

HILTON Dual Brand Hotel

141 SOUTH STONE AVENUE



SITE LONGITUDINAL SECTION (LOOKING EAST)



SITE SECTION (LOOKING NORTH)

GENERAL NOTES

- OWNER/DEVELOPER:
FAYTH HOSPITALITY
5442 BELMONT AVENUE
DALLAS, TEXAS 75206
- THE EXISTING ZONING IS C-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS PARKING. THE PROPOSED USE OF THE DEVELOPMENT IS TRAVELS ACCOMMODATION, LODGING AND IS SUBJECT TO USE SPECIFIC STANDARDS 4.8.6.
- THE GROSS SITE AREA IS 35,558 SQUARE FEET, OR 0.82 ACRES.
- THE TOTAL BUILDING GFA IS 163,710 SF. THE TOTAL PAVED AREA IS 2347 SF ±.
- THE TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 35,558 SF.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
 - PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
 - THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMP (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

16. DIMENSIONAL STANDARDS:

RESIDENTIAL DENSITY CALCULATION: N/A

SITE COVERAGE CALCULATION: N/A

MAXIMUM BUILDING HEIGHT 75'
ACTUAL BUILDING HEIGHT 79'

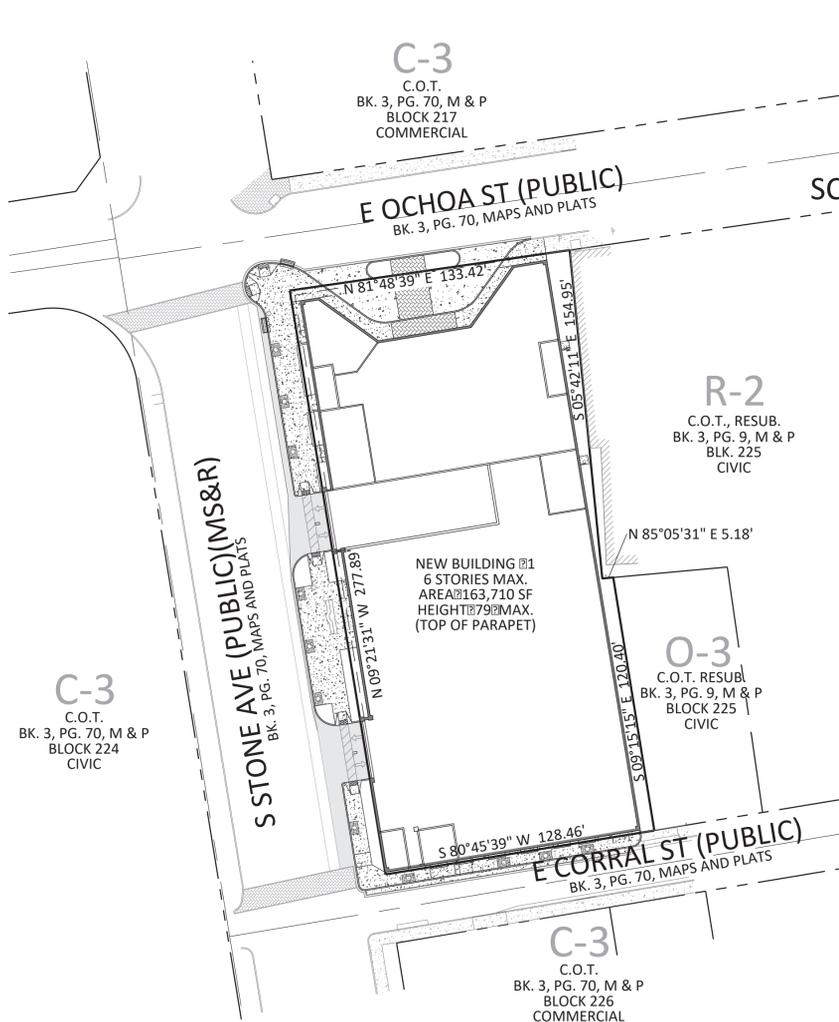
	REQUIRED	PROVIDED
NORTH	0'	3.1' MIN.
EAST	0'	0.1' MIN.
SOUTH	0'	0' MIN.
WEST	0'	0' MIN.

NOTE: WITHIN THE DOWNTOWN CORE SUBDISTRICT (DCS), DIMENSIONAL STANDARDS MAY BE MODIFIED OR EXEMPT PER SECTION 5.12.10.C.

GENERAL NOTES (continued)

- PARKING REQUIREMENTS FOR TRAVELERS ACCOMMODATION, LODGING:
 - MOTOR VEHICLE: 1 SPACE PER RENTAL UNIT 1 SPACE PER 300 SF GFA OF CONFERENCE, RESTAURANT, RETAIL, BAR & BANQUET
 - SPACES REQUIRED (195)(6,080/300) 215 SPACES
 - TOTAL REQUIRED @ 25% REDUCTION 161 SPACES
 - TOTAL PROVIDED 139 SPACES
 - ACCESSIBLE SPACES REQUIRED 5 SPACES
 - ACCESSIBLE SPACES PROVIDED 5 SPACES
- BICYCLE PARKING:
 - SHORT TERM: 2 SPACES 1 SPACE PER 6,000 SF GFA OF CONFERENCE, RESTAURANT, BAR AND/OR BANQUET SPACE (50 MAX.)
 - TOTAL REQUIRED (2)(6,000/6,080) 3 SPACES
 - TOTAL PROVIDED 4 SPACES
 - LONG TERM: 1 SPACE PER 20 GUEST ROOMS (2 MIN.)
 - TOTAL REQUIRED (195/20) 10 SPACES
 - TOTAL PROVIDED 10 SPACES
- LOADING ZONES REQUIRED 0 SPACES
- LOADING ZONES PROVIDED 0 SPACES
- NOTE: PARKING REQUIREMENTS MAY BE MODIFIED PER IID PROCESS. SEE IID NOTES, SHEET 2.
- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- WASTE STREAM CALCULATION:
 - PER TUCSON CITY CODE 15-10.1(E) THIS SITE PRODUCES APPROXIMATELY 8,775 GALLONS PER WEEK.
 - A MINIMUM OF 43.4 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.
 - A TRASH COMPACTOR WILL BE ON SITE WHICH WILL REDUCE THE AMOUNT OF WASTE TO APPROXIMATELY 11 CUBIC-YARDS (TOTAL).
 - THIS WILL BE ACCOMPLISHED BY ONE 6-CUBIC-YARD TRASH BIN AND ONE 6-CUBIC-YARD RECYCLING BIN BEING PICKED UP ONCE PER WEEK.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.4, MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R) UDC SEC. 5.7, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID). THE PROJECT IS ALSO WITHIN THE RIO NUEVO TAX INCREMENT FINANCING DISTRICT.
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
- THE ASSESSOR'S PARCEL NUMBERS FOR THIS PROJECT ARE 117-13-1610, 117-13-1620, 117-13-1630, 117-13-1640, 117-13-1650, 117-13-1660, AND 117-13-1670.

DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES



PROJECT OVERVIEW PLAN

SHEET INDEX

- | | |
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| 1. COVER SHEET | 8. LANDSCAPE SCHEDULE AND NOTES |
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| 3. SITE PLAN | 10. IRRIGATION PLAN |
| 4. PARKING PLAN | 11. LANDSCAPE DETAILS |
| 5. GRADING & DRAINAGE PLAN | 12. IRRIGATION DETAILS |
| 6. UTILITIES & EASEMENTS PLAN | 13. IRRIGATION DETAILS |
| 7. DETAILS | |

SCALE: 1" = 40'

	PROJECT BOUNDARY
	RIGHT-OF-WAY
	OTHER PARCEL LINE
	ROADWAY CENTERLINE
	SECTION LINE
	EXISTING EASEMENT
	NEW EASEMENT
	EXISTING CONTOUR
	NEW CONTOUR
	SPOT ELEV. (NEW GRADE)
	SPOT ELEV. (EXIST. GRADE)
	GRADING LIMITS
	EXISTING CURB
	EXISTING PAINT STRIPE
	EXISTING CONCRETE
	NEW CONCRETE
	NEW CURB
	NEW PAINT STRIPE
	NEW ASPHALT
	EXISTING PARKING METER
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN PIPE
	EXISTING SEWER
	EXISTING WATER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING COMMUNICATION LINE
	EXISTING GAS LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER CLEANOUT
	EXISTING WATER METER
	EXISTING BACKFLOW PREVENTER
	EXISTING WATER VALVE
	EXISTING TRANSFORMER
	EXISTING COMMUNICATION MANHOLE
	EXISTING LIGHT PULL BOX



IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP

LEGEND

	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING UNKNOWN MANHOLE
	NEW STORM DRAIN PIPE
	NEW SEWER
	NEW WATER
	NEW FIRE SERVICE
	NEW SEWER CLEANOUT
	NEW SEWER MANHOLE
	NEW WATER METER
	NEW BACKFLOW PREVENTER
	NEW WATER VALVE
	NEW FIRE CONNECTION
	NEW IRRIGATION BOX
	NEW TRANSFORMER
	SURVEY MONUMENTATION AS NOTED
	PARKING SPACE COUNT
	ZONING DIVISION
	SIGHT VISIBILITY TRIANGLE
	RIGHT-OF-WAY
	RADIUS
	PAVEMENT (ASPHALT)
	CONCRETE
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	GRADE BREAK
	EXISTING SIGN
	EXISTING STREET LIGHT

ARCHITECT

SEAVER FRANKS ARCHITECTS INC AIA
2552 NORTH ALVERNON WAY
TUCSON, ARIZONA 85712
ATTN:
PH: (520) 795-4000
E: seaverfrank@seaverfrank.com
LANDSCAPE ARCHITECT
NORRIS DESIGN
418 NORTH TOOLE AV
TUCSON, ARIZONA 85701
ATTN: AMY WEBB
PH: (520) 622-9565
E: amywebb@norris-design.com

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701



CYPRESS PROJECT NO: 18.088
2030 east speedway
Tucson, AZ 85719
ph: 520.499.2456
e: info@cypresscivil.com

BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES
cooper sheet



GENERAL PAVING & GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):

TOTAL CUT	TOTAL FILL	COMPOSITE
1,255 CY	24 CY	1,231 CY (C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

GENERAL PAVING & GRADING NOTES (continued)

- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5" FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDSO TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PDSO WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PDSO PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDSO ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://pdsosha.com/access/central/default.cfm?cid=3&site=arizona>
- ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PDSO ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

EARTHWORK/MATERIALS TESTING & CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY TERRACON CONSULTANTS, INC. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REVISED REPORT, DATED NOVEMBER 8, 2018, TERRACON PROJECT NO. 63185081.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS A STRAIGHT LINE BETWEEN TWO FOUND SURVEY MONUMENTS ON SCOTT AVENUE AS SHOWN ON THIS MAP AND THE SURVEY MAP RECORDED IN BOOK 76 AT PAGE 70 OF SURVEYS, RECORDS OF PIMA COUNTY, AZ. THE BEARING OF SAID LINE IS **S 02°45'57" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS BENCHMARK #29, A CHISELED "X" ON THE BASE OF THE 2ND STREET LIGHT SOUTH OF OCHOA STREET, EAST SIDE OF STONE AVENUE ACCORDING TO CITY OF TUCSON FIELD BOOK 1989X, PAGE 3. THE ELEVATION OF SAID BENCHMARK IS **2,388.121'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
ALTA ARIZONA LAND SURVEY, INC.
2025 WEST RUTHRAUFF ROAD, SUITE 125
TUCSON, ARIZONA 85705
ATTN: MR. TODD A. HOUT, AZ RLS #35543
PH: (520) 398-6651
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

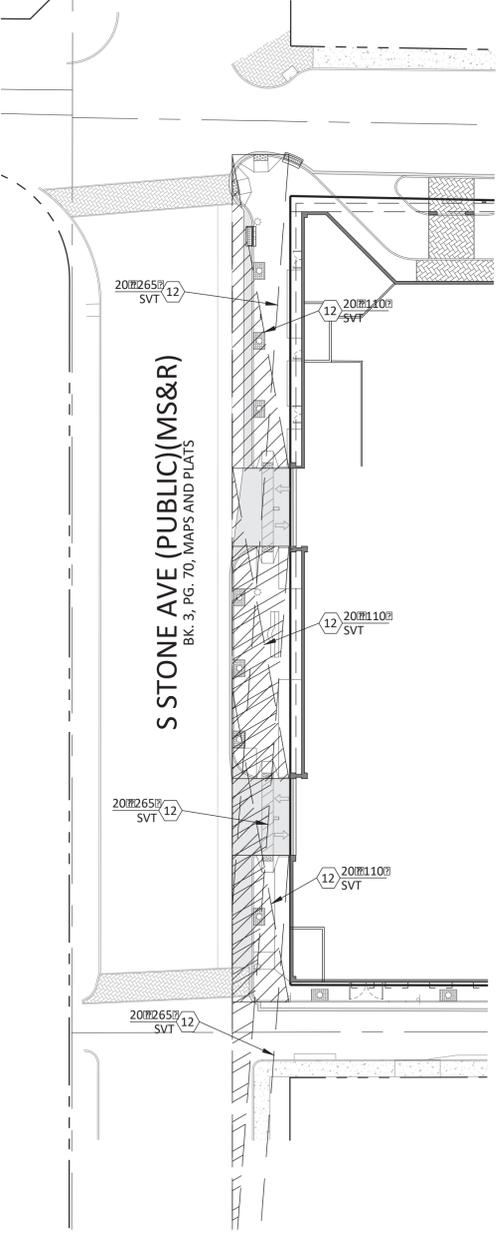
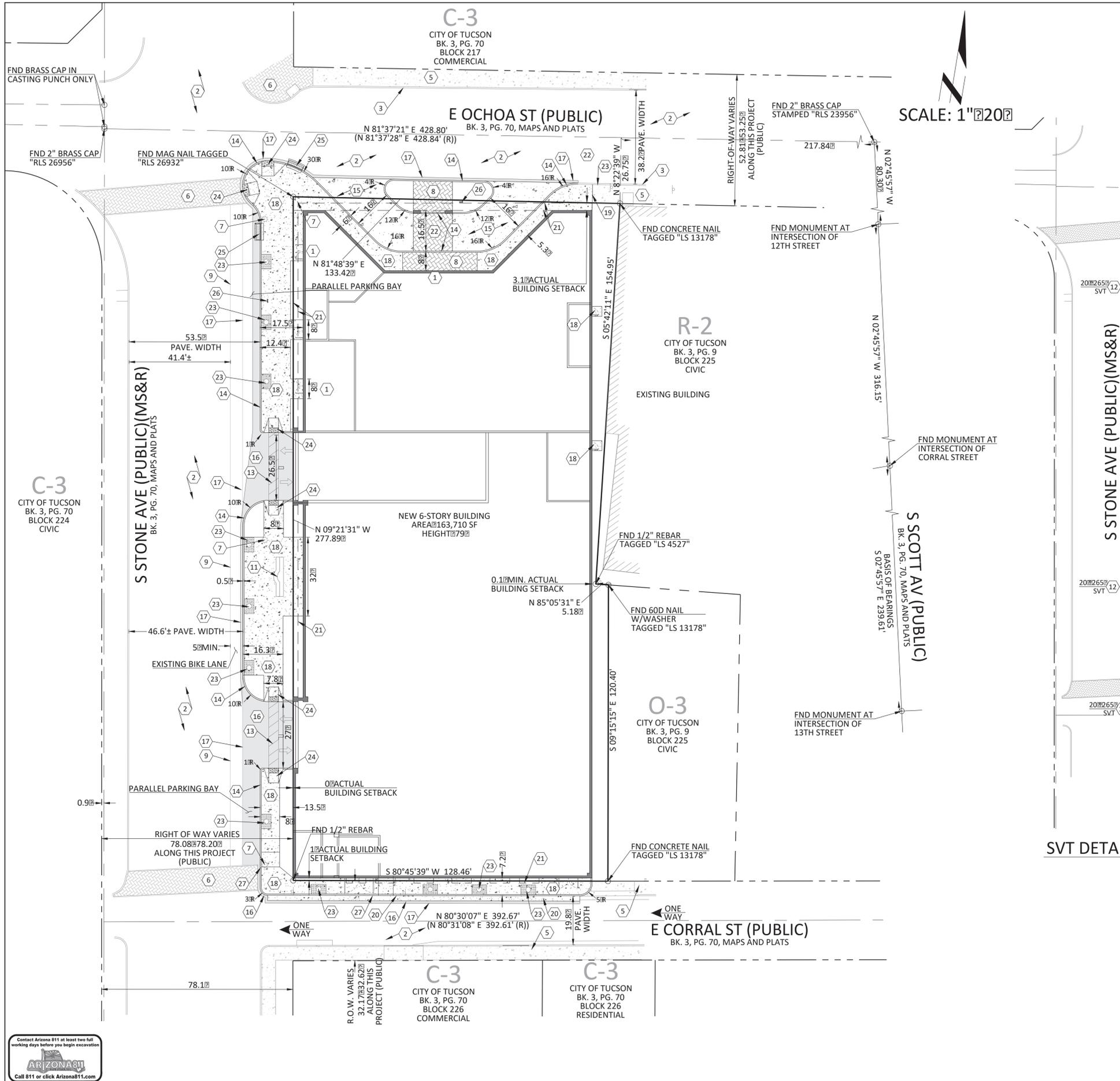
IID NOTES (CASE # _____)

THIS PROJECT IS SUBJECT TO THE CONDITIONS STATED IN IID CASE # _____, APPROVED _____, LISTED BELOW:

-
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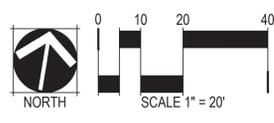
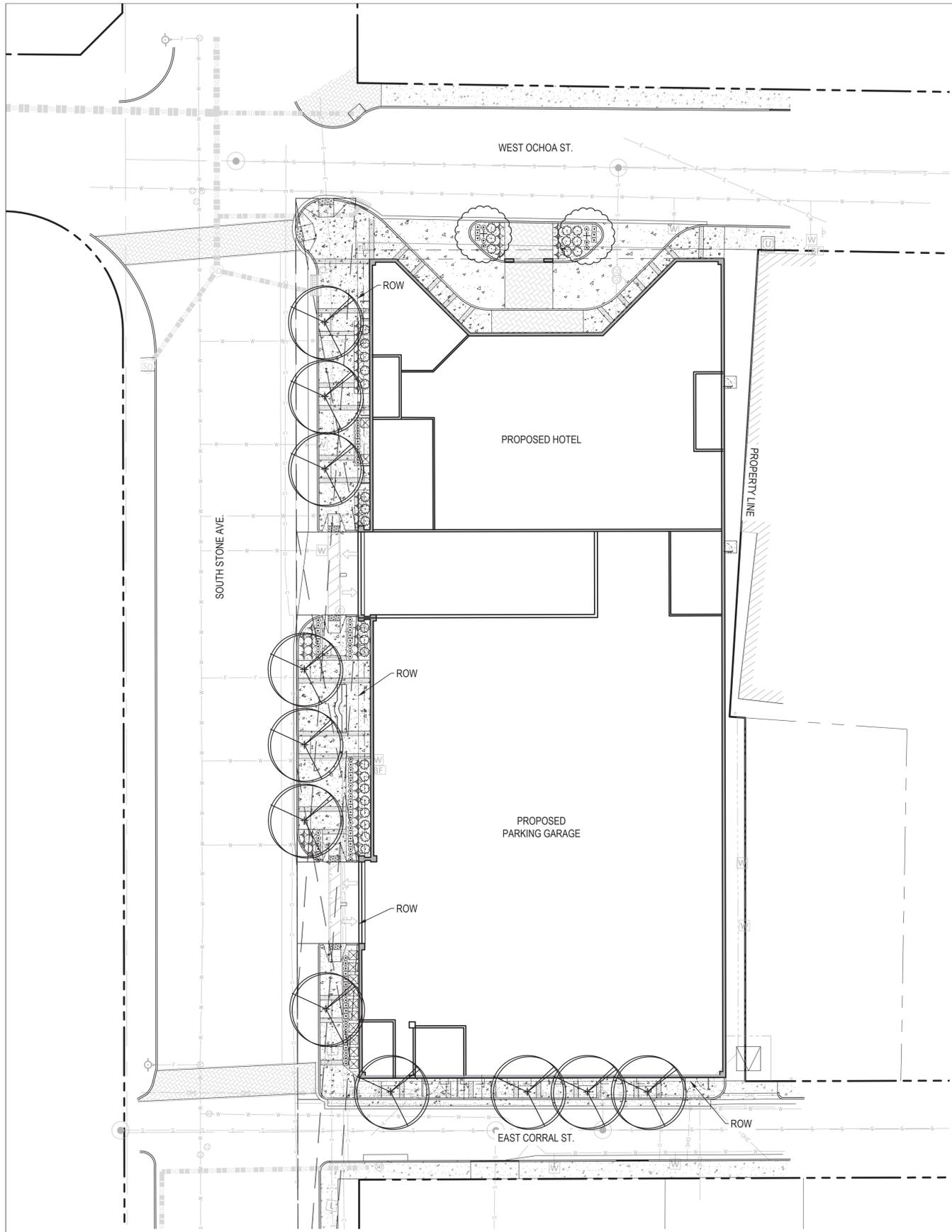
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER FAYTH HOSPITALITY 5442 BELMONT AVENUE DALLAS, TEXAS 75206 ATTN: MR. GREG FAY PH: (561) 307-2015 E: greg.fay@fayhosp.com
		CYPRESS PROJECT NO: 18.088 CYPRESS CIVIL DEVELOPMENT strength + sustainability 2030 east speedway suite 110 tucson, arizona 85719 ph: 520.499.2456 e: info@cyprcsscivil.com		SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES



- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 EXISTING BRICK TO REMAIN.
 - 7 EXISTING LIGHT TO REMAIN.
 - 8 NEW PEDESTRIAN BRICK PAVERS.
 - 9 EXISTING STRIPING TO REMAIN.
 - 10 EXISTING PARKING METER TO REMAIN.
 - 11 NEW SITE AMENITY.
 - 12 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 13 NEW STRIPED CROSSWALK.
 - 14 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL A, SHEET 7. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 15 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 7. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 16 NEW 3" AC PAVEMENT OVER 6" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 7.
 - 17 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 18 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 19 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 20 NEW 6" VERTICAL CURB AND GUTTER (TYPE 1(G)) PER PAG DETAIL 209. SEE DETAIL D, SHEET 7. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 21 NEW BUILDING OVERHANG PER BUILDING PLANS.
 - 22 NEW TRAFFIC RATED BRICK PAVERS. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 23 NEW TREE GRATE/PLANTER PER LANDSCAPE PLANS.
 - 24 NEW CONCRETE CURB ACCESS RAMP WITH DETECTABLE WARNING STRIP PER PAG DETAIL 207.
 - 25 NEW CATCH BASIN (TYPE 1, DOUBLE GRATE) PER PAG DETAIL 307.
 - 26 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL E, SHEET 7. FOR RACK SPACING SEE DETAIL F, SHEET 7.
 - 27 NEW CONCRETE HEADER PER PAG DETAIL 213.

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				CYPRESS CIVIL DEVELOPMENT strength + sustainability 2030 east speedway, suite 110 phoenix, arizona 85719 ph: 520.499.2456 e: info@cypresscd.com
CYPRESS PROJECT NO: 18.088				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES site plan





LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES: SEE DETAILS 3, SHEET 11				
	<i>Sophora secundiflora</i> Silver Sierra™	Silver Texas Mountain Laurel	15 GAL	2
	<i>Quercus buckleyi</i>	Red Rock Oak	15 GAL	11
SHRUBS: SEE DETAIL 4, SHEET 11				
	<i>Russelia Equisetiformis</i>	Firecracker Bush	5 GAL	28
ACCENTS: SEE DETAIL 5, SHEET 11				
	<i>Euphorbia antisyphilitica</i>	Candelilla	5 GAL	42
	<i>Pedilantus macrocarpus</i>	Lady's Slipper	5 GAL	13
GROUNDCOVER: SEE DETAIL 4, SHEET 11				
	<i>Sphagneticola trilobata</i>	Yellow Dot	1 GAL	35
	<i>Tradescantia pallida</i>	Purple Heart	1 GAL	49
INERT GROUNDCOVERS: SEE DETAIL 6, SHEET 11				
	3/8" Screened Rock - at a depth of 3". Color: Desert Gold Manufacturer: Pioneer Sand. Ph. (520) 624-0200			1,336 SF
SITE FURNISHINGS				
	48"x72" Tree Grate Model: 9636 Manufacturer: Ironsmith Ph. (602) 852-0500 See Detail 1, Sheet 11			11

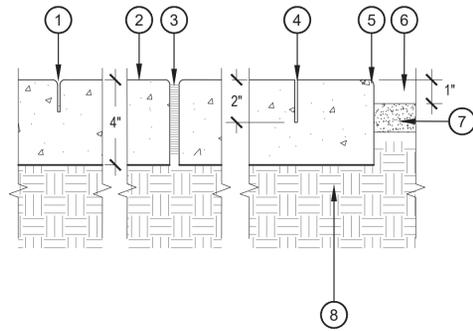
HARDSCAPE LEGEND

CONCRETE PAVING: SEE DETAIL 1, SHEET 11			
	Natural Gray Concrete Finish: TBD		4,001 SF
	Integral Colored Concrete Color: TBD Finish: TBD		536 SF

Contact Arizona 811 at least two full working days before you begin excavation

 Call 811 or click Arizona811.com

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				418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565 www.norris-design.com
CYPRESS PROJECT NO: 18.088 				
BLOCK 225 "CITY OF TUCSON" IN BOOK 3 PAGE 70 MAPS & PLATS, BEING A PORTION OF THE N.W. 1/4 OF SECTION 13, T-14-S, R-13-E OF THE G.&S.R.M., PIMA COUNTY, ARIZONA				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
DEVELOPMENT PACKAGE for HAMPTON INN / HOME2 SUITES LANDSCAPE PLAN				DP 9 OF 13

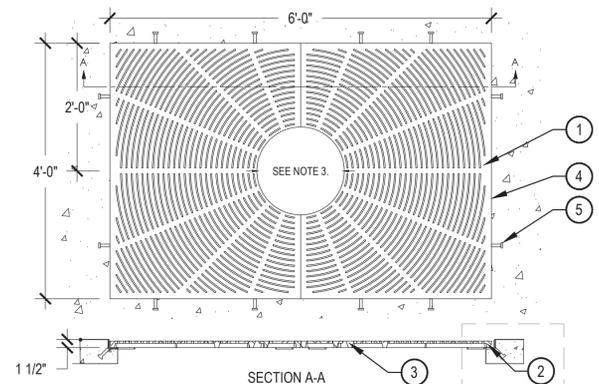


- 1 TOOLED JOINT, 1/4" RADIUS SPACE EQUAL TO WIDTH OF WALK UNLESS NOTED OTHERWISE. DEPTH TO 1/3" CONCRETE THICKNESS MIN
- 2 CONCRETE PAVING. REFER TO SURFACING SCHEDULE FOR COLOR AND FINISH.
- 3 FIBER EXPANSION JOINT WITH TRAFFIC SEALANT
- 4 SAW CUT JOINT, 1/8" X 2" DEPTH. DRY CUT JOINT TO AVOID SPALLING. JOINTS SHALL BE CUT WITHIN 24 HOURS OF INSTALLATION
- 5 1/4" RADIUS TOOL EDGE
- 6 FINISH GRADE
- 7 INERT GROUND COVER REFER TO SURFACING SCHEDULE.
- 8 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTE:
 1. C.I.P. CONCRETE PER PLANS AND SPECS. CONTROL JOINTS AS SHOWN ON PLANS WITH EXPANSION JOINTS @ 24' O.C. MAX. OR WHERE NOTED.
 2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI. AT 28 DAYS.

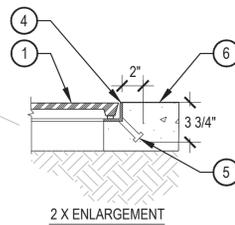
1 CONCRETE PAVING

SCALE: 3" = 1'-0"



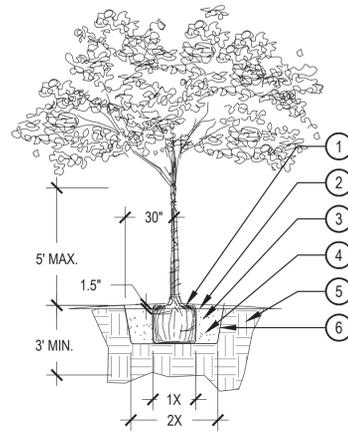
- 1 TREE GRATE PER SCHEDULE
- 2 1/2" x 1" X 1/4" THICK GRINDING PADS FOR LEVELING - TYP. 4 OR MORE PLACES
- 3 1" RIBS
- 4 1-3/4" X 1-3/4" X 1/4" STEEL ANGLE FRAME
- 5 CONCRETE ANCHORS 1/2 NELSON ANCHORS MACHINE WELDED TO FRAME
- 6 PAVING PER SCHEDULE

NOTE:
 1. SLOT WIDTH IS 1/4" MAXIMUM, MEETS ADA COMPLIANCE.
 2. GRATE CAST FROM GRAY IRON
 3. TREE OPENING SIZE 16"
 4. STEEL ANGLE FRAME REQUIRED
 5. FOR INSTALLATION USE MODEL M4800F
 6. OUTER FRAME DIM. IS 3/4" ± 1/8" GREATER THAN GRATE.
 7. FRAME JIG WELDED FROM 1-3/4" X 1-3/4" X 1/4" STEEL ANGLE TO ASTM A36.



2 TREE GRATE

SCALE: NTS

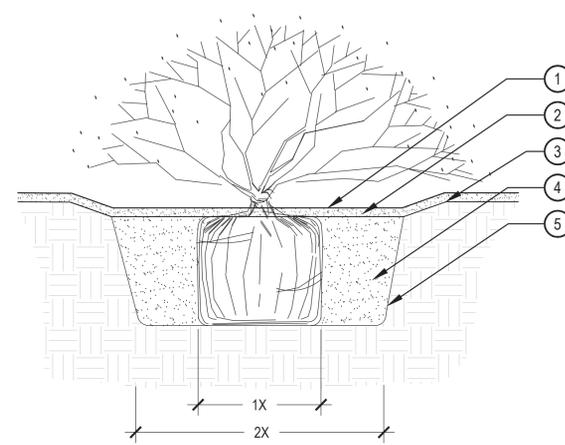


- 1 FINISH GRADE
- 2 PLANT 1.5" ABOVE FINISH GRADE. SLOPE BACKFILL AWAY FROM TRUNK.
- 3 BACKFILL WITH NATIVE SOIL AND WATER SETTLE.
- 4 HOLE SIZE: 2X WIDTH OF ROOTBALL.
- 5 LOOSEN SOIL 3X WIDTH OF ROOTBALL.
- 6 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:
 1. SET TOP OF ROOTBALL (1.5" ABOVE ADJACENT GRADE) ORGANIC MULCH AS REQUIRED.
 2. INSTALL BERM ON DOWNSIDE OF SLOPES FOR TREES ON GRADE OF 5:1 OR GREATER.

3 SINGLE-TRUNK TREE PLANTING

SCALE: NTS

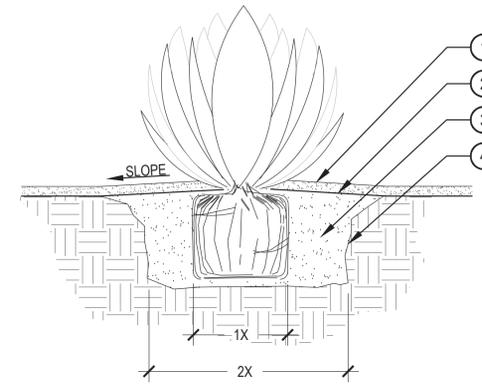


- 1 FINISH GRADE
- 2 INERT GROUND COVER PER SCHEDULE
- 3 3" DEEP WELL, BLEND TO FINISHED GRADE
- 4 BACKFILL NATIVE SOIL, THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER, SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM
- 5 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:
 1. DO NOT DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER.
 2. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
 3. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.

4 SHRUB / GROUND COVER PLANTING

SCALE: NTS

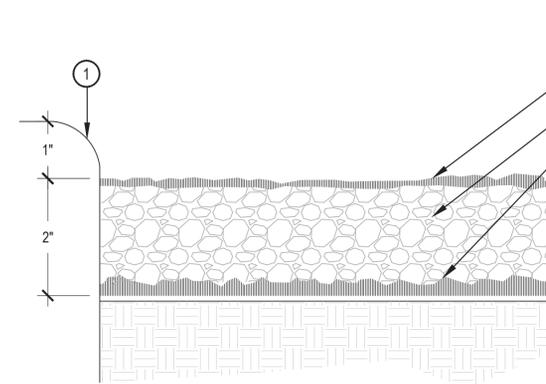


- 1 TOP OF D.G.
- 2 FINISH GRADE
- 3 BACKFILL NATIVE SOIL, THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER, SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM.
- 4 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:
 1. DO NOT CREATE BASIN AT BASE OF ACCENT.
 2. SLOPE BACKFILL AWAY FROM PLANT.
 3. USE DRY SITE SOIL ONLY IN PIT -- NO MULCH.

5 ACCENT / CACTI PLANTING

SCALE: NTS



- 1 MIN. 1" REVEAL ON ALL PAVED SURFACES - GRADE FOR MATERIAL DEPTH AND REVEAL
- 2 FINAL APPLICATION OF PRE-EMERGENT HERBICIDE.
- 3 GROUND COVER PER SCHEDULE
- 4 APPLY PRE-EMERGENT HERBICIDE TO SUBGRADE

NOTE:
 1. APPLY PRE-EMERGENT HERBICIDE PER LABEL DIRECTIONS AND RATE.

6 INERT GROUND COVER

SCALE: 1/2" = 1'-0"

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CYPRESS PROJECT NO: 18.088				NORRIS DESIGN Planning Landscape Architecture Branding
418 North Toole Avenue Tucson, AZ 85701 P 520.622.9565 www.norris-design.com				SITE ADDRESS 141 SOUTH STONE AVENUE TUCSON, ARIZONA 85701
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