

design team

architect

SWAIM ASSOCIATES LTD. ARCHITECTS AIA
7350 E. Speedway 210
Tucson, AZ 85710
(520) 326-3700 - fax: (520) 326-1148
www.swaimaia.com

Phil Swaim, AIA pswaim@swaimaia.com

swaim
ASSOCIATES LTD
ARCHITECTS AIA

7350 EAST SPEEDWAY 210
TUCSON, ARIZONA 85710
OFFICE (520) 326-3700
FAX (520) 326-1148
www.swaimaia.com



job
2004

date

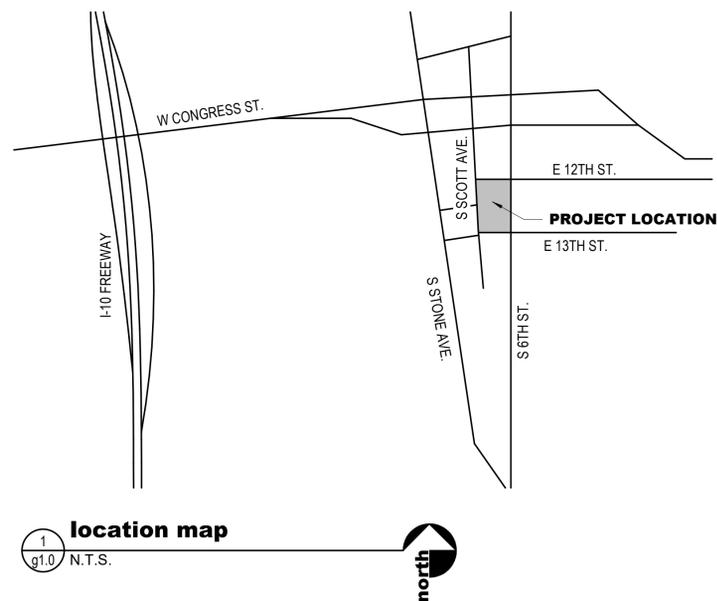
revisions

NO.	DATE	DESCRIPTION

% SUBMITTAL

tucson children's museum

200 south sixth avenue, tucson, arizona



add alternates

ALT #1
ALT #2
ALT #3

sheet index

applicable codes

2018 INTERNATIONAL BUILDING CODES W/ LOCAL AMENDMENTS

- 2018 INTERNATIONAL BUILDING CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL FIRE CODE
- CITY OF TUCSON/PIMA COUNTY OUTDOOR LIGHTING CODE

ZONING CODES

- UNIFIED DEVELOPMENT CODE W/ SUPPORTING DOCUMENTS
- ADMINISTRATIVE MANUAL
- TECHNICAL STANDARDS MANUAL
- SUPPLEMENT NO.1 - 8

deferred submittals

NONE

separate permits

NONE

Tucson Children's
Museum
Site Improvements
200 S 6th Ave, Tucson, AZ

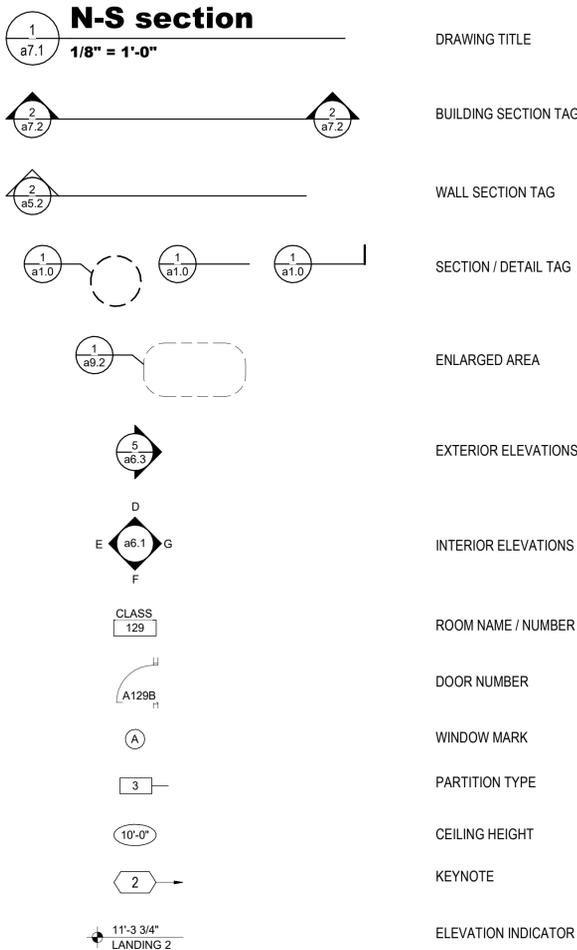
cover sheet

g1.0

abbreviations

&	AND	EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER	TYP	TYPICAL
@	AT	EXH	EXHAUST	OD	OVERFLOW DRAIN	UNFIN	UNFINISHED
AB	ANCHOR BOLT	EXIST	EXISTING	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	UNO	UNLESS NOTED OTHERWISE
ABC	AGGREGATE BASE COURSE	EXP	EXPANSION	OFF	OFFICE	UON	UNLESS OTHERWISE NOTED
ABI	ADDITIVE BID ITEM	EXT	EXTERIOR	OFFO	OWNER FURNISHED, OWNER INSTALLED	URNL	URINAL
AC	AIR CONDITIONING	FA	FIRE ALARM	OH	OVERHEAD	VAC	VENTILATION AND AIR CONDITIONING
ACC	ACCESSIBLE	FB	FACE BRICK	OPNG	OPENING	VAR	VARIABLES
ACCU	ACOUSTICAL	FD	FLOOR DRAIN	OPP	OPPOSITE	VCT	VINYL COMPOSITION TILE
ACUST	ACOUSTICAL	FD	FLOOR DRAIN OR FIRE DEPARTMENT	ORD	OVERFLOW ROOF DRAIN	VERT	VERTICAL
AD	AREA DRAIN	FDC	FIRE DEPARTMENT CONNECTION	P	PAINT	VEST	VESTIBULE
ADJ	ADJUSTABLE	FE	FIRE EXTINGUISHER	PAV	PAVING	VIF	VERIFY IN FIELD
AFF	ABOVE FINISHED FLOOR	FEC	FIRE EXTINGUISHER CABINET	PC	PRECAST	VP	VISION PANEL
AFG	ABOVE FINISHED GRADE	FF&E	FURNITURE, FIXTURES AND EQUIPMENT	PDF	POWER DRIVEN FASTENER	VR	VAPOR RETARDER
AGGR	AGGREGATE	FFB	FLUSH FLOOR BOX	PERF	PERFORATED	VT	VINYL TILE
ALT	ALTERNATE	FFEL	FINISH FLOOR ELEVATION	PERIM	PERIMETER	WVC	VINYL WALL COVERING
ALUM	ALUMINUM	FH	FLAT HEAD	PERP	PERPENDICULAR	W	WIDE/WEST
ANOD	ANODIZED	FHC	FIRE HOSE CABINET	PI	PLATE	W/	WITH
AP	ACCESS PANEL	FIN	FINISH	PLAM	PLASTIC LAMINATE	W/O	WITHOUT
APC	ACOUSTICAL PANEL CEILING	FIX	FIXTURE	PLAS	PLASTER	WC	WATER CLOSET
APPROX	APPROXIMATE	FLASH	FLASHING	PLBG	PLUMBING	WD	WOOD
ARCH	ARCHITECTURAL	FLR	FLOOR	PLF	POUNDS PER LINEAR FOOT	WIN	WINDOW
ASPH	ASPHALT	FLUOR	FLUORESCENT	PLYWD	PLYWOOD	WM	WIRE MESH
ATTN	ATTENTION	FND	FOUNDATION	PNT	PAINT OR PAINTED	WP	WATERPROOF/WATERPRO OFING
AUTO	AUTOMATIC	FO	FACE OF	POL	POLISHED	WPM	WATERPROOF MEMBRANE
AV	AUDIOVISUAL	FP	FIRE PROTECTION	PR	PAIR	WS	WEATHER-STRIPPING
BD	BOARD	FPG	FIREPROOFING	PREFAB	PREFABRICATED	WSCT	WAINSCOT
BE	BUILDING ENTRANCE TERMINAL	FR	FIRE RESISTANT	PROJ	PROJECT	WT	WEIGHT
BFF	BELOW FINISHED FLOOR	FRC	FIBER REINFORCED CONCRETE	PSF	POUNDS PER SQUARE FOOT	WW	WATER VALVE
BIT	BITUMINOUS	FRT	FIRE RETARDANT TREATED	PT	POINT	WWF	WELDED WIRE FABRIC
BL	BASELINE	FT	FEET/FOOT	PT	PRESSURE TREATED	WWW	WELDED WIRE MESH
BLDG	BUILDING	FTG	FOOTING	PTD	PAINTED		
BLK	BLOCK	FURN	FURNITURE	PTN	PARTITION		
BLKG	BLOCKING	FURR	FURRING	PVC	POLYVINYL CHLORIDE		
BM	BEAM, BENCHMARK	FWC	FABRIC WALL COVERING	QT	QUARRY TILE		
BO	BOTTOM OF	FWP	FABRIC WRAPPED PANEL	QTY	QUANTITY		
BOS	BOTTOM OF STEEL	GA	GAUGE	R	RADIUS/RISER		
BOT	BOTTOM	GALV	GALVANIZED	RA	RETURN AIR		
BRG	BEARING	GB	GRAB BAR	RAD	RADIUS		
BRK	BRICK	GC	GENERAL CONTRACT(OR)	RB	RESILIENT BASE		
BRKT	BRACKET	GEN	GENERAL	RBR	RUBBER		
BSMNT	BASEMENT	GFR	GLASS FIBER REINFORCED CONCRETE	RCP	REFLECTED CEILING PLAN		
BUR	BUILT-UP ROOFING	GSM	GALVANIZED SHEET METAL	RD	ROOF DRAIN		
C	CONDUIT	GV	GAS VALVE	REC	RECESSED		
CA	COMPRESSED AIR	GWB	GYPSON WALL BOARD	RECPT	RECEPTACLE		
CAB	CABINET	GYP	GYPSON	REF	REFERENCE		
CAT	CATEGORY	H	HIGH/HEIGHT	REFR	REFRIGERATOR		
CB	CATCH BASIN	HB	HOSE BIB	REG	REGISTER		
CB	CEMENT BOARD	HC	HANDICAPPED	REIN	REINFORCED		
CBU	CEMENTITIOUS BACKER UNIT	HDWD	HARDWOOD	REIN	REINFORCING		
CC	CENTER TO CENTER	HDWR	HARDWARE	REIN	REINFORCED		
CCTV	CLOSED CIRCUIT TELEVISION	HGT	HEIGHT	REL	RELOCATE		
CEM	CEMENT	HM	HOLLOW METAL	REM	REMOVABLE		
CER	CERAMIC	HNDRL	HANDRAIL	REOOM	RECOMMENDED		
CG	CORNER GUARD	HO	HOLD OPEN	REQ	REQUIRE/REQUIRED		
CH	CHILLER	HO	HOLD OPEN	REQD	REQUIRED		
CI	CAST IRON	HORIZ	HORIZONTAL	RESIL	RESILIENT		
CIP	CAST-IN-PLACE	HR	HOUR	REV	REVISION/REVISED		
CJ	CONTROL JOINT	HRC	HOSE REEL CABINET	RM	ROOM		
CL	CENTERLINE	HTG	HEATING	RO	ROUGH OPENING		
CLG	CEILING	HVAC	HEATING VENTILATION AND AIR CONDITIONING	RTD	RATED		
CLKG	CALLING	HW	HOT WATER	RTG	RATING		
CLR	CLEAR	ID	INSIDE DIAMETER	RWL	RAIN WATER LEADER		
CNTR	COUNTER	IN	INCH/INCHES	S	SOUTH		
CO	CLEANOUT	INCL	INCANDESCENT	SA	SUPPLY AIR		
COL	COLUMN	INFO	INFORMATION	SAF	SELF ADHERED FLASHING		
CONC	CONCRETE	INSUL	INSULATION	SC	SOLID CORE		
COND	CONDITION	INSUL	INSULATED OR INSULATION	SCHED	SCHEDULE		
CONN	CONNECTION	INT	INTERIOR	SD	STORM DRAIN		
CONST	CONSTRUCTION	INTERM	INTERMEDIATE	SECT	SECTION		
CONT	CONTINUOUS	INV	INVERT	SF	SQUARE FEET/FOOT		
CONTR	CONTRACTOR	JAN	JANITOR	SH	SPRINKLER HEAD		
COORD	COORDINATE	JC	JANITOR'S CLOSET	SHR	SHOWER		
CORR	CORRIDOR	JST	JOIST	SHT	SHEET		
CPT	CARPET	KIT	KITCHEN	SIM	SIMILAR		
CT	CERAMIC TILE	KO	KNOCK OUT	SM	SHEET METAL		
CTR	CENTER	LAM	LAMINATE	SM	SURFACE MOUNTED		
CTSK	COUNTERSUNK	LAV	LAVATORY	SP	STANDPIPE		
CW	COLD WATER	LB	POUNDS	SPEC	SPECIFICATION		
D	DEEP, DEPTH	LLH	LONG LEG HORIZONTAL	SPEC	SPECIFIED OR SPECIFICATION		
DBL	DOUBLE	LLV	LONG LEG VERTICAL	SPK	SPRINKLER OR SPEAKER		
DEG	DEGREE	LT	LIGHT	SPKR	SPEAKER		
DEMO	DEMOLISH OR DEMOLITION	MAS	MASONRY	SQ	SQUARE		
DEMO	DEMOLITION	MAX	MAXIMUM	SS	STAINLESS STEEL		
DEPT	DEPARTMENT	MECH	MECHANICAL	SSK	SERVICE SINK		
DF	DRINKING FOUNTAIN	MED	MEDIUM	STA	STATION		
DIA	DIAMETER	MEMBR	MEMBRANE	STC	SOUND TRANSMISSION COEFFICIENT		
DIFF	DIFFUSER	MFR	MANUFACTURER	STL	STEEL		
DIM	DIMENSION	MH	MAN HOLE	STOR	STORAGE		
DIMS	DIMENSIONS	MIN	MINIMUM	STRG	STRINGER		
DISP	DISPENSER	MISC	MISCELLANEOUS	STRUCT	STRUCTURAL		
DIV	DIVISION	MO	MASONRY OPENING	STRUCT	STRUCTURE OR STRUCTURAL		
DMPF	DAMP PROOFING	MR	MOISTURE RESISTANT	SUBCAT	SUBCATEGORY		
DN	DOWN	MTD	MOUNTED	SUSP	SUSPENDED		
DO	DOOR OPENING	MTG	MOUNTING	SYM	SYMMETRICAL		
DR	DOOR	MTL	METAL	SYS	SYSTEM		
DRN	DRAIN	MULL	MULLION	T	TREAD		
DS	DOWNSPOUT	N	NORTH	TAB	TOP AND BOTTOM		
DS	DOWNSPOUT	NA	NOT APPLICABLE	T&G	TONQUE AND GROOVE		
DTL	DETAIL	NC	NOISE CRITERIA	TB	TOWEL BAR		
DW	DISHWASHER	NIC	NOT IN CONTRACT	TEL	TELEPHONE/TELECOM		
DWG	DRAWING	NO	NUMBER	TELE	TELEPHONE		
DWR	DRAWER	NOM	NOMINAL	TEMP	TEMPERATURE		
CMU	CONCRETE MASONRY UNIT	NON	NON COMBUSTIBLE	TEMP	TEMPORARY		
E	EAST	COMB	COMBUSTIBLE	THK	THICKNESS		
EA	EACH	NTS	NOT TO SCALE	THRU	THROUGH		
EB	EXPANSION BOLT	OA	OUTSIDE AIR	TKBD	TACK BOARD		
EJ	EXPANSION JOINT	OC	ON CENTER	TLT	TOILET		
EL	ELEVATION			TMPD	TEMPERED		
ELEC	ELECTRICAL			TO	TOP OF		
ELEV	ELEVATOR			TOB	TOP OF BEAM		
EMER	EMERGENCY			TOC	TOP OF CONCRETE		
ENCL	ENCLOSURE			TOS	TOP OF STEEL		
ENG	ENGINEER			TS	TUBE STEEL		
EP	ELECTRICAL PANEL			TV	TELEVISION		
EPDM	ETHYLENE PROPYLENE DIENE M-GLASS						
EQ	EQUAL						

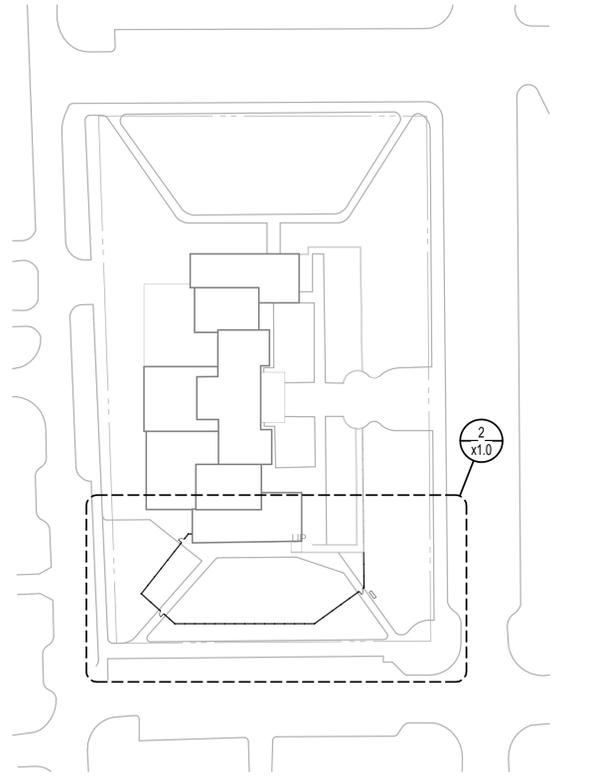
symbols legend



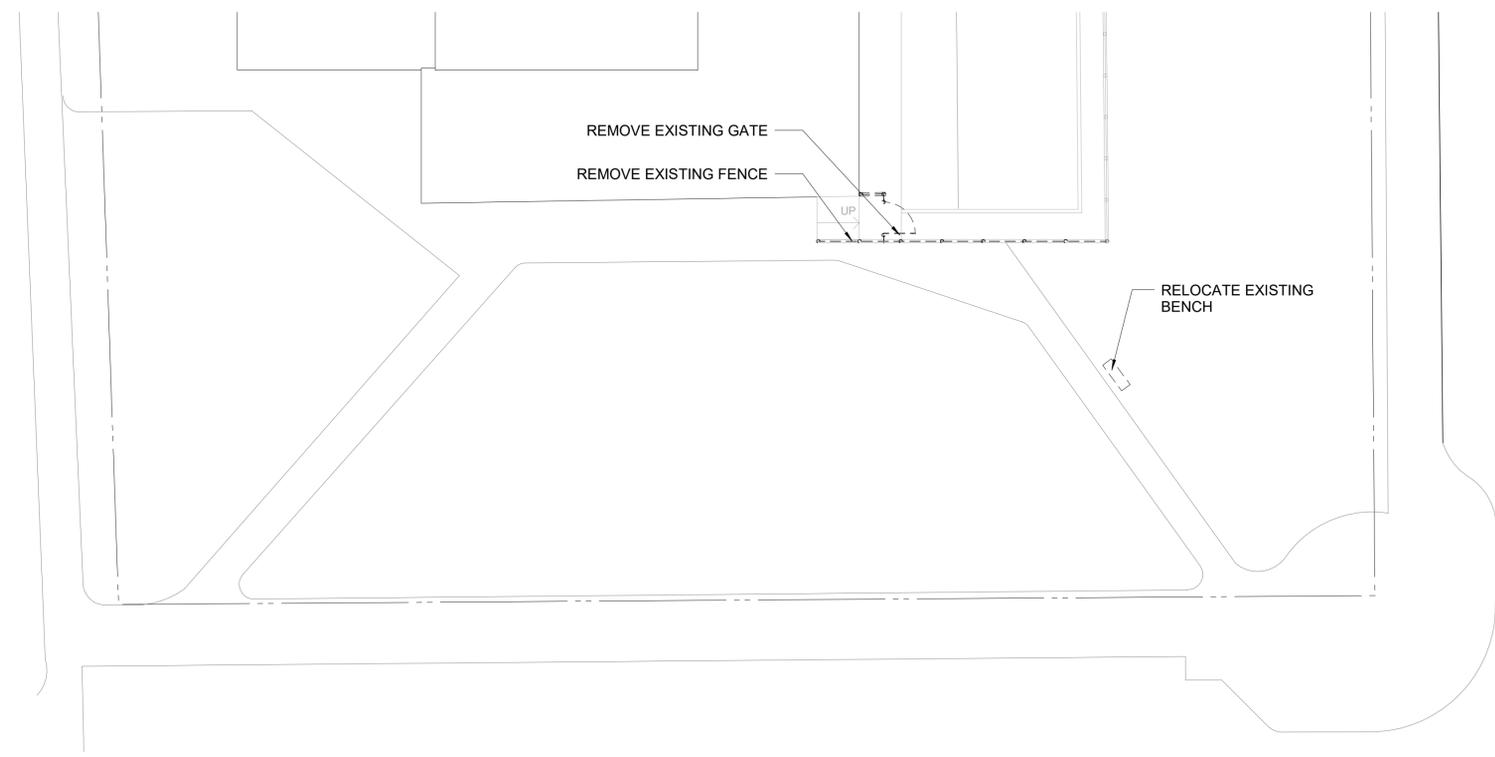
general project notes

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND OR CONCEALED UTILITIES IN ADVANCE OF ANY CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITIES ON OR NEAR THE PROJECT SITE.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ANY OR ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ANY UTILITIES FOUND TO BE IN THE WAY OF THE NEW CONSTRUCTION SHALL BE REMOVED, RELOCATED OR REPLACED AS DIRECTED. REFER TO PLUMBING, ELECTRICAL, MECHANICAL AND/OR CIVIL PLANS FOR SPECIFIC REQUIREMENTS.
- C. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REMOVE ALL ABANDONED (RETIRED) UTILITIES THAT INTERFERE WITH THE CONSTRUCTION PROJECT. THE CONTRACTORS AND LOCAL UTILITY AND TRAFFIC CREWS SHALL COORDINATE WORK SCHEDULES SO AS TO PREVENT ANY CONFLICTING WORK CONDITIONS.
- D. CONTRACTOR SHALL REPAIR ANY AND ALL UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH LOCAL SPECIFICATIONS, AT NO ADDITIONAL COST.
- E. CONTRACTOR TO NOTIFY "BLUE STAKE" @ 1-800-782-5348, AT LEAST 48-HOURS IN ADVANCE OF ANY EXCAVATION. UTILITY LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT.
- F. ALL ITEMS REMOVED SHALL BE TEMPORARILY STORED IN A LOCATION APPROVED BY THE OWNER, AND THE OWNER SHALL REVIEW ALL ITEMS PRIOR TO ANY DISPOSAL. ANY ITEM WHICH IS DEEMED SALVAGEABLE SHALL REMAIN THE OWNER'S PROPERTY, AND WILL BE REMOVED TO STORAGE FACILITIES DESIGNATED BY THE OWNER FOR FUTURE USE. IF THE OWNER DEEMS AN ITEM AS NON-SALVAGEABLE, THE CONTRACTOR SHALL DISPOSE OF IT.
- G. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM THE DEMOLITION AND CONSTRUCTION. AT NO TIME SHALL ANY OF THIS MATERIAL OBSTRUCT THE NORMAL OPERATION.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY OR ALL EXCESS EXCAVATION AND CONSTRUCTION RELATED DEBRIS, AT THE END OF EACH WORK DAY.
- I. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF THIS PROJECT'S BUILDING(S) & SURROUNDING AREA AS A RESULT OF THIS PROJECT IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- J. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO FAMILIARIZE HER/HIM SELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS.
- K. THE JOB SITE, AT THE COMPLETION OF CONSTRUCTION, SHALL BE CLEANED OF ANY DEBRIS OR SPOILS RESULTING FROM THE CONSTRUCTION.
- L. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING RECORDED DIMENSIONS INDICATED AND ALL EXISTING CONDITIONS THAT IMPACT NEW CONSTRUCTION.
- M. THE CONTRACTOR SHALL ESTABLISH ALL QUANTITIES BASED ON ACTUAL CONDITIONS. THESE DRAWINGS ARE NOT TO BE SCALED.
- N. BLOCK WALLS ARE DIMENSIONED TO FACE OF BLOCK. DIMENSIONS ARE NOMINAL THICKNESS. BLOCK WALL OPENINGS ARE DIMENSIONED TO ROUGH OPENING.
- O. METAL STUD PARTITIONS ARE DIMENSIONED TO FACE OF STUD. ALL ROUGH OPENINGS ARE LOCATED 4" TO NEAREST ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
- P. COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. OBTAIN AND PAY FOR ALL PERMITS AND LICENSES REQUIRED.
- Q. REFER TO BUILDING CODE ANALYSIS SHEETS FOR ADDITIONAL CODE REQUIREMENTS.
- R. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AT LEAST 72 HOURS IN ADVANCE OF ANY CONSTRUCTION THAT REQUIRES SPECIAL/REQUIRED INSPECTION(S).
- S. REFERENCE ALL ARCHITECTURAL, CIVIL, LANDSCAPING, MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR SCOPE OF WORK & COORDINATION.
- T. ALL MATERIALS REQUIRED SHALL BE OF A GRADE AND QUALITY CONSISTENT WITH THE INTENDED USE AS SPECIFIED & APPROVED BY THE ARCHITECT.
- U. ALL EQUIPMENT OR MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR IN THE SPECIFICATIONS, BUT ARE REQUIRED TO COMPLETE THE INSTALLATION SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THE CONTRACT WORK.
- V. FIRE AND SMOKE SEAL ALL PENETRATIONS AROUND PIPE/CONDUIT AT ALL FLOOR, WALL, DECK & ROOF PENETRATIONS.
- W. ALL PENETRATIONS THROUGH FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO THE UNDERWRITER LABORATORIES LISTING FOR THROUGH PENETRATION FIRE STOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT MANUFACTURERS SHOP DRAWINGS AND DATA SHEETS FOR ALL PENETRATIONS
- X. UNLESS OTHERWISE NOTED ALL BLOCKING OR BACKING MATERIAL SHALL BE SOLID WOOD FOR ALL WALL MOUNTED ITEMS.
- Y. INSTALL A CONTINUOUS BEAD OF SEALANT AT ALL GAPS/SEAMS BETWEEN IMMOVABLE EQUIPMENT AND WALLS.
- Z. ALL SURFACES SHALL BE PAINTED OR FINISHED PER SPECIFICATION. REFER TO FLOOR PLANS, ROOM FINISH SCHEDULE, BUILDING/WALL SECTIONS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL PAINTING & FINISH REQUIREMENTS.
- AA. ALL TERMINATIONS OF CARPET, TILE, OR VCT TO ANOTHER FLOOR MATERIAL SHALL HAVE TRANSITION OR REDUCER STRIPS - SEE SPECS.
- BB. ALL INTERIOR FINISHES SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 8 OF THE 2018 INTERNATIONAL BUILDING CODE.
- CC. PROVIDE AN ESCUTCHEON AT EACH PIPE PENETRATION @ FLOOR AND/OR WALL SURFACES, TYPICAL.
- DD. ALL CORES INTO WALLS AND SLABS SHALL BE PRIOR APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- EE. INSTALL GYPSUM BOARD CONTROL JOINTS AT ALL LOCATIONS INDICATED OR IF NOT INDICATED AS ACCORDING TO THE REQUIREMENTS THAT ARE ESTABLISHED IN THE SPECIFICATIONS.
- FF. FIRE LANES SHALL BE MAINTAINED IN A CONDITION TO ASSURE ACCESS TO ALL BUILDINGS DURING CONSTRUCTION.
- GG. ALL NEW ROOFING SYSTEMS TO HAVE A CLASS "A" FIRE RATING PER SPECIFICATION SECTION 07527.
- HH. UPON COMMENCEMENT OF INTERIOR WORK, SMOKING WITHIN THE BUILDING IS PROHIBITED.

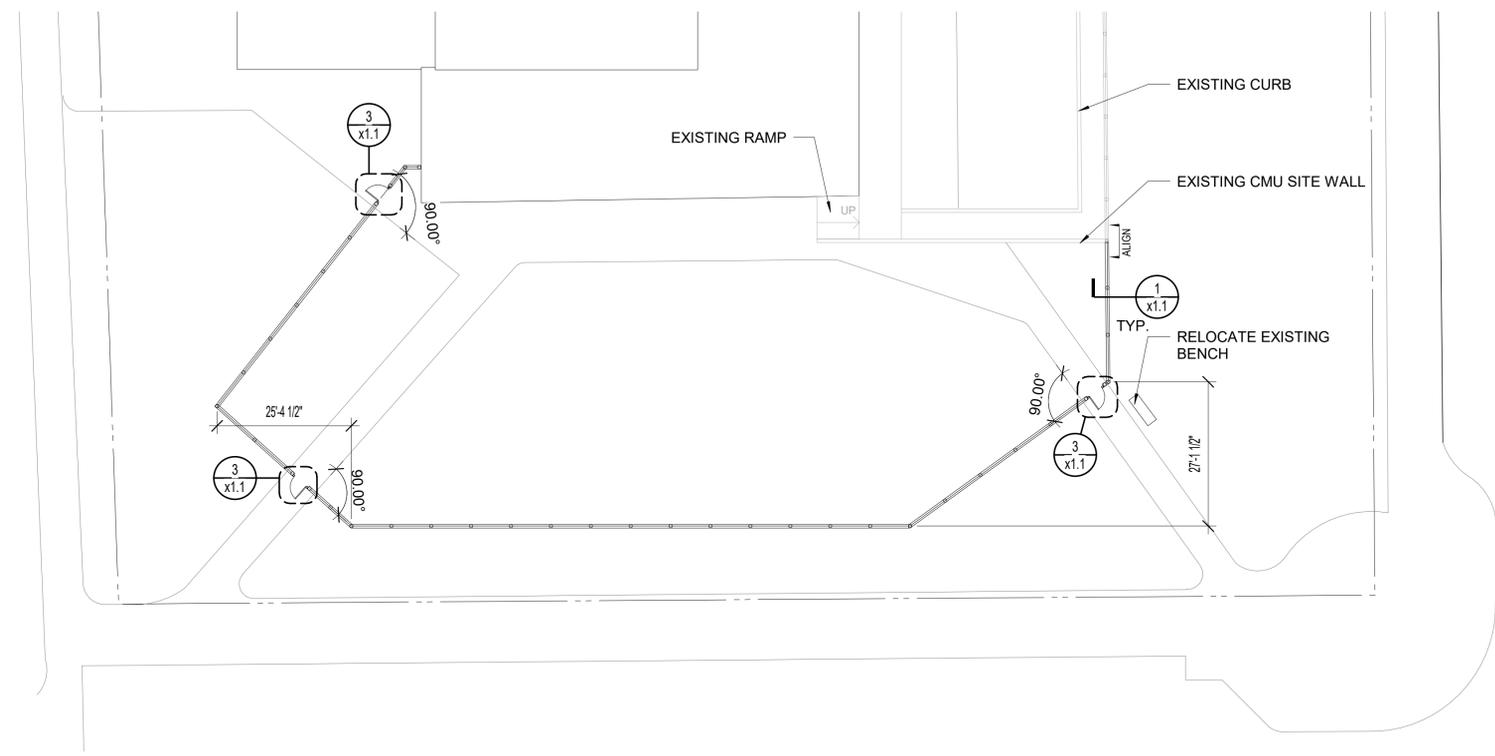




1
x1.0
reference site plan
1/64" = 1'-0"
north



2
x1.0
demo enlarged site plan
1/16" = 1'-0"
north



3
x1.0
enlarged site plan
1/16" = 1'-0"
north

- general notes**
- COORDINATE WITH CIVIL AND LANDSCAPE.
 - REFER TO GATE SCHEDULE FOR SIZE AND HARDWARE.

keynotes



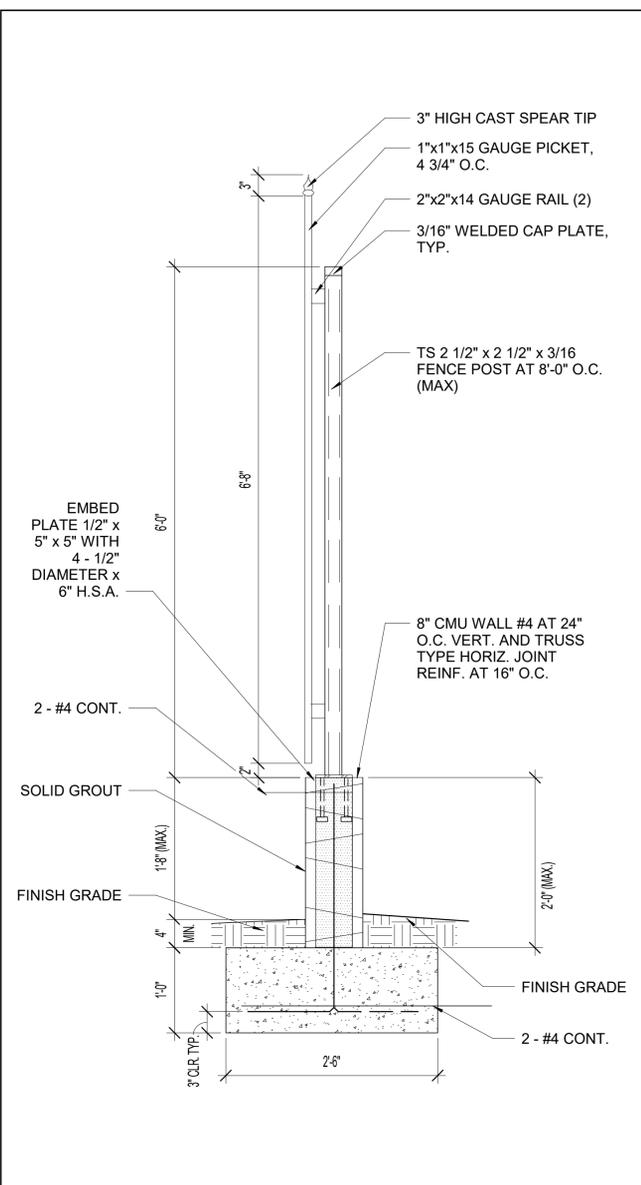
job
2004

date

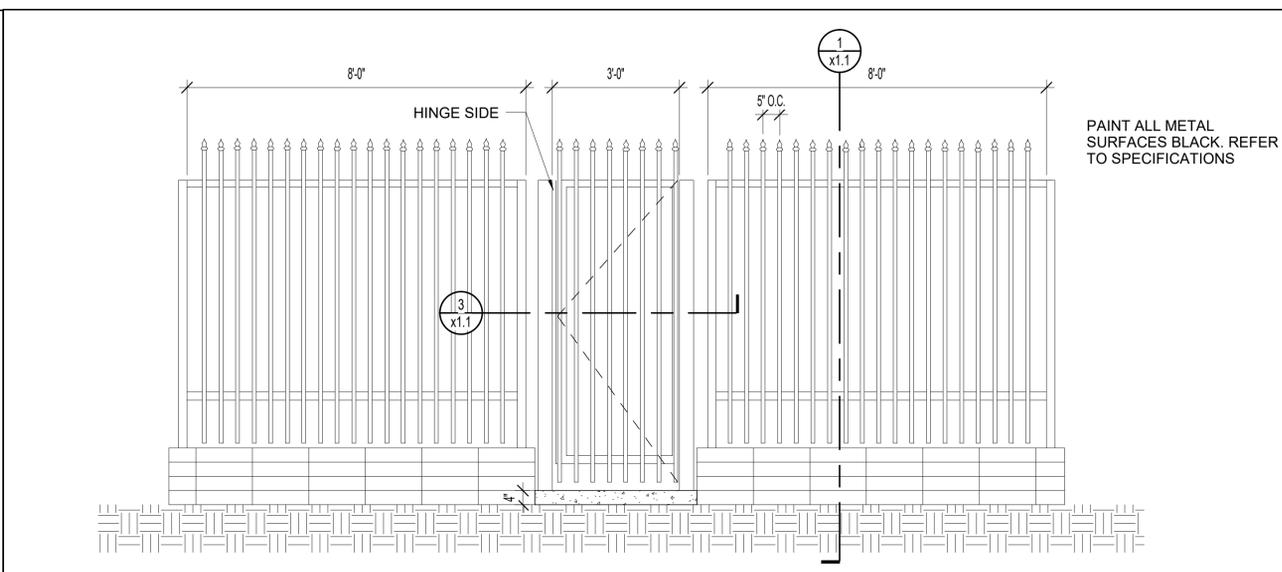
revisions

**Tucson Children's
Museum**
Site Improvements
200 S 6th Ave, Tucson, AZ

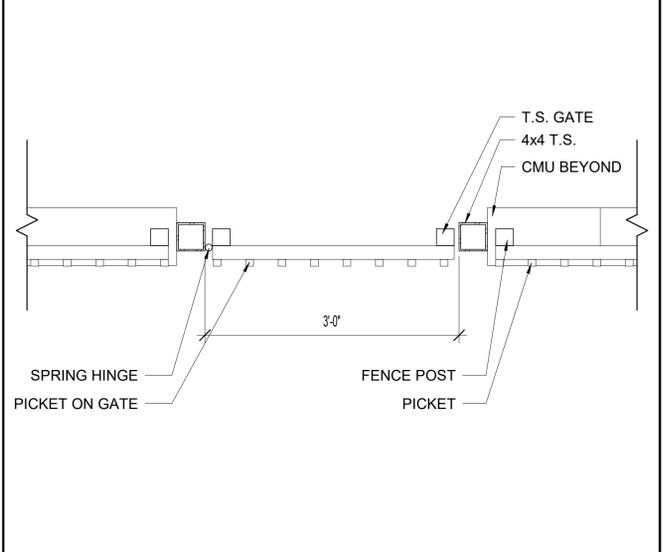
site plan
x1.0



1 typical cmu site wall and wrought iron fence section detail
 x1.1 1" = 1'-0" (3 / x1.0)



2 gate elevation detail
 x1.1 1/2" = 1'-0" (/)



3 gate plan detail
 x1.1 1" = 1'-0" (3 / x1.0)



revisions
