



ZONING EXAMINER

REPORT TO MAYOR AND COUNCIL

September 24, 2015

**C9-15-03 Neighborhood Shopping Center - Broadway and Rosemont
R-1 to C-1
Public Hearing: September 10, 2015**

BACKGROUND

This is a request to rezone approximately 6.98 acres from R-1 and C-1 zoning to C-1 zoning. The rezoning site is located at the southwest corner of Broadway Boulevard and Rosemont Boulevard.

Land use policy direction for this area is provided by the *Broadway-Craycroft Area Plan* and *Plan Tucson*.

PUBLIC HEARING SUMMARY (Minutes Attached)

Glenn Moyer, Planning and Development Services Department, presented the staff report with a recommendation for approval. Mr. Moyer also commented that four written approvals and nine written protests were received.

Tom Warne, the applicant's agent, presented the rezoning request and agreed to the recommended staff conditions of rezoning.

FINDINGS OF FACT

This is a request by Tom Warne of MSW Development to rezone approximately 6.98 acres from R-1 and C-1 zoning to C-1 zoning. The rezoning site is located at the southwest corner of Broadway Boulevard and Rosemont Boulevard. The preliminary development plan proposes a neighborhood shopping center with an approximately 60,000 square foot, 30 foot tall supermarket and six additional 20 foot tall buildings averaging 4,866 square feet each, for a total of approximately 89,200 square feet of building area.

Land adjacent to the south and west of the rezoning site is zoned R-1 and developed with single family residences. To the northwest of the rezoning site is a vacant building zoned O-3. To the east across Rosemont Boulevard is a mix of commercial, retail, office, up to 40 feet tall, and medium to high density residential uses in the Williams Addition Planned Area Development (PAD-1) zone. To the north, across Broadway Boulevard, is a mix of commercial properties and office properties with O-3 and C-1 zoning. A 210 foot tall office building is located northeast of the intersection of Broadway and Rosemont, zoned OCR-2.

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Rezoning: R-1 to C-1**

The rezoning site is a simple rectangle, extending approximately 645 feet along the Broadway Boulevard frontage and approximately 475 feet along the Rosemont Boulevard frontage. An existing strip of commercial buildings running west along Broadway from the Rosemont Boulevard intersection will be demolished, as will a small commercial building at the west end of the Broadway frontage. The north approximately 210 feet of the site (adjacent to Broadway Boulevard) is currently zoned C-1, the balance of the site is currently zoned R-1. A 16 foot wide public right-of-way (alley) is immediately adjacent to the south property line of the rezoning site. This alley is ostensibly part of the rezoning site as it currently exists with open access to the rear of the neighboring residences fronting on Cooper Street. Both 12th Street and a 20 foot alley between the private property fronting 12th Street and Broadway Boulevard dead-end into the west side of the rezoning site.

Land use policy direction for this area is provided by the *Broadway-Craycroft Area Plan* and *Plan Tucson*. The rezoning site is located within a mixed-use corridor as identified on the Future Growth Scenario Map of *Plan Tucson*. Mixed-use corridors provide a higher-intensity mix of jobs, services, and housing along major streets. The businesses and residences within these corridors will be served by a mix of high-frequency transit options, as well as pedestrian and bicycle facilities. *Plan Tucson* supports redevelopment and revitalization of existing commercial land use that will stabilize and enhance the transition edge when adjacent to existing residential uses. Urban heat island effects should be mitigated by expanding and maintaining a healthy drought-tolerant low-water urban forest.

Plan Tucson policy LT28.1.7 supports developments that preserve and strengthen the distinct physical character and identity of individual neighborhoods and commercial districts in the community, while policy LT28.1.11 supports the retention and expansion of existing businesses. *Plan Tucson* policy direction specific to mixed-use corridors includes policy LT28.6.4 which supports neighborhood commercial uses located at the intersections of arterial and collector streets. Policy LT28.6 .6 supports the redevelopment and/or expansion of existing strip commercial development that will improve traffic flow, pedestrian mobility and safety, and streetscape quality. Policy LT28.6.12 supports infill and redevelopment projects that reflect sensitivity to site and neighborhood conditions and that adhere to relevant site and architectural design guidelines. Policy LT28.6.13 provides direction to protect established residential neighborhoods by supporting compatible development, which may include residential, mixed- use infill and appropriate nonresidential uses.

The *Broadway-Craycroft Area Plan* supports redevelopment of property fronting Broadway Boulevard, subject to screening and buffering to preserve the integrity of established residential neighborhoods. *Broadway-Craycroft Area Plan Non-Residential Policy 1.B* provides direction to locate new commercial and low rise office development at the southwest corner of Broadway and Rosemont, subject to design elements which addresses primary access to Broadway Boulevard and secondary access to Rosemont Boulevard, provided it directs traffic away from the residential neighborhood, and is designed with a building setbacks greater than one and one-half times the height of the building. Dense landscape buffers and masonry walls should be provided along the perimeter of the site adjacent to residential development. Non-residential Policy 4.A. & B.

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Rezoning: R-1 to C-1**

provide direction to design new non-residential development and redevelopment in a manner that complements adjacent residential uses.

The *Broadway-Craycroft Area Plan* General Design and Buffering polices provide direction to enhance the visual continuity of the area through the use of drought-tolerant, native or adaptive vegetation to soften the visual impact of outdoor storage areas, refuse containers, and parking areas that are visible from public streets or adjacent residential uses. These policies also support inclusion of architectural elements which are compatible with existing structures, and preservation of Santa Catalina Mountain views.

The *Broadway-Craycroft Area Plan*, Transportation Policy 1.C.2 provides direction for Rosemont Boulevard, south of Broadway Boulevard. Primary access should be to Broadway Boulevard. Secondary access may be considered to Rosemont Boulevard, subject to mitigation measures for non-residential traffic. Traffic control devices should be considered to discourage eastbound Broadway traffic from using Rosemont Boulevard and 16th Street to access Craycroft Road or 22nd Street. Pedestrian connections should be provided within on-site parking areas and from the development to the public sidewalk system.

For traffic circulation, the proposed site design shows three access points along Broadway Boulevard and a single secondary access point along Rosemont Boulevard. The applicant is requesting a median break on Broadway Boulevard to allow westbound traffic to enter the development at the northwest corner of the rezoning site. The preliminary development plan shows the Broadway frontage road which currently exists adjacent to the development site ending at the west end of the rezoning site. The design of the terminus of the frontage road will require review and approval by City of Tucson Department of Transportation and shall be completed at no cost to the public. The access point on Rosemont Boulevard is to be designed to discourage through traffic exiting the site south on Rosemont Boulevard, while maintaining access for local residents. A one foot vehicular no-access easement along the south and west property lines of the rezoning site adjacent to R-1 zoning will be provided to prevent access to the alley to the south or residential areas to the west. The Pima Association of Governments Transportation Planning Division (PAG-TPD) estimates that the proposed development will generate 3,011 vehicle trips per day. Broadway Boulevard is designated as a gateway arterial on the *Major Streets and Routes Plan* map. Rosemont Boulevard is a local street adjacent to the rezoning site.

Adjacent to the site along its south and west borders is a residential neighborhood with low- density, single-family detached homes. The 16 foot wide public right-of way (alley) running east-west immediately adjacent to the south property line of the rezoning site will no longer be accessible through the rezoning site with construction of the perimeter screen wall. The applicant is proposing to widen the alley to 20 feet and include a turn-around to maintain the viability of this access. To the west, both 12th Street and an alley dead-end into the development site. Vehicular access from 12th Street to the rezoning site is blocked by bollards placed approximately 6 feet apart. Pedestrians and bicyclists can currently pass through the bollards and enter the rezoning site but will not in the future as a perimeter screen wall will be constructed at the property line blocking all access, vehicular,

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Rezoning: R-1 to C-1

pedestrian, and bicyclists. The alternative pedestrian access plan shown on the PDP dated September 18, 2015, depicting north/south pedestrian circulation along the western edge of the property shall not be used.

The preliminary development plan shows a central parking area with the proposed 60,000 square foot supermarket on the west side facing east toward the central parking area and Rosemont. Six approximately 4,866 square foot buildings are distributed around the north, east, and south sides of the central parking area, generally oriented toward the central parking area and the interior of the site. A single drive-thru lane is proposed on the south side of the supermarket building, approximately 100 feet from the nearest residence. An eight-foot tall screen wall is proposed along the full length of the south property line.

The loading docks for the supermarket are located on the west side toward the north end of the building, oriented toward Broadway Boulevard with a 16 foot tall wall on the west side of the loading dock and a six foot tall wall at the property line. Solid waste dumpsters are also on the west side of the building, oriented to the south, with an eight foot tall wall on the west side of the dumpster at the property line. Both the loading docks and the dumpsters are located north of the 12th Street alignment, closest to the existing O-3 zoned office building. Delivery operations shall be limited. Delivery trucks shall not be parked in close proximity to or within a designated delivery or loading area during non-delivery hours with motors and/or refrigeration/generators running, unless such areas are setback at least 300 feet from residential property.

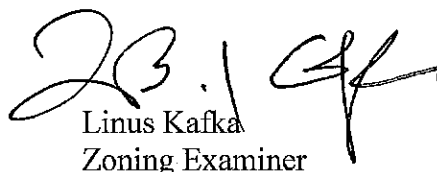
CONCLUSION

The proposed rezoning is consistent with, and supported by, the policy direction provided in *Plan Tucson* and the *Broadway-Craycroft Area Plan* and in keeping with the character of the area. Subject to compliance with the attached preliminary conditions, approval of the requested rezoning is appropriate.

RECOMMENDATION

The Zoning Examiner recommends approval of C-1 zoning.

Respectfully Submitted,


Linus Kafka
Zoning Examiner

ATTACHMENTS:

Public Hearing Minutes
Rezoning Staff Report

PROCEDURAL

1. A Development Package shall be in substantial compliance with the Preliminary Development Plan and the Design Compatibility Report submitted as part of the Rezoning Report dated September 8, 2015 which clearly illustrates compliance with all conditions through the use of details, diagrams and/or note submitted and approved in accordance with the *Administrative Manual*, Section 2-06.
2. The property owner shall execute a waiver of potential claims under A.R.S. Sec. 12-1134 for this zoning amendment as permitted by A.R.S. Sec. 12-1134 (I) in the form approved by the City Attorney and titled “Agreement to Waive Any Claims Against the City for Zoning Amendment”. The fully executed Waiver must be received by the Planning & Development Services Department before the item is scheduled for Mayor and Council action.
3. Historic or prehistoric features or artifacts discovered during future ground disturbing activities should be reported to the City of Tucson Historic Preservation Officer. Pursuant to A.R.S. 41-865 the discovery of human remains and associated objects found on private lands in Arizona must be reported to the Director of Arizona State Museum.
4. Any relocation, modification, etc., of existing utilities and/or public improvements necessitated by the proposed development shall be at no expense to the public.
5. “Safe by Design” concepts shall be incorporated in the development plan for review by the Tucson Police Department.
6. The owner/developer shall obtain written documentation from the Pima County Regional Wastewater Reclamation District (PCRWRD) that treatment and conveyance capacity is available for any new development within the rezoning area, no more than 90 days before submitting any tentative plat, development plan, sewer improvement plan, or request for building permit for review. Should treatment and/or conveyance capacity not be available at that time, the owner/developer shall have the option of funding, designing and constructing the necessary improvements to Pima County’s public sewerage system at his or her sole expense or cooperatively with other affected parties. All such improvements shall be designed and constructed as directed by the PCRWRD.
7. Five years are allowed from the date of initial authorization to implement and effectuate all Code requirements and conditions of rezoning.

LAND USE COMPATIBILITY

8. All outdoor security lighting shall be in compliance with the Outdoor Lighting Code and shall be full cutoff directed down and shielded away from residential parcels and public right-of-way. Wall mounted or pole mounted outdoor lighting shall not exceed twenty (20) feet in

height to the light source. Outdoor light layout and lighting fixture detail shall be submitted as part of the development package. To the extent allowable by code, lighting along the 12th Street wall shall be limited so as not to impact neighboring residences.

9. Exterior mechanical equipment shall be screened from view from the surrounding parcels and right of ways.
10. Any restaurant in the proposed development shall install an exhaust odor reducing system such as “Ecovents,” to reduce cooking odors outside the restaurant.
11. No illuminated signs shall be placed on facades adjacent to residential parcels, except as may be required by code.
12. Roof mounted mechanical equipment, including solar panels, shall not extend above the roof (includes parapet wall) line.
13. Outdoor noise-generating activities such as but not limited to; trash dumpsters, loading zone, outdoor menu boards, and outdoor open patio areas shall be a minimum of fifty (50) feet from the west and south property lines.
14. Outdoor speakers shall be operated so as not to be audible from parcels located on the southern or western property lines.
15. Anchor building shall be setback from the west property line one-hundred (100) feet, except indoor loading area to be setback a minimum of fifty (50) feet as indicated on the PDP dated September 8, 2015.
16. Other than anchor building, all other buildings shall be setback from the south property line no less than one and one-half times the building height as indicated on the PDP dated September 8, 2015.
17. West and south perimeter masonry walls, as depicted on PDP dated September 8, 2015, shall be minimum eight feet in height along south property line and 10 feet along the west property line, except the west perimeter wall when located adjacent to O-3 Office zone and 10 feet east of the most easterly building along the south property line, shall require a minimum six feet tall in height. West and south perimeter walls will be constructed as soon as possible after installation of utilities.
18. Provide wall elevations drawn in color and to scale, for the free standing perimeter ten (10) foot, eight (8) foot, and six (6) foot tall masonry wall(s). Perimeter wall design and color to show compatibility in architectural elements and color theme with the overall rezoning site and compatible with surrounding land uses.
19. East perimeter wall, as depicted on PDP dated September 8, 2015 shall be a minimum of forty two (42”) inches in height, subject to sight visibility requirements and provide a pedestrian opening in the area of the southeast corner of the rezoning site.
20. East perimeter wall shall have varying openings in wall to be consistent with conceptual design attached to preliminary design package.

21. Six (6) inch wide fence block or greater shall be used for required perimeter walls.
22. All site boundary screen walls shall be graffiti-resistant masonry that incorporates two (2) or more of the following visually appealing design treatments, such as the use of decorative materials like stucco, tile, stone, rusted metal, or brick; a visually-interesting design on the wall surface; and/or a varied wall alignment (jog, curve, notch, setback, etc.) in substantial compliance with the DCR submitted on July 6, 2015. Provide wall detail. Graffiti to be removed within five days of discovery.
23. Delivery hours, trash pick-up, and outdoor construction service uses limited to 7:00 AM to 10:00 PM.
24. No overnight parking of commercial vehicles, except tenant delivery trucks, in designated spots, and no less than 300 feet from west property line and 100 feet from south property line.
25. Hours of operation including outdoor open sitting areas, and drive-through service lanes shall be 5:30 a.m. to 12:00 a.m. (midnight), except for businesses in buildings within 100 feet of residential lot lines to the south, which shall have operating hours of 5:30 a.m. to 10:00 p.m. Sunday through Thursday and 5:30 a.m. to 12:00 a.m. on Fridays and Saturdays.
26. Minimum six (6) foot wide public sidewalk along Broadway Boulevard and Rosemont Boulevard.
27. Anchor building height not to exceed thirty (30) feet, the two buildings along Broadway Boulevard not to exceed twenty-five (25) feet in height, and all other buildings not to exceed twenty (20) feet in height. Each building shall provide varying roof line heights, when visible from residential neighborhoods and public right-of-ways.
28. Building facades to include mix of surface materials, such as but not limited to; concrete masonry unit (CMU) with wire brick accents, similar to brick used in the surrounding residential neighborhoods. Other complementary materials of high quality and substantial appearance will also be used as accents.
29. Development package shall include four-sided building elevations (façades) showing architectural features and detail elements at the same level of appropriate detail on all four sides for each building. Building elevations to be drawn in color, to scale, and with color palette identifying colors.
30. Loading zone for the anchor building shall be located as depicted on PDP dated September 8, 2015 with access only from north and screened by a masonry wall with a minimum height of sixteen (16) feet and minimum distance of sixty (60) feet to screen docking/loading area of commercial vehicles from residential view.
31. Delivery Trucks (including refrigeration units) shall not be parked or left idling between the hours of 6:00 pm and 7:00 am, within 300 feet of residential uses and/or residentially zoned property.
32. Signs shall be posted on north and south of anchor building and on perimeter walls clarifying that delivery trucks (including refrigeration units shall not be parked or left idling between hours

of 6:00 pm and 7:00 am, within 300 feet of residential uses and/or residentially zoned property.

33. Trash container(s) located on the west side of anchor building shall be screened by a masonry wall with a minimum height of sixteen feet on the west elevation and a minimum of eight (8) feet masonry wall along the south elevation.
34. Trash container(s) located south of anchor store and adjacent to southern property line shall be screened by a masonry wall with a minimum height of eight (8) feet.
35. Compactor(s) for the anchor building's trash/recycling shall be located indoors.
36. Development package to indicate a one (1') foot vehicular, pedestrian, and bicycle no-access easement adjacent to southern twenty (20) foot wide alley and western property line. Vehicular no-access easement to be the full length of the south and west perimeter of the rezoning site. Service alley turn-around as shown on PDP dated September 8, 2015 to be part of alley with no vehicular access onto rezoning site. The alternative pedestrian access plan indicated on the PDP dated September 8, 2015 shall not be used.

DRAINAGE/GRADING/VEGETATION/HEAT ISLAND MITIGATION

37. Perimeter landscape buffers located adjacent to and inside the perimeter masonry walls along the western and southern perimeters shall include a drought tolerant, native thorn-less canopy tree for every twenty linear feet of perimeter length. Spacing and grouping of trees may vary to enhance view sheds and create natural growth patterns.
38. Incorporate water harvesting techniques into the landscape irrigation design.
39. Preparation of a complete Drainage Report, including details of detention/retention, is required.
 - a) all flows of 100 cfs or more must be clearly delineated and verification of finishes floor elevations will be required. Complete compliance with the Floodplain Ordinance and floodplain permits and/or elevation certificates might be required.
 - b) Detention/retention basin floors shall be graded to drain either toward the outlet structure or other logical point. Basin floors shall not be flat.
 - c) Detention/retention basins shall be located adjacent to a street or accessible common area. Basin side slopes in the adjacent area (s) shall be designed and constructed in accordance with the requirements of the Detention/Retention Manual for human activity zones.
 - d) Rectangular basin shapes shall be avoided unless necessitated by recreational or visual amenities within the basin.
 - e) Vegetation shall be used as screening and/or security barriers for minimum of ten percent of the basin perimeter.
 - f) All security barriers and screening for detention/retention basins shall meet Safe by Design guidelines.
 - g) Provide design detail of the proposed drainage channel that shows the landscaping for this buffer area. Indicate the type of materials, (sandy bottom to maximize water harvesting) and landscape plantings. No concrete lining.
40. There shall be no greater than a 10 percent surplus over the number of vehicle parking spaces required by the *UDC* for the proposed use.

41. New and replacement roofing material shall be Energy Star rated, or cool roof rated with Initial Solar Reflectance Greater than or equal to 0.65, and minimum infrared emittance to be 85% or more. Placement of and utilization of energy from solar panels on roofs is an acceptable alternative.
42. Tree root zone within the paved parking area have a minimum of 300 cubic feet (no deeper than 3') of un-compacted soil (less than 90% compaction); if utilizing structured/engineered soil where 95% or greater compaction permitted, then 600 cubic feet of soil (no deeper than 3') shall be required.
43. Mature trees, trunk diameter 4.5 feet above existing grade that is greater than eight inches in fair to good health, will be preserved in place; if this is not possible, removed trees will be mitigated in one of the following ways:
 - a) trees to be assessed for replacement value using an acceptable assessment methodology (International Society of Arborist); funds set aside in a Tree Fund to be used for revegetation/landscape enhancement and/or improvements within street rights-of-way, or within common space areas within the neighborhood association, within a mile radius from site;
 - b) the following replacement to be in addition to the required landscape
 - 1) Trunk diameter 4.5-6" = replace with 3 trees, minimum 15 gallon.
 - 2) Trunk diameter > 6" – 8" = replace with 4 trees, minimum 15 gallon.
 - 3) Trunk diameter > 8" = replace with 5 trees, minimum 15 gallon.
44. Prior to grading plan issuance, document (photos) to show retained trees at the southwest area of rezoning site and alley way are in compliance with grading plan requirements. Grading plan to show location of subject existing trees and show trees as protected by temporary fencing. Temporary fencing to remain in place during grading and through all construction phases of site improvements.
45. Landscaping will be maintained to professional standards consistent with these conditions and any dead, damaged, or diseased landscape plants shall be replaced within six months.

ROAD IMPROVEMENTS/VEHICULAR ACCESS/CIRCULATION

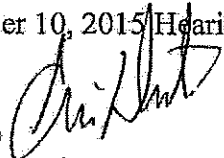
46. Drive-through lane(s) entry points shall be setback a minimum fifty (50) feet from public street access points.
47. All drive-through lane(s) and window service areas shall be setback a minimum of one-hundred (100) feet from the west and south property lines.
48. Development package shall include a median opening on Broadway Boulevard to provide on-site access to west bound Broadway traffic, if requested by tenants or nearby residents with approval of Department of Transportation.
49. Traffic exiting onto Rosemont Boulevard shall be full access and directed away from the residential neighborhood through traffic mitigation devices as deemed appropriate by the applicant, Department of Transportation, and the neighborhood.



MEMORANDUM

DATE: August 21, 2015
For September 10, 2015 Hearing

TO: Linus Kafka
Zoning Examiner

FROM: Ernie Duarte 
Planning & Development Services
Director

SUBJECT: REZONING
PLANNING & DEVELOPMENT SERVICES REPORT
C9-15-03 Neighborhood Shopping Center – Rosemont and Broadway R-1/C-1 to
C-1 (Ward 6)

Issue – This is a request by Tom Warne of MSW Development to rezone approximately 6.98 acres from R-1 and C-1 zoning to C-1 zoning. The rezoning site is located at the southwest corner of Broadway Boulevard and Rosemont Boulevard (see Case Location map). The preliminary development plan proposes a neighborhood shopping center with an approximately 60,000 square foot, 30 foot tall supermarket and six additional 20 foot tall buildings averaging 4,866 square feet each, for a total of approximately 89,200 square feet of building area.

Planning & Development Services Recommendation – The Planning & Development Services Department recommends approval of C-1 zoning, subject to the attached preliminary conditions.

Background Information

Existing Land Use: Commercial uses, parking area, and vacant lot.

Zoning Descriptions

R-1: This zone provides for urban, low density, single-family, residential development, together with schools, parks, and other public services necessary for a satisfactory urban residential environment.

C-1: This zone provides for low-intensity, commercial and other uses that are compatible with adjacent residential uses. Residential and other related uses shall be permitted.

Surrounding Zones and Land Uses:

North: Zoned C-1 & O-3; Commercial and Office uses

South: Zoned R-1; Single-family Residential uses

East: Zoned PAD-1; Commercial, Retail, Office, and Medium to High Density Residential uses

West: Zoned R-1 & O-3; Single-family Residential and Office uses

Previous Cases on the Property: None

Related Cases:

C9-13-09 Girl Scouts – Broadway Boulevard, R-1 and P to C-1 This was a request to rezone two parcels at the southeast corner of Broadway Boulevard and Columbus Boulevard. The request proposed the redevelopment of an existing 6,000 SF two-story office building, with the addition of two proposed two-story buildings. On November 5, 2014, the Mayor and Council adopted ordinance No. 11207.

C9-06-17 Washington Federal Savings – Broadway Boulevard, R-3 to C-1 This case was a request to rezone the parcel at the southeast corner of Broadway Boulevard and Niven Avenue. The request was to allow the development of a bank with two drive-through windows. On April 24, 2007, the Mayor and Council adopted ordinance No. 10394.

Applicant’s Request – The applicant requests a single C-1 zoning designation for the site. This consistent zoning district will allow for the development of a “commercial – retail shopping center / neighborhood shopping center” with one anchor building and six additional buildings pads along the perimeter, new vehicle and pedestrian circulation patterns, parking areas, and landscaping.

Planning Considerations – Land use policy direction for this area is provided by the *Broadway-Craycroft Area Plan* and *Plan Tucson*. The rezoning site is located within a mixed-use corridor as identified on the Future Growth Scenario Map of *Plan Tucson*. Mixed-use corridors provide a higher-intensity mix of jobs, services, and housing along major streets. The businesses and residences within these corridors will be served by a mix of high-frequency transit options, as well as pedestrian and bicycle facilities. *Plan Tucson* supports redevelopment and revitalization of existing commercial land use that will stabilize and enhance the transition edge when adjacent to existing residential uses. Urban heat island effects should be mitigated by expanding and maintaining a healthy drought-tolerant low-water urban forest.

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neighborhoods. *Broadway-Craycroft Area Plan* Non-Residential Policy 1.B provides direction to locate new commercial and low rise office development at the southwest corner of Broadway and Rosemont, subject to design elements which addresses primary access to Broadway Boulevard and secondary access to Rosemont Boulevard, provided it directs traffic away from the residential neighborhood, and is designed with a building setbacks greater than one and one-half times the height of the building. Dense landscape buffers and masonry walls should be provided along the perimeter of the site adjacent to residential development. Non-residential Policy 4.A. & B, provides direction to design new non-residential development and redevelopment in a manner that complements adjacent residential uses.

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The rezoning site is a simple rectangle, extending approximately 645 feet along the Broadway Boulevard frontage and approximately 475 feet along the Rosemont Boulevard frontage. An existing strip of commercial buildings running west along Broadway from the Rosemont Boulevard intersection will be demolished, as will a small commercial building at the west end of the Broadway frontage. The north approximately 210 feet of the site (adjacent to Broadway Boulevard) is currently zoned C-1, the balance of the site is currently zoned R-1. A 16 foot wide public right-of-way (alley) is immediately adjacent to the south property line of the rezoning site. This alley is ostensibly part of the rezoning site as it currently exists with open access to the rear of the neighboring residences fronting on Cooper Street. 12th Street and a 20 foot alley between the private property fronting 12th Street and Broadway Boulevard dead-end into the west side of the rezoning site.

Land adjacent to the south and west of the rezoning site is zoned R-1 and developed with single family residences. Land adjacent to the northwest of the rezoning site is a vacant building zoned O-3. To the east across Rosemont Boulevard is a mix of commercial, retail, office, up to 40 feet tall, and medium to high density residential uses in the Williams Addition Planned Area Development (PAD-1) zone. To the north across Broadway Boulevard is a mix of commercial properties and office properties with O-3 and C-1 zoning. A 210 foot tall office building is located northeast of the intersection of Broadway and Rosemont, zoned OCR-2.

The Pima Association of Governments Transportation Planning Division (PAG-TPD) estimates that the proposed development will generate 3,011 vehicle trips per day. Broadway Boulevard is designated as a gateway arterial on the *Major Streets and Routes Plan* map. Rosemont Boulevard is a local street adjacent to the rezoning site. Field inspection by staff indicates there are currently no billboards on the rezoning site.

Design Considerations

Land Use Compatibility – The preliminary development plan (PDP) shows a central parking area with the proposed 60,000 square foot supermarket on the west side facing east toward the central parking area and Rosemont. Six approximately 4,866 square foot buildings are distributed around the north, east, and south sides of the central parking area, generally oriented toward the central parking area and the interior of the site. A single drive-thru lane (the maximum allowed under the proposed C-1 zoning) is proposed on the south side of the supermarket building, approximately 100 feet from the nearest residence. An eight foot tall screen wall is proposed along the full length of the south property line. The preliminary development plan shows three vehicular access points along Broadway Boulevard and one along Rosemont Boulevard.

The proposed commercial development complies with the *Broadway-Craycroft Area Plan* setback policy of one and one half times the height of the commercial buildings when adjacent to residential development. The proposed anchor building is to be a maximum of 30 feet tall, resulting in a minimum 45 foot building setback along the west or the proposed setback is over 100 feet. The buildings proposed along the southern perimeter are shown to be 20 feet tall, resulting in a minimum 30 foot setback per policy, the proposed setback over 30 feet. The design will include varying roof lines to reduce the visual massing of the commercial buildings. All screen walls should be a minimum of six inches thick masonry and have a decorative design; with surface texture and colors that complement the buildings. Walls should be constructed of or painted with graffiti-resistant materials.

The loading docks for the supermarket are located on the west side toward the north end of the building, oriented toward Broadway Boulevard with a 16 foot tall wall on the west side of the loading dock and a six foot tall wall at the property line. Solid waste dumpsters are also on the west side of the building, oriented to the south, with an eight foot tall wall on the west side of the dumpster at the property line. Both the loading docks and the dumpsters are located north of the 12th Street alignment, closest to the existing O-3 zoned office building. Delivery operations shall not be permitted between 10:00 p.m. and 7:00 a.m. Delivery trucks shall not be parked in close proximity to or within a designated delivery or loading area during non-delivery hours with motors and/or refrigeration/generators running, unless such areas are setback at least 300 feet from residential property.

Road Improvements/Vehicular Access/Circulation – The site design shows three access points along Broadway Boulevard and a single secondary access point along Rosemont Boulevard. The applicant is requesting a median break on Broadway Boulevard to allow westbound traffic to enter the development at the northwest corner of the rezoning site. The preliminary development plan shows the Broadway frontage road which currently exists adjacent to the development site ending at the west end of the rezoning site. The design of the terminus of the frontage road will require

review and approval by City of Tucson Department of Transportation and shall be completed at no cost to the public. Concerns about ingress / egress at Rosemont and the discussion of the possibility of a left-out only exit have been addressed at the public meetings. A desire for nearby residents from the south and east to access the rezoning site from Rosemont Boulevard has also been expressed. The *Broadway-Craycroft Area Plan* provides policy direction that if a Rosemont access is proposed, it should be designed to direct traffic toward Broadway and away from residential area to the south and should be located a minimum of 100 feet south of the Broadway property line. The access point on Rosemont Boulevard is to be designed to discourage through traffic exiting the site south on Rosemont Boulevard, while maintaining access for local residents. This can be accomplished through a left turn only exit to Rosemont Boulevard or through a full access exit with traffic mitigation along Rosemont south of the site. In addition, staff supports a one foot vehicular no-access easement along the south and west property lines of the rezoning site adjacent to R-1 zoning to prevent access to the alley to the south or residential areas to the west.

Adjacent to the site along its south and west borders is a residential neighborhood with low-density, single-family detached homes. The 16 foot wide public right-of way (alley) running east-west immediately adjacent to the south property line of the rezoning site will no longer be accessible through the rezoning site with construction of the perimeter screen wall. The applicant is proposing to widen the alley to 20 feet and include a turn-around to maintain the viability of this access. To the west, both 12th Street and an alley dead-end into the development site. Vehicular access from both to the rezoning site is blocked by bollards placed approximately 6 feet apart. Pedestrians and bicyclists can currently pass through the bollards and enter the rezoning site but will not in the future as a perimeter screen wall will be constructed at the property line blocking all access, vehicular, pedestrian, and bicyclists.

An “alternate pedestrian access” plan, provided with the preliminary development plan, shows a potential pedestrian link within the rezoning site but outside of the perimeter screen wall along the west property line connecting the east end of 12th Street south to the east-west alley south of the development site. This alley passes behind the properties on the north side of Cooper Street south and southwest of the development site and also connects directly to Cooper Street. The apparent intent of this link is to preserve the pedestrian access that currently exists through the rezoning site. The link would not provide any direct access between the proposed development and the surrounding neighborhood. The link would create a passageway with blind corners and limited observability and is not consistent with the principles of Crime Prevention Through Environmental Design (CPTED). Staff does not support the alternate pedestrian access as designed.

Drainage/Grading/Vegetation – The preliminary development plan depicts a landscape border that ranges from ten to 30 feet with a variety of canopy trees and shrubs. During the site inspection staff noted several species of mature native trees. Mature native trees should be evaluated and incorporated into the proposed landscape plans. Additional trees are proposed within the parking lot. The mature trees located in the southwestern corner should be preserved in place or salvaged and incorporated into the landscape plan. If mature trees and vegetation cannot be preserved in place and need to be removed, they should be replaced with acceptable trees and vegetation, in

accordance with the Unified Development Code requirements and heat island mitigation guidelines.

Conclusion – The requested C-1 zoning and proposed commercial development is consistent with policy direction provided in the *Broadway-Craycroft Area Plan* and *Plan Tucson*, which support protection of established residential neighborhoods regarding compatibility with the scale, intensity, and character of the surrounding development. Subject to compliance with the attached preliminary conditions, approval of the requested C-1 zoning is appropriate.

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