

City of Tucson

iid: #19-02

DP: DP18-0304

iid Application: Dated 2019 February 20

Condensed pdf package requested by the City of Tucson

Table of Contents (2 pages)

1. Application form (signed by the Property Owner of Authorized Agent – include letter of authorization)
 - 1.0 CoT application page 1 of 3
 - 1.1 CoT application page 2 of 3
 - 1.2 CoT application page 3 of 3
 - 1.3 agent signature letter
2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable.)
 - 2.0 Announcement mailer; the TUXON Hotel Announcement 2019 March 07
 - 2.1 accountable mail receipt, dated and stamped for the TUXON Hotel Announcement
 - 2.2 written summary of neighborhood meeting
 - 2.3 agenda distributed at the Neighborhood meeting
 - 2.4 sign-in sheet from the Neighborhood meeting
 - 2.5 comment card distributed at the Neighborhood meeting (no written comments were received)
3. Project statement outlining scope of work
 - 3.0 project statement
 - 3.1 iid scope of work
4. UDC compliance review comments (obtained at the 1st floor)
 - 4.0 Response Letter
5. Pima county assessor's record parcel detail and record map
 - 5.0 assessor's record parcel (2 pages)
6. Color aerial photograph of subject property (if applicable).
 - 6.0 color aerial photograph
7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property and surrounding area (if applicable).
 - 7.0 labeled photographs (2 pages)

8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable)
 - 8.0 precedent map
 - 8.1 photograph precedents
9. Site Plan (and landscape plan and floor plans if applicable)
 - 9.0 DP site plan (5 pages)
 - 9.1 DP landscape plans (7 pages)
10. Elevations (and contextual elevation is applicable)
 - 10.0 East Elevation Welcome Building 11x17
 - 10.1 East and West Elevations 11x17
 - 10.2 North and South Elevations 11x17
 - 10.3 South Site Elevation 11x17
11. Samples, cut sheets and or photographs of the type, color and texture of the proposed material (if applicable).
 - 11.0 materials images
12. Supplemental Information
 - 12.0 CoT iid Supplement Information package
 - 12.1 CoT pre-iid meeting - iid response letter, the TUXON Hotel
 - 12.2 rendered shadow site plan-11x17; requested at the CoT pre-iid meeting
 - 12.3 rendered architectural site, 11x17 version presented at the Neighborhood meeting
 - 12.4 interior hotel room rendering - dark wood option, 11x17
 - 12.5 Welcome Building, rendered floor plan, 11x17



APPLICATION

Greater Infill Subdistrict

Case Number IID-19-02

Date Accepted: 4/15/2019

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): The Tuxon

Property Address: 960 S FREEWAY, TUCSON, AZ 85745

Applicable Area/Neighborhood/Overlay: MENLO PARK

Zoning: C-2

Historic Status: NON-CONTRIBUTING

HAYHURST

Legal Description: LOTS 3 4 5 9 10 & 11 BLK 10 EXC SPDRLS IN LOTS 5 & 9

Pima County Tax Parcel Number/s: 116-23-063C

Site and Building Area (sq ft): 83,731 SQ FT

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: NIKKI HERNANDEZ

EMAIL: NIKKI@FORSARCHITECTURE.COM, JOHN@FORSARCHITECTURE.COM

PHONE: (520) 795-9888

FAX: ()

ADDRESS: 245 E CONGRESS ST. #135 TUCSON, AZ

PROPERTY OWNER NAME (If ownership in escrow, please note): VISHAL PATEL

PHONE: ()

FAX: ()

PROJECT TYPE (check all that apply):

() New building on vacant land

() New addition to existing building

() Change of use to existing building

() New building on developed land

(X) Other

Related Permitted Activity Number(s): DP18-0304; T19CM01598

DESCRIPTION OF USE: Traveler's Accommodation, Lodging

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

NIKKI HERNANDEZ

02/20/2019

SIGNATURE OF OWNER/APPLICANT

Date



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

1.	Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
2.	Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
3.	Project statement outlining scope of work.
4.	UDC compliance review comments (obtained at the 1 st floor).
5.	Pima county assessor's record parcel detail and record map.
6.	Color aerial photograph of subject property (if applicable).
7.	Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
8.	Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
9.	Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
10.	Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
11.	Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
12.	PDF of all above listed items (number of hard copies may be required).
13.	Applicable fees (payable to City of Tucson).
14.	(Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



CASE INFORMATION
(To be completed by PDSD staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01): _____

Related Permitted Activity Number(s): _____

Review Process (E.g. HPZ, DDO, IID – Major/Minor): _____

Applicable Fees: _____

Pre-Application Accepted by: _____

Pre-Application Meeting scheduled for: _____

Additional Notes: _____

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.): _____

02.20.2019

RE: IID application for 960 S Freeway, Tucson, AZ 85745

To Whom It May Concern:

This letter shall serve as notice, that Miguel Fuentevilla of FORSarchitecture+interiors, is my agent and representative in any all matters in reference to the filling and achieving an IID for the above referenced property. He has full decision making authority and binding power to execute any and all documents.

Vishal Patel 02/20/2019

03.07.2019

Invitation to Neighborhood Meeting

Re: Parcel 116-23-063C: 960 S Freeway: Activity #: DP18-0304 IID #: 19-02

Date: Tuesday, April 2nd, 2019
Time: 5:30 pm
Meeting Location: 960 S Freeway Tucson, AZ 85745 (meeting room)
Project Location: 960 S Freeway Tucson, AZ 85745
Proposal: Infill Incentive District - Zoning Option

This IID application is intended to obtain relief from additional parking and landscaping requirements. This property is located at 960 S Freeway.

The Tuxon, located at 960 S Freeway, formerly a Motel 6, is transitioning from a modest, budget motel to a boutique hotel that intrigues all travelers. The owner wishes to remodel the existing 112 rooms, add a new building on the freeway side of the site along with a new utility area along W 20th St., and replace and relocate pool equipment for the existing pool. The new building will provide a lobby, breakfast, bar, office areas, and restrooms to accommodate the pool and new building. The existing utility building will remain a space for staff services and the new addition will provide an area for bikes to be rented out by guests.

Meeting Agenda

- I. Introductions
- II. Discussion Points
 - [a] Project Overview
 - [b] Site plan
 - [c] Parking
 - [d] Proposed New Building
 - [e] Exterior improvements
 - [f] Landscape Screening
 - [g] IID designation
- III. Questions and Answers
- IV. Comment Cards
- V. Adjournment

Location Map



For questions regarding this announcement or the neighborhood meeting contact Nikki Hernandez at FORS Architecture + Interiors (520) 795-9888 or nikki@forsarchitecture.com



CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on MONDAY 18 MARCH 2019
(date of mailing)

for the neighborhood meeting to be held on TUESDAY 02 APRIL 2019
(date of neighborhood meeting)

[Handwritten Signature]
(signature of applicant/applicant's agent)

11 APRIL 2019
(date signed)

Documentation if available (such as receipt)

MAILING BOOK FOR ACCOUNTABLE MAIL w/ USPS TRACKING #



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1. 7018 1830 0001 2968 7791	116230350 ESTOPELLAN JOSE & MARTHA CP/RS 816 W GREEN ST TUCSON, AZ, 85745-3002			✓												
2. 7018 1830 0001 2968 7807	11623050A RUSSELL ROGER E & KATHRYN L JT/RS 4235 SE MAIN ST PORTLAND, OR, 97215-2434															
3. 7018 1830 0001 2968 7814	116230520 HERRERA JOSE 824 W 19TH ST TUCSON, AZ, 85745-3038															
4. 7018 1830 0001 2968 7821	116232090 SONORAN ART FOUNDATION 633 W 18TH ST TUCSON, AZ. 85701-2553			✓												
5. 7018 1830 0001 2968 7838	11623204B RUSSELL ROGER E & KATHRYN L JT/RS 4235 SE MAIN ST PORTLAND, OR. 97215-2434															
6. 7018 1830 0001 2968 7845	116230450 VERDUGO LYDIA LESFRON & VERDUGO MARISSA ANNETTE LESFRON 1914 W LESTER ST TUCSON, AZ. 85745-1950			✓												
7. 7018 1830 0001 2968 7852	11623037C BONDY MARK A & BONDY ALAN J 3730 N AMPHITHEATER HIGH DR TUCSON, AZ. 85705-3306															
8. 7018 1830 0001 2968 7869	116230560 STATE OF ARIZONA DEPT OF TRANSPORTATION 2302 W. DURANGO ST PHOENIX, AZ 85004			✓												
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (name or receiving employee)														

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2. 7018 1830 0001 2968 7883	11623041C SARDINA CARMEN C 3615 W MILTON RD TUCSON, AZ, 85746-3623													
3. 7018 1830 0001 2968 7890	116230290 MAJABEJU LLC 408 W SIMPSON ST TUCSON, AZ, 85701-2277													
4. 7018 1830 0001 2968 7906	11623204A LOPEZ YOLANDA 887 W 19TH ST TUCSON, AZ, 85745-3037													
5. 7018 1830 0001 2968 7913	11623041D LOPEZ FRANCISCO ENRIQUE BALLESTEROS 879 W GREEN ST TUCSON, AZ, 85745-3001													
6. 7018 1830 0001 2968 7920	116232020 ORMSBY ROBERTA F 899 W 20TH ST TUCSON, AZ, 85745-3035													
7. 7018 1830 0001 2968 7937	11623121E VALENZUELA JOSE E & REBECA E JT/RS 801 W 20TH ST TUCSON, AZ, 85745-3035													
8. 7018 1830 0001 2968 7944	11623063C 2438 N PALO VERDE AVE LLC ATTN: VISHAL PATEL 10979 N DELPHINUS ST ORO VALLEY, AZ, 85742-8460													

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2. 7018 1830 0001 2968 7968	11623121K CHENG HOLDINGS LP 7560 N WESTWARD LOOK DR TUCSON, AZ, 85704-7003															
3. 7018 1830 0001 2968 7975	116230740 LCWC ELECTIVE DEFERRAL PLAN ATTN: ROBERT E BOLT TR PO BOX 65417 TUCSON, AZ, 85728-5417															
4. 7018 1830 0001 2968 7982	116231580 DOUTHIT JAMES W & WARD MARGARET CP/RS 870 W 19TH ST TUCSON, AZ, 85745-3038															
5. 7018 1830 0001 2968 7999	11623042A HERRERA JOSE P 840 W GREEN ST TUCSON, AZ, 85745-3002															
6. 7018 1830 0001 2968 8002	11623059A EON EXPOS RLLLP 235 1ST ST KEYPORT N.J 07735-1703															
7. 7018 1830 0001 2968 8019	116230600 LCWC ELECTIVE DEFERRAL PLAN ATTN: ROBERT E BOLT TR PO BOX 65417 TUCSON, AZ, 85728-5417															
8. 7018 1830 0001 2968 8026	11623082D JOSEPH WARD BUSTILLOS & GUADALUPE G LIFE EST THEN TO ESTHER M PASCOE 876 W GREEN ST TUCSON, AZ, 85745-3002															
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1.
7018 1830 0001 2968 8033

John D. Burr
 N.A.-Armory Park
 P.O. Box 2132
 Tucson, AZ 85702

2.
7018 1830 0001 2968 8040

Jonathan Rothschild
 Mayor
 255 W. Alameda ST
 Tucson, AZ 85701

3.
7018 1830 0001 2968 8057

116230460
 LEON ELIZABETH L
 825 W GREEN ST
 TUCSON, AZ, 85745-3001

4.
7018 1830 0001 2968 8064

11623048A
 HERRERA JOSE P
 840 W GREEN ST
 TUCSON, AZ, 85745-3002

5.
7018 1830 0001 2968 8071

116230390
 MENDOZA GUADALUPE A
 830 W GREEN ST
 TUCSON, AZ, 85745-3002

6.
7018 1830 0001 2968 8088

11623037B
 BONDY MARK A & BONDY ALAN J
 3730 N AMPHITHEATER HIGH DR
 TUCSON, AZ, 85705-3306

7.
7018 1830 0001 2968 8095

11623142F
 P & P HOSPITALITY LLC
 3737 E VAN BUREN ST
 PHOENIX, AZ, 85008-0000

8.
7018 1830 0001 2968 8101

11623142E
 P & P HOSPITALITY LLC
 3737 E VAN BUREN ST
 PHOENIX, AZ, 85008-0000

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2. 7018 1830 0001 2968 8125	Columba Huarague N.A.-Barrio Santa Cruz 911 W 25th St Tucson, AZ 85713															
3. 7018 1830 0001 2968 8132	Yolanda Gonzales N.A.-Barrio Santa Rosa 826 S. Rubio Tucson, AZ 85701															
4. 7018 1830 0001 2968 8149	Letitia A Gonzales N.A.-Barrio Viejo 423 S Elias Tucson, AZ 85701															
5. 7018 1830 0001 2968 8156	Peggy Wilder (Co-Pres) N.A.-El Presidio Tucson, AZ															
6. 7018 1830 0001 2968 8163	Raul E Ramirez (1st VP) N.A.-Menlo Park 1931 W Brichta Dr Tucson, AZ 85745															
7. 7018 1830 0001 2968 8170	C. Jill Hofer N.A.-Panorama Estates P.O. Box 85549 Tucson, AZ 85754															
8. 7018 1830 0001 2968 8187	Marysol Gallego (Facilitator) N.A.-Santa Cruz Southwest Tucson, AZ 85746															
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2. 7018 1830 0001 2968 8200	Barbara Elbrandt (Vice Chair) N.A.-A MOUNTAIN 1602 S. Via Elnora Tucson, AZ 85713															
3. 7018 1830 0001 2968 8217	Santos Rene Armenta Jr. N.A.-Santa Cruz Southwest 2054 W Probasco Dr Tucson, AZ 85746															
4. 7018 1830 0001 2968 8224	Josefina Cardenas N.A.-Barrio Kroeger Lane 902 W 21st St Tucson, AZ 85745															
5. 7018 1830 0001 2968 8231	Clarissa Canez (VP Chair) N.A.-Barrio Santa Cruz 1520 S Santa Cruz Tucson, AZ 85713															
6. 7018 1830 0001 2968 8248	Nicole Gonzales N.A.-Barrio Santa Rosa 323 W. 19th Street Tucson, AZ 85701															
7. 7018 1830 0001 2968 8255	Curtis Yingling N.A.-Panorama Estates P.O. Box 85549 Tucson, AZ 85754															
8. 7018 1830 0001 2968 8262	Bryan Rawlins N.A.-Downtown Neighborhood 1 W Broadway, Apt 602 Tucson, AZ 85701															
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)														

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1. 7018 1830 0001 2968 8279	Bob Freitas (Co-Pres) N.A.-El Presidio Tucson, AZ															
2. 7018 1830 0001 2968 8286	Zach Yentzer N.A.-Menlo Park 214 S Grande Ave Tucson, AZ 85745			✓												
3. 7018 1830 0001 2968 8293	Peggy Williams N.A.-A MOUNTAIN 1202 S San Jose Dr Tucson, AZ 85713			✓												
4. 7018 1830 0001 2968 8309	Anne Cooper N.A.-Armory Park P.O. Box 2132 Tucson, AZ 85712			✓												
5. 7018 1830 0001 2968 8316	Jason Huaraque (Chair) N.A.-Barrio Santa Cruz 911 W 25th St Tucson, AZ 85713			✓												
6. 7018 1830 0001 2968 8323	Pedro M Gonzales N.A.-Barrio Viejo 423 S Elias Tucson, AZ 85701			✓												
7. 7018 1830 0001 2968 8330	Art Munoz N.A.-Barrio Santa Rosa Tucson, AZ															
8. 7018 1830 0001 2968 8347	Eva-Marie Hube N.A.-Downtown Neighborhood 1042 N Perry Ave Tucson, AZ 85705			✓												
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1. 7018 1830 0001 2968 8354	Mary Jo Curtin N.A.-El Presidio 233 N Main Ave Tucson, AZ 85701															
2. 7018 1830 0001 2968 8361	Liza M. Grant N.A.-Menlo Park 1016 W Congress St Tucson, AZ 85745															
3. 7018 1830 0001 2968 8378	Mary Jo Ghory N.A.-Panorama Estates PO Box 85549 Tucson, AZ 85754															
4. 7018 1830 0001 2968 8385	Andrea R Gonzalez (Co-Facilitator) N.A.-Santa Cruz Southwest 2054 W Probasco Dr Tucson, AZ 85746															
5. 7018 1830 0001 2968 8392	Angela M. Quiroz N.A.-Santa Rita Park-West Ochoa 448 E 22nd St Tucson, AZ 85713															
6. 7018 1830 0001 2968 8408	Regina Romero Ward 1 940 W. Alameda St Tucson, AZ 85745															
7. 7018 1830 0001 2968 8415	Richard Fimbres Ward 5 4300 S. Park Av Tucson, AZ 85714															
8. 7018 1830 0001 2968 8422	Yolanda Quiroz N.A.-Santa Rita Park-West Ochoa 440 E 22nd St Tucson, AZ 85713															
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)														

Handling Charge - if Registered and over \$50,000 in value

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1. 7018 1830 0001 2968 8439	Steve Kozachik Ward 6 3202 E. 1st St Tucson, AZ 85716															
2. 7018 1830 0001 2968 8446	Ernie Lujan N.A.-Santa Rita Park-West Ochoa 1445 S 4th Ave Tucson, AZ 85713															
3. 7018 1830 0001 2968 8453	11623080G HERRERA JOSE P 840 W GREEN ST TUCSON, AZ, 85745-3002															
4. 7018 1830 0001 2968 8460	11623121J CHENG HOLDINGS LP 7560 N WESTWARD LOOK DR TUCSON, AZ, 85704-7003															
5. 7018 1830 0001 2968 8477	116231570 SARDINA CARMEN 3615 W MILTON RD TUCSON, AZ, 85746-0000															
6. 7018 1830 0001 2968 8484	116232030 TARAZ BRIAN 860 W 20TH ST TUCSON, AZ, 85745-3036															
7. 7018 1830 0001 2968 8491	116230280 MAJABEJU LLC 408 W SIMPSON ST TUCSON, AZ, 85701-2277															
8. 7018 1830 0001 2968 8507	11623055A SARDINA CARMEN C 3615 W MILTON RD TUCSON, AZ, 85746-3623															
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)														

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1. 7018 1830 0001 2968 8514	11623058A STATE OF ARIZONA HIGHWAY ADMIN 4000 N. CENTRAL AVE. #1500 PHOENIX AZ 85012															
2. 7018 1830 0001 2968 8521	11623049A HERRERA JOSE P 810 W 19TH ST TUCSON, AZ, 85745-3038															
3. 7018 1830 0001 2968 8538	116230360 CITY OF TUCSON. 201 N. STONE AVE TUCSON, ARIZONA 85701															
4. 7018 1830 0001 2968 8545	116232120 CITY OF TUCSON. 255 W. ALAMEDA ST TUCSON, AZ 85701															
5. 7018 1830 0001 2968 8552	116232100 22ND STREET LAND LLC 106 HORSEGUARDS AVE BOSSIER CITY, LA, 71111-7115															
6. 7018 1830 0001 2968 8569	116231410 DUMDEY-BARTELTSEN ELIZABETH WEBB 3506 N OAKBURY CIR TUCSON, AZ, 85712-5460															
7. 7018 1830 0001 2968 8576	116230730 LCWC ELECTIVE DEFERRAL PLAN ATTN: ROBERT E BOLT TR PO BOX 65417 TUCSON, AZ, 85728-5417															
8. 7018 1830 0001 2968 8583	116230620 LCWC ELECTIVE DEFERRAL PLAN ATTN: ROBERT E BOLT TR PO BOX 65417 TUCSON, AZ, 85728-5417															
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)														

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling



Firm Mailing Book For Accountable Mail

Name and Address of Sender

- Check type of mail or service
- Adult Signature Required
 - Adult Signature Restricted Delivery
 - Certified Mail
 - Certified Mail Restricted Delivery
 - Collect on Delivery (COD)
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 - Priority Mail
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 - Registered Mail
 - Return Receipt for Merchandise
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

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1.
7018 1830 0001 2968 8590

116230510
NYDEGGER JEAN-CLAUDE RUA EPAMINONDAS ONTONI

2.
7018 1830 0001 2968 8606

116230530
HERRERA JOSE P
840 W GREEN ST
TUCSON AZ 85745-3002

3.
7018 1830 0001 2968 8613

116230250
STATE OF ARIZONA DEPT OF TRANSPORTATION
1221 S. 2ND AVE
TUCSON, AZ 85713

4.
7018 1830 0001 2968 8620

116230260
STATE OF ARIZONA
1700 W. WASHINGTON ST.
PHOENIX AZ 85007

5.
7018 1830 0001 2968 8637

116230430
ARANDULES ALICE E
849 W GREEN ST
TUCSON, AZ, 85745-3001

6.
7018 1830 0001 2968 8644

11623058B
MANGHAM KENNETH E & MANGHAM DONALD W JT RS
2253 E COPPER ST
TUCSON, AZ. 85719-3215

7.
7018 1830 0001 2968 8651

116230610
CWC ELECTIVE DEFERRAL PLAN ATTN: ROBERT E BOLT TR
PO BOX 65417
TUCSON, AZ, 85728-5417

8.
7018 1830 0001 2968 8668

11623142C
LAXMI INC
1000 S FREEWAY
TUCSON, AZ, 85745-3218

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

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- Check type of mail or service
- Adult Signature Required
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1.
7018 1830 0001 2968 8675

116230440
 ARIAS IMELDA G
 835 W GREEN ST
 TUCSON, AZ, 85745-3001

2.
7018 1830 0001 2968 8682

11623144A
 EON EXPOS RLLLP
 235 1ST ST
 KEYPORT, NJ, 07735-1703

3.
7018 1830 0001 2968 8699

11623161B
 PADILLA MANUEL S
 807 S KROEGER LN
 TUCSON, AZ, 85745-3074

Handling Charge - if Registered and over \$50,000 in value

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8.

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Item 2

page 2.2

Written Summary of Neighborhood meeting

>>> FORSjohn <john@forsarchitecture.com> 04/03/2019 8:29 AM >>>

Maria,

We held the iid Neighborhood meeting last night.

The meeting went well.

We did not receive any completed comments cards.

Ms. Josefina Cardenas has volunteered to be the Community Liaison:

josefina.cardenas.jc@gmail.com

For the City's record; the following link can be used to download the electronic versions of (1) the blank comment cards available, (2) the meeting agenda handed out at the meeting, (3) the sign-in sheet, (4) the items presented. Link

<https://www.dropbox.com/sh/vkfk0w9o0s7pbd6/AADl-4UhzhefX6H78jSrHsgia?dl=0>

Please do not hesitate to contact me with any questions or if you have any trouble downloading from the link.

Regards,

John

crafted by,

JOHNmccolgin. PROJECTmanager.

FORSarchitecture+interiors [SHOP]byfors

520.795.9888 245 e congress st # 135, tucson, az 85701

www.forsarchitecture.com

www.forsshop.com

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THE TUXON

Neighborhood Meeting
960 S Freeway
Tuesday, April 2nd, 2019

Introductions

- *Sue Ann Lemon, FOCUS Hospitality*

FORS Architecture

- *Miguel Fuentesvilla, AIA Design Architect*
- *John McColgin, Project Manager*

Project Overview

- transitioning from a modest, budget motel to a boutique hotel
- remodel existing 112 rooms
- new WELCOME BUILDING (freeway side)
- new utility area W 20th St

Parking

Addition to Building

Exterior improvements

Landscape Screening

Questions and Answers

Comment Cards

THE TUXON

SIGN-IN

name	email (or phone #)
JOHN MACCOLGIN	JOHN @ FORSARCHITECTURE.COM
Lily BAEZ	
Yolanda Lopez	YLMAYRO@yahoo.com 255-3826
CARMEN SARDING	520-444-8673
Margaret Ward	mjward75@hotmail.com
BRIAN TARAZ	btaraz@aol.com
Gaby Sandoz	gsandoz@forustrosatalent.net
Bryan Tolwang	Btolwang@fushospitality.net
Matt Watzel	Matt@MWMorrissey.com
Gene Swynson	Gene@MWMorrissey.com
NIKKI HERNANDEZ	NIKKI @ FORSARCHITECTURE.COM
MICHAEL FUENTEVA	MICHAEL @ FORSARCHITECTURE.COM
Josefina Cardenas, J.C. @gmail.com	

Comment Card

— THE —
TUXON
—

02.19.2019

Nikki Hernandez
FORS architecture
520.795.9888

Re:
the TUXON Hotel
960 S Freeway
Tucson, AZ 85745

Scope of Work

1. **Intent:** The applicant's intention to use the IID zoning option is to provide the client with relief from additional parking with the new hotel features (new building housing hotel amenities and new utility area), as the property occupies lot line to lot line, and no additional space can be provided for such features.
2. **IID fulfillment:**
This occupant seeks to provide an amenity for young travelers and Tucson residents as well as conceal service equipment from the surrounding neighborhoods.
3. **Benefits:**
A covered facilities enclosure would conceal maintenance duties and dumpster collection from the residents of the surrounding neighborhoods. The addition of these structures creates an opportunity for new landscape features.
4. **Potential adverse Effects:**
FORS architecture does not see any potential adverse effects.
5. **UDC streetscape compliance:**
UDC 5.12.8.A
 - a. New exterior construction will have architectural elements on the first and second floor.
 - b. The ground floor street façade is composed of windows, pool and pool amenities, and room entrances.
 - c. The entire façade contains architectural detail.
 - d. The front door is prominent along I-10 and 20th Street and shall be visibly identified by address and tenant name. Additional signage and identification shall take place on the building façade as permitted by code.
 - e. N/A
 - f. N/A
 - g. N/A
 - h. N/A
 - i. N/A
6. **Safety:**
A safer environment shall be provided by providing hotel staff with an enclosed facilities area to perform their daily duties. The neighborhoods will be screened off from noise and odors from previously exposed equipment and dumpster facilities.
7. **Residence privacy:**
Replacing the existing chain link fence with a screen wall concealing the parking lot from surrounding residents. New trees and landscape will be added as a second method of providing privacy.
8. **Solar Energy:**
N/A
9. **Landscaping:**
New landscaping will be integrated with existing landscaping – indicated on site plan.

JAS ENGINEERING

Jeffrey A. Stanley, P.E.
P.O. Box 1888
Tucson, Arizona 85702
Telephone (520) 390-7920
stanley19263@msn.com

February 19, 2019

Andrew Connor
Planning and Development Services Department City of Tucson
Tucson, Arizona 85701

Re: DP18-0304 - Second Submittal
The Tuxon Hotel

Dear Andy:

Accompanying this letter is the second submittal of the referenced project.
Accompanying this letter is:

- 1) Comment Response Letter
- 2) Corrected plan set with all documents
- 3) Items requested by review staff

The following are responses to comments made by staff.

David Rivera - Zoning

1. COMMENT: List the telephone number and email address for the Owner/Developer.
RESPONSE: Completed.
 2. COMMENT: Include a brief legal description of the subject site.
RESPONSE: Completed.
 3. COMMENT: List as a general note the number of rental units.
RESPONSE: Completed. There are 112 as listed in new general note 31.
 4. COMMENT: Provide the development package case number, DP18-0304, adjacent to the title block on each sheet. List the administrative address next to the title block of all plan sheets
-

RESPONSE: Completed.

5. COMMENT: Label 10th Avenue on the Location map.

RESPONSE: Completed.

6. COMMENT: List as reference the rezoning case number C9-79-16 next to the title block of all plan sheets.

RESPONSE: Completed.

7. COMMENT: Revise general note 2 to state the following: "Existing and Proposed use is: Commercial Use Group - Travelers Accommodation Lodging".

RESPONSE: Revised.

8. COMMENT: Add a general note that states that this project has been designed to comply with UDC Section 5.4 MS&R building setbacks.

RESPONSE: Completed. See new general note 32.

This site is within the Tucson International Airport Avigation easement. A review by Scott Robidoux Airport Planner is required. Contact Scott Robidoux Senior Airport Planner Tucson Airport Authority, for more information on the Avigation easement requirements: Contact information - 7250 South Tucson Boulevard Suite 300 Tucson, AZ 85756, Phone 520-573-8100 Direct 520-573-4811 or email srobidoux@flytucson.com

RESPONSE: Acknowledged. Contact was done.

9. COMMENT: List as a general note the square footage of each building (which includes the two floors), i.e. Building "A" = 5400 SF, Building "B" = XXX etc.

RESPONSE: Completed. See new general note 33.

10. COMMENT: Include a building expansion calculation for the new building areas proposed.

RESPONSE: Completed. Expansion is 10.4%

2-06.4.8.C - The following information regarding existing private or public right-of-way adjacent to or within the site shall be provided: the name, right-of-way width, recordation data, type and dimensioned width of paving, curbs, curb cuts, and sidewalks.

11. COMMENT: Include any missing information for the three adjacent streets as noted by the standard above. Label the curb to property line along 19th Street and the frontage road.

RESPONSE: Completed.

2-06.4.9.H.2 - Show future and existing sight visibility triangles. On a designated MS&R street, the sight visibility triangles are based on the MS&R cross-section.

12. COMMENT: Draw and label the SVTs as noted by the standard above.

RESPONSE: Completed. SVT's have been added to 19th and 20th Street. Please note that there is no connection to South Freeway (Frontage Road). Consequently, MS&R SVT's are not needed.

13. COMMENT: Label the adjacent streets as Public.

RESPONSE: Completed.

14. COMMENT: Dimension the width of all PAALs.

RESPONSE: Completed.

15. COMMENT: A variance is required to reduce the number of parking spaces. The DP cannot be approved until the B of A process has been completed and a variance to reduce the number of spaces is approved.

RESPONSE: Acknowledged. An IID is being processed.

16. COMMENT: List the sheet number on keynote 42 where the short term bicycle details can be found.

Label the main public entrance to the hotel. Short term bicycle facilities must be within fifty feet of the main public entrance.

A minimum of five long term bicycle parking spaces are required. The long term facilities could not be verified on the DP site sheets. Draw and label the locations of the long term facilities. Provide dimensioned detail drawings for the long term facilities as required.

RESPONSE: Keynote 42 for short term bicycle parking detail is now listed as being on sheet 4. The main entrance is shown and bike parking is within 50' of the entrance. Long term bike parking will be in either the individual's room or in the bike storage room (building E).

17. COMMENT: Label the building setbacks from the nearest edge of travel lane (Face of wedge curb in this case) along the 20th Street. Currently 20th street is signed with no on-street parking signs.

Building E appears to be a new building. The building setback must be a minimum of 21 feet from the face of curb along the 20th Street frontage. (Per COT paving plan I-77-33 sht. 27 the face of wedge curb to PL dimension is 18.85 feet.) Verify that the new building will meet or exceed the 21 foot building setback. Label the proposed building setback.

RESPONSE: Completed. Building E will be 21' from face of curb.

18. COMMENT: Label the overall square footage within each building footprint (includes both floors of each building).

RESPONSE: Completed.

19. COMMENT: A minimum four foot wide concrete sidewalk is required between Buildings D, E and the PAAL. The sidewalk must be physically separated from the PAAL by constructing a raised concrete sidewalk.

RESPONSE: This has been corrected to be 4'.

A striped connection is required from the new accessible parking location along the southeast side of the site. It is suggested the accessible parking spaces be relocated closer to the accessible route note on the plan.

RESPONSE: Accessible parking has been moved so that direct access to the sidewalk/accessible route is provided.

Provide a minimum four foot wide pedestrian refuge area between the PAAL and Pool Barrier.

RESPONSE: This route has been eliminated.

The new portion of sidewalk proposed between two parking spaces along the north parking area that connects to the new striped accessible route must be physically separated between the two parking spaces, demonstrate compliance.

RESPONSE: The sidewalk will be elevated 6".

20. COMMENT: There appears to be five areas along the north side of Building C and one area along the south side of Building A that look like enclosed structures with gates or possibly gated courtyards. Clarify what these areas are intended to be used

for and annotate them accordingly. If covered state so if enclosed state so and add as GFA and coverage as well as expansion.

RESPONSE: Ground level, hotel room patios have been eliminated from the north side of building C. Ground level patios remain for hotel rooms along the pool (south side) of building C. Ground level patios have been added to the hotel rooms along the pool (north side) of building A. These patios are not covered. They are largely cable rail enclosures with a gate, some landscaping in metal planters, some lighting, some patio furniture.

Andrew Connor - Landscape

1. Buildings Greater Than 10,000 Square Feet.

On sites where the gross floor area of the existing building(s) is more than 10,000 square feet, expansion in square footage of land area, floor area, lot coverage, or vehicular use area as follows:

- a. If the expansion is less than 25%, the standards of this section apply only to the proposed expansion. Existing development on the site is subject to the zoning standards in effect at the time the existing development received zoning approval.
- b. If the expansion is 25% or greater or if expansions as of February 15, 1991, cumulatively result in a 25% or greater expansion in land area, floor area, lot coverage, or vehicular use area, the standards of this section apply to the entire site.

If not expansion is proposed, then no required landscaping is necessary.

RESPONSE: Expansion is 10.4%.

Use of the Public Right-of-Way

Nonrequired landscaping may be placed in the public right-of-way, if the following standards are met:

1. The landscaping is approved by the City Engineer or designee and complies with the City Engineer's standards on construction, irrigation, location, and plant type;
2. All vegetation complies with the standards of Section 7.6.4, Landscaping Standards; and,
3. The landscaping does not interfere with the use of the sidewalk.

Obtain permission for landscaping within public ROW. Landscaping within ADOT ROW will require additional approval.

RESPONSE: Acknowledged.

Ensure that all Zoning and Engineering comments and concerns are addressed.

RESPONSE: Acknowledged.

Additional comments may apply

RESPONSE: No thank you.

John Van Winkle, P.E. - Engineering

- 1) Sheet 2; Key Note 41 indicates that accessible signs are wall mounted, clarify if they were wall mounted or pole mounted

RESPONSE: Wall mounted.

- 2) Provide cross slopes and running slopes for all accessible paths and parking spaces.

RESPONSE: A note has been added to keynote 25 stating that all cross-slopes are less than 2% and running slopes are less than 5%.

- 3) New proposed sidewalk along 19th st should be 5' wide. Its dimension appears to change from the east side to the west side. New proposed sidewalk along 20th St. should be 5'. Reference TSM section 10-01.4.1

RESPONSE: Corrected.

- 4) Proposed access entry gate does off of 19th St. does not appear to provide sufficient turn around space for vehicles. Obtain written approval from TDOT for the proposed location of gate or adjust position accordingly.

RESPONSE: Acknowledged.

- 5) The previous accessible parking spaces along South Freeway are being moved to the north. The previously designated area needs to be hatched or stripes or otherwise blocked off from vehicular traffic to maintain clear access to the accessible route.

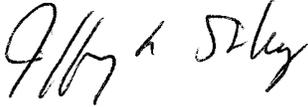
RESPONSE: Completed with striping.

- 6) New landscape area should be depressed up to 6" for water harvesting. Provide spot grades in all new depressed landscaped areas.

RESPONSE: A note has been added to keynote 7 stating that 6' water harvesting is required below the curb grade. We don't have exact grades on the site.

I believe that all comments have been addressed. If there are any questions or if more information is needed, please contact me at 390-7920 or by email at stanley19263@msn.com

Sincerely

A handwritten signature in black ink, appearing to read "Jeffrey A. Stanley". The signature is written in a cursive, somewhat stylized font.

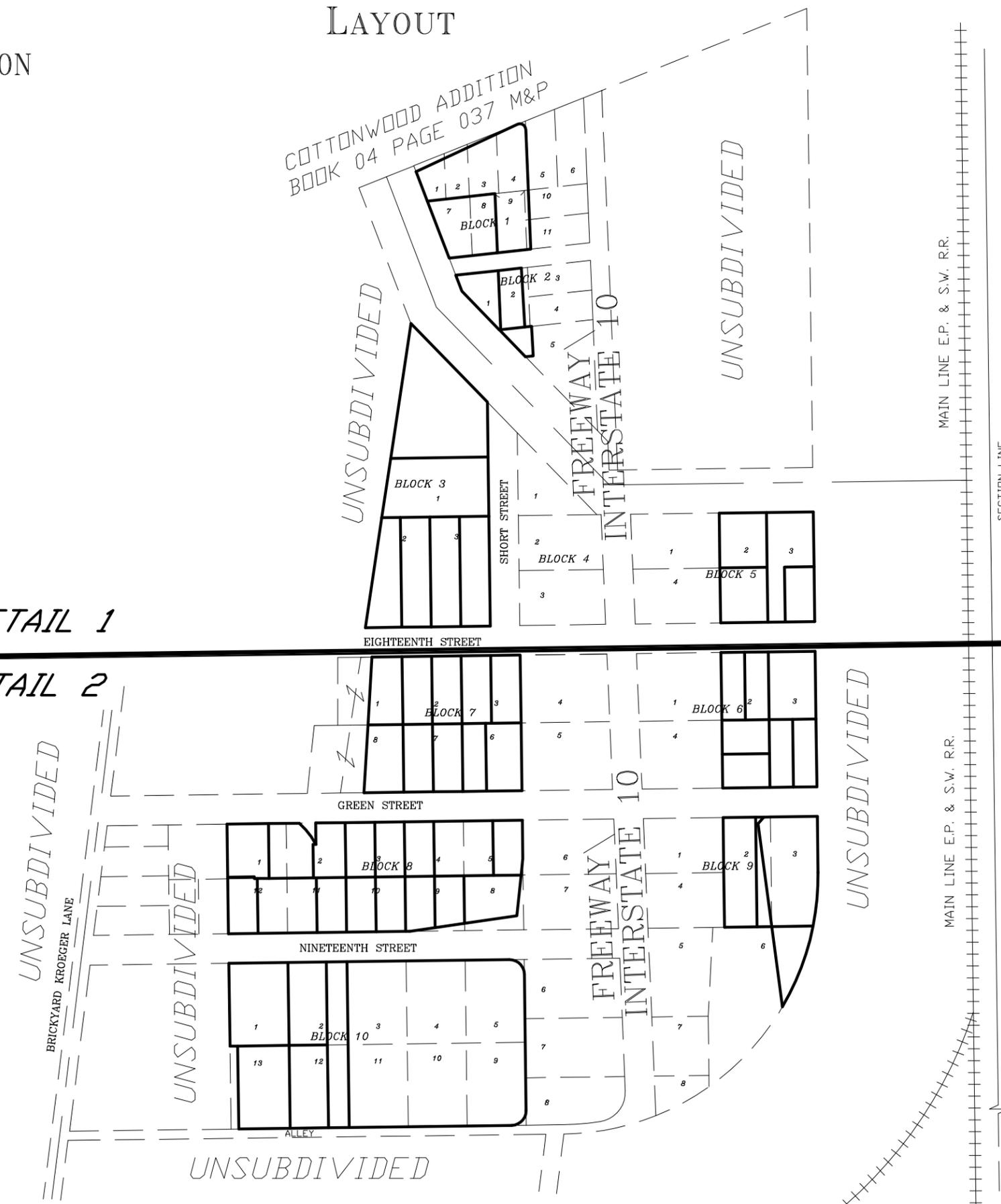
Jeffrey A. Stanley, P.E.

ASSESSOR'S RECORD MAP
116-23 HAYHURST ADDITION

LAYOUT

COTTONWOOD ADDITION
BOOK 04 PAGE 037 M&P

SEE DETAIL 1
SEE DETAIL 2



SEE BOOK 06 PAGE 052 M&P
1985-1

S14,T14S,R13E

:\MP06\06052- 07/02/13 ALC DML



FEET

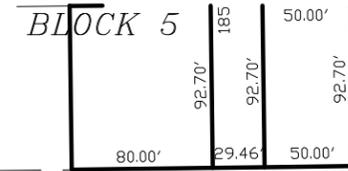
FOUND SEC. COR. 2" PIPE
WITH CUP SET IN CONC. BY
CITY OF TUCSON



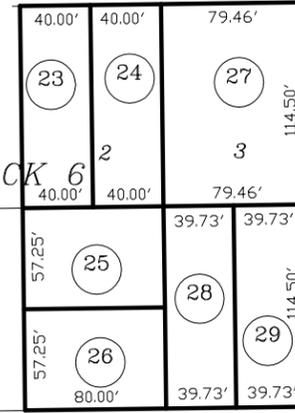
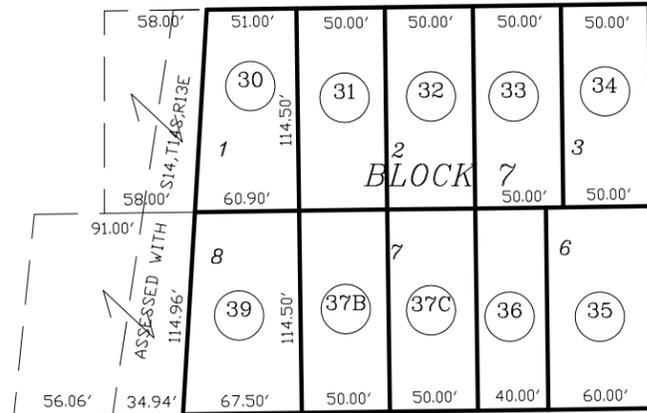
ASSESSOR'S RECORD MAP
HAYHURST ADDITION

116-23

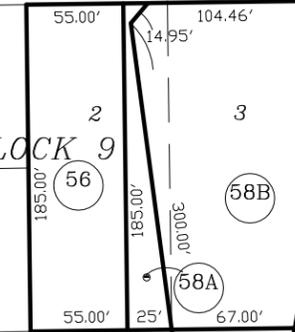
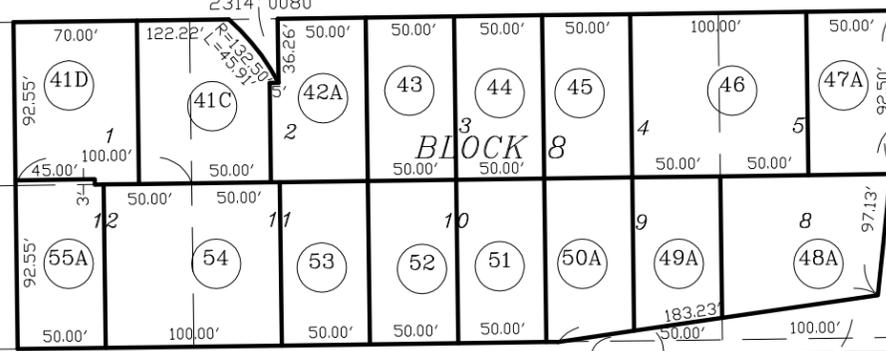
DETAIL 2



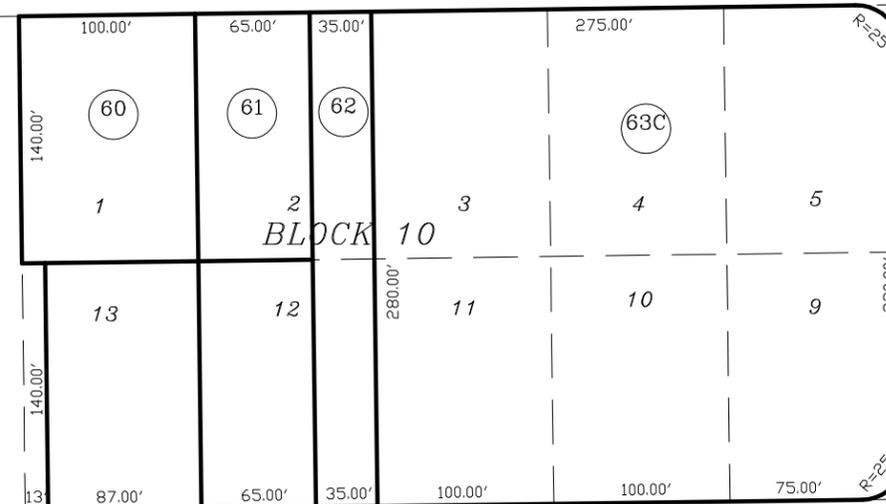
EIGHTEENTH STREET



GREEN STREET



NINETEENTH STREET



ALLEY

UNSUBDIVIDED

BRICKYARD KROEGER LANE

UNSUBDIVIDED

FREEWAY
INTERSTATE 10

UNSUBDIVIDED

UNSUBDIVIDED

pima
county
assessor

SEE BOOK 06 PAGE 052 M&P
1985-1

S14,T14S,R13E

:\MP06\06052_02- 07/02/13 DML





ELEVATIONS



ELEVATION LOOKING NORTH



ELEVATION LOOKING SOUTH

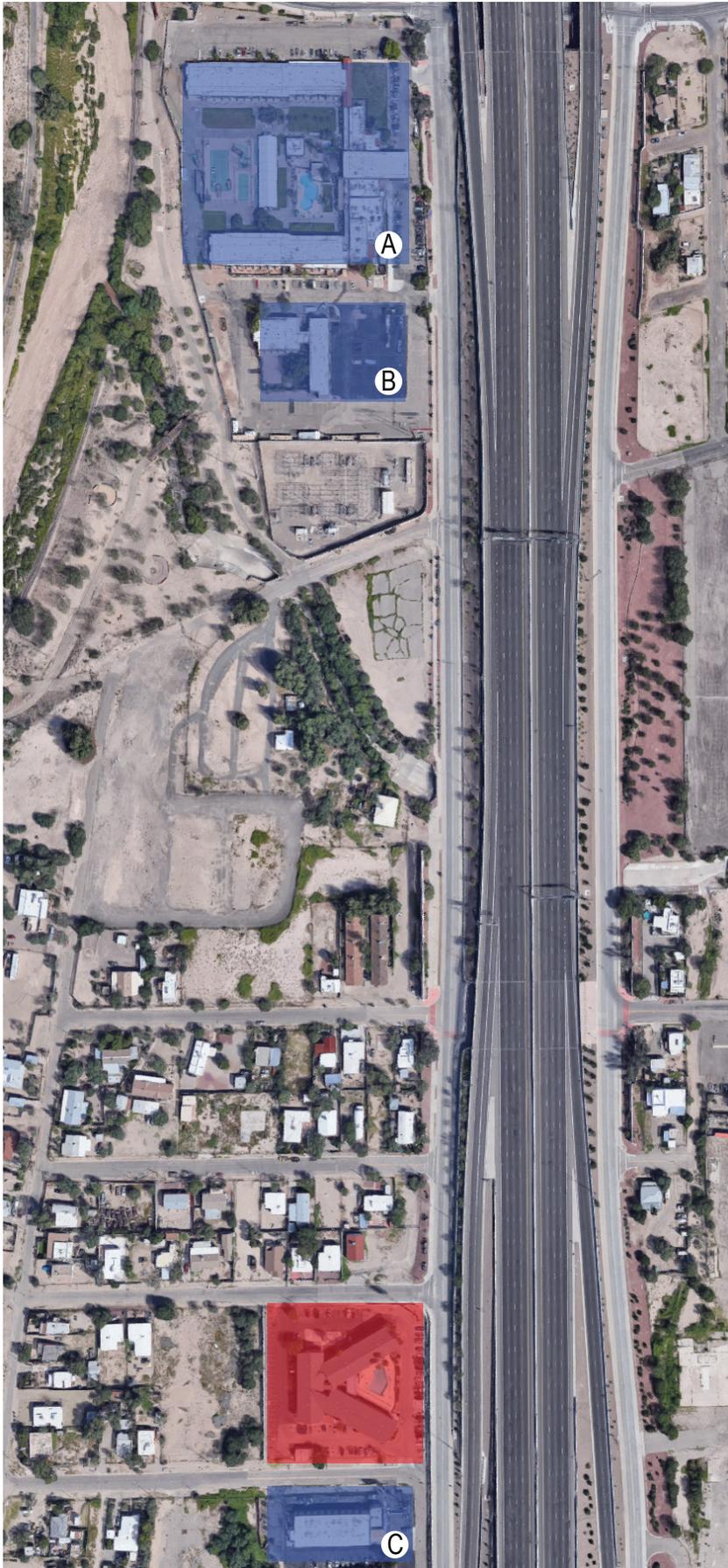
ELEVATIONS



ELEVATION LOOKING EAST



ELEVATION LOOKING WEST



SITE



PRECEDENTS



RED LION INN AND SUITES



THE ARIZONA RIVERPARK INN



TRAVEL LODGE

PRECEDENTS



TRAVEL LODGE - HOTEL
DUMPSTER ENCLOSURE
1000 S FREEWAY, TUCSON, AZ 85745



RED LION INN AND SUITES - HOTEL
FACILITIES + DUMPSTER ENCLOSURE
222 S FREEWAY, TUCSON, AZ 85745



THE ARIZONA RIVERPARK INN - HOTEL
FACILITIES + DUMPSTER ENCLOSURE
777 W CUSHING ST, TUCSON, AZ 85745

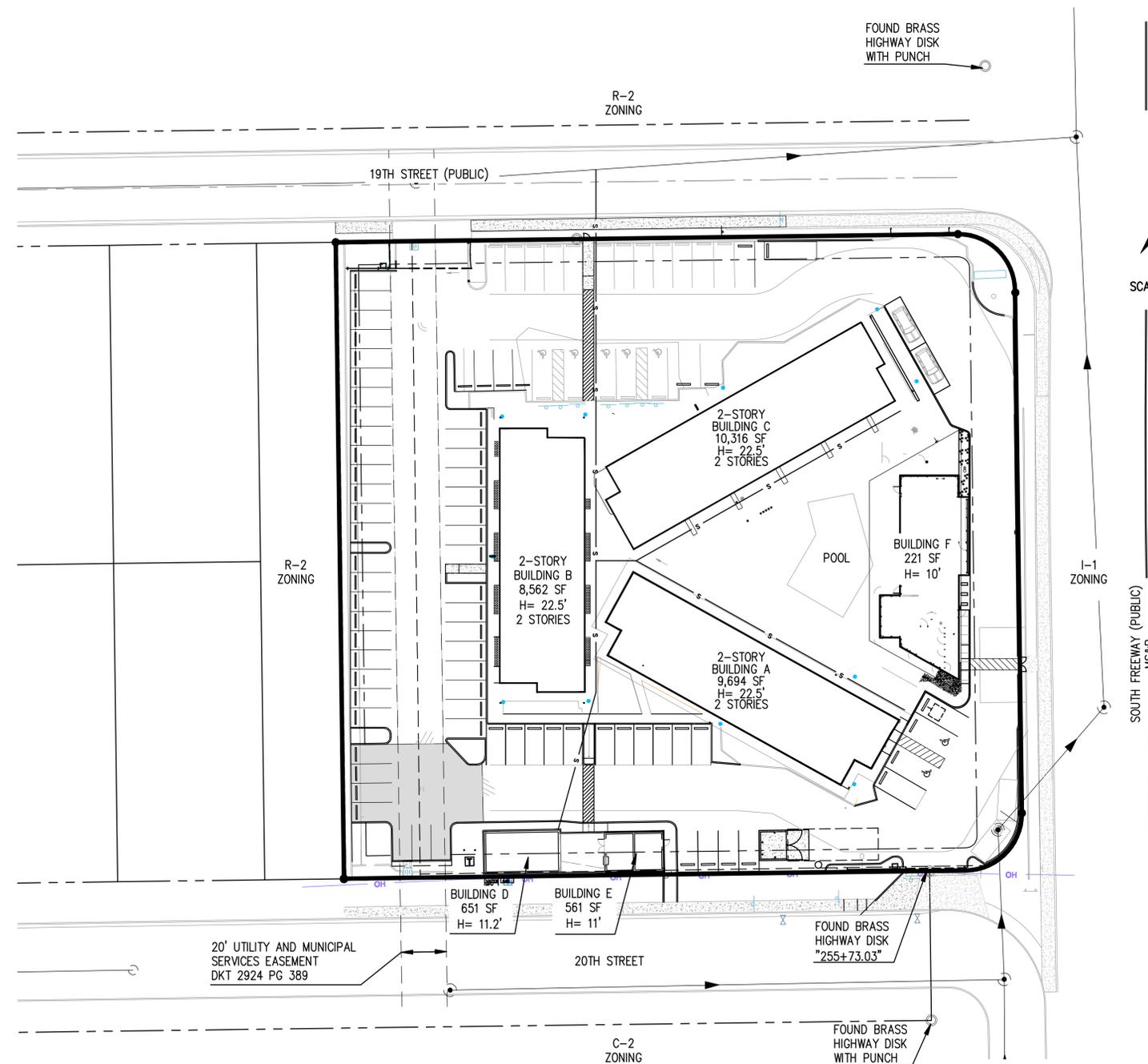


GENERAL NOTES

- CURRENT ZONING: C-2
- EXISTING USE AND PROPOSED USE: COMMERCIAL USE GROUP- TRAVELERS ACCOMMODATION LODGING.
- GROSS AREA OF THIS DEVELOPMENT IS 1.92 ACRES (83,732 SF)
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THE DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH TECHNICAL STANDARDS MANUAL SECTIONS 5-01.7.0 & 10-01.5.0
- ANY RELOCATION OR MODIFICATION TO EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE PIMA COUNTY ORDINANCE NO. 1991-140, AS CURRENTLY AMENDED.
- BASIS OF BEARINGS:**
WEST BOUNDARY OF SITE. BEARING IS N00°45'00"W
- BASIS OF ELEVATIONS:**
CONTOURS ARE BASED ON PIMA COUNTY GIS MAP GUIDE
- BUILDING HEIGHT: ALLOWABLE= 40 FEET
PROPOSED= 22.5 FEET
- ALL ACCESSIBLE PARKING IS TO BE AS REQUIRED BY THE 2012 IBC, CHAPTER II AND THE 2009 ICC A117.1.
A. ALL SIGNAGE TO BE AS PER THE SAME REQUIREMENTS PLUS CITY OF TUCSON PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1982-154, AS AMENDED BY PIMA COUNTY ORDINANCE NO. 1983-5.
- ADDITIONAL FIRE HYDRANTS SHALL BE PROVIDED BY THE DEVELOPER AS REQUIRED BY THE TUCSON FIRE CODE IN ACCORDANCE WITH C.O.T. STANDARDS. "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED AS NEEDED TO PROVIDE 20' CLEAR UNOBSTRUCTED WIDTH ALONG ALL FIRE APPARATUS ACCESS ROADWAYS IN ACCORDANCE WITH THE TUCSON FIRE CODE.
- LOW PROFILE SECURITY LIGHTING WILL PROVIDED ACROSS THE ENTIRE SITE AS REQUIRED. SAID LIGHTING IS TO BE SHIELDED AND DIRECTED AWAY FROM SURROUNDING NEIGHBORS.
- ALL NEW UTILITIES WILL BE UNDERGROUND.
- DEPRESS ALL LANDSCAPED AREAS 6" MAXIMUM FOR WATER HARVESTING.
- MEASURES WILL BE TAKEN TO MINIMIZE DUST CONTROL AS APPROVED BY PIMA COUNTY AIR QUALITY CONTROL.
- A GRADING PERMIT WILL BE REQUIRED FOR THIS PROJECT.
- SIDEWALK SCUPPERS WILL BE USED WHERE ROOF DRAINAGE CROSSES SIDEWALKS TO CONTAIN THE 10-YR FLOW EVENT.
- POSTAL SERVICE DELIVERY SHALL BE WITHIN THE BUILDING.
- ALL ACCESSIBLE ROUTES ARE TO COMPLY WITH THE 2009 ICC A117.1, SECTION 403.3 SLOPE REQUIREMENTS OF 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS SLOPES.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- PARKING CALCULATIONS:**
AS PER UDC TABLE 7.4.4-1

MOTOR VEHICLE:		PER UDC TABLE 7.4.8-1	
RENTAL UNIT: 1 SPACE PER UNIT=	112	BICYCLE (SHORT TERM):	2 SPACES PLUS 1 SPACE PER 6000 SF
CONFERENCE, RESTAURANT, BAR & BANQUET: 1 SPACE PER 300 SF=	2470/300= 8	TOTAL REQUIRED=	2
TOTAL SPACES REQUIRED=	120	TOTAL PROVIDED=	8
STANDARD SPACES PROVIDED=	84	BICYCLE (LONG TERM):	1 SPACE PER 20 GUEST ROOMS= 112/20= 6
H.C. SPACES PROVIDED=	7	TOTAL REQUIRED=	5
TOTAL PARKING SPACES PROVIDED=	91	TOTAL PROVIDED=	5
LOADING ZONE:	NOT REQUIRED	TOTAL REQUIRED=	0
LOADING=		TOTAL PROVIDED=	0

- ALL NEW EASEMENT RECORDATION SEQUENCE NUMBERS WILL BE PROVIDED ON AS-BUILT DRAWING.
- SQUARE FOOTAGE OF GRADABLE AREA IS APPROXIMATELY 269,900 SQ.FT. (6.2 ACRES)
- THE OWNER OR OWNERS SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE, AND LIABILITY FOR DRAINAGE STRUCTURES. SPECIFIC MAINTENANCE SHALL INCLUDE CLEANING OF WEEDS AND DEBRIS, MAINTENANCE OF THE SPILLWAY STRUCTURE, AND ASSURING THAT CURB OPENINGS ARE CLEAR AND IN WORKING ORDER.
- MAINTENANCE- (a) THE OWNER OR OWNERS SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE, AND LIABILITY FOR DRAINAGE STRUCTURES. (b) THE OWNER OR OWNERS SHALL HAVE AN ARIZONA REGISTERED PROFESSIONAL CIVIL ENGINEER PREPARE A CERTIFIED INSPECTION REPORT FOR THE DRAINAGE FACILITIES AT LEAST ONCE EACH YEAR, AND THAT THESE REGULAR INSPECTION REPORTS WILL BE ON FILE WITH THE OWNER FOR REVIEW BY CITY STAFF, UPON WRITTEN REQUEST; (c) CITY STAFF MAY PERIODICALLY INSPECT THE DRAINAGE FACILITIES TO VERIFY THAT SCHEDULED AND UNSCHEDULED MAINTENANCE ACTIVITIES ARE BEING PERFORMED ADEQUATELY; AND (d) THAT THE OWNER OR OWNERS AGREE TO REIMBURSE THE CITY FOR ANY AND ALL COSTS ASSOCIATED WITH MAINTAINING THE DRAINAGE FACILITIES, SHOULD THE CITY FIND THE OWNER OR OWNERS DEFICIENT IN THEIR OBLIGATION TO ADEQUATELY OPERATE AND MAINTAIN THEIR FACILITIES.
- A SEWER BACKWATER VALVE IS NOT REQUIRED.
- THE NUMBER OF RENTAL UNITS IS 112.
- THIS PROJECT HAS BEEN DESIGNED TO COMPLY WITH UDC SECTION 5.4 MS&R BUILDING SETBACKS.
- THE BUILDING AREAS ARE: BUILDING A= 9,694 SF, BUILDING B= 8,562 SF, BUILDING C= 10,316 SF, BUILDING D= 651 SF, BUILDING E= 561 SF, AND BUILDING F= 2,470 SF.



DEVELOPMENT PLAN NOTES AND CALCULATIONS

PARCEL SIZE	83,732 SF (1.92 ACRES)
LEGAL DESCRIPTION	HAYHURST LOTS 3, 4, 5, 9, 10 & 11 MAPS AND PLATS BOOK 6, PAGE 52 SECTION 14, T14S, R13E
EARTHWORK QUANTITIES	CUT- 0 C.Y. FILL- 30 C.Y. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.

LANDSCAPE BUFFERS	NORTH EAST SOUTH WEST			
	WEST	NORTH	SOUTH	EAST
BUFFER REQUIRED:	0'	10'	10'	0'
BUFFER PROVIDED:	0'	10'	15'	0'
SETBACKS	WEST	NORTH	SOUTH	EAST
ADJACENT ZONES:	R-2	R/W	R/W	R/W
SETBACK REQUIRED:	1.5H*	21' OR H**	21' OR H**	21' OR H***
SETBACK PROVIDED:	61.9'	38.2'	22'	43.5'
*H= 22.5'				
** MEASURED FROM OUTSIDE EDGE OF NEAREST TRAVEL LANE				
*** MEASURED FROM BACK OF FUTURE CURB				

BUILDING EXPANSION
EXISTING: 29,223 SF
PROPOSED: 32,254 SF
EXPANSION: 32,254/29,223= 10.4%

OWNER/DEVELOPER
2430 N. PALO VERDE, LLC
10979 W DELPHINUS STREET
ORO VALLEY, ARIZONA 85742-8460
CONTACT: VISHAL DATEL
EMAIL: VISHAL88@GMAIL.COM
PHONE: (520) 720-0899

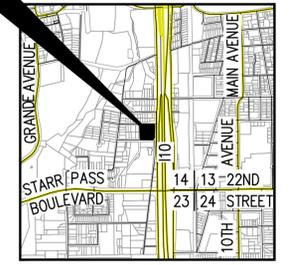
LANDSCAPE PLANS
NORRIS DESIGN
418 N. TOOLE AVE.
TUCSON, ARIZONA 85701
(520) 622-9565
ATTN: JASON KUKLINSKI
JKUKLINSKI@NORRIS-DESIGN.COM

BUILDING FLOOR AREAS
BLDG A 9,694 SF
BLDG B 8,562 SF
BLDG C 10,316 SF
BLDG D 651 SF
BLDG E 561 SF
BLDG F 2,470 SF
TOTAL= 32,254 SF

WASTE STREAM CALCULATION
32,254 SF x 0.00105 TONS/SF/YR= 33.87 TONS/YR
33.87 TONS/YR ÷ 52 WKS/YR= 0.65 TONS/WK
0.65 TONS/WK x 2000 LBS/TON= 1,300 LBS/WK
1,300 LBS/WK ÷ 3 LBS/GAL= 433 GAL/WK
433 GAL/WK ÷ 7.48 GAL/CF= 57.89 CF/WK
57.89 CF/WK ÷ 27 CF/CY= 2.14 CY/WK

CONTAINER:
USE 1- 4 CY CONTAINER- FOR REFUSE AND 1 90 GAL APC FOR RECYCLE

THIS PROJECT



LOCATION MAP
T14S R13E SECTION 14
G&SRM
TUCSON, ARIZONA

SCALE: 1" = 30'

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING PUBLIC SEWER LINE AND MANHOLE WITH DIRECTION FLOW
- EDGE OF EXISTING PAVEMENT
- NUMBER OF PARKING SPACES
- FOUND SURVEY MONUMENT

SHEET INDEX

- SHEET 1 COVER SHEET
- SHEET 2 DEVELOPMENT PLAN
- SHEET 3 PRIVATE PAVING AND GRADING PLAN
- SHEET 4 DETAILS
- SHEET 5 LANDSCAPE COVER SHEET
- SHEET 6 LANDSCAPE NOTES AND SCHEDULES
- SHEET 7 LANDSCAPE PLAN
- SHEET 8 IRRIGATION PLAN
- SHEET 9 LANDSCAPE DETAILS
- SHEET 10 IRRIGATION DETAILS
- SHEET 11 IRRIGATION DETAILS

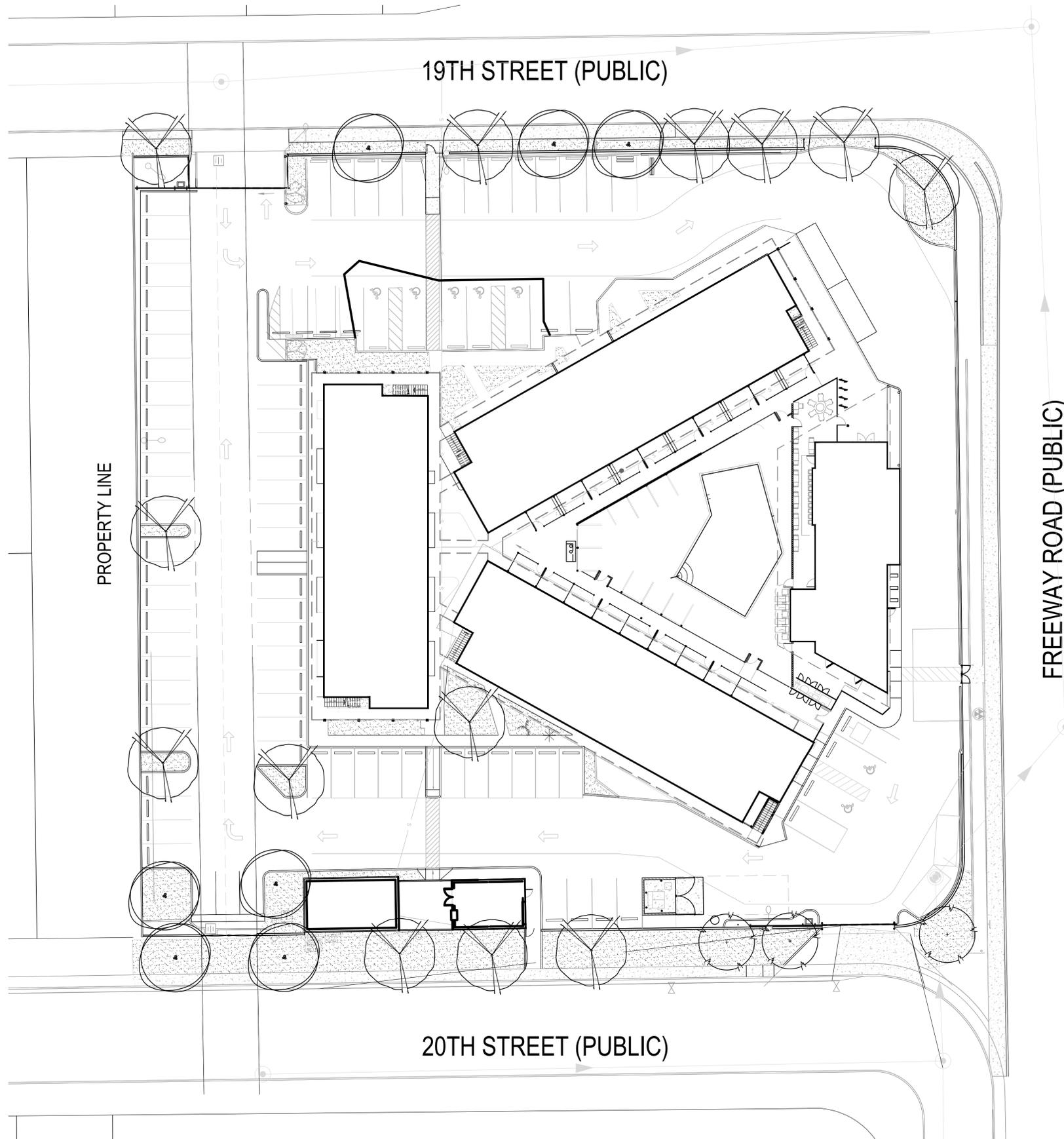
DP18-0304 C9-79-16

JAS ENGINEERING
PO BOX 1888 TUCSON, ARIZONA 85702
(520) 390-7920
STANLEY19263@MSN.COM

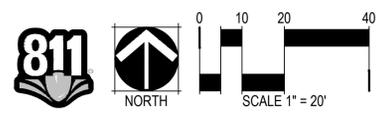
DEVELOPMENT PLAN PACKAGE COVER SHEET
FOR
THE TUXON
HAYHURST LOTS 3, 4, 5, 9, 10 & 11
MAPS AND PLATS BOOK 6, PAGE 52
T14S R13E SECTION 14
G&SRM
TUCSON, ARIZONA

EXP. 6-30-2019

NO.	REVISION	DATE	DRWN BY	J.R.G.	DATE	02/19/2019	1 OF 11
			DSGN BY	J.A.S.	JOB NO.		
			CHKD BY	J.A.S.	SCALE: H: 1"=30' V: N/A		



PLANT SCHEDULE				
SYM.	BOTANICAL NAME COMMON NAME	SIZE BRANCH	CALIPER H x W	QTY
TREES				
	Bauhinia lunarioides Anacacho Orchid Tree	15 GALLON SINGLE	1.75" CAL. 8' x 6'	XX
	Parkinsonia 'Desert Museum' Desert Museum Palo Verde	24" BOX MULTI	2" CAL. 12' x 10'	XX
	Prosopis sp. 'Rio Salado' Rio Salado Mesquite	24" BOX MULTI	2.25" CAL. 14' x 10'	XX
	Quercus buckleyi Red Rock Oak	24" BOX SINGLE	1.75" CAL. 10' x 8'	XX
	Existing Tree to Remain	N/A	N/A	XX
SHRUBS				
	Calliandra spp. Sierra Starr	5 GALLON		XX
	Carrissa macrocarpa Boxwood Beauty	5 GALLON		XX
	Leucophyllum candidum Thunder Cloud	5 GALLON		XX
	Leucophyllum revolutum Houdini	5 GALLON		XX
	Tecoma spp. Yellow Bells	5 GALLON		XX
ACCENTS				
	Euphorbia antisyphilitica Candellia	5 GALLON		XX
	Hesperaloe parviflora 'Pink Parade'	5 GALLON		XX
	Pedilanthus macrocarpus Lady Slipper	5 GALLON		XX
GROUNDCOVERS				
	Lantana x 'New Gold' Yellow Lantana	1 GALLON		XX
	Myoporum parvifolium Creeping Myoporum	1 GALLON		XX
	Rosmarinus officinalis Trailing Rosemary	1 GALLON		XX
	Verbena tenera Moss Verbena	1 GALLON		XX
	Wedelia trilobata Yellow Dot	1 GALLON		XX
GRASSES				
	Muhlenbergia capillaris Regal Mist	5 GALLON		XX
	Nassella tenuissima Mexican Feather Grass	5 GALLON		XX
VINES				
	Callaeum Macropterum Yellow Orchid Vine	1 GALLON		XX
INERT GROUNDCOVER				
SYM.	DESCRIPTION	QTY		
	1" Screened Rock at a depth of 2" Color: Coronado Brown Arizona Trucking & Materials (520.400.6356)	XX sf		



418 North Toole Avenue
Tucson, AZ 85701
P 520.622.9565
www.norris-design.com



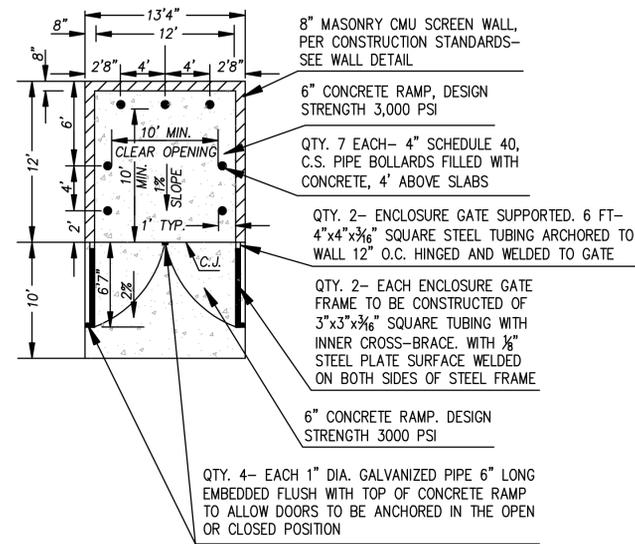
ENGINEERING
PO BOX 1888 TUCSON, ARIZONA 85702
(520) 390-7920
STANLEY19263@MSN.COM

DEVELOPMENT PLAN PACKAGE
DEVELOPMENT PLAN
FOR
THE TUXON
T14S R13E SECTION 14
G&SRM
TUCSON, ARIZONA
LANDSCAPE PLAN

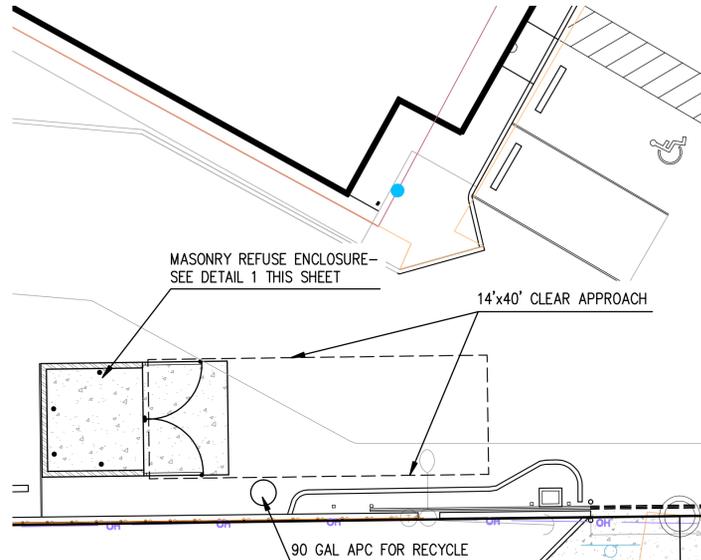
NO.	REVISION	DATE	DRWN BY	J.R.G.	DATE	12/11/2018	7
			DSGN BY	J.A.S.	JOB NO.		OF
			CHKD BY	J.A.S.	SCALE: H: 1"=20'	V: N/A	11

PAVING AND GRADING NOTES

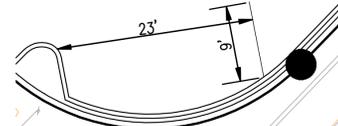
1. THE BASIS OF BEARINGS IS THE WEST BOUNDARY OF SITE. BEARING IS N00°45'00"W
2. THE BASIS OF ELEVATIONS IS THE CONTOURS ARE BASED ON PIMA COUNTY GIS MAP GUIDE
3. ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PAG STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS 2016 EDITION.
4. AGGREGATE BASE COURSE SHALL CONFORM TO PAG SSP# 303.
5. ASPHALTIC CONCRETE SHALL CONFORM TO PAG SSP#406.
6. ALL CONCRETE SHALL COMPLY WITH PAG SSP# SECTION 1006, CLASS S, 2,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
7. ALL WORK SHALL CONFORM TO CITY OF TUCSON TECHNICAL STANDARDS MANUAL 2-01.0.0 EXCAVATION AND GRADING.
8. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE REGULATIONS.
9. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
10. ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY CITY OF TUCSON PLANNING AND DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION.
11. IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY CITY OF TUCSON PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
12. UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
13. A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION / CERTIFICATION OF OCCUPANCY.
14. ALL UNPROTECTED CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER AND NO HIGHER THAN 5 FEET.
15. ALL WALLS, RETAINING WALLS, FENCES, AND STRUCTURES REQUIRE A BUILDING PERMIT FROM THE CITY OF TUCSON.
16. A RIGHT-OF-WAY PERMIT IS REQUIRED FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
17. SQUARE FOOTAGE OF GRADABLE AREA IS APPROXIMATELY 2,500 SF (0.06 ACRES)
18. SIDEWALK SCUPPERS MUST BE USED IN THE EVENT THAT ROOF DOWNSPOUTS NEED TO CROSS SIDEWALKS.
19. THE APPROVED GRADING PLAN IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ONSITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
20. ANY ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFF WALLS, DRAINAGE PIPES/STRUCTURES, ECT.) SHALL NOT BE BACK FILLED UNTIL THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR INSPECTS THE WORK AND APPROVES IT.
21. THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON PLANNING AND DEVELOPMENT SERVICES DEPARTMENT (PDS).
22. A COPY OF THE APPROVED GRADING PLAN, GRADING PERMIT, AND ANY GEOTECHNICAL REPORTS SHALL BE KEPT AT THE SITE AT ALL TIMES, UNTIL FINAL GRADING APPROVAL.
23. ANY REVISION TO THE GRADING PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PDS ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
24. IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
25. CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.
26. AS-BUILT AND LETTERS OF COMPLETION FOR THE OVERALL PROJECT ARE REQUIRED.
27. THE ENGINEER OF RECORD SHALL SUBMIT A STATEMENT OF CONFORMANCE TO AS-BUILT PLAN AND THE SPECIFICATIONS.
28. THE PERMITTEE SHALL NOTIFY THE PDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES AND THEIR PERMANENT PROTECTIVE DEVICES, AND ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY REQUIRED REPORTS HAVE BEEN SUBMITTED.
29. DEPRESS ALL LANDSCAPED AREAS A MAXIMUM OF 6" FOR WATER HARVESTING.
30. CALL FOR A PRE-CONSTRUCTION MEETING. FOR A PDS ENGINEERING INSPECTIONS, CALL IVR (740-6970), OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT DSD ENGINEERING AT 791-5550 EXTENSION 2101, OR SCHEDULE INSPECTIONS ONLINE AT: [HTTP://CMS3.TUCSONAZ.GOV/PDSD/INSPECTIONS](http://cms3.tucsonaz.gov/pdsd/inspections)



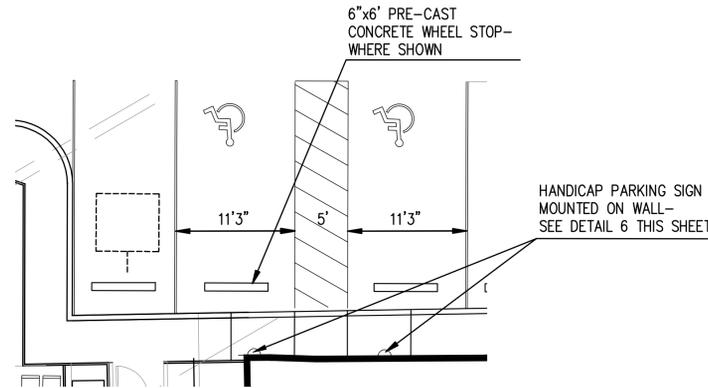
1 MASONRY REFUSE ENCLOSURE
NTS



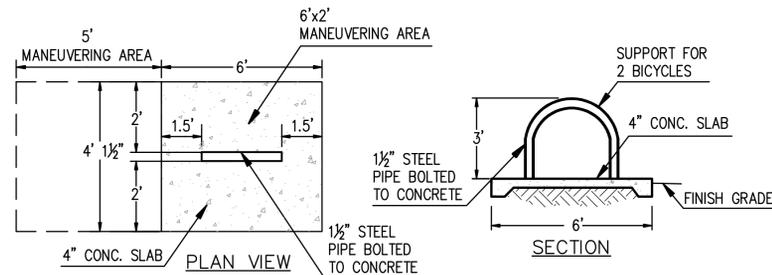
2 NTS



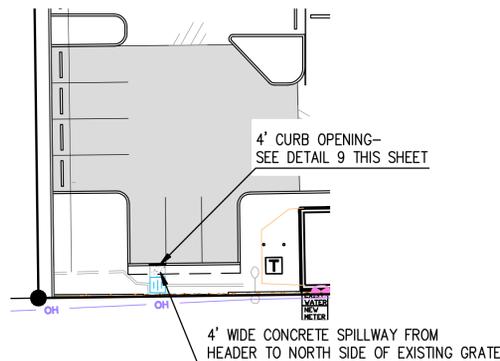
4 PARALLEL PARKING SPACE
1:10



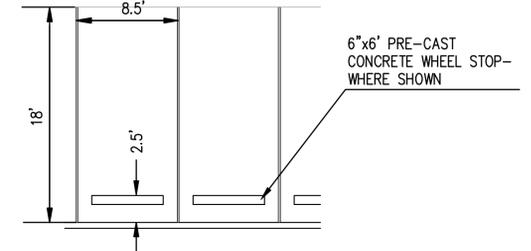
5 HANDICAP PARKING SPACE
1:10



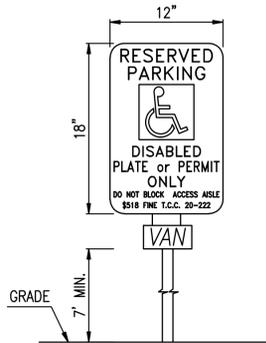
7 BICYCLE PARKING DETAIL
NTS



8 SPILLWAY
1:20

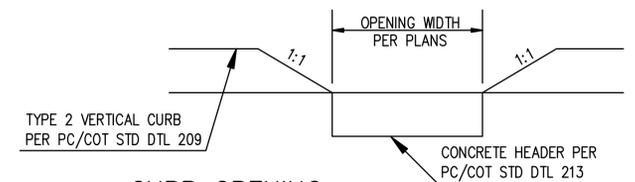


3 TYPICAL PARKING SPACE



NOTE: THESE SIGNS ARE NOT AVAILABLE THROUGH THE CITY, BUT CAN BE PURCHASED AT PRIVATE BARRICADE AND SIGN COMPANIES SIGNS MOUNTED ON WALL WHERE SHOWN ON PLAN

6 HANDICAP PARKING SIGN



9 CURB OPENING
NTS

DP18-0304 C9-79-16

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DEVELOPMENT PLAN PACKAGE DETAILS
 FOR
THE TUXON
 HAYHURST LOTS 3, 4, 5, 9, 10 & 11
 MAPS AND PLATS BOOK 6, PAGE 52
 T14S R13E SECTION 14
 G&SRM
 TUCSON, ARIZONA

EXP. 6-30-2019

NO.	REVISION	DATE	DRWN BY	J.R.G.	DATE	02/19/2019	4
			DSGN BY	J.A.S.	JOB NO.		OF
			CHKD BY	J.A.S.	SCALE: H: N/A	V: N/A	11

the TUXON

LANDSCAPE DEVELOPMENT PACKAGE

LOCATED IN THE S.E. ¼ OF THE S.E. ¼ OF
SECTION 14, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

GENERAL NOTES

- EXISTING ZONING IS C-2, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS TRAVELERS ACCOMMODATION, LODGING. THE PROPOSED USE WILL REMAIN TRAVELERS ACCOMMODATION, LODGING. NO USE SPECIFIC STANDARDS ARE APPLICABLE TO THIS LAND USE IN ZONE C-2.
- THE PROJECT SEEKS MODIFICATION OF DEVELOPMENT REGULATIONS IN ACCORDANCE WITH THE GREATER INFILL INCENTIVE SUB-DISTRICT (GIS) OF THE DOWNTOWN INFILL INCENTIVE DISTRICT (IID).
- THE GROSS SITE AREA IS 83,732 SQUARE FEET, OR 1.92 ACRES.
- TOTAL BUILDING GFA IS XXXX SF. TOTAL PAVED AREA ON-SITE IS 58,000 SF ±.
- TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY 91,348 SF.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- U.D.C. REQUIREMENTS FOR C-2 ZONING.
- A FREESTANDING MONUMENT SIGN AND PARKING AREA LIGHTING ARE PROVIDED WITHIN THIS DEVELOPMENT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORMWATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR UDC SEC. 5.4, MAJOR STREETS AND ROUTES (MS&R) SETBACK ZONE.
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.

CITY OF TUCSON DEPARTMENT OF TRANSPORTATION STANDARD NOTES FOR PLANTING AND IRRIGATION IN R.O.W.

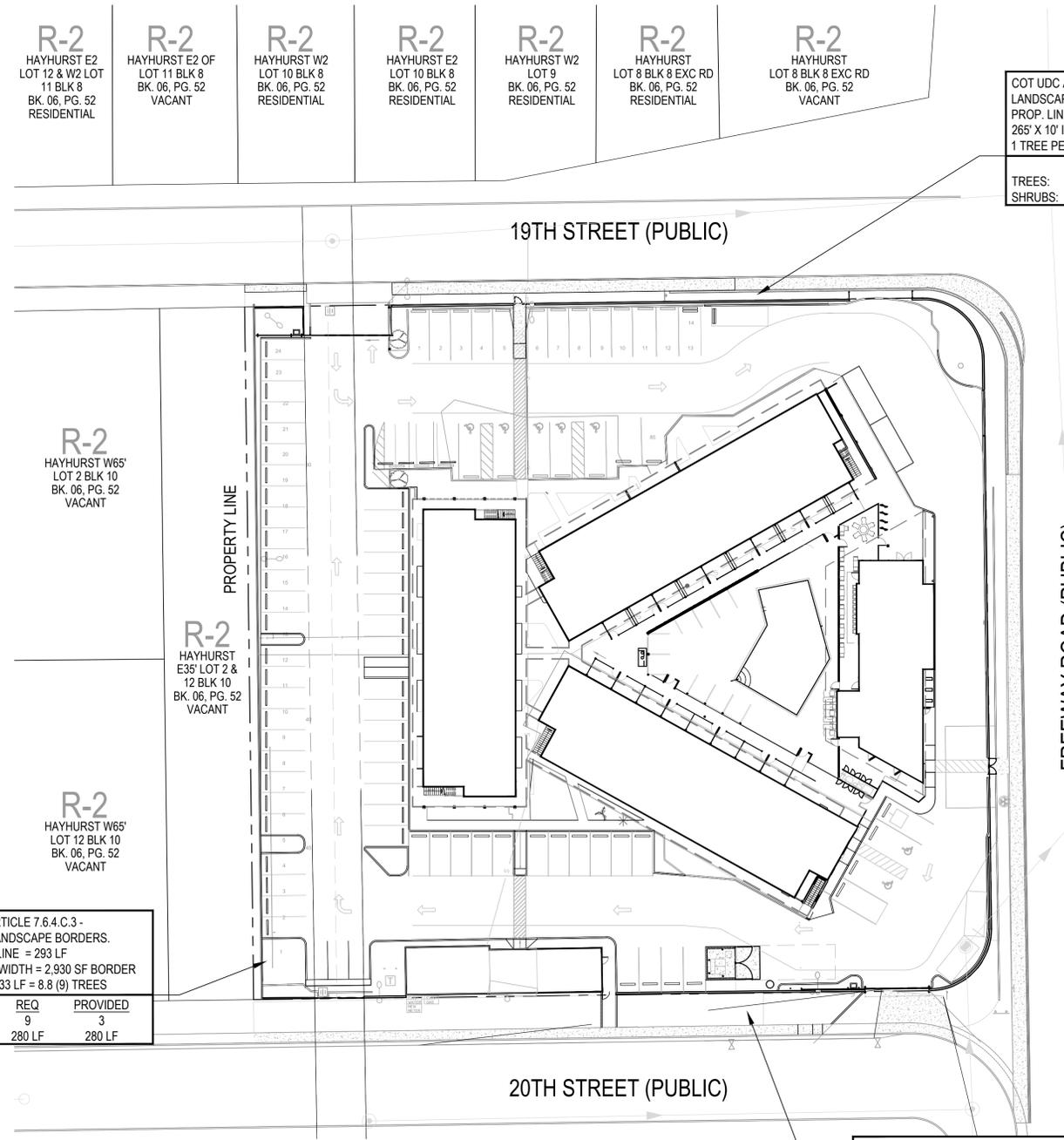
- IT IS THE OWNER'S RESPONSIBILITY TO KEEP THE SIGHT VISIBILITY TRIANGLES (SVT), AND THE PEDESTRIAN ACCESS AREA CLEAR OF VEGETATION AT ALL TIMES, PER U.D.C. ARTICLE 7.6.6.E.
- IT IS THE OWNER'S RESPONSIBILITY TO KEEP VEGETATION FROM GROWING PAST THE CURB LINE, AND KEEP A 15' HIGH CLEAR ZONE OVER THE TRAVEL LANE.
- FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
- THE OWNER UNDERSTANDS THAT IF THE CITY OF TUCSON TRANSPORTATION DEPARTMENT OR ANY UTILITY COMPANY NEEDS TO WORK WITHIN THE ROW IN THE LANDSCAPED AREA, PLANTS AND IRRIGATION MAY BE DESTROYED WITHOUT REPLACEMENT OR REPAIR.
- THE OWNER TAKES FULL LIABILITY FOR THIS LANDSCAPE AND IRRIGATION, AND ANY DAMAGE TO ROADWAY, SIDEWALK AND UTILITIES.
- THE ONLY PRIVATE IRRIGATION EQUIPMENT THAT IS ALLOWED WITHIN THE ROW ARE LATERAL LINES, TUBING AND EMITTERS THAT ARE NOT UNDER CONSTANT PRESSURE. ALL OTHER EQUIPMENT MUST BE ON PRIVATE PROPERTY. (EXCLUDING WATER METER)
- CONTRACTOR TO OBTAIN A RIGHT OF WAY EXCAVATION PERMIT PRIOR TO CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- APPROVAL FOR LANDSCAPING WITHIN THE GRANT ROAD RIGHT-OF-WAY HAS BEEN OBTAINED FROM GARY WITTWER WITH CITY OF TUCSON DEPARTMENT OF TRANSPORTATION.

SITE INFORMATION

PROJECT ADDRESS:	960 SOUTH FREEWAY ROAD TUCSON, ARIZONA 85701
PARCEL NUMBER:	11623063C
EXISTING ZONING DISTRICT:	C-2
PROPOSED ZONING DISTRICT:	N/A
SITE USE: THE YARD RESTAURANT	(A-2)
BUILDING HEIGHT:	
ALLOWED:	XX
PROPOSED:	XX (MAX.)
SITE AREA	
GROSS:	83,732 S.F. (1.9 ACRES)
BUILDING GFA:	XXXX S.F.
TOTAL PAVED AREA:	XXXX S.F. ±
LANDSCAPE AREA:	
TOTAL AREA:	XXXX S.F.
PERCENTAGE:	XX%

PARKING ANALYSIS:

PARKING REQUIRED TRAVEL ACCOMMODATIONS, LODGING: 1 SPACE PER RENTAL UNIT PLUS 1 SPACE PER 300 SQ. FT. GFA OF CONFERENCE, RESTAURANT, RETAIL, BAR, AND BANQUET SPACE.	
TOTAL ADJ. REQUIRED:	XXX
TOTAL ADJ. PROVIDED:	85
PARKING SPACE REDUCTIONS	
1 SPACE PER ADDITIONAL NON-REQUIRED	
ACCESSIBLE SPACE PROVIDED	-X
CHARGING STATIONS	-X
ACCESSIBLE STALL	
TOTAL REQUIRED:	X
TOTAL PROVIDED:	7
BICYCLE PARKING:	
TOTAL REQUIRED:	
SHORT TERM: 2 + 1/6000 S.F. =	X
LONG TERM: 1/XX ROOMS. =	X
TOTAL PROVIDED:	
SHORT TERM:	X
LONG TERM:	X



COT UDC ARTICLE 7.6.4.C.3 - INTERIOR LANDSCAPE BORDERS.
PROPERTY LINE = 293 LF
293' X 10' IN WIDTH = 2,930 SF BORDER
1 TREE PER 33 LF = 8.8 (9) TREES

	REQ	PROVIDED
TREES:	9	3
5' WALL:	280 LF	280 LF

COT UDC ARTICLE 7.6.4.C.2 - STREET LANDSCAPE BORDERS.
PROP. LINE MINUS DRIVE = 265 LF
265' X 10' IN WIDTH = 2,650 SF BORDER
1 TREE PER 33 LF = 8.0 (8) TREES

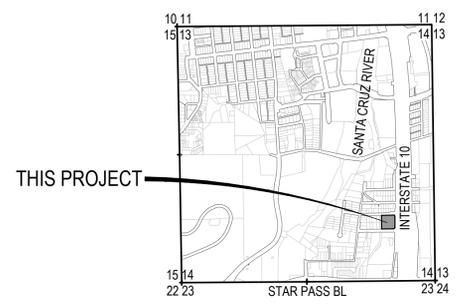
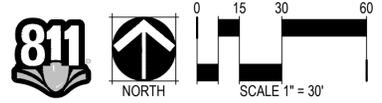
	REQ	PROVIDED
TREES:	8	8
SHRUBS:	50%=1,325 SF	XXXX SF

COT UDC ARTICLE 7.6.4.C.2 - STREET LANDSCAPE BORDERS.
PROP. LINE MINUS DRIVE = 272 LF
272' X 10' IN WIDTH = 2,720 SF BORDER
1 TREE PER 33 LF = 8.2 (8) TREES

	REQ	PROVIDED
TREES:	8	8
SHRUBS:	50%=1,360 SF	XXXX SF

R-2
PTN S2 SE4 LYING S OF
20TH ST LESS DRNRY
1.74 AC SEC 14-14-13
VACANT

C-2
PTN NW4 SE4 SE4 S & ADJ 20TH ST .72 AC
SEC 14-14-13
DOCKET 12262, PAGE 1276, SEQUENCE
NUMBER 20040540495
COMMERCIAL



LOCATION MAP
3" = 1 MILE

PROJECT LOCATION
IN THE S.E. ¼ OF THE S.E. ¼ OF
SECTION 14, T. 14 S., R. 13 E., G.&S.R.M., CITY OF
TUCSON, PIMA COUNTY, ARIZONA

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DEVELOPMENT PLAN PACKAGE
DEVELOPMENT PLAN
FOR
THE TUXON
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TUCSON, ARIZONA
LANDSCAPE NOTES

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NO.	REVISION	DATE	DRWN BY	J.R.G.	DATE	12/11/2018	5
			DSGN BY	J.A.S.	JOB NO.		OF
			CHKD BY	J.A.S.	SCALE: H: 1"=20'	V: N/A	11



IRRIGATION GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, ARCHITECTURAL PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK THE IRRIGATION CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO ENSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED, OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- ALL VALVE BOXES / LIDS SHALL BE - PLASTIC WITH LOCKING COVERS, COLOR TO BE DESERT TAN. INSTALL PER THE CONSTRUCTION DETAILS.
- ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH WITH FINISH GRADE.
- GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT HUNTER INDUSTRIES (800) 733-2823.
- CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE IRRIGATION CONTROLLER TO THE END OF THE MAINLINE SERVING THAT CONTROLLER OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER IRRIGATION LINES. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF THE MAINLINE, DRIP IRRIGATION LINES, CONTROL VALVES, GATE VALVES, ETC. AND SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LAYOUT DRIP LATERALS PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL PVC LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
- TREES, SHRUBS, GROUND COVER AND CACTI SHALL BE IRRIGATED BY MULTI-PORT OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.

IRRIGATION POINT OF CONNECTION NOTES

- POINT OF CONNECTION:** THE POINT OF CONNECTION IS LOCATED AT THE NORTHWEST CORNER OF THE SITE; SOUTH OF ADELAIDE ROAD. CONNECT DOWNSTREAM OF THE 1" DEDICATED IRRIGATION WATER METER (SEE CIVIL UTILITY PLANS) WITH 1" TYPE K COPPER AND EXTEND TO THE 1" BACKFLOW PREVENTER AT A DEPTH OF 24" OR PER LOCAL CODES, WHICHEVER IS GREATER IN DEPTH. INSTALL ONE 1" REDUCED PRESSURE BACKFLOW PREVENTER IN SECURITY ENCLOSURE WITH FROST BLANKET. EXTEND 1" TYPE K COPPER 30" HORIZONTAL FROM THE BACKFLOW ASSEMBLY, INSTALL ONE GATE VALVE, TRANSITION TO 1" SCHEDULE 40 PVC AND EXTEND TO VALVES. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- CONNECTION PRESSURE:** THE SYSTEM IS DESIGNED FOR A MINIMUM 50 PSI AT THE POINT OF CONNECTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE IRRIGATION SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY THE OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE DESIGN PRESSURE.
- CONTROLLER LOCATION:** THE HUNTER CONTROLLER IS WALL MOUNTED ON THE NORTH SIDE OF BUILDING #1 AS INDICATED ON THE PLANS. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND THE ELECTRICAL PLANS FOR POWER SERVICE. ALL EQUIPMENT INSTALLATION SHALL CONFORM TO ALL LOCAL CODES. COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ADDITIONAL INFORMATION REGARDING THE CONTROLLER.
- SENSOR LOCATION:** MOUNT THE HUNTER SOLAR SYNC SENSOR ON THE NORTH SIDE OF BUILDING #1 ADJACENT TO THE CONTROLLER. SOLAR SYNC SENSOR SHALL BE MOUNTED IN LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 200' FROM RECEIVER.
- FINAL BACKFLOW PREVENTER, IRRIGATION CONTROLLER, SENSOR LOCATION AND SENSOR MOUNTING SYSTEM TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.**

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
	IRRIGATION POINT OF CONNECTION	NA	3/4" Irrigation Water Meter (By Others)	See Civil Utility Plans	
	IRRIGATION METER	NA	3/4" Irrigation Water Meter (By Others)	See Civil Utility Plans	
	BACKFLOW PREVENTER	FEBCO	3/4" 825YA Backflow Preventer	In GuardShack Enclosure	17 / D1
NOT SHOWN	SECURITY ENCLOSURE	GUARD-SHACK	GS-0.5 Liftoff Enclosure 10"Wx18"Hx21"L	Color: Tan Frostguard: FG-0.5	17 / D2
	IRRIGATION CONTROLLER	HUNTER	ICORE IC-600-M (3) Expansion Modules (ICM-600)	Wireless Wall Mount XX Valves	17 / D3
	SENSOR	HUNTER	SOLAR-SYNC-SEN-WSS	Wireless Wall Mount	17 / D4
	GATE VALVE	WATTS	Carson 910 Round Valve Box WGV-X Brass Gate Valve	Size per line size Threaded ends	17 / D5
	VALVE ASSEMBLY DRIP	HUNTER	Carson 1220 Jumbo Valve Box 1" Sch 80 PVC Ball Valve 1" Hunter ICV Valve (ICV-101G) Drip Control Zone Kit (ICZ-101)		18 / D2
	PVC SLEEVING	NA	2" Sch. 40 PVC	See Irrigation Notes for Sizing Info	17 / D6
	PVC MAINLINE	NA	1" Sch. 40 PVC	Unless otherwise noted on plan	17 / D7
	SERVICE LINE	NA	1" Type K Copper	Meter to Backflow Preventer	17 / D7
	LATERAL	NA	3/4" Sch. 40 PVC	Unless otherwise noted on plans.	17 / D7
	END CAP	NA	Carson 910 Round Valve Box Poly Hose End Flush Cap		18 / D8

Valve / Station Number Zone Designation: T (Tree), S (Shrub)	EMITTER SCHEDULE		
	PLANT TYPE	EMITTER	OUTLET
	ACCENTS	Rain Bird XBT10-6	1-1 GPH Outlet
	GROUNDCOVERS	Rain Bird XBT10-6	1-1 GPH Outlet
	SHRUBS	Rain Bird XBT10-6	1-1 GPH Outlet
	TREES	Rain Bird XBT20-6	6-2 GPH Outlets

- EMITTER NOTES**
- ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XBT THREADED TYPE MULTI-PORT PRESSURE COMPENSATING EMITTERS IN A 6" ROUND VALVE BOX.
 - ALL CACTI SHALL NOT BE IRRIGATED.
 - 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
 - RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING.

IRRIGATION SLEEVING NOTES

- INSTALLATION OF SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF WORK.
- ANY ADDITIONAL SLEEVES NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES, UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- MARK / STAMP - IS (IRRIGATION SLEEVE) AND / OR PLACARD AT BACK OF CURB.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW. ALL MAINLINE, SUBMANS, VALVE CONTROL AND COMMUNICATION WIRES, LATERALS AND 3/4" POLYETHYLENE DRIP TUBING UNDER PAVED SURFACES ARE TO BE INSTALLED IN SEPARATE SLEEVING.

SLEEVED PIPE SIZE/WIRE QTY.	REQUIRED SLEEVE SIZE AND QTY.
3/4"-1" PIPING	2" PVC (1)
1-50 CONTROL WIRES	2" PVC (1)

LANDSCAPE GENERAL NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT IMMEDIATELY.
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
- LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.
- SIGHT VISIBILITY TRIANGLES SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 30 INCHES PER ARTICLE 7.6.6.E OF THE COT UDC.
- MAINTENANCE: ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY ARTICLE 7.6.8 OF THE COT UDC.
- ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUND COVER.
- THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANT SIZE, LOCATION AND SPACING:
 - TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY.
 - ALL SHRUBS AND GROUNDCOVERS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
- PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES, EXISTING PRESERVED VEGETATION, AND OTHER FIELD CONDITIONS. CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
- THE CONTRACTOR SHALL SCHEDULE UTILITY LOCATION SERVICES AND TAKE EXTREME CARE WHILE WORKING WITHIN THE PROJECT AREA AS TO NOT DISTURB ANY EXISTING UTILITIES OR STRUCTURES ON OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND OR REPAIRING ANY EXISTING STRUCTURES OR UTILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE PROPERTY LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE OF ANY INSPECTIONS AND / OR APPROVALS OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL WARRANTY THE PLANT MATERIAL, IRRIGATION SYSTEM AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES ON SLOPES EXCEEDING 3:1.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A MINIMUM PERIOD OF ONE YEAR, AS NECESSARY OR AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE THE CONTRACTOR SHALL REMOVE STAKING AND GUYING, PRIOR TO THE FINAL, ONE YEAR WALK THROUGH.
- FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.

PLANT SCHEDULE

SYM.	BOTANICAL NAME COMMON NAME	SIZE BRANCH	CALIPER H x W	QTY
TREES				
	Bauhinia lunarioides Anacacho Orchid Tree	15 GALLON SINGLE	1.75" CAL. 8' x 6'	XX
	Parkinsonia 'Desert Museum' Desert Museum Palo Verde	24" BOX MULTI	2" CAL. 12' x 10'	XX
	Prosopis sp. 'Rio Salado' Rio Salado Mesquite	24" BOX MULTI	2.25" CAL. 14' x 10'	XX
	Quercus buckleyi Red Rock Oak	24" BOX SINGLE	1.75" CAL. 10' x 8'	XX
	Existing Tree to Remain	N/A	N/A	XX

SHRUBS				
	Calliandra spp. Sierra Starr	5 GALLON		XX
	Carrissa macrocarpa Boxwood Beauty	5 GALLON		XX
	Leucophyllum candidum Thunder Cloud	5 GALLON		XX
	Leucophyllum revolutum Houdini	5 GALLON		XX
	Tecoma spp. Yellow Bells	5 GALLON		XX

ACCENTS				
	Euphorbia antisiphilitica Candellia	5 GALLON		XX
	Hesperaloe parviflora 'Pink Parade'	5 GALLON		XX
	Pedilanthus macrocarpus Lady Slipper	5 GALLON		XX

GROUNDCOVERS				
	Lantana x 'New Gold' Yellow Lantana	1 GALLON		XX
	Myoporum parvifolium Creeping Myoporum	1 GALLON		XX
	Rosmarinus officinalis Trailing Rosemary	1 GALLON		XX
	Verbena tenera Moss Verbena	1 GALLON		XX
	Wedelia trilobata Yellow Dot	1 GALLON		XX

GRASSES				
	Muhlenbergia capillaris Regal Mist	5 GALLON		XX
	Nassella tenuissima Mexican Feather Grass	5 GALLON		XX

VINES				
	Callaëum Macropterum Yellow Orchid Vine	1 GALLON		XX

INERT GROUND COVER

SYM.	DESCRIPTION	QTY
	1" Screened Rock at a depth of 2" Color: Coronado Brown Arizona Trucking & Materials (520.400.6356)	XX sf



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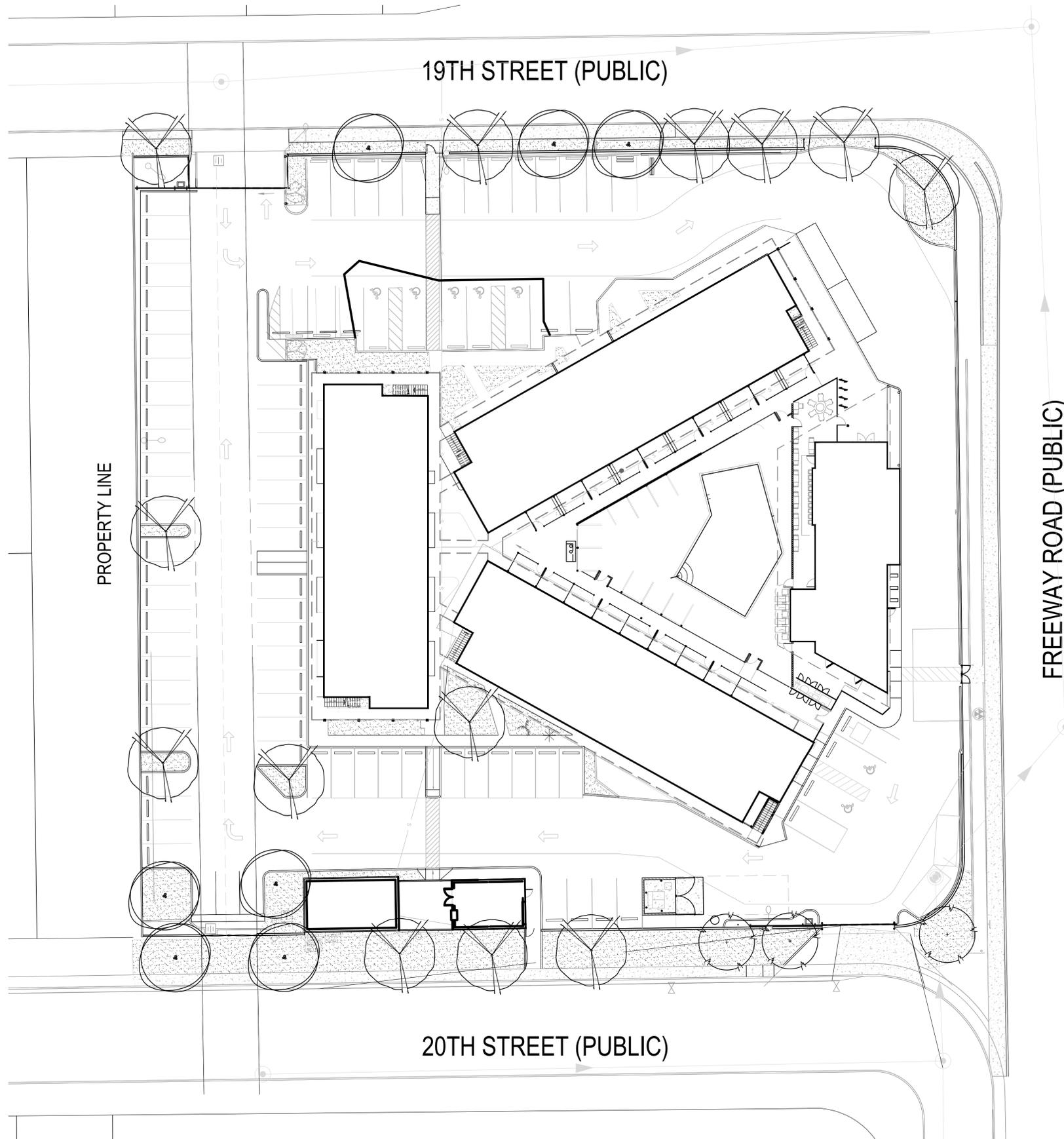
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DEVELOPMENT PLAN
FOR
THE TUXON
T14S R13E SECTION 14
G&SRM
TUCSON, ARIZONA

NOTES AND SCHEDULES

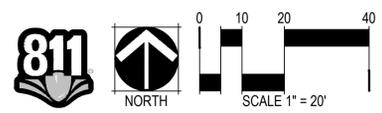
NO.	REVISION	DATE

DRWN BY	J.R.G.	DATE	12/11/2018
DSGN BY	J.A.S.	JOB NO.	
CHKD BY	J.A.S.	SCALE: H: 1"=20'	V: N/A

6
OF
11



PLANT SCHEDULE				
SYM.	BOTANICAL NAME COMMON NAME	SIZE BRANCH	CALIPER H x W	QTY
TREES				
	Bauhinia lunarioides Anacacho Orchid Tree	15 GALLON SINGLE	1.75" CAL. 8' x 6'	XX
	Parkinsonia 'Desert Museum' Desert Museum Palo Verde	24" BOX MULTI	2" CAL. 12' x 10'	XX
	Prosopis sp. 'Rio Salado' Rio Salado Mesquite	24" BOX MULTI	2.25" CAL. 14' x 10'	XX
	Quercus buckleyi Red Rock Oak	24" BOX SINGLE	1.75" CAL. 10' x 8'	XX
	Existing Tree to Remain	N/A	N/A	XX
SHRUBS				
	Calliandra spp. Sierra Starr	5 GALLON		XX
	Carrissa macrocarpa Boxwood Beauty	5 GALLON		XX
	Leucophyllum candidum Thunder Cloud	5 GALLON		XX
	Leucophyllum revolutum Houdini	5 GALLON		XX
	Tecoma spp. Yellow Bells	5 GALLON		XX
ACCENTS				
	Euphorbia antisyphilitica Candellia	5 GALLON		XX
	Hesperaloe parviflora 'Pink Parade'	5 GALLON		XX
	Pedilanthus macrocarpus Lady Slipper	5 GALLON		XX
GROUNDCOVERS				
	Lantana x 'New Gold' Yellow Lantana	1 GALLON		XX
	Myoporum parvifolium Creeping Myoporum	1 GALLON		XX
	Rosmarinus officinalis Trailing Rosemary	1 GALLON		XX
	Verbena tenera Moss Verbena	1 GALLON		XX
	Wedelia trilobata Yellow Dot	1 GALLON		XX
GRASSES				
	Muhlenbergia capillaris Regal Mist	5 GALLON		XX
	Nassella tenuissima Mexican Feather Grass	5 GALLON		XX
VINES				
	Callaeum Macropterum Yellow Orchid Vine	1 GALLON		XX
INERT GROUNDCOVER				
SYM.	DESCRIPTION	QTY		
	1" Screened Rock at a depth of 2" Color: Coronado Brown Arizona Trucking & Materials (520.400.6356)	XX sf		



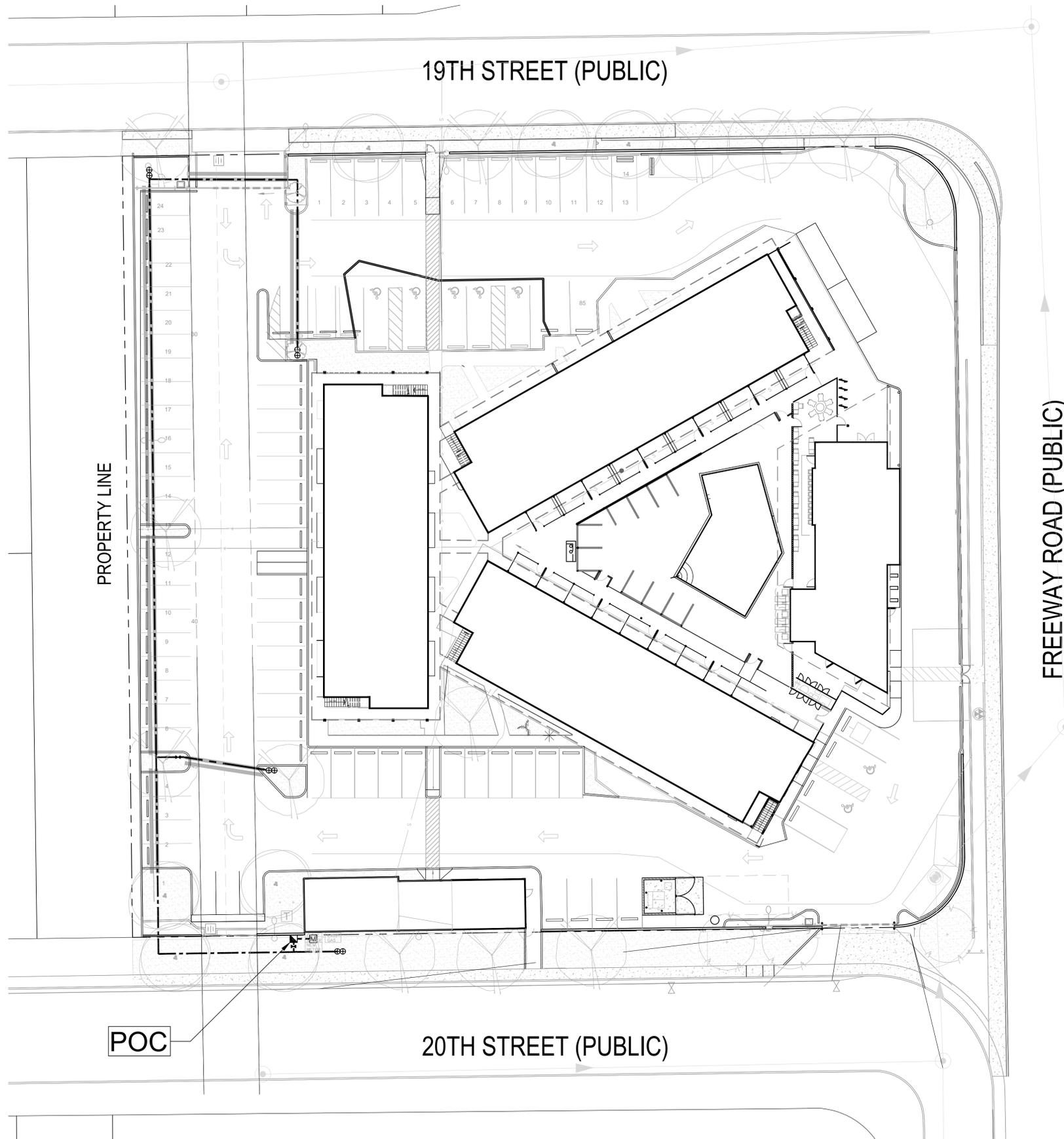
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TUCSON, ARIZONA
LANDSCAPE PLAN

NO.	REVISION	DATE	DRWN BY	J.R.G.	DATE	12/11/2018	7
			DSGN BY	J.A.S.	JOB NO.		OF
			CHKD BY	J.A.S.	SCALE: H: 1"=20'	V: N/A	11

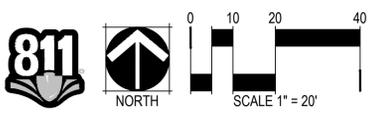


IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
	IRRIGATION POINT OF CONNECTION	NA	3/4" Irrigation Water Meter (By Others)	See Civil Utility Plans	
	IRRIGATION METER	NA	3/4" Irrigation Water Meter (By Others)	See Civil Utility Plans	
	BACKFLOW PREVENTER	FEBCO	3/4" 825YA Backflow Preventer	In GuardShack Enclosure	17 / D1
NOT SHOWN	SECURITY ENCLOSURE	GUARD-SHACK	GS-0.5 Lutoff Enclosure 10"Wx18"Hx21"L	Color: Tan Frostguard: FG-0.5	17 / D2
	IRRIGATION CONTROLLER	HUNTER	ICORE IC-600-M (3) Expansion Modules (ICM-600)	Wireless Wall Mount XX Valves	17 / D3
	SENSOR	HUNTER	SOLAR-SYNC-SEN-WSS	Wireless Wall Mount	17 / D4
	GATE VALVE	WATTS	Carson 910 Round Valve Box WG-V-X Brass Gate Valve	Size per line size Threaded ends	17 / D5
	VALVE ASSEMBLY DRIP	HUNTER	Carson 1220 Jumbo Valve Box 1" Sch 80 PVC Ball Valve 1" Hunter ICV Valve (ICV-101G) Drip Control Zone Kit (ICZ-101)		18 / D2
	PVC SLEEVING	NA	2" Sch. 40 PVC	See Irrigation Notes for Sizing Info	17 / D6
	PVC MAINLINE	NA	1" Sch. 40 PVC	Unless otherwise noted on plan	17 / D7
	SERVICE LINE	NA	1" Type K Copper	Meter to Backflow Preventer	17 / D7
	LATERAL	NA	3/4" Sch. 40 PVC	Unless otherwise noted on plans.	17 / D7
	END CAP	NA	Carson 910 Round Valve Box Poly Hose End Flush Cap		18 / D8

VALVE CALLOUTS	EMITTER SCHEDULE		
	PLANT TYPE	EMITTER	OUTLET
Valve / Station Number Zone Designation: T (Tree), S (Shrub)	ACCENTS	Rain Bird XBT10-6	1-1 GPH Outlet
	GROUNDCOVERS	Rain Bird XBT10-6	1-1 GPH Outlet
	SHRUBS	Rain Bird XBT10-6	1-1 GPH Outlet
	TREES	Rain Bird XBT20-6	6-2 GPH Outlets

- EMITTER NOTES**
- ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XBT THREADED TYPE MULTI-PORT PRESSURE COMPENSATING EMITTERS IN A 6" ROUND VALVE BOX.
 - ALL CACTI SHALL NOT BE IRRIGATED.
 - 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
 - RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING.



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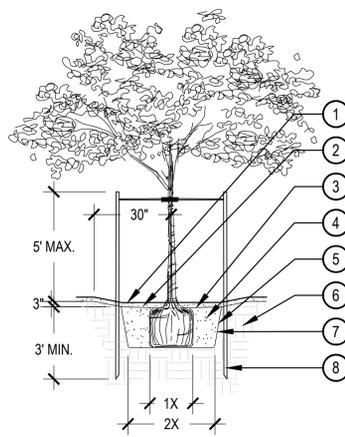
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IRRIGATION PLAN

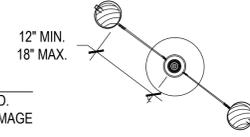
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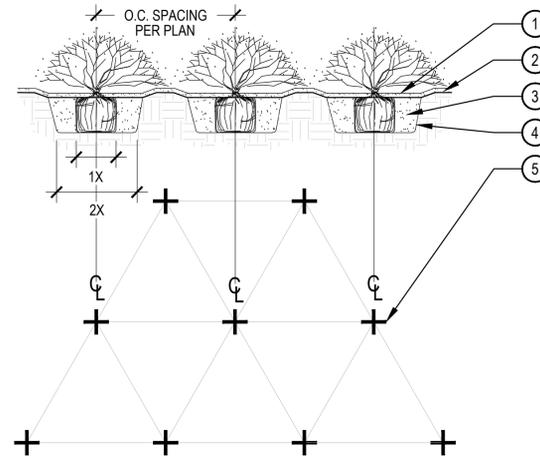
- 1 FINISH GRADE
- 2 INERT GROUNDCOVER PER SCHEDULE
- 3 3" DEEP TREE WELL, BLEND TO GRADING
- 4 BACKFILL WITH NATIVE SOIL AND WATER SETTLE
- 5 HOLE SIZE: 2X WIDTH OF ROOTBALL
- 6 LOOSEN SOIL 3X WIDTH OF ROOTBALL
- 7 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING
- 8 2" DIA. PRESSURE TREATED 8'-0" LODGEPOLE PINE TREE STAKES (SEE NOTE 2)



NOTE:
 1. SET TOP OF ROOTBALL 4" BELOW TOP OF TREE WELL. ORGANIC MULCH AS REQUIRED.
 2. DRIVE TREE STAKES 3' MIN. INTO GROUND TO FIRM BEARING. TAKE CARE NOT TO DAMAGE ROOTBALL. SAW STAKES ABOVE TIE TO PREVENT ABRASION TO OTHER BRANCHES.
 3. INSTALL BERM ON DOWNSIDE OF SLOPES FOR TREES ON GRADE OF 5:1 OR GREATER.

SINGLE-TRUNK TREE STAKING

SCALE: NTS

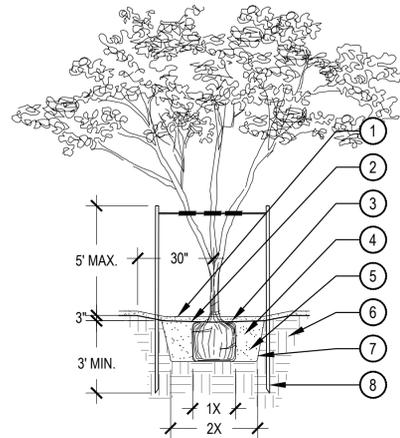


- 1 FINISH GRADE
- 2 INERT GROUNDCOVER PER SCHEDULE
- 3 BACKFILL WITH NATIVE SOIL. HOLE SIZE: 2X WIDTH OF ROOTBALL. LOOSEN SOIL 3X WIDTH OF ROOTBALL. WATER AND SETTLE.
- 4 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING
- 5 CENTER OF PLANT PLANT SPACING AS SPECIFIED ON DRAWINGS, SEE PLANT SCHEDULE.

NOTE:
 1. DO NOT DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER.
 2. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
 3. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.

GROUNDCOVER PLANTING

SCALE: NTS



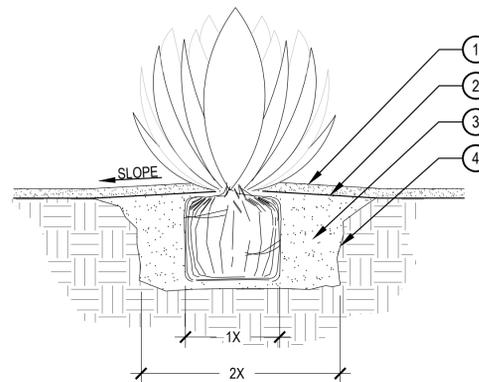
- 1 TOP OF D.G.
- 2 FINISH GRADE
- 3 3" DEEP TREE WELL, BLEND TO FINAL GRADE
- 4 BACKFILL WITH NATIVE SOIL AND WATER SETTLE.
- 5 HOLE SIZE: 2X WIDTH OF ROOTBALL.
- 6 LOOSEN SOIL 3X WIDTH OF ROOTBALL.
- 7 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING
- 8 2" DIA. PRESSURE TREATED 8'-0" LODGEPOLE PINE TREE STAKES. (SEE NOTE 2)



NOTE:
 1. SET TOP OF ROOTBALL 4" BELOW TOP OF TREE WELL. ORGANIC MULCH AS REQUIRED.
 2. DRIVE TREE STAKES 3' MIN. INTO GROUND TO FIRM BEARING. TAKE CARE NOT TO DAMAGE ROOTBALL. SAW STAKES ABOVE TIE TO PREVENT ABRASION TO OTHER BRANCHES.
 3. INSTALL BERM ON DOWNSIDE OF SLOPES FOR TREES ON GRADE OF 5:1 OR GREATER.

MULTI-TRUNK TREE PLANTING

SCALE: NTS

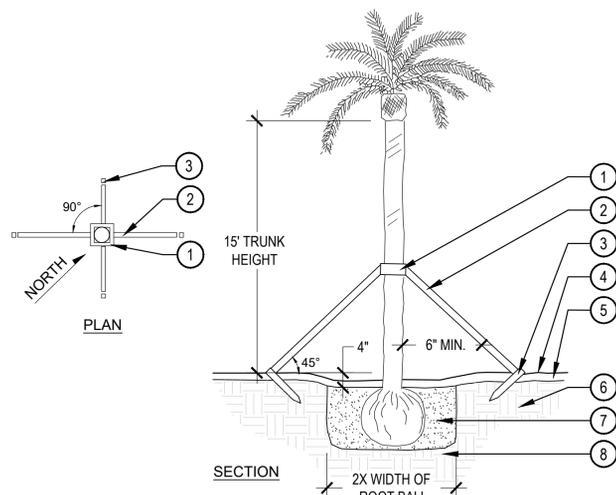


- 1 TOP OF D.G.
- 2 FINISH GRADE
- 3 BACKFILL NATIVE SOIL. THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER, SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM.
- 4 SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING

NOTE:
 1. DO NOT CREATE BASIN AT BASE OF ACCENT.
 2. SLOPE BACKFILL AWAY FROM PLANT.
 3. USE DRY SITE SOIL ONLY IN PIT - NO MULCH.

ACCENT / CACTI PLANTING

SCALE: NTS

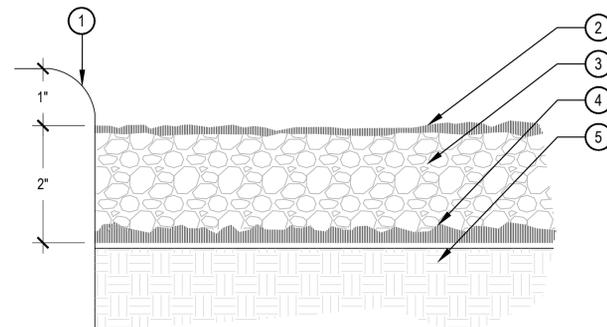


- 1 2" X 4" WOOD FRAME
- 2 SUPPORT NAILED TO FRAME AND STAKED - 4 SUPPORTS PER TREE.
- 3 2" X 4" WOOD STAKE. SAW OFF FLUSH WITH FINISHED GRADE.
- 4 FINISHED GRADE
- 5 INERT GROUNDCOVER, SEE PLANT SCHEDULE.
- 6 UNDISTURBED SUBGRADE
- 7 PLANT PIT AND SITE AMENDED BACKFILL.
- 8 95% COMPACTED SUBGRADE

NOTE:
 1. TRIM AND TIE FRONDS AT TRANSPLANT. UNTIE IN 45 TO 60 DAYS OR UPON EVIDENCE OF NEW GROWTH.

PALM TREE PLANTING

SCALE: NTS



- 1 MIN. 1" REVEAL ON ALL PAVED SURFACES - GRADE FOR MATERIAL DEPTH AND REVEAL
- 2 FINAL APPLICATION OF PRE-EMERGENT HERBICIDE.
- 3 GROUNDCOVER PER SCHEDULE
- 4 APPLY PRE-EMERGENT HERBICIDE TO SUBGRADE
- 5 95% COMPACTED SUBGRADE

NOTE:
 1. APPLY PRE-EMERGENT HERBICIDE PER LABEL DIRECTIONS AND RATE.

INERT GROUND COVER

SCALE: 1/2" = 1'-0"

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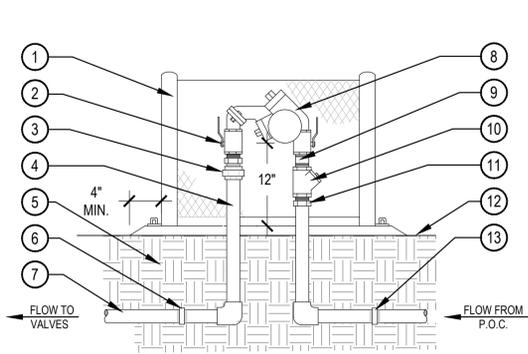
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 G&SRM
 TUCSON, ARIZONA
 LANDSCAPE DETAILS

NO.	REVISION	DATE	DRWN BY	J.R.G.	DATE	12/11/2018

DRSN BY J.A.S. JOB NO.
 CHKD BY J.A.S. SCALE: H: 1"=20' V: N/A

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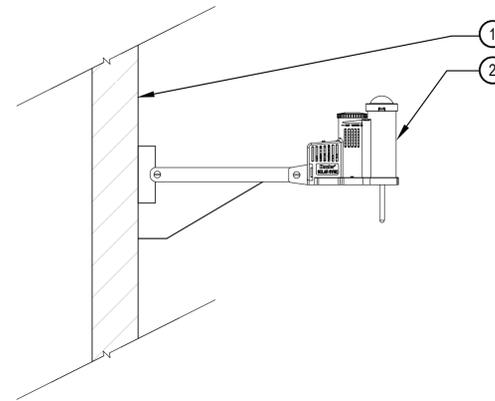


- 1 BACKFLOW ENCLOSURE # GS-1
- 2 BALL VALVE
- 3 BRASS UNION
- 4 TYPE K COPPER PIPE
- 5 COMPACTED SUBGRADE
- 6 PVC ADAPTOR 30" BEYOND UNIT
- 7 PVC MAINLINE
- 8 REDUCED PRESSURE BACKFLOW PREVENTER WITH BALL VALVES
- 9 BRASS NIPPLE
- 10 BRASS WYE STRAINER (100 MESH)
- 11 COPPER ADAPTER
- 12 FINISH GRADE
- 13 PVC ADAPTOR 30" BEYOND UNIT

NOTE:
 1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/12" OR LARGER.

BACKFLOW PREVENTER

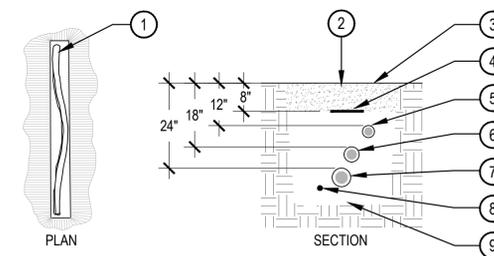
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NOTE:
 1. INSTALL SOLAR SYNC PER MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 3. FINAL LOCATION AND MOUNTING SYSTEM TO BE DETERMINED BY OWNER.

SOLAR SYNC SENSOR (WALL MOUNT)

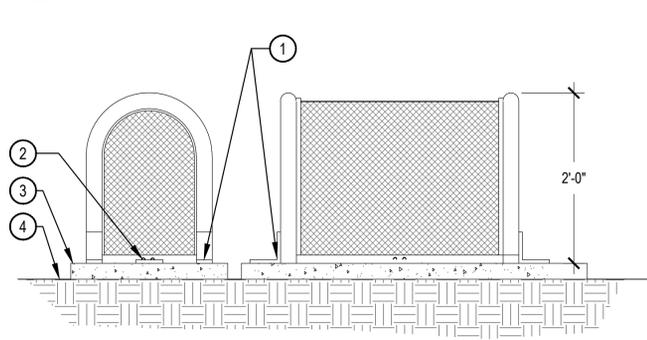
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NOTE:
 1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS
 6. VALVE WIRES TO BE INSTALLED WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WEIR WITHIN TRENCH.
 8. BEDDING MATERIAL SHALL BE IN MAINLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, PUDDLE WITH WATER, BETWEEN LIFTS.

IRRIGATION TRENCH

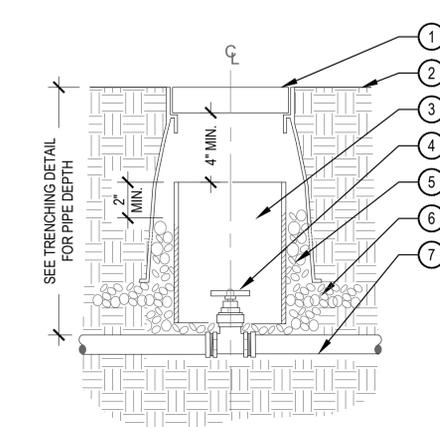
SCALE: NTS



NOTE:
 1. INSTALL GUARDSHACK GS1 = 10" W x 24" H x 22" L LIFT-OFF UNIT 51 POWDER COATED STEEL GUARD SHACK PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 3. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005
 4. PROVIDE KEYED PADLOCK, MASTER LOCK MODEL #957 W/ (2) TWO KEYS FOR LOCKING SECURITY ENCLOSURE.

LIFT-OFF BACKFLOW ENCLOSURE

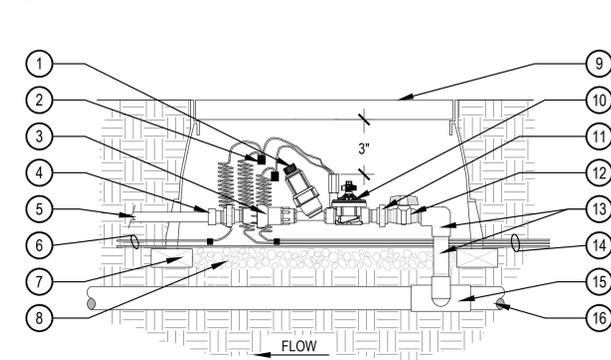
SCALE: NTS



NOTE:
 1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
 3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

GATE VALVE 3" & SMALLER

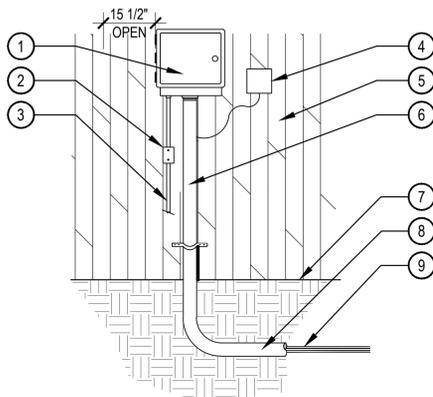
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NOTE:
 1. BUNDLE & TAPE WIRE EVERY 10 FT. SEAL WIRE ENDS WITH WATERPROOF SPLICING MATERIAL.
 2. 30" MIN. LENGTH OF CONTROL WIRE COILED AND PLACED IN BOX AT WATERPROOF CONNECTION TO SOLENOID.

DRIP VALVE ASSEMBLY

SCALE: NTS

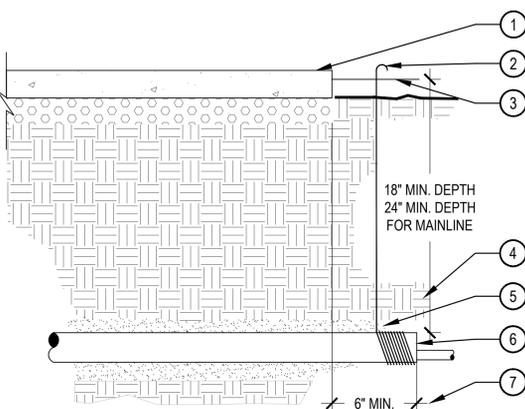


- 1 CONTROLLER MOUNT AT EYE-LEVEL PER MANUFACTURER'S RECOMMENDATIONS
- 2 DISCONNECT SWITCH
- 3 120 POWER SOURCE IN STEEL CONDUIT
- 4 WIRELESS SENSOR RECEIVER
- 5 BUILDING EXTERIOR WALL
- 6 RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES
- 7 FINISH GRADE
- 8 CONDUIT TO EXTEND 5 FT. BEYOND WALL
- 9 UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.

NOTE:
 1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 4. PROVIDE LOCK FOR ENCLOSURE.

WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS



NOTE:
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

IRRIGATION SLEEVE

SCALE: NTS

- 1 SUITABLE FASCIA, WALL, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN. IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN.
- 2 SOLAR SYNC WSS 500' MAX. FROM CONTROLLER

- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 2" CL 160 PVC ACCESS SLEEVE LENGTH AS REQUIRED.
- 4 GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 3/4" GRAVEL SUMP FILL IN AND AROUND BOX AS REQUIRED.
- 6 3" DEPTH 3/4" GRAVEL EXTEND 6" BEYOND EDGE OF BOX
- 7 PVC MAINLINE AS PER PLAN

- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE.
- 3 FINISH GRADE / TOP OF DG.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL.
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 6 PVC SLEEVE PER SCHEDULE. TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

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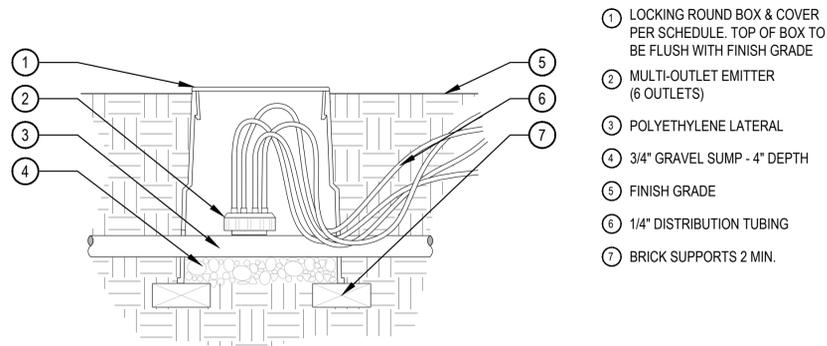
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 STANLEY19263@MSN.COM

DEVELOPMENT PLAN PACKAGE
DEVELOPMENT PLAN
 FOR
THE TUXON
 T14S R13E SECTION 14
 G&SRM
 TUCSON, ARIZONA
IRRIGATION DETAILS

NO.	REVISION	DATE	DRWN BY	DATE	JOB NO.
			J.R.G.	12/11/2018	
			J.A.S.		
			J.A.S.		

SCALE: H: 1"=20' V: N/A

10 OF 11

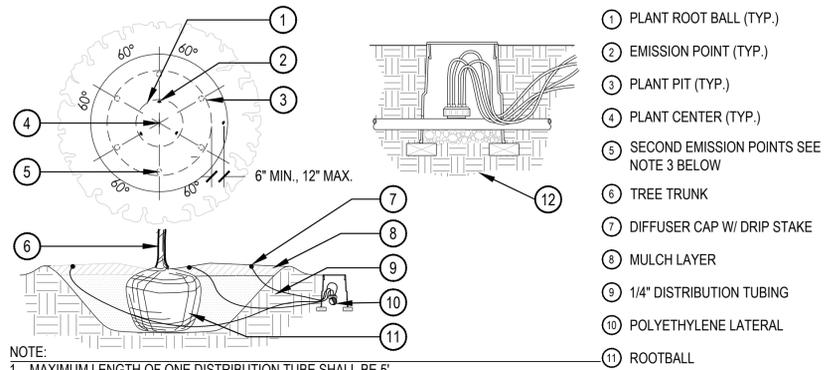


- ① LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ② MULTI-OUTLET EMITTER (6 OUTLETS)
- ③ POLYETHYLENE LATERAL
- ④ 3/4" GRAVEL SUMP - 4" DEPTH
- ⑤ FINISH GRADE
- ⑥ 1/4" DISTRIBUTION TUBING
- ⑦ BRICK SUPPORTS 2 MIN.

NOTE:
 1. MAXIMUM LENGTH OF ONE 1/4" DISTRIBUTION TUBE SHALL BE 8'.
 2. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 3. WHEN SLOPING CONDITIONS OCCUR PLACE EMITTERS ON UPHILL SIDE OF PLANT MATERIAL.
 4. DO NOT DISTURB ROOTBALL WITH THE INSTALLATION OF POLYETHYLENE DRIP TUBING OR DISTRIBUTION TUBING.

MULTI-OUTLET EMITTER

SCALE: NTS

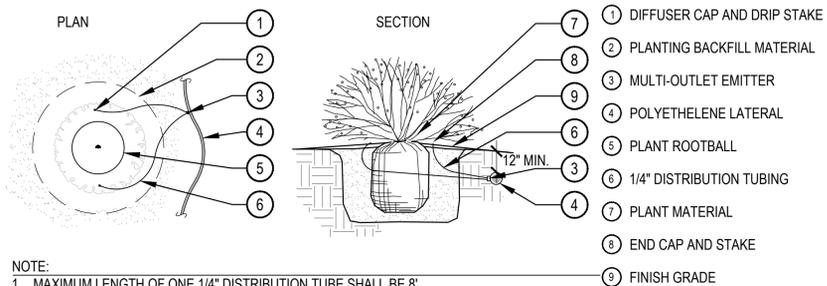


- ① PLANT ROOT BALL (TYP.)
- ② EMISSION POINT (TYP.)
- ③ PLANT PIT (TYP.)
- ④ PLANT CENTER (TYP.)
- ⑤ SECOND EMISSION POINTS SEE NOTE 3 BELOW
- ⑥ TREE TRUNK
- ⑦ DIFFUSER CAP W/ DRIP STAKE
- ⑧ MULCH LAYER
- ⑨ 1/4" DISTRIBUTION TUBING
- ⑩ POLYETHYLENE LATERAL
- ⑪ ROOTBALL
- ⑫ EMITTER INSIDE BOX

NOTE:
 1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 5'.
 2. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 3. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 10' OR GREATER IN HEIGHT.
 4. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

TREE EMITTER PLACEMENT

SCALE: NTS

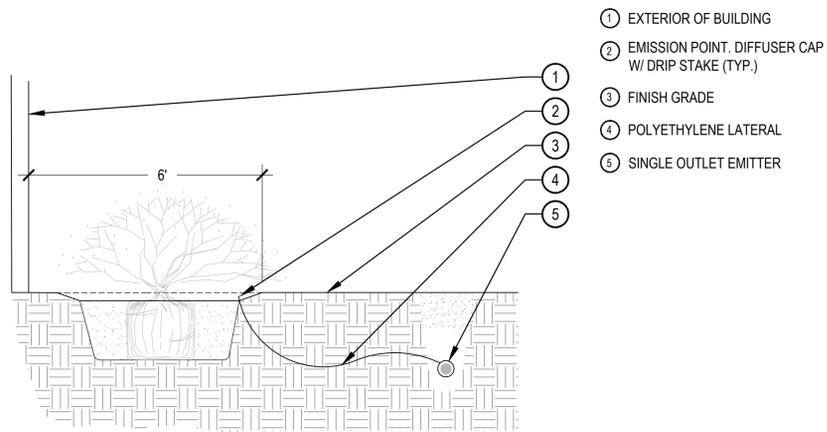


- ① DIFFUSER CAP AND DRIP STAKE
- ② PLANTING BACKFILL MATERIAL
- ③ MULTI-OUTLET EMITTER
- ④ POLYETHYLENE LATERAL
- ⑤ PLANT ROOTBALL
- ⑥ 1/4" DISTRIBUTION TUBING
- ⑦ PLANT MATERIAL
- ⑧ END CAP AND STAKE
- ⑨ FINISH GRADE

NOTE:
 1. MAXIMUM LENGTH OF ONE 1/4" DISTRIBUTION TUBE SHALL BE 8'.
 2. ONE EMITTER - ON TOP OF ROOTBALL. TWO EMITTERS- SPACE ON OPPOSING SIDES OF ROOT BALL. THREE OR MORE EMITTERS - SPACE EQUALLY AROUND EDGE OF ROOTBALL.
 3. FLUSH ALL LINES THOROUGHLY, INCLUDING EMITTER DISTRIBUTION TUBING PRIOR TO EMITTER INSTALLATION.
 4. IF PLANTING ON A 4:1 SLOPE OR STEEPER, INSTALL BOTH EMITTERS ON THE UPHILL SIDE OF ROOTBALL.
 5. EMITTERS SHALL BE SELF-FLUSHING PRESSURE COMPENSATING-TYPE UNLESS NOTED OTHERWISE WITHIN TECHNICAL SPECIFICATIONS.
 6. DRIP VALVE ZONES ARE DESIGNED TO ACCOUNT FOR DIFFERENCES IN PLANT REQUIREMENTS (HYDROZONES) AND SUN EXPOSURE.
 7. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

SHRUB EMITTER PLACEMENT

SCALE: NTS

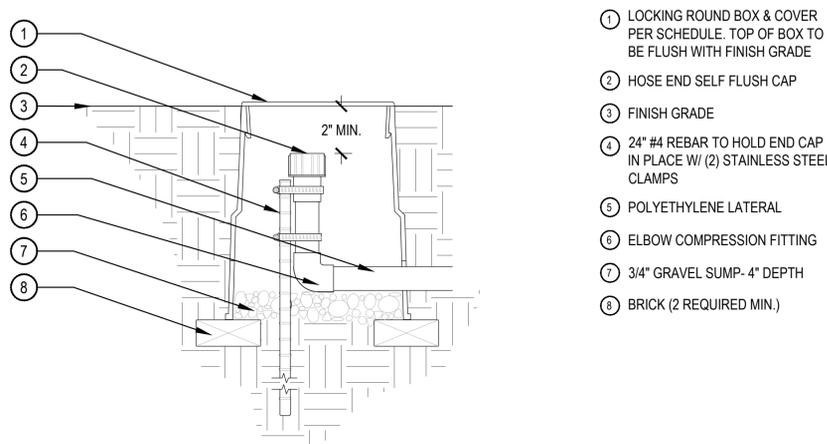


- ① EXTERIOR OF BUILDING
- ② EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
- ③ FINISH GRADE
- ④ POLYETHYLENE LATERAL
- ⑤ SINGLE OUTLET EMITTER

NOTE:
 1. ALL IRRIGATION TO BE A MINIMUM OF 6' FROM BUILDING, OR PER GEOTECH REPORT, WHICHEVER IS GREATER.

EMITTER PLACEMENT NEAR BUILDING

SCALE: NTS



- ① LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ② HOSE END SELF FLUSH CAP
- ③ FINISH GRADE
- ④ 24" #4 REBAR TO HOLD END CAP IN PLACE W/ (2) STAINLESS STEEL CLAMPS
- ⑤ POLYETHYLENE LATERAL
- ⑥ ELBOW COMPRESSION FITTING
- ⑦ 3/4" GRAVEL SUMP - 4" DEPTH
- ⑧ BRICK (2 REQUIRED MIN.)

NOTE:
 1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. SECURE STAKE TO FLUSH END CAP WITH A MINIMUM OF TWO STAINLESS STEEL WORM DRIVE CLAMPS.

DRIP FLUSH END CAP

SCALE: NTS



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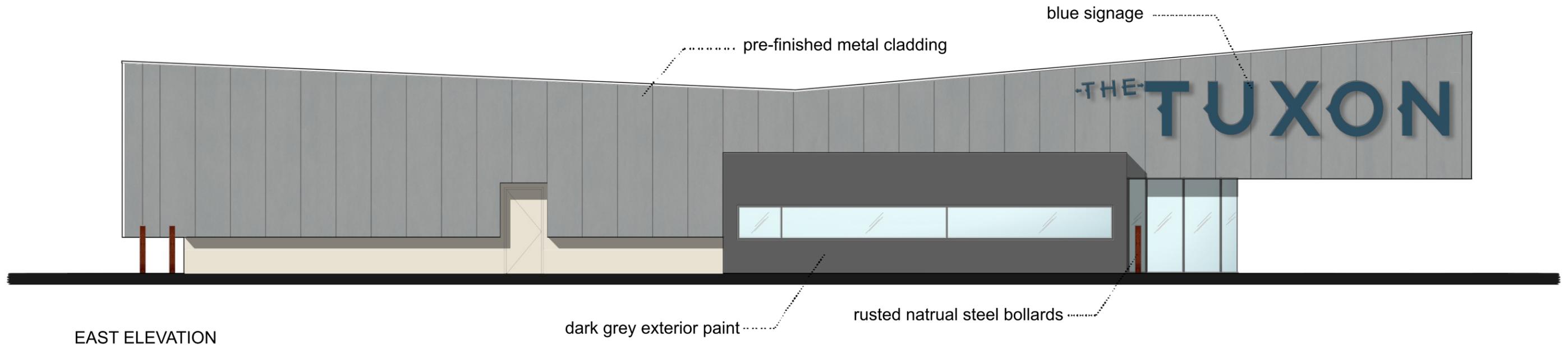
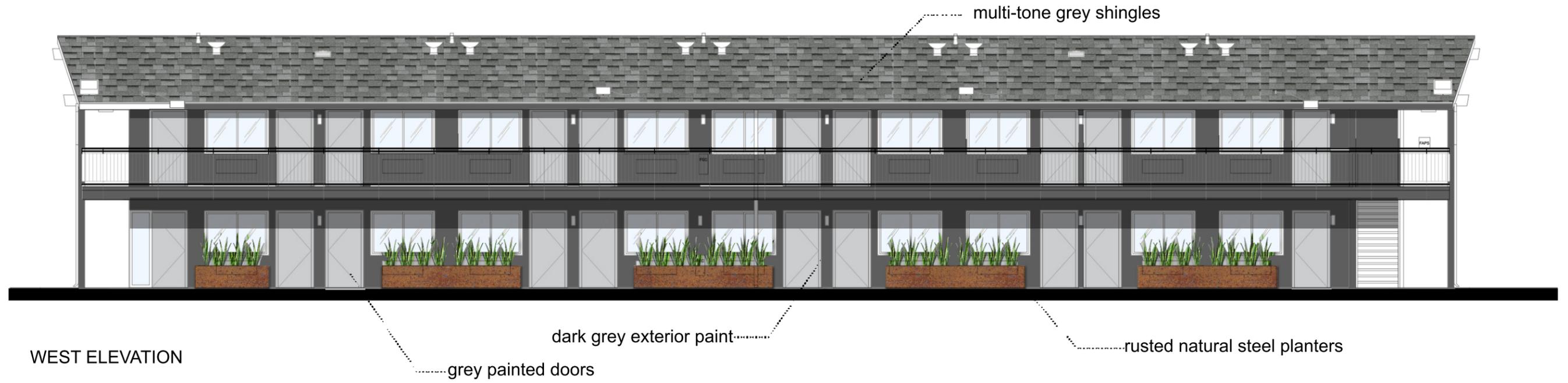
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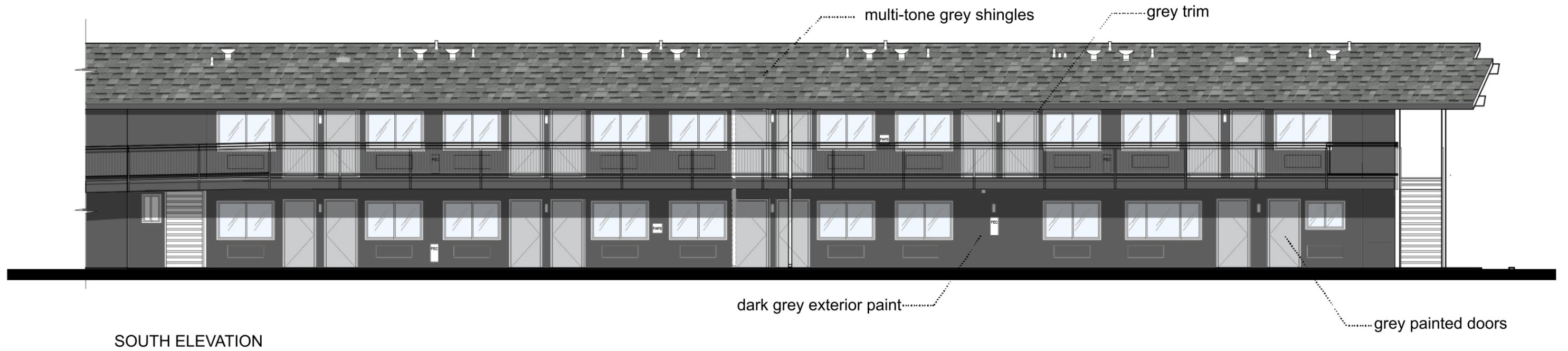
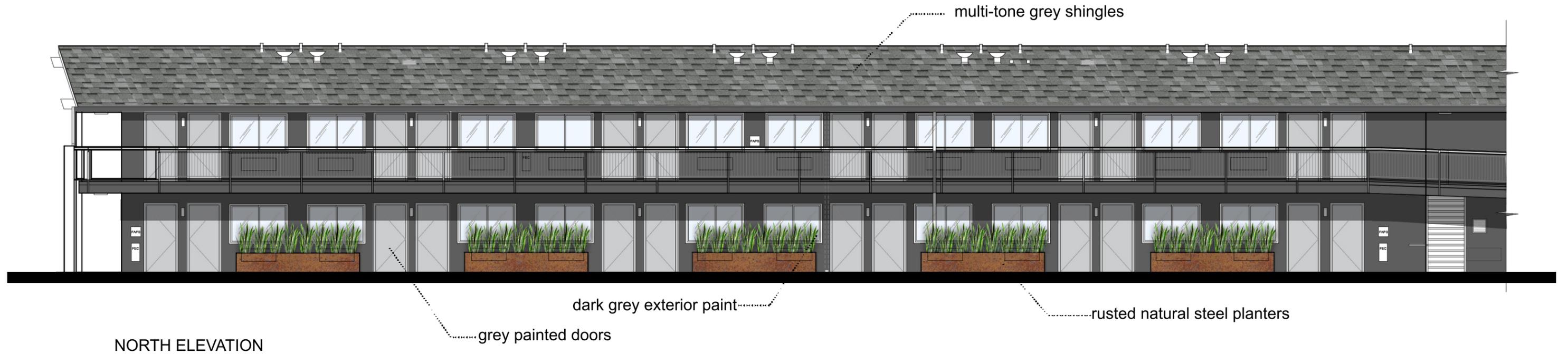
PUBLIC BUILDING EXTERIOR EAST
rendering

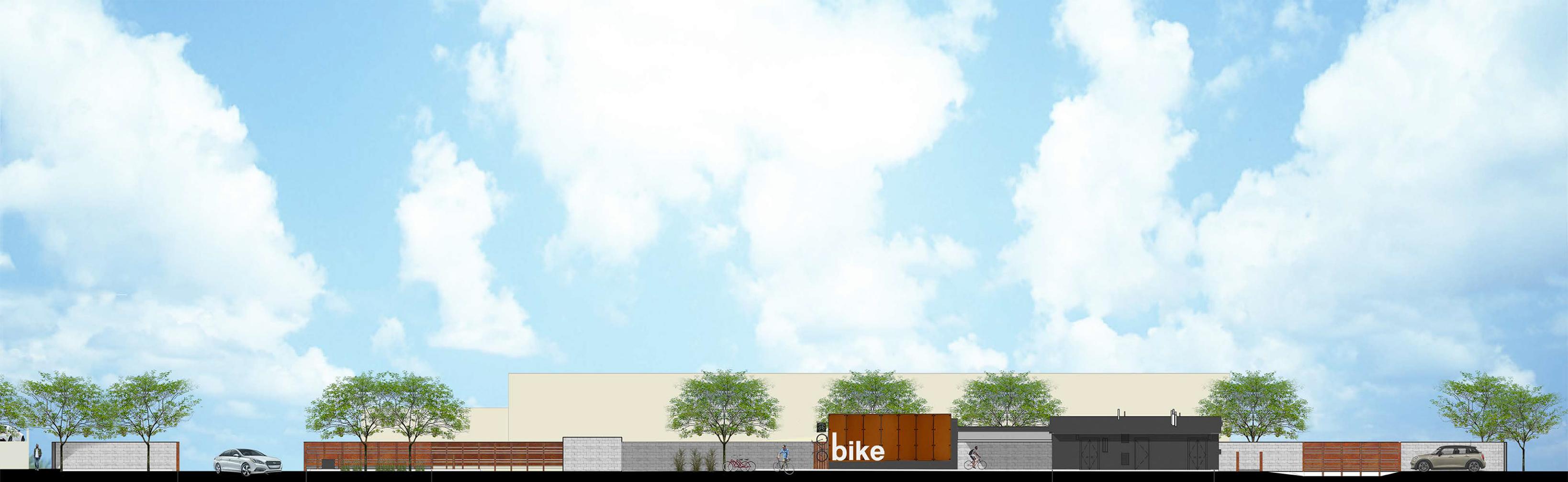
SVP Holdings LLC

FORS
architecture
+ interiors

245 E. Congress St.
Suite #135
Tucson, AZ 85701
520.795.9888







secondary exit/entry

automatic gate

existing service building

bike

THE
TUXON
a boutique urban hotel

south elevation of property line

RENDERING

SVP Holdings LLC

FORS
architecture
interiors
miguel@forsarchitecture.com
245 E. Congress St.
Suite #135
Tucson, AZ 85701
520.795.9888

MATERIAL SAMPLES



PAINTED CMU BLOCK



SANDSTONE



GLASS



RUSTED METAL



METAL



PAINTED STUCCO

Downtown Area Infill Incentive District (IID)

Supplemental Information

ORDINANCE No. 10710
ADOPTED September 9, 2009
ORDINANCE REVISIONS No. 10841
ADOPTED October 5, 2010
ORDINANCE REVISIONS No. 11246
ADOPTED February 18, 2015
APPLICATION UPDATED March 10, 2015

FREQUENTLY ASKED QUESTIONS

Q: What is the Downtown Area Infill Incentive District?

A: The Downtown Area Infill Incentive District (IID) is an overlay zone with a zoning option that allows certain development regulations to be modified and considered administratively in exchange for compliance with certain pedestrian- and transit-oriented design standards provided in Sec. 5.12.8.A (Streetscape Design Standards) and 5.12.8.B (Development Transition). The IID provisions are in Sec. 5.12 of the *Unified Development Code (UDC)*. A map of the district is provided on Compliance with the IID Plan is only required when an application is using the IID zoning option or when complying with the mandatory Rio Nuevo Area and applying the underlying zoning.

Q: What is the purpose of the IID?

A: The purpose of the IID is to facilitate and encourage sustainable infill development. The IID includes three subdistricts: the Greater Infill Incentive Subdistrict (GIIS), the Downtown Core Subdistrict (DCS), and the Downtown Links Subdistrict (DLS).

Q: What is the difference between the three subdistricts?

A: The DCS is located in and around the traditional downtown area. The DLS is located in and around the Downtown Links Roadway alignment. The GIIS surrounds the DCS & DLS and extends along major roadways that provide access to downtown. In general, the DCS is the least restrictive can be modified and the GIIS is the most restrictive. The DLS follows form-based code approach. The review and approval procedures for the three subdistricts are the same (refer to a Q&A below).

Q: What development regulations can be modified?

A: Examples of development regulations that may be modified include building height, perimeter yard, bicycle and vehicle parking, off-street loading, solid waste collection, and landscaping and screening. Specifically, the development regulations in *UDC* Article 6: Dimensional Standards and Measurements, and Article 7: Development Standards may be modified.

Q: To what extent can the regulations be modified?

A: In the GIIS, the regulations may be modified up to 25% with exceptions. Building height, street perimeter yard, parking, loading, solid waste collection and landscaping and screening, and pedestrian access regulations may be modified more than 25%. Refer to *UDC* Section 5.12.9 for specifics. Projects in the DCS are exempt from several regulations, unless public safety and health would be jeopardized. Refer to *UDC* Section 5.12.10 for specifics. Projects in the DLS are exempt from several regulations as specified in each area. Refer to *UDC* Section 5.12.11-.16 for specifics.

Q: Do the modifications come with any conditions?

A: Yes. In exchange for the modifications property owners must provide a pedestrian-oriented streetscape that addresses such objectives as pedestrian proximity to the building(s), pedestrian amenities, and shade for pedestrians.

Q: What is the review and approval procedure?

A: Requests for projects in the IID are processed using *UDC* Sections 5.12.8. Applicants are required to meet with surrounding property owners and neighborhood association representatives prior to submitting an application. After staff determines the application is complete, staff will process it, and will advise you of the decision within the required time frame. As applicable, additional reviews may be required, i.e., by the Design Review Committee, Plans Review Subcommittee of Tucson-Pima County Historical Commission, etc. Concurrently, there is a 20-day public comment period. Staff and other reviewers forward a

recommendation to the Director of Planning and Development Services, who decides whether to approve or deny a modification based on findings prescribed in the ordinance. Appeals to the Director's decision are considered by the Mayor and Council.

Q: What type of public notification is required for the IID Plan?

A: Public notification is required for the neighborhood meeting to be held prior to submittal of the IID application. For a major review, all property owners within 300 feet of the development site; all registered neighborhood associations within one (1) mile of the development site; and, affected Council Ward Offices are noticed. For a minor review, property owners within 50 feet of the development site and the registered neighborhood association for the area in which the development is located. Refer to Written Summary of Neighborhood Meeting listed below for specifics.

Q: How much are the fees?

A: The application fee is \$726 for projects in the IID. The fee includes mailing labels (\$220), administrative costs associated with processing the application and notice (\$16.50), and staff review (\$489).

Q: How do I proceed?

- A: You will need to know what regulations are proposed to be modified, and by how much.
1. Contact the appropriate staff member listed in the Zoning Administration Application table to schedule a pre-application meeting.
 2. Determine applicable procedures at the Pre-application meeting. As applicable, additional requirements may be requested, i.e., Modifications or Waiver of IID Plan Submittal Requirements, Alternative Compliance, Special Conditions determined by the PDS Director, etc.
 3. Submit a development package and obtain UDC compliance review comments from the 1st floor PDS staff. The comments for the project are generated by PDS staff after completing their review of the detailed development plan submitted for the project to ensure that all needed modifications are identified.
 4. Hold a neighborhood meeting.
 5. Once UDC compliance review comments and written summary of neighborhood meeting have been received contact design review staff to finish the minor or major review procedures.

For additional information, please contact the Planning & Development Services Department at (520) 791-5550.

MATERIAL INSTRUCTIONS

Refer to the Zoning Administration Application and use the following as supplemental information:

WRITTEN SUMMARY OF NEIGHBORHOOD MEETING:

Prior to filing an application for use of the IID zoning option, an applicant must hold a neighborhood meeting in compliance with the public notice procedures for neighborhood meetings in UDC Section 3.2.2. The meeting should be held at or near the project site, and in the evening or on a weekend, to encourage maximum attendance.

The meeting notice needs to include the following information:

- The time, date and location of the meeting;
- The location of the project site (a map attachment is helpful);
- A description of the proposed project;
- The purpose of the meeting (to provide information about proposed modification(s));
- The contact person, company, or official applicant's name and phone number; and,
- A statement indicating that comments on the proposed modification(s) may be submitted to the PDS Director.

The following need to be informed of the neighborhood meeting via a mailed notice:

For Major Design Review process, notice of the neighborhood meeting must be sent to all of the following:

- All property owners within 300 feet of the development site;
- All registered neighborhood associations within one mile of the development site; and,
- Affected Council Ward offices.

For Minor Design Review process, notice of the neighborhood meeting must be sent to all of the following:

- All property owners within 50 feet of the development site; and,
- Registered neighborhood association for the area in which the development is located.

Note: For the purposes of determining the notice area, any property abutting the plan amendment site and under the same ownership as the amendment site, and any abutting public right-of-way, is included as part of the site.

The meeting notice needs to be sent by first class mail so that the addressees receive the notice at least 10 days prior to when the meeting is held. The person responsible for mailing the notices must certify that the notice was mailed at an appropriate time to everyone on the mailing list (see attached Certification of Mailing). Documentation of the neighborhood meeting and the mailing certification must be submitted as part of the plan amendment application.

HOW TO GET THE MAILING LABELS: The City of Tucson Planning and Development Services Department will provide the mailing labels for a \$220 fee, made payable to the City of Tucson. This fee will be deducted from the IID application fee when the application is filed, if an acceptable application is submitted within 15 - 60 days after the neighborhood meeting. Please allow staff up to 5 working days to generate the mailing labels. The mailing must be done within 60 days after the date on which the labels were generated, to ensure that the mailing label information is current.

HOLDING THE NEIGHBORHOOD MEETING: The applicant is responsible for all aspects of the neighborhood meeting, including arranging a meeting location, generating a meeting notice, obtaining mailing labels and mailing the notice, certifying that the notice was mailed, preparing any exhibits needed for the meeting, conducting the meeting, taking notes and providing a meeting summary, providing documentation of the

meeting, and providing a brief discussion of any project changes made in response to comments received at the neighborhood meeting.

Sign-In Sheet: The applicant is responsible for providing a sign-in sheet, and obtaining the names of everyone who attends the meeting. It is helpful (but not necessary) for attendees to provide their respective addresses and affiliations/interests. A copy of the sign-in sheet must be submitted with the application.

Information to be Provided at the Meeting: In general, the information provided at the meeting is the same as that listed on the meeting notice, however, the meeting offers an opportunity for the applicant to meet the neighbors; provide additional information, such as the specific modifications to regulations that are being requested, and why; answer any questions the neighbors may have, and respond to concerns. Maps and plans should be provided at the meeting. The applicant should address any questions about the proposal to the best of his/her ability. He/she should also take notes in order to prepare a meeting summary, which needs to be submitted with the application. Copies of any maps, drawings or handouts provided at the meeting also need to be submitted with the application. The neighborhood meeting is important because it may set the tone for the rest of the review process.

DOCUMENTATION OF THE NEIGHBORHOOD MEETING

1. The applicant must prepare a written summary of the meeting. A copy of the written summary of the meeting must be provided to the liaison 7 to 10 working days after the neighborhood meeting was held and filed with PDSB at the time of filing the development application for a project. The applicant must provide the following documentation in the written summary of the neighborhood meeting:
 - a. A copy of the meeting notice that was mailed;
 - b. A copy of the mailing list used;
 - c. A Certification of Mailing statement (see the attached);
 - d. A sign-in sheet indicating who attended the meeting;
 - e. A meeting summary;
 - f. A copy of any maps, drawings, or written information provided at the neighborhood meeting; and,
 - g. Any changes made based on comments received at the neighborhood meeting.
2. The applicant will also send a copy of the written summary to a Neighborhood Liaison appointed by the registered neighborhood association for the area in which the project site is located.
3. The Neighborhood Liaison or any property owner within the notice area may file with the PDSB Director a statement of concurrence or dissent with the accuracy of the applicant's written summary of the meeting. If a dissent is filed, it must state the exact reasons for the dissent.
4. The applicant will send periodic project updates to the Neighborhood Liaison in accordance with PDSB Neighborhood Liaison Policy.

PROJECT DESCRIPTION OUTLINING SCOPE OF WORK :

1. State the applicant's intention to use the IID zoning option in lieu of existing underlying zoning.
2. Describe how is the project is consistent with the IID purpose to create sustainable infill development.
3. Describe the benefits the project will bring to the adjacent properties and the surrounding area.

4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent property.
5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Design Standards (UDC Sec. 5.12.8.A).
6. Describe how the project will support a safe streetscape coordinated with adjoining properties.
7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC Sec. 5.12.8.B).
8. Indicate whether the project will significantly impede solar energy options to adjacent properties.
9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.

For any IID Plan that involves a reduction in parking, the applicant must:

1. Demonstrate how the proposed reduced off-street motor vehicle parking will not have an adverse impact on adjacent properties.
2. Demonstrate how traffic generated by the off-street motor vehicle parking proposed in the application does not burden neighboring residential streets.

SITE PLAN AND ELEVATION DRAWING INSTRUCTIONS, for IID Design Review Package:

1. *Site Plan* – Project site plan shall be drawn to scale, dimensioned, and provide a north arrow prepared in accordance to Section 2-06.0.0;
2. *Building Elevations* – North, south, west and east sides in their final state as approved. Building elevations shall be drawn to scale, dimensioned, and provide a north arrow;
3. *Building Height and Massing* – Show the building height and elevations showing all sides, the bulk reduction, and the projections and recessions of the building;
4. *Fenestration Pattern* – By elevations show the approved window locations, their color and any other general description information;
5. *Building Materials* – Materials used on the building elevations, the colors, and the brand of the materials. May include brick, stucco, metals and other types of materials;
6. *Building Colors* – The location of the colors by elevation, their names and brands;
7. *Special Architectural Features* – Features may include balconies, extended roofs, unique projections or recessions, special landscaping on the building and other similar features not covered by one of the elements above;
8. *Streetscapes* – Landscaping plan, shading plan, pavement colors, furniture and lighting structures. These exhibits shall be in conformance with the most current City of Tucson Streetscape Design Manual or Policy;

Please note additional application materials may be required at the time of your meeting with staff.



CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on _____,
(date of mailing)

for the neighborhood meeting to be held on _____.
(date of neighborhood meeting)

(signature of applicant/applicant's agent)

(date signed)

Documentation if available (such as receipt)

Date:
08 April 2019

To:
María Gayosso, Lead Planner
City of Tucson Planning & Development Services Department

From:
John McColgin
FORS Architecture

Re:
iid : IID-19-02 - The Tuxon - 960 S Freeway

Dear Maria,
the following is an iid written communication and response letter.
Please do not hesitate to contact me with questions or comments.

iid neighborhood meeting

Held: 02 April 2019

We received no written comments

Comment cards were available

Comment cards were verbally requested in the meeting

Community Liaison:

Ms. Josefina Cardenas has volunteered to be the Community Liaison:
josefina.cardenas.jc@gmail.com

List of drawings presented in the meeting:

- Rendered Site Plan (presented on an easel)
- Rendered New Building Elevation (presented on an easel)
- Rendered Hotel Room interior elevation (presented on an easel)
- Rendered new Building Floor Plan (pinned to wall)
- Rendered Bike Shack elevation (pinned to wall)
- Arial photographs of the site, and the sites transition over time (pinned to wall)
- Representations of local artists work, depicting Barrio Kroeger Lane (pinned to wall)
- DP site plan (on sign-in table)
- DP landscape plan (on sign-in table)

Other meeting items:

- Sign-in sheet (on table at entry and passed around at the meeting)
- Blank comment cards (requested during the presentation, none received)
- Meeting agenda leaflets (on sign in table, adjacent to cookies)

Other items Related items:

- Invitation and announcement of the meeting
- Certified mailing, United States Post Office, Firm Mailing Book for Accountable Mail

iid Pre-Meeting Requested Comments:

5.12.8. GENERAL IID ZONING OPTION DESIGN STANDARDS

An iid plan under the iid zoning option design standards must demonstrate compliance with the following: A. Streetscape Design Streetscape design must comply with the street design standards in the Technical Manual and the Streetscape Design Policy. 1. Pedestrian-orientation Projects shall be pedestrian-oriented and comply with all of the following standards:

5.12.8.a.1.a New construction shall have architectural elements/details at the first two floor levels the new "Welcome Building"

- **Hotel Drop-Off**
 - Scale feature: New stone wall (stone veneer)
 - rough cut stone will provide scale, stone measurable understandable scale for pedestrians
 - Instagram moment
 - original art work mural inset in stone veneer wall – have met with Local Artist Joe Pagac about creating a unique Tucson, Barrio Kroeger Lane moment. Hotel guests will be able to sit on a stone bench or stand on the bench with the mural in the background to capture a travel Instagram moment
- **North elevation, glass / glazing system**
 - West face of new Welcome Building
 - Lobby opens to north; the wall is glass allowing Tucson north light to filter in. The harsh West summer sun is blocked by the new stone wall and the existing mass of the hotel.
 - The doors in the glass wall provide scale
 - the furniture and activity in the lobby is visible through the glass
 - West face of new Welcome Building
 - This elevation faces the swimming pool
 - There is exterior dining
 - There is a bar this an overhead glass sectional door
 - the bar face is encaustic tile to add to scale
 - There is a sliding glass (5 section) door that opens between the outdoor and indoor dining rooms blurring the distention between interior and exterior.
 - There are exterior ceiling fans above the outdoor dining room
 - The glass is shaded by a large overhanging roof (a 14'-0" wide cantilevered roof)

5.12.8.a.1.b Visible Activity on the Ground Floor

- The new building has a 254-foot-long perimeter, approximately 154 feet of this length is a glazing system. This is about 60% of the building perimeter. This exceeds the 50% requirement.
- Glazing system; functions like Lobby, Bar, Dining Room behind glazing

5.12.8.a.1.c A single plane of façade shall be no longer than fifty feet without architectural detail

- The new building is approximately only 2,570 sq.ft.
- There is no wall longer than 50 feet without an architectural detail
 - Entrance is placed facing north, we wanted a glass wall for maximum transparency
 - the Glass wall is protected from harsh west summer sun by a new stone wall and the existing building mass of the hotel building

- The glass wall is protected from East summer sun by an overhanging roof. Sun / Shade studies were completed modeling the sun.
- Wayfinding made possible using architectural elements, rather than pedestrian height signs. Even those people that are unfamiliar with the new “Welcome Building” (newly arriving guests) will be easily be able to locate the front door and access to the building without signage.
- Signage will be provided in the parking lot for those arriving by car, so that they may easily navigate the distance from the street to the check-in drop-off in their car.
- There is an existing concrete retaining wall that is between 8 and 9 feet high along the freeway edge of the site. The sidewalk runs along the base of the freeway wall.
 - The new metal fence along the sidewalk is decorative. It has broad horizontal metal pieces of varying heights. The components of the fence are scaled to pedestrians.
 - There are decorative slats / gaps in the metal that allows visual access through the metal fence so that activities taking place on the sidewalk are visible. We do not want to create a “Canyon of Despair” encouraging urban campers to take up residence along the freeway retaining wall or provide a screen for nefarious activities. In the neighborhood meeting this point was address and then reinforced during the question and answer period. (No screens for “ladies of the night”.)
 - The fence has a gate connecting the sidewalk to the property, however, there has been feedback from the neighborhood that transients access the neighborhood by cutting through the hotel property and access the neighborhood unseen. Therefore, this gate will have security.
 - The freeway access road has a “feel” that is more associated with the Freeway, rather than the neighborhood. The hotel is not directly accessible from the Freeway Access road, due to the large change in elevation.
 - The signage and scale along this façade is sized for vehicular travelers.

5.12.8.a.1.d Front doors shall be visible or identifiable from the street and visually highlighted by graphics, lighting, or similar features

- This is a Hotel; the front door is easily recognizable from the Check-In Drop off. The Lobby desk is clearly visible through the front glazing

5.12.8.a.1.e Uses, such as Commercial Services or Retail Trade uses that encourage street level pedestrian activity are preferred on the first floor of a structure of a multistory building

- This is a Hotel; the New building is a one-story structure. It houses Lobby, Check-In, Coffee bar, Dining and their support functions.

5.12.8.a.1.f *Construction and maintenance of sidewalks must be done in compliance with the City's Streetscape Design Policy. Existing sidewalk widths shall be maintained so as to provide effective, accessible, connectivity to adjoining properties. Sidewalks may be widened to accommodate a project's design characteristics. Where no sidewalks exist, sidewalks shall be provided. Outdoor seating and dining areas and landscaping may be located in the sidewalk area where safe and effective sidewalk width around the design feature can be provided.*

- The Development plan illustrates this scope of work
 - The sidewalk along 19th street is being extended the full length of the property
 - It will match the width of the existing sidewalk; there is a small section of existing sidewalk at the east edge of the site. The sidewalk ends at a COT sign. The sign will be relocated adjacent to the edge of the existing sidewalk.
- The sidewalk along 20th street is being added. It is 5'-0" wide. It matches the width of the existing small strip at the extreme east edge of the side.
- Trees and landscaping elements are being added between the sidewalk and the new site wall
- A new site wall is being added to screen the hotel parking lot from the neighborhood

5.12.8.a.1.g *to the extent practicable, bus pull-outs shall be provided where bus stops are currently located*

- There are currently no bus routes down 19th or 20th streets in Barrio Kroeger Lane. The bus can be accessed by the pedestrian underpass to 10th avenue or walking up to Cushing Street to access the Street Car. There is also a bus stop at the corner of Cushing Street and the Freeway Access Road.

5.12.8.a.1.h *If drive-through service is proposed, it shall not interfere with pedestrian access to the site from the right-of-way.*

- There is no drive through service existing or being proposed

5.12.8.a.2 Shade

5.12.8.a.2.a *Except as provided below, shade shall be provided for at least 50% of all sidewalks and pedestrian access paths as measured at 2:00 p.m. on June 21 when the sun is 82 degrees above the horizon. Shade may be provided by trees, arcades, canopies, or shade structures provided their location and design characteristics are compatible with the historic and design context of the street and the architectural integrity of the building. The use of plantings and shade structures in the City right-of-way is permitted to meet this standard with the approval of the Transportation Department. The shade provided by a building may serve to meet this standard.*

- Trees are being provided along both 19th and 20th streets
 - 19th street – as shown on the DP more than 50% of the sidewalk will be shaded
 - six "Desert Museum" Palo Verde, 24" box
 - three "Rio Salado" Mesquite, 24" box
 - There are existing overhead powerlines on 19th, the trees will have to be coordinated with the lines and the power poles.
 - A six-foot-high masonry screen wall is being added to screen the parked cars from the sidewalk and the neighborhood.
 - 20th Street
 - two "Rio Salado" Mesquite, 24" box
 - Three "Desert Museum" Palo Verde, 24" box
 - Three Red Rock Oak, 24" box
 - There are existing overhead powerline on 20th Street, the tree locations will have to be coordinated with the line and power poles.
 - The existing chain link fence is being replaced with a combination of masonry screen walls and decorative metal fencing. The vehicular entrance on 20th street

will be receiving a new gate. There will be a knox box for fire department access through the gate

- Freeway access road
 - There is an existing eight to nine-foot-high concrete freeway retaining wall along the entire east edge of the site. The road is higher the upper level of the hotel.
 - We are proposing decorative metal fencing along the existing sidewalk.
 - There is existing freeway hardscape / concrete along this edge associated with the retaining wall and its subsurface drainage.
 - We are proposing potted agaves or totem cactus in 3'-0" diameter pots. We are proposing ten pots.

UCD section 5.12.9

5.12.9. GREATER INFILL INCENTIVE SUBDISTRICT (GIIS) A. GIIS Land Uses In the GIIS, a proposed development project using the IID zoning option must meet both of following requirements:

- 1. It must be a use permitted by the underlying zoning on the property.*
- 2. It is limited to the uses listed in Table 5.12-GIIS-1 below.*

#1 above:

Existing Zoning C-2

Table 4.8.4 Permitted Uses: C-2 – Travelers Accommodation, Lodging “P” – permitted use

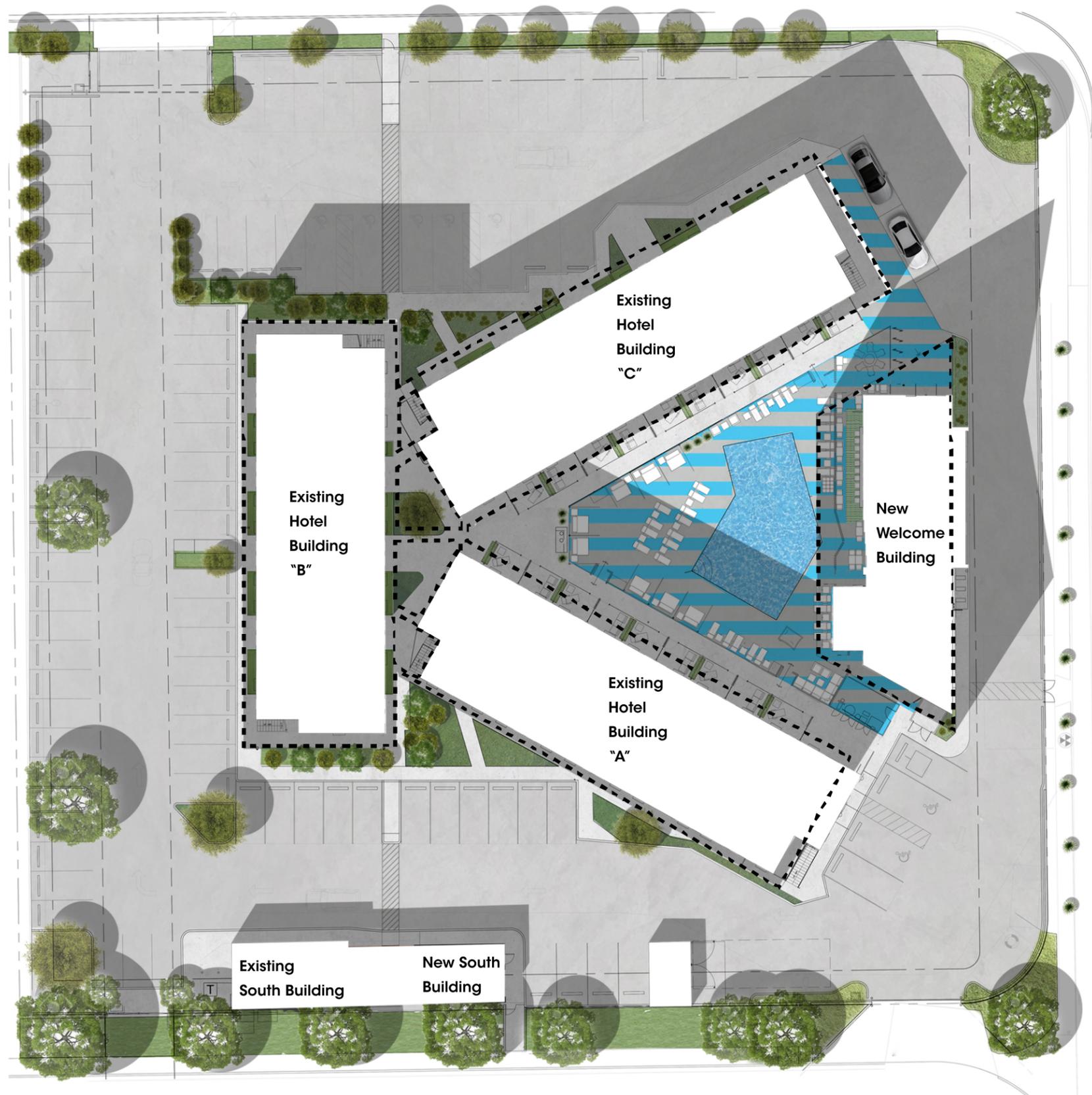
Therefore okay

#2 above:

TABLE 5.12-GIIS-1 LAND USE: TABLE 5.12-GIIS-1 LAND USE:

Commercial Services Group: Travelers’ Accommodation, Lodging

Therefore Okay



Existing Trees (Living): 2

New Trees Proposed In Development Plan: 23

New Trees Inside Perimeter of Hotel (3' DIA. Canopy Lollipop Trees- Blue Palo Verde): 31

Total Trees: 56

Existing Hotel Buildings

"A" Size: 4,824 sq ft
Shared Overhang: 1,348 sq ft

"B" Size: 4,246 sq ft
Shared Overhang: 1,494 sq ft

"C" Size: 5,086 sq ft
Shared Overhang: 1,426 sq ft

Percentage: 30%

New Shaded Area Pool Cabana: 614 sq ft

South Building

Existing Size: 650 sq ft
Existing Shaded Overhang: 0 sq ft

New Addition: 447 sq ft
New Shaded Overhang: 271 sq ft

Percentage: 24%

New Welcome Building

Size: 2,579 sq ft
Shaded Overhang: 1,505 sq ft

Percentage: 58%





