



SPECIAL DISTRICTS APPLICATION

Application Stage: Pre-application Application
Permit Activity Number _____ Case Number HPZ-20- Date Accepted: _____

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): _____

Property Address: _____

Pima County Tax Parcel Number/s: _____

Current Zoning: _____

Applicable Overlay/	Infill Incentive District	Rio Nuevo Area
Special Districts:	Main Gate Overlay District	Grant Road Overlay District
	Neighborhood Preservation Zone	Historic Preservation Zone

Neighborhood Association (if any): _____

PROJECT TYPE (check all that apply):

New building on vacant land	Change of use to existing building
New addition to existing building	New building on developed land
	Other _____

Description of Proposed Use: _____

Number of Buildings and Stories/Height of Proposed Structure(s): _____

Site Area (sq ft): _____ Area of Proposed Building (sq ft): _____

HISTORIC STATUS

Site is within a: Historic Preservation Zone Please List: _____
National Register District Please List: _____

Site is/includes: A contributing structure Non-contributing structure
Is adjacent to a contributing structure Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: _____

ROLE: Property owner Architect Engineer Attorney Developer
Other: _____

EMAIL: _____ PHONE: _____

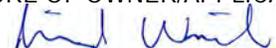
ADDRESS: _____

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): _____

PHONE: _____

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT*



*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date



SPECIAL DISTRICTS APPLICATION CHECKLIST REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

✓	1. Application form (signed by the Property Owner or Authorized Agent, include letter of authorization signed by property owner if needed).
✓	2. Project statement outlining project scope which describes how the project meets applicable design guidelines and outlines any requested modifications/exemptions
✓	3. Pima County assessor's record parcel detail and record map
✓	4. Zoning review comments issued by PDS staff on development package or other submittal*
✓	5. Documentation of neighborhood meeting to include invitation, affidavit of mailing, sign-in sheet, agenda/materials and meeting notes (if applicable)*
✓	6. Color aerial photograph of subject property
✓	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property)
✓	8. Color, labeled photographs of the surrounding area
✓	9. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable)
✓	10. Site plan (landscape plan and floor plans if applicable) drawn to scale at 11"x17", prepared in accordance to Section 2-06.0.0, in the Administrative Manual
✓	11. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", with dimensions and proposed materials noted (if applicable) prepared in accordance to Section 2-06.0.0.
✓	12. Shade study (for projects within the Rio Nuevo Area)
✓	13. Renderings depicting various views from the street level and birds eye view (recommended for major projects)
✓	14. Samples of proposed materials , if applicable, to include cut sheets and/or photographs of the type, color and texture of the proposed materials.
✓	15. Applicable fees (confirm with PDS staff)*
	IF HISTORIC REVIEW REQUIRED
✓	16. Aerial photograph depicting the property's Development Zone . All building footprints within the development zone must be shown and labeled to indicate contributing/non-contributing status.
✓	17. Arizona Historic Property Inventory form (if available)
	IF REQUESTING INDIVIDUAL PARKING PLAN
	18. Parking narrative addressing items listed in UDC 7.4.5.A.4, sealed by a design professional licensed by the State of Arizona.

*Required for final application only

Refer to Supplemental Information for additional instructions for these items. Additional application materials may be required based on scope of project.

Submitting your Application: Once you have completed the Application Form and compiled the Submittal Requirements, submit a pdf of all materials to specialdistricts@tucsonaz.gov. For the final application, two hard copies of the application are also required. Please note, additional hard copies may be required by review bodies.

Re: IID application 19-15 The Hut / Blue 305 LLC , 305 N 4th Ave, Assrs. #117-05-0810

To Whom It May Concern: This letter shall serve as notice, that Miguel Fuentesvilla and Richard Wiehe of FORSarchitecture+interiors are my agents and representatives in any and all matters in reference to the filing and achieving an IID for the above referenced property. They have full decision making authority and binding power to execute any and all documents.

A handwritten signature in black ink, appearing to read "Scott J. Cummings". The signature is fluid and cursive, with a long horizontal stroke at the end.

Scott J Cummings

Property Owner and Sole Member/Managing Member

Blue 305 LLC

323 E 8th St. Tucson AZ 85705

520.990.1123

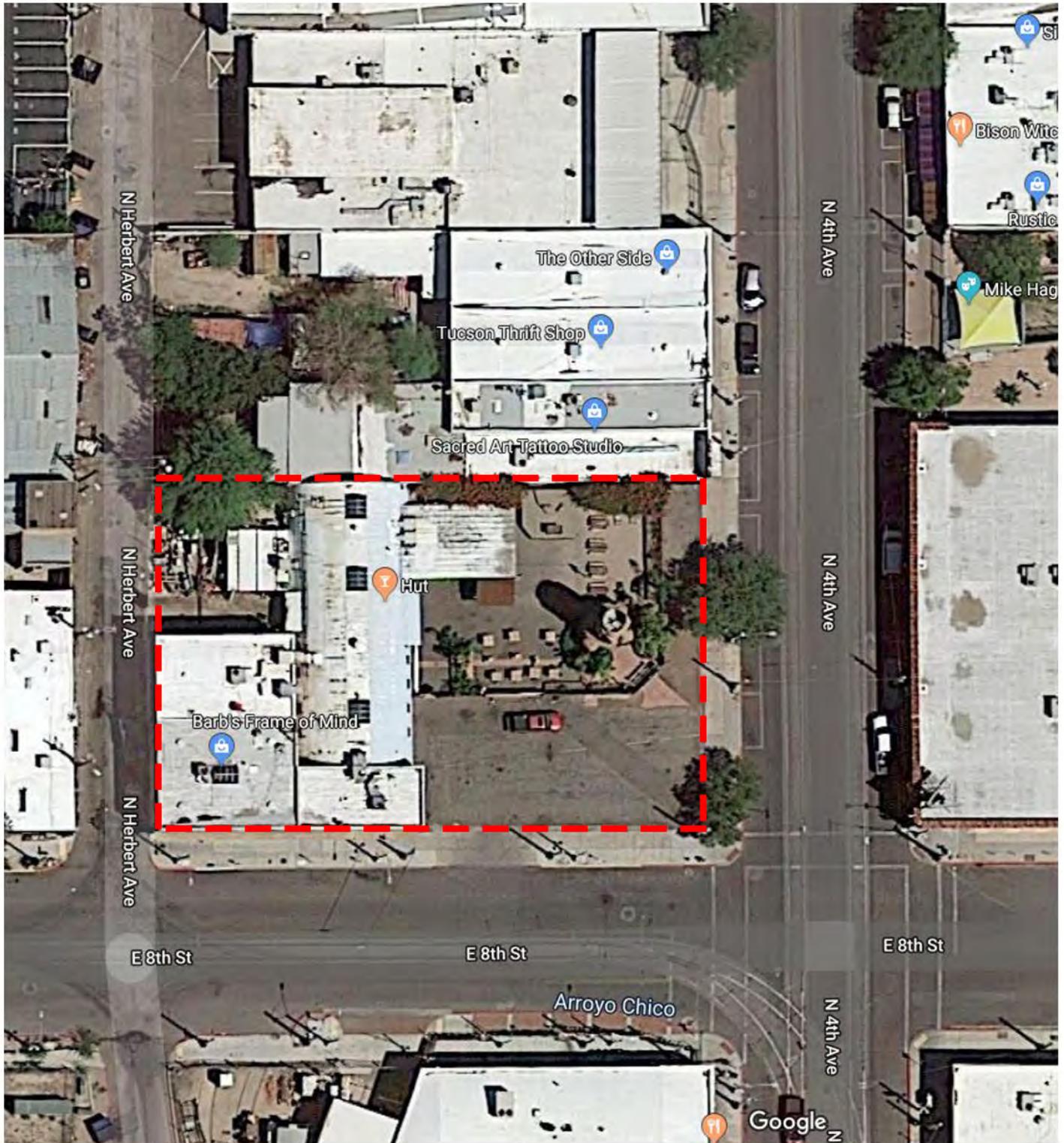
sjcummingproperties@gmail.com

The Hut

Address: 305 N 4th Ave; 305 N Herbert Ave; 321, 323 & 327 E 8th St

Parcel: 117050810

Legal: Tucson Lot 12 & S49.5' Lot 9 BLK 74



06.25.2020

To: City of Tucson
Development Services

From: Richard Wiehe
FORS architecture
520.795.9888

Re: T19PRE0221; Parcel: 117050810
The Hut – Building addition and patio expansion
305 N. 4th Ave, 305 N. Herbert Ave, 321, 323, & 327 E. 8th St., Tucson, Arizona

Project Statement:

use:

The Hut is an Alcoholic Beverage Service: Large Bar

1. Intent:

This IID application is intended to provide our client with relief from additional vehicle parking, off-street loading, solid waste collection, and landscaping/screening requirements for The Hut. Our client would like to increase the area of fenced perimeter yard to be able to utilize the entire site. This area, adjacent to 4th Ave and 8th St, is paved and currently used as a parking lot. This area would be added to the exterior patio for patrons to The Hut. It would be used to increase seating, activity area, and entertainment area. The new perimeter enclosure would have integral planters similar to the exterior planter wall at O'Malley's across the street (see O'Malley's precedent example within this package for images).

Additionally, our client would also like to build a new building to enclose the area used as storage/utility on the west side of the Quonset hut building and adjacent to N Herbert Ave. This area currently houses a walk-in cooler, storage container, various building materials and equipment. The new building would securely house this equipment and provide additional back of house space. The site's Historic Quonset Hut Structure will be completely untouched – and hopefully enhanced by surrounding it with improved courtyard features.

2. IID fulfillment:

The Hut project, but its nature, is in alignment with the Overall IID Purpose, IID General Zoning Standards, and Fourth Avenue Area requirements.

IID Purpose: Proposed Parking swap for Patio seating will remove parked vehicles and replace with entertained people thus creating a more *Urban Neighborhood*. Patio will enjoy *pedestrian* and *transit oriented* benefits because it is immediately adjacent to the Tucson streetcar route, Tu-Go bike rental route and 4th avenue pedestrian corridor.

General Zoning Standards:

The majority of scope is an exercise in "*Streetscape Design*". *Pedestrian-orientation* is achieved because the patio is immediately adjacent to the sidewalk - which be improved by planters and more aesthetic *architecturally detailed* fencing. *Shade* will be significantly increased by additional trees.

Fourth Avenue Area requirements:

The proposed seated patio is *medium-density* infill. Project is located midway between two streetcar stops thus patronage will likely be *transit-oriented* to some degree. (FHS) *Historic character* of the area maintained by complete perseverance of The Huts contributing structures.

06.25.2020

3. Benefits:

A new attraction would increase pedestrian traffic, in turn, increasing revenue potential within the area. An enclosed perimeter would discourage negative activity that takes place during operational and nonoperational hours (vandalism, loitering, panhandling, etc.)

4. Potential adverse Effects:

Increasing use will result in a more congested traffic in the area and higher noise levels. Although we feel these potential adverse effects are superseded by the benefits mentioned in item 3. There are no residential lots adjacent to this property so disruption to residential neighbors would be minimal. The Hut already hosts live music on their outdoor stage so there is no change to use just an increase in area.

5. UDC streetscape compliance:

UDC 5.12.8.A

- a. *New Construction architectural detailing:* For HDZ compliance new construction will emulate the architectural detailing of the existing structure as much as possible.
- b. *Window Frontage:* No new window frontage is proposed along historic Quonset hut facade along 4th Ave.
- c. *50' Façade Detailing:* No change - We are maintaining existing detailing on historic building.
- d. *Front Doors:* No change - We are maintaining existing front door on historic building.
- e. *Use:* Change entire site to Assembly - Food and Beverage
- f. *Sidewalks:* – N/A existing sidewalks to remain
- g. *Pull-outs:* N/A there are no bus pull-outs adjacent
- h. *Drive-through:* N/A there is no proposed drive-through

6. Safety:

A safer environment shall be provided by creating a new fenced area for the area that is currently paved and primarily used as a location for loitering along 4th Ave.

7. Residence privacy:

N/A – There are no residential properties adjacent to The Hut.

8. Solar Energy:

N/A – project will not impede solar energy options to adjacent properties.

9. Landscaping:

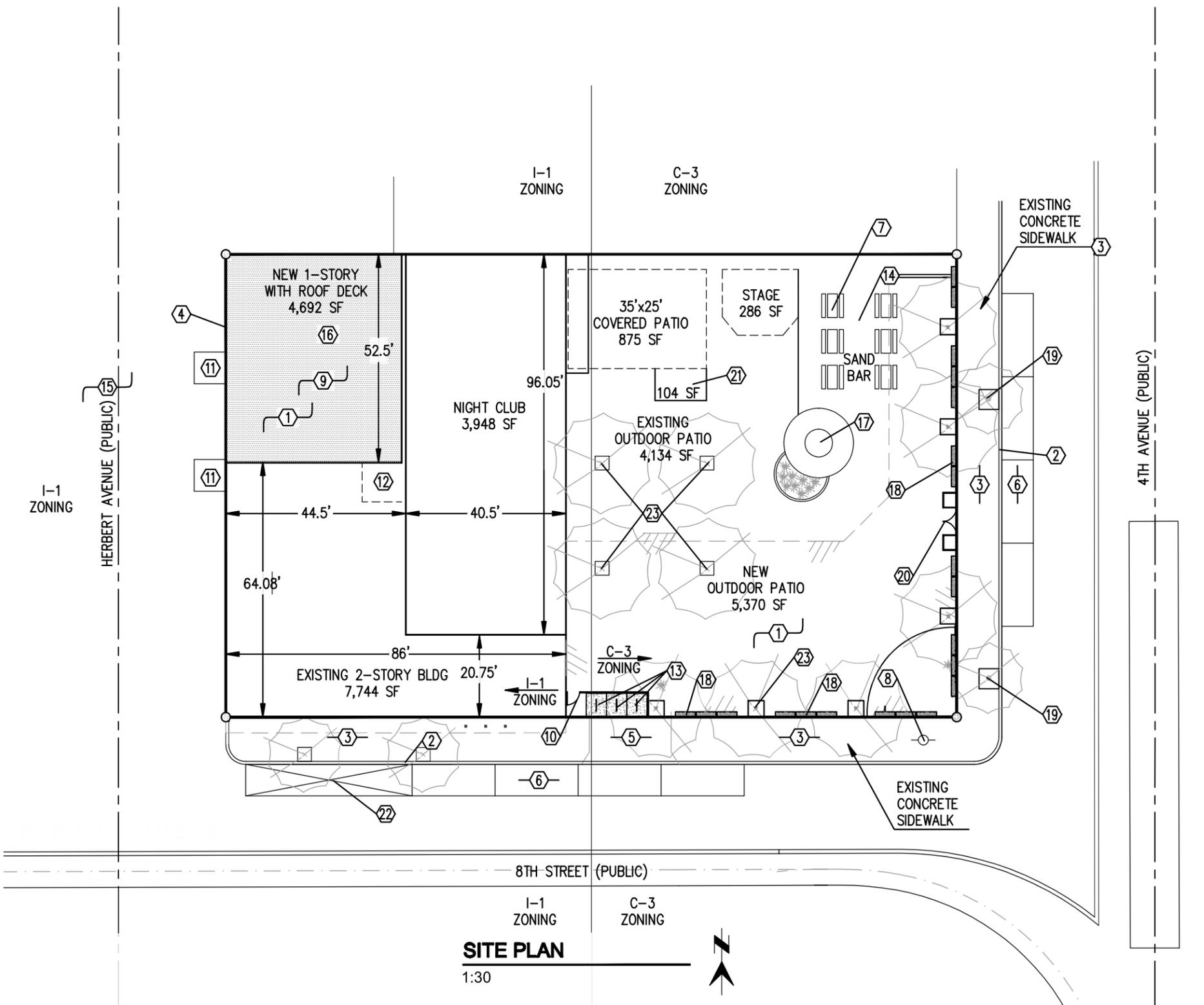
Drought tolerant native landscaping will be used in planters along the perimeter of the site along 8th Street and 4th Ave. See pictures of O'Malley's planters in precedent studies section of this IID submittal.

10. Intended Modifications to the UDC:

Req'd Motor Vehicle Parking = 543; Proposed = 0. Req'd short term bike parking = 14; proposed = 6. Req'd and Proposed loading = 1. Loading is existing on-street. The Hut IID proposes slight shifting of location to the west to provide more parallel street parking spaces. Required landscape buffer = 10'; requested buffer = 0. Screening via fencing and planters as illustrated in elevations herein per UDC. Setback modification for new structure on Herbert Ave. proposed at 0' per IID provisions. No change to refuse; existing alley pickup. Current parking is non striped, non-conforming lot. There currently exists no ADA spaces and no bike parking to reduce or eliminate.

11. HPZ Consideration:

The existing Quonset Hut and 2 story Brick Building are both contributing structures. Proposed utility building is behind both, will be structurally independent, and will stand off – not touching either existing structure. The only modification will be to cut in a door from the 2nd floor of the brick building to access the new rooftop deck. All patio improvements are low in scale and transparent so major street front views to the building are completely preserved.



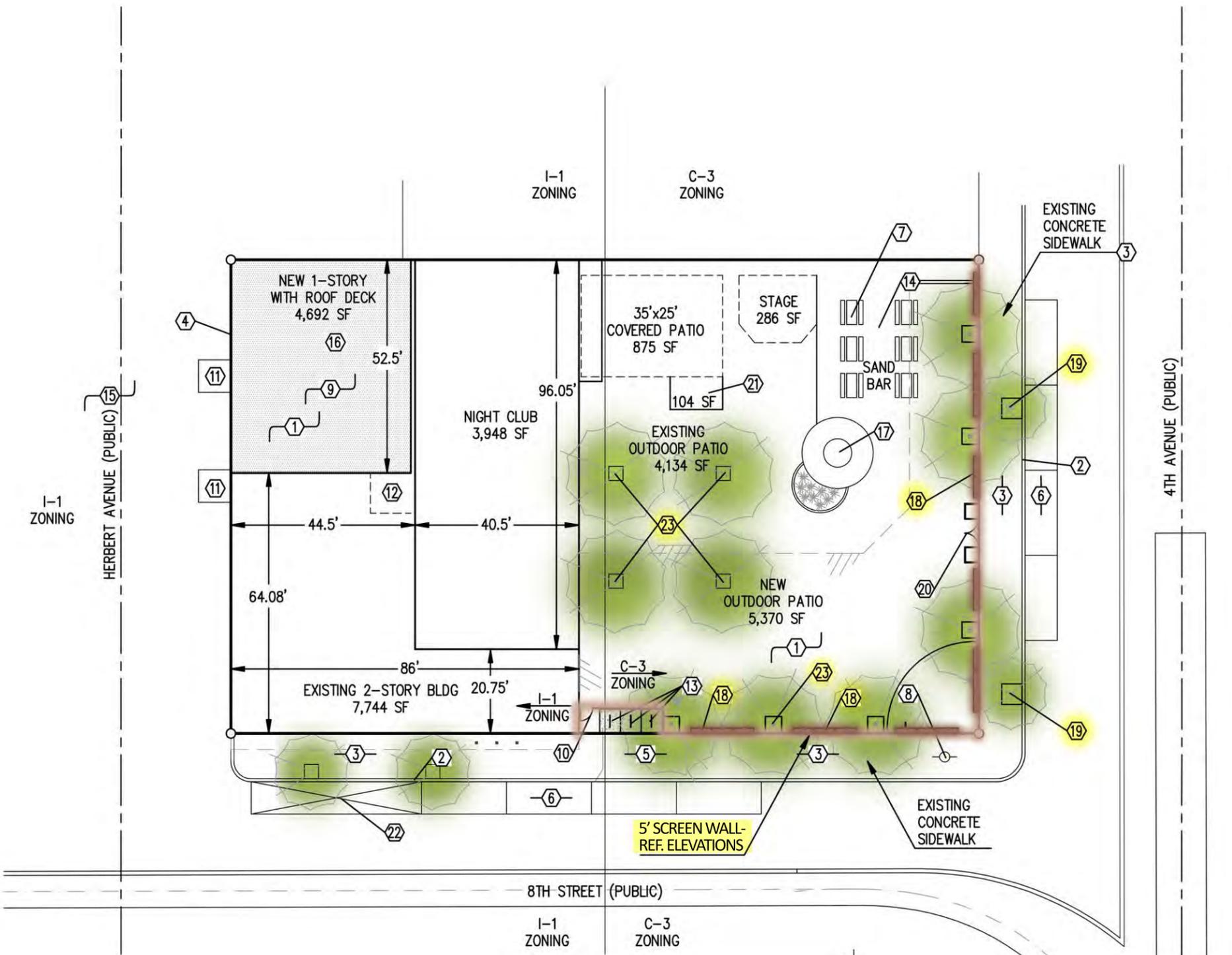
development data

use

Alcoholic Beverage Service: Large Bar

KEYNOTES

- ① EXISTING ASPHALT PAVEMENT TO BE REMOVED
- ② EXISTING CONCRETE CURB AND GUTTER
- ③ EXISTING CONCRETE SIDEWALK
- ④ EXISTING 6' HIGH CHAIN-LINK FENCE AND GATES
- ⑤ EXISTING CONCRETE DRIVEWAY APRON TO BE REMOVED AND REPLACED WITH NEW CONCRETE SIDEWALK PER PAG STD DTL 200
- ⑥ METERED PUBLIC PARKING SPACES
- ⑦ EXISTING PICNIC TABLES
- ⑧ EXISTING FIRE HYDRANT
- ⑨ TEMPORARY STORAGE YARD TO BE REMOVED
- ⑩ MAN GATE
- ⑪ EXISTING SOLID WASTE DUMPSTER LOCATION
- ⑫ LONG TERM BICYCLE PARKING- 10'x10' AREA WITHIN BUILDING. 6' HIGH CHAIN-LINK ENCLOSURE WITH LOCKING GATE MONITORED CHECK-IN
- ⑬ SHORT TERM BICYCLE PARKING- SEE BIKE POST DETAIL THIS SHEET
- ⑭ 5' MINIMUM WASHED SAND FILL OVER EXISTING ASPHALT PAVING
- ⑮ HERBERT AVENUE IS AN IMPROVED PAVED STREET AND MEETS THE REQUIREMENTS AS ACCESS FOR SOLID WASTE PICK-UP AND FOR ACCESS TO LOADING ZONE
- ⑯ MIXED USE EXTENSION OF LARGE BAR WITH STORAGE/FOOD AND BEVERAGE. ROOF DECK ABOVE ONE STORY STRUCTURE
- ⑰ EXISTING TIKI STATUE
- ⑱ LANDSCAPE PLANTERS
- ⑲ EXISTING TREE
- ⑳ 82" DOUBLE GATE
- ㉑ EXISTING OUTDOOR BAR- 104 SF
- ㉒ LOADING ZONE
- ㉓ TREES IN PLANTER BOXES (TYP)



LANDSCAPE AND SCREENING PLAN
1:30

NOTE:
REFERENCE TREE & PLANTER DETAIL
FOLLOWING SHEET

KEYNOTES

- ① EXISTING ASPHALT PAVEMENT TO BE REMOVED
- ② EXISTING CONCRETE CURB AND GUTTER
- ③ EXISTING CONCRETE SIDEWALK
- ④ EXISTING 6' HIGH CHAIN-LINK FENCE AND GATES
- ⑤ EXISTING CONCRETE DRIVEWAY APRON TO BE REMOVED AND REPLACED WITH NEW CONCRETE SIDEWALK PER PAG STD DTL 200
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- ⑪ EXISTING SOLID WASTE DUMPSTER LOCATION
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- ⑬ SHORT TERM BICYCLE PARKING- SEE BIKE POST DETAIL THIS SHEET
- ⑭ 5' MINIMUM WASHED SAND FILL OVER EXISTING ASPHALT PAVING
- ⑮ HERBERT AVENUE IS AN IMPROVED PAVED STREET AND MEETS THE REQUIREMENTS AS ACCESS FOR SOLID WASTE PICK-UP AND FOR ACCESS TO LOADING ZONE
- ⑯ MIXED USE EXTENSION OF LARGE BAR WITH STORAGE/FOOD AND BEVERAGE. ROOF DECK ABOVE ONE STORY STRUCTURE
- ⑰ EXISTING TIKI STATUE
- ⑱ LANDSCAPE PLANTERS WITH SLIPPER PLANT EA. PLANTER
- ⑲ EXISTING TREE
- ⑳ 82" DOUBLE GATE
- ㉑ EXISTING OUTDOOR BAR- 104 SF
- ㉒ LOADING ZONE
- ㉓ TREES IN PLANTER BOXES (TYP)- THORNLESS TEXAS HONEY MESQUITE

⑱

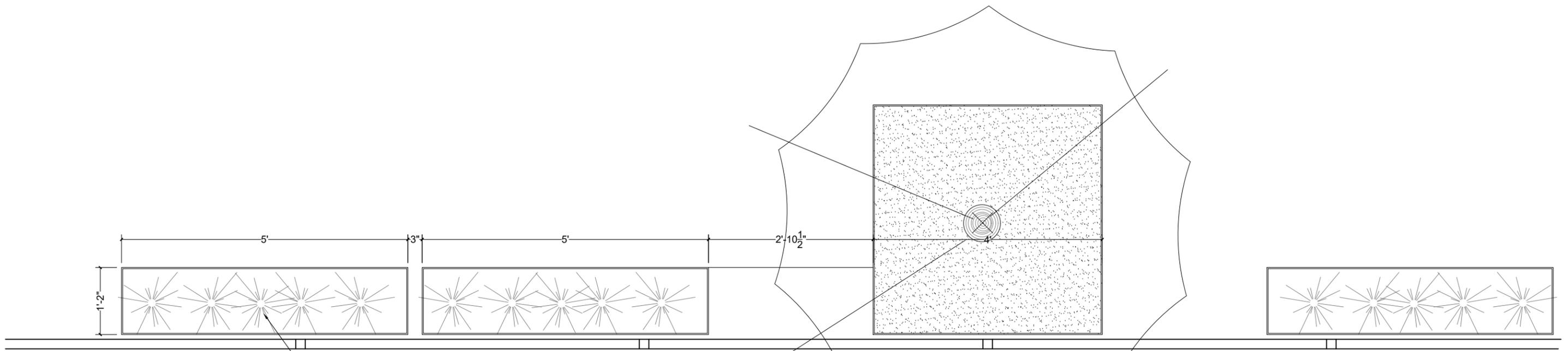


SLIPPER PLANT

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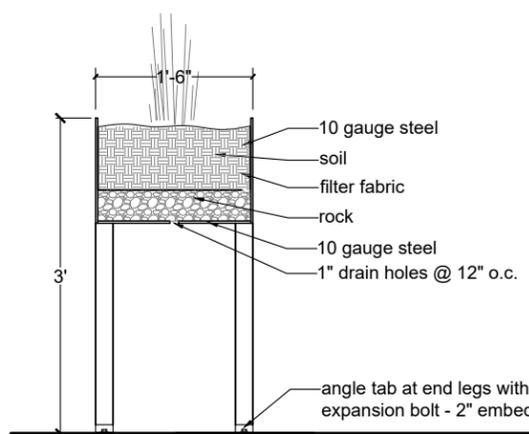
THORNLESS MESQUITE



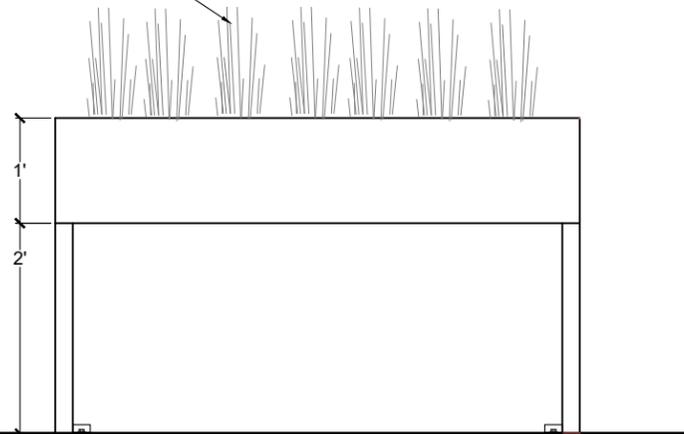
plan

slipper plant

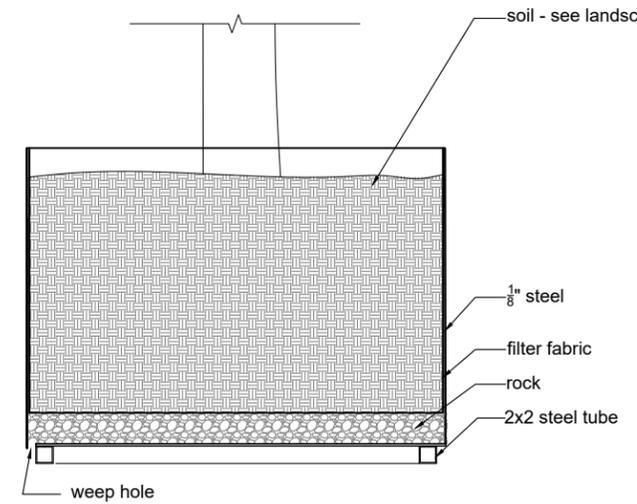
thornless texas honey mesquite



section



elevation



section

soil - see landscape for spec

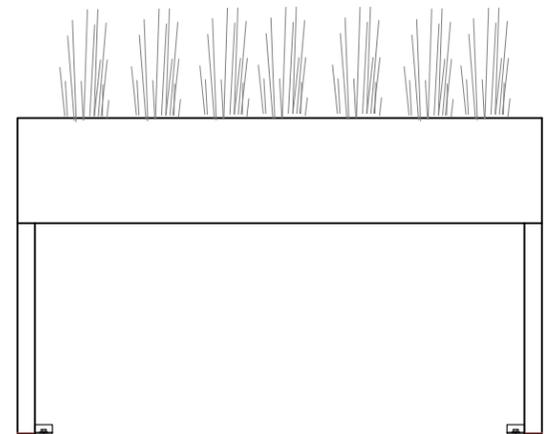
1/8" steel

filter fabric

rock

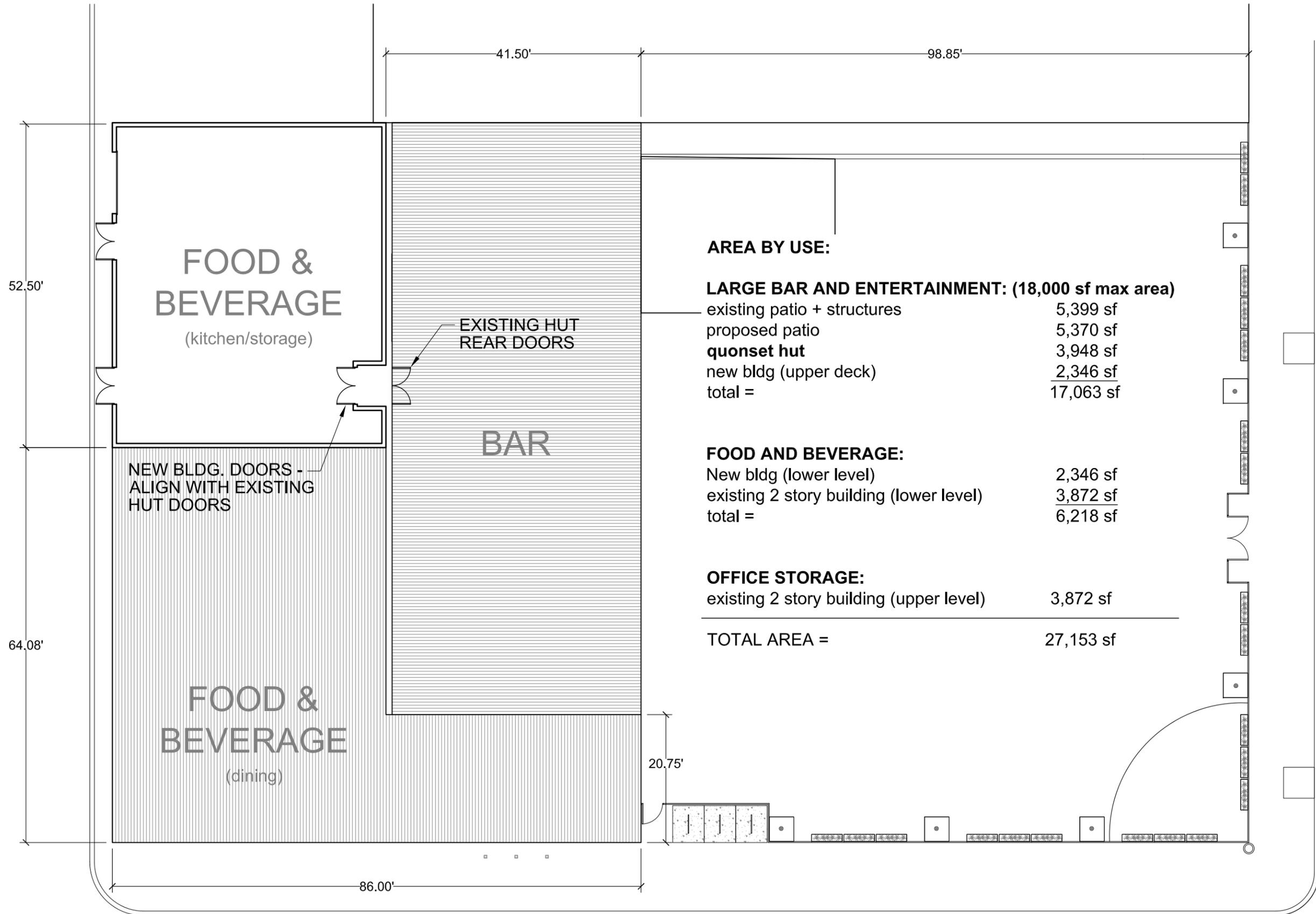
2x2 steel tube

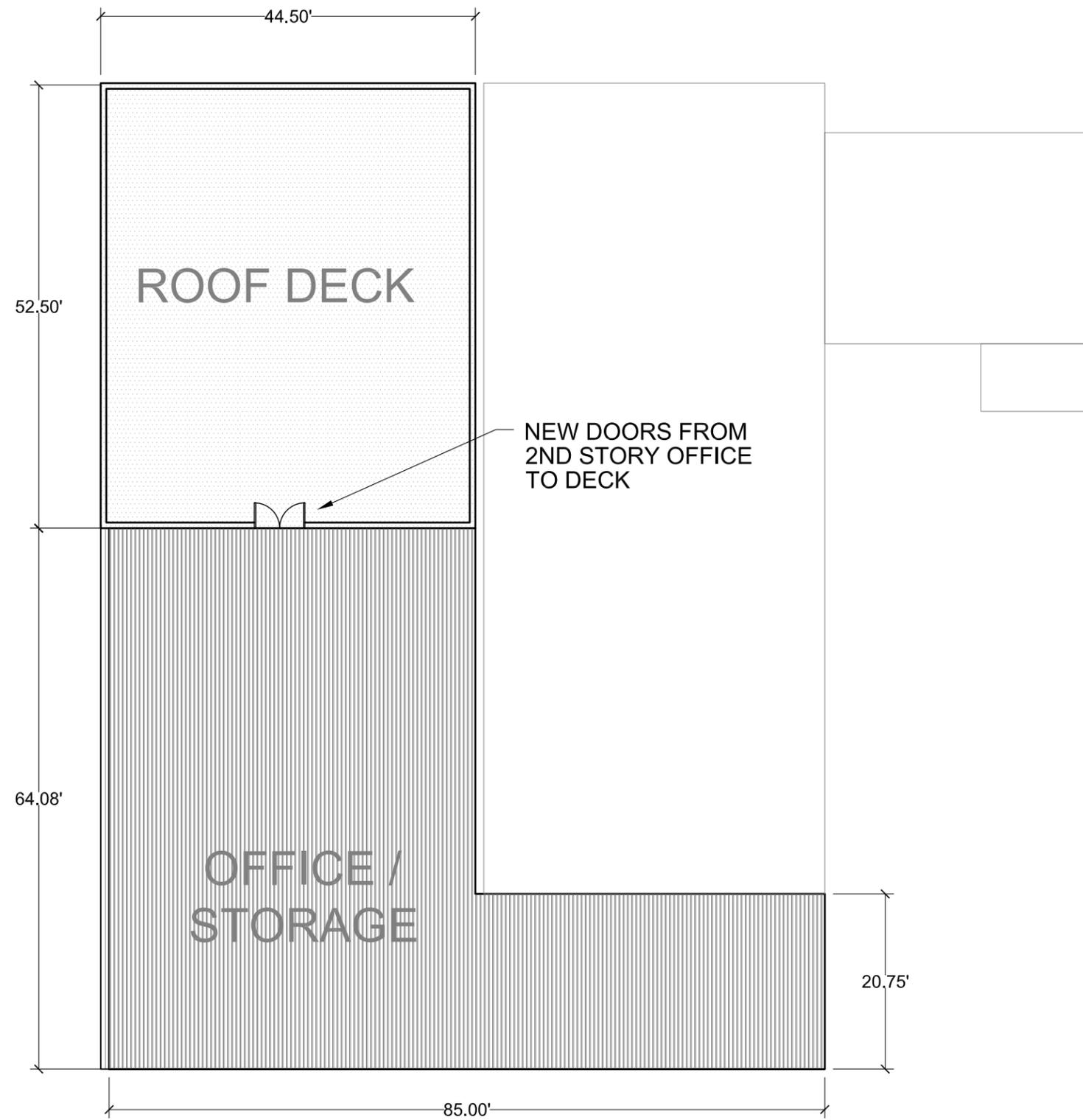
weep hole

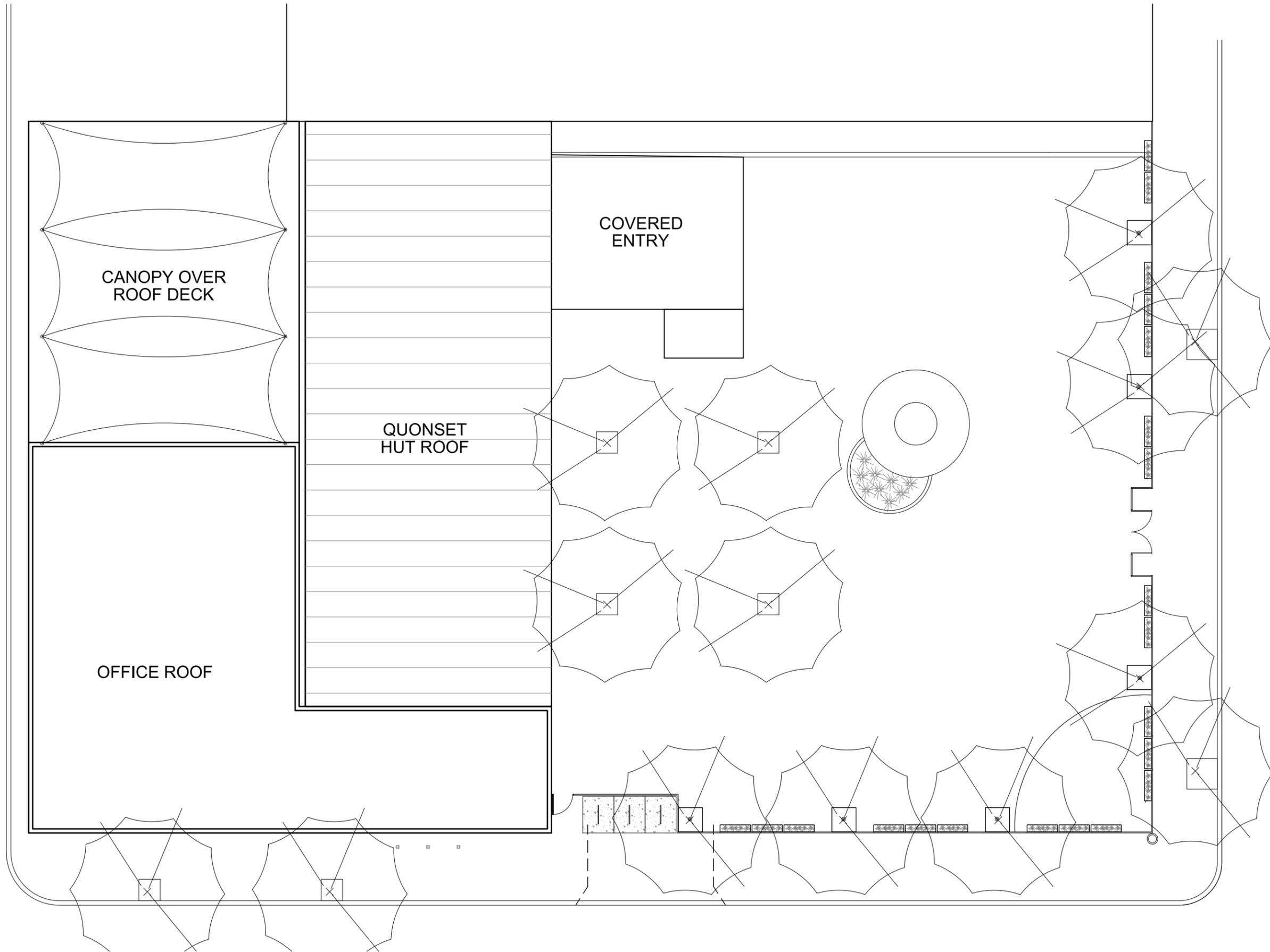


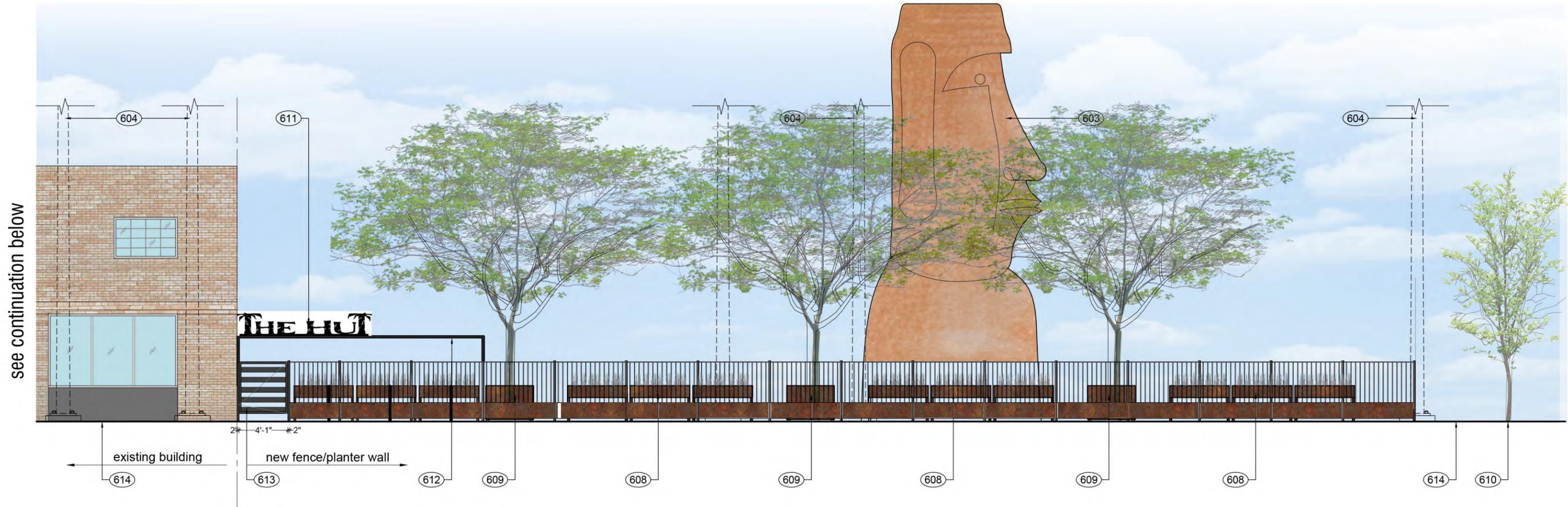
1 tree & planter barrier
scale: n.t.s

HERBERT AVE - ALLEY









see continuation below



see continuation below

keynotes

- 601. [e] two story brick building
- 602. [e] quonset hut building
- 603. [e] tiki head
- 604. [e] light pole or transit pole
- 605. [e] covered patio
- 606. [n] one story building with roof deck
- 607. [n] lighting and shade cover
- 608. [n] planter with rust finish see details
- 609. [n] tree planter with rust finish see details
- 610. [e] in ground tree
- 611. [n] the hut signage at entry
- 612. [n] covered bike parking
- 613. [n] gate w/push bar tab stop
- 614. [e] sidewalk to remain
- 615. [n] steel railing
- 616. [n] double doors or overhead door
- 617. [n] tensile fabric awning

Site Context Photos - Elevations

1. Elevation looking WEST



2. Elevation looking NORTH



3. Elevation looking NORTH

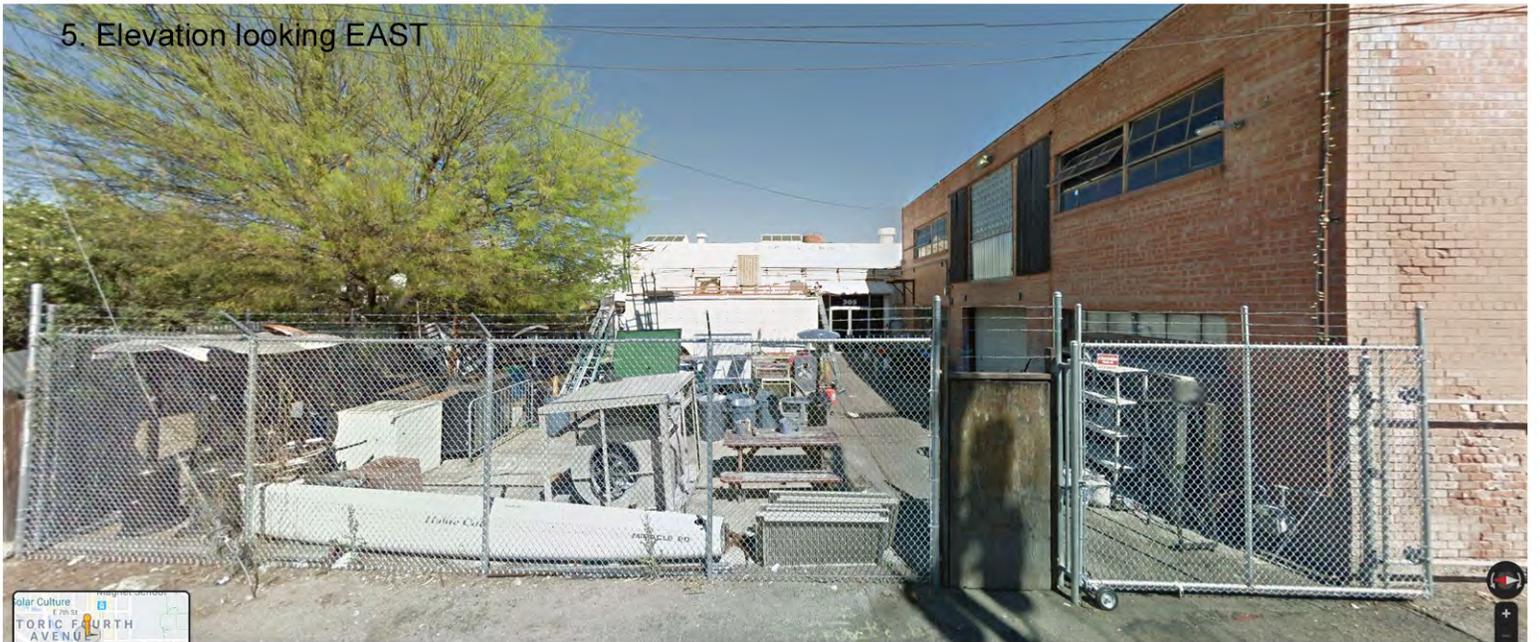


Site Context Photos - Elevations

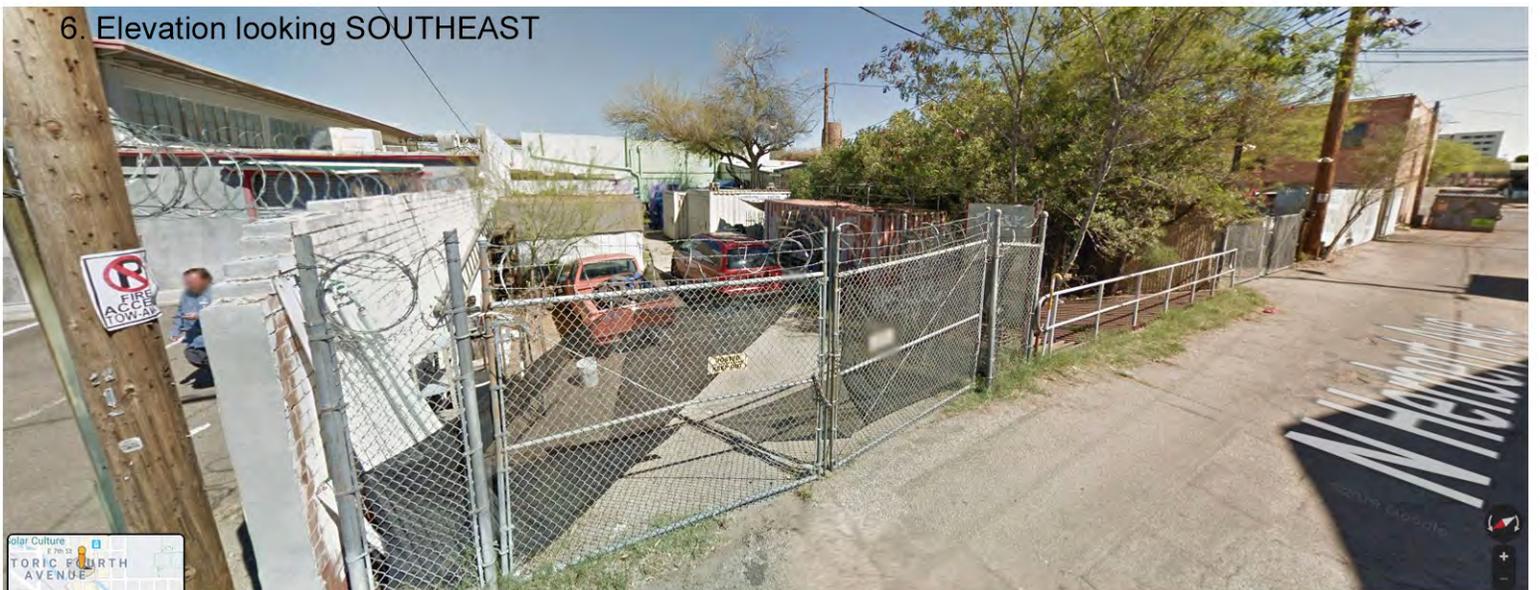
4. Elevation looking NORTH



5. Elevation looking EAST



6. Elevation looking SOUTHEAST



Precedent Examples

1. The Boxyard - Entertainment venue and bar
238 N. 4th Ave, Tucson AZ 85705



2. The Shanty - Entertainment venue and bar
401 E. 9th St, Tucson AZ 85705



3. O'Malley's Bar & Grill - Restaurant, Entertainment venue and bar
247 N. 4th Ave, Tucson AZ 85705



04.10.2020

To: City of Tucson
Development Services

From: Richard Wiehe
FORS architecture
520.795.9888

Re: T19CM07097
The Hut – Building addition and patio expansion
305 N. 4th Ave, 305 N. Herbert Ave, 321, 323, & 327 E. 8th St.
Tucson, Arizona

Parcel: 117050810

PDS Comments:

Loren Makus – Engineering

T19PRE0221 - 305 N 4th Av

1. Entire site within Zone AE.
2. Enclosure must not block drainage.

SBEASLE1 – Tucson Water

230 pm - T19PRE0221 - 305 N 4TH AV - Site IID The Hut

" Currently this property is served by a 2" service connected to the existing 8" water main located in 8th Street.

" Please see Ray Munoz at 837-2207 in the Tucson Water New Services Section if you need to discuss:

- o The number of water service lines, water meters, and meter sizes, necessary to serve this project.
- o The advantages and disadvantages of installing the necessary water meters via Tucson Water's Job Order Contract (JOC) process.

Jodie Brown – Historic

Jodie Brown HPO - At this point, I just have some general comments. It is difficult to comment fully without seeing the plans. On the Quonset hut, the property is deemed a contributor to the 4th Avenue Commercial Historic District. The placement of the addition is good. It is not visible from the public right of way and behind the historic buildings. It is hard to comment on the design. I would recommend that they minimally remove material of the quonset hut and they should be careful in how they connect the new construction. If they could use existing openings to access the new addition that would be preferred. I would also like to understand how the roof will be done.

04.10.2020

Elisa Hamblin – Zoning

PROJECT: Thursday Pre-submittal meeting - T19PRE0221

Address: 305 N 4th Av

Parcel(s): 117-05-0810

Zoning: I-1/C-3

Existing Use: Alcoholic Beverage Service, Large Bar and Entertainment

Proposed Use: (Same)

1932TRANSMITTAL DATE: December 12, 2019

COMMENTS:

1. Development must comply with the Administrative Manual Section 2-06 - Development Package.
2. The proposal is the addition of 4,992 sq ft of building area, roof deck, and conversion of an existing parking area. A Large Bar use (18,000 sq ft +) in the I-1 and C-3 zones is permitted through a Mayor and Council Special Exception Procedure, subject to use-specific standard 4.9.4.C.2. and 4.9.13.Q.
3. Setback, parking and landscaping development standards are not met with this proposal. These requirements can be modified through an Infill Incentive District (IID) approval. Please note, if the proposal constitutes a more than 25% expansion (which it appears it does) since the site last met full code compliance, it will be required to be brought up to current code standards, or receive appropriate modifications through the IID. All standards requiring modification will be stated in first review of the submitted development package.
4. The comments provided are preliminary and are not to be assumed as a complete review of the proposal. During the Development Package review process, a full review will be made by Zoning to assure compliance with the applicable UDC development criteria and Technical Standards.

If you have any questions please contact me at elisa.hamblin@tucsonaz.gov or (520) 837-4966.

GDAURIA1 – Fire

*Fire sprinklers required; including under covered patio.

*Fire alarm system required if cumulative load of indoor and outdoor space is 300 or more.

*Suggest moving parking spaces on 8th St to the east, to provide a loading area at the SW corner of the building.

SBEASLE1 – Traffic

Review was not completed.

Corky Poster – Design Professional

Corky Poster: Based on an initial and cursory review of the proposed project, I see four critical items for further study, review, and comment. (More detailed comments will be provided at formal review).

1. The impact of the project on parking
2. More detail on sections and elevations.
3. More detail on materials palette
4. Discussion of issues of new construction in a National Register Historic District.

Permit Review Details – Development Plan

Permit: [DP20-0082](#)

Parcel: [117050810](#)

Addresses:

[305 N 4TH AV](#)

Review Status: **Completed**

Review Details

Fire

* Show underground fire line

* Fire sprinklers and fire underground; two separate deferred submittals to TFD

Andy Connor - Landscape

Provide Case # DP20-0082 on each sheet.

This site is within the following special district:

DOWNTOWN LINKS SUBDISTRICT LANDSCAPING AND SCREENING

A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSO Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers in accordance Section 5.12.6.A.2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalk is allowed if no safety hazard is created. All pedestrian access must conform to the accessibility standards of the City's Building Code.

SECTION 4-02.0.0: FLOODPLAIN, WASH AND ERZ STANDARDS

The development is proposing Encroachment in Regulated Areas

If the project proposes encroachment within the regulated areas, it shall conform to the following.

1. Environmental Resource Report. Applicants are required to submit an Environmental Resource Report as defined in Section 11.4.6 of the UDC. An application may request that an element listed be waived or that the report address only a specified area where a full report is not applicable to the proposed encroachment. DSD may grant such waivers where the elements or full report are not required by code.

Contact Engineering section to see what extent the ERR will be necessary.

Ensure that Zoning and Engineering comments are addressed prior to landscape section approval.

Additional comments may apply

Steve Shields - Zoning

COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.

This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).

Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is April 15, 2021.

2-06.4.7 - General Notes

The following general notes are required. Additional notes specific to each plan are required where applicable.

2-06.4.7.A - Zoning and Land Use Notes

1. 2-06.4.7.A.4 - Identify the proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses.

2. 2-06.4.7.A.6 - It appears that one of the three following process will need to be completed prior to approval of this development package; 1) Special Exception Use - Mayor and Council Special Exception Procedure, Section 3.4.4, 2) Downtown Area Infill Incentive District (IID) or 3) Board of Adjustment for Variance. Once the process is complete provide the case number adjacent to the title block on all sheets and provide a general note stating the case number, date of approval, what was modified and if applicable and conditions of approval.

2-06.4.8 - Existing Site Conditions

The following information shall be provided on the plan/plat drawing to indicate the existing conditions on site and within 50 feet of the site. On sites bounded by a street with a width of 50 feet or greater, the existing conditions across the street will be provided.

3. 2-06.4.8.A - Provide site boundary perimeter information, including bearing in degrees, minutes, and seconds, with basis for bearing noted together with distances in feet

4. 2-06.4.8.B - 2-06.4.8.B - If applicable show all existing easements on the plan. The recordation information, location, width, and purpose of all easements on site will be stated.

5. 2-06.4.8.C - The following information regarding existing private or public right-of-way adjacent to or within the site shall be provided: the name, right-of-way width, type and dimensioned width of paving, curbs, curb cuts, and sidewalks.

2-06.4.9 - Information on Proposed Development

The following information on the proposed project shall be shown on the drawing or added as notes.

6. 2-06.4.9.H.5.a - Required parking for the Large Bar is 543, provided is zero. A: 1) Special Exception Use - Mayor and Council Special Exception Procedure, Section 3.4.4, 2) Downtown Area Infill Incentive District (IID) or 3) Board of Adjustment for Variance is required.

7. 2-06.4.9.H.5.c - Per UDC Article 7.4.5.A.1 A loading area must be located on the same site or lot as the use they serve. Proposed loading space is located offsite a : 1) Special Exception Use - Mayor and Council Special Exception Procedure, Section 3.4.4, 2) Downtown Area Infill Incentive District (IID) or 3) Board of Adjustment for Variance is required.

8. 2-06.4.9.H.5.d - Short-term bicycle parking required for the Large Bar is 14, provided 6. A: 1) Special Exception Use - Mayor and Council Special Exception Procedure, Section 3.4.4, 2) Downtown Area Infill Incentive District (IID) or 3) Board of Adjustment for Variance is required.

9. 2-06.4.9.O - As Herbert Ave is a named street the proposed is required to meet the requirements of UDC Article 6.4.5.C.1.b Where a lot abuts more than one street, the owner chooses which street lot line is the front lot line. From other than the front lot line, the street perimeter yard is ten feet, 0'-0" proposed. 1) Special Exception Use - Mayor and Council Special Exception Procedure, Section 3.4.4, 2) Downtown Area Infill Incentive District (IID) or 3) Board of Adjustment for Variance is required.

Loren Makus - Engineering

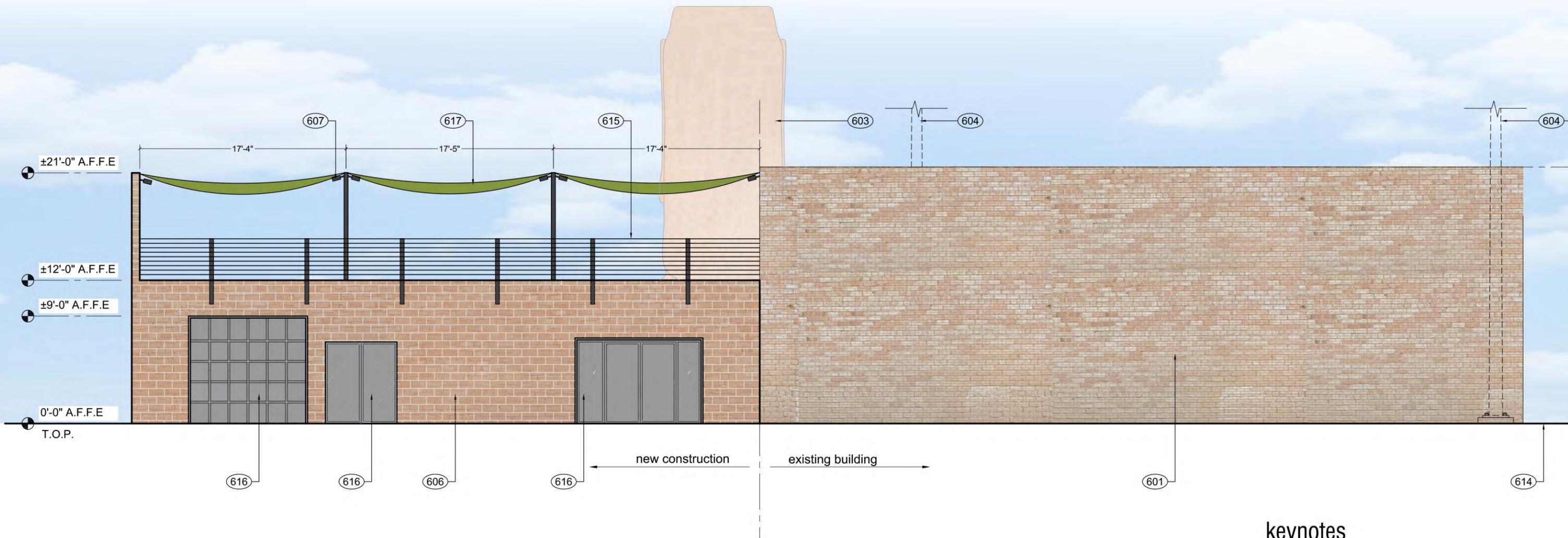
1. The drainage statement says the entire site is undeveloped. Please correct this.
2. In the drainage statement address how the new development will comply with floodplain standards.
3. Provide enough information to substantiate the flow directions and possible encroachment.
4. On the development plan, show ground and 100-year water surface elevations.
5. Provide property line dimensions and bearings for the site.
6. Show pedestrian circulation through the site.
7. Show site drainage including roof drainage throughout the site.
8. Ensure the DP meets the content requirements of AM 2-06.



2 east elevation
 scale: 1"=1/8"

keynotes

- 601. [e] two story brick building
- 602. [e] quonset hut building
- 603. [e] tiki head
- 604. [e] light pole or transit pole
- 605. [e] covered patio
- 606. [n] one story building with roof deck
- 607. [n] lighting and shade cover
- 608. [n] planter with rust finish see details
- 609. [n] tree planter with rust finish see details
- 610. [e] in ground tree
- 611. [n] the hut signage at entry
- 612. [n] covered bike parking
- 613. [n] gate w/push bar tab stop
- 614. [e] sidewalk to remain
- 615. [n] steel railing
- 616. [n] double doors or overhead door
- 617. [n] tensile fabric awning

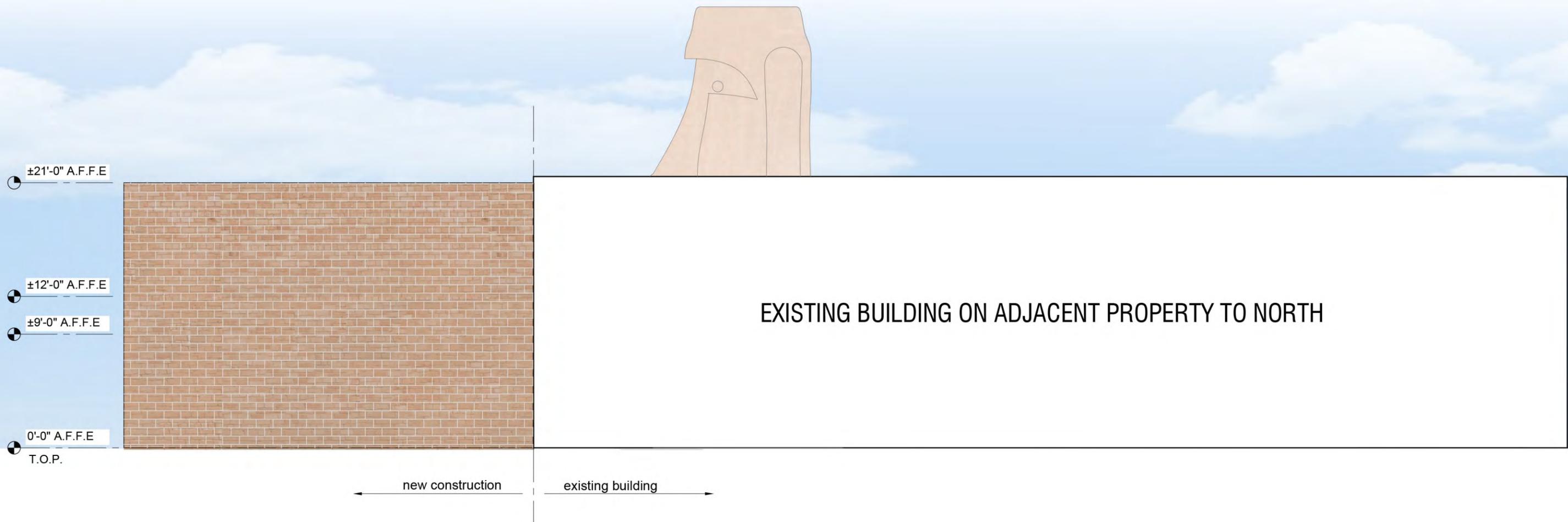


3 west elevation

scale: 1"=1/8"

keynotes

- 601. [e] two story brick building
- 602. [e] quonset hut building
- 603. [e] tiki head
- 604. [e] light pole or transit pole
- 605. [e] covered patio
- 606. [n] one story building with roof deck
- 607. [n] lighting and shade cover
- 608. [n] planter with rust finish see details
- 609. [n] tree planter with rust finish see details
- 610. [e] in ground tree
- 611. [n] the hut signage at entry
- 612. [n] covered bike parking
- 613. [n] gate w/push bar tab stop
- 614. [e] sidewalk to remain
- 615. [n] steel railing
- 616. [n] double doors or overhead door
- 617. [n] tensile fabric awning



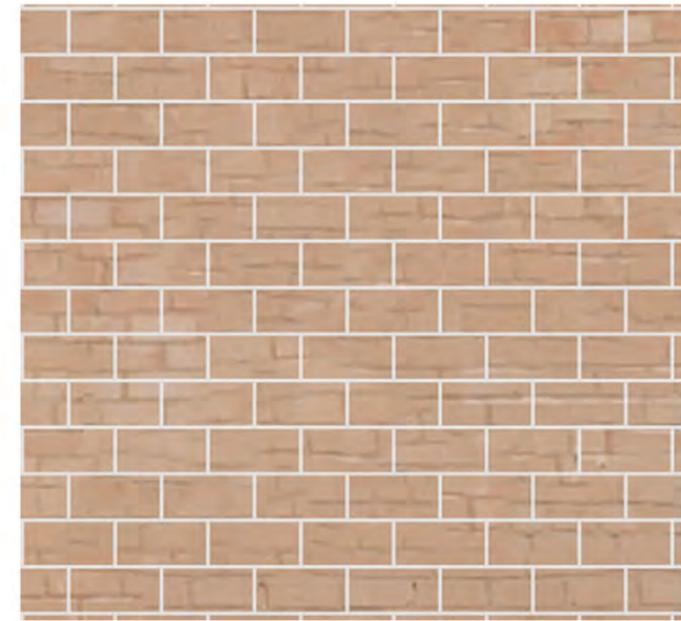
4 north elevation
 scale: 1"=1/8"



Rusted Metal



Existing Brick



New Integral Color Block



Fabric Awning



Thornless Texas Honey Mesquite



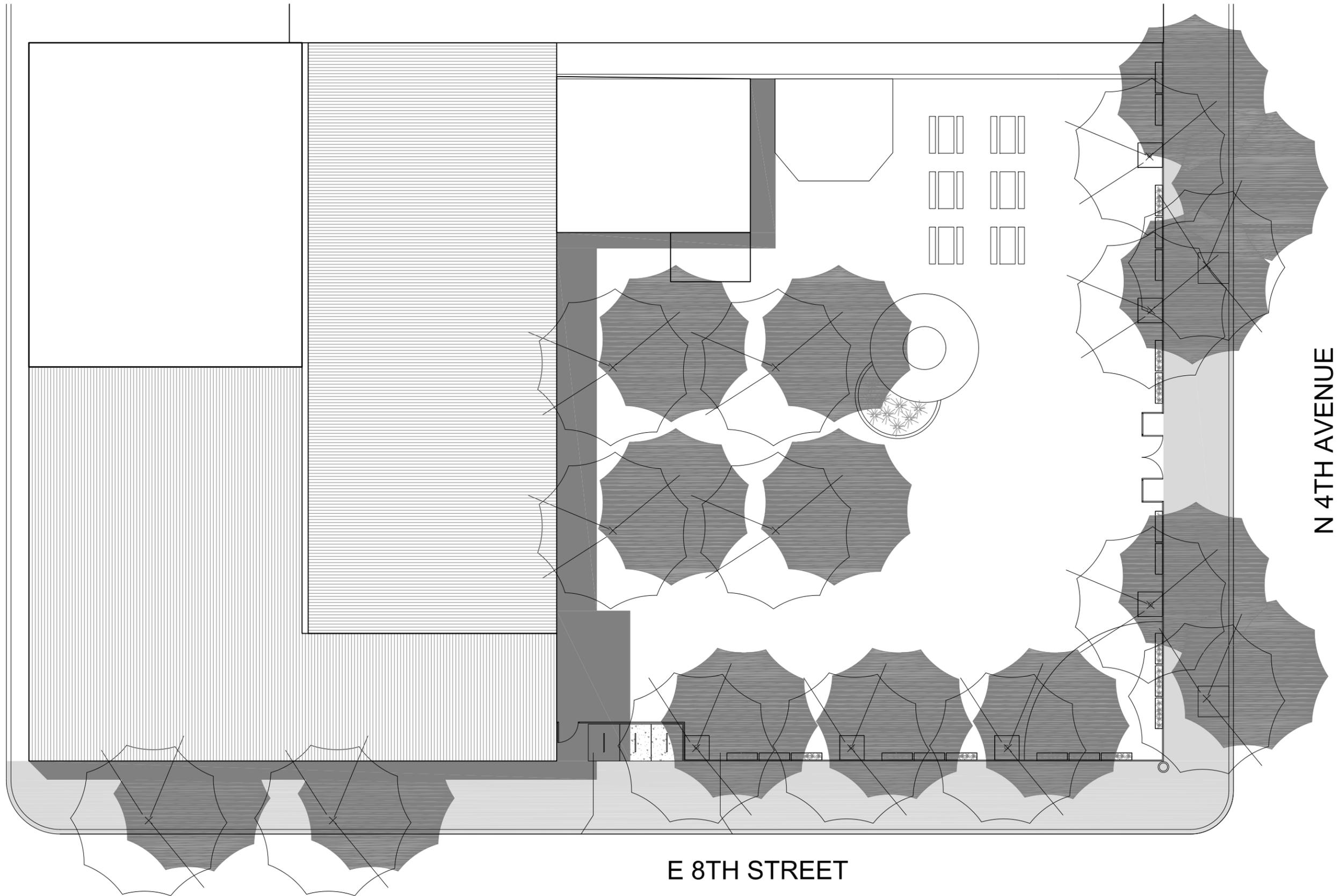
Slipper Plant

Material Samples

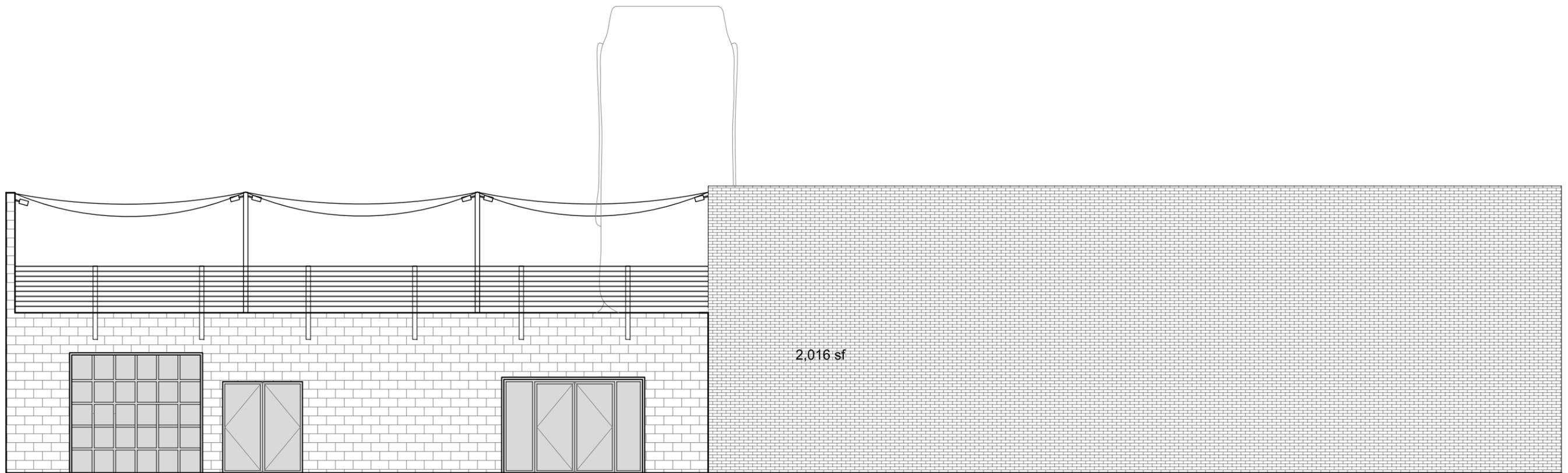
HERBERT AVE - ALLEY

N 4TH AVENUE

E 8TH STREET



total sidewalk area @ E. 8th st. & 4th Ave. property line =	3,678 sf
shade @ this area for 2:45 pm June 20th =	1,864 sf
total shade@ summer solstice = $3,678 \div 1,864$ =	51%



opaque panel garage door

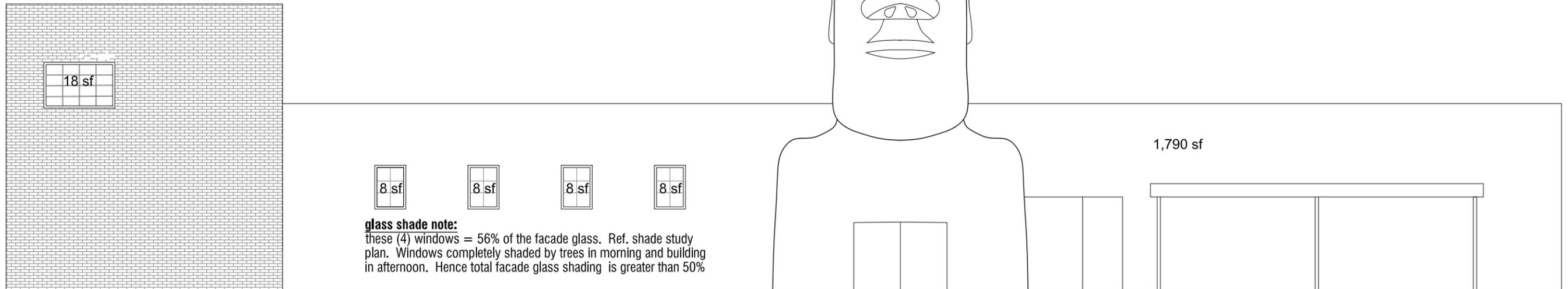
opaque panel bi-fold door

opaque panel door system

2,016 sf

west facade

total building area	=	2,016 sf
total glass area	=	0 sf
facade glazing	= $0 \div 2,016$	= 0 %



18 sf

8 sf

8 sf

8 sf

8 sf

glass shade note:
 these (4) windows = 56% of the facade glass. Ref. shade study plan. Windows completely shaded by trees in morning and building in afternoon. Hence total facade glass shading is greater than 50%

1,790 sf

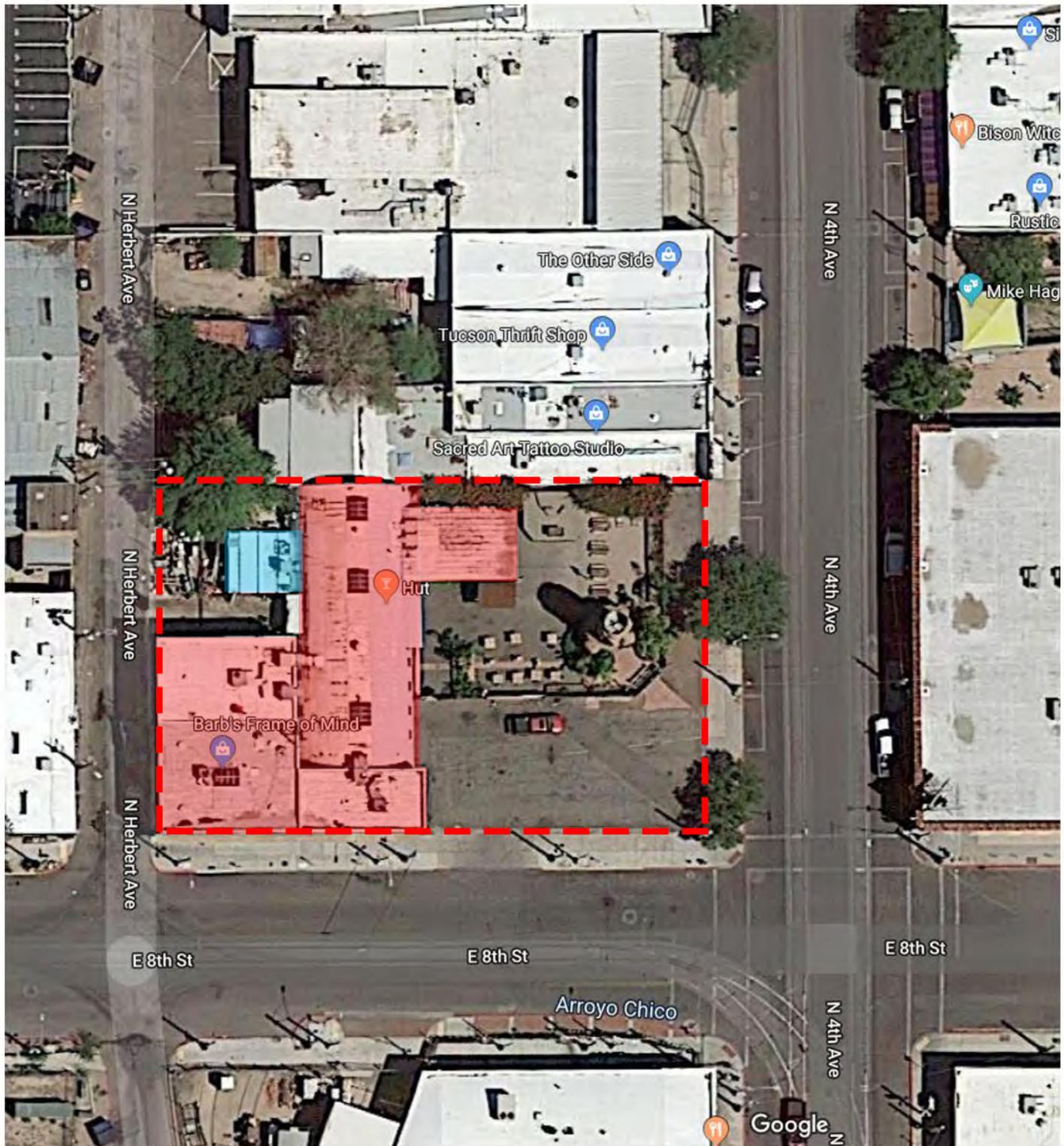
east facade

total building area	=	1,790 sf
total glass area	=	50 sf
facade glazing	= $50 \div 1,790$	= 3%

Development Zone - - - - -

Contributing status █

Non-Contributing status █



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: 58 Survey Area: 4th Avenue Commercial Historic District

Historic Name(s): Realty office (1946), Drive-in restaurant (1930-86)

Address: 305 N. 4th Avenue (also addressed as 305 N. Herbert Avenue)

City or Town: Tucson vicinity County: Pima Tax Parcel No. 117050810

Township: 14 S Range: 13 E Section: 12 Quarter Section: Acreage: <1

Block: 74 Lot(s): 9 & 12 Plat (Addition): Tucson City Limits Year of plat (addition): NA

UTM reference: Zone 12 Easting Northing USGS 7.5' quad map: Tucson

Architect: X not determined known (source:)

Builder: X not determined known (source:)

Construction Date: Ca. 1947 known X estimated (source: City Assessors)

STRUCTURAL CONDITION

X Good (well maintained, no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

Realty office (1946), Drive-in restaurant (1950-86). Currently "The Hut" restaurant and bar.

Sources: City directories - AZ Historical Society, Pima County

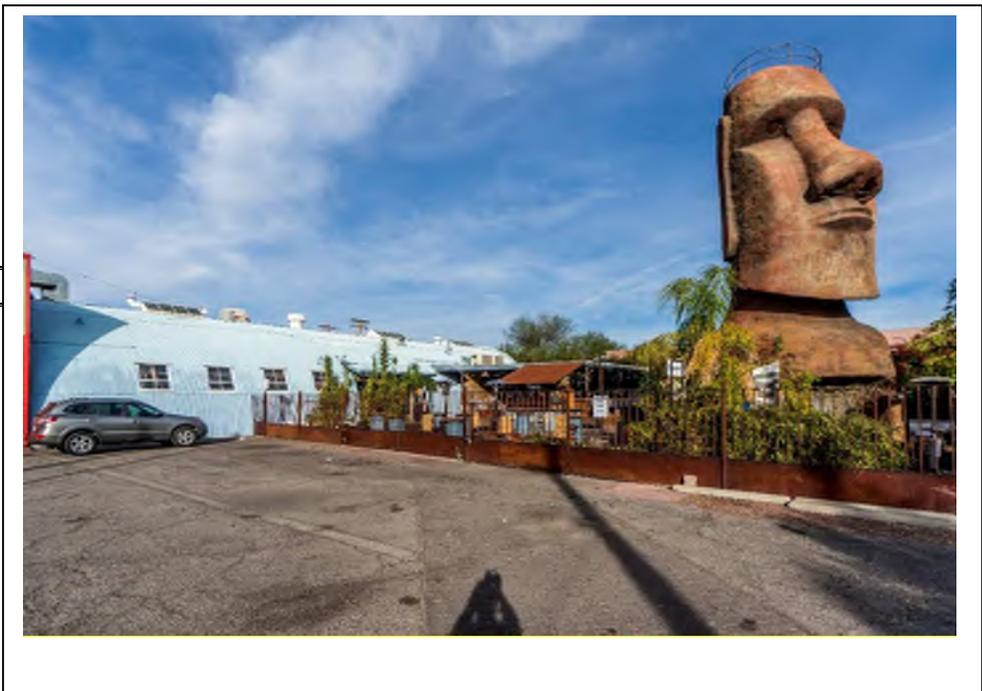
PHOTO INFORMATION

Date of photo: December 2015

View Direction (looking towards)

Northwest

Negative No.:



SIGNIFICANCE

To be eligible for the National Register of Historic Places, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible for the National Register.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)
- B. PERSON (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

Tiki head relocated in October 2009 from miniature golf course on east side of Tucson.

Style: Vernacular

INTEGRITY

To be eligible for the National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION Original Site Moved (date _____) Original Site: _____

2. DESIGN: Contemporary folk 1940's Quonset hut set back from street, with outdoor seating and landscape. Covered entry and asphalt parking lot on 4th Avenue. Two story brick building adjoins hut at south end, facing 8th street. Fence set back from street. Tiki Head relocated from Magic Carpet mini-golf course in 2009.

3. SETTING: Early 20th century commercial district; Fourth Avenue began as a residential neighborhood in the latter part of the 19th century and by the turn of the 20th century, homes were either torn down, replaced, or redesigned to become a commercial corridor serving adjacent neighborhoods.

4. MATERIALS

Walls (structure): Metal Foundation: Unknown Roof: Unknown

Windows: Steel/Aluminum store front doors.

If the windows have been altered, what were they originally? _____

Wall Sheathing: None

If the sheathing has been altered, what was it originally? _____

5. WORKMANSHIP:

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed; Contributor Noncontributor to _____ Historic District
Date Listed: _____ Determined eligible by Keeper of National Register (date: _____)

RECOMMENDATIONS OF ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY:

Name and Affiliation: Poster Frost Mirto

Date: December 2015

Mailing Address: 317 N. Court Ave., Tucson, AZ 85701

Phone No.: 520-882-6310

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: 59 and 60 Survey Area: Fourth Avenue Historic District

Historic Name(s): T.A. Caid & Sons Metal Company (Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 325-327 E. 8th Street

City or Town: Tucson vicinity County: Pima Tax Parcel No. 117-05-0810

Township: 14S Range: 13E Section: 12 Quarter Section: Acreage: <1

Block: 74 Lot(s): 9 Plat (Addition): Tucson Townsite Year of plat (addition): 1871

UTM reference: Zone 12 Easting Northing USGS 7.5' quad map: Tucson, AZ

Architect: X not determined known (source:)

Builder: X not determined known (source:)

Construction Date: 1957 known X estimated (source: County Assessors; City Directories)

STRUCTURAL CONDITION

X Good (well maintained, no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use. Commercial and Residential: (1957-present; Residential Second Floor Ca.1960s)

Sources: Assessors; City Directories

PHOTO INFORMATION

Date of photo: 2/23/16 View Direction (looking towards) Northwest Negative No.: NA



SIGNIFICANCE

To be eligible for the National Register of Historic Places, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible for the National Register.

A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)

X

B. PERSON (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)

C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possesses high artistic values.)

X

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

Architectural Style: Commercial.

INTEGRITY

To be eligible for the National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property's integrity. Use continuation sheets if necessary.

1. LOCATION Original Site Moved (date _____) Original Site: _____

2. DESIGN (Describe alterations from the original design, including dates—known or estimated—when alterations were made) Two-story, boxy, commercial brick building, flat roof, brick capped low parapet, casement windows at second story, display windows at street level, streamlined concrete awning.

3. SETTING (Describe the natural and/or built environment around the property) Early 20th century commercial district; Fourth Avenue Historic District began as a residential neighborhood in the latter part of the 19th century and by the 20th century, homes were either torn down, replaced, or re-designed to become a commercial corridor serving adjacent neighborhoods.

4. MATERIALS (Describe the materials used in the following elements of the property)

Walls (structure): Brick Foundation: Concrete Block Roof: Prepared Roll

Windows: Metal

If the windows have been altered, what were they originally? _____

Wall Sheathing: None

If the sheathing has been altered, what was it originally? _____

5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)

Concrete awning and streamlined façade.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed; Contributor Noncontributor to _____ Historic District
Date Listed: _____ Determined eligible by Keeper of National Register (date: _____)

RECOMMENDATIONS OF ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property is is not eligible individually.

Property is is not eligible as a contributor to a potential historic district.

More information needed to evaluate.

If not considered eligible, state reason: _____

FORM COMPLETED BY:

Name and Affiliation: Poster Frost Mirto

Mailing Address: 317 N. Court Ave., Tucson, 85701

Date: 2/23/16

Phone No.: 520-882-6310

06.03.2020

Invitation to Neighborhood Meeting

Re: Parcel 117050810 Activity #: T20PRE0066; IID 19-15; HPZ-#: TBD

Date: June 18, 2020
Time: 5:30 – 6:30pm
Meeting Location: MEETING IS VIRTUAL / ON-LINE VIA GO-TO-MEETING (instructions at bottom of page)
Proposal: Infill Incentive District - Zoning Option

This application seeks to utilize alternate requirements provided by the Infill Incentive District for; parking, loading, pick-up / drop off, landscaping and garbage. Subject property "The Hut" is an existing Bar and Patio located at 305 N 4th Ave (NW corner of 4th Ave and 8th St.)

Meeting Agenda

- I. Introductions
- II. Discussion Points
 - [a] Project Overview
 - [b] Site plan
 - [c] Parking
 - [d] Addition to Building
 - [e] Exterior improvements
 - [f] Landscape Screening
 - [g] IID designation
- III. Questions and Answers
- IV. Comments via e-mail
- V. Adjournment

Location Map



For questions regarding this announcement or the neighborhood meeting contact Richard Wiehe at FORS Architecture + Interiors (520) 795-9888 or richard@fosarchitecture.com

VIRTUAL MEETING INSTRUCTIONS:

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/988492245>

choose the "Join on the web" button to avoid downloading the APP.

You can also dial in using your phone.

United States: +1 (571) 317-3122

Access Code: **988-492-245**



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	Postmaster, per (name of receiving employee) 		

USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling USPS	Parcel Airlift
1.	TOPHOY BLOCK LLC. ATT STEVEN PAUL 38 W. SIMPSON, TUCSON AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD., TUCSON, AZ	.55	.43		
2.	PARTNERS OF FOURTH INVESTMENTS 6700 N. ORACLE RD STE 504 TUCSON AZ 85704 FORS ARCHITECTURE 2020 E. BROADWAY BLVD. TUCSON AZ 85719	.55	.43		
3.	335 N. FOURTH AVE. LLC 5556 E. CIRCUO TERRA TUCSON AZ 85750 FORS ARCHITECTURE 2020 E. BROADWAY BLVD. TUCSON AZ 85719	.55	.43		
4.	CORBETT PARTNERS 3710 E. CANTER RD TUCSON AZ 85739 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.	PARTNERS ON FOURTH INV LLC ATT FENTON 6700 N. ORACLE RD STE 504 TUCSON AZ 85704 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
6.	GREEN 247 LLC 323 E. 8th ST TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		





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1.	HUNN ROBIN 332 E. 5th ST TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
2.	CUNNINGHAM GEORGE R & MAJORIE 630 N. ALAMO AVE TUCSON AZ 85711 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
3.	CASA ANTIGUA ENT LLC ATT: STEVE FENTON 6700 N ORACLE RD STE 504 TUCSON AZ 85704 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	IRON PARTNERS LLC 5132 N. FORT YUMA TRL TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.	CITY OF TUCSON REAL ESTATE DIVISION PO BOX 27210 TUCSON AZ 85726 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
6.	RED 417 LLC 323 E. 8th ST TUCSON AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		



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1.	NESON KRISTEN E 412 S STAR AVE TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
2.	RMT VENTURES INC ATTN: ROY WILLIAM TIAN SR 246 N. 4th AVE TUCSON AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
3.	LEAF ARLENE L 1755 S. JONES BLVD APT III TUCSON AZ 85713 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	CUNNINGHAM GEORGE R & MARJORIE 630 N. ALAMO AVE TUCSON AZ 85711 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
5.	GUTTON JON 2802 E. 10th ST TUCSON, AZ 85716 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
6.	PETRUZZI JAMES W OR HILDEGARD 3545 N. PELLEGRINO DR TUCSON AZ 85749 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		



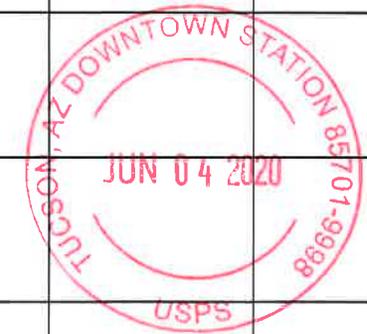


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1.	ANGELA M. QUIROZ N.A.-SANTA RITA PARK-WEST OCHWA 448 E. 22nd ST TUCSON, AZ 85713 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
2.	RAUL E RAMIREZ (1st VP) N.A.-MENLO PARK 1931 W. BRICHTA DR. TUCSON, AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
3.	KATHY BELL N.A.-FELDMAN'S 1322 N. 4th AVE TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	GOUTH ON SEVENTH ATTN: ELLEN FRIED 534 FOREST AVE NEW ROCHELLE NY 10804 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
5.	SALLY ANN TOM LIFE INT THEN TO LOY TOM 1/3 & SALLY ANN TOM & 1919 W RIVERVIEW ST TUCSON AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
6.	TURK KIMBERLEE ANNE 1840 N. KRAMER AVE TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	ATTN: ANTHONY J DELEVIN PO BOX 4910 TUBAC AZ 85646 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
2.	DM FAMILY PARTNERSHIP 3801 E WINDY POINT DR TUCSON, AZ 85718 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
3.	BLUE 305 LLC 323 E. 8th ST TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
4.	TOMMOT INVESTMENTS LLC 326 N. 4th AVE TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
5.	BEACON GROUP SW INC PO BOX 50544 TUCSON AZ 85703 FORS ARCHITECTURE 2020 E BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
6.	MELLO PONNA M 605 N PLACITA SAN AGUSTIN TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		



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1.	RAINBOW VISIONS LLC 1029 N. PRESIDEN MESA AZ 85203 FORS ARCHITECTURE 2020 E BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
2.	TURPIN THEODORE C & KATHLEEN A & SANCIVAL CORP 426 E. 17th ST TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
3.	FOUR ELEVEN LLC 2148 E. 9th ST TUCSON, AZ 85716 FORS ARCHITECTURE 2020 E BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
4.	TORK KIMBERLEE 1840 1840 N. KRAMER AVE TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
5.	ERIN PROPERTIES LLC 323 E. 8th ST TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
6.	OLD PUEBLO TROLLEY INC PO BOX 1373 TUCSON AZ 85702 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		





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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	ERICKSON RAOUL 355 E. 8th ST TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
2.	LA AVENIDA ZACOTY LLC ATTN: FENTON INVESTMENT 6700 N. ORACLE RD STE 504 TUCSON, AZ 85704 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
3.					
4.					
5.					
6.					



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	REGINA ROMERO MAYOR 269 W. ALAMEDA ST TUCSON, AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85701	.55	.43		
2.	STEVE KOZACHIK WARD 0 3202 E. 1st ST TUCSON, AZ 85716 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
3.	RICHARD FIMBRES WARD 5 4300 S. PARK AVE TUCSON, AZ 85714 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
4.	LANE SANTA CRUZ WARD 1 940 W. ALAMEDA ST TUCSON, AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
5.	PAUL DURHAM WARD 3 1610 E. GRANT RD TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
6.	PETER NORBAK N.A.-MILES 1428 E. MILES TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee			
1.	MIKE MCGARY N.A.-DOWNTOWN NEIGHBORHOOD 111 S MURCH, APT #504 TUCSON, AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
2.	MARY JO CURTIN N.A.-EL PRESIDIO 233 N. MAIN AVE TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
3.	TINA COLE N.A.-BARRIO BLUE MOON 1319 N. 13 th AVE TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
4.	SKY JACOBS N.A.-DUNBAR SPRING PO BOX 508 TUCSON, AZ 85702 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
5.	KAREN GREENE N.A.-DUNBAR SPRING 1023 N. PERRY AVE TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
6.	ANNA MONTANA CIRELL N.A.-DUNBAR SPRING 921 N. MAIL AVE TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			



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1.	ZACH YENTZER N.A.-MENLO PARK 24 S GRANDE AVE TUCSON, AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
2.	LIZA M. GRANT N.A.-MENLO PARK 1010 W CONGRESS ST TUCSON AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
3.	YOLANDA GONZALES N.A.-BARRIO SANTA ROSA 820 S. RUBIO TUCSON, AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	NICOLE GONZALES N.A.-BARRIO SANTA ROSA 323 W. 19th ST TUCSON, AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.	PEPRO M GONZALES N.A.-BARRIO VIEJO 423 S. ELIAS TUCSON, AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
6.	LETTIA A GONZALES N.A.-BARRIO VIEJO 423 S. ELIAS TUCSON, AZ 85701 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		





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1.	DAVID BACHMAN-WILLIAMS N.A.-ARMORY PARK 350 E. 15th ST TUCSON, AZ 85702 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85701	.55	.43			
2.	PETER VAN PEENEN N.A.-NORTH UNIVERSITY 1221 N. MOUNTAIN AVE TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85701	.55	.43			
3.	ELISABETH MORGAN N.A.-NORTH UNIVERSITY 1315 E. MABEL ST. TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
4.	GRACE E. RICH N.A.-NORTH UNIVERSITY 1340 N. SANTA RITA TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
5.	GEORGE KALL N.A.-MILLVILLE 931 S HIGHLAND TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43			
6.	ROGER BECKSTED N.A.-MILLVILLE 1070 E 20th ST. TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43			

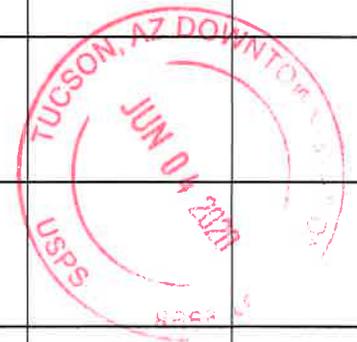


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1.	BARBARA TELLMAN N.A.-FELDMAN'S 127 E. MABEL TUCSON, AZ 85705 FORS ARCHITECTURE 2020 E BROADWAY BLVD TUCSON AZ, 85705 85719	.55	.43		
2.	DIANA LETT N.A.-FELDMAN'S 1309 N. 1 st AVE TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
3.	COLBY HENLEY N.A.-RINCON HEIGHTS 1140 E. 10 th ST TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	AMANDA SMITH N.A.-RINCON HEIGHTS 1625 E 8 th ST TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.	MARGARET BLY N.A.-WEST UNIVERSITY PO BOX 42825 TUCSON, AZ 85733 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
6.	LENOR GLOVER N.A.-WEST UNIVERSITY PO BOX 42825 TUCSON, AZ 85733 FORS ARCHITECTURE 2020 E BROADWAY BLVD TUCSON AZ 85719	.55	.43		



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1.	JUDY SENSIBAK N.A.-WEST UNIVERSITY PO BOX 42825 TUCSON AZ 85733 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
2.	YOLANDA QUIROZ N.A.-SANTA RITA PARK-WEST 440 E 22nd ST TUCSON, AZ 85713 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
3.	ERNIE LUJAN N.A.-SANTA RITA PARK-WEST 1445 S 9th AVE TUCSON, AZ 85713 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	PAUL HORNATH N.A.-BARRIO SAN ANTONIO 1025 S SANTA RITA AVE TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.	TED WARMBRAND N.A.-BARRIO SAN ANTONIO 402 S. STAR AVE TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
6.	MATTHEW "GRADY" BAUTISTA NA-BARRIO SAN ANTONIO 930 S STAR AVE TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		



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1.	MARTHA MCGRATH N.A.-BARRIO HOLLYWOOD 1469 W. DELAWARE ST TUCSON, AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
2.	PATRICK MCKENNA N.A.-BARRIO HOLLYWOOD 1011 W. HURON ST TUCSON, AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
3.	JORDAN MISNA N.A.-BARRIO HOLLYWOOD 1231 W. DELAWARE ST. #2 TUCSON, AZ 85745 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
4.	PAT HOMAN N.A.-PIE ALLEN 850 E. 7th ST TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.	NANCY ROBINS N.A.-PIE ALLEN 801 E. 7th ST TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
6.	MIKE DELICH N.A.-BARRIO ANITA 702 N. CONTZEN AV TUCSON AZ 85705 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		

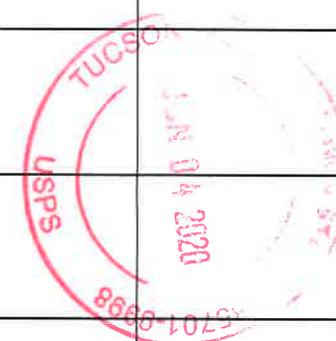




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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	GRACIE SOTO N.A.-BARRIO ANITA 809 N. ANITA AVE. TUCSON, AZ 85709 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
2.	JONATHAN TULLIS N.A.-IRON HORSE 210 N. 1ST AVE TUCSON AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
3.	ERIKA MITNIK (CHAIR) N.A.-IRON HORSE 121 N. EUCLID TUCSON, AZ 85719 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON, AZ 85719	.55	.43		
4.	MAVRICE ROBERTS N.A.-ARMORY PARK P.O. BOX 2132 TUCSON AZ 85702 FORS ARCHITECTURE 2020 E. BROADWAY BLVD TUCSON AZ 85719	.55	.43		
5.					
6.					



Virtual Meeting Via Go-To-Meeting

Digital Sign-in Sheet:

Attendees = 9 total

Miguel Fuentavilla	FORS architecture (appears as FORS sonya in transcript)
Richard Wiehe	FORS architecture (appears as FORS sonya in transcript)
Scott Cummings	Hut owner
Diana	(Ward 6)
Ariel Fry	(Ward 6)
Steve Kosachick	
Daniel	United Tire
Trudy Mills	
520-269-3153	unnamed

Virtual Meeting Via Go-to-Meeting Summary

IID package slides presented; aerial site photograph, site plan, precedents, building photos, proposed colored elevations. Descriptive narrative by FORS sonya (FORS architecture) reflective of IID submittal. Chief

Participant Comments of note; followed by FORS response

1. what are affects of parking loss – even if minimal? Parking is non-conforming lot and has almost no contribution to actual parking. Owner has previous variances for parking and owns parking lots nearby which he previously offered for Hut parking. Neighbor participant Daniel gave input that he rarely sees the lot parked – area is usually event focused such as food truck service.
2. would trash remain in the alley rather than be moved on-site? Yes – all adjacent businesses use Herbert Ave. for direct dumpster pick-up. The Hut would similarly continue this practice.
3. would on-street loading zone relocation combined with closing of existing 8th street curb-cut result in increased street parking? Yes – current street parking = (4) spaces. Reconfiguration would yield (2) additional spaces.
4. would rooftop deck at the new building be for 2 story adjacent office building use only? Yes – Intent of new building at ground level is to clean up fenced storage yard and provide service to The Hut through existing Hut rear doors. Rooftop Deck will only have access from 2nd story office building for use as break and office function events. No access from the Hut will be provided.
5. Would their be live music venues at the patio area? The Hut currently has live music on their existing outdoor patio several nights a week. That will remain.

Virtual Meeting Via Go-to-Meeting Actual Transcript

- | | |
|--|--|
| <ul style="list-style-type: none"> • FORS sonya
00:00 - 00:02
This conference will now be recorded. • FORS sonya
00:18 - 00:19
Just make sure you are. • FORS sonya
00:20 - 00:20
Yeah. • Diana (Ward 6)
00:51 - 00:52
Or, for a while. • Diana (Ward 6)
01:01 - 01:02
It's one? • Diana (Ward 6)
01:03 - 01:03
Yes. • Diana (Ward 6)
01:24 - 01:24
Oh! • Diana (Ward 6) | <ul style="list-style-type: none"> 01:37 - 01:38
Simple.
[speaker unknown]:
01:41 - 01:41
Yeah? • FORS sonya
01:44 - 01:49
Everyone, we're just giving, we're waiting to start at 5 35. • FORS sonya
01:49 - 01:52
I'm gonna give them another minute in the app before we start. • FORS sonya
01:52 - 01:53
Thanks for being patient. • FORS sonya
01:53 - 01:55
I just wanna make sure we got any stragglers in.
[speaker unknown]:
02:20 - 02:20
Europe.
[speaker unknown]:
02:39 - 02:40
Yes? • FORS sonya |
|--|--|

02:43 - 02:45

Start NaN, Richard, OK.

- FORS sonya

03:00 - 03:00

Fix it.

- FORS sonya

03:04 - 03:05

Hello everyone.

- FORS sonya

03:06 - 03:15

I think we're gonna go ahead and start, and if we get any stragglers and they can they can join ended up during the discussion period.

- FORS sonya

03:15 - 03:24

I'm going to do a little introduction to everybody who's on the presentation side and I'm Miguel ...

- FORS sonya

03:24 - 03:33

Architecture and Interiors or a local architecture group that done multiple projects in the downtown and surrounding downtown area.

- FORS sonya

03:33 - 03:37

We also have Richard from architecture interiors.

- FORS sonya

03:37 - 03:45

And we also have Scott coming the owner and who's here present also for the presentation.

- FORS sonya

03:48 - 03:52

Is that, does anybody Want to make sure that everybody can hear us?

- FORS sonya

03:53 - 03:59

Does anybody, is anybody having any issues with hearing us, OK, Try to let us know now.

- FORS sonya

04:06 - 04:07

Daniel, Trudi.

- FORS sonya

04:08 - 04:11

Ariel, Dianna, you guys can all hear us for sure.

- Diana (Ward 6)

04:12 - 04:13

Yes.

- FORS sonya

04:15 - 04:19

Ok, we have some others that are not they don't have names.

- FORS sonya

04:19 - 04:21

All right, well, I'm going to continue.

- FORS sonya

04:22 - 04:28

So today, we're meeting on the high project at 3305 North Avenue.

- FORS sonya

04:30 - 04:36

The owner is, as I said, Scott, coming to hear President for the presentation today.

- FORS sonya

04:37 - 04:43

And the purpose of today's presentation is part of the official submit all to the city.

- FORS sonya

04:44 - 04:50

And this is the neighborhood invitation meeting as part of that to prepare an ID.

- FORS sonya

04:50 - 04:57

And the ID of the, I think you guys are all aware of it is the infill Incentive District obviously, because you've been through a few of these.

- FORS sonya

04:57 - 05:00

And this is for the Fourth Avenue area.

- FORS sonya

05:01 - 05:14

Our intent today, and the reason we're going through the process, is we want to be able to respond to our more urban fabric here on on Fourth Avenue.

- FORS sonya

05:15 - 05:36

And part of that is, the ID allows us to, two, to shift some of our landscape requirements, parking requirements, the loading requirements, and I'll go over what we're doing on those, and, and the red refuse.

- FORS sonya

05:37 - 05:45

Requirements that are, that are part of a typical I, one dash D three, which is what our zoning is for this project.

FORS architecture + interiors

- **FORS sonya**
05:46 - 05:49
Because that zoning is the same for the whole city.
- **FORS sonya**
05:49 - 05:54
And it doesn't take into account, obviously, our location on the Fourth Avenue area.
- **FORS sonya**
05:56 - 06:03
The most important thing, and I hope everyone can see our screen, it says you can speak up now.
- **FORS sonya**
06:03 - 06:05
If you can let.
- **FORS sonya**
06:05 - 06:11
The first diagram shows pretty much the intent of the property owner.
- **FORS sonya**
06:12 - 06:20
He does own and control everything that's within the red dashed line, all of that would be part of the process.
- **FORS sonya**
06:22 - 06:30
The important part about this, is that the area that we would be, let me change the, let me go to the next one.
- **FORS sonya**
06:31 - 06:34
This is the existing ad, you know?
- **FORS sonya**
06:34 - 06:43
That he has a full variance right now actually for the property for note that fact that he did about 20 years ago no landscape requirement.
- **FORS sonya**
06:44 - 06:46
This is a non conforming parking lot.
- **FORS sonya**
06:47 - 06:49
So the next diagram will show.
- **FORS sonya**
06:51 - 06:56
Sorry guys our cursor is a little archy jerky for some reason wow.
- **FORS sonya**
07:01 - 07:09
This is the additional patio area that we're requesting and all right, yeah.
- **FORS sonya**
07:12 - 07:12
Right.
- **FORS sonya**
07:17 - 07:26
And then this is the back building, the one story building that we would like, we're right now full of containers and building product storage.
- **FORS sonya**
07:27 - 07:31
So, that's kind of the extent of the IIT, what we're asking for mitigation.
- **FORS sonya**
07:32 - 07:52
The new patio area is not built structure, but kind of a reflection of increasing the outdoor space, and also helping us with today's issues of the social distancing and creating more area for for seeding and to enhance the experience.
- **FORS sonya**
07:53 - 07:58
So the idea right now is to go to the floor plan.
- **FORS sonya**
08:00 - 08:01
Sushi.
- **FORS sonya**
08:07 - 08:13
So the idea right now is to obviously retain the existing building.
- **FORS sonya**
08:13 - 08:25
The existing two story building, that would be what the ID allows us to do is to add in the FMB and the retail that we're going for for this project.
- **FORS sonya**
08:25 - 08:27
And part of the reason why we're doing it.
- **FORS sonya**
08:28 - 08:36
We, right now, the only thing that is on the Historic National Register, is the one, which is the existing bar.
- **FORS sonya**
08:36 - 08:45

FORS architecture + interiors

The existing two story building, that used mostly for office and retail, is not on the historic register because of its been altered.

- **FORS sonya**

08:46 - 08:48

And it's been poor structural condition.

- **FORS sonya**

08:49 - 08:58

And then you can see that this is the one story building that we'd like to fill in the back as part of the support services for these two buildings.

- **FORS sonya**

08:58 - 09:03

And the added patio, this line shows the line of the added patio.

- **FORS sonya**

09:06 - 09:18

Part of it, the idea and talk a little bit more in Canada and then I'm gonna go into the drawing is, the owner seeks to provide, you know, additional bar restaurant, entertainment, amenity.

- **FORS sonya**

09:19 - 09:29

Also recognizing the fact that the parking that is existing light is non conforming and that no overnight me.

- **FORS sonya**

09:29 - 09:37

I think we've calculated over 95%, 99% of people actually do not use this parking lot that are currently using the other means of parking.

- **FORS sonya**

09:39 - 09:53

And we talked about, with the city, what does that mean to parking, including new parking lot that the owners involved with right now, that they're creating over at the existing building, but also looking at the existing parking structures.

- **FORS sonya**

09:53 - 09:54

That to go.

- **FORS sonya**

09:54 - 10:00

I mean, all the things that you guys who are in the neighborhood that are, are quite familiar with anything you want to have beverages.

- **FORS sonya**

10:04 - 10:16

So talking about the benefits, obviously, the attraction and I'll get into that elevations of that it is really enhancing the streets state and so I'll skip over that.

- **FORS sonya**

10:16 - 10:18

We're gonna go over that building elevations here in a second.

- **FORS sonya**

10:19 - 10:24

Obviously, the adverse effect of adding square footage, which usually means more parking.

- **FORS sonya**

10:24 - 10:26

But I think we kind of covered that.

- **FORS sonya**

10:26 - 10:30

You know, there's no one there is no magic bullet on that.

- **FORS sonya**

10:30 - 10:36

One is using 5 or 6 different methods in order to fill those requirements.

- **FORS sonya**

10:36 - 10:44

And that is the offsite parking, The street are the, obviously, the bikes that have done so well.

- **FORS sonya**

10:45 - 10:54

And the combination of the bus route, the carpooling, obviously, that is being used quite a, quite a lot now.

- **FORS sonya**

10:55 - 10:58

Carpool companies, Uber, lab, et cetera.

- **FORS sonya**

11:02 - 11:02

All right.

- **FORS sonya**

11:02 - 11:07

I'm going to jump into Richard, do you want me to go straight into any examples?

- **FORS sonya**

11:10 - 11:23

I'm going to show you just a quick example of one that was recently done, which is the backyard Venue, and Bar, that secure ID for their project.

- **FORS sonya**

FORS architecture + interiors

11:32 - 11:33

I'm going to go, OK.

- FORS sonya

11:34 - 11:36

I'm gonna go ahead and jump into the.

- FORS sonya

11:38 - 11:40

Exterior improvements that we are proposing.

- FORS sonya

11:45 - 11:46

Yeah.

- FORS sonya

12:02 - 12:02

All right.

- FORS sonya

12:03 - 12:08

Now hello Herky jerky here, we got a new one that doesn't work so well.

- FORS sonya

12:09 - 12:19

So, this is a study that we've done for for the owner and for the CEO of what the plan is.

- FORS sonya

12:19 - 12:23

Um, right now, the existing.

- FORS sonya

12:26 - 12:33

The feeling that, mister while I'm talking So right now, there's two existing trees along the North Fourth Avenue Corridor.

- FORS sonya

12:33 - 12:39

So the plan is to ask the shading along the sidewalk.

- FORS sonya

12:41 - 12:41

No.

- FORS sonya

12:42 - 12:44

Close just the No.

- FORS sonya

12:45 - 12:47

And then close the folder to the right of it.

- FORS sonya

12:50 - 12:52

Just open it back up to Shade exhibit number seven.

- FORS sonya

12:54 - 12:55

I just want you to close the poll there.

- FORS sonya

12:56 - 12:57

Yeah, thank you.

- FORS sonya

12:58 - 13:12

So the idea is that we would be adding the 1, 2, 5, 7 additional trees along the Northern Court Avenue and East Eighth Street To enhance the shading along the sidewalk.

- FORS sonya

13:12 - 13:17

We also have, I lit up the existing two story structure.

- FORS sonya

13:18 - 13:21

Some shade obviously to the valve on a street.

[speaker unknown]:

13:24 - 13:25

Up there.

- FORS sonya

13:30 - 13:32

So, I'm going to go over our elevations right now.

- FORS sonya

13:32 - 13:37

I'm going to begin with a street and then turn the corner up north.

- FORS sonya

13:38 - 13:42

Conceptually, this is a two story building that exists today.

- FORS sonya

13:42 - 13:48

We would be adding shade trees to the front of that building and then you extend easterly.

- FORS sonya

13:49 - 13:54

The idea is to add three more shade tree to that existing facade.

- FORS sonya

13:54 - 14:06

And then create an entry of a three bike parking integrated into it and then full planters along the whole perimeter.

- FORS sonya

FORS architecture + interiors

14:06 - 14:15

And then an enclosure for security reasons above the planter to form an enclosure around the perimeter.

- FORS sonya

14:15 - 14:16

Are we.

- steve k

14:17 - 14:21

Looking at an eighth street orientation towards a cursor looking north?

- FORS sonya

14:23 - 14:29

Yeah, sorry, I should, I should have been asked specifically, that, we are looking north, that, Would that elevation?

- FORS sonya

14:30 - 14:37

Yeah, I'm gonna go ahead though, that's the north elevation, and then as you arrive at fourth Street, I'm going to turn the corner.

- FORS sonya

14:37 - 14:41

This is the one of the two existing street trees.

- FORS sonya

14:41 - 14:41

I thought.

- FORS sonya

14:42 - 14:57

The idea is to add another three poultry on the Fourth Avenue Corridor site and then also create the planter boxes along the old Fourth Avenue.

- FORS sonya

14:57 - 15:03

This is episodic looking to the figure standing on fourth Avenue.

- FORS sonya

15:03 - 15:15

You're seeing the existing want that, and our, and our best buddy who's got a great we do not have, is that Social Distancing Mask on right now but we'll try to get that added to the dry.

- FORS sonya

15:15 - 15:17

All, right?

- FORS sonya

15:19 - 15:30

The idea that planter box will continue all along the side from the very corner of a along the North traveling north, all the way through the property line to the zero lot line.

- FORS sonya

15:31 - 15:48

Then, you can see the addition of a tree there, and also security event thing that's pretty open, and, and just really, to maintain security on the inside, and then, obviously, for after hours, with the really the main entry being on Fourth Avenue.

- FORS sonya

15:50 - 15:52

Richard, anything you want to add there?

- FORS sonya

15:53 - 15:54

Scott, anything you want to add to that?

- FORS sonya

15:55 - 15:56

I think that's us.

- FORS sonya

15:56 - 15:58

That's really the nitty gritty.

- FORS sonya

16:00 - 16:11

I'm going to go back, so the existing building right now along Herbert Avenue, is about a little over almost 60% of the whole facade.

- FORS sonya

16:13 - 16:34

So what we'd like to do with Scott is actually create that measure a one story building that would finish off the back of our space and so that we could get that with so that we can get that full enclosure and to be one day garage door for service purposes.

- FORS sonya

16:36 - 16:45

Service door, and then the historic, is that the main data direct entry, that link to the original entry into the block?

- FORS sonya

16:47 - 16:54

Which is actually aligned to that level set, Adores is right here, and that aligned with the existing doors, with a Quonset Hut.

- FORS sonya

16:56 - 17:00

So the idea is that's a really simple, basically zero, lot line masonry building.

- **FORS sonya**
17:01 - 17:11
And we do have shaded roof deck above it for the offices and the offices that are above right now, of the two story building.
- **FORS sonya**
17:12 - 17:12
Um.
- **FORS sonya**
17:15 - 17:16
See.
- **steve k**
17:19 - 17:31
So it was that new building in the back to the studio, to pass through to a Quonset Hut that one other than the other than the fencing in the landscape.
- **steve k**
17:31 - 17:33
And that's the only new construction we're talking about.
- **FORS sonya**
17:34 - 17:37
Yeah, yeah, it's down the alley down down there.
- **steve k**
17:45 - 17:55
And because the fencing on the fourth avenue size, so porous that's not going to the list or any effect on the designation, on the existing building.
- **steve k**
17:55 - 17:55
Right.
- **FORS sonya**
17:57 - 18:04
Now, we don't think that one of the big reason is that it so far, activity.
- **FORS sonya**
18:05 - 18:07
I'm going to go back to that landy.
- **steve k**
18:08 - 18:08
Setback.
- **FORS sonya**
18:09 - 18:12
It's way it's pretty here's our bike aren't getting that.
- **FORS sonya**
18:12 - 18:19
We've added the historical right here, significantly off of that wants to add.
- **FORS sonya**
18:19 - 18:24
It doesn't really wants to die at all, and this is a full facade is maintained on the.
- **steve k**
18:25 - 18:25
Mm.
- **FORS sonya**
18:28 - 18:29
From a material palette.
[speaker unknown]:
18:32 - 18:32
Ok.
- **FORS sonya**
18:34 - 18:45
So what we're talking about on our fencing is part of the architectural model that he has already and that is a rapid battle.
- **FORS sonya**
18:46 - 18:52
This is the condition of the bread on a two story, non conforming building.
- **FORS sonya**
18:53 - 18:56
So, the idea is to come in with the integral colored blocks, just on that.
- **FORS sonya**
18:56 - 18:58
That last one third.
- **FORS sonya**
18:58 - 19:11
And fifth, to get it, what we're not trying to match it, that's not the point, is just to get a textural, because it is an alley and industry to retain a textual elements on that.
- **FORS sonya**
19:11 - 19:16
But, it also gives us the one hour rating that we need on our zero, lot line.
- **FORS sonya**
19:17 - 19:26
For one story building, the idea that the, right now, we're knocking with the city to use the ...
- **FORS sonya**
19:26 - 19:33

F O R S a r c h i t e c t u r e + i n t e r i o r s

As the additional infiltrate and a combination of the flipper class for the.

- **FORS sonya**
19:36 - 19:38
A combination of a Slipper.
- **FORS sonya**
19:40 - 19:49
Is a combination of the Flipper Guide for the planters that go along Is a fourth avenue.
- **FORS sonya**
19:50 - 19:53
Also, does it go along.
- **steve k**
19:55 - 19:55
A.
- **FORS sonya**
19:56 - 19:59
Trade and they are broken by the tree.
- **FORS sonya**
19:59 - 20:05
Well, because some of these trees asked to go bigger than the width of the sidewalk.
- **FORS sonya**
20:05 - 20:08
We can put some of these trees, right?
- **FORS sonya**
20:08 - 20:18
So, working with the city, we put the trees on Scott property, but at the very edge, to create as much as we can.
- **FORS sonya**
20:18 - 20:25
Because we were trying not to narrow down the sidewalk any, but it is the only place it really, really well.
- **FORS sonya**
20:25 - 20:31
But I'm in, and because of utilities, that the brain is, the two that are in front of the existing building.
- **FORS sonya**
20:39 - 20:43
Talking about any streetscape compliance that we want to talk about rich or anything else?
- **FORS sonya**
20:44 - 20:46
We are not the elevation.

- **FORS sonya**
20:48 - 20:52
We are not offering any of the openings in the.
- **FORS sonya**
20:52 - 20:56
Existing two story, the way that is along a straight.
- **FORS sonya**
20:57 - 21:06
And although we are, which is the elevated facing north, probably not changing any of the opening, which is a good question.
- **FORS sonya**
21:07 - 21:16
A lot in the in the existing wants to add that significantly behind the new planters and wall that we're doing along Fourth Avenue.
- **FORS sonya**
21:18 - 21:22
Oh, let's go back to the plan A little bit.
- **FORS sonya**
21:22 - 21:24
A couple of things that we didn't want to talk about about the plan.
- **FORS sonya**
21:24 - 21:26
I apologize that I haven't brought up.
- **FORS sonya**
21:28 - 21:44
So, we would be eliminating the video for the curb cut, it could be 100% eliminated, and we will be turning this area that is now parallel parking into the new loading area versus where they load right now, which is right?
- **FORS sonya**
21:44 - 21:44
Here?
- **FORS sonya**
21:45 - 21:58
The City and the Engineering, and also the fire department at that may fit the loading area so that they could put a fire truck also there for any emergencies because they would like to add access on Herbert Avenue, You know?
- **FORS sonya**
21:58 - 22:18
It's not really now along Herbert Avenue that give them better access for all the buildings up and down Herbert Avenue, So this is now the loading area, and we are

working with the city to create parallel parking beyond this 30 foot, 35 foot loading area from here, working our way back east towards fourth Avenue.

- **FORS sonya**
22:19 - 22:23
Was there anything else with fire and dust on the parking?
- **FORS sonya**
22:23 - 22:24
I think that was it, right.
- **FORS sonya**
22:24 - 22:26
We're good on that street.
- **FORS sonya**
22:26 - 22:36
We are not proposing any changes at all to any other parking spot, a law enforcement avenue, or at any curve changes.
- **FORS sonya**
22:36 - 22:37
Don't know her move.
- **FORS sonya**
22:37 - 22:45
Note, no changes inside the right away, except for us trying to get to treat basically in front of the existing zero lot line building.
- **FORS sonya**
22:45 - 22:46
That exists on Eighth Street.
- **steve k**
22:48 - 22:52
Because you're eliminating the curb, cut on a street corner and move in the loading.
- **steve k**
22:52 - 22:56
Is that a net gain in parking on it?
- **FORS sonya**
22:57 - 22:58
It is actually.
- **steve k**
22:59 - 23:00
Very comfortable.
- **FORS sonya**
23:01 - 23:01
Yeah.

- **FORS sonya**
23:02 - 23:03
Is that an ad?
- **steve k**
23:07 - 23:13
Because that's going to be one of the points of contention that you're gonna run up against a zero eliminating surface parking and what are you doing to replace it?
- **steve k**
23:13 - 23:27
I mean, I know you said 99 for 95% of people don't, don't do, don't park there, but That, as you guys all know, that's a big issue on the Fourth Avenue area.
- **FORS sonya**
23:28 - 23:53
It is, and, as, you know, Scott, actually have control of two parking lot, well controlled one existing parking lot and got, which is at a corner where that's at the corner of eighth and seventh 17, Sorry, um, a part of the idea is that God is currently working on and also a second parking lot.
- **FORS sonya**
23:53 - 23:58
We're currently working on a second hundred and 78 parking lot.
- **FORS sonya**
23:58 - 23:59
You want to pull up the area?
- **steve k**
24:01 - 24:02
Yes, that is corporate.
- **FORS sonya**
24:02 - 24:06
Yeah, we've just submitted the development plan for that last week.
- **FORS sonya**
24:06 - 24:21
So we're adding an additional 170 something parking spaces, that corporate right now, and that's without that, that's without affecting the existing corporate building and the building that they want to add to along straight there.
- **FORS sonya**
24:21 - 24:33
So I think we're, we're, we're touching my 75 because we add one, and we lose one there right now and that

development plan was submitted last last Wednesday to the city of Tucson.

- **steve k**

24:35 - 24:37

And how is the timing you, Scott?

- **steve k**

24:38 - 24:42

In terms of your plans, your intentions anyway, how is the timing of this?

- **steve k**

24:44 - 24:47

Tie in to the availability of the corporate area?

- **FORS sonya**

24:48 - 24:50

We added up to

- **FORS sonya**

24:52 - 25:02

The improvements that you see here really do value the new patio and then the new Building, A new building is really a state that's not going to be built without any built immediately.

- **FORS sonya**

25:02 - 25:09

The the only thing, the only thing that will be done immediately is the blue and about 4500 square feet.

- **FORS sonya**

25:09 - 25:10

Approximately.

- **FORS sonya**

25:10 - 25:11

Yeah, just under five.

- **FORS sonya**

25:11 - 25:13

So we'd like to start.

- **FORS sonya**

25:13 - 25:15

You know, I don't know the protocol.

- **FORS sonya**

25:17 - 25:19

Where we can get permits or when does get approved.

- **FORS sonya**

25:19 - 25:30

But that's something we, you know, we'd like to do with this downtime in the hopes that, you know, the next six months, that we'll be able to take advantage of that space.

- **FORS sonya**

25:31 - 25:33

The parking lot, our Orbit block.

- **FORS sonya**

25:34 - 25:37

Have you roughly six months to a year?

- **FORS sonya**

25:37 - 25:41

I think it's just over a year, honestly, only because it's tied to the LINCS completion.

- **FORS sonya**

25:43 - 25:43

So.

- **FORS sonya**

25:45 - 25:54

It's probably actually just under a year is the timeline right now, But we're a little tied up by that we'll probably complete before the links complete.

- **FORS sonya**

25:57 - 25:58

It's pretty close to that.

- **FORS sonya**

25:58 - 26:02

And that is, of course, three, just three blocks away down the street.

- **steve k**

26:03 - 26:06

So if I were summarizing this, this one.

- **steve k**

26:09 - 26:14

One, it's, you're turning the parking lot into a patio.

- **steve k**

26:14 - 26:18

You're putting up a perimeter cents.

- **steve k**

26:18 - 26:24

And adding a building in the back for loading is really a kind of a 30,000 foot view summer.

- **FORS sonya**

26:24 - 26:27

Yeah, that's what we're doing.

- **FORS sonya**

26:28 - 26:32

It's not just loading it, but the service, you know, all the stuff that he needs to help.

- **steve k**
26:32 - 26:33
Yeah.
 - **FORS sonya**
26:35 - 26:38
Outdoor air, he's even doing some of that in the parking lot.
 - **FORS sonya**
26:38 - 26:44
It's really to help mitigate all the uses that you want to get out of the full site.
 - **FORS sonya**
26:47 - 26:49
Food component to it.
 - **FORS sonya**
26:49 - 26:50
Yeah, we really need it.
 - **FORS sonya**
26:51 - 26:53
I hope everyone heard that it's got on the opposite side of the table.
 - **FORS sonya**
26:56 - 26:59
It so that it can actually support a food component on site.
 - **steve k**
27:00 - 27:15
Well, another piece of the conversation you're gonna get is the use is in that outdoorsy patio area, Know, we are we going to be concerned about, you know, narrow bands and that kind of stuff.
 - **FORS sonya**
27:19 - 27:34
Currently has the phase right here, and he does currently do math, get the regular on Thursday, that the regular Thursday, Saturday that the regular, There's only two days a week right now, and then of course, you've got special events.
 - **FORS sonya**
27:42 - 27:42
Which we haven't.
 - **FORS sonya**
27:43 - 27:45
We haven't spoken about that.
 - **FORS sonya**
27:45 - 27:47
- That system altering at all.
- **FORS sonya**
27:51 - 27:54
He's not going to afford music venue or, I mean, that's not what we're talking about.
 - **FORS sonya**
27:54 - 27:56
Some point the existing stage.
 - **FORS sonya**
27:59 - 28:00
Maybe move to.
 - **FORS sonya**
28:03 - 28:07
See so East Corner of the property.
 - **FORS sonya**
28:07 - 28:14
Instead of words that anything can be a way that would allow the more inwardly focused the new music back toward that, want that.
 - **steve k**
28:17 - 28:20
So, what are is what is the, what is the ask?
 - **FORS sonya**
28:21 - 28:22
So, when you.
 - **steve k**
28:22 - 28:22
Need.
 - **FORS sonya**
28:23 - 28:37
The Act is for mitigation are the C three and the one that is the, the loading is not on the loading would continue to be on the curve number one.
 - **FORS sonya**
28:38 - 28:44
Number two, we can't do the landscape borders that are required for the app is for mitigation on the landscape borders.
 - **FORS sonya**
28:44 - 28:54
I mean we still be doing landscaping, but not in a bearing on the site for landscaping is what God says that he actually got almost 20 years ago.
 - **FORS sonya**
28:55 - 29:03

FORS architecture + interiors

And then the big gap is for the, the, the parking, obviously, which is a relief from on-site market.

- **steve k**
29:06 - 29:07
Yeah.
- **steve k**
29:07 - 29:14
And so I'm, I'm not bringing this step up to the obstructionist, I'm just bringing it up because this is what you're going to hear going forward.
- **steve k**
29:15 - 29:18
In the process, is the loss of parking in the Yeah.
- **steve k**
29:19 - 29:21
Well, that's going to be the main when I'm guaranteed to be the main one.
- **FORS sonya**
29:23 - 29:23
Right.
- **steve k**
29:24 - 29:27
Where are you in your process in terms of public outreach?
- **FORS sonya**
29:28 - 29:30
Um, Wait.
- **FORS sonya**
29:31 - 29:32
Well, this is the beginning of the public outreach.
- **FORS sonya**
29:32 - 29:38
We submitted our preliminary development plan that's already been reviewed by the City of Tucson.
- **FORS sonya**
29:39 - 29:44
And so the, the, the idea, part of the public outreach.
- **FORS sonya**
29:44 - 30:03
So this neighborhood meeting, with the notification of all the neighbors, which was, I think, 100, 484, A mailing list of 84 people around the whole site were notified of the project and today's meeting.
- **steve k**
30:04 - 30:11

So this is, this, is that public neighborhood meeting formerly noticed public neighborhood meetings.

- **FORS sonya**
30:11 - 30:16
Yeah, this is a new requirement by the city is in Riverton.
- **steve k**
30:17 - 30:19
And there are six of us.
- **FORS sonya**
30:20 - 30:20
Yeah.
- **steve k**
30:21 - 30:24
And three of them are my employees, Daniel.
- **steve k**
30:26 - 30:27
Daniel, what are your thoughts?
- **Daniel - United Fire**
30:30 - 30:40
I track with all your questions, Steve, and, you know, I think to parking, obviously, is always a big question.
- **Daniel - United Fire**
30:40 - 30:52
And what happens is, you know, the property sold, and then you have the office space, and, you know, is that required parking, or is that exempt parking?
- **Daniel - United Fire**
30:53 - 30:55
That would be a question.
- **Daniel - United Fire**
30:55 - 30:58
And then on the alley, there's a dumpster.
- **Daniel - United Fire**
30:58 - 31:05
Usually there's a lot of water that runs out, does that does the waste move at all?
- **Daniel - United Fire**
31:05 - 31:07
Does it help clean up?
- **Daniel - United Fire**
31:07 - 31:10
Whatever is going on in the alley, all the time.
- **FORS sonya**
31:16 - 31:18
Can you rephrase your question?

- **FORS sonya**
31:18 - 31:19
I'm starting to understand your question.
- **Daniel - United Fire**
31:21 - 31:25
Two questions: one is on the alley.
- **Daniel - United Fire**
31:26 - 31:29
The dumpster remain in the same place.
- **Daniel - United Fire**
31:29 - 31:32
And there's always a lot of water that's running out there.
- **Daniel - United Fire**
31:32 - 31:38
I don't know why does that get fixed in, any of this will be.
- **Daniel - United Fire**
31:40 - 31:43
Relocated or still, be the same place first question.
- **FORS sonya**
31:44 - 31:45
Oh.
- **FORS sonya**
31:46 - 31:48
So, yeah, it's existing.
- **FORS sonya**
31:48 - 31:54
The only thing we talk about is frequency of pickup, but the idea was not to move the traps refuse right now.
- **FORS sonya**
31:56 - 32:02
And now your second question about the office office does have less parking requirement.
- **FORS sonya**
32:02 - 32:11
Um, it does require less parking requirement, because as we know, food and beverage that didn't do well on second floor, but, specifically in.
- **FORS sonya**
32:14 - 32:19
The office component and actually had less parking requirements, but the IIT does relief.
- **FORS sonya**
32:19 - 32:25
It, does allow us to be used as retail office, or as food and beverage.
- **Daniel - United Fire**
32:27 - 32:31
Will the retail space remain on eighth Street?
- **FORS sonya**
32:33 - 32:41
What I said earlier about trying to do a food, this is Scott, I'm sorry about tried to do a food components, are the discussions.
- **FORS sonya**
32:42 - 32:55
We've been considering trying to do some type of to go food out of that eighth street frontage and then also be able to serve it to the new patio area to the east.
- **FORS sonya**
32:57 - 33:00
That's about 900 square feet.
- **FORS sonya**
33:00 - 33:06
It would be minimal, most of it would be to go.
- **Daniel - United Fire**
33:07 - 33:14
So, Scott, is that the unused property sort of lined up with the hunters that does not replace barbs frame of mind?
- **FORS sonya**
33:15 - 33:16
Barbershop.
- **FORS sonya**
33:17 - 33:25
If that bar is in the process, barbs, not going anywhere, if that's what you're asking or she's being forced out, case.
- **FORS sonya**
33:26 - 33:27
Do anything.
- **FORS sonya**
33:29 - 33:35
Goes from the stairwell or the door that's in the middle of the building to the east to the patio.
- **Daniel - United Fire**
33:37 - 33:40
So she's in the property.
- **Daniel - United Fire**
33:43 - 33:45
Wes Windows, right?

FORS architecture + interiors

- Daniel - United Fire
33:45 - 33:47
And then they did the two.
- FORS sonya
33:51 - 33:57
I'm sorry, yeah, she is actually the windows.
- FORS sonya
33:59 - 34:00
You are correct.
- Daniel - United Fire
34:00 - 34:02
Then the east windows.
- Daniel - United Fire
34:02 - 34:04
That's empty space, right.
- Daniel - United Fire
34:04 - 34:06
So is that where you would put the restaurant retail?
- FORS sonya
34:09 - 34:21
What you said originally the existing retail would possibly become if it doesn't remain retail, if we decide to do some type of food component, it would probably be some combination of ..., yeah.
- FORS sonya
34:22 - 34:23
I'm not talking about a large sit-down restaurant.
- Daniel - United Fire
34:25 - 34:25
Ok.
- Daniel - United Fire
34:29 - 34:35
The upper deck is only On the extension offices.
- FORS sonya
34:36 - 34:38
Yeah, I know.
- FORS sonya
34:39 - 34:47
A Barrel vaulted roof, um, I did a barrel vaulted rooms beyond that lower than it is yeah.
- FORS sonya
34:47 - 34:51
Only connecting in the back you can see a sign of shoehorn it here.
- Daniel - United Fire
34:55 - 34:57
It's kind of shoehorn day here right now.
- FORS sonya
34:57 - 35:00
It's only connected on the second floor here.
- Daniel - United Fire
35:03 - 35:03
Ok.
- FORS sonya
35:04 - 35:05
Creates an outdoor space.
- Daniel - United Fire
35:08 - 35:11
Scott wasn't the oliver's Cleaners lot.
- Daniel - United Fire
35:13 - 35:18
When you bought that lot, wasn't that to give you the parking for the hunt at the time?
- FORS sonya
35:20 - 35:27
The problem is that any additional changes, is, the reason why we have to go through the ...
- FORS sonya
35:27 - 35:33
Process is that there's original parking that's going to be needed to do this.
[speaker unknown]:
35:38 - 35:39
Ok.
- Daniel - United Fire
35:41 - 35:49
Is our sixth redoing any of the Sun itself on Eighth Street, there's that just stays the same.
- Daniel - United Fire
35:49 - 35:53
It looks because it looks like it's being refreshed from this.
- FORS sonya
35:53 - 35:56
Image, the planters with the trees.
- FORS sonya
35:57 - 36:00
And then I'm going to do something with the windows.
- FORS sonya
36:00 - 36:06

Yeah, the idea with the kind of patch and repair, and pick the Window, second floor, The old?

- **FORS sonya**

36:09 - 36:18

Single pane windows that are really inefficient, at some point, we have to be a little careful with the building, only because of its structural integrity.

- **FORS sonya**

36:19 - 36:23

So we didn't want to add any weight, load, or any change any of the structure right now.

- **steve k**

36:27 - 36:29

What's your net loss in parking?

- **FORS sonya**

36:31 - 36:33

Well that they've been non conforming.

- **FORS sonya**

36:33 - 36:34

Yeah.

- **FORS sonya**

36:34 - 36:35

That's part of that.

- **FORS sonya**

36:35 - 36:48

You brought that up, because that parking, that 4000 feet, if you were to lay it out to codify, would be about 8 to 10 spaces, with the ingress and egress ingress and egress.

- **FORS sonya**

36:48 - 36:51

And now it has ever been used on a site plan for the parking requirements.

- **FORS sonya**

36:54 - 36:56

That was actually, if you would say any bigger wishes.

- **FORS sonya**

36:57 - 37:05

No additional parking, actually not even additional parking PUR code that make sense.

- **FORS sonya**

37:05 - 37:15

I mean, one of the site plan anywhere as a parking that for the requirement of the uses existing use, The reason they only get denied is because, if not, why not?

- **FORS sonya**

37:16 - 37:21

And it doesn't have the legal, entry and exit to do double loaded parking, only get parking along one side.

- **FORS sonya**

37:23 - 37:25

Is that non conforming right now?

- **FORS sonya**

37:28 - 37:32

Couple spaces on eighth Street would actually be an increase.

- **FORS sonya**

37:32 - 37:35

What would be considered future parking?

- **Daniel - United Fire**

37:37 - 37:56

Steve, I don't see that parking lot being used, you know, a lot or during the day, usually have that, the vendor vendor out there, or whatever, which takes up a lot of the space, anyway, so, there's generally not a lot of marketing that I see in the blue area.

- **Daniel - United Fire**

37:56 - 37:59

If anything, maybe some motorcycles at times, type of thing.

- **Daniel - United Fire**

37:59 - 37:59

It.

- **FORS sonya**

38:00 - 38:07

Hasn't really awkward injury and exit, and, it really narrow, and, so, it's just them, I think, more problems with people heading than anything.

- **FORS sonya**

38:12 - 38:28

Yeah, we've had a trailer that if we don't, you know, with what we're planning here, we have the opportunity, two, instead of using a food trailer to try to use or incorporate the retail space that you brought it earlier.

- **FORS sonya**

38:30 - 38:36

So, the part that's been brought up that it's not an integral part of the site right now.

- **FORS sonya**

38:37 - 38:42

I think when you go back to talking about the parking and, yeah, there's an increase in use on the site.

- **FORS sonya**

38:43 - 38:59

And I think to the architectural enhancement of adding the trees and the planters, obviously, and creating a more inviting streetscape along the corner because, for me, existing asphalt lot right now.

- **steve k**

39:00 - 39:00

Yeah.

- **steve k**

39:00 - 39:04

No, I don't think anybody's going to disagree with that, I mean, that's an esthetic standpoint.

- **steve k**

39:04 - 39:15

It is an upgrade, our concern that we're creating a slightly more intense use and reducing some potential granted two spaces but that's the point of conversation.

- **steve k**

39:16 - 39:27

Because it your intention to use the new food and beverage use as a service opportunities for the new seating area.

- **steve k**

39:29 - 39:31

Yeah, OK, are.

- **FORS sonya**

39:31 - 39:33

You answer, Yeah.

- **FORS sonya**

39:34 - 39:37

That would be one component of it, yes.

- **steve k**

39:37 - 39:37

Ok.

- **FORS sonya**

39:40 - 39:54

One of the reasons is, because how narrow and blueprint, this building is right now, with the ability to do indoor outdoor February, the social distancing and allow the use it.

- **FORS sonya**

39:56 - 39:59

Just to expand that, eating out to visit that.

- **FORS sonya**

40:00 - 40:02

Basically up to the eighth of the things on it.

- **steve k**

40:02 - 40:02

Yeah.

- **FORS sonya**

40:03 - 40:04

Just the whole.

- **FORS sonya**

40:06 - 40:06

Yeah.

- **FORS sonya**

40:06 - 40:09

A lot of the dynamics of change, people want to be outside.

- **FORS sonya**

40:11 - 40:16

Even if we were to increase, let's say, putting the ball in or some type of games out there.

- **FORS sonya**

40:16 - 40:24

So, it's not even though it's an additional 4000 feet, it's not like 4000 feet that would be the same.

- **FORS sonya**

40:25 - 40:26

It's usage it.

- **FORS sonya**

40:26 - 40:31

Let's say it's a Quonset Hut, which is that you know, a higher density type use.

- **FORS sonya**

40:33 - 40:34

Yeah, spread out.

- **FORS sonya**

40:34 - 40:35

People be tabled.

- **FORS sonya**

40:37 - 40:39

So, that's part of the intent.

- **FORS sonya**

40:43 - 40:47

Steve, I did want to talk to you, because we've done quite a few of the ...

- **FORS sonya**

40:47 - 40:48

In the neighborhood.

- **FORS sonya**

FORS architecture + interiors

40:48 - 40:57

And I just wanted to the ID that we did for Borderlands, which was the Borderlands Block that includes the corporate brewery with that.

- FORS sonya

40:57 - 40:58

Oh.

- FORS sonya

41:00 - 41:01

There we go.

- FORS sonya

41:01 - 41:09

I also just wanted to let you know that we had the exact same amount of people show up in person.

- FORS sonya

41:10 - 41:11

Hmm, hmm.

- FORS sonya

41:14 - 41:15

We rented this space.

- FORS sonya

41:15 - 41:19

In the church group.

- FORS sonya

41:20 - 41:22

Yeah, yeah.

- FORS sonya

41:24 - 41:31

Semantic anyway, we've done two of them in there for four IDs, which were in the neighborhood.

- FORS sonya

41:31 - 41:33

That's where we did the last two.

- steve k

41:38 - 41:38

Daniel Zone.

- steve k

41:38 - 41:40

He's representing them.

- steve k

41:40 - 41:41

So, that's an important component.

- steve k

41:47 - 41:48

Wrote again.

- Daniel - United Fire

41:49 - 41:51

I don't have any other questions personally, Steve.

- steve k

41:53 - 41:55

We know you guys got more presentation.

- FORS sonya

41:56 - 41:59

Oh, that's the full song and dance right there.

- steve k

42:03 - 42:04

Either my ladies have stepped down.

- FORS sonya

42:07 - 42:09

I'm sorry, you were hard to understand that you.

- steve k

42:11 - 42:12

Had something to offer.

- Diana (Ward 6)

42:14 - 42:21

Could you e-mail me this presentation, so I can share with that, like iron ore, is just because they like to know, but it's not, I mean, obviously.

- Diana (Ward 6)

42:22 - 42:26

I don't know if it maybe it wasn't in the radius flyers that went out.

- FORS sonya

42:28 - 42:31

Sure, yeah, all the neighbors were notified.

- FORS sonya

42:31 - 42:35

Yeah, I think that I thought that I thought I endorse yelling, yeah, they were.

- FORS sonya

42:35 - 42:38

But this presentation does not actually go out.

- FORS sonya

42:38 - 42:40

But it, the invite.

- FORS sonya

42:40 - 42:41

Yeah, and all that.

- FORS sonya

FORS architecture + interiors

42:41 - 42:41

- FORS sonya

42:42 - 42:42

Well, thank.

- Diana (Ward 6)

42:44 - 42:48

You, and, yeah, I agree that the last couple of meetings.

- Diana (Ward 6)

42:48 - 42:49

Yeah, no one shows up.

- FORS sonya

42:52 - 42:53

It's been great.

- FORS sonya

42:53 - 42:53

Yeah.

- FORS sonya

42:54 - 42:56

Technically, we have more people here, but, of course.

- FORS sonya

42:57 - 42:57

Anyway.

- FORS sonya

42:58 - 42:58

Yeah.

- FORS sonya

42:59 - 43:06

The ones where we get, you know, NASA that's right or wrong is usually the ones we get more people showing up is when they're directly adjacent to.

- FORS sonya

43:06 - 43:07

Residential farther.

- FORS sonya

43:08 - 43:10

North up on Fourth Avenue.

- steve k

43:14 - 43:16

Daniels just called you and nobody.

- FORS sonya

43:17 - 43:19

I'm not saying that I.

- Diana (Ward 6)

43:20 - 43:21

Didn't know.

- steve k

43:21 - 43:23

Where it showed up.

- Daniel - United Fire

43:25 - 43:27

I was asked the other ones to those.

- Diana (Ward 6)

43:30 - 43:34

Nobody, I mentioned, it's not like Crowds aren't showing up.

- Diana (Ward 6)

43:34 - 43:34

Is what I.

- steve k

43:34 - 43:34

Meant.

- steve k

43:36 - 43:39

You're a consistent nobody, Daniel, and.

- Diana (Ward 6)

43:40 - 43:42

Then that makes me want to, because this is true.

- Diana (Ward 6)

43:42 - 43:43

All.

- Daniel - United Fire

43:43 - 43:44

Right, so the traditional.

- steve k

43:46 - 43:46

Idea requires.

- FORS sonya

43:48 - 43:55

Us to hand out on a card, and we obviously can't do that.

- FORS sonya

43:55 - 43:58

Anybody who actually was at the meeting, that's it.

- FORS sonya

44:04 - 44:07

If you would like, Danielle, what would you like?

- FORS sonya

44:08 - 44:10

We did, you can e-mail us something.

- **FORS sonya**
44:12 - 44:13
It's like our e-mail contact.
- **Daniel - United Fire**
44:14 - 44:14
Sure.
- **FORS sonya**
44:15 - 44:17
Notice on the invite, only advice.
- **Daniel - United Fire**
44:18 - 44:18
I haven't.
- **FORS sonya**
44:19 - 44:24
I think in lieu of that, what we propose is that e-mail, or call us.
- **Daniel - United Fire**
44:28 - 44:28
Ok.
- **Diana (Ward 6)**
44:29 - 44:29
Sounds good.
- **Daniel - United Fire**
44:33 - 44:52
It's the people, I just, Yeah, I know the attendance on these and other meetings are always that high, and, with a lot of the surrounding businesses, we still have a lot of businesses that are closed and people just, you know, I don't know where they're at, so.
- **FORS sonya**
44:56 - 44:57
Yeah, it's pretty scary.
- **FORS sonya**
44:57 - 45:08
I mean, I'll let you know, Daniel, that we've used quite a lot of FMD, and we had 60% of our projects go on all in a seven day period.
- **FORS sonya**
45:09 - 45:10
It was pretty scary.
- **steve k**
45:12 - 45:12
Yeah.
- **Daniel - United Fire**

45:14 - 45:17

Yeah, We're, we're just starting to come back now.

- **Daniel - United Fire**
45:18 - 45:45
Then, I've been working all day following the Newsday, some curious to get home and see how they progress with The city in the mask ordinance was impressed with your letters to the governor and encouragement for change and I think between you and CNN and all the news he must caved in.
- **Daniel - United Fire**
45:45 - 45:45
I don't know.
- **Daniel - United Fire**
45:45 - 45:48
That's all I could think that you guys finally got through.
- **steve k**
45:49 - 45:53
Well, today, tomorrow we'll have a special meeting too.
- **steve k**
45:54 - 46:00
Very likely affirm the masks in public spaces and those are defined in the ordinance.
- **steve k**
46:01 - 46:04
Really based on social distancing criteria.
- **steve k**
46:04 - 46:15
But earlier in the day as a county who is the Public Health Authority will hold a special meeting and they will likely adopt something similar that will effectively preempt us.
- **steve k**
46:15 - 46:26
But this will be based on the same kind of the same kind of criteria and you know the the mask and public spaces where you can't adequately social distance, that's really going to be the fundamental changes.
- **Daniel - United Fire**
46:27 - 46:31
Ok, yeah, I was really curious to what the county was going to do to make it.
- **Daniel - United Fire**
46:31 - 46:34
So, it wasn't just going to be a city, city change.
- **steve k**
46:34 - 46:41

FORS architecture + interiors

They are the regional public health authority, and so whatever they do will preempt what we would otherwise have done.

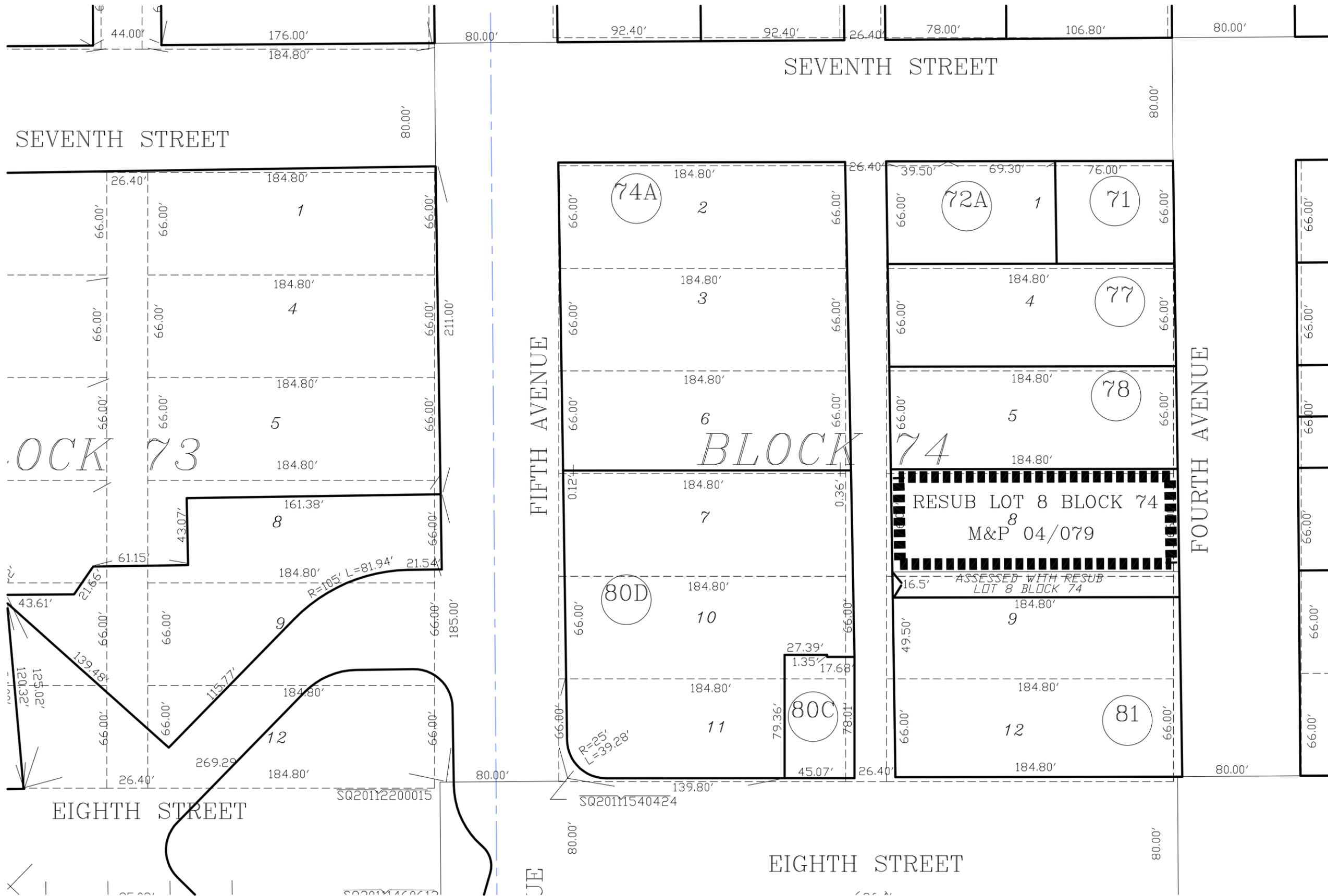
- **steve k**
46:41 - 46:43
And this will be along those lines, I'm sure.
- **Daniel - United Fire**
46:47 - 46:48
So, Every kid.
- **steve k**
46:48 - 46:49
Expense.
- **FORS sonya**
46:50 - 46:56
I'm glad you brought that up because I'm getting questions from, from lots of people.
- **FORS sonya**
46:56 - 47:03
So, whatever when you said that the county being the Health Authority will free up anything that goes.
- **FORS sonya**
47:03 - 47:08
That came out of that 99 page proclamation today.
- **FORS sonya**
47:08 - 47:14
So I think that whatever the county says is what we have to go buy at the operators.
- **steve k**
47:15 - 47:16
Hey.
- **FORS sonya**
47:16 - 47:19
Subsequent to that is not enforceable.
- **steve k**
47:20 - 47:21
Prior to that is no.
- **steve k**
47:22 - 47:30
So, so yeah, the county, the county by statute, is the, is the regional public health authority.

- **steve k**
47:31 - 47:39
They, by statute, can draft their ordinances, their rules and regulations related to no public health issues.
- **steve k**
47:40 - 47:44
They are going to hold a special meeting tomorrow at three o'clock, ours as it applies.
- **steve k**
47:44 - 48:02
And they will very likely pass through easy to see an ordinance that says are some rules and regulations that will stipulate what people have to do in public spaces and that will likely be, things, such as, have a face covering on.
- **steve k**
48:02 - 48:07
If you're in a bar restaurant, and you're eating, or drinking, you don't have to have one on.
- **steve k**
48:08 - 48:21
Budgets, you're in spaces where, you know, like, for instance, in I'm bosses in areas in congregate settings where you can't properly social this and so have masks.
- **steve k**
48:23 - 48:23
So that's.
- **FORS sonya**
48:24 - 48:24
Nice.
- **steve k**
48:30 - 48:31
Ok.
- **FORS sonya**
48:32 - 48:33
Everybody, thank you.
- **steve k**
48:35 - 48:35
All right.

ASSESSOR'S RECORD MAP
CITY OF TUCSON- BLOCK 074

(COTALL)

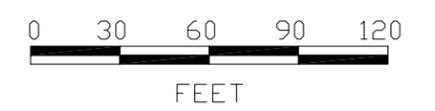
117-05



SEE BOOK 03 PAGE 071 M&P
2012-1

S12,T14S,R13E

:\MP03\03071_074-10/21/11



pima
county
assessor

Parcel Number: 117-05-0810

Property Address			
Street Number	Street Direction	Street Name	Location
305	N	4TH AV	Tucson
321	E	8TH ST	Tucson
323	E	8TH ST	Tucson
327	E	8TH ST	Tucson
305	N	HERBERT AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
BLUE 305 LLC 323 E 8TH ST TUCSON AZ 85705-8512	TUCSON LOT 12 & S49.5' LOT 9 BLK 74

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2019	COMMERCIAL (1)	18.0	\$235,066	\$817,214	\$1,052,280	\$604,514	\$108,813
2020	COMMERCIAL (1)	18.0	\$235,066	\$817,214	\$1,052,280	\$634,740	\$114,253

Property Information					
Township:	14.0	Section:	12	Range:	13.0E
Map:	3	Plat:	71	Block:	074
Tract:		Land Measure:	21,344.00F	Lot:	00009
Census Tract:	400	File Id:	1	Group Code:	000
Use Code:	1130 (RETAIL STRIP CENTER)			Date of Last Change:	5/16/2017

Valuation Area				
District Supervisor: RICHARD ELIAS District No: 5				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
6	1111044 DEL	01020201	03071 DEL	30

Recording Information (3)				
Sequence No.	Docket	Page	Date Recorded	Type
20170830288	0	0	3/24/2017	WTDEED
19982120885	10935	3119	12/3/1998	
95096338	10076	3871	6/30/1995	

Commercial Characteristics

Property Appraiser: Jimmy Jimenez Phone:

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	11,692	\$229,418	\$0	\$817,214

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1947	111/2	0000000	7,744	\$426,649	\$160,420	RETAIL STORE
002-001	1947	391/2	0000000	3,948	\$132,731	\$50,438	QUONSET COMMERCIAL/INDUSTRIAL
003-001	1947	101/3	0000000	0	\$18,655	\$6,790	COMMERCIAL YARD IMPROVEMENTS
004-001	1947	290/3	0000000	0	\$32,334	\$11,770	PARKING LOT

Petition Information (5)

Tax Year	Owner's Estimate	Petition	Work Up
2008	\$291,540		
2007	\$185,000		
2005	\$146,656		
2003	\$160,376		
2002	\$90,000		

Permits (6)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T99EL02951	COTH ~ FINAL	11/15/1999	01/27/2000	TUC	\$0	0	3/*	03/25/2010	03/25/2010		0
Description: SIGN:CIRCUIT:TS1999-38											
T160T00061	COTH ~ FINAL	05/25/2016	05/25/2016	TUC	\$0	0	3/*				
Description: FUP- DP16-0006											
T12BU00338	COTH ~ FINAL	03/12/2012	03/19/2012	TUC	\$2,480	0	3/*	03/30/2012	03/30/2012		0
Description: TENT											
T11BU00332	COTH ~ FINAL	03/14/2011	03/21/2011	TUC	\$1,061	0	3/*				0
Description: 40' x 40' TENT											
T10BU01779	COTH ~ FINAL	12/02/2010	12/21/2010	TUC	\$1,061	0	3/*				0
Description: TEMP TENT 40' X 40'											
T08CM03663	COTH ~ FINAL	01/16/2009	01/13/2016	TUC	\$30,000	0	3/*				
Description: FREE STANDING: TIKI HEAD AT THE HUT											

Notes (7)	
Created: 7/22/2016 Modified: 7/22/2016	2018N- multi tenant property, change use code from 1120 to 1130.
Created: 12/13/2010 Modified: 12/13/2010	2012: Remove 990 from Group Code. Commercial ground lease no longer in effect.
Created: 1/8/2009 Modified: 1/8/2009	2010: LEASED FEE BB RATIO> CL1@21%
Created: 10/15/2007 Modified: 10/15/2007	2008 SBOE LEVEL OK.
Created: 10/26/2006 Modified: 10/26/2006	2007 SBOE LEVEL OK.
Created: 7/19/2004 Modified: 7/19/2004	FC - CHECKED USE - BRICK BLDG (7,744 SF) HAS RETAIL STORES & STORAGE ON 1ST FLOOR, AND OFFICES ON 2ND FLOOR - QUONSET (3,848 SF) IS A NIGHTCLUB.
Created: 6/20/2002 Modified: 6/20/2002	A-LEVEL OK