. Repair or replacement of damage caused by the Contractor. All such repairs or replacements shall be subject to the approval of the Owner.
- D. The entire irrigation system shall be adjusted to focus watering to the entire site. The irrigation controllers shall be programmed annually for overall water usage and adjusted yearly for the different landscape vegetation zones. Necessary timing adjustments shall be tied to the evaporstrosperation (ET) connected to the Irrigation controllers.
- E. Fine adjustments to the irrigation controllers is vital to preserve water supply and reflect site specific micro-climate conditions for plant with the automatic controllers. Sun exposures like east and west, slopes, and slope faces east, south and west shall be reviewed and each valve shall be adjusted to reflect these different growing conditions which will in turn impacted the plant material.
- 3.10 RODENT CONTROL
- A. Rodents, especially burrowing rodents, shall be controlled on the entire project site by the Contractor, using methods approved by the Owner. Control methods shall safeguard the public from tripping and falling hazards from rodent burrows, rodent spread diseases, etc.
- B. Contractor shall take immediate action to preserve vegetation from rodents and insects. Contractor negligence on rodent and insect invasions shall be replaced at no additional cost to the owner. Contractor shall replace plant material when bark is stripped and/or plant cut back is beyond 50% of overall plant.
- 3.11 CONTRACTOR'S RESPONSIBILITY
- A. This Contractor shall be bound by all requirements of the General Conditions and Specifications which in any way apply to his work.
- 3.12 SUMMARY REPORT.
- A. The contractor shall submit a summary report weekly to the owner representative identifying the tasks preformed per the maintenance specifications.
- B. The summary report shall include date, duration of work, work force, work preformed that day, items of concern that need attention, erosion damage, notation of irrigation adjustments, and rodent activities and estimate tasks for the coming week.
- C. Reports shall be submitted in electronic format with mark-ups noted on accompanying site plan of actions items and work performed.
- 3.13 INSPECTIONS
- A. The Owner, accompanied by the Contractor, will inspect the site at monthly intervals for the duration of the construction project and at least twelve times during the maintenance period, at its expiration, and at other times deemed necessary by the Owner or owner representative. When, in the opinion of the Owner, the methods being used to control or eradicate pests and weeds or perform other maintenance functions are unsatisfactory, the Contractor shall immediately modify his methods, as directed by the Owner. Final acceptance of the project shall be granted after satisfactory completion of the Maintenance period.

END OF SECTION 32 01 90

SECTION 32 84 23 - PLANTING IRRIGATION

- PART 1 - GENERAL**
- 1.01 SUMMARY
- A. Furnish all work and material, appliances, tools, equipment, facilities, transportation, and services necessary for and incidental to performing all operations in connection with the installation of underground sprinkler system complete, as shown on drawings and/or specified herein. When the term "Contractor" is used in this section, it shall refer to the irrigation contractor.
- 1.02 RELATED DOCUMENTS
- A. Conditions of the contract and Division 1 General Conditions are hereby made a part of this section.
- 1.03 APPLICABLE STANDARDS
- A. ASTM D2241 - Poly (Vinyl Chloride)(PVC) Plastic Pipe (SDR-PR)
- B. D2464 - Poly (Vinyl Chloride)(PVC) Plastic Pipe Fittings, Threaded, Schedule 40
- C. D2564 - Solvent cements for Poly (Vinyl Chloride)(PVC) Plastic Pipe and Fittings
- D. D2855 - Making Solvent - Cemented Joints with Poly (Vinyl Chloride)(PVC) Pipe and Fittings
- E. F-477 - Gasket Pocket Pipe
- 1.04 WARRANTEE AND MAINTENANCE
- A. Warrantee:
- The Contractor is required to guarantee the irrigation system in accordance with the requirements below. A copy of the guarantee form shall be included in the Operations and Maintenance Manual. The guarantee form shall be on the Contractor's letterhead and contain the following information: GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM We hereby guarantee that the irrigation system we provided to be free from defects in materials and workmanship, and the work has been completed in accordance with the drawings and specifications, ordinary wear and tear, and unusual abuse or neglect excepted. We agree to repair or replace any defects in material or workmanship including repair of backfill settlement which may develop during the period of two (2) years from the date of Substantial Completion and to repair or replace any damage related to such defects at no additional cost to the Owner. We shall make such repairs or replacements within a reasonable time, as determined by the Owner, after receipt of written notice from the Owner, we authorize the Owner to proceed to have said repairs or replacements made at our expense and we will pay the costs and charges therefore upon demand.
- Project: _____
 Location: _____
 Signed: _____
 Address: _____
 Phone: _____
 Date of Acceptance: _____
 (Contractor to complete upon project acceptance)
- B. Maintenance
- Work shall include but not be limited to:
 - Adjustment of sprinkler height and plumb to compensate for settlement and/or plant growth.
 - Backfilling of all trenches.
 - Unstopping of head coverage (arc of spray) as necessary.
 - Unstopping heads plugged by foreign material.
 - Adjustment of controller as necessary to insure proper sequence and watering time.
 - All maintenance necessary to keep the system in good operating condition.
 - Exclusions
 - Guarantee and maintenance after final acceptance does not include alterations as necessitated by re-landscaping, regrading, addition of trees or the addition and/or changes in sidewalks, walls, driveways, etc., except to the extent that such work is caused or necessitated by the irrigation Contractor or his general Contractor.
- 1.05 SUBMITTALS
- A. The Contractor shall submit to the Owner's Representative PDF copy of shop drawings or manufacturer's "cut sheet" for: booster pump, each type of rotor head, pipe, controller, valves, check valve assemblies, valve boxes, wire, conduit, fittings and all other equipment noted within the plans, legends, and details for the types of fixtures and equipment which he proposes to install on the job. The submittal shall include the manufacturer's name, model number, equipment capacity and manufacturer's installation recommendation, if applicable, for each proposed item.
- B. Substitutions of products shall only occur during the bidding process. Substitutions shall be made 10 business days prior to bid date for consideration of use and must be accepted by owner's representative (2) business days prior to bid submittal for bid uniformity.
- C. A contract will not be issued to the Contractor until he has submitted the required information. No partial submittal will be accepted and submittals shall be neatly bound into a brochure and logically organized. After the submittal has been approved, substitutions will not be allowed except by written consent of the Owner's Representative.
- D. Shop drawings

1. Include dimensions, elevations, construction details, arrangements and capacity of equipment, as well as manufacturer's installation recommendations.
- E. Record Drawings
- Record dimensioned locations and depths for each of the following:
 - Irrigation main line routing (Provide dimensions for each 100 lineal feet (maximum) alone each routing, and for each change in directions)
 - Isolation Valves, Irrigation control valves, Control wire routing, Sleeves under paving and other related items as may be directed by the Owner's Representative.
- F. Dimensioning
- Locate all dimensions from two permanent points (buildings, monuments, sidewalks, curbs or pavements).
- G. Changes
- Record all changes which are made from the Contract Drawings, including changes in the pressure and non-pressure lines.
 - Record all required information on a set of blackline prints of the drawings. Do not use these prints for any other purpose.
 - Maintain information daily. Keep drawings at the site at all times and available for review by the Owner's Representative.
- H. Record Drawing Submittal
- When record drawings have been approved by the Owner's Representative, transfer all information to a clean set of Bond Irrigation Plan set using permanent Blue ink.
 - Changes using ball point pen are not acceptable.
 - Make dimensions accurately at the same scale used on the original drawings, or larger.
 - If photo reduction is required to facilitate controller chart housing, notes or dimensions shall be a minimum 1/4" in size.
 - Reproducible mylars will be furnished by the Owner's Representative at cost for printing and handling.
- 1.06 CONTROLLER CHARTS
- A. Do not prepare charts until record drawings have been approved by the Owner's Representative.
- B. Provide one controller chart for each automatic controller installed. Chart may be a reproduction of the Record Drawing, if the scale permits the chart to fit into the controller door. If photo reduction prints are required, keep reduction to maximum size possible to retain full legibility.
- C. Chart shall be blackline print of the actual system showing the area covered by that controller. Identify the area of coverage of each remote control valve, using a distinct different pastel color drawn over the entire area of coverage.
- D. Following approval of charts by the Owner's Representative, they shall be sealed between two layers of 20 mil plastic sheets.
- E. Charts must be completed and approved prior to final acceptance of the irrigation system.
- 1.07 OPERATING AND MAINTENANCE MANUAL
- A. Provide two individually bound manuals detailing operating and maintenance requirements for the irrigation system.
- B. Manuals shall be delivered to the Owner's Representative no later than 10 days prior to completion of work.
- C. Provide descriptions of all installed materials and systems in sufficient detail to permit maintenance personnel to understand, operate and maintain the equipment.
- D. Information Required
- Index sheet, stating the Irrigation Contractor's name, address, telephone number and name of person to contact, Duration of guarantee period, Equipment list providing the following for each item:
 - Manufacturer's name
 - Make and model number
 - Name and address of local manufacturer's representative
 - Spare parts list in detail
 - Detailed operating and maintenance instructions for major equipment
- 1.08 SUBSTITUTION OF MATERIALS
- A. This irrigation system has been designed around the irrigation components herein stated and as shown on the plans. Any changes of brand name, trade name, trademarked, patented articles, or any other substitutions will be allowed only by written order signed by the Owner's Representative. The Owner is under no obligation to accept materials other than as specified. If a bidder wishes for a substitute item to receive consideration as an approved equal, the bidder and each item must meet all the following requirements without exceptions.
- Criteria
 - An item, to be considered a substitute, must meet the same specifications of materials, fabrication or construction, dimension or size, shape, finish, performance standards, warranty or guarantee, and any other pertinent and salient features of quality, as indicated in manufacturer's specifications for the original specified item.
 - Submittal for Consideration
 - A sample of the item, along with a written request for consideration, shop drawings, and written specifications, must have been received by the Owner's Representative a

- minimum of ten (10) calendar days after bid opening date. The item shall then be examined, and the bidder shall be notified, in writing, seven (7) days later, whether or not the item is an approved equal. The Owner's Representative shall be the final judge of whether or not an item submitted for consideration qualifies as being an acceptable substitute.
- b. Under no circumstances shall an item be given consideration as an "approved equal" substitute later than ten (10) days after the bid opening. After that date, all items shall be furnished per the original specifications. Likewise, unless certified as "approved equal" per the time frame and the requirements above, the successful bidder (known as Contractor after signing the contract) shall install all items per the original plans and specifications. Equipment or material installed or furnished without prior approval of the Owner's Representative as herein specified, may be rejected and the Contractor required to remove such materials at his own expense.
- c. The Contractor alone shall bear complete responsibility for the installation and operation of any material or equipment installed on the job (as a substitute for specified equipment or material) should such substituted material prove to be defective, inoperable or inapplicable.
3. Codes and Permits
- All work under this contract shall comply with the provisions of these specifications, as illustrated on the accompanying drawings, or as directed by the Owner's Representative and shall satisfy all applicable local codes, ordinances, or regulations of the governing bodies and all authorities having jurisdiction over this project.
 - Installation of equipment and material shall be done in accordance with the requirements of the National Electric Code, local and national Plumbing Codes and standard plumbing procedures. The drawings and these specifications are intended to comply with the necessary rules and regulations; however, some discrepancies may occur. Where such discrepancies occur, the contractor shall immediately notify the Owners Representative in writing of the discrepancies and apply for an interpretation. Should the discovery and notification occur after the execution of a contract, any additional work required for compliance with the regulations shall be paid for as covered by these contract documents.
 - The Contractor shall give all necessary notices, obtain all permits and pay all costs in connection with his work; file with all Owner departments having jurisdiction; obtain all required certificates of inspection for his work and deliver to the Owner's Representative before request for acceptance and final payment for his work.
 - The Contractor shall include in the work any labor, materials, services, apparatus or drawings in order to comply with all applicable laws, ordinances, rules and regulations whether or not shown on the drawings and/or specified.
- 1.09 QUALITY ASSURANCE
- A. The installation of the irrigation system shall be made by an individual or firm duly licensed under the State of Arizona Registrar of Contractors.
- Superintendent: A superintendent satisfactory to the Owner's Representative shall be on in the employ of the Contractor and shall be on the site at all times while the specified herein is being performed.
 - The superintendent shall not be changed, except with the consent of the Owner's Representative
 - The superintendent shall be authorized to represent the Contractor.
 - The superintendent shall have a minimum of 7 years irrigation installation experience and a minimum of 2 years supervisory experience.
- 1.10 NOTIFICATION OF OWNER'S REPRESENTATIVE
- A. The Owner's Representative shall have free access to the work whenever it is in preparation or progress and proper facilities for such access and inspection. The Contractor shall notify the Owner's Representative when he will and will not be on the job. Should the Contractor work periodically on the job, the Owner's Representative shall have the right to require the Contractor to give a 24 hour notice of each and every day or partial day that he intends to work on the project. The Contractor shall perform no work unless the Owner's Representative has been properly notified. Failure to notify the Owner's Representative may require the Contractor to redo, uncover pipe, expose for inspection, etc., all that the Owner's Representative was unable to inspect.
- 1.11 EXISTING UTILITIES
- A. Location and Elevations: The Contractor shall examine the site and verify to his own satisfaction the locations and elevations of all utilities both public and private and availability of utilities and services required. The Contractor shall inform himself as to their relation to the work and the submission of bids shall be deemed as evidence thereof. The Contractor shall repair at his own expense, and to the satisfaction of the Owner's Representative, for damage



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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE



ARC STUDIOS PROJECT NO: 01-15072

ARC STUDIOS
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 www.arcstudiosinc.com

landscape architecture · urban design · environmental services · irrigation design.

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN specifications

NO.	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER	
HSL LA PLACITA, LLC/ HSL CONSTRUCTION SERVICES LLC	
3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 email: mike@hslproperties.com	
SITE ADDRESS	
110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701	

DP17-0038 REF:17SA00196

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to any utility shown or not shown on the plans.

Should utilities not shown on the plans be found during excavations Contractor shall promptly notify Owner's Representative for instructions as to further action.

Contractor shall make necessary adjustments in the layout as may be required to connect to existing stubouts, should any such stubouts not be located exactly as shown and as may be required to work around existing work, at no increase in cost to the Owner. All such work will be recorded on record drawings and turned over to the Owner's Representative prior to final acceptance.

COOPERATION
Work under this contract may be accomplished with other Contractors and trades on the project site at the same time. The Contractor shall allow each Contractor and trade adequate time at the proper stage of construction to fulfill his contract

ELECTRIC POWER
Electric power to operate the controller is existing at the controller locations except as noted on the Construction Drawings. Service wiring to the controller cabinet shall be furnished by the irrigation contractor.

WATER FOR TESTING
The Owner shall furnish all water necessary for testing, flushing and jetting.

EXTRA EQUIPMENT
Supply as part of this contract the following tools:
1. Two (2) keys for the automatic controller
2. One (1) Operations Manual

SLEEVES AND ELECTRICAL CONDUITS
Sleeves and electrical conduits will need to be installed as noted on the Construction Drawings. Contractor shall be responsible for timely placement of all sleeves and conduits at no additional cost to the Owner.

PROGRESS MEETINGS
Contractor shall attend all progress meetings as requested by the Owner's Representative during installation and as needed to keep work progressing.

LOCATING UNDERGROUND FACILITIES
All irrigation mainlines and any additional irrigation lateral lines greater than 2" in diameter shall have a purple #18 insulated tracer wire securely attached to it at 8' oc and shall have 12" of tracer wire accessible above grade at the termination and be securely attached at that point.

PART 2 - PRODUCTS
GENERAL REQUIREMENTS
Unless otherwise noted on the plans, all materials shall be new and unused. This irrigation system has been designed around the irrigation components herein stated and as shown on the plan. Any changes of brand name, trade name, trademarked, patented articles, or any other substitutions will be allowed only by written order as outlined in Section 1.06.

EQUIPMENT
PVC Pressure Mainline Pipe and Fittings. Pressure mainline piping shall be Schedule 40 PVC 1 1/4" - 2 1/2" and Class 200 SDR 21 for all pipe larger than 3". Refer to Irrigation Legend.

1. Pipe shall be made from NSF approved type I, grade I PVC compound conforming to ASTM specification D - 2241. Piping up to and including 3" size shall be SDR solvnet weld. Pressure mainline piping 4" size and larger to be gasket pocket type as manufactured by the Swanson Company or equal, and shall conform to ASTM F-477.

2. PVC solvent weld fittings shall be Schedule 80K, Type I NSF approved conforming to ASTM test procedure D2466 (for sizes up to and including 3") and shall be as manufactured by Spears, Lasco or Dura.

3. Solvent cement and primer for PVC solvent-weld pipe and fittings shall be Red Hot Blue Glue and Christy's Purple Primer. Manufacturer's installation requirements shall be strictly adhered to.

4. All PVC pipe shall bear the markings showing the Manufacturer's name, Nominal pipe size, Schedule or class, Pressure rating in psi, National Sanitation Foundation (NSF) approval and Date of extrusion.

5. All fittings shall bear the manufacturer's name or trademark, material designation, size, applicable IPS schedule and NSF seal of approval.

PVC Non-Pressure Lateral Piping
1. Non-pressure buried lateral line piping shall be PVC Schedule 40 with solvent weld joints for sizes 3/4" to 2-1/2" and Class 200 PVC for line 3" - 4".

2. Pipe shall be made from NSF approved, Type I, Grade II PVC compound conforming to ASTM resin specifications D1784. All pipe shall meet requirements set forth in Federal Specification PS-22-70, for the appropriate standard dimension ratio (SDR).
3. PVC Solvent weld fittings shall be Schedule 40, Type I NSF approved conforming to ASTM test procedure D2466 as manufactured by Spears, Lasco or Dura.

Galvanized Pipe & Fittings
1. Where indicated on the drawings and on the details, use galvanized steel pipe ASA Schedule 40 mild steel screwed pipe.
2. Fittings shall be medium galvanized screwed beaded malleable iron. Galvanized couplings may be merchant coupling.
3. All galvanized pipe and fittings installed below grade shall be painted with two coats of Koppers # 50 Bitumastic (except swing joint assembly).

Backflow Preventer
1. Backflow Preventer shall be a reduced pressure type of the size shown on the project plans.

Isolation Valves
1. Lead Free Brass ball valve similar to those manufactured by Champion or equivalent.
Valve Boxes

1. A box shall be provided for all valves and equipment as detailed on the project plans. Valve boxes shall be made of high-strength, plastic suitable for turf irrigation purposes. Boxes shall be suitable in size and configuration for the operability and adjustment of the valve. Extension sections will be used as appropriate to the depth of piping. All valve box covers shall bolt down and shall be colored; purple - reclaimed (non potable) or brown - dg areas and imprinted "Irrigation".

2. Boxes for valves shall have a locking or bolt down cover. Box shall be as manufactured by Ametek. Only one remote control valve/gate valve assembly shall be installed per valve box. Box shall be rectangular in shape and be sufficiently large to allow easy access, maintenance and repair of the equipment contained therein.

Quick Coupling Valves and Wire Splices
1. Box shall be a 10" diameter round, plastic valve box.
Electric Control Valves

1. Valve shall be of size indicated on Drawings Valves shall be as indicated on the drawings.

Control Wire

1. Control wire shall be UF-UL listed, color coded copper conductor direct burial size 14. Tape control wires to side of main line every 10 feet. Where control wire leaves main or lateral line, bury a minimum of 24" deep. Use 3M DBY waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common wire may serve only one controller. Do not use black on any 24V circuit. One extra control wire shall be run from panel continuously from valve to valve throughout system controlled by that controller, similar to common wire for use if a wire fails. Wire shall be different color than all other wires, shall not be green, and shall be marked in control box as an extra wire.

2. 2-Wire Systems - Paige or Manufacturer specified 2-wire cable. 14/2 Direct Burial, 24" depth. Use 3M DBY waterproof wire connectors at splices and locate all splices within valve boxes. Install Lighting Arrestors every 500 linear Feet or as specified by Controller manufacturer's.

Irrigation Controller
1. Electric Controllers is existing, Field located and ensure proper functioning prior to start of any construction. Coordinate access and programming of all new stations with Owner Representative and associated Maintenance personnel.

Pressure Regulator
1. Self contained, single seat, direct acting, spring loaded, diaphragm actuated type. The valve body shall be of Polyurethane Compound construction or high-impact engineering grade thermoplastics, stainless steel body seat, composition seat discs, BUNA-N diaphragm with nylon insert and stainless steel springs. The valve shall have a maximum working pressure rating of 150 psi and shall have a fixed outlet pressure of 30 psi pressure. The downstream pressure variance shall not exceed a rate of 0.454 psi for every 10 psi variance in upstream or source pressure.

Filters
1. Filters used down stream of the Remote Control Valves shall be a Y strainer type with minimum of 200 mesh filtration. The filter shall have a threaded opening to allow attachment of a hose for flushing. The filter shall have features similar to the Rainbird RBY-100MPTX.

Emitter Assembly
1. Emitters shall be of the pressure compensating, self flushing type.
2. The cases of the emitters shall be made of durable black, heat resistant acetel plastic material. It shall be resistant to temperature variation, ultraviolet radiation, smog (ozone), common liquid fertilizer and weed spray.
3. The emitter shall be capable of continuous, clog free operation with 140 mesh (minimum) filtration. The emitter shall be capable of being installed in any position and maintain its given flow characteristics. The emitter shall be non adjustable.
4. The emitter shall function with a system pressure range of 15 psi minimum to 50 psi maximum. The emitters shall be available in flow ranges from .5 to 2.0 gph.
5. The emitter assemblies as shown on the plans shall consist of the emitter and .22" OD spaghetti distribution tubing which shall not exceed 8" in length.
6. Trees shall be irrigated with multi-port 2 gph/port, six ports per tree pending of species. Refer to Emitter schedule for required gallons per minute (see plans).

Emitter Hose
1. The flexible emitter hose, which shall deliver water to the emitter assembly shall be manufactured from virgin polyethylene material having the following physical characteristics:
O.D. .704"
I.D. .600 min.
Wall .0052"
Carbon Black 1.5 - 3.5
Density .92 - .93
Melt/Environmental Stress/Crack Resistance 0/100/100
2. Fittings for use with the emitter hose shall be of the compression, internal barb type, constructed of virgin PVC or glass-filled polypropylene materials, and as detailed on the project plans.

Sleeves
1. Provide where shown on the drawings and specified herein.
2. All mainlines, lateral line piping, emitter headers and lateral piping and all control wire shall be installed in a sleeve under all paving, walls and concrete surfaces.
3. All sleeving shall be SCH 40 PVC solvent weld pipe.
4. All joints shall be solvent welded.
5. All sleeves shall be installed as detailed on the project plans.
6. All sleeves shall extend a minimum of 18" beyond the edge of the item being sleeved.
7. Each sleeve shall be taped along its entire length with metallic color tape manufactured for that purpose.

8. Sleeves shall have a minimum horizontal clearance of 12" from each other and other piping. Sleeves shall not be installed parallel and directly over another line. Sleeves shall have a minimum of 9 inches vertical clearance where they cross other lines.

Booster Pump: Shall per as specified on plans, Variable frequency drive able to provide minimum pressure and flows as required to provide adequate flow and pressure per the design plans. Pump shall be placed on skid for ease of placement and connection and include and enclosure able to contain power supplies and pump equipment.

Other equipment: Other Components noted within Irrigation legend, Plans or details shall be as specified in plans as recommended by Manufacturer and subject to Architect's review and acceptance and as necessary to complete and make system operational.

PART 3 - EXECUTION
GENERAL

Contractor Responsibility: The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or discrepancies in equipment usage, area dimensions or static water pressure exist that might not have been considered in the engineering. Such obstructions or differences shall be brought to the attention of the Owner's Representative. In the event this notification is not performed, the Contractor shall assume full responsibility for any revision necessary.
All material and equipment shall be delivered to the job site in unbroken reels, cartons or other packaging to demonstrate that such material is new and of a quality and grade in keeping with the intent of these specifications.

ALL SCALED DIMENSIONS ARE APPROXIMATE. The Contractor shall check and verify all size dimensions and receive the Owner's Representative's approval prior to beginning work. Contractor shall be responsible for layout of all equipment and piping in the irrigation system. This layout shall be in conformance with notations on the Construction Drawings.

Exercise extreme care in excavating and working near existing utilities. Contractor shall be responsible for damage to utilities which are caused by his operation or neglect. Contractor shall check existing utility drawings and contact Bluestake prior to any excavation.

Coordinate installation of irrigation materials, including pipe so there shall be no interference with utilities or other construction or difficulty in planting trees, shrubs and ground covers. Contractor shall coordinate with other trades to insure timely placing of necessary sleeves, wires and pipes under walks, curbs and paving.
Design Pressure: This irrigation system has been designed to operate with a minimum static inlet water pressure as shown on the drawings. The Contractor shall take a pressure reading prior to beginning construction. If the pressure reading is less than indicated, the Contractor shall notify the Owner's Representative.

PREPARATION

Prior to installation, the Contractor shall stake out all pressure supply lines, location of remote control valves, sprinkler heads, controllers, backflow preventers, gate valves, quick coupling valves and other irrigation equipment.
All layout shall be approved by the Owner's Representative prior to installation. Prior approval shall be obtained for valves, controllers, main line routing, quick coupling valves, backflow preventers, water meters and sprinkler locations.

WATER SUPPLY
Irrigation system shall be connected to the new water mainline at the approximate location shown on the drawings. Contractor is responsible for minor changes caused by actual site conditions and tap locations.

EXCAVATION AND BACKFILL
Trenching

1. Dig trenches straight and support pipe continuously on bottom of trench. Lay pipe to an even grade. Trenching excavation shall follow the layout as approved by the Owner's Representative in the field. If the bottom of a pipe trench excavation is found to consist of rock, caliche, or any other material that, be reason of its hardness or sharpness, cannot be excavated to give a uniform bearing surface, said rock or other material shall be removed for at least three (3) inches below the specified trench depth and refilled to the specified trench depth with sand or other approved shading material.

Burial of Pipe
1. Depth of Pipe shall be as shown on the construction details

Backfilling
1. The trenches shall not be backfilled until all the required tests are performed. Trenches shall be carefully backfilled in 8" lifts with the excavated materials, less any stone or clods of earth larger than 1/2" in any dimension. Backfill shall be mechanically compacted in landscape areas to a dry density equal to adjacent undisturbed soil. Backfill shall conform to adjacent grades without dips, sunken areas, humps or other surface irregularities. Backfilling shall not be performed while trenches or backfill material is in a wet or muddy condition.

2. A fine granular material backfill will be initially placed on all lines to a depth of 3" over the top of the pipe. No foreign matter or particles larger than 1/2" in any one dimension will be permitted in this backfill. Existing site soil that conforms to this gradation requirement may be used for this initial backfill.
3. Flooding of trenches will be permitted only with approval of the Owner's Representative.
4. If settlement occurs and subsequent adjustments in pipe, valves, sprinkler heads, lawn or planting, or other construction are necessary, the Contractor shall make all required adjustments without cost to the owner. Contractor shall also make repairs or replacements to any item damaged by settlement of trenches or irrigation equipment, whether said item was part of the original scope of construction or not.
5. All buried private irrigation lines greater than 2" in diameter shall

have purple #18 insulated tracer wire securely attached to it at 8' o.c. and shall have 12" of tracer wire accessible above grade at the termination and be securely attached at that point.

Trenching and backfill under paving
1. Trenches located under areas where paving, asphaltic concrete or concrete will be installed shall be backfilled with sand for a depth of 3" below the bottom of the pipe (or sleeve) and 3" above the top of the pipe (or sleeve), and compacted to 90% compaction or the required subgrade compaction for that area (whichever is greater), using manual or mechanical tamping devices. All trenches shall be left flush with the adjoining grade. The Contractor shall set in place, cap, and pressure test all piping under paving prior to the paving work.

2. Provide for a minimum cover of 18" between the top of the pipe and the bottom of the aggregate base for all pressure and non-pressure piping installed under asphaltic concrete paving.

Assemblies
1. Routing of sprinkler irrigation lines as indicated on the drawings is diagrammatic. Install lines and various assemblies to conform with the details shown on drawings and in accordance with the manufacturer's recommendations.
2. Install no multiple assemblies on plastic lines. Provide each assembly with its own outlet.
3. Install all assemblies specified herein in accordance with respective detail. In absence of detail drawings or specifications pertaining to specific items required to complete work, perform such work in accordance with best standard practice with the prior approval of the Owner's Representative.
4. PVC pipe and fittings shall be thoroughly cleaned of dirt, dust and moisture before installation. Installation and solvent-welding methods shall be recommended by the pipe and fitting manufacturer. Primer shall be used on all solvent weld joint. No solvent weld joint shall be submitted to water pressure until curing for 24 hours minimum.
5. On PVC to metal connections, the Contractor shall work the metal connections first. Teflon paste shall be used on all threaded PVC to PVC joints, and on all threaded PVC to metal joints. Light wrench pressure is all that is required. Where threaded PVC connections are required, use threaded PVC adapters into which the pipe may be welded. Teflon tape shall not be accepted.

6. Gasket pocket pipe and fittings shall be assembled in strict accordance with the manufacturer's recommendations. Only recommended lubricant will be permitted.
Concrete thrust blocks
1. Installed at specific locations per manufacturer's recommendations and instructions. Thrust blocks shall be installed for main lines at all changes in direction, tees, and gate valves.
PVC Pipe Installation:
1. Piping shall be snaked in the trench to allow for thermal expansion and contraction.
2. After all curing of solvent weld joints and after having received the approval of the Owner's Representative, the mainline shall be filled. Extreme care will be taken to slowly fill the piping while releasing entrapped air at the ends of the main line.
3. All lines shall have a minimum clearance of six inches from each other, and from lines of other trades. This clearance shall not supersede any clearance required by local, regional or national building, health or safety codes. Parallel lines shall not be installed directly over one another.
4. Manufacturer's installation recommendations shall be strictly adhered to.

Flushing of System
1. After all new sprinkler pipe lines and risers are in place and connected, all necessary diversion work has been completed, and prior to installation of sprinkler, heads, the control valves shall be opened and a full head of water used to flush out the system.

2. Sprinkler shall be installed only after flushing of the system has been accomplished to the complete satisfaction of the Owner's Representative.
Temporary Repairs
1. The Owner reserves the right to make temporary repairs as necessary to keep the sprinkler system equipment in operating condition. The exercise of this right by the Owner's Representative shall not relieve the Contractor of his responsibilities under the terms of the guarantee as herein specified.

Pressure Regulator
1. Install in a valve box in conformance with the project details.
Emitter Assembly
1. The emitter and distribution tubing shall be assembled using the manufacturer's recommended tools and accessories.
2. The maximum length of the .22" distribution tubing shall be 8'. In the event the distance in the field exceeds the maximum length, the Contractor shall extend the poly tubing as required by adding a tee and shall add a hose end cap to this extension at the Contractor's expense.
3. The Contractor shall assemble the emitter assembly in conformance with the applicable detail on the project plans.

Emitter Hose

1. The emitter hose location, as shown on the plans, is diagrammatic. The Contractor shall layout this hose so as to conform to the maximum distance requirements as specified under the emitter assembly section of these specifications.

2. The Contractor shall flush the emitter hose prior to and after installation of the emitter assemblies.

FIELD QUALITY CONTROL

Adjustment of the system
1. The Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent, as much as possible, over spray into walks, roadways and buildings.
2. If it is determined that adjustment in the irrigation equipment will provide proper and more adequate coverage, the Contractor shall make such adjustments prior to planting. Adjustments may also include changes in nozzle sizes and degrees of arc as required. Such changes shall be approved in advance by the Owner's Representative, at no cost to the Owner.
3. Lowering raised sprinkler heads by the Contractor shall be accomplished within 10 days after notification by the Owner.
4. All sprinkler heads shall be set perpendicular to finished grades unless otherwise designated on the plans. On slopes, heads shall be angled for optimum coverage and performance.
5. Owner's Representative to approve all head locations and reserves the right to request the contractor to make minor adjustments to head placement or nozzle selection at no cost to the Owner.
6. All parts of the irrigation system and associated equipment shall be adjusted to function properly and shall be turned over to the Owner in operating condition.

Testing of the Irrigation System
1. The Contractor shall request the presence of the Owner's Representative at least 48 hours in advance of testing.
2. Test all pressure lines under hydrostatic pressure of 150 lbs. per square inch and prove water tight.
3. All piping under paved areas shall be tested under hydrostatic pressure of 150 lbs. per square inch and proved water tight prior to paving.
4. All PVC lateral line pipe shall be tested at working line pressures with coupling exposed and swing joints and other outlets capped.

5. Sustain pressure in the lines for not less than two hours. Pipe sections shall be center loaded and all coupling shall be exposed. Before testing, the line shall have been filled with water for at least four (4) hours and provisions made for thoroughly bleeding the line of air.
6. All hydrostatic tests shall be made only in the presence of the Owner's Representative. No pipe shall be backfilled until it has been inspected, tested and approved in writing.
7. Furnish necessary force pump and all other equipment necessary to perform test.

8. When the sprinkler irrigation system is completed, perform a coverage test in the presence of the Owner's Representative to determine if the water coverage for the planting areas is complete and adequate. Furnish all materials and perform all work required to correct any inadequacies of coverage due to deviations from plans or where the system has been willfully installed as indicated on the drawings when it is obviously inadequate without bringing this to the attention of the Owner's Representative. This test shall be accomplished before any planting or turf has been installed.
9. Upon completion of each phase of work, entire system shall be tested and adjusted to meet site requirements.

MAINTENANCE

The entire irrigation system shall be under full automatic operation for a period of seven days prior to planting.
The Owner's Representative reserves the right to waive or shorten this operation period.

Contractor shall provide job maintenance of the entire irrigation system and shall continue until job acceptance by the Owner. Maintain all system components and assure proper watering of all plants. Repair all leaks and replace any defective components. After all landscape and irrigation operations are complete and in conformance with the contract documents, the Owner shall grant provisional acceptance.

Following provisional acceptance, the Contractor shall provide job maintenance for 180 days consisting of all items covered under maintenance. Following the 90 day maintenance period, the Owner shall grant final job acceptance after verifying all work and system components are in conformance with the Contract Documents.

CLEANUP

Cleanup shall be made as each portion of work progresses. Refuse and excess dirt shall be removed from the site, all walks and paving shall be broomed or washed down, and any damage sustained to the work of others shall be repaired to the original conditions acceptable to the Owner's Representative.

FINAL OBSERVATION PRIOR TO ACCEPTANCE
The Contractor shall operate each system in its entirety for the Owner's Representative at the time of final observation. Any items deemed not acceptable shall be reworked to the complete

satisfaction of the Owner's Representative.

The Contractor shall show evidence to the Owner's Representative that the owner has received all accessories, charts, record drawings, and equipment as required before final observation can occur.

OBSERVATION SCHEDULE
Contractor shall be responsible for notifying the Owner's Representative in advance for the following observations according to the time indicated:

- Pre-job conference - 7 days
 - Pressure supply line installation and testing - 48 hours
 - Automatic controller installation - 48 hours
 - Control wire installation - 48 hours
 - Lateral line and rtor/spray installation - 48 hours
 - Coverage test - 48 hours
 - Final observation - 7 days
- When the inspections have been conducted by other than the Owner's Representative, show evidence and by whom these inspections were made.
- No observation shall commence without as-built drawings.
- In the event the Contractor calls for an observation without as-built drawings, without completing previously noted corrections, or without preparing the system for observations, he shall be responsible for reimbursing the Owner's Representative at the hourly rate in effect at the time of the observation, portal to portal (plus transportation cost) for the inconvenience. No further inspections will be scheduled until this charge has been made. Delays in schedules caused by Contractor's non payment of these charges shall not be grounds for extension of the construction schedule.

END OF SECTION 32 84 23



ARC STUDIOS, INC. RETAINS ALL RIGHTS TO LANDSCAPE AND IRRIGATION PLANS AND PLANS MAY NOT BE REPRODUCED WITHOUT PRIOR APPROVAL BY ARC STUDIOS.

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL
Site/Dev Plan [] Tentative Plat [] Grading [] SWPPP [] FUP [] SCZ [] FRZ [] HDZ [] WASH [] Other []
DVPKGR MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PLME _____ Date _____
Revision # _____ per letter in SIRE



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Tucson, Arizona 85716
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landscape architecture . urban design .
environmental services . irrigation design.

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN specifications

DP17-0038 REF:17SA00196

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<p>SECTION - 32 90 00 PLANTING</p> <p>pruning.</p> <p>c. Integrated weed and pest management.</p> <p>2. Pictures of planting materials cross referenced to botanical and common names. Describe normal appearance in each season.</p>		<p>9. Certificates shall accompany shipments as proof of inspection and quality as may be required by Federal, State or other authorities. Each shipment label shall be declared free of disease and insects of any kind. Label each plant or bundle and deliver bulk materials in sealed, labeled bags, testifying as to percent of purity of contents.</p> <p>10. Should any conflict arise as to the quality of any plant materials, the decision of the owner representative is final.</p> <p>11. Quality of plants shall conform to the State of California Grading Code of Nursery Stock #1 Grade, and be full sized. They shall be vigorous, or normal growth, free of disease, insects and latent defects.</p> <p>12. All trees to meet or exceed the A.N.A. Ariz. Nurseryman's Association specifications.</p>		<p>1 gallon 1 - 21 gram tablets 5 gallon 2 - 21 gram tablets 15 gallon 4 - 21 gram tablets 24" inch box 6 - 21 gram tablets 36" inch box + 8 - 21 gram tablets Set tablets 3 inches below finished grade and space evenly around plant's perimeter.</p>		<p>detailed after grading and prior to planting operations.</p> <p>C. Water: Coordinate with work specified per civil documents. Assess potential effects of landscape work on soil loss in accordance with ASTM D6629. Assess erodibility of soil with dominant soil structure less than 7 to 8 cm in accordance with ASTM D5852.</p>	
<p>1.01 SUMMARY</p> <p>A. Work in this section includes complete landscape and planting as shown on the drawings and as specified herein. Work includes but is not limited to:</p> <ol style="list-style-type: none"> 1. Salvage, transplanting, nursery care, and maintenance of existing plant materials. 2. Contract growing of plant material. 3. Storage and handling of plant material. 4. Soil preparation. 5. Finish grading. 6. Planting. 7. Staking and guying. 8. Watering. 9. Maintenance 		<p>1.06 PROJECT CONDITIONS</p> <p>A. Confirm the location and identity of existing underground and overhead services and utilities within contract limit work areas with owner representative prior to excavation or digging. Provide adequate means of protection of utilities and services designated to remain.</p> <p>B. When uncharted or incorrectly charted underground piping or other utilities and services are encountered during site work operations, notify the owner representative immediately to obtain procedure directions. Cooperate with the owner representative in maintaining active services in operation.</p> <p>F. Locate, protect, and maintain benchmarks, monuments, control points and project engineering reference points. If said elements are disturbed or destroyed cease work and bring to the attention of the owner representative immediately.</p> <p>D. Obtain owner representative's written permission when required to close or obstruct street, walks and adjacent facilities.</p> <p>E. Control dust caused by the work. Dampen surfaces as required. Comply with pollution and dust control specifications.</p> <p>F. Protect existing buildings, paving, and other services or facilities on site and adjacent to the site from damage caused by work operations.</p> <p>G. Protect and maintain streetlights, utility poles and services, traffic signal control boxes, curb boxes, valves and other services.</p>		<p>3.01 PART 3 - EXECUTION</p> <p>A. EXAMINATION</p> <p>Verification of Conditions: Examine subsurfaces to receive Work and report in writing, with a copy to owner representative/Architect detrimental conditions. Failure to observe this requirement constitutes a waiver to subsequent claims to the contrary and holds Contractor responsible for correction(s) owner representative/Architect may require. Commencement of Work will be construed as acceptance of subsurfaces.</p> <ol style="list-style-type: none"> 1. Verify, before proceeding with this Work, that required inspections of existing conditions have been completed. 2. Utilities and underground structures occur extensively throughout site. Become thoroughly acquainted with layout of underground utilities and structures over the entire site. 3. Verify that all excess building materials of other trades have been properly removed. Do not begin work until all planting and landscape areas have been cleared. 4. Identify areas of contaminated or over-compacted soil in landscape areas. Bring these conditions to the attention of the owner representative prior with recommendations for remediation based on project specifications prior to proceeding. 		<p>3.11 MAINTENANCE</p> <p>A. Refer to Section 32 01 90 Operation and Maintenance of Planting and Irrigation.</p> <p>B. Continuously maintain landscaped areas included in the contract during all phases of construction through Owner acceptance of complete project.</p> <p>C. Provide additional landscape and irrigation maintenance for 180 days minimum from Owner acceptance of complete project. The maintenance period will be extended until the Owner has begun maintenance operations, all landscape and planting areas are free of weeds and for the time necessary to meet the requirements of the Drawings and Specifications.</p> <p>D. After Work indicated or specified, including related work, has been completed, inspected, and approved, maintain planted areas by means of continuous watering, weeding, rolling, mowing, reseeding, cultivating, spraying, mulching, trimming, edging, or other operations necessary for their care and upkeep.</p> <p>E. Dead plants shall be replaced during this period immediately, and as directed by the owner representative/Architect.</p> <p>F. Weed Control: Remove weeds by hand as required by specifications prior to the completion of the 90 day maintenance period. Weed control shall eliminate all invasive weeds common to the area, including Bermuda grass. Identify weeds to be removed with landscape architect and/or owner representative prior to removal.</p> <p>G. During the course of the Work and on completion of the Work, remove excess materials, equipment and debris and dispose of away from premises. Remove from site daily, debris generated from rotor-tilling and fine grading. Leave Work in clean condition. Promptly remove soil, mulch or other materials, dropped into paved areas by hauling operations promptly, keeping these areas clean at all times. Upon completion of planting, all excess soil stones and debris not heretofore disposed of under his scope of Work shall be removed from the site or disposed of as directed by the owner representative.</p>	
<p>1.02 QUALITY ASSURANCE</p> <p>A. All work under this section shall be done by a licensed landscape contractor with a minimum of 5-years experience in Southern Arizona working on native landscape restoration projects for Owner agencies. Contractor shall submit documentation showing completion of 3 similar projects with references.</p> <p>B. The Applicator of weed control materials shall be licensed by the State of Arizona as a pest control operator and a pest control advisor in addition to holding any sub-contractor licenses that are required.</p> <p>C. Schedule a Pre-Construction Conference with owner representative at least seven days before beginning work under this section. Purpose of this conference is to clarify construction documents and review questions the Contractor may have regarding the Work Administrative Procedures during Construction and Project Work Schedule.</p> <p>D. All notifications made to the owner representative and/or General Contractor shall also be made to the Architect.</p> <p>E. Schedule all necessary site meetings for clarification of intent.</p>		<p>1.07 WARRANTY</p> <p>Special Warranty: The following warranty shall be submitted to the Owner in addition to the Warranty described in Section 00 65 36 - Contract Closeout.</p> <ol style="list-style-type: none"> 1. Warrant plant material to remain alive and be in healthy, vigorous condition for a period of 1 year after completion and acceptance of entire project. Trees and shrubs replaced during the warranty period shall have a new warranty period beginning at the time of replacement. 2. Warranty shall not include damage or loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, or winds over 75 miles per hour, winter kill caused by extreme cold (Below 10 Degrees) and severe winter conditions not typical of planting area; acts of vandalism or negligence on the part of the Owner. 3. Replace, in accordance with the drawings and specifications, plants that are dead or, as determined by the owner representative, are in an unhealthy or unsightly condition, and have lost their natural shape due to dead branches, or due to the Contractor's negligence. 		<p>3.02 STORAGE AND HANDLING OF PLANT MATERIAL</p> <p>A. Packing and shipping: When weather conditions are such that exposure to sun and wind during transit may adversely affect the health of plants, transport plant materials to site in controlled environment trailer. Use carrier experienced in handling live plants. Acceptance at site: For inspection and identification purposes, the Nursery shall securely attach durable metal, legible labels stating, in weather resistant ink or stamped, the plant species and a plant number. The Owner's Representative and selected Nursery(s) shall agree on a plant numbering system, these tags shall remain on the tree at all times for the purpose of tracking a specific crop and or phase of construction. Plants are subject to inspection and approval by the Owner's Representative at the Nursery or place of contract growing and at the project site for conformance with requirements specified herein. The Owner's Representative reserves the right to inspect plants at any time during the resultant contract duration. Plants not labeled by nursery of origin shall not be accepted. Keep plants of different species and varieties separated at site.</p> <p>C. Storage and Protection:</p> <ol style="list-style-type: none"> 1. No long term storage of plant material is permitted on-site. Coordinate temporary receiving and holding areas for plant material delivered to site with owner representative. 2. Adequately protect plants from drying out, exposure of roots to sun, rodent and insect and from other injury. 3. If planting is delayed more than 12 hours after delivery, set plant material in shade and keep roots moist. 4. Do not remove container grown stock from containers until planting time. 5. Protect from deterioration during delivery and while stored at site. 6. Do not hold plants in location with adverse environmental conditions. 		<p>3.06 PLANTING</p> <p>A. Time of planting: Confirm seasonal planting requirements with supplier and landscape architect. Plant deciduous materials in a dormant condition. If deciduous trees are planted in- leaf, they shall be sprayed with an anti-desiccant prior to digging operation. Do not plant evergreen or herbaceous plant material when temperatures are below freezing.</p> <p>B. Layout and Staking: Stake plant locations and obtain approval from the owner representative before excavating pits, making necessary adjustments as directed. Plants not dimensioned as to precise locations shall be scaled from the drawings and the plant placed in the appropriate relationship indicated.</p> <p>C. Planting pits: Planting pits must conform to the construction details and meet the minimum requirements of two times the diameter of the root ball and a minimum of 6 inches deeper.</p> <p>D. Plant placement: Carefully place plants in holes. Remove container so as not to disturb rootball. Plant material shall be planted sufficiently deep to cover roots and level with adjacent finish grade or as shown in details.</p> <p>E. Backfill: Backfill shall be added around root ball of plant until the backfill is half-way up the root ball, then the hole shall be watered sufficiently to settle the backfill around the root ball. More backfill shall be added and be firmed sufficiently to force air pockets form each hole. Immediately after planting, each plant shall be thoroughly watered.</p> <p>F. No boxed, balled or canned plants shall be planted if the ball is broken, cracked or rootbound, whether before or during the process of planting. Any trees transplanted that die or have bark, branch or die back injury, shall be replaced with equal trees approved by the Architect at no expense to the Owner.</p> <p>G. Groundcover plants shall have been grown in flats, cans or pots and shall remain in those flats, cans or pots, until transplanted. At time of transplanting, the flat soil shall contain sufficient moisture so that the soil does not fall apart when lifting plants from the flat. Each plant from a flat shall be planted with its proportionate amount of the flat soil in a manner that will insure a minimum disturbance to the root system.</p>	
<p>1.03 REFERENCE</p> <p>A. Uniform Standard Specifications for Public Works Construction, Maricopa Association of Owners (MAG).</p> <p>B. American Standard For Nursery Stock Ansi Z60.1-2004.</p> <p>C. All notifications made to the owner representative and/or General Contractor shall also be made to the Architect.</p> <p>D. State of California Grading Code of Nursery Stock #1 Grade.</p> <p>E. A.N.A. (Ariz. Nurseryman's Association) Tree Specifications.</p>		<p>2.01 PART 2 - PRODUCTS</p> <p>A. MATERIALS</p> <p>General</p> <ol style="list-style-type: none"> 1. Appropriate documentation, as specified below, shall be submitted to the owner representative a minimum of 30 calendar days before the start of a scheduled seeding activity. No materials shall be delivered to the site until the documentation has been approved by the owner representative. 2. Unless otherwise specified, Certificates of Compliance conforming to the requirements of project specifications shall be provided for all materials. 3. Unless otherwise specified, the contractor shall perform all testing, or provide test results to the owner representative from accredited laboratories. 		<p>3.03 PREPARATION</p> <p>A. Protection: Existing plant material to be preserved in place must be protected to insure survival.</p> <p>B. Existing trees and vegetation must be maintained by an automatic or manual irrigation system while project is under construction. It is the General Contractor's responsibility to protect and maintain existing trees before the Landscape subcontractor is on site to install the landscaping. Trees and other vegetation that is removed or dies during construction must be replaced with specimens of the same variety and height, width and caliper at no expense to the Owner and the vegetation shall be treated as new landscape material for purposes of warrantee and guarantee.</p>		<p>3.12 COMPLETION INSPECTION</p> <p>A. When Landscape Work has been completed in accordance with the Drawings and Specifications, notify the owner representative and request an inspection. If the owner representative determines the Work to be substantially complete and in conformance with the plans and specifications, the Contractor will be advised in writing. In order to be substantially complete at least the following must have been finished:</p> <ol style="list-style-type: none"> 1. All fine grading as specified on grading plans. 2. A complete and operable irrigation system as specified in section Irrigation System, including adjustments in devices and a complete and acceptable watering schedule. 3. Installation of all landscape and plant material as specified herein. 4. Installation of all decomposed granite, sized rock and crushed stone as specified in section Crushed Stone Surfacing 5. Seeding and 100% coverage of seeded areas with germination to healthy growth as specified in section Hydraulic Seeding. <p>B. Minor pick-up items may be completed during the basic maintenance such as:</p> <ol style="list-style-type: none"> 1. Reseeding of bare spots. 2. Replacement of damaged or non-conforming plant material. 3. Re-staking or tying of trees. 4. Removal of watering basins. 5. Filling of settled areas caused by application of normal watering. <p>C. The Contractor shall maintain landscaped areas on a continuous basis as they are completed during the course of Work and until final project acceptance or the termination of the plant establishment period, whichever occurs later. Maintenance shall include keeping the landscape areas free of debris, weeding and cultivating the planted areas at intervals acceptable to the Architect. The Contractor shall provide adequate personnel to accomplish the required maintenance. Pruning and restaking of plants shall be as directed by the Architect.</p> <p>D. At the end of maintenance period and pick-up items have been completed, request a final inspection. Within 6 days the Contractor will be advised by the Architect in writing that work is or is not satisfactory.</p> <p>E. If the work is satisfactory, the basic maintenance period will end. If the work is unsatisfactory the basic maintenance period will continue until the work has been completed, inspected and approved by the owner representative.</p>	
<p>1.04 SEQUENCING</p> <p>A. Do not commence work of this Section until work of Sections 32 84 23 Irrigation System and Grading have been completed and approved.</p>		<p>B. Plant Material:</p> <ol style="list-style-type: none"> 1. Plant material must be the species and variety as shown on the plans or as specified herein. No plant substitutions will be accepted. It is the contractor's responsibility to procure plant material in advance of planting. This may include, but is not limited to, contract growing and/or wildland harvesting. 2. Harvested or salvaged plant material must be specimens collected within 160-KM (100-miles) of the project site. 3. Container or field grown specimens must be propagated from seed, tissue culture or off-sets from a native wildland source within 160-KM (100-miles) of the project site prior to or during the contract period. All plants shall be nursery grown under climatic conditions similar to those in the locality of the project. 4. Give careful attention to planning and scheduling. Many species required by this contract may only be collected or grown during specific times of the year. Within 30 calendar days after the award of contract, the contractor shall submit the name of the growing contractor(s) to be used, along with written confirmation from suppliers, on their letterhead, that the source(s) for the contract specified plant material has been secured. If any of the contract-specified plant material is expected to not be available during the contract period prior to planting, in accordance with Subsection 2.02(C) below, the contractor shall notify the owner representative at this same time. 		<p>3.04 GRADING</p> <p>A. Insure that all site grading include water harvesting depressions and berming has been completed and accepted.</p> <p>B. Refer to section 32 92 19 Hydraulic Seeding for requirements in areas of revegetation and seeding.</p> <p>C. Bring planting areas to finish grade after soil prepping which shall be 2 inch minimum below paving and curbs or a as noted by spot elevations or details and lawn areas shall slope from walk, curb or buildings. Special attention shall be given to maintaining continuous and even flowlines, drainage away from structures, and providing overall positive drainage to inlets and outlets. Grades shall be established to drain water away from structures and behind walls. When drainage is difficult to achieve, notify the owner representative and request a solution before continuing. Grades in shrub areas shall be established prior to planting to insure proper final planting heights. Final grading shall include the knocking down of watering basins prior to planting of ground cover. On hillside planting water basins shall be retained.</p>		<p>3.07 STAKING TREES AND SHRUBS</p> <p>A. Tree stakes shall be 2 inches x 2 inches x height as required rewood stake or 2 inches dia. new lodge pole pine treated with a non-toxic wood preservative approved by landscape architect. Stake as required by plant legend remarks and details. Trees over 4' in height shall be double-staked up to a caliper of 3 inches. Guy wires and short stakes shall be provided for larger trees. Taller tree stakes may be required for large trees. The landscape contractor is to supply taller stakes as required to guarantee against wind damage.</p>	
<p>1.05 SUBMITTALS</p> <p>A. Contractor qualifications</p> <p>B. Product Data:</p> <ol style="list-style-type: none"> 1. Plant Material - Submit Spread Sheet with following information: Scientific and Common Name, Container Size, Quantity and Nursery Supplier(s). Photo Log - Individual Plant Cut sheets with photos of each species including scientific and common names from Plant Legend and Hydro-seed Mix. 2. Recycled Content: <ol style="list-style-type: none"> a. Indicate recycled content; indicate percentage of pre-consumer and post-consumer recycled content per unit of product. b. Indicate relative dollar value of recycled content product to total dollar value of product included in project. c. If recycled content product is part of an assembly, indicate the percentage of recycled content product in the assembly by weight. 3. Local/Regional Materials: <ol style="list-style-type: none"> a. Sourcing location(s): Indicate location of extraction, harvesting, and recovery; indicate distance between extraction, harvesting, and recovery and the project site. b. Manufacturing location(s): Indicate location of manufacturing facility; indicate distance between manufacturing facility and the project site. 4. Biobased materials: <ol style="list-style-type: none"> a. Indicate type of biobased material in product. b. Indicate the percentage of biobased content per unit of product. 5. Compost: <ol style="list-style-type: none"> a. Evidence of certification under the U.S. Composting Council (USCC) Seal of Testing Assurance (STA) Program. 6. Prior to the installation of any weed control materials, submit to the owner representative a list of the Weed control Materials and quantities per acre intended for use in controlling the weed types prevalent and expected on the site. Furnish data to demonstrate the compatibility of the weed control materials and methods with the intended planting and seeding varieties, including weed control labels. 7. Submit list of hydroseeding materials and methods. 		<p>J. Soil Sulfur: Soil Sulfur shall be organic granular or prilled agricultural grade, 99.5% sulfur.</p> <p>K. Enriched Soil Mix</p> <ol style="list-style-type: none"> 1. Prepared soil for backfill of exotic trees and shrubs in landscape areas or raised planters identified on planting plans shall consist of a mixture of one part approved soil conditioner and one part clean sand, to two parts top soil as described in these specifications. Soil conditioner shall consist of composted, ground or shredded fir or redwood having a pH not exceeding 7.5 minimum total nitrogen 1 percent, organic matter not less than 85 percent, 85 percent passing a 6.35 mm [1/4 inch] screen and shall contain a wetting agent to be hydroscopic or Humus containing 98% centrifuged digested sevable sludge and composted to support bacterial cultures such as "Nitrohumus" or Kellogg or "GrowPower" by So. Cal. Organic Fertilizer Co. Prepared soil shall be mixed as herein specified prior to being placed in the planting pits. The Contractor shall notify the Architect prior to mixing prepared soil so that he may observe the blending process. Add one pound of gypsum and four ounces of soil sulfur per shrub. Mix well along with conditioner as noted herein. 2. All plant material identified as "exotics" in the landscape legend on plans and details with the exception of Ground Covers in flats and Turf areas to receive Agriform (20-10-5) plant tabs at the following rates. Mix approved fertilizer in backfill material: 		<p>3.08 HYDROSEEDING:</p> <p>(Refer to Section Hydraulic Seeding)</p> <p>3.10 IRRIGATION</p> <p>A. Keep irrigation controllers, valves, lines and heads clean and in good working order, and any damages during maintenance period shall be repaired at no cost to the Owner.</p> <p>B. Water installed plant material daily through final project acceptance or commissioning of irrigation system.</p>		<p>3.09 FERTILIZING:</p> <p>A. Do not apply chemical fertilizer to plant material following installation.</p> <p>3.10 FIELD QUALITY CONTROL</p> <p>A. Tests: The owner representative reserves the right to take and analyze samples of materials conformity to specifications at any time. Contractor shall furnish samples upon request by Architect. Rejected materials shall be immediately removed from the site and replaced.</p> <p>B. Make known sources of all contract materials to allow for field inspection by the owner representative.</p>	
<p>1.06 PROJECT CONDITIONS</p> <p>A. Confirm the location and identity of existing underground and overhead services and utilities within contract limit work areas with owner representative prior to excavation or digging. Provide adequate means of protection of utilities and services designated to remain.</p> <p>B. When uncharted or incorrectly charted underground piping or other utilities and services are encountered during site work operations, notify the owner representative immediately to obtain procedure directions. Cooperate with the owner representative in maintaining active services in operation.</p> <p>F. Locate, protect, and maintain benchmarks, monuments, control points and project engineering reference points. If said elements are disturbed or destroyed cease work and bring to the attention of the owner representative immediately.</p> <p>D. Obtain owner representative's written permission when required to close or obstruct street, walks and adjacent facilities.</p> <p>E. Control dust caused by the work. Dampen surfaces as required. Comply with pollution and dust control specifications.</p> <p>F. Protect existing buildings, paving, and other services or facilities on site and adjacent to the site from damage caused by work operations.</p> <p>G. Protect and maintain streetlights, utility poles and services, traffic signal control boxes, curb boxes, valves and other services.</p>		<p>3.05 TOPSOIL</p> <p>A. Topsoil shall be spread over prepared sub-grade to such a depth that after area has been compacted and planted the surface shall conform to grades and landforms designated on plans and in specifications.</p> <p>B. Import soil shall match the native soils texture, density and particle size. Backfill mix shall be prepared at one time at a controlled location on the site. Mixing of amendments with a tractor driven rototill at the site is an acceptable method of blending backfill.</p> <p>C. After topsoil has been spread, the area shall be raked to remove additional stones, roots, lumps or any other foreign material. In groundcover and other planting areas, remove grass, grass roots and weeds in existing or imported topsoil. The finished surface shall be loose, smooth and pulverized. Repair tire ruts created by vehicles and equipment. Area of repair shall be blended and floated to match surrounding areas.</p>		<p>3.08 GRADING</p> <p>A. Insure that all site grading include water harvesting depressions and berming has been completed and accepted.</p> <p>B. Refer to section 32 92 19 Hydraulic Seeding for requirements in areas of revegetation and seeding.</p> <p>C. Bring planting areas to finish grade after soil prepping which shall be 2 inch minimum below paving and curbs or a as noted by spot elevations or details and lawn areas shall slope from walk, curb or buildings. Special attention shall be given to maintaining continuous and even flowlines, drainage away from structures, and providing overall positive drainage to inlets and outlets. Grades shall be established to drain water away from structures and behind walls. When drainage is difficult to achieve, notify the owner representative and request a solution before continuing. Grades in shrub areas shall be established prior to planting to insure proper final planting heights. Final grading shall include the knocking down of watering basins prior to planting of ground cover. On hillside planting water basins shall be retained.</p>		<p>3.11 MAINTENANCE</p> <p>A. Refer to Section 32 01 90 Operation and Maintenance of Planting and Irrigation.</p> <p>B. Continuously maintain landscaped areas included in the contract during all phases of construction through Owner acceptance of complete project.</p> <p>C. Provide additional landscape and irrigation maintenance for 180 days minimum from Owner acceptance of complete project. The maintenance period will be extended until the Owner has begun maintenance operations, all landscape and planting areas are free of weeds and for the time necessary to meet the requirements of the Drawings and Specifications.</p> <p>D. After Work indicated or specified, including related work, has been completed, inspected, and approved, maintain planted areas by means of continuous watering, weeding, rolling, mowing, reseeding, cultivating, spraying, mulching, trimming, edging, or other operations necessary for their care and upkeep.</p> <p>E. Dead plants shall be replaced during this period immediately, and as directed by the owner representative/Architect.</p> <p>F. Weed Control: Remove weeds by hand as required by specifications prior to the completion of the 90 day maintenance period. Weed control shall eliminate all invasive weeds common to the area, including Bermuda grass. Identify weeds to be removed with landscape architect and/or owner representative prior to removal.</p> <p>G. During the course of the Work and on completion of the Work, remove excess materials, equipment and debris and dispose of away from premises. Remove from site daily, debris generated from rotor-tilling and fine grading. Leave Work in clean condition. Promptly remove soil, mulch or other materials, dropped into paved areas by hauling operations promptly, keeping these areas clean at all times. Upon completion of planting, all excess soil stones and debris not heretofore disposed of under his scope of Work shall be removed from the site or disposed of as directed by the owner representative.</p>	
<p>1.07 WARRANTY</p> <p>Special Warranty: The following warranty shall be submitted to the Owner in addition to the Warranty described in Section 00 65 36 - Contract Closeout.</p> <ol style="list-style-type: none"> 1. Warrant plant material to remain alive and be in healthy, vigorous condition for a period of 1 year after completion and acceptance of entire project. Trees and shrubs replaced during the warranty period shall have a new warranty period beginning at the time of replacement. 2. Warranty shall not include damage or loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, or winds over 75 miles per hour, winter kill caused by extreme cold (Below 10 Degrees) and severe winter conditions not typical of planting area; acts of vandalism or negligence on the part of the Owner. 3. Replace, in accordance with the drawings and specifications, plants that are dead or, as determined by the owner representative, are in an unhealthy or unsightly condition, and have lost their natural shape due to dead branches, or due to the Contractor's negligence. 		<p>3.09 FERTILIZING:</p> <p>A. Do not apply chemical fertilizer to plant material following installation.</p> <p>3.10 FIELD QUALITY CONTROL</p> <p>A. Tests: The owner representative reserves the right to take and analyze samples of materials conformity to specifications at any time. Contractor shall furnish samples upon request by Architect. Rejected materials shall be immediately removed from the site and replaced.</p> <p>B. Make known sources of all contract materials to allow for field inspection by the owner representative.</p>		<p>3.12 COMPLETION INSPECTION</p> <p>A. When Landscape Work has been completed in accordance with the Drawings and Specifications, notify the owner representative and request an inspection. If the owner representative determines the Work to be substantially complete and in conformance with the plans and specifications, the Contractor will be advised in writing. In order to be substantially complete at least the following must have been finished:</p> <ol style="list-style-type: none"> 1. All fine grading as specified on grading plans. 2. A complete and operable irrigation system as specified in section Irrigation System, including adjustments in devices and a complete and acceptable watering schedule. 3. Installation of all landscape and plant material as specified herein. 4. Installation of all decomposed granite, sized rock and crushed stone as specified in section Crushed Stone Surfacing 5. Seeding and 100% coverage of seeded areas with germination to healthy growth as specified in section Hydraulic Seeding. <p>B. Minor pick-up items may be completed during the basic maintenance such as:</p> <ol style="list-style-type: none"> 1. Reseeding of bare spots. 2. Replacement of damaged or non-conforming plant material. 3. Re-staking or tying of trees. 4. Removal of watering basins. 5. Filling of settled areas caused by application of normal watering. <p>C. The Contractor shall maintain landscaped areas on a continuous basis as they are completed during the course of Work and until final project acceptance or the termination of the plant establishment period, whichever occurs later. Maintenance shall include keeping the landscape areas free of debris, weeding and cultivating the planted areas at intervals acceptable to the Architect. The Contractor shall provide adequate personnel to accomplish the required maintenance. Pruning and restaking of plants shall be as directed by the Architect.</p> <p>D. At the end of maintenance period and pick-up items have been completed, request a final inspection. Within 6 days the Contractor will be advised by the Architect in writing that work is or is not satisfactory.</p> <p>E. If the work is satisfactory, the basic maintenance period will end. If the work is unsatisfactory the basic maintenance period will continue until the work has been completed, inspected and approved by the owner representative.</p>			
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SECTION 32 1540 - CRUSHED STONE SURFACING

PART 1 - GENERAL

- 1.1 RELATED DOCUMENTS
 A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
- 1.2 SUMMARY
 A. Treat areas designated to receive decorative rock, size rock, and decomposed granite extra, with pre-emergent herbicide.
 B. Furnish and Place Decorative Rock, Sized Rock, Decomposed Granite Rip-rap extra in areas designated to receive inert materials.
- 1.3 CONDITIONS
 A. Examine related work and surfaces before starting work on this Section. Report to the Owner's Representative, in writing, conditions which will prevent proper provision of this work. Beginning work of this Section without reporting unsuitable conditions to the Architect constitutes acceptance of conditions by Contractor. Any required removal, repair, or replacement shall be done at no additional cost to the Owner.
- 1.4 SUBMITTALS
 A. Submit samples of the inert materials and copies of labels of any pre-emergent herbicides to the Architect for approval prior to beginning work under this section.
 B. Submit quantity invoices or bills of lading for verification of volumes and quantities of material prior to construction for approval by the Architect. Omission of verification will constitute grounds for non-acceptance of any material or procedure.

PART 2 - PRODUCTS

- 2.1 MATERIALS
 A. Place Decorative Rock, Sized Rock, Decomposed Granite Rip-Rap extra for landscape areas shall be size indicated on plans; color to be submitted to the Owner's Representative for review and approval.
 B. Pre-Emergent Herbicide shall meet all applicable local, State and Federal environmental and labeling laws. Under no conditions shall a soil sterilant be used on the site. Product shall be Surflan.

PART 3 - EXECUTION

- 3.1 PREPARATION
 A. Remove all weeds and debris from the areas designated for place decorative rock, sized rock, decomposed granite rip-rap.
 B. Verify subgrade elevations are accurate to allow the addition of 2" of material in landscape areas. If grade is too high, excavate and remove material.
 C. Verify subgrade elevations are accurate to allow the addition of "x" depth of material in rip-rap and other areas. If grade is too high, excavate and remove material. Grades shall be concaved to collect drainage toward center of swales and water collection areas.
 D. Smooth subgrade and remove all rocks, clods, roots or other debris larger than 1/2" in diameter.
 E. Apply pre-emergent herbicide in conformance with the manufacturer's instructions.
- 3.2 INSTALLATION IN LANDSCAPE AREAS
 A. Install decorative rock, sized rock, and decomposed granite, rip-rap extra to a depth of 2" minimum or as specified on the plans.
 B. Finish grade of material shall be 1" below adjacent hardscape surface.
 C. Swales and water collection areas shall be concaved to collect water within central flow.
 D. Rake, dampen and compact granite with a 200 lb. roller.
 E. Re-apply pre-emergent herbicide in accordance with the manufacturer's instructions.
- 3.3 CLEAN UP
 A. Upon completion of the work, remove all excess material, equipment and waste to the satisfaction of the Architect.

END OF SECTION 32 1540

32 9119 LANDSCAPE GRADING
 SECTION 32 9119 - LANDSCAPE GRADING

PART 1 - GENERAL

- 1.01 SUMMARY
 A. Related Sections

PART 2 - PRODUCTS

- A. Not Used.

PART 3 - EXECUTION

3.01 PERFORMANCE

- A. The intent of the grading plans is to provide concepts for the shaping and contouring operations within the site and to guide the Contractor in his supervision of the work. Any necessary sketches and/or detail plans will be furnished prior to or during the shaping operation. The Contractor shall shape the site areas in general conformance with the project plans. This shaping shall be done so low spots will provide passive water harvesting at depressions in all landscape and provide minor retention of stormwater.
- B. It is the intent of the Owner that the finished site will be a well-drained with the proposed basins, gravel trenches and sumps. Additional swales and depressions shall be provided over and above those shown on the plans. No slopes shall be steeper than 4:1.
- C. The Contractor shall expect that the shaping will be accomplished by machine and then hand worked as directed by the Owner's representative.
- D. Berms and swales shall be constructed in the approximate locations as shown on the grading plan. The invert of the swales shall be deep enough to intercept surface water and to direct it to the nearest catch basin or drainage outlet. Contractor shall set all rough grading at or below inverts to allow for top dressing materials. Swales shall be graded smoothly so as to permit ease of maintenance. All areas within the limit of work shall be graded to a smooth condition compatible with surrounding areas.
- E. Site shaping and contouring is an integral part of the overall project. Site shaping shall be completed and accepted by the design time prior to start of any irrigation, landscape or top dressing materials. The Contractor must coordinate his work schedule and work in accordance with the Owner's Representative's directions and instructions.
- F. Attention must be paid to minimized ponding to landscape areas 10' minimum away from the building for passive water harvesting elements.
- G. In order to accomplish the work in a most aesthetic manner, the Owner's Representative reserves the right to modify the grading and the shaping. These adjustments will be to create undulations, transitions and surface formations. The adjustments do not include the grading shown on the project plans. This work shall be done after all site grading is completed and reviewed for performance of intended drainage and water retention.
- H. Remove from site rocks larger than 2 inches in size and foreign matter such as building rubble, wire, cans, sticks, concrete, etc.
- I. Slope grade away from building for 5 feet minimum from walls at slope of X% minimum as indicated on the civil plans unless otherwise directed.

END OF SECTION 32 9119

END OF SPECIFICATIONS



ARC STUDIOS, INC. RETAINS ALL RIGHTS TO LANDSCAPE AND IRRIGATION PLANS AND PLANS MAY NOT BE REPRODUCED WITHOUT PRIOR APPROVAL BY ARC STUDIOS.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HSL LA PLACITA, LLC/ HSL CONSTRUCTION SERVICES LLC
				3901 EAST BROADWAY BOULEVARD TUCSON, ARIZONA 85711 ATTN: MR. MIKE CENSKY PH: (520) 322-6994 email: mike@hslproperties.com
				SITE ADDRESS 110 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE



ARC STUDIOS PROJECT NO: 01-15072

ARC STUDIOS
 3117 E. Flower Street
 Tucson, Arizona 85716
 phone: 520.882.9655
 www.arcstudiosinc.com

landscape architecture . urban design .
 environmental services . irrigation design.

PORTION OF LOTS 5-7 OF "PUEBLO CENTER" BOOK 20, PAGE 83 OF MAPS AND PLATS, LOCATED IN THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for THE FLIN specifications

DP17-0038
 REF: T17SA00196
 23 OF 23

7 - DP17-0038 REVIEW COMMENTS

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

Permit Review Details

Permit Detail		Review Details			
Permit: DP17-0038 Parcel: 11720016G Addresses: 110 S CHURCH AV		Review Status: Active Show <input type="text" value="10"/> entries <input type="text" value="Search:"/>			
Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
1/25/2018	MARTIN BROWN	COT NON-DSD	FIRE	Approved	None
1/25/2018	ZELIN CANCHOLA	COT NON-DSD	TRAFFIC	Approved	None
1/25/2018	LOREN MAKUS	ENGINEERING	REVIEW	Reqs Change	1) Please fill in the information that belongs in the blank as part of general note 20 on sheet 1. Once the IID process is complete this can be reviewed over the counter.
1/25/2018	QJONES1	START	PLANS SUBMITTED	Completed	None
1/25/2018	DAVID RIVERA	ZONING	REVIEW	Reqs Change	CDCR TRANSMITTAL TO: Development Services Department Plans Coordination Office FROM: David Rivera for Steve Shields - Principal Planner PSDS Zoning Review Section PROJECT: La Placita Village Development Package (3rd Review)

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					DP17-0038
					TRANSMITTAL DATE: January 17, 2018
					DUE DATE: January 22, 2018
					COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.
					This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).
					Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year expiration date is February 16, 2018.
					CONTENT REQUIREMENTS
					2-06.4.7 - General Notes
					The following general notes are required. Additional notes specific to each plan are required where applicable.
					2-06.4.7.A - Zoning and Land Use Notes
					1. Follow Up to Previous Comment 1: As of this 3rd review of the DP the Special Application for the IID review is still under withdrawn status, apparently to be reactivated. Once the SA process has been completed add the information as requested in the previous comment by Steve Shields.
					Previous Comment 1. The IID case number does not appear to be valid. T17SA00196 has been WITHDRAWN. 2-06.4.7.A.6.a - As this project will require review via the Downtown Area Infill Incentive District, (IID), provide the IID case number, T17SA00???, adjacent to the title block on all sheets along with a general note stating the case number, date of approval, what was modified and if applicable any conditions of approval.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					2-06.4.7.A.8 - For development package documents provide: 2-06.4.8 - Existing Site Conditions The following information shall be provided on the plan/plat drawing to indicate the existing conditions on site and within 50 feet of the site. On sites bounded by a street with a width of 50 feet or greater, the existing conditions across the street will be provided. 2. Follow Up To Previous Comment 2: The previous comment will remain until the abandonment has been completed and the recordation information is noted on the DP. Previous Comment 2. Zoning acknowledges that abandonment is in progress. 2-06.4.8.B Sheet 9 there is a "NON-BUILDABLE AREA PER DKT. 4327, PG. 544" shown on the plan. You are proposing to build within this area there for this easement will need to be abandoned prior to development package approval. 3. Follow Up To Previous Comment 3: Can you specify the time table for the abandonment of the easements and recordation of the new easement(s)? If the abandonment occurs prior to the next submittal of the DP assure that the new easements are drawn and labeled and the recordation is labeled. Previous Comment 3. Zoning acknowledges that abandonment is in progress. 2-06.4.8.B Sheet 10 there are two (2) existing electrical easements shown within the building footprint. These easements will need to be abandoned prior to development package approval. 2-06.4.9 - Information on Proposed Development The following information on the proposed project shall be shown on the drawing or added as notes. 4. Follow Up To Previous Comment 4: Per your response to previous comment 4, the document covenant Regarding Development and Use of Real Property was executed. Not sure if this means signed and notarized only or was it recorded? (The DP case number is not listed on the cover sheet of the Covenant. Clarify.) Previous Comment 4. Zoning acknowledges that a covenant Regarding Development and Use of Real Property is to be processed. 2-06.4.9.A - As this site is made up of two (2) parcels, 117-20-016F & 117-20-016G, a lot combination is required. Provide a copy of the approved Pima County Combo Request form with your next submittal. 5. Follow Up To Previous Comment 5: Until the IID is processed the previous comment is applicable.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>Previous Comment 5. This comment was not addressed correctly. Per UDC Article 5.12.8.E.2.d Section 7.4.5.B, Downtown Parking District, does not apply. That said your vehicle parking requirements should be based on UDC TABLE 7.4.4-1. 2-06.4.9.H.5.a - Per UDC TABLE 7.4.4-1: MINIMUM NUMBER OF MOTOR VEHICLE SPACES REQUIRED, RESIDENTIAL USE GROUP, Multifamily Dwellings - Over 70 units/acre, based on a vehicle parking ratio of 1.25 spaces per dwelling unit, the required number of vehicle parking spaces is 305, proposed 293. An IID is required to allow the reduction in vehicle parking and must be approved prior to approval of the development package. Based on following comments the provide number of vehicle parking spaces may change.</p> <p>6. Follow Up To Previous Comments 8, 9, 10 and 11: Until the IID is processed previous comments 8 thru 11 are applicable.</p> <p>Previous Comment 8. 2-06.4.9.H.5.a - Per UDC Article 7.4.6.B.3 tandem vehicle parking is not allowed for the proposed use.</p> <p>Previous Comment 9. 2-06.4.9.H.5.a - Per UDC Article 7.4.6.D compact vehicle parking spaces are not allowed.</p> <p>Previous Comment 10. 2-06.4.9.H.5.d - The proposed short term bicycle parking located in the right-of-way will need to be approved by the COT bicycle coordinator.</p> <p>Previous Comment 11. 2-06.4.9.O - The proposed street perimeter yards do not meet the minimum requirements of UDC Article 6.4.5.C.2 and must be approved through the IID process. Based on a building height of 81.50' the required street perimeter yard for Broadway Blvd. is 81.50' proposed is 78.8', based on a building height of 81.50' the required street perimeter yard for Church Ave. is 81.50' proposed is 16.2'. An IID is required to allow the reduction in street perimeter yard setback and must be approved prior to approval of the development package.</p> <p>If you have any questions about this transmittal, please Steve Shields, (520) 837-4956 or Steve.Shields@tucsonaz.gov</p> <p>RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package</p>
1/25/2018	DAVID RIVERA	ZONING HC	REVIEW	Approved	None
1/25/2018	KLEE1	PIMA COUNTY - ADDRESSING	PIMA COUNTY - ADDRESSING	Approved	Address was added to property for the existing building- 108 S Church.

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
1/26/2018	CLAURIE1	DESIGN PROFESSIONAL	REVIEW	Needs Review	None
1/26/2018	KELLY LEE	ZONING-DECISION LETTER	REVIEW	Reqs Change	This review has been completed and resubmittal is required. Please resubmit the following items: 1) Two rolled sets of the plans 2) All approved documents submitted previously 3) A disk containing all items submitted 4) All items requested by review staff 5) All items needed to approve these plans

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Final Status

Search:

Task End Date	Reviewer's Name	Type of Review	Description
12/20/2017	ANY	REJECT SHELF	RECEIVED
12/20/2017	ANY	REJECT SHELF	RECEIVED

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8 - DESIGN PROFESSIONAL COMMENT RESPONSE

CYPRESS
CIVIL DEVELOPMENT



THE FLIN

February 2018

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter provides responses to the design principles outlined by the Design Professional (Scott Neeley) for THE FLIN – Mixed-use/Multi-family IID Design Package Application:

The Flin development project (PROJECT) is located at the southwest corner of Broadway Boulevard and Church Avenue within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. As a part of the DCS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Design Professional comments from the letter dated 01/22/2018:

PREFACE: Based on our meeting with Mr. Neeley on 12/18/2017, it has been our understanding that the area of his greatest concern related to the southwest corner of the development, where the building façade faces the Tucson Music Hall and is adjacent to the Leo Rich Theater. We have made attempts to improve the façade based on those initial comments and work to present them in a timely manner. However, based on our understanding of the code, this area does not fall under UDC Section 5.12.8.A.1 – Streetscape Design: Pedestrian Orientation, as this area does not meet the criteria of a “street” as defined in the UDC or by the Downtown Interim Streetscape Policy, as it is not right-of-way.

STREET (UDC): Any permanent public or private right-of-way, other than an alley, access lane, or parking area access lane, set aside to accommodate vehicular travel lanes, parking lanes, bike lanes, pedestrian facilities, utility areas, and other such design features, whether designated as a street, drive, highway, thoroughfare, road, boulevard, avenue, lane, or place.

DOWNTOWN INTERIM STREETScape POLICY: The standards herein relate to developers' responsibility for improvements to streetscape elements and areas within public right-of-way.

1. RECOMMENDATION AGAINST RELIEF OF STREETScape DESIGN STANDARD:

PARAGRAPH 2 & 3: The ground floor of the proposed development, where the public will most intimately experience it, is primarily a parking garage and apartments. A large project with primarily residential use at the ground floor is inconsistent with the intentions of the IID. It does not encourage activity at the ground floor or enhance the pedestrian experience. Residents seeking privacy from passers-by will draw the shades on their windows, making a lifeless perimeter. Retail and commercial uses would have doors and windows opening to the street, which are necessary for a lively urban experience.

No commercial services or retail trades are proposed for the new construction. While this Standard is a preference rather than a requirement, the design provides no alternative means to create an active streetscape. This is especially important given that the site's prominence and adjacency to Tucson's cultural attractions. Retail and commercial uses in this location could become destinations and tie the complex into the city beyond.

Response: This PROJECT has approximately 254' of street frontage along Church Avenue . Of that, the repurposed Samaniego House (commercial) occupies approximately 53' of the street frontage, and the main entrance/office/lobby (commercial) occupies approximately 75' of street frontage – exceeding the 50% minimum. As this is the only accessible entrance for the PROJECT, we are indeed limited in where we can place vehicular ingress/egress points, trash, and other necessary utilities. Of the 126' of street frontage left along church, approximately 66' are provided for those services and access. The remaining 60' of street frontage is indeed a parking area, but is setback and screened from the Church Avenue right-of-way. For reference, the recently approved Marist on Cathedral Square – Mid-rise structure, at the southeast corner of Broadway and Church, provides approximately 145' of setback and screened parking along Church Avenue.

Along Broadway Boulevard, the PROJECT has approximately 105' of street frontage. Due to the nebulous nature of the property and the site, including the harsh grade changes, the Municipal Bridge, and the Sun Link Streetcar infrastructure, the cost of development for this street frontage has proven to impose harsh economic barriers as well as tremendous difficulty in construction. As a result, the buildings are setback 65' from the property line. This area also currently serves as retention for hardscape drainage related to La Placita Park, Visit Tucson, and this development, which is a necessary requirement of the City of Tucson development code for commercial uses.

The proposed PROJECT provides almost 5,000 square feet in commercial uses for the development through the adaptive reuse of the Samaniego House, the Flin Building, and the Stables. The locational context of this PROJECT should not be ignored when it comes to commercial space, as it will always have an intrinsic relationship with the Visit Tucson

building at the southwest corner of Broadway and Church. The Visit Tucson building, while on a separate parcel and under different ownership, shares facilities and a legal relationship with the project. The Visit Tucson building offers over 24,000 square feet of office/commercial space for the block.

This development team has also been actively working with the Tucson Department of Transportation (TDOT) on the potential improvements to Church Avenue, and even coordinating with the owner/developer across the street of the Marist on Cathedral Square Mid-rise project to ensure consistency and a desired outcome of the entire streetscape once a final design for Church Avenue is decided. Our landscape and streetscape plan along Church Avenue incorporates some of the desired elements expressed by TDOT while working within the guidelines of the Downtown Interim Streetscape Policy and recognizing the planning for this PROJECT is much further along than TDOT.

Lastly, as we anticipate this comment to be directed toward the west side of the development, we must not ignore the economics and design that lead to the failure of the La Placita Village. Commercial operations that are not located along a right-of-way, with street visibility, proved to be unsuccessful, and led to high vacancy rates and ultimately the demise of La Placita Village.

PARAGRAPH 4: Above the ground floor, residential uses are appropriate, as are the mostly well-articulated elevations. An exception is the 6-story north façade which presents an essentially blank wall to both Broadway and the pedestrian bridge across Broadway.

Response: We recognize this area is of concern and our design team has completed an alternative façade to improve the visual aesthetics.

PARAGRAPH 5: The benefit of the project cited in the Design Submittal is an increase in residential density. While increased density helps promote a 24-hour neighborhood, density alone is not an explicit goal of the IID, nor is it justification for IID incentives. The incentives are intended to provide flexibility on Standards in return for a pedestrian oriented design and a benefit to the streetscape.

Response: We unfortunately disagree with this statement wholeheartedly. The very definition of Transit Oriented Development is to promote higher density residential around transit, transit stops, and alternative transportation options. This development intends to bring upwards of 500 people to the downtown core, an impact greater than any other single development thus far.

PARAGRAPH 6: Each of the buildings cited in the section on Architectural Precedence has retail or commercial activity on the ground floor – The Cadence, One North Fifth, One West Broadway, 2 East Broadway, the AC Hotel, and City Park.

Response: The proposed PROJECT is unique from other recent downtown construction projects because of the three eligible to be historic structures, the Samaniego House, the Flin Building, and the Stables, located on site. Almost 5,000 square feet in commercial uses for the PROJECT will be developed through the adaptive reuse of these structures. The intent of the Architectural Precedence section of the Design Package was to highlight the modern architecture and strong horizontal lines present within the downtown core that provided influence to the design of the proposed new construction, not their individual uses.

*It should be noted that Excluded from the Design Professional’s list and included in the Architectural Precedence section of the Design Package is Marist on Cathedral Square – also an adaptive reuse of the Marist College and a brand new high density residential building directly adjacent to this PROJECT. The Marist on Cathedral Square has received much praise from the community yet offers less commercial space and more parking along the Church Avenue streetscape than the subject PROJECT.

2. RECOMMENDATION AGAINST RELIEF OF STANDARDS:

MAJOR STREETS AND ROUTES SETBACK ZONE, MINIMUM PERIMETER YARD, LANDSCAPING AND SCREENING:

Response: This PROJECT has approximately 254’ of street frontage along Church Avenue. Of that, the repurposed Samaniego House (commercial) occupies approximately 53’ of the street frontage, and the main entrance/office/lobby (commercial) occupies approximately 75’ of street frontage – exceeding the 50% minimum. There are 0 residential units proposed along the Church Avenue and Broadway Boulevard streetscapes. We disagree with the Design Professional recommendations as this PROJECT has indeed provided an activated Church Avenue streetscape.

3. ADDITIONAL COMMENTS: PEDESTRIAN ACCESS:

PEDESTRIAN ACCESS:

Response: This PROJECT maintains current pedestrian access from Broadway Boulevard, Eckbo Landscape, the Municipal Complex (bridge) and Church Avenue. It is important to note, the Eckbo Landscape, the Municipal Bridge, and La Placita Park all currently do not meet pedestrian accessibility/disability code standards. All of these areas are beyond the developers control and the entities in charge have explicitly asked they

are not disturbed. As this is a private residential development an access point along Eckbo Landscape, which contains no legal pedestrian easement, will become a private entrance and serve as a secondary residence lobby. This particular area is of concern, as it has historically proven to be an area of unsettling congregation and condoned night time activity.

We are currently reviewing the pedestrian route along the north portion of the development to make accessible for wheelchairs and the mobility-impaired. However, it should be noted that this section of Eckbo Landscape and the ramp leading up the Municipal Bridge does not meet accessible slope standards.

BROADWAY BOULEVARD:

Response: Due to the nebulous nature of the property and the site, including the harsh grade changes, the Municipal Bridge, and the Sun Link Streetcar infrastructure, the cost of development for this street frontage has proven to impose harsh economic barriers as well as tremendous difficulty in construction without having to significantly impact the already established infrastructure of the area. In addition, any development of this location would trigger additional infrastructure needs (electrical transformer(s), water meter & backflow, etc.) that require public street accessibility, all but eliminating the available space to provide a commercial use. This area also currently serves as retention for hardscape drainage related to La Placita Park, Visit Tucson, and this development, which is a necessary requirement of the City of Tucson code for commercial uses. As it currently contains mature landscaping, it is our intent to not disturb as part of this development, but leave open the possibility for future development.

PRESERVATION OF HISTORIC STRUCTURES ON SITE:

Response: Please note, Section 5.12.6.E.2.e specifically states as part of IID Historic Preservation Review for projects not in an HPZ:

“It is not the intent of the design review process to impose additional limitations or building preservation requirements on the allowable building heights in the IID. Unless a building height limitation in a Sub-District is specifically required herein, the proposed development may use the entire building height allowed by the IID.”

The DCS of the IID does not implore any additional height limitations, as can be found in the DLS Sub-districts.

In summary, we recognize the Design Professional’s concern regarding the north elevation and have an improved alternative available to present. We believe the PROJECT indeed meets the stated purpose of 5.12.1.A by adaptively reusing the existing foundation of the site, adaptively

reusing the three eligible to be listed historic structures, maintaining pedestrian accessibility from Church Avenue, Broadway Boulevard, the Municipal Complex and Eckbo Landscape, and providing higher density residential development to meet the very definition of a transit oriented development project. We are excited to present this PROJECT, and believe it will provide much needed market-rate housing to an emerging downtown population and interject new life into a defunct development.

These responses are intended to address the Design Professionals Recommendations dated 01/22/2018. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development

A handwritten signature in black ink that reads "Matt Stuart". The signature is written in a cursive style with a horizontal line extending from the end of the name.

Matt Stuart

Project Manager

(520) 499-2456

mstuart@cypresscivil.com

Date: January 22, 2018

To: IID Design Review Committee
c/o Carolyn Laurie, Principal Planner
Planning & Development Services
City of Tucson
201 N Stone Avenue
Tucson, AZ 85701

From: Scott Neeley, AIA
City of Tucson Design Professional

Re: "The FLIN"
110 S Church Ave
Tucson, AZ 85701

I have reviewed the *Design Submittal* for "The FLIN", dated October 23, 2017, and *Additional Architectural Elevations*, dated November 21, 2017, for compliance with the UDC Infill Incentive District (IID), UDC Section 5.12, as noted herewith.

PHASE OF REVIEW:

First review prior to meeting of IID Design Review Committee, pursuant UDC Section 5.12.6.B.4.b.

MATERIAL REVIEWED:

1) Bound *Design Package*, dated October 23, 2017, consisting of 211 pages organized according to applicant's "Table of Contents," as follows:

- IID Application
 - Introduction to THE FLIN
 - Existing Photo Study
 - IID Application Responses
 - Elevations
 - Architectural Precedence
 - Appendices
 - 1 Neighborhood Meeting Documentation
 - 2 Downtown Streetscape Interim Policy Response Letter
 - 3 Parking Plan
 - 4 Historic Documentation
 - 5 Development Plan 2nd Submittal dated September 13, 2017
 - Addendums
 - Preapplication Submittal Comment Response
 - Additional Architectural Elevations
 - Conditions of Approval
- 2) PDF of *Additional Architectural Elevations*, dated November 21, 2017
- Building Elevations

IID STANDARDS APPLICABLE TO PROJECT:

- UDC Section 5.12.8 General IID Zoning Option Design Standards
- UDC Section 5.12.10 Downtown Core Subdistrict (DCS)

RELIEF SOUGHT FROM IID STANDARDS, WITH COMMENTS:

- UDC Section 5.12.8 General IID Zoning Option Design Standards

A. Streetscape Design:

1. Pedestrian orientation

- a. Architectural elements/details
- b. Windows, window displays, or visible activity at least 50% of frontage
- c. No more than 50' of facade without architectural detail
- d. Front doors visible and highlighted
- e. Commercial services or retail trade preferred at first level

Recommendation Against Relief of Streetscape Design Standard

As proposed the project does not promote a pedestrian-oriented streetscape and is not consistent with the goals of the IID.

The project site is uniquely important to downtown Tucson. From the west, Broadway is a gateway to downtown; from the north, Church is a gateway to the Tucson Convention Center, Tucson Music Hall, the Leo Rich Theater, and the National Register Eckbo landscape. The site is across from the historic Marist College, and adjacent to a large downtown hotel and a proposed new hotel at TCC.

The ground floor of the proposed development, where the public will most intimately experience it, is primarily a parking garage and apartments. A large project with primarily residential use at the ground floor is inconsistent with the intentions of the IID. It does not encourage activity at the ground floor or enhance the pedestrian experience. Residents seeking privacy from passers-by will draw the shades on their windows, making a lifeless perimeter. Retail and commercial uses would have doors and windows opening to the street, which are necessary for a lively urban experience.

No commercial services or retail trades are proposed for the new construction. While this Standard is a preference rather than a requirement, the design provides no alternative means to create an active streetscape. This is especially important given that the site's prominence and adjacency to Tucson's cultural attractions. Retail and commercial uses in this location could become destinations and tie the complex into the city beyond.

Above the ground floor, residential uses are appropriate, as are the mostly well-articulated elevations. An exception is the 6-story north façade which presents an essentially blank wall to both Broadway and the pedestrian bridge across Broadway.

The benefit of the project cited in the Design Submittal is an increase in residential density. While increased density helps promote a 24-hour neighborhood, density alone is not an explicit goal of the IID nor is it justification for IID incentives. The incentives are intended to provide flexibility on Standards *in return for a pedestrian-oriented design and a benefit to the streetscape.*

Each of the buildings cited in the section on Architectural Precedence has retail or commercial activity on the ground floor – The Cadence, One North Fifth, One West Broadway, 2 East Broadway, the AC Hotel, and City Park.

Recommendation Against Relief of Standards:

- **Major Streets and Routes Setback Zone**
- **Minimum Perimeter Yard**
- **Landscaping/Screening**

These Standards are intended to provide appropriate buffers between adjacent properties and streets for various uses. In the case of residences, the Standards provide buffers between adjacent uses, and between living spaces and street traffic. The IID provides the option of flexibility on these Standards to incentivize development of active streetscapes. There's no justification for reducing the Standards for residential use at the ground floor, which diminishes the streetscape experience – relief is intended to encourage non-residential use for a vibrant pedestrian experience. Relief of the Standards for the proposed project, with proposes a ground floor of residences and garage parking, is not appropriate.

Recommendation for Relief of Standards, with Comments:

- **Native Plant Preservation**
N/A per materials provided.
- **Motor Vehicle Parking**
Reduced motor vehicle parking is appropriate for this urban site. Proposed reduction of parking space width to 7.5' width, use of tandem spaces, and potential conflicts with column locations should be evaluated by City Engineer.
- **Bicycle Parking**
Reduction of visitor bicycle parking spaces is appropriate for residential uses where bicycles are likely to be brought inside. However, entirely residential use at ground floor does not comply with Streetscape Design Standard as noted above.
- **Environmental Services**
Complies.

Additional Comments:

- **Pedestrian Access**

The proposed site plan does not attempt to improve pedestrian access around and through the site. It creates a barrier between La Placita Park and the Eckbo landscape, when it could enhance that connection.

In comparison to the existing development on the site, the proposed development proposes a more opaque perimeter with fewer points of entry.

The pedestrian routes at the north end of the proposed construction are not currently accessible for wheelchairs or the mobility-impaired. Given the scale of the proposed development, this limitation should be corrected.

Shifting the bulk of the project to the larger southern housing block (while maintaining the same density) and eliminating the smaller northern block would make the site much more porous. It would also create a clear diagonal pedestrian passage from Broadway through La Placita Park around the historic Flin House to the Eckbo landscape and cultural buildings that surround it.

- **Broadway Boulevard**

An earlier version of the site plan brought the FLIN out to Broadway Boulevard, which created a stronger edge both along the street and along La Placita Park. It eliminated a bleak and barren portion of the site, framed by high concrete walls, that runs along Broadway Boulevard. This is a highly visible and important location downtown, and adjacent a streetcar stop. In its current condition, this area is unappealing to look at from a car or streetcar, and unpleasant to walk by as a pedestrian. It should be ameliorated as part of the proposed development.

- **Preservation of Historic Structures on Site**

UDC Section 5.12.7 requires proposed buildings to respect the scale of historic buildings, and that new structures with heights of a significantly different scale provide an orderly transition to reduce and mitigate potential impacts. The proposed new construction proposes 6-story new construction in close proximity to much lower historic structures. In the case of the Flin House, a significant change of scale is exacerbated by enclosure on three sides.

Summary:

As submitted this project *does not* meet IID Standards.

A stated purpose of the Downtown Area IID (5.12.1.A) is to "Encourage sustainable infill development that supports the creation of urban neighborhoods that are pedestrian and transit-oriented..." The proposed design is not a pedestrian-oriented design, nor does it respond adequately to the constraints and opportunities of this important site. The ground floor pedestrian experience and the Broadway elevation are especially problematic.

Submitted by:

Scott Neeley, AIA
City of Tucson Design Professional

ADDENDUM

THE FLIN



EGLIN+BRESLER
ARCHITECTS, P.C.

CYPRESS
CIVIL DEVELOPMENT

CONDITIONS OF APPROVAL

THE FLIN



EGLIN+BRESLER
ARCHITECTS, P.C.

CYPRESS
CIVIL DEVELOPMENT