

5.12.11 DOWNTOWN LINKS SUBDISTRICT

FIGURE 5.12-DLS-A

MAP OF DOWNTOWN LINKS DISTRICT



LEGEND

- 1. Toole Avenue Area
- 2. Warehouse Triangle Area
- 3. 4th Avenue Area
- 4. Iron Horse Area
- 5. Stone/Sixth Street Area
- Downtown Links Subdistrict
- Downtown Links Roadway (Under Construction)

SCALE: 1" = 1000'



NORTH



A. DLS Areas and Sub-Areas

The DLS is divided into the following Areas:

- 1. Toole Avenue Area (TAA)**
 - a. Toole Avenue Sub-Area (TAS)**
 - b. UA Annex Sub-Area (UAS)**
 - c. El Presidio Sub-Area (EPS)**
- 2. Warehouse Triangle Area (WTA)**
- 3. Fourth Avenue Area (FAA)**
 - a. Fourth Avenue Historic Sub-Area (FHS)**
 - b. Fourth Avenue Sub-Area (FAS)**
- 4. Iron Horse Area (IHA)**
 - a. Iron Horse Mixed Use Sub-Area (IHA-MS)**
 - b. Iron Horse Low Density Residential Sub-Area (IHA-RS)**
- 5. Stone/Sixth Area (SSA)**
 - a. Stone Sub-Area (STS)**
 - b. Sixth Street Sub-Area (SSS)**

B. Required Use and Development Standards and Notations

- 1. Required use and development standards in the DLS Sub-Areas are set forth in the Tables and Diagrams for each DLS Area. Uses that are similar in nature and intensity as those listed may be permitted by Special Exception through the procedures for Special Exceptions in Section 4.3.1, provided the PDSD Director finds the proposed use to be in accordance with Section 5.12.1, Purpose.**
- 2. The numbers in the Tables following a use or a standard correspond to the specific requirements of that use or standard (see Tables in each Sub-Area)**
- 3. The letters in the Tables correspond to the letters in the Diagrams in each Sub-Area.**
- 4. All illustrations and Figures used in the DLS are not regulatory and are included only for illustrative purposes.**

C. Permitted Uses for all Areas and Sub-areas in the DLS

Permitted land uses under the DLS zoning option are shown in Table 5.12-DLS-1 for each DLS Area; Use Specific Standards for Table 5.12-DLS-1 are listed below.

- 1. In the UAS all land uses must comply with the standards as set forth in the I-1 underlying zoning except that residential uses for C-3 zoning are also allowed. Automotive service uses are not permitted.**

2. Uses similar in nature and intensity to the uses permitted in the DLS may be permitted as a Special Exception land use pursuant to the Special Exception Process under 3.4.2 recommendation.

TABLE 5.12-DLS-1									
PERMITTED USES									
LAND USE TYPE	PERMITTED USES IN THE FOLLOWING DLS AREAS								
-	TAS	UAS	EPS	WTA	FAA	IHA-MS	IHA-RS	STS	SSS
COMMERCIAL SERVICES GROUP									
<u>Administrative and Professional Offices</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P (1)</u>	-	<u>P</u>	<u>P</u>
<u>Alcoholic Beverage Sale including a microbrewery as an accessory use to this group</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P (1)</u>	-	<u>P</u>	<u>P</u>
<u>Animal Services</u>	<u>P (2)</u>	<u>P (2)</u>	<u>P (2)</u>	<u>P (2)</u>	<u>P (2)</u>	<u>P (2)</u>	-	<u>P (2)</u>	<u>P (2)</u>
<u>Commercial Recreation</u>	<u>P (3)</u>	<u>P (3)</u>	<u>P (3)</u>	<u>P (3)</u>	<u>P (3)</u>	-	-	<u>P (3)</u>	<u>P (3)</u>
<u>Day Care</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P (1)</u>	-	<u>P</u>	<u>P</u>
<u>Entertainment</u>	<u>P (3)</u>	<u>P (3, 4)</u>	<u>P (3, 4)</u>	<u>P (3, 4)</u>	<u>P (3, 4)</u>	-	-	<u>P (3, 4)</u>	<u>P (3, 4)</u>
<u>Financial Services</u>	<u>P (5, 6)</u>	<u>P (5, 6)</u>	<u>P (5, 6)</u>	<u>P (5, 6)</u>	<u>P (5, 6)</u>	<u>P (1, 5, 6)</u>	-	<u>P (1, 5, 6)</u>	<u>P (5, 6)</u>
<u>Food Service</u>	<u>P (7, 8)</u>	<u>P (7, 8)</u>	<u>P (7, 8)</u>	<u>P (7, 8)</u>	<u>P (7, 8)</u>	<u>P (1, 7, 8)</u>	-	<u>P (1, 7, 8)</u>	<u>P (7, 8)</u>
<u>Medical Services - Outpatient</u>	<u>P (9)</u>	<u>P (9)</u>	<u>P (9)</u>	<u>P (9)</u>	<u>P (9)</u>	<u>P (9)</u>	-	<u>P (9)</u>	<u>P (9)</u>
<u>Parking</u>	<u>P</u>	<u>P (12)</u>	<u>P (12)</u>	<u>P (12)</u>	-	-	-	<u>P</u>	<u>P (12)</u>
<u>Personal Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P (1)</u>	-	<u>P</u>	<u>P</u>
<u>Research and Product Development</u>	<u>P (10)</u>	<u>P (10)</u>	<u>P (10)</u>	<u>P (10)</u>	<u>P (10)</u>	<u>P</u>	-	<u>P (10)</u>	<u>P (10)</u>
<u>Technical Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>	<u>P</u>
<u>Trade Service and Repair- Minor</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P (1)</u>	-	<u>P</u>	<u>P</u>
<u>Transportation Service- Land Carrier</u>	<u>P (11)</u>	<u>P (11)</u>	<u>P (11)</u>	<u>P (11)</u>	<u>P (11)</u>	-	-	<u>P (11)</u>	<u>P (11)</u>
<u>Travelers Accommodations, Lodging</u>	<u>P (13)</u>	<u>P (13)</u>	<u>P (13)</u>	<u>P (13)</u>	<u>P (13)</u>	<u>P (1, 13, 14)</u>	-	<u>P (13)</u>	<u>P (13)</u>
RETAIL USE GROUP									
<u>Food and Beverage Sales</u>	<u>P (5)</u>	<u>P (5)</u>	<u>P (5)</u>	<u>P (5)</u>	<u>P (5)</u>	<u>P (1, 5, 18)</u>	-	<u>P (5)</u>	<u>P (5)</u>
<u>General Merchandise Sales</u>	<u>P (5, 15, 16, 17)</u>	<u>P (5, 15, 16, 17)</u>	<u>P (5, 15, 16, 17)</u>	<u>P (5, 15, 16, 17)</u>	<u>P (5, 15, 16, 17)</u>	<u>P (1, 5, 15, 16, 17)</u>	-	<u>P (5, 15, 16, 17)</u>	<u>P (5, 15, 16, 17)</u>
<u>Vehicle Rental</u>	<u>P (12)</u>	<u>P (12)</u>	<u>P (12)</u>	<u>P (12)</u>	<u>P (12)</u>	-	-	<u>P (12)</u>	<u>P (12)</u>

TABLE 5.12-DLS-1									
PERMITTED USES									
LAND USE TYPE	PERMITTED USES IN THE FOLLOWING DLS AREAS								
-	TAS	UAS	EPS	WTA	FAA	IHA-MS	IHA-RS	STS	SSS
CIVIC USE GROUP									
<u>Civic Assembly</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	<u>P</u>	<u>P</u>
<u>Cultural Use</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	<u>P</u>	<u>P</u>
<u>Educational Uses Postsecondary Institution or Instructional School</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>	<u>P</u>
<u>Membership Organization</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	-	<u>P</u>	<u>P</u>
<u>Postal Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Religious Use</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Protective Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	-	<u>P</u>	<u>P</u>
RECREATIONAL USE GROUP									
<u>Parks and Recreation</u>	<u>P (3)</u>	<u>P (3)</u>	-	<u>P (3)</u>	<u>P (3)</u>	<u>P (20)</u>	<u>P (20)</u>	<u>P (3)</u>	<u>P (3)</u>
RESIDENTIAL USE GROUP									
<u>Family Dwelling</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P</u>	<u>P (28)</u>	<u>P (28)</u>
<u>Group Dwelling</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	<u>P (28)</u>	-	-	<u>P (28)</u>	<u>P (28)</u>
<u>Artist Studio/Res.</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>	<u>P (19)</u>
<u>Residential Care Services- Adult Care Service or Physical or Behavioral Health</u>	<u>P (21,23)</u>	<u>P (21,23)</u>	<u>P (21,23)</u>	<u>P (21,23)</u>	<u>P (21,23)</u>	<u>P (21, 23)</u>	-	<u>P (21,23)</u>	<u>P (21,23)</u>
<u>Residential Care Services/ Rehabilitation Services</u>	<u>P (22)</u>	<u>P (22, 23)</u>	<u>P (22, 23)</u>	<u>P (22, 23)</u>	<u>P (22, 23)</u>	<u>P (1, 22, 23)</u>	-	<u>P (22, 23)</u>	<u>P (22, 23)</u>
<u>Home Occupation</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>	<u>P (24)</u>
INDUSTRIAL GROUP									
<u>Craftwork</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>General Manufacturing</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P(25)</u>	<u>P (25)</u>			<u>P (25)</u>	<u>P (25)</u>
<u>Perishable Goods Manufacturing - Microbrewery</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P (1)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Precision Manufacturing</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>			<u>P (25)</u>	<u>P (25)</u>
<u>Primary Manufacturing</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>	<u>P (25)</u>			<u>P (25)</u>	<u>P (25)</u>
<u>Salvaging or Recycling</u>	<u>P (27)</u>	<u>P (27)</u>	<u>P (27)</u>	<u>P (27)</u>	<u>P (27)</u>			<u>P (27)</u>	<u>P (27)</u>

D. Use Specific Standards for Table 5.12-DLS-1.

1. Permitted only on Ninth Street in the IHA-MS. Permitted only in Stone Avenue in STS.
2. The use must be entirely contained in the interior of the building and is not permitted in any yard or patio.
3. Large recreational facilities of more than 25,000 sq. ft. of floor area (including gross floor area and any outside areas providing service to the public) are not allowed.
4. Circuses, carnivals, or tent shows are not allowed.
5. Drive-through services are not allowed.
6. Non-chartered financial institution facilities, such as payday loan facilities are not allowed.
7. Drive-in and drive-through restaurants are not allowed.
8. Soup kitchens are not allowed.
9. Blood donor centers are not allowed.
10. Only scientific, non-industrial type of research and development is allowed.
11. The use is limited to public transit stops.
12. No surface parking lots. Vehicle parking must be located in a structure.
13. Hotels may not provide individual room access from the exterior of the building.
14. Limited to Bed & Breakfast only. Permitted for up to 20 guests for a maximum of 14 days. No more than 20 sleeping rooms may be used by guests. Meals may be served only to guests staying at the facility. Separate cooking facilities in guest rooms are prohibited.
15. Display or storage of fertilizer, manure, or other odorous material is not allowed.
16. Gas stations are not allowed.
17. Motor vehicle sales are not allowed.
18. No alcoholic beverage sales.
19. Adequate measures required to assure the health, safety and welfare of the occupants or adjacent residents' property in relation to any industrial process, use or storage. Additionally, appropriate building code occupancy separation must be ensured. On-site sale of the artists' products, including occasional shows of the artist' works are permitted secondary uses.
20. Limited to Neighborhood Parks Recreation. In addition to Chapter 5, Section 601-603, Tucson Outdoor Lighting Code, any outdoor lighting associated with the use must be located and directed to eliminate glare toward streets and adjoining residential areas.
21. Care is permitted for a maximum of 20 residents.

22. Care is permitted for a maximum of 10 residents.
23. If licensing is required by the state of Arizona for the use, proof of such licensure must be provided.
24. Permitted as an accessory use to a Family Dwelling, excluding Day Care and Traveler's Accommodation Lodging. The use may not create any nuisance, hazard or other offensive condition, such as that resulting from noise, smoke, dust, odors or other noxious emissions.
25. Permitted as an accessory use to the Commercial Services and Retail use groups, and limited to 50% of the gross floor area.
26. Limited to baked goods and confectionary products manufacturing.
27. Permitted as an accessory land use to religious, commercial services, retail trade use groups and educational use. Salvaging and recycling is limited to recycling collection bins and to empty household product containers, such as, but not limited to, aluminum cans, glass and plastic bottles, and newspaper.
28. For Family Dwelling uses, only Multifamily Dwelling Developments are allowed.
29. Group Dwellings that meet the IID definition for that term in Section 11.4.8 G require Mayor and Council approval pursuant to Section 3.4.4 Mayor and Council Special Exception Procedure if the group dwelling development site is located within 300 feet or less of a detached single family dwelling.

M. Downtown Links Roadway

Development under the Downtown Links Sub district portion or the UDC is prohibited within the right-of-way of the future downtown links roadway project. Preliminary location of future right-of-way is depicted on sub area maps.

H. Historic Preservation

The maps included in this document attempt to show the "contributing" or "eligible" properties from information available as of June 2014. It is the responsibility of each applicant for this zoning option to verify the current eligibility status of the property in question with the City of Tucson Office of Historic Preservation.

E. Loading, Solid Waste, Landscaping and Screening for all Areas and Sub-areas in the DLS.

Loading and solid waste collection and landscaping and screening requirements in the all DLS Areas and Sub-areas provided in Table 5.12-DLS-2.

TABLE 5.12-DLS-2	
LOADING AND SOLID WASTE	USE SPECIFIC STANDARDS
<u>Loading requirements must comply with Section 7.4 et seq. for the land use group or class. (1)</u>	1. <u>Off-street loading zone standards may be reduced or waived if the Dept. of Transportation determines that no traffic safety issue is created.</u> 2. <u>On-site refuse collection container requirements governing access, type, and location may be modified if the Environmental Services Dept. determines that no public health or traffic safety issues are created. Group solutions (multiple site, multiple owners) to refuse collection are encouraged.</u>
<u>Solid waste collection requirements must comply with COT Administrative Manual Section 8.01 et seq. for solid waste. (2)</u>	
LANDSCAPING AND SCREENING	
<u>A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSD Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers in accordance Section 5.12.6.A.2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalk is allowed if no safety hazard is created. All pedestrian access must conform to the accessibility standards of the City of Tucson's Building Code.</u>	

F. Solar Exposure.

Solar Exposure standards for all Sub districts in the DLS provided in Table 5.12-DLS-3

TABLE 5.12-DLS-3									
SOLAR EXPOSURE	SPECIFIC REQUIREMENTS								
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;"><u>Maximum Glass on East and West</u></td> <td style="text-align: center;"><u>50% of Façade</u></td> </tr> <tr> <td><u>Minimum shade on East and West glass (1)</u></td> <td style="text-align: center;"><u>50%</u></td> </tr> <tr> <td><u>Maximum glass on North and South</u></td> <td style="text-align: center;"><u>Unlimited</u></td> </tr> <tr> <td><u>Minimum shade on North and South glass</u></td> <td style="text-align: center;"><u>0%</u></td> </tr> </table>	<u>Maximum Glass on East and West</u>	<u>50% of Façade</u>	<u>Minimum shade on East and West glass (1)</u>	<u>50%</u>	<u>Maximum glass on North and South</u>	<u>Unlimited</u>	<u>Minimum shade on North and South glass</u>	<u>0%</u>	1. <u>Percentage of glass must be shaded between 10 A.M. and 3 P.M. between May through October</u>
<u>Maximum Glass on East and West</u>	<u>50% of Façade</u>								
<u>Minimum shade on East and West glass (1)</u>	<u>50%</u>								
<u>Maximum glass on North and South</u>	<u>Unlimited</u>								
<u>Minimum shade on North and South glass</u>	<u>0%</u>								

I. Building Massing Standards in the WTA, STS and SSS

Building massing standards in the Warehouse Triangle Area, Figure 5.12-DLS-C, the Stone Sub area and the Sixth Street Sub area, Figures 5.12-DLS-D Table 4.12.DLS-4 below. Building massing standards for Toole Ave. Sub area, U of A Annex Sub area, El Presidio Sub area, the El Presidio Sub area and the Fourth Avenue Sub area are shown in their respective separate sections.

FIGURE 5.12.DLS-C

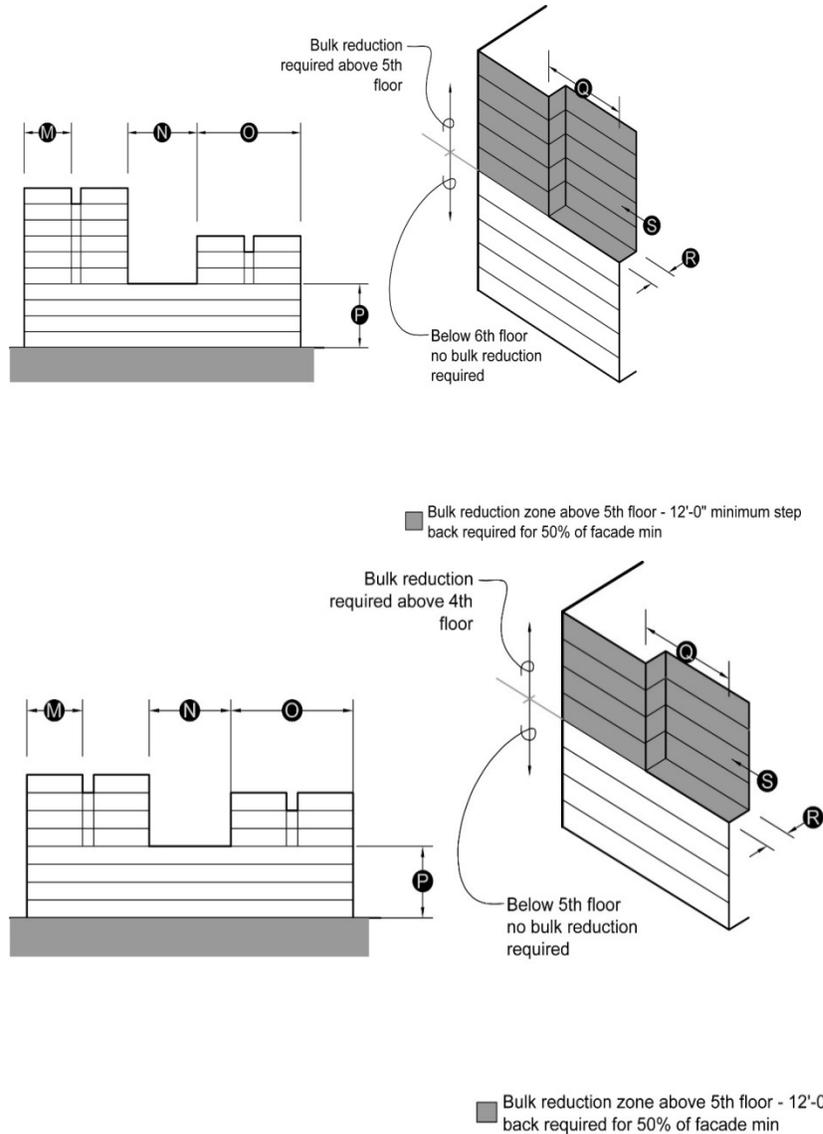


TABLE 5.12-DLS-C

TABLE 5.12-DLS-4		
BUILDING MASSING STANDARDS		SPECIFIC REQUIREMENTS
Articulation	-	
Maximum unbroken building mass (1)	50 Ft. Max.	M
View Corridors	-	
Mid-Rise Façade (2)	25% of Façade Min.	N
High Rise Façade (3)	150 Linear Ft. Unbroken Max.	O
Mid-Rise Height	50 Ft. Max or 4 Stories	P
Build Reduction (High Rise)	-	
Bulk Reduction Setback (4)	12 Ft. Min.	R
Bulk Reduction Required Area	50% of Façade Min.	Q
Bulk Reduction Zone	Required above 6th Floor in the WHA	S
-	Required above the 5 th Floor in the SSA and SSS th	-
-		-

1. Any building over 50 Ft. wide must be broken down to read as a series of buildings no wider than 50 Ft. (M) and should include a variety of facades.

2. To preserve view corridors, a minimum of 25% of the façade must be set aside as mid-rise (N), and the mid-rise façade may not exceed 4 stories or 50 Ft. (P) in height. On corner lots this requirement applies to one street only

3. High-rise facades of more than 150 continuous linear feet (O) must be broken by a mid-rise façade (N) not to exceed 4 stories or 50 Ft. (P) in height as shown in Figure above.

4. A step-back bulk reduction area a minimum of 12 ft. in depth (R) is required for at least 50% of the façade (Q). Bulk reduction is required above the fourth floor (S). See figures above.

5.12.8. TOOLE AVENUE AREA (TAS)

Toole Avenue Sub-Area

The intent of this zone is to allow for and encourage development of northern Toole Avenue as per the Historic Warehouse Arts District Master plan. Incentives offered under the Downtown Core Sub district of the infill incentive zone such as exemptions from MS&R setback, perimeter yards, lot coverage, floor area ratio, parking and landscape screening requirements are included under this zone. Additionally, multifamily residential development (not currently allowed in the underlying I-1 zone) shall be permitted.



UA Annex Sub-Area (UAS)

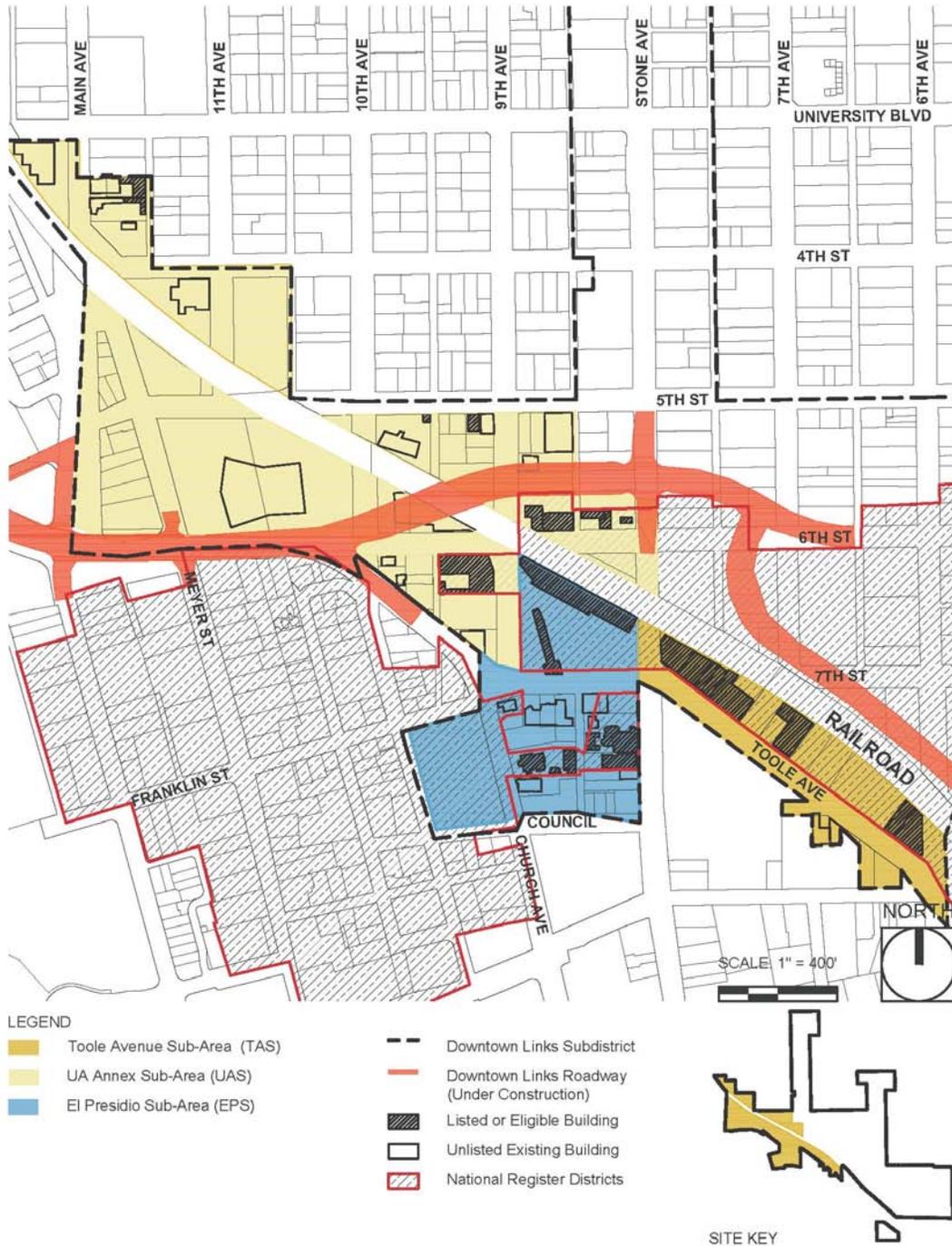
The intent of this zone is to allow for multifamily residential uses in areas that are within the underlying UDC I-1 zoning, as well as to allow for parking incentives.

El Presidio Sub-Area

The intent of the El Presidio Area is to encourage development within the sensitive historic neighborhood of El Presidio. Specific building heights and setbacks have been mapped out to encourage density within the historic context. Other incentives include reductions in required parking, lot coverage and floor area ratios.



FIGURE 5.12-TAA-A
MAP OF TOOLE AVENUE AREA AND SUB-AREAS



A. Toole Avenue Sub-Area (TAS)

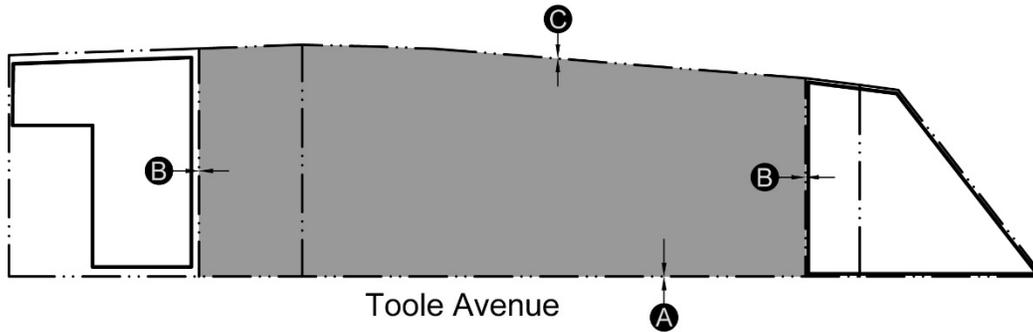
1. Standards

Figure 5.12-TAA-A shows the boundaries of the TAA and its sub-areas. Toole Avenue Sub-Area zoning regulations contained herein may be used in lieu of underlying zoning.

2. Building Placement

Building placement and setback requirements in the TAS are as shown in Figure 5.12-TAS-A and Table 5.12-TAS-1.

FIGURE 5.12-TAS-A



Key
 ——— Property Line ■ Allowable Building Area
 - - - Build-to Line

TABLE 5.12-UAS-1

UA ANNEX SUB-AREA STANDARDS

BUILDING PLACEMENT STANDARDS

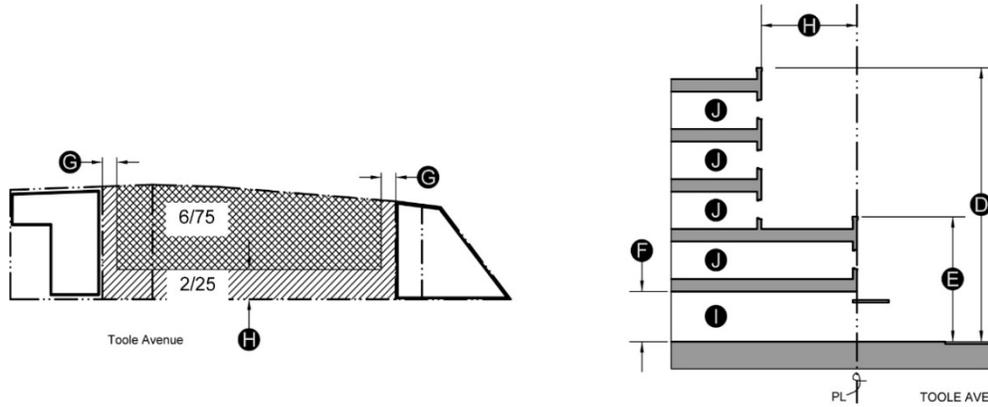
SPECIFIC REQUIREMENTS

Build to Line (Distance from Property Line) (1)	-	-	<u>1. At Build to Lines, 75% of the new building frontage must be located at or near these lines. Build to Requirements apply when shown and only when the new building footprint exceeds 25% of site area. The Build to Line is to help define an urban street edge.</u>
<u>Street Side</u>	<u>0 Ft.</u>	<u>A</u>	
Setback (Distance from Property Line)	-	-	
<u>Side Yard</u>	<u>0 Ft.</u>	<u>B</u>	
<u>Rear Yard</u>	<u>0 Ft.</u>	<u>C</u>	-

1. Building Heights, Floor Uses

Building height and floor use requirements in the TAS are as shown in Figure 5.12-TAS-B and Table 5.12-TAS-2.

FIGURE 5.12-TAS-B



Plan

Key

- Property Line
- Building Height Setbacks
- ▨ Mid-Rise Zone
- ▩ Low-Rise Zone

Street Frontage Section

Key

- Property Line
- Build-to Line
- Building Height Setbacks

TABLE 5.12-TAS-2

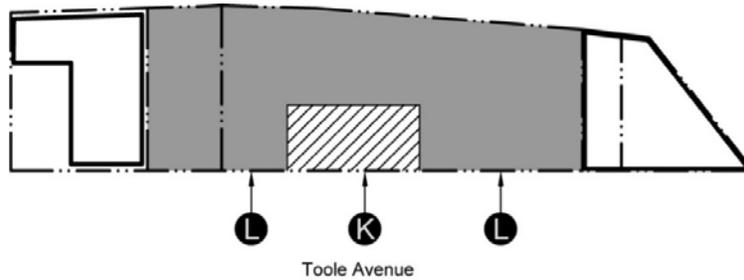
TOOLE AVENUE SUB-AREA STANDARDS

BUILDING HEIGHT STANDARDS		SPECIFIC REQUIREMENTS
Mid-Rise Building Height (I)	Six stories with a maximum height of 75 feet.	1. Mid-Rise building height is 6 Stories or 75 Ft. (D) from the midrise setbacks (G, H). 2. All new construction shall have scale-defining architectural elements or details at first two levels. 3. A single plane of façade at the street level may not be longer than 50 Ft. without architectural relief or articulation such as windows, trellises and arcades. 4. Street level activity is achieved by providing a mix of commercial, retail, office and residential uses at street level 5. First floor level to be differentiated in form from upper levels.
Low-Rise Building Height	Two stories with a maximum height of 25 feet	
First Floor Ceiling	12 Ft. Min Clearance	
Building Height Setbacks (distance from property line)	-	
Mid-Rise Side Yard Setback	20 Ft.	
Mid-Rise Street Side Setback	40 Ft.	
FLOOR USES		
Ground Floor (2,3,4,5)	Commercial Services or Retail Trade Uses that encourage street level activity are preferred, but office or residential uses may be used if the uses meet the street level activity goal.	
Upper Floors	Residential or Commercial Services	

3. Lot Coverage, Open Space, Pedestrian Access

Lot Coverage, Open Space and Pedestrian Access requirements in the TAS are as shown in Figure 5.12-TAS-C and Table 5.12-TAS-3.

FIGURE 5.12.2-TAS-C



Plan

Key

- — — Property Line
- · — · — Build-to Line
- Building Footprint (Example Only)
- ▨ Open Space (Example Only)

TABLE 5.12-TAS-3

TOOLE AVENUE SUB-AREA STANDARDS

OPEN SPACE STANDARDS		SPECIFIC REQUIREMENTS
Lot Coverage	-	1. Lot Coverage the area of a site covered by buildings, storage areas and vehicular use areas.
Maximum Lot Coverage (1)	100%	-
Open Space	-	2. Usable open space does not need to be located on the ground - green roof or terrace is acceptable
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft./DU or 20% of Lot Area (7)	-
-	-	3. Usable open space may be any combination of private and common space.
Open Space Non-Residential (2,3,4)	Min. of 30% of Lot Area	-
Minimum Landscape Area	50% of Open Space (8)	-
Pedestrian Access (5)	-	4. Parking may not be counted as open space.
Pedestrian Access to Open Space	Required	5. Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structures or vegetation.
Main Entrance Location (6)	Primary Street (Toole Ave.)	6. Main entrance locations shall be directly accessed from a sidewalk along a street rather than from a parking lot.
-	-	7. Open space at multi-dwelling units is 30 Sq. Ft. per dwelling unit or 20% of lot area, whichever is greater.
-	-	8. Minimum landscape requirement applies only to common area open space.

4. Building Massing Standards

Building Massing Standards in the TAS are as shown in Figure 5.12-TAS-D and Table 5.12-TAS-4. The Building Massing Standards apply to all Sub-area in the Toole Ave. Area

FIGURE 5.12-TAS-D

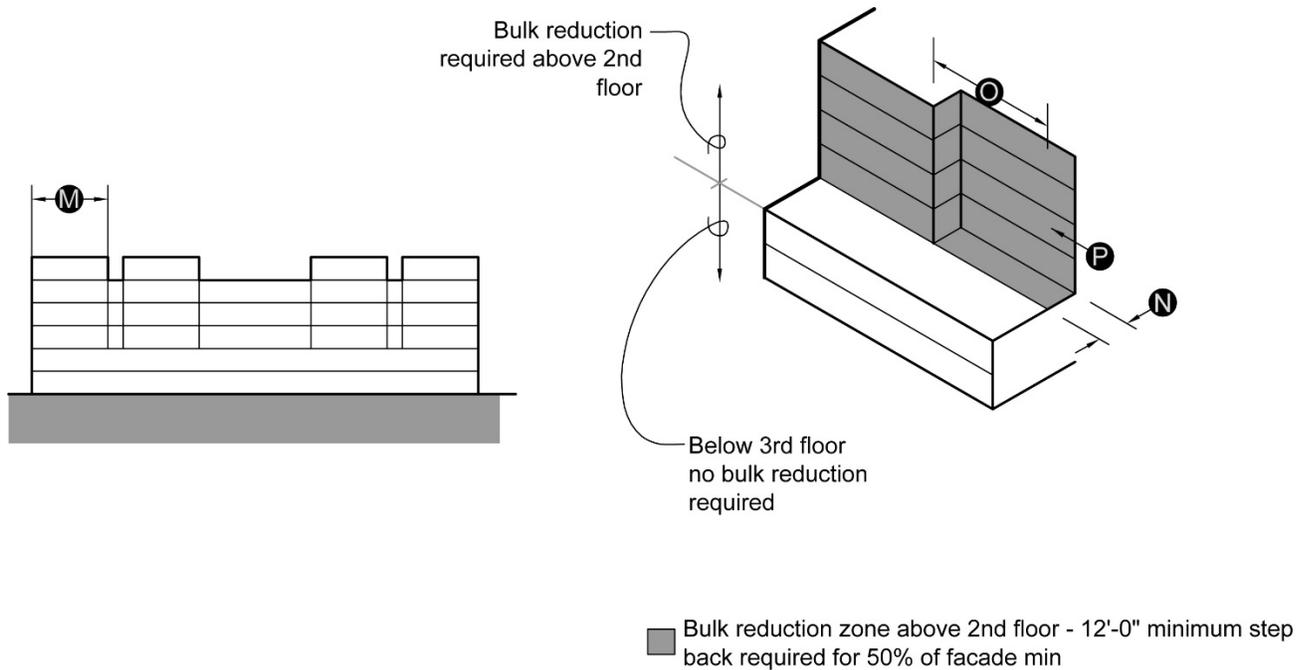


TABLE 5.12-TAS-4

TOOLE AVENUE SUB-AREA STANDARDS

BUILDING MASSING STANDARDS		SPECIFIC REQUIREMENTS
Articulation	-	1. Any building over 50 Ft. wide must be broken down to read as a series of buildings no wider than 50 Ft. And should include a variety of facades. (M)
Maximum unbroken building mass (1)	50 Ft. Max.	
Bulk Reduction (Mid Rise)	-	2. A step-back bulk reduction area a minimum of 12 ft. in depth (N) is required for at least 50% of the façade (O). No bulk reduction is required below the third floor. See figures above.
Bulk Reduction Setback (2)	12 Ft. Min.	
Bulk Reduction Required Area	50% of Façade	
Bulk Reduction Zone	Required Above Second Floor	

5. Parking Standards

Parking requirements in the TAS are as shown in Figure 5.12-TAS-E and Table 5.12-TAS-5.

FIGURE 5.12-TAS-E

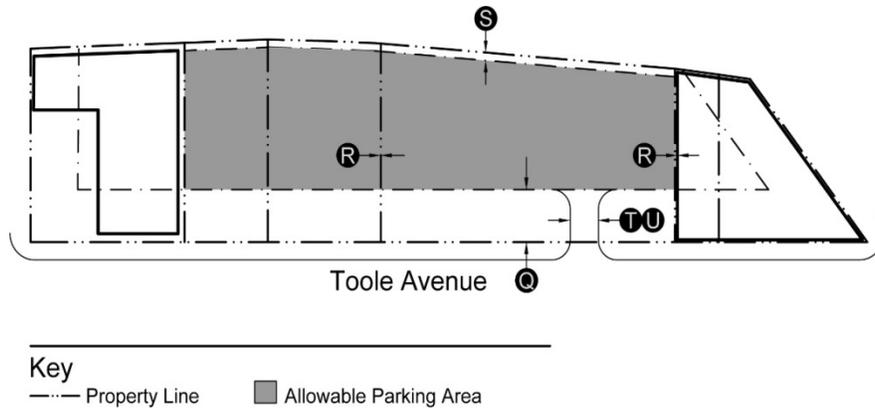


TABLE 5.12-TAS-5		
TOOLE AVENUE SUB-AREA STANDARDS		
PARKING		SPECIFIC REQUIREMENTS
Location (Distance from Property Line)		1. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit and parking must be unbundled from residential lease or sale. Further reduction in on-site parking can be achieved by leased spaces from an off-site location, or an on-site car-share program. 2. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required prior to modification pursuant this section. 3. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces. 4. Parking access lanes are limited to one drive per street.
Street Setback	20 Ft. Q	
Side Setback	0 Ft. R	
Rear Setback	5 Ft. S	
Required Spaces		
Off-street (1)	Non-residential= 0 Residential = 1/DU	
Accessible (2,3)	Compliance with the accessible parking requirements in the in the Building Code for the proposed uses.	
Bicycle Facilities (2)	Must be provided if vehicle parking is required, bases on the number of vehicle spaces provided.	
Parking Area Access Lanes		
Maximum Allowable Drive Width	24 Ft. T	
Parking Access Lanes	One Drive Per Street (4) U	

C. UA Annex Sub-Area (UAS)

1. Standards.

Figure 5.12-TAA-A shows the boundaries of the TAA and its sub areas. Zoning option standards for the UAS may be used in lieu of underlying UDC zoning.

2. Residential Density

Within the UAS the maximum permitted residential density is 100 DU/AC, regardless of commercial use.

3. Building Placement

Building placement requirements in the UAS are as shown in Figure 5.12-UAS-A and Table 5.12-UAS-1.

FIGURE 5.12-UAS-A

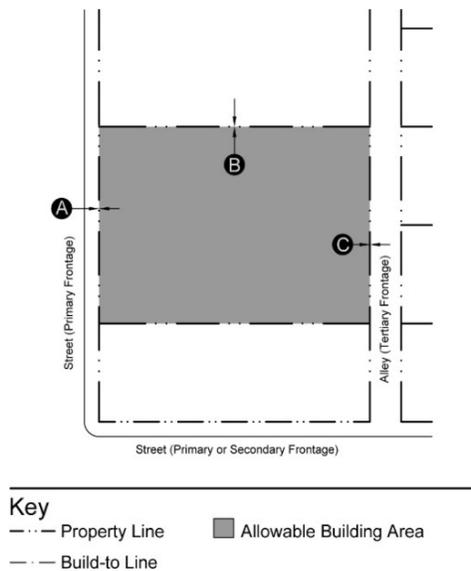


TABLE 5.12-UAS-1

UA ANNEX SUB-AREA STANDARDS

BUILDING PLACEMENT STANDARDS		SPECIFIC REQUIREMENTS
Build to Line (Distance from Property Line) (1)	-	1. The Build-to-Line refers to the shaded area shown in Figure 5.12-UAS-A. At Build to Lines, 75% of the new building frontage must be located at or near these lines. Build to Requirements apply when shown and only when the new building footprint exceeds 25% of site area. The Build to Line is to help define an urban street edge.
Street Side	0 Ft. A	
Setback (Distance from Property Line)	-	
Side Yard	0 Ft. B	
Rear Yard	0 Ft. C	
		-

4. Building Height, Floor Uses

Building height and floor use requirements in the UAS are as shown in Figure 5.12-UAS-B and Table 5.12-UAS-2.

FIGURE 5.12-UAS-B

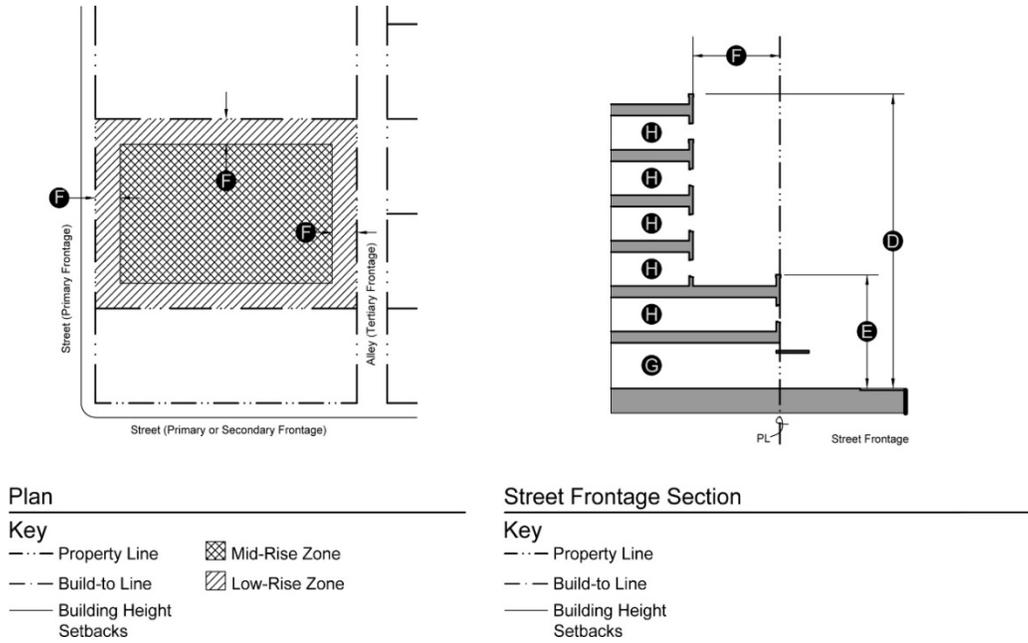


TABLE 5.12-UAS-2

UA ANNEX SUB-AREA STANDARDS

BUILDING HEIGHT STANDARDS

<u>Mid-Rise Building Height (1)</u>	<u>75 Ft. Maximum or 6 Stories</u>	<u>D</u>
<u>Low-Rise Building Height</u>	<u>25 Ft. Maximum or 2 Stories</u>	<u>E</u>
<u>Building Height Setbacks (distance from property line)</u>	-	-
<u>Mid-Rise Side Setback</u>	<u>20 Ft.</u>	<u>F</u>

FLOOR USES

<u>Ground Floor (2,3,4,5)</u>	<u>Commercial Services or Retail Trade Uses that encourage street level activity are preferred, but office, retail and residential uses may be used if the use satisfies the street level activity goal</u>	<u>G</u>
<u>Upper Floors</u>	<u>Residential or Commercial Services</u>	<u>H</u>
-	-	-
-	-	-

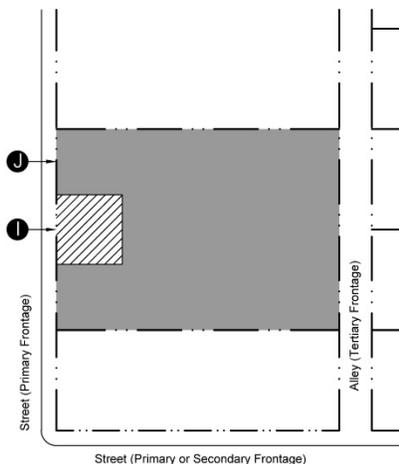
SPECIFIC REQUIREMENTS

1. Mid-Rise building height is 6 Stories or 75 Ft. (D) from the midrise setback (F).
2. All new construction shall have scale-defining architectural elements or details at first two levels.
3. A single plane of façade at the street level may not be longer than 50 Ft. without architectural relief or articulation such as windows, trellises and arcades.
4. Street-level activity is achieved by providing a mix of commercial, retail, residential and office uses at street level.
5. First floor level to be differentiated in form from upper levels.

5. Lot Coverage, Open Space, Pedestrian Access

Lot Coverage, open space and pedestrian access requirements in the UAS are as shown in Figure 5.12-UAS-C and Table 5.12-UAS-3.

FIGURE 5.12-UAS-C



Key
 - - - - Property Line ■ Building Footprint (Example Only)
 — — — Build-to Line ▨ Open Space

TABLE 5.12-UAS-3		
UA ANNEX SUB-AREA STANDARDS		
OPEN SPACE STANDARDS		SPECIFIC REQUIREMENTS
Lot Coverage		1. Covered by impervious surfaces such as, but not limited to buildings, drives, or parking.
Maximum Lot Coverage (1)	100%	
Open Space		2. Usable open space does not need to be located on the ground - green roof or terrace is acceptable
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft./DU or 30% of Lot Area (5)	
-	-	3. Usable open space may be any combination of private and common space.
Open Space Non-Residential (2,3,4)	Min. of 30% of Lot Area	
Minimum Landscape Area	50% of Open Space (7)	4. Parking may not be counted as open space.
Pedestrian Access		
Pedestrian Access to Open Space	Required	5. Open space at multi-dwelling units is 30 Sq. Ft. per dwelling unit or 30% of lot area, whichever is greater.
Main Entrance Location (6)	Primary or Secondary Street	
-	-	6. Main entrance locations shall be directly accessed from a sidewalk along a street rather than from a parking lot.
-	-	
-	-	7. Minimum landscape requirement applies only to common area open space.

6. Building Massing

Building massing requirements in the UAS are as shown in Figure 5.12-UAS-D and Table 5.12-UAS-4.

FIGURE 5.12-UAS-D

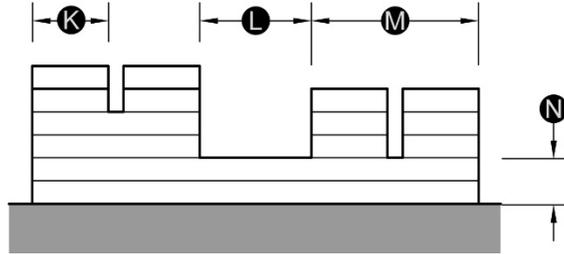


TABLE 5.12-UAS-4

UA ANNEX SUB-AREA STANDARDS

BUILDING MASSING STANDARDS		SPECIFIC REQUIREMENTS
Articulation	-	-
Maximum unbroken building mass (1)	<u>50 Ft. Max.</u>	K
View Corridors	-	-
Low-Rise Façade (2)	<u>25% of Façade Min.</u>	L
Mid-Rise Façade (3)	<u>150 Linear Ft. Unbroken Max.</u>	M
Low-Rise Height	<u>25 Ft. Max or 2 Stories</u>	N
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

1. Any building over 50 Ft. wide must be broken down to read as a series of buildings no wider than 50 Ft. (M) and should include a variety of façades.

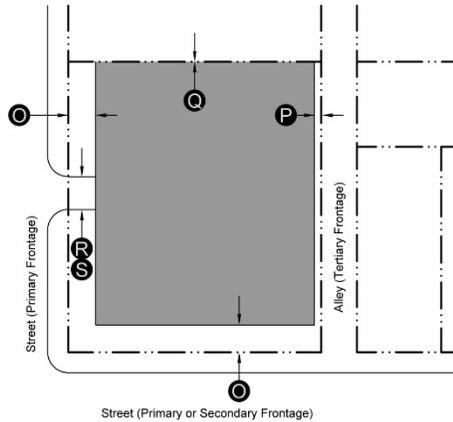
2. To preserve view corridors, a minimum of 25% of the façade must be set aside as mid-rise (N), and the mid-rise façade may not exceed 4 stories or 50 Ft. (P) in height. On corner lots this requirement applies to one street only.

3. High-rise façades of more than 150 continuous linear feet (O) must be broken by a mid-rise façade (N) not to exceed 4 stories or 50 Ft. (P) in height as shown in Figure above.

7. Parking Standards

Parking Standards in the UAS are as shown in Figure 5.12-UAS-E and Table 5.12-UAS-5 may be used in lieu of underlying use parking.

FIGURE 5.12-UAS-E



Key
 - - - Property Line ■ Allowable Parking Area
 ——— Parking Setbacks

TABLE 5.12-UAS-5			
UA ANNEX SUB-AREA STANDARDS			
PARKING		SPECIFIC REQUIREMENTS	
Location (Distance from Property Line)		1. Street setback is only required at first floor level only for parking. 2. 60% of Section 7.4 parking requirements for commercial uses. Residential uses are required to provide 1 space per unit. Further reduction in on-site parking can be achieved by leased spaces from an off-site location, or an on-site car-share program. 3. Required and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per the Building Code and Section 7.4 for the proposed uses . 4. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces. 5. Parking access lanes are limited to one drive per primary street.	
Street Setback (1)	20 Ft.		O
Alley Setback	5 Ft.		P
Side Setback	0 Ft.		Q
Required Spaces			
Off-street (2)	Non-residential = 60% of UDC Residential = 1/DU		
Accessible (3,4)	Compliance with the accessible parking requirements in the Building Code.		
Bicycle Facilities (3)	Bicycle parking must be provided if vehicle parking is required, based on the number of vehicle spaces provided.		
Parking Area Access Lanes			
Maximum Allowable Drive Width	24 Ft.	R	
Parking Access Lanes	1 Drive/Primary Street (5)	S	

D. El Presidio Sub-Area (EPS)

1. Standards

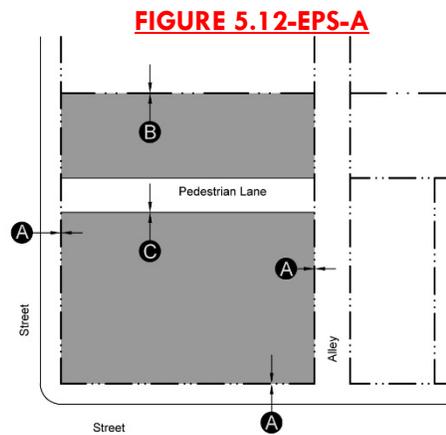
Figure 5.12-TAA-A shows the boundaries of the TAA and its sub-areas. In the El Presidio Sub-Area the zoning regulations contained herein may be used in lieu of underlying UDC Zoning.

2. Residential Density

Within the El Presidio Sub-Area the maximum permitted residential density is 100 DU/AC regardless of commercial use.

3. Building Placement

Building placement and setback requirements in the EPS are as shown in Figure 5.12-EPS-A and Table 5.12-EPS-1.



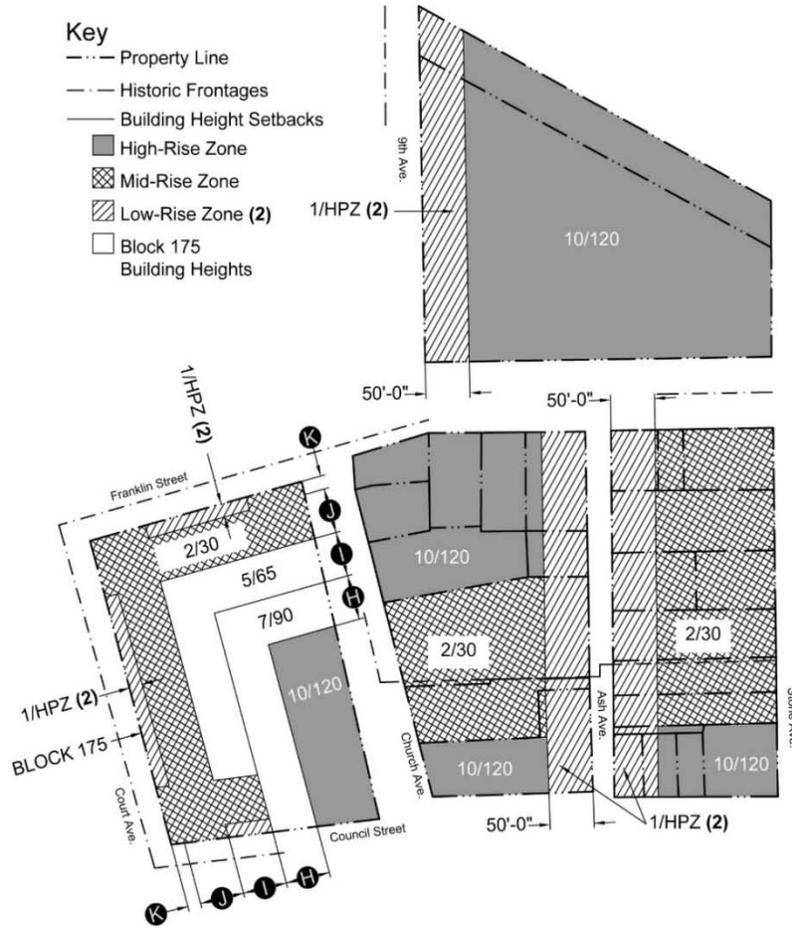
Key
 - - - Property Line ■ Allowable Building Area
 ——— Building Setbacks

TABLE 5.12-EPS-1	
EL PRESIDIO SUB-AREA STANDARDS	
BUILDING PLACEMENT STANDARDS	SPECIFIC REQUIREMENTS
Build to Line (Distance from Property Line)	1. <u>Build-to requirements apply to street frontage when building footprint exceeds 25% of lot area.</u>
Street or Alley (1,2)	
Setback (Distance from Property Line)	2. <u>Facades must be built to Build to Line at a minimum of 75% of the new building frontage, to help define an urban street frontage, where build-to requirements apply.</u>
Side Yard	
Pedestrian Lane	
	3. <u>Projects that develop 50% or more of mid-block land shall set aside an easement for pedestrian access</u>

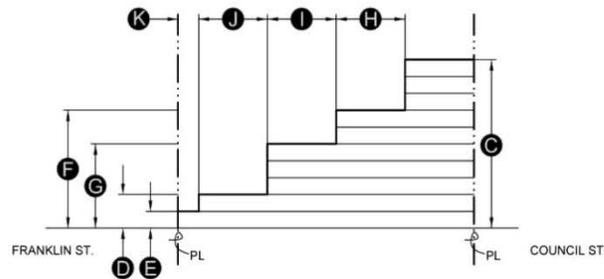
4. Building Heights, Floor Uses

Building heights and floor use requirements in the EPS are as shown in Figure 5.12-EPS-B and Table 5.12-EPS-2.

FIGURE 5.12-EPS-B



EL Presidio Subarea Building Heights Plan



North/South Section thru Franklin and Council

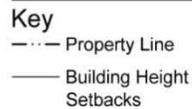


TABLE 5.12-EPS-2		
EL PRESIDIO SUB-AREA STANDARDS		
BUILDING HEIGHT STANDARDS	SPECIFIC REQUIREMENTS	
<u>Maximum Building Height (1)</u>	<u>125 Ft. Max or 10 stories</u>	C
<u>Mid-Rise Building Height</u>	<u>30 Ft. Max or 2 Stories</u>	D
<u>Low-Rise Building Height (2)</u>	<u>Consistent with Historic District</u>	E
Block 175 Building Heights (3)	-	-
<u>Floors 6-7</u>	<u>90 Ft. Max or 7 Stories</u>	F
<u>Floors 3-5</u>	<u>65 Ft. Max or 5 Stories</u>	G
Block 175 Building Height Setbacks (3)	-	-
<u>Floors 6-7</u>	<u>50 Ft.</u>	H
<u>Floors 3-5</u>	<u>50 Ft.</u>	I
<u>Mid-Rise Setback</u>	<u>50 Ft.</u>	J
<u>Low-Rise Setback</u>	<u>15 Ft.</u>	K
FLOOR USES		
<u>Ground Floor (4,5)</u>	<u>Commercial Services or Retail Trade Uses that encourage street level activity are preferred, but office, retail or other uses may be used if the use satisfies the street level activity goal</u>	-
-		
<u>Upper Floors</u>	<u>Residential Services</u>	-
-		

5. Lot Coverage, Open Space, Pedestrian Access

Lot coverage, open space and pedestrian access requirements in the EPS are as shown in Figure 5.12-EPS-C and Table 5.12.2-EPS-3.

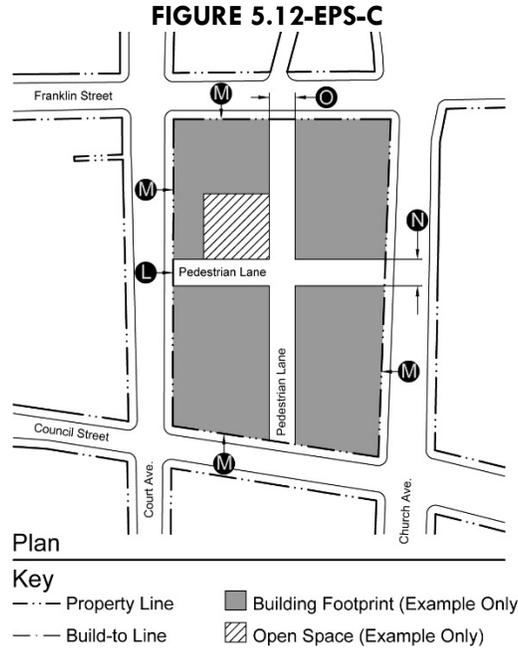


TABLE 5.12-EPS-3		
EL PRESIDIO SUB-AREA STANDARDS		
OPEN SPACE STANDARDS	SPECIFIC REQUIREMENTS	
Lot Coverage		1. Covered by impervious surfaces such as, but not limited to buildings, drives, or parking.
Maximum Lot Coverage (1)	100%	
Open Space		2. Usable open space does not need to be located on the ground - green roof or terrace is acceptable
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft./DU or 30% of Lot Area (7)	
		3. Usable open space may be any combination of private and common space.
Open Space Non-Residential (2,3,4)	Min. of 30% of Lot Area	
Minimum Landscape Area	50% of Open Space (9)	
Pedestrian Access (5)		4. Parking may not be counted as open space.
Pedestrian Access to Open Space	Required	5. Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structures or vegetation.
Main Entrance Location (6)	Primary Street	6. Main entrance locations shall be directly accessed from a sidewalk along a street rather than from a parking lot.
Pedestrian Lanes (8)		7. Open space at multi-dwelling units is 30 Sq. Ft. per dwelling unit or 30% of lot area, whichever is greater.
Minimum Width	30 Ft.	
-		8. For projects that propose to develop the entire block: two pedestrian lanes are required at ground level only; one running roughly north/south through the site, and the other running roughly east/west.
-		
-		9. Minimum landscape requirement applies only to common area open space.
-		
-		
-		
-		
-		

6. Massing Standards Building

Building massing requirements in the EPS are as shown in Figure 5.12-EPS-D and Table 5.12-EPS-4.

FIGURE 5.12-EPS-D

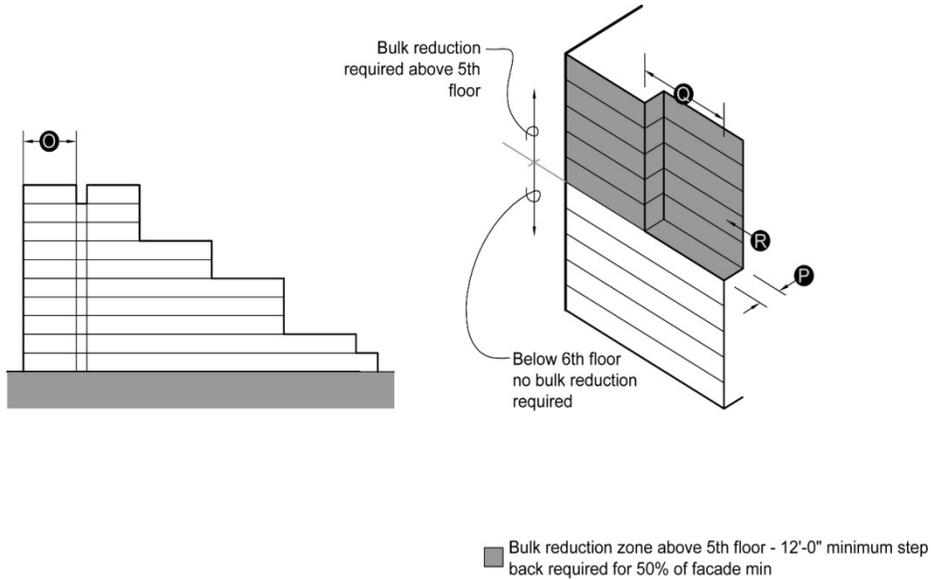


TABLE 5.12-EPS-4

EL PRESIDIO SUB-AREA STANDARDS

BUILDING MASSING STANDARDS		SPECIFIC REQUIREMENTS
Articulation	-	-
Maximum unbroken building mass (1)	50 Ft. Max.	O
Bulk Reduction (High Rise)	-	-
Bulk Reduction Setback (2)	12 Ft. Min.	P
Bulk Reduction Required Area	50% of Façade	Q
Bulk Reduction Zone	Required Above Fifth Floor	R
-	-	-

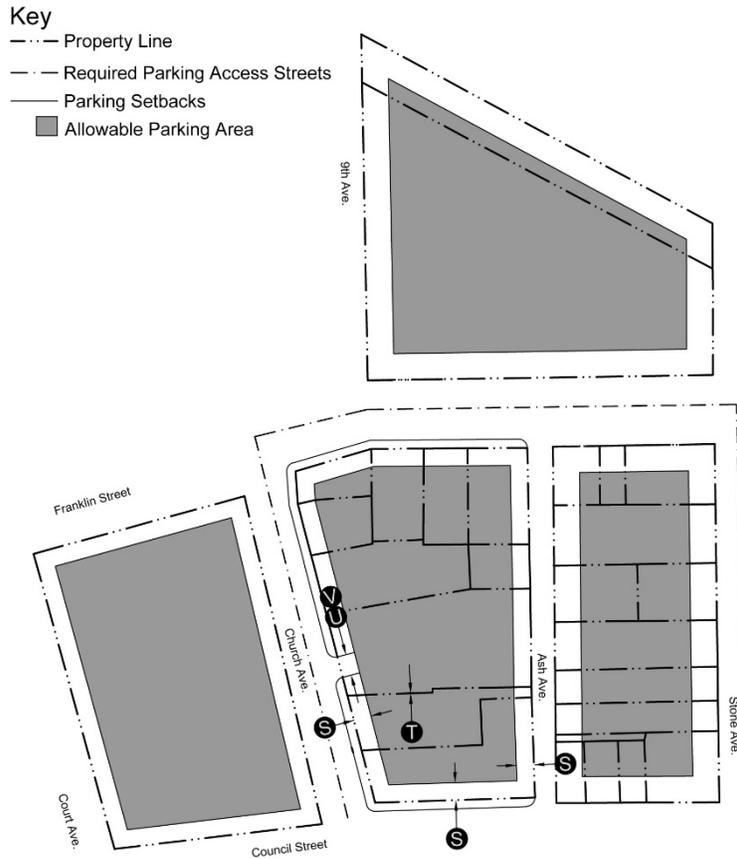
1. Any building over 50 Ft. wide must be broken down to read as a series of buildings no wider than 50 Ft. (O) and should include a variety of facades.

2. A step-back bulk reduction area a minimum of 12 ft. in depth (P) is required for at least 50% of the façade (Q). No bulk reduction is required below the sixth floor. See figures above.

7. Parking Standards

Parking Standards in the EPS are as shown in Figure 5.12-EPS-E and Table 5.12-EPS-5 may be used in lieu of underlying use parking.

FIGURE 5.12 EPS-E



EL Presidio Parking Plan (Ground Floor)

TABLE 5.12-EPS-5		
EL PRESIDIO SUB-AREA STANDARDS		
PARKING	SPECIFIC REQUIREMENTS	
Location (Distance from Property Line)		
Street or Alley	20 Ft.	S
Side Setback	0 Ft.	T
Required Spaces		
Off-street (1,4)	Non-residential= 0 Residential = 1/ DU	
Accessible (2,3)	Compliance with the accessible parking requirements in the Building Code.	
Bicycle Facilities (2)	Compliance with the requirements in Section 7.4 for the proposed uses.	
Parking Area Access Lanes		
Maximum Allowable Drive Width	24 Ft.	U
Parking Access Lanes	One Drive Per Street (5)	V

1. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit. Further reduction in on-site parking can be achieved by: leased spaces from an off-site location, or an on-site car-share program.

2. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per the UDC for the proposed uses.

3. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces.

4. Surface parking is allowed only under a structure

5. Parking Access Lanes for required parking spaces are limited to streets shown in figure 5.12-EPA-E. Any additional parking Lanes needed for overflow parking can come off of side streets.

5.12.13 WAREHOUSE TRIANGLE

Warehouse

The intent of this zone is to allow for and encourage high density infill of the warehouse triangle with transit oriented and mixed use development. The DL-AZ will go further than the infill incentive district in granting development flexibility and incentives in many areas. Multifamily residential uses will be allowed in current I-1 zone, allowable building heights and densities are increased and developments will be exempt from non-residential parking requirements.



FIGURE 5.12-WTA-A
MAP OF WAREHOUSE TRIANGLE AREA



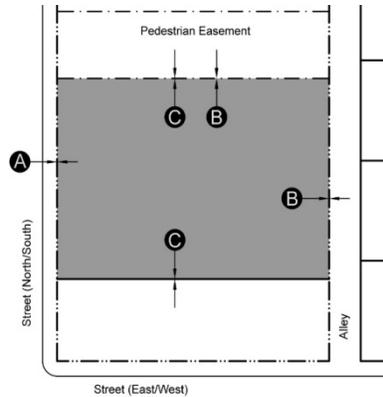
A. Standards

Figure 5.12-WTA-A shows the boundaries of the Warehouse Triangle Area. Warehouse Triangle Area optional standards apply.

B. Building Placement

Building placement requirements in the WTA are as shown in Figure 5.12-WTA-B and Table 5.12-WTA-1.

FIGURE 5.12-WTA-B



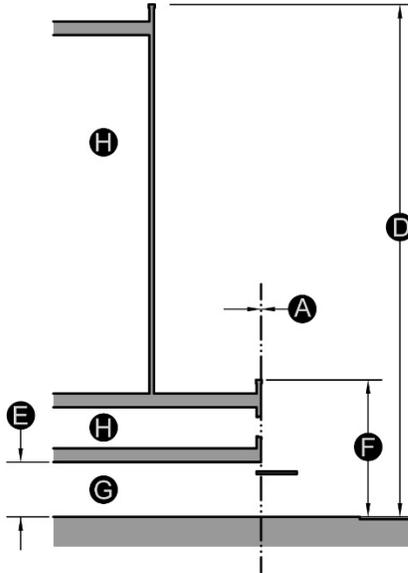
Key
 - - - Property Line ■ Allowable Building Area
 - - - Build-to Line

TABLE 5.12-WTA-1		
WAREHOUSE TRIANGLE AREA STANDARDS		
BUILDING PLACEMENT STANDARDS		SPECIFIC REQUIREMENTS
Build-to-Line (Distance from Property Line) (1)	- - -	1. Build-to requirements apply to: 1) North/South street frontage when building footprint exceeds 25% of lot area; 2) East/West street frontage when building footprint exceeds 50% of lot area; and 3) alley frontage when footprint exceeds 75% of footprint of lot.
Street Side	0 Ft. A	
Setback (Distance from Property Line)	- - -	
Alley Side	0 Ft. B	2. Street side facades must be built to Build-to-Line at a minimum of 75% of the new building frontage, to help define an urban street frontage, where build-to requirements apply.
Pedestrian Easement	0 Ft. B	
Side Yard	0 Ft. C	3. Alley and pedestrian easement side facades must be built to Build-to-Line at a minimum of 50% of new building frontage, to help define an urban edge to property.
-	-	
-	-	
-	-	
-	-	

C. Building Heights, Floor Uses

Building height and floor use requirements in the WTA are as shown in Figure 5.12.11.

FIGURE 5.12-WTA-C



Key
 - - - - Property Line

TABLE 5.12-WTA-2

WAREHOUSE TRIANGLE AREA STANDARDS			
BUILDING HEIGHT STANDARDS			SPECIFIC REQUIREMENTS
<u>Maximum Building Height (1)</u>	<u>Ten stories up to a maximum of 160 feet.</u>	D	1. No more than 10 stories and no more than 160 Ft.
<u>First Floor Ceiling</u>	<u>12 Ft. Min Clearance</u>	E	
<u>Minimum Building Height at Build-to-Line</u>	<u>25 Ft.</u>	F	
FLOOR USES			
<u>Ground Floor (2,3,4,5)</u>	<u>Commercial Services or Retail Uses</u>	G	-
<u>Upper Floors</u>	<u>Residential or Commercial Services</u>	H	-

D. Lot Coverage, Open Space, Pedestrian Access

Lot coverage, open space and pedestrian access requirements in the WTA are as shown in Figure 5.12-WTA-D and Table 5.12-WTA-3.

FIGURE 5.12-WTA-D

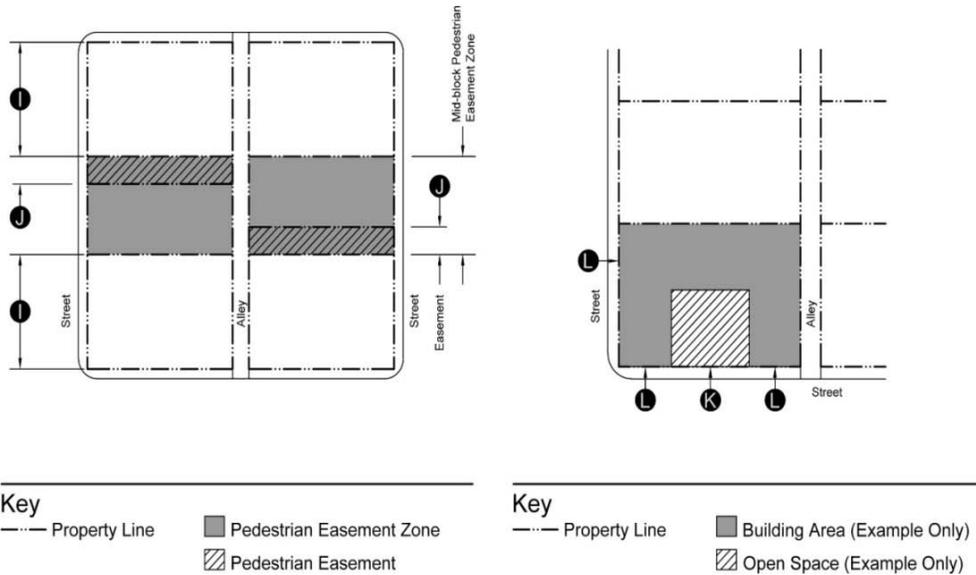


TABLE 5.12-WTA-3		
WAREHOUSE TRIANGLE AREA STANDARDS		
LOT COVERAGE, OPEN SPACE AND PEDESTRIAN STANDARDS	SPECIFIC REQUIREMENTS	
Lot Coverage		
Maximum Lot Coverage (1)	100%	-
Open Space		
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft./DU or 30% of Lot Area (7)	-
-		-
Open Space Non-Residential (2,3,4)	Min. of 30% of Lot Area	-
Minimum Landscape Area	50% of Open Space (9)	-
Pedestrian Easement (8)		
Maximum Distance from Street	125 Ft.	I
Minimum Width	30 Ft.	J
Pedestrian Access (5)		
Pedestrian Access to Open Space	Required	K
Main Entrance Location (6)	Primary Street	L
-		
-		
-		
-		
-		
-		
-		
-		

E. Building Massing Standards

Building Massing Standards in the WTA are as shown in Table 5.12-DLS-4 in Section 5.12.11.l.

F. Parking Standards

Parking standards in the WTA are as shown in Figure 5.12-WTA-F and Table 5.12-WTA-5.

FIGURE 5.12-WTA-F

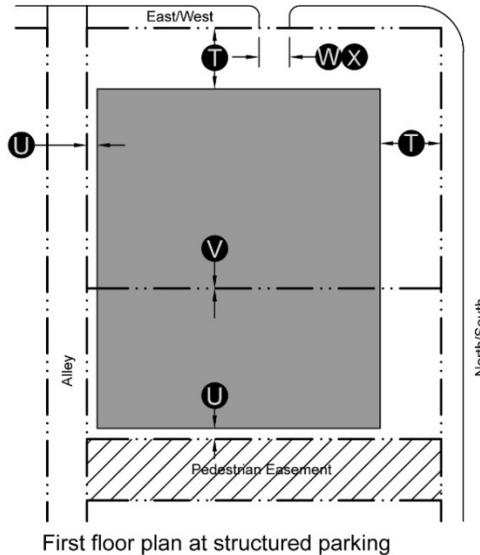


TABLE 5.12-WTA-5		
WAREHOUSE TRIANGLE AREA STANDARDS		
PARKING		SPECIFIC REQUIREMENTS
Location (Distance from Property Line)		1. Street setback is only required at first floor level only for parking. 2. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit. Further reduction in on-site parking can be achieved by leased spaces from an off-site location, or an on-site car-share program. 3. Surface parking is allowed only in a structure.
Street Setback (1)	30 Ft. T	
Pedestrian Easement Setback	5 Ft. U	
Alley Setback	5 Ft. U	
Side Setback	0 Ft. V	
Required Spaces		
Off-street (2,3)	Non-residential = 0 Residential = 1 per dwelling unit	

TABLE 5.12-WTA-5		
WAREHOUSE TRIANGLE AREA STANDARDS		
PARKING	SPECIFIC REQUIREMENTS	
Location (Distance from Property Line)		
Street Setback (1)	30 Ft.	T
Pedestrian Easement Setback	5 Ft.	U
Alley Setback	5 Ft.	U
Side Setback	0 Ft.	V
Required Spaces		
Off-street (2,3)	Commercial = 0 Residential = 1/DU	
Accessible Parking(4,5)	Compliance with the accessible parking requirements in the UDC for the underlying zone.	
Bicycle Facilities (4)	Compliance with the requirements in the UDC for the underlying zone.	
Parking Area Access Lanes		
Maximum Allowable Drive Width	24 Ft.	W
Parking Access Lanes	1 Drive/Primary Street (6)	X

1. Street setback is only required at first floor level only for parking.

2. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit and parking must be unbundled from residential lease or sale. Further reduction in on-site parking can be achieved by: a one-time in lieu fee of \$5000 to Park Wise per space not provided, leased spaces from an off-site location, or an on-site car-share program.

3. Surface parking is allowed only in a structure.

4. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per the UDC for the users proposed.

5. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces.

6. On corner lots, parking drive shall not be located on primary street. For other lots, drives shall be limited to one per primary street.

5.12.14 FOURTH AVENUE AREA (FAA)

The intent of this zone is to take advantage of the Modern Street Car project and promote medium-density infill transit-oriented development. Development incentives for this zone include greater allowable density and zero parking requirements for commercial uses.



FIGURE 5.12-FAA-A
MAP OF FOURTH AVENUE AREA AND SUB-AREAS



A. Fourth Avenue Historic Sub-Area (FHS)

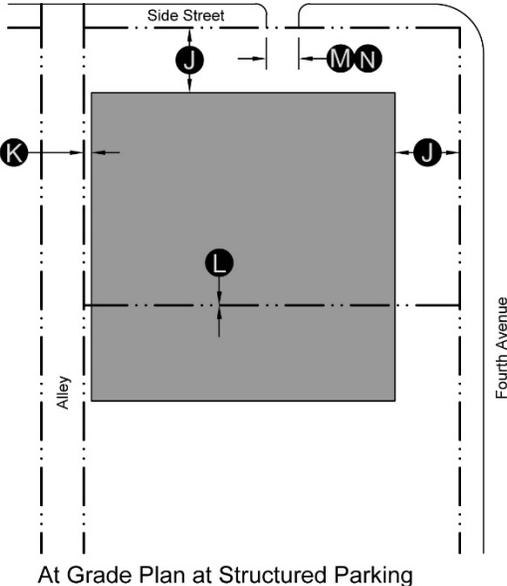
1. Standards

The Fourth Avenue Historic Sub-Area includes portions of the West University Historic Preservation Zone that overlap with the Downtown Links Sub District. Properties within these areas may be developed using the optional parking standards contained herein, but remain subject to all other underlying zone requirements including, but not limited to, historic preservation zone design standards and design review.

2. Parking

Parking Standards in the FHS are as shown in Figure 5.12-FHS-A and Table 5.12-FHS-1.

FIGURE 5.12-FHS-A



Key
- - - - Property Line ■ Allowable Parking Area

TABLE 5.12-FHS-1		
FOURTH AVENUE HISTORIC SUB-AREA STANDARDS		
PARKING	SPECIFIC REQUIREMENTS	
Location (Distance from Property Line)		
Street Setback (1)	30 Ft.	J
Alley Setback	0 Ft.	K
Side Setback	0 Ft.	L
Required Spaces		
Off-street (2,3)	Commercial = 0 Residential = 1/DU	
Accessible (4,5)	Compliance with the accessible parking requirements in Section 7.4 for the proposed uses.	
Bicycle Facilities (4)	Compliance with the requirements in Section 7.4 for the proposed uses.	
Parking Area Access Lanes		
Maximum Allowable Drive Width	24 Ft.	M
Parking Access Lanes	Not allowed on 4th Ave. (6)	N

1. Street setback is only required at first floor level only for parking.

2. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit and parking must be unbundled from residential lease or sale. Further reduction in on-site parking can be achieved by: a one-time in lieu fee of \$5000 to Park Wise per space not provided, leased spaces from an off-site location, or an on-site car-share program.

3. Surface parking lots are prohibited. Parking is only allowed within a structure with at-grade setbacks as shown.

4. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per the Building Code and Section 7.4 for the proposed uses.

5. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces.

6. Parking area drives may not be located on Fourth Avenue.

B. Fourth Avenue Historic Sub-Area (FAS)

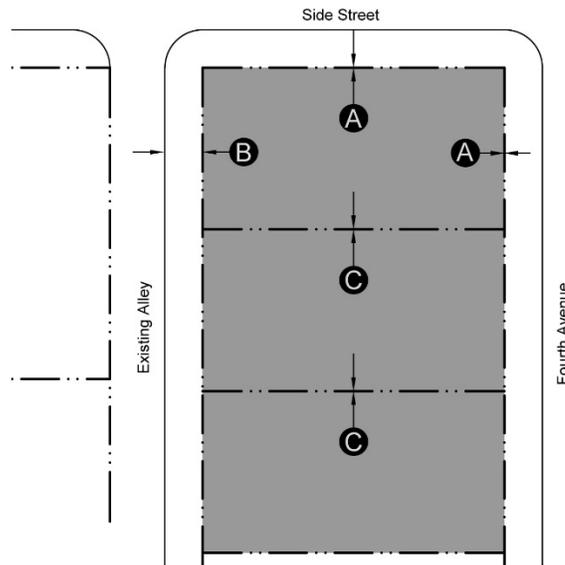
1. Standards

Figure 5.12.FAA-A depicts the boundaries of the Fourth Avenue Sub-Areas in which the Fourth Avenue Sub Area optional zoning standards apply.

2. Building Placement

Building placement and setback requirements in the FAS are shown in Figure 5.12-FAS-A and Table 5.12-FAS-1.

FIGURE 5.12-FAS-A



Key
 - - - - Property Line ■ Allowable Building Area

TABLE 5.12-FAS-1		
FOURTH AVENUE AREA STANDARDS		
BUILDING PLACEMENT STANDARDS	SPECIFIC REQUIREMENTS	
Setback (Distance from Property Line)		1. Street side setbacks to be 0 Ft. or consistent with prevailing historic setback.
Street Side (1)	0 Ft. or Prevailing	A
Alley Side	0 Ft.	B
Side Yard	0 Ft.	C

1. Building Heights, Floor Uses

Building height and floor use requirements in the FAS are as shown in Figure 5.12-FAS-B and Table 5.12-FAS-2.

FIGURE 5.12-FAS-B

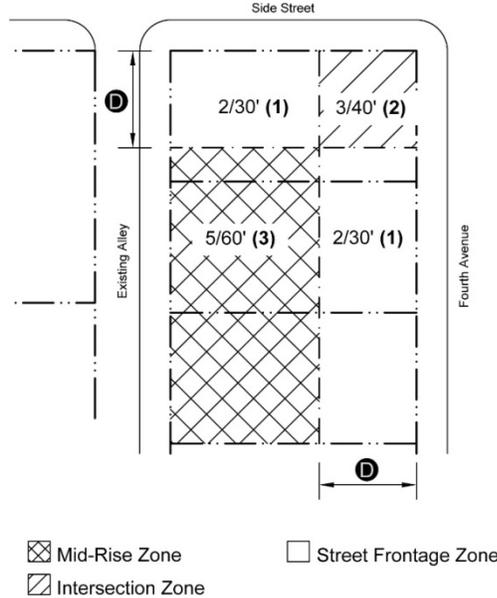


TABLE 5.12-FAS-2			
FOURTH AVENUE AREA STANDARDS			
BUILDING HEIGHT STANDARDS	SPECIFIC REQUIREMENTS		
Street Frontage (1)	30 Ft. Max or 2 Stories	<p>1. Building heights along the street frontage are restricted to two stories or 30 Ft. to respect the scale of established or historic structures, or both.</p> <p>2. Building heights may extend three stories or 40 Ft. within a 50 Ft. x 50 Ft. area at an intersection.</p> <p>3. Building heights may extend to five stories or 60 Ft. at the rear of properties beginning at 50 Ft. (D) from the property line.</p> <p>4. All new construction shall have scale-defining architectural elements or details at first two levels.</p> <p>5. A single plane of façade at the street level may not be longer than 50 Ft. without architectural relief or articulation such as windows, trellises and arcades.</p> <p>6. Street-level activity is achieved by providing a mix of commercial, retail, office and residential uses at street level.</p> <p>7. First floor level to be differentiated in form from upper levels</p>	
Intersection (2)	40 Ft. Max or 3 Stories		
Midrise (3)	60 Ft. Max or 5 Stories		
Building Height Setbacks (distance from property line)			
Mid-Rise Side Setback	50 Ft.		D
FLOOR USES			
Ground Floor (4,5,6,7)	Commercial Services or Retail Uses that encourage street level activity are preferred. A mix of Retail mix, Office or Residential uses may be used if the uses satisfy the above requirement.		
Upper Floors	Residential or Commercial Services		
-	-		
-	-		
-	-		
-	-		

5. Building Massing Standards

Building massing standards in the FAS are as shown in Figure 5.12-FAS-D and Table 5.12-FAS-4.

FIGURE 5.12-FAS-D

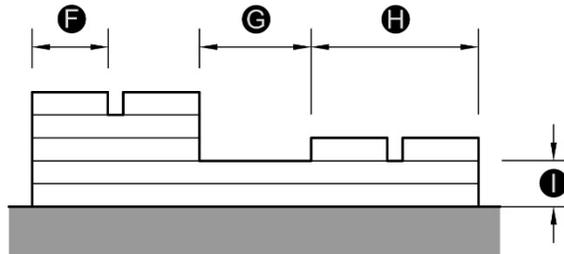


TABLE 5.12-FAS-4

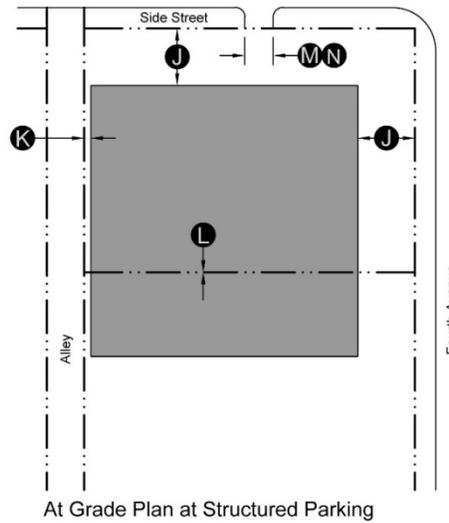
FOURTH AVENUE AREA STANDARDS

BUILDING MASSING STANDARDS		SPECIFIC REQUIREMENTS
Articulation	-	-
Maximum unbroken building mass (1)	50 Ft. Max.	F
View Corridors	-	-
Mid-Rise Façade (2)	25% of Façade Min.	G
High Rise Façade (3)	150 Linear Ft. Unbroken Max.	H
Mid-Rise Height	50 Ft. Max or 4 Stories	I
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

6. Parking Standards

Parking standards in the FAS are as shown in Figure 5.12-FAS-E and Table 5.12-FAS-5.

FIGURE 5.12-FAS-E



Key
 - - - - - Property Line ■ Allowable Parking Area

TABLE 5.12-FAS-5		
FOURTH AVENUE AREA STANDARDS		
PARKING		SPECIFIC REQUIREMENTS
Location (Distance from Property Line)		1. Street setback is only required at first floor level only for parking. 2. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit. Further reduction in on-site parking can be achieved leased spaces from an off-site location, or an on-site car-share program. 3. Surface parking lots are prohibited. Parking is only allowed within a structure with at-grade setbacks as shown. 4. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required by Section 7.4 for the proposed uses. 5. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces. 6. Parking area drives may not be located on Fourth Avenue.
Street Setback (1)	30 Ft. J	
Alley Setback	0 Ft. K	
Side Setback	0 Ft. L	
Required Spaces		
Off-street (2,3)	Non-residential= 0 Residential = 1/DU	
Accessible (4,5)	Compliance with the accessible parking requirements in the Building Code.	
Bicycle Facilities (4)	Compliance with the requirements in Section 7.4 for the proposed use.	
Parking Area Access Lanes		
Maximum Allowable Drive Width	24 Ft. M	
Parking Access Lanes	Not allowed on 4th Ave. (6) N	

5.12.15 ARMORY PARK AND IRON HORSE AREA

Armory Park and Iron Horse Mixed Use Zone (IHA-MS)



Iron Horse Low Density Residential Zone (HIA-RS)

The intent of this zone is to promote single family infill development at somewhat higher density while protecting the historic character and privacy of existing properties. Key development incentives include reduction in minimum lot size and reduction in parking.

FIGURE 5.12-IHA-A
MAP OF ARMORY PARK IRON HORSE AREA AND SUB-AREAS



LEGEND

- Iron Horse/Armory Park Mixed Use Sub-Area (IHA-MS)
- Iron Horse/Armory Low Density Residential Infill Sub-Area (IHA-RS)
- Downtown Links Subdistrict
- Downtown Links Roadway (Under Construction)
- Listed or Eligible Building
- Unlisted Existing Building

D. Iron Horse Mixed Use Sub-Area (IHA-MS)

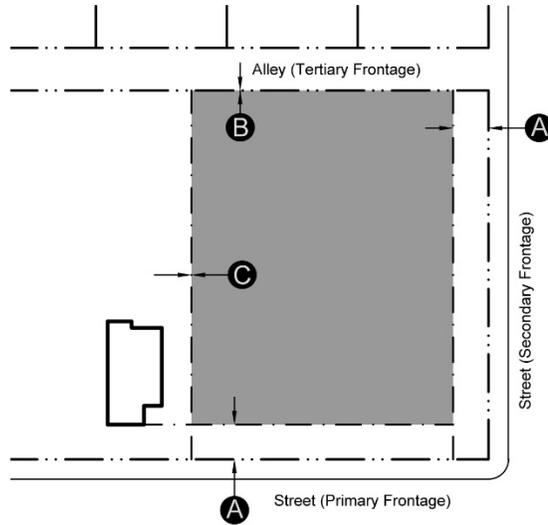
1. Standards

Iron Horse Mixed Use Sub-Area zoning option standards apply.

2. Building Placement

Building placement and setback requirements in the IHA-MS are as shown in Figure 5.12-IHA-MS-A and Table 5.12-IHA-MS-1.

FIGURE 5.12-IHA-MS-A



Key

- — — Property Line
- — — Setback Line
- Allowable Building Area

TABLE 5.12-IHA-MS-1

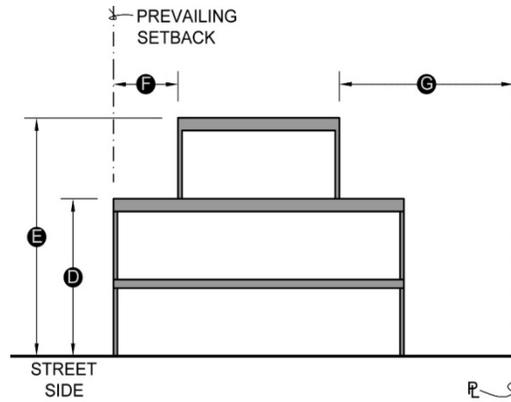
IRON HORSE MIXED USE SUB-AREA STANDARDS

BUILDING PLACEMENT STANDARDS		SPECIFIC REQUIREMENTS
Setback (Distance from Property Line)	-	1. Street side setbacks to be consistent with prevailing setback at other than multi-unit residential.
Street Side (1)	Consistent with Prevailing	A
Alley Side	0 Ft.	B
Side Yard	0 Ft.	C

3. Building Heights, Floor Uses

Building height and floor use requirements in the IHA-MS are as shown in Figure 5.12-IHA-MS-B and Table 5.12-IHA-MS-2.

FIGURE 5.12-IHA-MS-B



Key
 - - - Property Line ■ Pedestrian Easement Zone
 - - - Setback Line

TABLE 5.12-IHA-MS-2

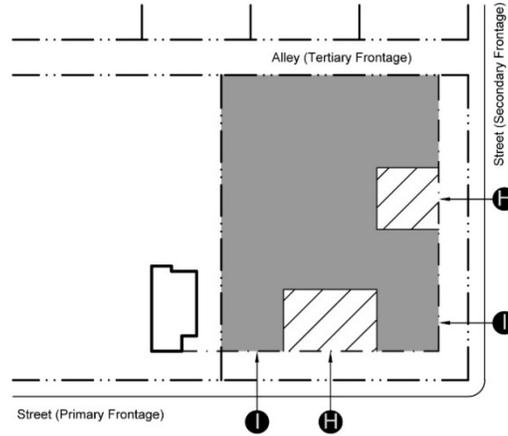
IRON HORSE MIXED USE SUB-AREA STANDARDS

BUILDING HEIGHT STANDARDS		SPECIFIC REQUIREMENTS
Street Frontage building height (1)	25 Ft. Max or 2 Stories D	1. Building heights along the street frontage are restricted to two stories or 25 Ft. or 2 stories (D) to respect the scale of established or historic structures, or both. 2. Midrise building height may extend to 40 Ft. or 3 stories (D) and the midrise setback is 12 Ft. (F) from the street frontage façade of the building. 3. At adjacent residential building frontage, building must setback 25 ft. (G) at the midrise building height. 4. All new construction shall have scale-defining architectural elements or details at first two levels. 5. A single plane of façade at the street level may not be longer than 50 Ft. without architectural relief or articulation such as windows, trellises and arcades. 6. street level activity is achieved by providing a mix of commercial, retail, office and residential uses at street level. 7. First floor level to be differentiated in form from upper levels.
Midrise building height(2)	40 Ft. Max or 3 Stories E	
Building Height Setbacks (distance from property line)	-	
Mid-Rise Setback (2)	12 Ft. F	
Setback from Adjacent Residential Use (3)	25 Ft. G	
FLOOR USES		
Ground Floor (4,5,6,7)	Commercial Services or Retail Trade uses that encourage street level activity are preferred, but a mix of Commercial, Retail, Office, or Residential may be used if the uses satisfy the street level activity goal	
Upper Floors	Residential or Commercial Services	
-	-	
-	-	
-	-	
-	-	

4. Lot Coverage, Open Space, Pedestrian Access

Lot coverage, open space and pedestrian access standard in the IHA-MS are as shown in Figure 5.12-IHA-MS-C and Table 5.12-IHA-MS-3.

FIGURE 5.12-IHA-MS-C.



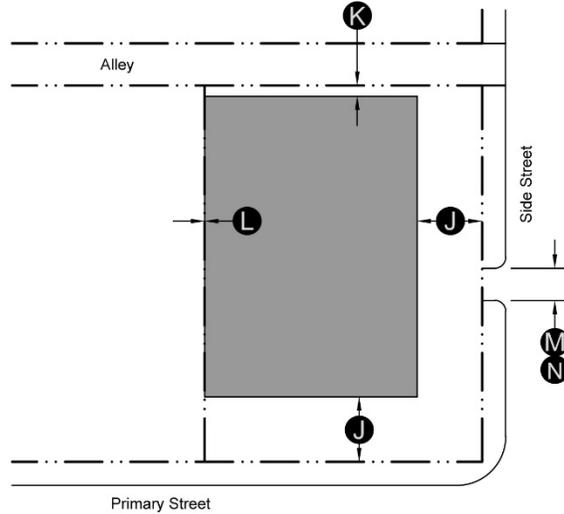
Key
 - - - Property Line ■ Building Footprint (Example Only)
 - - - Setback Line ▨ Open Space (Example Only)

TABLE 5.12-IHA-MS-3		
IRON HORSE MIXED USE SUB-AREA STANDARDS		
OPEN SPACE STANDARDS	SPECIFIC REQUIREMENTS	
Lot Coverage	-	1. Covered by impervious surfaces such as, but not limited to buildings, drives, or parking.
Maximum Lot Coverage (1)	100%	
Open Space		2. Usable open space does not need to be located on the ground - green roof or terrace is acceptable
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft./DU or 20% of Lot Area (7)	
Open Space Non-Residential (2,3,4)	Min. of 30% of Lot Area	3. Usable open space may be any combination of private and common space.
Minimum Landscape Area	50% of Open Space (8)	
Pedestrian Access (5)		4. Parking may not be counted as open space.
Pedestrian Access to Open Space	Required	
Main Entrance Location (6)	Primary or Secondary Street	5. Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structures or vegetation.
-		
-		6. Main entrance locations shall be directly accessed from a sidewalk along a street rather than from a parking lot.
-		
-		7. Open space at multi-dwelling units is 30 Sq. Ft. per dwelling unit or 20% of lot area, whichever is greater.
-		
-		8. Minimum landscape requirement applies only to common area open space.
-		

5. Parking Standards

Parking standards in the IHA-MS are as shown in Figure 5.12-IHA-MS-D and Table 5.12-IHA-MS-4.

FIGURE 5.12-IHA-MS-D



Key
 - - - - - Property Line ■ Allowable Parking Area

TABLE 5.12-IHA-MS-4		
IRON HORSE MIXED USE SUB-AREA STANDARDS		
PARKING		SPECIFIC REQUIREMENTS
Location (Distance from Property Line)		1. Street setback is only required at first floor level only for parking. 2. No off-street parking is required for commercial uses. Residential uses are required to provide 1 space per unit and parking must be unbundled from residential lease or sale. Further reduction in on-site parking can be achieved by: a one-time in lieu fee of \$5000 to Park Wise per space not provided, leased spaces from an off-site location, or an on-site car-share program.
Street Setback (1)	30 Ft. J	
Alley Setback	5 Ft. K	
Side Setback	0 Ft. L	
Required Spaces		
Off-street (2,3)	Commercial = 0 Residential = 1/DU	

(Continued on next page)

TABLE 5.12-IHA-MS-4 (Cont.)			
IRON HORSE MIXED USE SUB-AREA STANDARDS			
PARKING		SPECIFIC REQUIREMENTS	
Accessible (4,5)	Compliance with the accessible parking requirements in Section 7.4 for the proposed uses.	<p>3. Surface parking lots are prohibited. Parking is only allowed within a structure with at-grade setbacks as shown.</p> <p>4. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per the Building Code and Section 7.4 for the proposed uses.</p> <p>5. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces.</p> <p>6. At corner lots, parking drive shall not be located on primary street. At other lots, drives shall be limited to one per primary street.</p>	
Bicycle Facilities (4)	Compliance with the requirements in the Building Code.		
Parking Area Access Lanes (6)			
Maximum Allowable Drive Width	24 Ft.		M
Parking Access Lanes	1 Drive/Primary Street (6)		N

D. Iron Horse Low Density Residential Infill Sub-Area (IHA-RS)

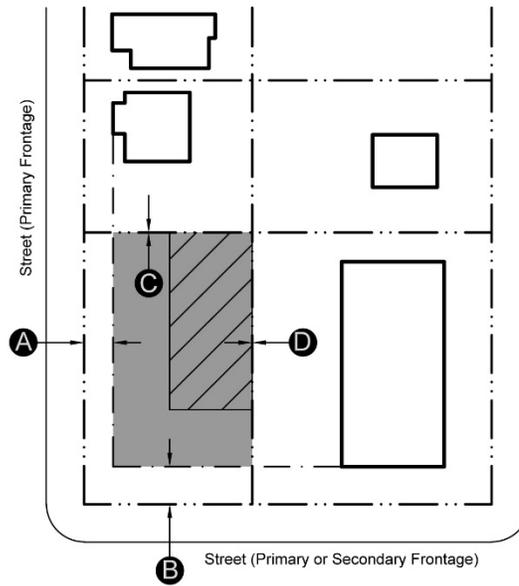
1. Standards

Iron Horse Low Density Residential Infill Sub-Area zoning option standards apply.

2. Building Placement

Building placement and setback requirements in the IHA-RS are as shown in Figure 5.12-IHA-RS-A and Table 5.12-IHA-RS-1.

FIGURE 5.12-IHA-RS-A



Key

— — — Property Line	■ Allowable Building Area
— — — Prevailing Setback	□ Existing Structures

TABLE 5.12-IHA-RS-1

IRON HORSE LOW DENSITY RESIDENTIAL INFILL SUB-AREA STANDARDS

BUILDING PLACEMENT STANDARDS		SPECIFIC REQUIREMENTS	
Setback (Distance from Property Line)	-	1. Primary street is the street frontage to which dwellings face or are oriented. 2. Match prevailing setbacks of historic structures adjacent to parcel on same side of street of same block. If no prevailing setbacks are established required setback is 10 feet.	
<u>Primary Street (1)</u>	<u>Match Prevailing (2)</u>		A
<u>Secondary Street</u>	<u>10' or Prevailing</u>		B
<u>Side Yard</u>	<u>0 Ft.</u>		C
<u>Rear Yard</u>	<u>0 Ft.</u>		D

3. Building Heights and Massing Standards

Building height and floor use requirements in the IHA-RS are as shown in Figure 5.12-IHA-RS-B and Table 5.12-IHA-RS-2.

FIGURE 5.12-IHA-RS-B

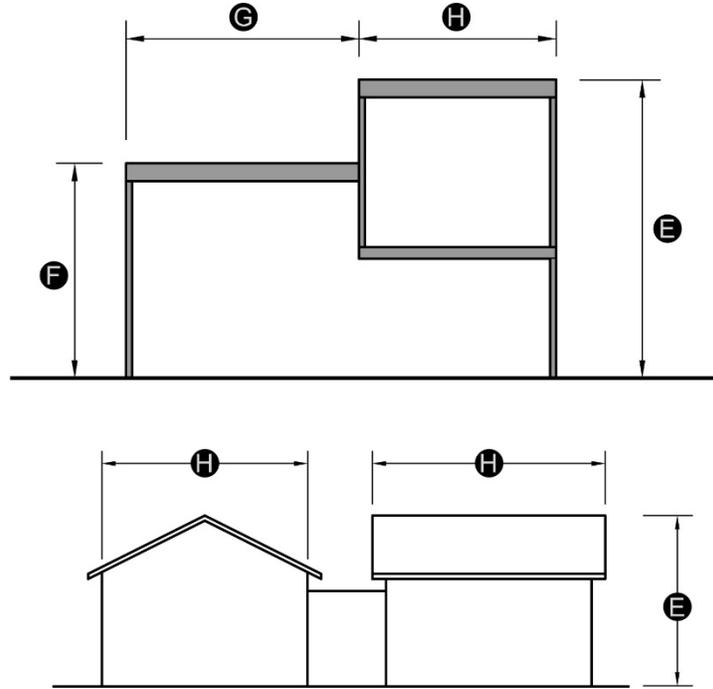


TABLE 5.12-IHA-RS-2

IRON HORSE LOW DENSITY RESIDENTIAL INFILL SUB-AREA STANDARDS

BUILDING HEIGHT STANDARDS			SPECIFIC REQUIREMENTS
Maximum Building Height	32 Ft.	E	1. Any building over 30' wide must be broken down to read as a series of buildings no wider than 30 Ft., and should include a variety of building heights and roof forms.
Street Frontage Max	20 Ft.	E	
Building Height Setbacks (distance from property line)	-	-	
Second Story Setback	20 Ft.	G	
BUILDING MASSING			
Maximum Unbroken Building Mass (1)	30 Ft.	H	

4. Lot Coverage and Lot Size

Lot coverage and lot size requirements in the IHA-RS are as shown in Table 5.12-IHA-RS-3.

TABLE 5.12-IHA-RS-3		
IRON HORSE LOW DENSITY RESIDENTIAL INFILL SUB-AREA STANDARDS		
LOT COVERAGE		SPECIFIC REQUIREMENTS
Maximum Lot Coverage (1)	100%	1. Covered by impervious surfaces such as, but not limited to buildings, drives, or parking.
LOT SIZE		
Minimum Lot Size	2,500 Sq. Ft.	-

5. Privacy Standards

Required privacy standards in the IHA low density residential sub-area are as shown in Figure 5.12-IHA-RS-C and Table 5.12-IHA-RS-4.

FIGURE 5.12-IHA-RS-C

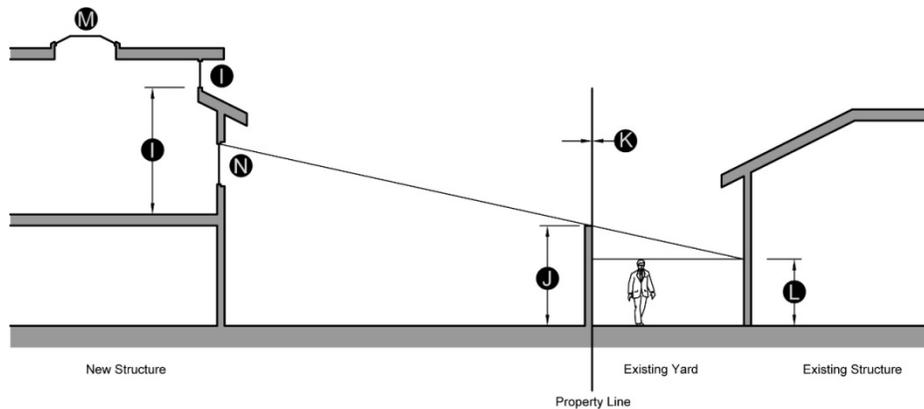
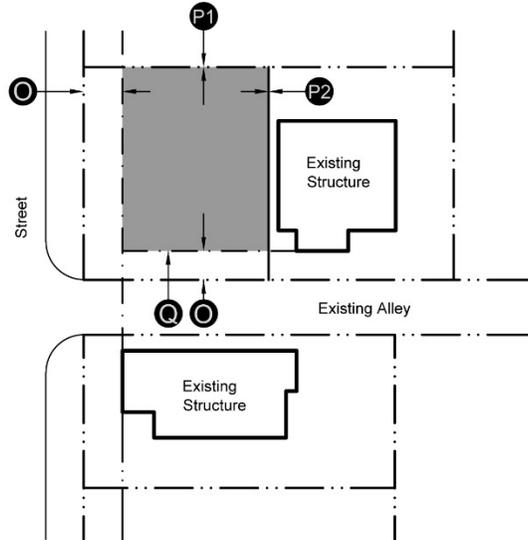


TABLE 5.12-IHA-RS-4		
IRON HORSE LOW DENSITY RESIDENTIAL INFILL SUB-AREA STANDARDS		
PRIVACY STANDARDS		SPECIFIC REQUIREMENTS
Clerestory Height	9 Ft. Min. above 2nd Floor	1. Brick or stuccoed concrete masonry site walls may extend above Land Use Code requirements to 9 Ft. but may require structural engineering and building permits.
Site Wall Height	9 Ft. Max. (1)	
Site Wall Setback	0 Ft. Min. (1)	
Privacy Zone	6 Ft. (2)	2. Privacy shall be afforded to existing developed adjacent rear or side yards by limiting second story fenestration. The lower 6' of adjacent yards shall not be visible from new second floor windows.
ALTERNATIVE MEANS OF DAYLIGHT		
Clerestory above 9 Ft.	-	I
Skylights	-	M
Translucent Fixed Glass	-	N

6. Parking Standards

Parking standards in the IHA-RS are as shown in Figure 5.12-IHA-RS-D and Table 5.12-IHA-RS-5.

FIGURE 5.12-IHA-RS-D



Key

- Property Line
- Prevailing Setback
- Allowable Parking Area
- Existing Structures

TABLE 5.12-IHA-MS-4			
IRON HORSE LOW DENSITY RESIDENTIAL INFILL SUB-AREA STANDARDS			
PARKING		SPECIFIC REQUIREMENTS	
Location (Distance from Property Line)		1. Access to parking spaces may be by way of existing alleys.	
Street Setback (1)	10 Ft. or Prevailing Setback		O
Alley Setback	10 Ft. or Prevailing Setback		O
Side Setback	0 Ft.		P1
Rear Setback	0 Ft.		P2
Required Spaces			
Off-street (2,3)	Residential = 1/DU		
Parking Area Access			
Parking Access (1)		Q	

5.12.16 STONE/SIXTH AREA

Stone Sub-Area

The intent of the Stone Area is to promote higher density mixed use development along the Stone corridors. Benefits of this development include reduction in parking, zero lot lines and increases in allowable building heights.



5.12.16 STONE/SIXTH AREA

Stone Sub-Area

The intent of the Stone Area is to promote higher density mixed use development along the Stone corridors. Benefits of this development include reduction in parking, zero lot lines and increases in allowable building heights.



FIGURE 5.12-SSA-A
MAP OF STONE/SIXTH AREA



A. Stone Sub-Area (STS)

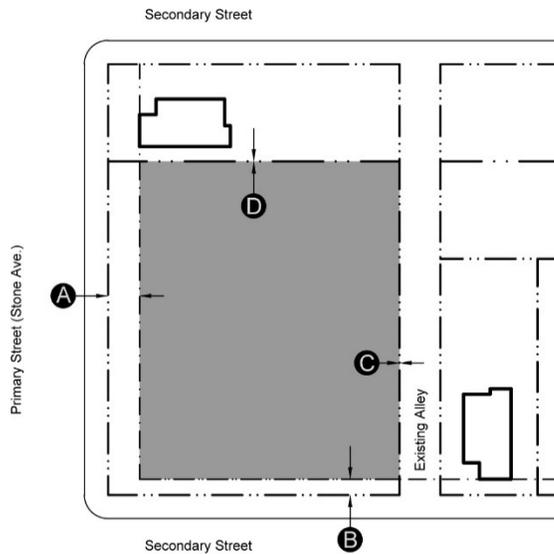
1. Standards

Figure 5.12-SSA-A captures the boundaries of the SSA and the boundaries of the Stone Avenue sub-area. Stone Sub-Area zoning option standards apply.

2. Building Placement

Building placement and setback requirements in the STS are as shown in Figure 5.12-STS-A and Table 5.12-STS-1.

FIGURE 5.12-STS-A



Plan

Key

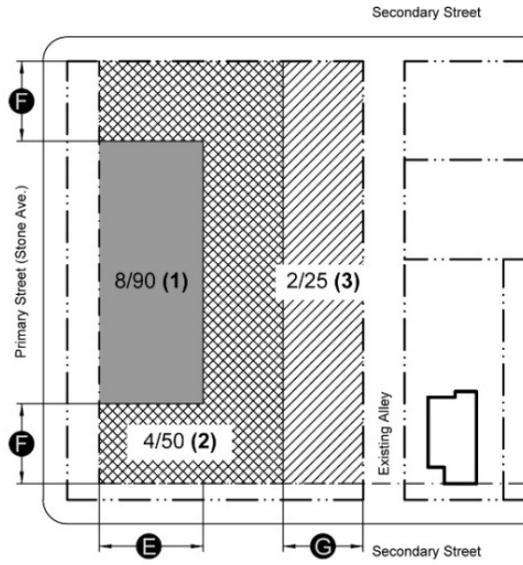
- - - Property Line
- - - Build-to Line
- Allowable Building Area

TABLE 5.12-STS-1		
STONE AVENUE SUB-AREA STANDARDS		
BUILDING PLACEMENT STANDARDS		SPECIFIC REQUIREMENTS
Build to Line (Distance from Property Line) (1)	-	1. Build-to requirements apply to: 1) Stone Ave. frontage when building footprint exceeds 25% of lot area
Primary Street (Stone Ave.) (2)	0-20 Ft. A	
Setback (Distance from Property Line)	-	2. Street side facades must be built to Build to Line at a minimum of 75% of the new building frontage, to help define an urban street frontage, where build-to requirements apply. Build to Line can range from 0-20' to be consistent with prevailing.
Secondary Street	Consistent with Prevailing B	
Alley Side	0 Ft. C	
Side Yard	0 Ft. D	

3. Building Heights and Floor Use

Building height and floor use requirements in the STS are as shown in Figure 5.12-ST5-B and Table 5.12-ST5-2. Block specific building heights are also diagrammed in Figure 5.12-ST5-C.

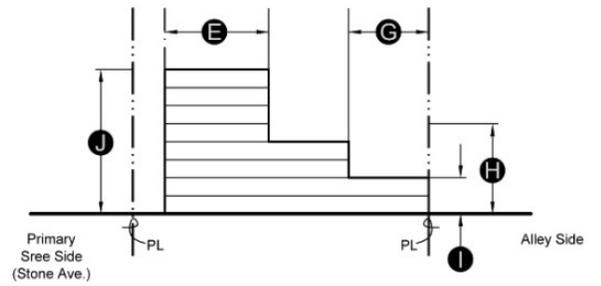
FIGURE 5.12-ST5-A



Plan

Key

- - - Property Line
- - - Build-to Line
- Building Height Setbacks
- High-Rise Zone
- ▣ Mid-Rise Zone
- ▨ Low-Rise Zone



Section View at Mid-Block

Key

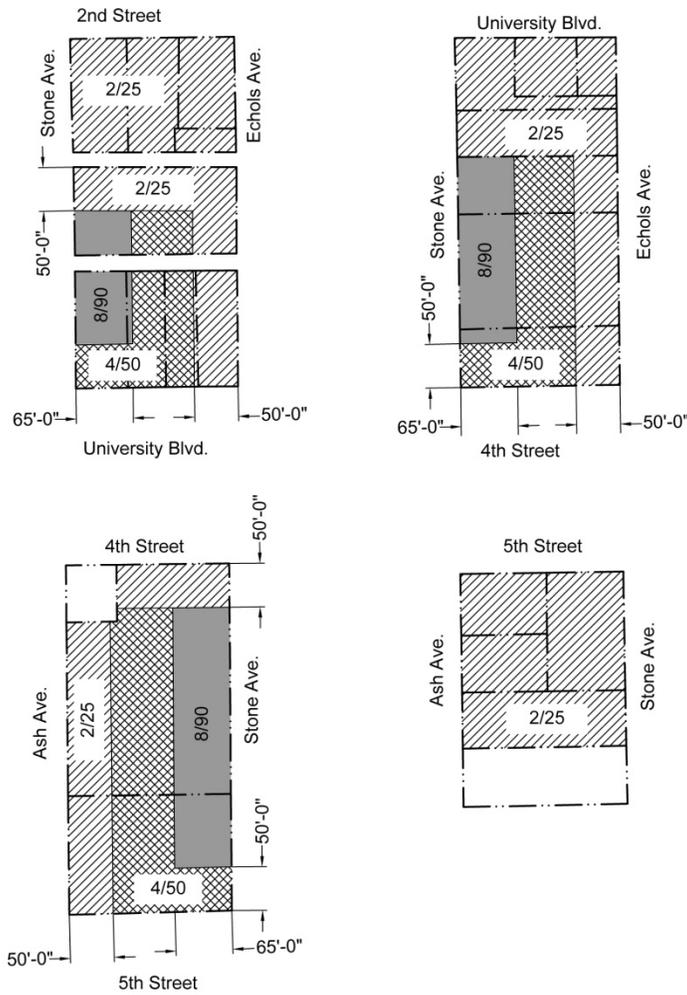
- - - Property Line
- - - Build-to Line
- Building Height Setbacks

TABLE 5.12-STS-2		
STONE AVENUE SUB-AREA STANDARDS		
BUILDING HEIGHT		SPECIFIC REQUIREMENTS
<u>High-Rise Building Height (1)</u>	<u>8 Stories with a Max. of 90 Ft.</u>	<u>J E</u>
<u>High Rise Setback from corner</u>	<u>65 Ft</u>	<u>E</u>
<u>Mid-Rise Building Height (2)</u>	<u>4 stories with a Max. of 50 Ft.</u>	<u>H F</u>
<u>Mid Rise Setback from corner</u>	<u>50 Ft.</u>	<u>F</u>
<u>Low-Rise Building Height (3)</u>	<u>25 Ft. Max or 2 Stories</u>	<u>I G</u>
<u>FLOOR USES</u>		
<u>Ground Floor (4,5,6,7)</u>	<u>Commercial Services or Retail Trade Uses that encourage street level activity are preferred, but commercial, retail, office or residential may be used if the use satisfies the street level activity goal.</u>	<u>-</u>
<u>Upper Floors</u>	<u>Residential or Services are preferred</u>	<u>-</u>
<u>-</u>		
<u>-</u>		

- 1.** High-rise building height is 8 stories or a maximum of 90 ft. **(H)** for the remainder of the block.
- 2.** Mid-rise building height is 4 stories with a maximum of 50 Ft. **(I)** for the first 50' **(H)** from 6th street and 6th or 7th Ave. **(F)**.
- 3.** Low-rise building height is 25 Ft. or 2 stories **(J)** for the first 50 Ft. **(I)** from the setback **(G)**.
- 4.** All new construction shall have scale-defining architectural elements or details at first two levels.
- 5.** A single plane of façade at the street level may not be longer than 50 Ft. without architectural relief or articulation such as windows, trellises and arcades.
- 6.** Street-Level Activity is achieved by providing a mix of commercial, retail, office and residential uses at street level.

4. Additional block specific building height requirements in the STS are shown in Figure 5.12-STC-C.

FIGURE 5.12-STC-C



Plan Details

Key	
--- Property Line	■ High-Rise Zone
— Building Height	▨ Mid-Rise Zone
— Setbacks	▧ Low-Rise Zone

5. Lot Coverage, Open Space, Pedestrian Access

Lot coverage, open space and pedestrian access requirements in the STS are as shown in Figure 5.12-STC and Table 5.12-STC-3.

FIGURE 5.12-STC-C

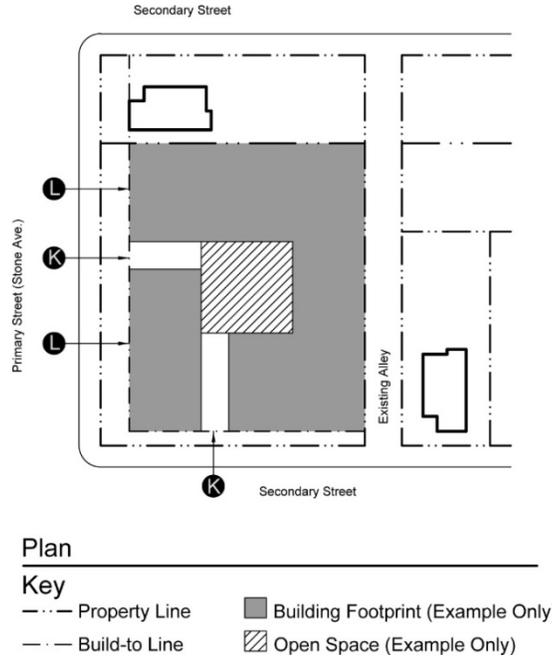


TABLE 5.12-STC-3		
STONE AVENUE SUB-AREA STANDARDS		
LOT COVERAGE		SPECIFIC REQUIREMENTS
Maximum Lot Coverage (1)	100%	-
OPEN SPACE		
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft./DU or 20% of Lot Area (7)	-
Open Space Non-Residential (2,3,4)	Min. of 20% of Lot Area	-
PEDESTRIAN ACCESS (5)		
Pedestrian Access to Open Space	Required	K
Main Entrance Location (6)	Primary Street (Stone Ave.)	L
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

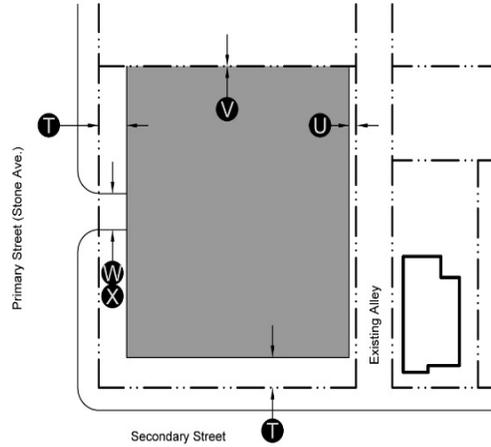
6. Building Massing Standards

Building massing standards in the STS are as shown in Table DLS-C in Section 5.12.11.l.

7. Parking Standards

Parking standards in the STS are as shown in Figure 5.12-ST5-E and Table 5.12-ST5-5.

FIGURE 5.12-ST5-E



Key

- - - Property Line
- █ Allowable Parking Area
- Parking Setbacks

TABLE 5.12-ST5-5		
STONE AVENUE SUB-AREA STANDARDS		
PARKING		SPECIFIC REQUIREMENTS
Location (Distance from Property Line)		<p>1. Street setback is only required at first floor level only for parking.</p> <p>2. 60% of parking required in Section 7.4 for commercial uses. Residential uses are required to provide 1 space per unit. Further reduction in on-site parking can be achieved by leased spaces from an off-site location, or an on-site car-share program.</p> <p>3. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per the Building Code and Section 7.4 for the proposed uses.</p> <p>4. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces.</p>
Street Setback (1)	20 Ft. T	
Alley Setback	5 Ft. U	
Side Setback	0 Ft. V	
Required Spaces		
Off-street (2)	Non-residential= 60% requirements in Section 7.4 Residential = 1/DU	
Accessible (3,4)	Compliance with the accessible parking requirements in the Building Code.	
Bicycle Facilities (3)	Compliance with the requirements in Section 7.4 for the proposed uses.	
Parking Area Access Lanes		<p>5. Parking access lanes are limited to one drive per primary street.</p>
Maximum Allowable Drive Width	24 Ft. W	
Access Lanes	1 Drive/Primary Parking Street (5) X	

B. Sixth Street Sub-Area (SSS)

1. Standards

Figure 5.12-SSA-A captures the boundaries of the SSA and the boundaries of the Sixth Street Sub-Area. Sixth Street Sub-Area zoning option standards apply.

2. Building Placement

Building placement and setback requirements in the SSS are as shown in Figure 5.12-SSS-A and Table 5.12-SSS-1.

FIGURE 5.12-SSS-A

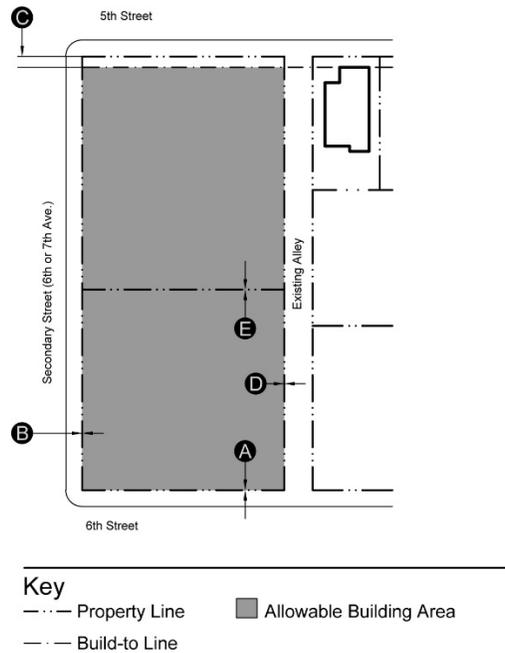


TABLE 5.12-SSS-1

6TH STREET SUB AREA STANDARDS

<u>BUILDING PLACEMENT STANDARDS</u>			<u>SPECIFIC REQUIREMENTS</u>
<u>Build to Line (Distance from Property Line)</u>	-	-	<u>1. Build-to requirements apply to: 1) 6th street frontage when building footprint exceeds 25% of lot area</u> <u>2. Street side facades must be built to Build to Line at a minimum of 75% of the new building frontage, to help define an urban street frontage, where build-to requirements apply.</u>
<u>6th Street and 6th Ave. (1,2)</u>	<u>0 Ft.</u>	<u>A</u>	
<u>Setback (Distance from Property Line)</u>			
	<u>0 Ft.</u>	<u>B</u>	
<u>5th Street</u>	<u>Consistent with Prevailing</u>	<u>C</u>	
<u>Alley Side</u>	<u>0 Ft.</u>	<u>D</u>	
<u>Side Yard</u>	<u>0 Ft.</u>	<u>E</u>	-

3. Building Heights, Floor Uses

Building height and floor use requirements in the SSS are as shown in Figure 5.12-SSS-B and Table 5.12-SSS-2.

FIGURE 5.12-SSS-B

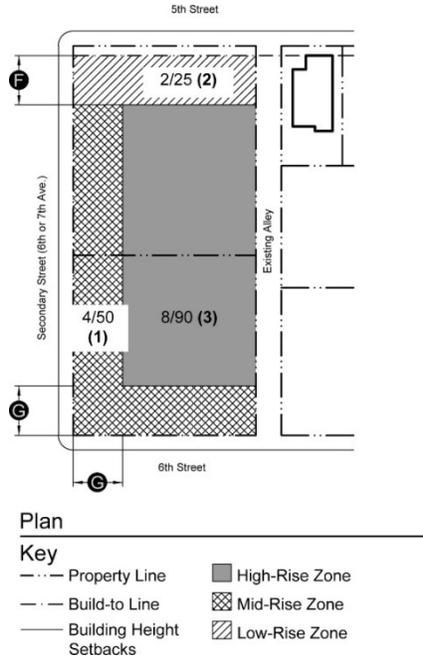
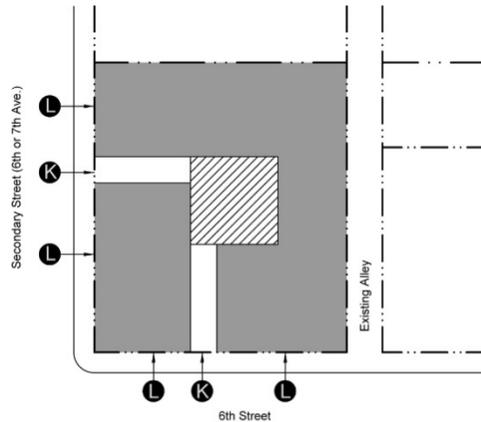


TABLE 5.12-SSS-2			
6TH STREET SUB-AREA STANDARDS			
BUILDING HEIGHT		SPECIFIC REQUIREMENTS	
High-Rise Building Height (1)	90 Ft. Max or 8 Stories	H	1. High-rise building height is 90 ft. max., or 8 stories (H) for the remainder of the block.
Mid-Rise Building Height (2)	50 Ft. Max or 4 stories	I, G	
Low-Rise Building Height (3)	25 Ft. Max or 2 stories	J, F	
FLOOR USES			
Ground Floor (4,5,6,7)	Commercial Services or Retail Trade Uses that encourage street level activity are preferred, but office, retail or residential uses may be used if the use satisfies the street level activity goal	-	2. Low-rise building height is 25 Ft. or 2 stories (J) for the first 50 Ft. (F) from the setback (B). 3. Mid-rise building height is 50 Ft. max., or 4 stories (I) for the first 50' (G) from 6th street and 6th or 7th Ave. (G). 4. All new construction shall have scale-defining architectural elements or details at first two levels. 5. A single plane of façade at the street level may not be longer than 50 Ft. without architectural relief or articulation such as windows, trellises and arcades. 6. Street-level activity is achieved by providing a mix of commercial, retail, office and residential uses at street level. 7. First floor level to be differentiated in form from upper levels.
Upper Floors	Residential or Commercial Services	-	
-	-	-	
-	-	-	
-	-	-	
-	-	-	
-	-	-	

4. Lot Coverage, Open Space, Pedestrian Access

Lot coverage, open space and pedestrian access requirements in the SSS are as shown in Figure 5.12-SSS-C and Table 5.12-SSS-3.

FIGURE 5.12-SSS-C



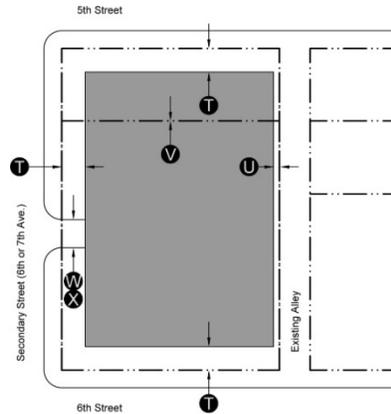
Key
 - - - - - Property Line
 ■ Building Footprint (Example Only)
 ▨ Open Space (Example Only)

TABLE 5.12-STS-3		
STONE AVENUE SUB-AREA STANDARDS		
LOT COVERAGE		SPECIFIC REQUIREMENTS
Maximum Lot Coverage (1)	100%	1. Covered by impervious surfaces such as, but not limited to buildings, drives, or parking.
OPEN SPACE		2. Usable open space does not need to be located on the ground - green roof or terrace is acceptable.
Open Space at Multi-Unit Dwellings (2,3,4)	30 Sq. Ft/DU or 20% of Lot Area (7)	
Open Space Non-Residential (2,3,4)	Min. of 20% of Lot Area	
PEDESTRIAN ACCESS (5)		3. Usable open space may be any combination of private and common space.
Pedestrian Access to Open Space	Required	4. Parking may not be counted as open space.
Main Entrance Location (6)	Primary Street (Stone Ave.)	5. Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structures or vegetation.
-	-	6. Main entrance locations shall be directly accessed from a sidewalk along a street rather than from a parking lot.
-	-	7. Open space at multi-dwelling units is 30 Sq. Ft. per dwelling unit or 20% of lot area, whichever is greater.
-	-	-

5. Lot Coverage, Open Space, Pedestrian Access

Lot coverage, open space and pedestrian access requirements in the SSS are as shown in Figure 5.12-SSS-C and Table 5.12-SSS-3.

FIGURE 5.12-SSS-C



Key
 - - - Property Line ■ Allowable Parking Area
 — Parking Setbacks

TABLE 5.12-SSS-5			
6TH STREET SUB-AREA STANDARDS			
PARKING	SPECIFIC REQUIREMENTS		
Location (Distance from Property Line)	1. Commercial parking not required. Residential uses are required to provide 1 space per unit. Further reduction in on-site parking can be achieved by: leased spaces from an off-site location, or an on-site car-share program. 2. Required accessible spaces and bicycle facilities may not be reduced or eliminated and must be based on the number of motor vehicle parking spaces required as per Section 7.4 for the proposed uses. 3. Accessible spaces may be provided 1) on-site, 2) off-site within one-quarter of a mile of the project site through a shared parking agreement, or 3) on street on the same side of the street up to five spaces. 4. Surface parking is allowed only under a structure 5. Parking access lanes are limited to one drive per street, drives preferable along 6th Avenue.		
Street Setback			20 Ft. T
Alley Setback			5 Ft. U
Side Setback			0 Ft. V
Required Spaces			
Off-street (1,4)	Non-residential = 0 Residential = 1/DU		
Accessible (2,3)	Compliance with the accessible parking requirements in the Building Code.		
Bicycle Facilities (2)	Compliance with the requirements in Section 7.4 for the proposed uses.		
Parking Area Access Lanes			
Maximum Allowable Drive Width	24 Ft. W		
Parking Access Lanes	1 Drive/Street (5) X		

5.12.17. IID DISTRICT TERMINATION

The provisions of Section 5.12, Downtown Area Infill Incentive District, shall end on January 31, 2015, unless Mayor and Council extend the date by separate ordinance.

5.12.18. ILLUSTRATIVE MAPS OF THE IID

[INSERT MAP SHOWING THE VARIOUS SUBDISTRICTS AND AREA]

THE FOLLOWING AMENDMENTS WILL BE MADE TO SECTION 4.2 DEFINITIONS:

11.4. OTHER TERMS DEFINED

11.4.1. PURPOSE

This section provides definitions for terms that are not land uses and are not contained in Section 11.3 above.

11.4.2. DEFINITIONS – A

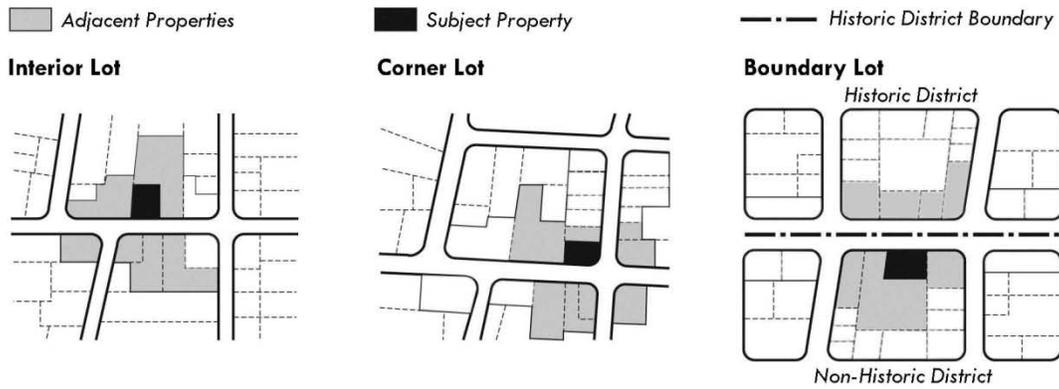
...

Adjacent

Two or more parcels or lots sharing a common boundary or separated by an alley or other right-of-way 20 feet or less in width. Parcels or lots having only a common corner are considered adjacent. Within the Infill Incentive District, Optional Zoning Sub districts, Areas and Sub-areas, the term “adjacent” or “adjacency means:

1. Two or more parcels or lots sharing a common boundary or separated by an ally or a local or arterial street 30 feet or less in width. Parcels or lots having only a common corner are also considered adjacent.
2. Where the development parcel is an interior parcel, adjacent lots includes all residential lots or development on either side of the development parcel, those lots fronting on the same street in the same block as the development parcel, and all those lots on the opposite side of that street See Figure XXX, “Adjacent Properties);
3. Where the development parcel is a corner lot, the term “adjacent” includes all the residential corner lots or developments diagonally opposite the development parcel, fronting on the same two streets in the same block, and on the opposite sides of those streets as shown in the diagram below; (See Figure XXX “Corner Lot”)

4. Where the development parcel is adjacent to an HPZ, the term “adjacent” includes all lots across the street and diagonally across from the development parcel.



11.4.8. DEFINITIONS – G

Group Dwelling.

Within the Downtown Area Infill Incentive District (IID) the term “group dwelling” means a structure that:

1. meets the definition of “group dwelling” contained in UDC Section 11.3.7.B; and
2. is greater than two stories or 25 in height.