

# WEST POINTE APARTMENTS

## INFILL INCENTIVE DISTRICT SUBMITTAL PACKAGE FOR:

**10 E. BROADWAY BLVD**  
TUCSON ARIZONA 85701

JANUARY 10, 2016

OWNER:  
**COPE PROPERTIES LLC**

PARTNERS WITH:  
**LA FRONTERA ARIZONA**

PREPARED BY:  
**CARHUFF & CUEVA ARCHITECTS**



**carhuff+cueva**  
architects, llc

**Grenier**  
Engineering, Inc.



**CANYON**  
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# WEST POINTE APARTMENTS

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# WEST POINTE APARTMENTS IID APPLICATION



Zoning Administration

## APPLICATION

Case Number \_\_\_\_\_

Date Accepted: \_\_\_\_\_

### PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): West Pointe Apartments

Property Address: 10 E. Broadway Blvd.

Applicable Area/Neighborhood/Overlay: ARMORY PARK / DOWNTOWN CORE

Zoning: OCR-2

Legal Description: TUCSON LOT 3 BLK 216

Pima County Tax Parcel Number/s: 117-13-0390

Site and Building Area (sq ft): 16,375 GSF / 55,024 GSF (EXIST.) / 16,375 GSF / 91,394 GSF (PROPOSED)

### APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Philip Carhuff

ADDRESS: 3149 E. Prince Rd. Tucson AZ 85716

PHONE: ( 520 ) 577-4560

FAX: ( 520 ) 577-4599

EMAIL: pcarhuff@cca-az.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Cope Properties LLC (yes) ROD COOK

PHONE: ( 520 ) 792-3293

FAX: ( 520 ) 792-4336

PROJECT TYPE (check all that apply):

New building on vacant land

Change of use to existing building

New building on developed land

New addition to existing building

Other

Related Permitted Activity Number(s): DP15-0208

DESCRIPTION OF USE: Addition of Mixed Use Commercial / Residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT

Date



# WEST POINTE APARTMENTS

## OWNER AUTHORIZATION



January 18, 2016

Carolyn Laurie, Principal Planner, IID Coordinator  
City of Tucson Development Services Department  
201 N. Stone Avenue  
Tucson, AZ 85701

RE: Letter of Authorization to make project submittals to the Infill Incentive District (IID) in the City of Tucson for 10 E. Broadway Blvd.

Dear Carolyn:

1. This affidavit concerns the following parcel of land:
  - a. Street Address: 10 E. Broadway Blvd.
  - b. County Tax Assessor's Parcel Number: 117-13-0390
  - c. General Location: SEC of E. Broadway Blvd. and Stone Avenue
  - d. Parcel Size: 16,375 s.f.
  
2. I (we) am (are) the owner(s) of the land or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this authorization on the owner's behalf.
  
3. Carhuff and Cueva Architects, LLC and their engineering consultants have the authority from the owner(s) to act for the owner(s) before the City of Tucson with regard to any and all Development Package reviews, IID applications, historical reviews, zoning amendments, general plan amendments, development variances, easements, abandonments, plats, lot splits, lot ties, use permits, building permits and other land use regulatory or related matters of every description involving the land, or involving adjacent or nearby lands in which the owner has (or may acquire) an interest, and all applications, dedications, payments, assurances, decisions, agreements, legal documents, commitments, waivers and other matters relating to any of them.
  
4. The City of Tucson is authorized to rely on my (our) authority as described in this authorization until three working days after the day the owner(s) deliver to the Director of the City of Tucson Planning & Development Services Department a written statement revoking my(our) authority.
  
5. I (we) will immediately deliver to the Director of the City of Tucson Planning & Development Services Department written notice of any change in the ownership of the land or in my (our) authority to act for the owner(s).

# WEST POINTE APARTMENTS

## OWNER AUTHORIZATION



6. If more than one person signs this authorization, each of them, acting alone, shall have the authority described in this authorization, and each of them warrant to the City of Tucson the authority of the others.

Person/Entity given authority to act on behalf of the Owner(s) in all official matters relating to property development applications and reviews:

Philip A. Carhuff, Architect of Record, Carhuff and Cueva Architects, LLC

Owners:

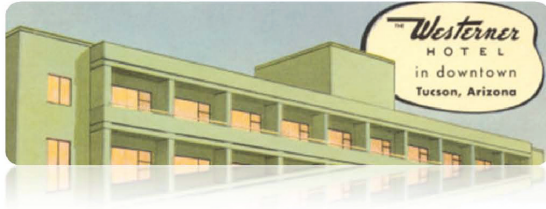
Westerner Printed Name      by Susan Ong, Agent Signature      1-19-16 Date

Lansy Code Corp Printed Name      [Signature] Signature      1/19/16 Date





# WEST POINTE APARTMENTS NEIGHBORHOOD MEETING FLYER



## NOTICE OF NEIGHBORHOOD MEETING

**Date:** December 29<sup>th</sup>, 2015.

**Time:** 6:00 pm

**Location:** 82 S. Stone Avenue Tucson AZ 85701 Conference Room

Proposal: Renovation and Redevelopment of southeast corner of Stone Ave and Broadway Blvd

You are invited to attend a presentation of the proposed renovation and redevelopment of the Historic Westerner at 10 E. Broadway Blvd. The proposal includes the office renovation of the historic portion of the building along with the addition of street level Retail/Commercial spaces. There will also be an addition of 5 stories of up to 50 market rate or low-income housing units. The exterior of the building will be resurfaced and modernized in keeping with the historic style of 1930's Bauhaus Modernism.

Your comments and/or questions are welcomed during the brief overview of the project. You may also submit comments to the Planning and Development Services Director at the City of Tucson.

For additional information please contact Philip Carhuff at (520) 577-4560.

Thank you and we look forward to seeing and hearing from you at the meeting.



MEETING LOCATION  
82 S. STONE AVENUE

PROJECT LOCATION  
10 E. BROADWAY BLVD



# WEST POINTE APARTMENTS



**carhuff+cueva**  
architects, llc

## Proposed Rendering of 10 E. Broadway Blvd:



**WESTERNER**  
Rendering  
10 E. Broadway  
Tucson, AZ

**carhuff+cueva**  
architects, llc

**Grenier**  
Engineering, Inc.



## Existing Picture of 10 E. Broadway Blvd:



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# WEST POINTE APARTMENTS

## MEETING SIGN-IN SHEET

### The Westerner Neighborhood Meeting

82 S. Stone Avenue Tucson, AZ

Neighborhood Meeting Sign-In Sheet

December 29, 2015 6:00 p.m.

Cope Community Services Conference Room

Name:

Address:

Time:

PHILIP CARHUFF	3149 E. PRINCE TUCSON, AZ	5:40 AM
JASON HSEY	1512 W. APRIL BLOSSOMS TUCSON, AZ	5:45 pm
VANCE GOODMAN	1810 S. PALM SPRINGS CIR. 85710	5:45 PM
Domina Coumo	PO BOX 40008, Tucson AZ 85717	5:50 pm
Carly Poster	317 N. Cant Ar. Tucson AZ 85701	5:50
Anne Lawrence	Sunrise Dr. Holopone	6:15 1094 x 119
Matt Stewart - Cypress Civil	2102 N Country Club Rd.	6:00 pm
ELAINE BECHERER	CITY HALL	5:55 PM
YANN BURR	PO Box 2132 85702	6 pm
John W. Miller	PO 733 85702	
Susan Ong	10 E. Broadway	6:15 pm
CHRIS GANS	130 E. UNIVERSITY 05	6:00





# WEST POINTE APARTMENTS

## MEETING Q & A

### Neighborhood Meeting Summary:

Jason Hisey who is representing the Owner opened the meeting by introducing himself along with project Architect Philip Carhuff, Project Manager Vance Goodman and Civil Engineer for the project Richard Macias. He first discussed the issues and problems plaguing this City. For example, elderly persons, homelessness and low income people and families that all live in the immediate area. He stated statistics of income within a 1-mile radius of the downtown core. He expressed the absolute need for helping the elderly and low income families along with the desire to rid the streets of homelessness; a plan that is shared by the Mayor of Tucson and the Arizona Department of Housing. Jason also represents La Frontera, the Non-profit entity that will be putting together the application for State funding. He spoke about other projects around the City and State that our team has been a part of and how it is our teams' goal to help out in every way possible. After the need was addressed, the want was laid out. Part of the Infill Incentive Districts goals is to encourage infilling certain areas around Tucson. The Westerner has been sitting nearly vacant for a number of years but is located on a great corner in the downtown core. Our plan is to renovate the existing building and add low income housing could increase activity in the downtown and help out the less fortunate among us. Philip Carhuff and Vance Goodman then laid out the design of the project using the accompanied design presentation board as illustration. The typical unit layout, exterior design and how the proposed finishes meet the Secretary of Interior's Standards on Rehabilitation were discussed. After the design portion was presented, the floor was then opened to questions, concerns and comments. The questions are as follows in no particular order:

### Meeting's Question and Answers portion:

1. The Vehicle and Bicycle Parking requirement for Commercial and Residential.

Response: By submitting through the IID Zoning process, the parking requirement can be reduced and/or waived if shown alternative means of transportation and/or parking will be provided for the tenants and employees. We have created a map of the surrounding area that shows all the vehicle parking within a 5-minute walking distance. The owner will form a contract with Park Tucson to formally appropriate vehicle parking for the users. There is an abundance of parking lots and garages nearby. One of the goals of the IID is to encourage alternative modes of transportation. There are many public bus stops nearby as well as the modern street car stop directly in front of the main entrance door. This will encourage the employees and tenants to use these modes to help eliminate the use of the automobile. We will not be seeking relief from the bicycle parking requirement due to the fact that we will be strongly encouraging the use of bicycles as their means of transportation.

# WEST POINTE APARTMENTS

## MEETING Q & A

2. What type of funding is currently being allocated for this project?

Response: This is a Low Income Housing Tax Credit (LIHTC) project from the State of Arizona through the Arizona Department of Housing. The owner of Cope Community Services is paying for the renovation to the existing historic structure, but the tax incentives will be used for the new addition on the rear of the building. La Frontera of Arizona, a non-profit organization, is partnering with Cope along with the funds from the ADOH to develop and service this project.

3. The ownership of the current property.

Response: The land has been purchased by Cope Properties LLC that the Building is currently sitting on. There is still lease control of the building for the next 7 years. At that time the building will be purchased for full control of the site. The current owner/tenants will be informed of all decisions made to the building.

4. The Broadway façade of the new construction is lacking in detail.

Response: The Broadway façade of the new construction is not fully designed yet. The façade will be manipulated to show shadow lines, depth and higher design from what was presented. All the comments have been taken into consideration and will be implemented into the building's architecture. We have attached a new facade design that incorporates more materials, relief and texture to a new composition.

5. How are you complying with IID Open Space requirement?

Response: There currently is some open space (170 SF) allocated at the main entry of the new addition and a large 20'-0" by 46'-0" (865 square feet) open air courtyard located between the two residential towers. We do not currently meet the minimum open space requirement. We are applying for some relief through the Infill Incentive District submittal process. Update: We are proposing to add a rooftop green garden to facilitate the tenants and the public. The rooftop garden is approximately 2,000 SF. The new addition / renovation is 52,703. 5% of 52,703 equals 2,635 SF of required open space.  $170 \text{ SF} + 865 \text{ SF} + 2,000 \text{ SF} = 3,035 \text{ SF}$  of open space provided.

6. The rendering differed slightly from the meeting flyer rendering

Response: We have been updating the materials and colors since the flyer was created. We have been experimenting with different materials that will blend in better with the surrounding Tucson streetscapes. The colors as well have been modified to help maintain an aesthetic that is common to the nearby Tucson buildings.



# WEST POINTE APARTMENTS

## MEETING Q & A

7. Adding Dryvit applied to existing stucco could possibly go against the Secretary of Interiors Standards

Response: After careful study of the Secretary of Interior's Standards, we have opted out of applying a synthetic stucco material to the existing historic stucco. The Standards of applying new materials are pretty clear. They imply that if a new or modern material is applied to the existing surface, it must be able to be removed at some point if necessary, and not damage the existing material underneath. A Dry-vit type stucco system could not be removed without damaging the existing surface and therefore we have opted out of using it on the original building. We are however using the modern Dry-vit stucco with control joints on the new addition to the building. This also fits into the Secretary's Standards of differentiating the existing historic structure and the new addition. To further this distinction, we have made the transition clear with a different color as well.

8. How are we addressing the windows of the adjacent building?

Response: There is a large surface parking lot between the new addition and the adjacent buildings windows. This comment does not apply since the person making the comment had his information incorrect. He thought the new addition was being built up to the building that is located across the parking lot. We are respecting the adjacent property because a building may be placed there in the near future. Any view or sight lines in the design would be eliminated when that were to happen.

9. Are we using the Historic tax credit to help fund the project?

Response: No we are not currently seeking to utilize the Historic tax credit. Jason Hisey did meet with the City's Historic representative after the meeting to discuss its potential.

10. Why is the East Elevation not on the board?

Response: The East and South elevations were left out of the illustration board for several reasons. The East elevation was intentionally left blank of ornament due to the fact that it is a zero lot line building and future development could take place along that side. If we put windows or ornament on that elevation, they would be rendered useless when the future building would be erected. The South elevation was left out of the illustrations because it almost exactly mirrors the North Elevation. We thought it unnecessary to include due to redundancy.

The meeting adjourned with satisfied conclusions. Some of these questions or statements were informally discussed after the meeting adjourned.



# WEST POINTE APARTMENTS MAILING CERTIFICATION



## CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to \_\_\_\_\_

to be mailed to everyone on the mailing list on 12/15/15,  
(date of mailing)

for the neighborhood meeting to be held on 12/29/15.  
(date of neighborhood meeting)

  
(signature of applicant/applicant's agent)

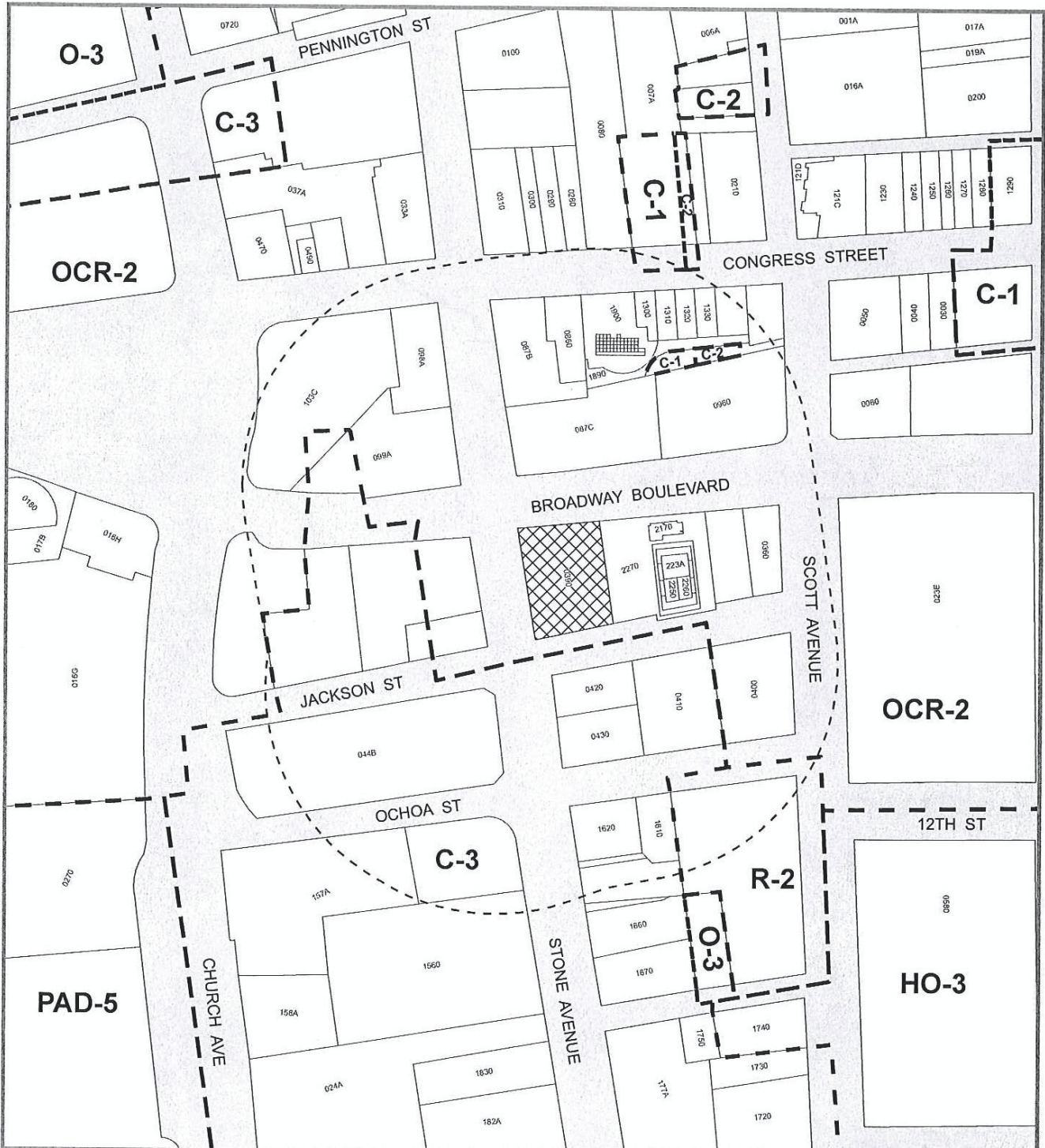
12/15/15  
(date signed)

Documentation if available (such as receipt)



# WEST POINTE APARTMENTS MAILING 300' RADIUS

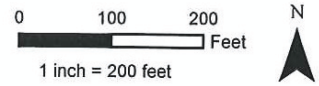
T15PRE0098



-  Site
-  300' Notification Area
-  Zone Boundaries



Address: 10 E. Broadway Boulevard  
Base Maps: Sec.13 T.14 R.13  
Ward: 6



created by: JR, 12/7/2015

**carhuff+cueva**  
architects, llc

**Grenier**  
Engineering, Inc.

**CANYON**  
BUILDING & DESIGN

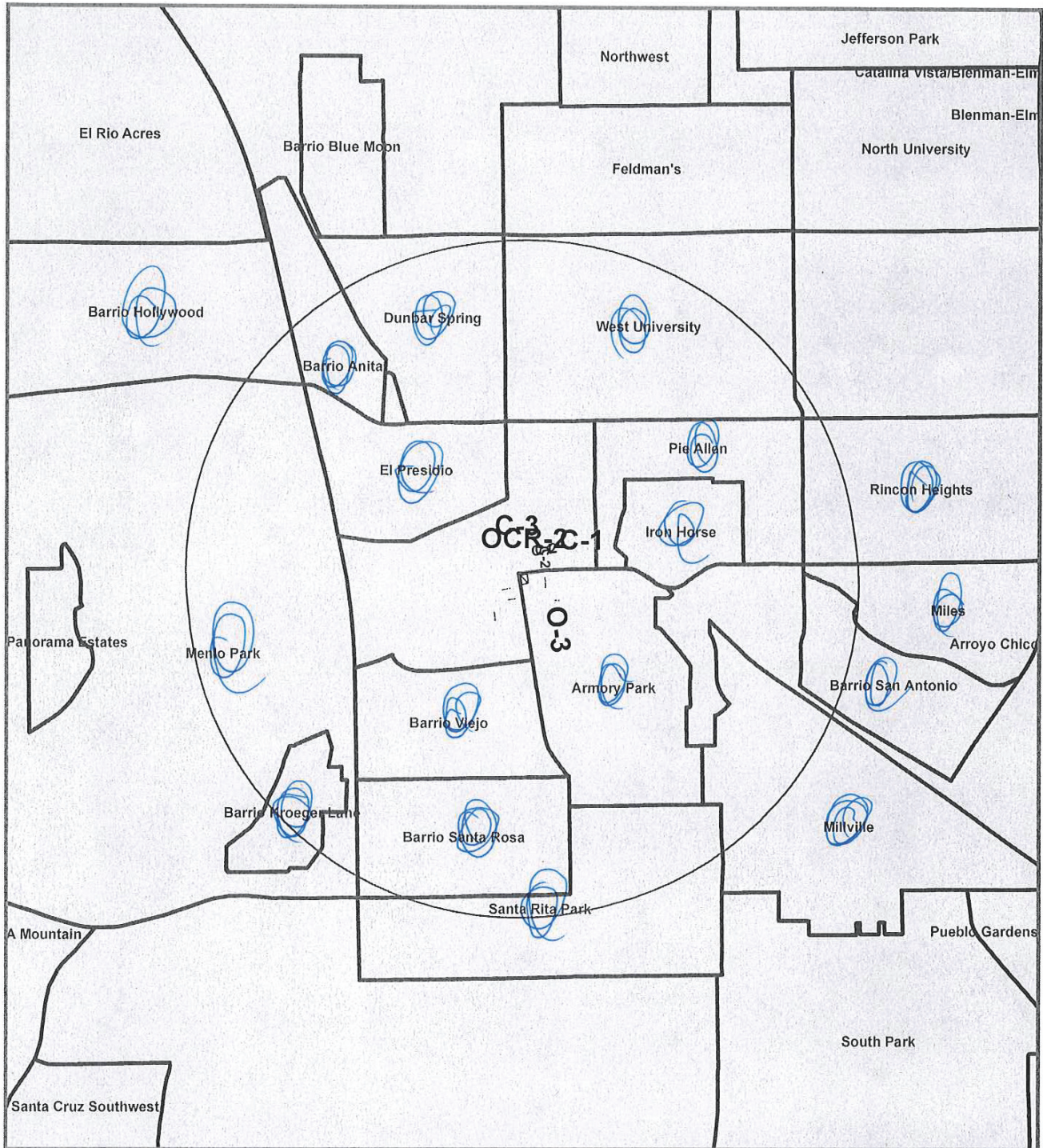
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# WEST POINTE APARTMENTS MAILING 300' RADIUS (NEIGHBORHOODS)

T15PRE0098




CC-3  
0-3  
0-1


 Site



**CITY OF**  
FOUNDED  
1775  
**TUCSON**

Address: 10 E. Broadway Boulevard  
Base Maps: Sec.13 T.14 R.13  
Ward: 6

1200  
 Feet  
1 inch = 2,333.25 feet

N  


created by: JR, 12/7/2015





# WEST POINTE APARTMENTS

## REQUEST FOR MAILING LABELS

DEC 4 2015 AM 10:39

### REQUEST FOR MAILING LABELS

Project Address 10 E. BROADWAY BLVD.  
(Note: if this is a new address, please provide verification from Pima County Addressing)  
Applicant/Agent Name RICHARD MALIAS GRENIER ENGINEERING  
Mailing Address 5524 E. 4TH ST., TULSON, AZ 85711  
Phone 520-326-7082  
Applicant/Agent Signature [Signature] Date 12/1/15

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information will not be accepted.

- Assessor's Property Inquiry Printout (APIQ) (one printout for each lot comprising the project site)  Assessor's Block & Lot Map

### THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- |  |  |
|--|--|
| <input type="checkbox"/> Environment Resource Zone               | <input type="checkbox"/> WASH Ordinance                            |
| <input type="checkbox"/> Hillside Development Zone               | <input type="checkbox"/> Scenic Corridor Zone                      |
| <input type="checkbox"/> Design Development Option               | <input type="checkbox"/> Board of Adjustment                       |
| <input type="checkbox"/> Design Development Option (Full Notice) | <input checked="" type="checkbox"/> Other: <u>IID OVERLAY ZONE</u> |
| <input type="checkbox"/> Rezoning/SE                             | <u>300' Notice</u>   |

### PROCESSING FEE

- \$220.00  Check Number: 1716  Cash  
 Charge Account: \_\_\_\_\_

Date Received: 12-1-2015 Date Due: 12-4-2015

Requested By: \_\_\_\_\_ Due To: \_\_\_\_\_

Request to: JR \_\_\_\_\_ SM \_\_\_\_\_ Other \_\_\_\_\_

Comments/Special Notes: \_\_\_\_\_

ACTIVITY NUMBER: T15PRE0098



# WEST POINTE APARTMENTS

## PROJECT STATEMENT

With renewed interest in the Downtown Core of Tucson, the redevelopment of the Westerner Building located at the Southeast corner of Stone Avenue and Broadway Boulevard has become a great opportunity to contribute to new Tucson growth. The commercial and entertainment sectors of the downtown core have increased considerably and the need for a variety of housing options is in high demand. Cope Community Services is proposing to renovate the existing West 4 story portion of the building, which is currently office space, both interior and exterior. When completed the building will have a mixed use of office on the upper floors with a mixture of supportive service spaces for the tenants and public along with over 2,700 square feet of rentable commercial space at the street level to maintain street level activity long after regular business hours. This is a direct response to one of the IID's goals of having 24 hour street level activity. On the exterior, CCA is proposing to maintain and update the facade to reflect modern materials, but at the same time pay homage to the historic style of Bauhaus and Mid 20th century Modernism as the building was originally intended.

The East portion of the existing building is currently a single story structure with a small 2nd story addition. We are proposing to demolish the interior of the building while keeping the historic facade intact. In its place, CCA is proposing to construct a new 6 story mixed use structure. This project is a LIHTC project which means the building must provide certain services direct to the tenants as well as to the public. The ground level will include spaces that provide those direct services to the tenants and to the public. The spaces will include but not limited to a Recreation and Wellness classroom (which includes a gym), a food pantry, computer training classroom, and supportive service offices. The 2nd through 6th levels will have fifty units of low income housing for the elderly with a preference for veterans. Each level will include 10 residential units with a large interior courtyard for fresh air, possible social gathering, and introduction of natural light not only to the residences but also to the office space below.

A rooftop garden is being proposed on the existing 4-story building as an amenity for the building's office and residential tenants. This rooftop garden will be approximately 2,000 square feet. It will include but is not limited to a living green wall on the north facade of the existing elevator tower, drought tolerant trees and shrubs and seating areas all constructed on raised pavers and/or Trex decking to allow for water penetration and proper rain water shedding.

With increased employment opportunities in the downtown area, this type of mixed use development is greatly needed and in high demand. This corner is within walking distance to many fine establishments and offices. As an added convenience, a modern street car stop is directly located out the front door.

# WEST POINTE APARTMENTS

## PROJECT STATEMENT

As demonstrated in the proposed rendering and original hotel postcard, CCA is proposing to utilize a similar muted green color that was originally painted on the Westerner Hotel in 1949. We are maintaining the projecting balconies that overlook our busy Stone Avenue and preserving the overall aesthetic that the Westerner has always had. This proposal understands the balance between respecting the similar developments in the area while progressing as a City.

As this location is a part of the Infill Incentive District Overlay, comments and questions are welcomed as part of the Design Review Committee process. This project is committed to bringing long-term value to downtown Tucson, and we at CCA and Cope look forward to a positive and transparent review process. We are also dedicated to preserving the aesthetics that Tucson has always had and what it has grown into with our proposed design.



# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

Plan Review and Permit Application Results

Page 1 of 8

### Planning & Development Services Department

### PRO - Property Research Online

## Plan Review Detail Results

**Permit Status:** PLAN RFC **Activity Number:** DP15-0208  
**Permit Type:** ADDING ADDITIONAL FLOORS TO EXISTING BUILDING, POSSIBLE TI  
**Site Address:** 10 E BROADWAY BL **Applicant Name and Address:** RICHARD MACIAS  
 5524 E 4TH ST  
 TUCSON AZ  
 85711

Review Completed	Reviewer's Name	Type of Review	Review Status
12/03/2015	FDILLON1	REVIEW	Plan requires change prior to approval
<b>Comments:</b> Requires Rio Nuevo Area or IID Review. FD			
12/03/2015	EGALLET1	PLANS SUBMITTED	This has been completed
<b>Comments:</b> none			
12/08/2015	KBROUIL1	FIRE	Approved
<b>Comments:</b> none			
12/21/2015	PAUL BAUGHMAN	ENGINEERING	Plan requires change prior to approval
<b>Comments:</b> DATE: December 22, 2015 DUE DATE: December 29, 2015 SUBJECT: Add Floors TO: Richard Macias, PE LOCATION: 10 E Broadway Blvd REVIEWERS: Paul Baughman, PE, CFM ACTIVITY: DP15-0208 SUMMARY: Engineering Division of Planning and Development Services Department has received and reviewed the proposed Development Plan Package. The following items need to be addressed: 1) Per AM 2-06.4.3 please show the relevant case number DP15-208 on the plans set. 2) General note 37 refers to a geotechnical report. Please submit this report for review to cover such things as compaction under sidewalk to be replaced and compressive strength of concrete requirements. 3) General note 38 refers to SWPPP. Please provide a copy of this plan for review with the next submittal. 4) Keynote 19 on sheet 4 refers to a "Turning vehicles yield to pedestrians" sign that is to remain. This sign is actually located across the street from where it is called out. The "right turn only" and "one way" signs are located as per the keynote 19 callout. 5) Keynotes 25 and 30 refer to a hardscape plan. This plan should be provided for review and pertinent details included in the civil plans set. Please specify which sheet these plans are located on. 6) Per TSM 7-01.3.3B please show the accessible route, on sheet 4 between the new trash and recycle APC storage location as called out by keynote 32 and the trash APC pick up location in keynote 31. Please note that keynote 31 has a typo where the APC is referred to as ACP. Please correct. 7) There is concern that the 4.4 foot wide pedestrian access between the eastern most existing raised brick planter, as called out by keynote 13 on sheet 4, may not be sufficient to transport the 4 cubic yard waste container between its storage and pick up location. 8) Sheet 5 is calling out several existing roof drains to remain. However, there appears to be an existing roof drain on the east side of the new curb access ramp (see keynote 4 on sheet 4) that is not identified or notated as to whether it is to remain. Please clarify. 9) Sheet 7 includes a "points and point tables to be provided at final submittal" notation.			



# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

Plan Review and Permit Application Results

Page 2 of 8

Please provide these tables.  
If you have any comments questions or wish to discuss new information, please call or email me at 520-837-5007 or paul.baughman@tucsonaz.gov.

12/21/2015                      ROBERT SHERRY                      PLUMBING-COMMERCIAL                      Plan requires change prior to approval

**Comments:**

Revise the site drawing to include the points of connection to the existing public sewer.  
Provide the rim elevation of the next upstream sanitary manhole and determine the need for a backwater valve per Section 715.1, IPC 2012, as amended by the City of Tucson.

12/23/2015                      BVIESTE1                      ADDRESSING                      Plan requires change prior to approval

**Comments:**

See additional documents in PRO.

12/28/2015                      DAVID RIVERA                      ZONING                      Plan requires change prior to approval

**Comments:**

CDRC TRANSMITTAL

TO: Development Services Department  
Plans Coordination Office

FROM: David Rivera  
Principal Planner

PROJECT: DP15-0208  
Address: 10 E. Broadway  
Development Package: DP15-0208 - Multi-use development

TRANSMITTAL DATE: December 28, 2015

DUE DATE: December 29, 2015

COMMENTS: Please resubmit revised drawings along a response letter, which states how all Zoning Review Section comments regarding the Land Use Code and Development Standards were addressed.

This plan has been reviewed for compliance with the Development Package Standards listed in section 2-06 of the City of Tucson Administrative Manual. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC).

Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is December 1, 2016.

2-06.3.0 FORMAT REQUIREMENTS

\*\*\*\*\*

2-06.4.0 CONTENT REQUIREMENTS

2-06.4.1 - The name, mailing and email addresses, and phone number of the primary property owner of the site, the developer of the project, registrant(s), and other person(s), firm(s), or organization(s) that prepared the development package documents shall be provided on the right half of the cover sheet. The applicable registration or license number shall be provided if prepared by or with the assistance of a registered professional, such as a surveyor, architect, landscape architect, or engineer. All sealing shall be consistent with Arizona Board of Technical Registration guidelines.

01. COMMENT: List the email addresses for the owner/developer and all registrants that prepared this development package document.

\*\*\*\*\*



# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

2-06.4.2 - The title block shall include the following information and be provided on each sheet:

2-06.4.2.B - A brief legal description and a statement as to whether the project is a re-subdivision are to be provided. On re-subdivisions, provide the recording information of the existing subdivision plat;

02. COMMENT: The legal description of the parcel shall be labeled in the title block. The legal description is described as "Tucson Lot 3 Block 216" and the recorded plat is Bk 3 at Pg 70.

\*\*\*\*\*

2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, DSMR, overlay, etc.) shall be provided adjacent to the title block on each sheet.

03. COMMENT: If applicable, list any related application case numbers as noted by the standard above.

\*\*\*\*\*

2-06.4.7 - General Notes

The following general notes are required. Additional notes specific to each plan are required where applicable.

2-06.4.7.A - Zoning and Land Use Notes

2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses.

04. COMMENT: For clarity of the specific uses proposed list the uses as follows unless other uses are proposed. "COMMERCIAL USE GROUP - ADMINISTRATIVE AND PROFESSIONAL OFFICE" and "RESIDENTIAL USE GROUP - MULTIFAMILY DEVELOPMENT"

\*\*\*\*\*

2-06.4.7.A.6 - If a plan or plat is prepared in conjunction with other applications or overlays or the parcel being developed is subject to conditions of an application processed previously, additional information must be added to the plan. Such applications and overlays include, but are not limited to: annexations; rezonings; special exceptions; Board of Adjustment variances; Design Development Options; Technical Standard Modification Request; overlays (Airport Environs Zone, Environmental Resource Zone, Gateway Corridor Zone, Hillside Development Zone, Historic Preservation Zone, Major Streets and Routes, Rio Nuevo District, Scenic Corridor Zone, WASH); Modification of Development Regulations through the Downtown Area Infill Incentive District or Rio Nuevo District; Downtown Heritage Incentive Zone; or, Design Review Board. Provide the following information on the plan.

2-06.4.7.A.6.a - List additional applications and overlays, by case number (if applicable), in lower right corner of each sheet. As a general note provide the type of application processed or overlays applicable, a statement that the project meets the criteria/conditions of the additional application or overlay, the case number, date of approval, what was approved, and the conditions of approval, if any.

05. COMMENT: This existing development is non-conforming for current building setbacks so the statement under the permitting notes 16 is not correct. The statement should include that the setbacks will be met based on the MDR approval through the IID.

List the case numbers of any additional applications or overlay process. Any conditions of approval of the applications or overlays shall be listed on the cover sheet as general notes.

\*\*\*\*\*

2-06.4.7.A.8 - For development package documents provide:

2-06.4.7.A.8.a - Floor area for each building;

06. COMMENT: List the square footage of the office and residential areas as a general note or under a zoning notes/calculations text block on the cover sheet.

\*\*\*\*\*

2-06.4.7.A.8.c - Percentage of building, lot area, or vehicular use area expansion. If the building(s) or lot area have been previously expanded, those calculations shall





# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

be included; and,

07. COMMENT: List the expansion calculation as a general note or under a zoning notes/calculations text block on the cover sheet.

2-06.4.7.A.8.d - When the proposed site is part of a larger site, the calculations encompass the entire site, whether existing or proposed. If the project is being phased, calculations must show that, at each phase, requirements are being met.

2-06.4.9.G - If the project is to be phased, provide calculations, setbacks, etc., to indicate that each phase complies with all requirements as a separate entity. Show phase lines on the drawing. Show and label any temporary improvements that may be needed to make the site function for each phase as one entity. If such temporary improvements are off the site of the phase under consideration, a temporary easement or other legal documentation to assure legal use of the property is required. Note recording information.

08. COMMENT: If applicable, provide phasing calculations as noted by the standard above.

2-06.4.7.E.1.a - The following notes will be placed on all plans/plats.

2-06.4.8.B - All easements shall be drawn on the plan. The recordation information, location, width, and purpose of all easements on site will be stated. Blanket easements should be listed in the notes, together with recordation data and their proposed status. Should an easement not be in use and be proposed for vacation or have been abandoned, so indicate. However, should the easement be in conflict with any proposed building location, vacation of the easement shall occur prior to approval of plan unless written permission from easement holder(s) is provided.

09. COMMENT: Clarify if there are easements for the building overhang that extend into the right of way. If not, contact Jim Rossi with the COT Real Estate Division about obtaining aerial easements.

2-06.4.9.H - Proposed Traffic Circulation

2-06.4.9.H.1 - Proposed traffic circulation will be designed in accordance with Section 10-01.0.0, Street Technical Standards, of the Technical Standards Manual, to include streets, intersections, street names, right-of-way widths, curve radii of centerlines and curb returns, and proposed improvements, such as pavement, curbs, access points (driveways), accessible ramps, and sidewalks. Street improvements, such as sidewalks, curbs, pavement, and accessible ramps, do not need to be drawn on the plan if such information is provided on typical street cross sections.

10. COMMENT: Per the site plan a loading zone is proposed within the Jackson Street paved area. It is not clear if the 12 foot wide loading zone close to the intersection will create any traffic concerns for two way traffic. Contact TDOT for review and approval of the loading zone location as depicted on the site plan sheet.

2-06.4.9.H.2 - Show future and existing sight visibility triangles. On a designated MS&R street, the sight visibility triangles are based on the MS&R cross-section.

11. COMMENT: Draw and label the sight visibility triangles on the site plan sheet.

2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces provided, fully dimensioned. As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.

12. COMMENT: It is acknowledged that a Modification through the IID process is to be requested for the parking requirements.

2-06.4.9.H.5.b - If any of the required parking is located off-site as permitted by the UDC, a drawing of that parking area is to be provided, together with the city's required parking agreement (include a copy of the lease agreement if applicable) must



# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

be provided. Please remember that in these situations, if the off-site parking location is a new parking area, it must comply with all parking area requirements and must be allowed as a principal use by the zoning classification of that property. If the off-site parking area location is an existing parking lot, the parking spaces utilized for the proposed land use must be non-required parking for the existing use for which the parking area was established.

13. COMMENT: If additional offsite parking is proposed indicate on the plan the location and distance where the offsite parking will be provided.

2-06.4.9.H.5.c - Show all loading zones, vehicle maneuverability fully dimensioned, and access route. Provide as a note the number of loading spaces required, the number provided, whether the loading space is a Type A or B as provided in UDC Section 7.5.4.

14. COMMENT: It is acknowledged that a Modification through the IID process is to be requested for the loading zone requirements.

2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide, as a note, calculations for short and long term bicycle spaces required and provided.

15. COMMENT: It is acknowledged that the long term bicycle parking will be provided inside the building for the commercial and residential uses. Provide a dimensioned detail drawing for the long term bicycle parking facility proposed for the office use. The facility must comply with UDC section 7.4.9.D.

2-06.4.9.M - Grading Plan

2-06.4.9.M.1 - A conceptual grading plan is required on projects with significant topographic conditions. The PDS Engineering Administrator or designee will determine the need for such a plan.

16. COMMENT: For consistency any changes that are made to the DP site plan shall be made to the grading plan sheet and all other site sheets.

2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s).

17. COMMENT: Clarify if the proposed height of both buildings is 91 feet.

2-06.4.9.V - For gang mailboxes indicate location to assure there are no conflicts with other requirements, such as pedestrian accessibility, utilities, and landscaping.

18. COMMENT: Indicate on the cover sheet or site plan sheet where mail is to be delivered, Gang mailboxes on the first floor, individual mail delivered to residents etc.

2-06.4.9.W - Indicate the locations and types of proposed signs (wall, free-standing, pedestal) to assure there are no conflicts with other requirements and that minimal locational requirements can be met. Indicate if there are any existing billboards on site. Compliance to the Sign Code, Chapter 3 of the Tucson Code, is required.

19. COMMENT: If applicable indicate on the site plan sheet if any monument signs are proposed. If so include a statement that the signs will be reviewed and approved under separate permit.

2-06.4.9.X - Show compliance with landscaping and screening requirements by locations, material descriptions, and dimensions. Specific plant or hardscape material shall be detailed on a landscape plan. A detailed landscape plan is required. In accordance with Section 2-11.0.0, Landscape Plan Requirements.

20. COMMENT: It is acknowledged that a Modification through the IID process is to be requested for the landscaping and screening requirements.

21. COMMENT: It is acknowledged that the developer will be seeking relief for several of UDC requirements through the IID overlay process. Ensure that all proposed modifications are listed and that any conditions of approval of the modifications are incorporated into the final DP drawings.



# WEST POINTE APARTMENTS

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Point of clarification, Cover Sheet - IID notes: note 3, requesting relief from the lot coverage requirement. Based on UDC section 6.3.3.D.3, multifamily development does not have a lot coverage requirement. (I do not believe that relief for lot coverage is required.)

22. COMMENT: Additional zoning review comments may be forthcoming based on the responses to the zoning review comments and changes to the DP Plan sheets.

If you have any questions about this transmittal, please call David Rivera, (520) 791-5608.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package site plan and any requested documents

12/28/2015	ZELIN CANCHOLA	TRAFFIC	Approved
<b>Comments:</b>			
none			
12/28/2015	ANDREW CONNOR	LANDSCAPE	Plan requires change prior to approval
<b>Comments:</b>			
ADMINISTRATIVE MANUAL SECTION 2-10.0.0: LANDSCAPE PLAN REQUIREMENTS			
Identification and Descriptive Data			
All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.			
The landscape plan will contain the following identification in the lower right corner of each sheet:			
Rezoning case;			
Subdivision case;			
Board of Adjustment case;			
Design Development Option case;			
Development Review Board (DRB) case; and/or,			
Any other relevant case number for reviews or modifications that affect the site.			
Add a general note to site, landscape & grading: Provide the type overlays applicable, a statement that the project meets the criteria/conditions of applications or overlays, the case number, date of approvals, conformation of was approved, and any conditions of approvals.			
5.12.6. IID PLAN REVIEW AND APPROVAL PROCEDURES UNDER THE IID ZONING OPTION			
Site Design Standards			
Streetscape			
a. Streetscapes must be consistent with the Streetscape Design Policy. In streetscape design, priority is given to pedestrians.			
b. Shade			
Shade shall be provided for at least 50 percent of all sidewalks and pedestrian pathways as measured at 2:00 p.m. on June 21 when the sun is 82° above the horizon (based on 32°N Latitude). Shade may be provided by arcades, canopies, or shade structures, provided they and their location and design characteristics are compatible with the prevailing and design context of the street and the architectural integrity of the building. Deciduous trees, as proposed in the Downtown Comprehensive Street Tree Plan, are encouraged			



# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

Plan Review and Permit Application Results

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to supplement existing evergreen trees. The use of plantings and shade structures in the City right-of-way are permitted to meet this standard with the approval of the Department of Transportation. The shade provided by a building may serve to meet this standard. Verify that site meets shade criteria and provide necessary approval for planting within the public right of ways.

Ensure that all Zoning and Engineering comments and concerns are addressed.

Additional comments may apply

12/29/2015	DAVID RIVERA	HC SITE	Approved
<b>Comments:</b>			
See zoning comments			
12/29/2015	BVIESTE1	ENVIRONMENTAL SERVICES	Plan requires change prior to approval
<b>Comments:</b>			
The Development Package has been reviewed on behalf of the Environmental Services Dept. and the following will need to be addressed on the resubmittal:			
1. Item 5 under the IID General Notes is incorrect. ESD does not require a loading space on Stone as the containers are to be serviced off of Jackson Street. Revise this note to read Jackson Street.			
2. State who is to provide service to the two proposed containers along Stone Avenue identified by keynote 30.			
3. Revise the waste stream calculation on the cover sheet under item C to read that recycling is 50% of the total waste as described in the calculation method in TSM Section 8. Therefore, the amount of recycling per week should read 8.9 cubic yards. The Collection note under the waste stream calculations should read ?Two- 4 cubic yard waste and two- 4 cubic yard recycling rolling metal containers shall be collected 2 to 3 times per week?. The typical result of the calculations is that adequate storage capacity is provided so that service is required only once per week, not every day. See TSM 8-01.4.0.D. ESD is prepared to allow service 2 to 3 times per week as allowed under the IID.			
4. The use of the APC for recycling is not allowed. Remove all references to APC use on the plans. Show a storage area within the building for four ? 4 cy containers ? two for waste and two for recycling per comment #2. Detail this storage area on the plans.			
5. Revise the note below the waste stream calculation regarding collection service to read that the building owner?s facility personnel shall watch for the arrival of the service vehicle on the day of servicing, shall roll the containers out clearly into the loading space in front of the vehicle when the vehicle arrives and shall roll the containers back into the building immediately after servicing so that the service vehicle operator does not exit the truck. Omit the statement this will be performed on a daily basis.			
6. Demonstrate that the 35 ft. long service vehicle can enter and exit the 35 ft. loading space using the turning templates in TSM Section 8, Figure 7, while cars are parked in the adjacent parking spaces. The service vehicle must be able to pull straight into the loading space while traveling west without backing.			
7. Show the path the rolling containers will take to the loading area from the storage room in the building. Show a ramp instead of the vertical curb where the containers will be rolled out from the building to the loading space.			
If there are any questions, I can be reached at <a href="mailto:kperry@perryengineering.net">kperry@perryengineering.net</a>			
12/30/2015	GARY WITTEW	DOT LANDSCAPE	Plan requires change prior to approval
<b>Comments:</b>			
I have been on vacation, sorry for missing this before I left. This is a good submittal, The only thing I see that is missing is colors for bike rack, planters etc.			
Gary			
12/30/2015	PATRICIA GEHLEN	ZONING-DECISION LETTER	Plan requires change prior to approval



# WEST POINTE APARTMENTS

## UDC REVIEW COMMENTS

Plan Review and Permit Application Results

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**Comments:**

This review has been completed and resubmittal is required. Please resubmit the following items:

- 1) Two rolled sets of the plans'
- 2) A disk containing all items submitted
- 3) All items requested by review staff
- 4) All items needed to approve these plans

**FINAL STATUS of the Workflow**

11/30/2015	ANY	REJECT SHELF	Received
<b>Comments:</b>			
none			

**Conditions:**

none

[Back](#)

[Help](#)



# WEST POINTE APARTMENTS

## ASSESSOR PARCEL DETAIL:

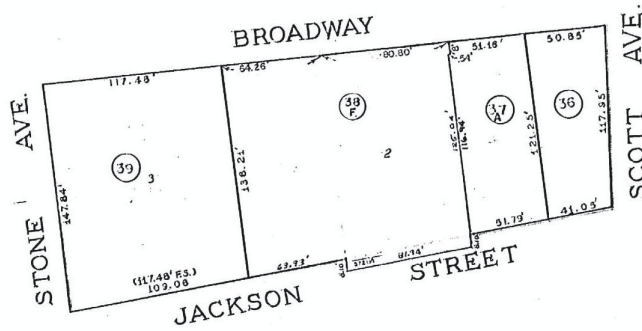


37

### ASSESSOR'S RECORD MAP

117-13  
4/15

BLOCK 216 , CITY OF TUCSON



SCALE - 1" = 50'  
2006-1  
SEE BOOK 3, PAGE 70, M & P.  
SEE BOOK 7 PAGE 19 R.S.

03610 216  
SCANNED  
-6266(1)

NOT TO SCALE  
4/15/15  
117-13

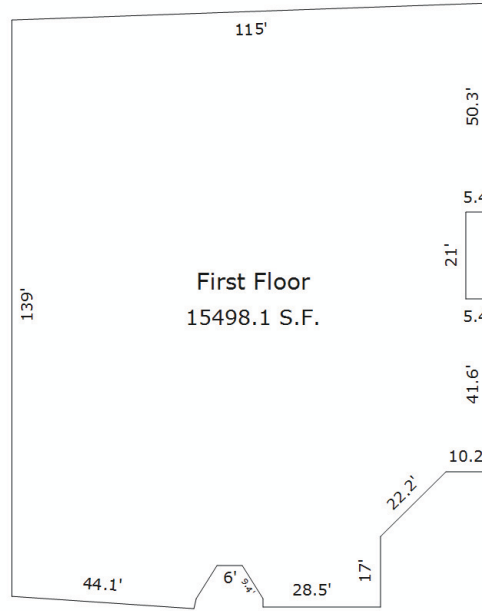
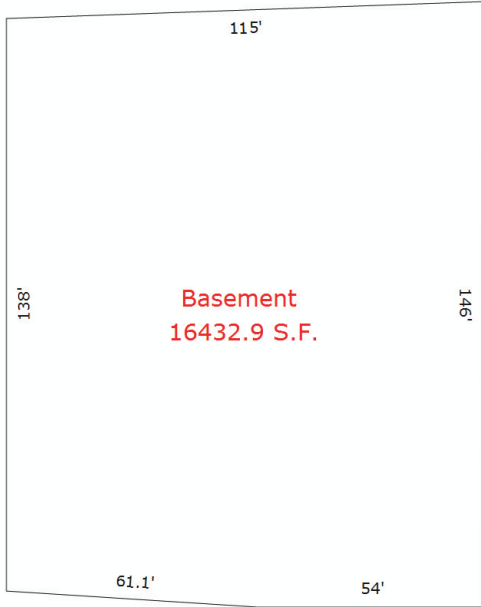


# WEST POINTE APARTMENTS

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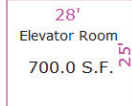
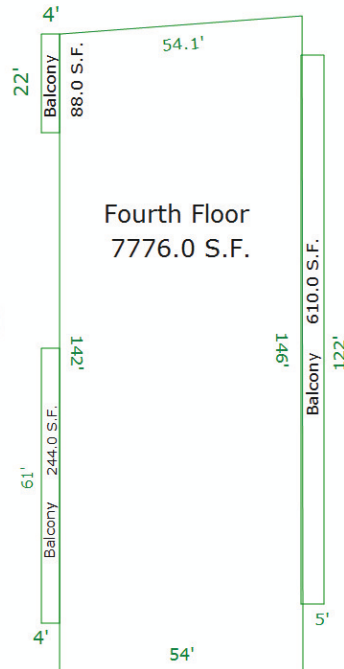
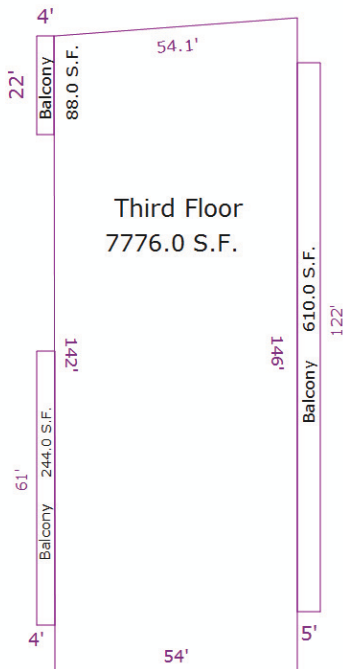
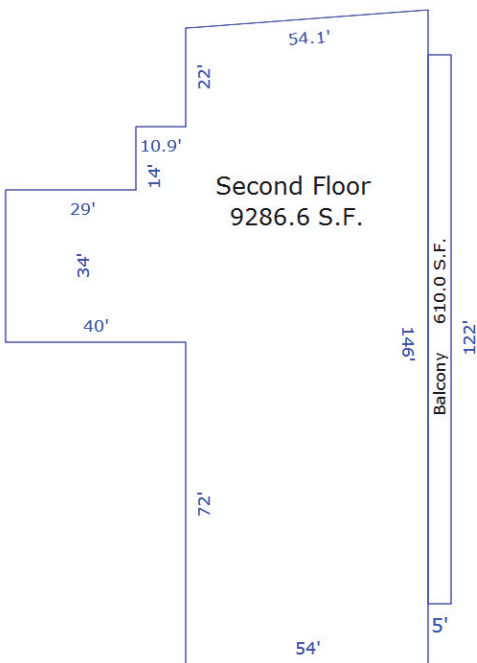
10 E BROADWAY BL

117-13-0390



DRAWN FROM PRC & F/C  
08/28/2015  
#511 H Emery

Sketch by Apex Sketch



# WEST POINTE APARTMENTS COLOR AERIAL PHOTOGRAPH





# WEST POINTE APARTMENTS EXISTING PHOTO STUDY KEY





# WEST POINTE APARTMENTS

## EXISTING PHOTO STUDY (1)



FACING WEST



FACING EAST



FACING NORTH



FACING SOUTH

**carhuff+cueva**  
architects, llc

**Grenier**  
Engineering, Inc.



**CANYON**  
BUILDING & DESIGN

**LA FRONTERA**  
ARIZONA  
*Your partner for a safe, strong, and healthy community.*

**COPE**  
COMMUNITY  
SERVICES



# WEST POINTE APARTMENTS

## EXISTING PHOTO STUDY (2)



FACING EAST



FACING SOUTH



FACING WEST



# WEST POINTE APARTMENTS

## EXISTING PHOTO STUDY (3)



FACING NORTH



FACING EAST



FACING WEST



# WEST POINTE APARTMENTS

## EXISTING PHOTO STUDY (4)



FACING EAST



FACING SOUTH



FACING WEST



FACING NORTH



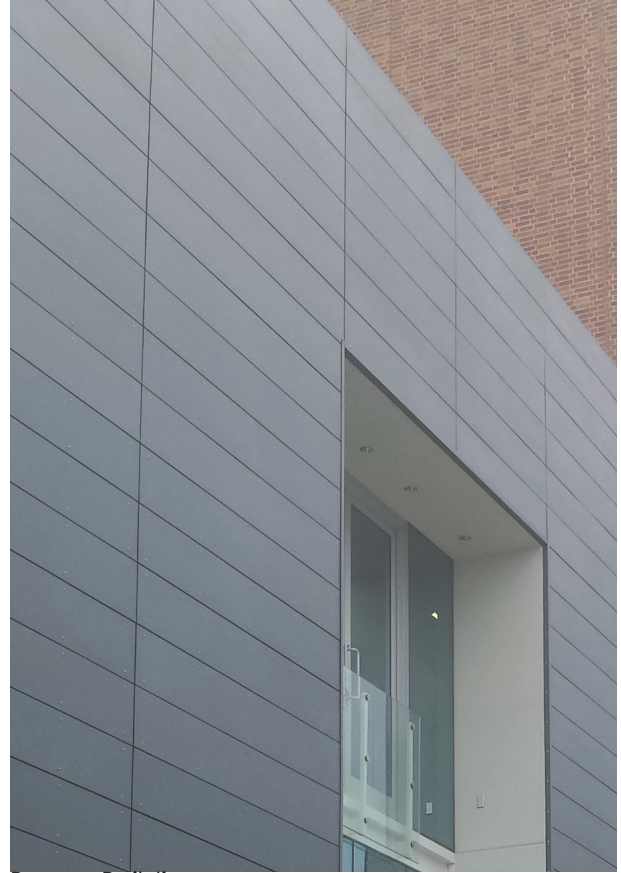


# WEST POINTE APARTMENTS

## ARCHITECTURAL PRECEDENTS



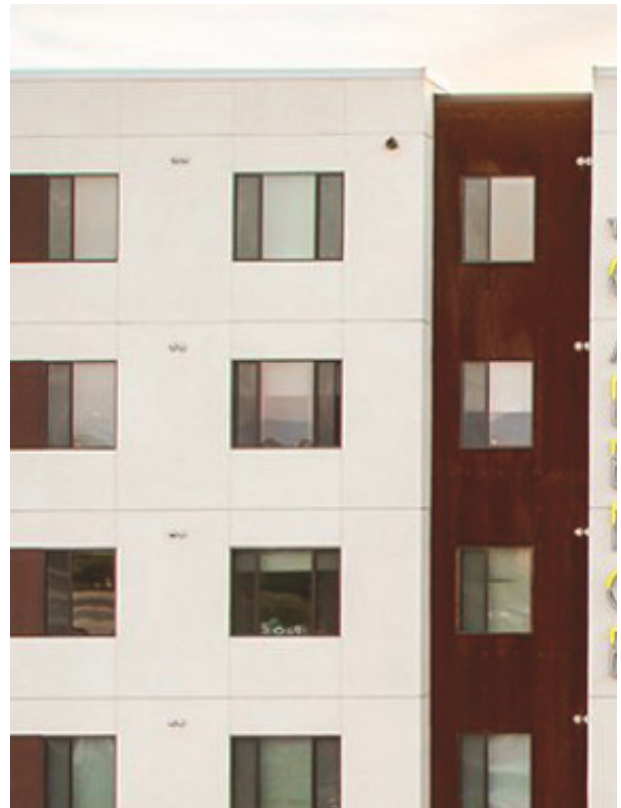
Tucson Electric Power UniSource Building  
88 East Broadway Blvd, Tucson, AZ 85701



Bourns Building  
20 East Congress Street, Tucson, AZ 85701



MLK Apartments  
55 North 5th Avenue, Tucson, AZ 85701



The Cadence  
350 E Congress Steet, Tucson, AZ 85701



## INFILL INCENTIVE DISTRICT GENERAL NOTES - CASE #T15XXX, IID 15-XX-XX

PURSUANT TO SECTION 5.12.10.C (DOWNTOWN CORE SUBDISTRICT-EXEMPTIONS), THE APPLICANT REQUESTS THE FOLLOWING:

1. THIS PROJECT IS SEEKING RELIEF FROM MS&R SETBACKS OUTLINED IN SECTION 5.4;

JUSTIFICATION: 5.12.10.C.1 - RELIEF FROM THE MS&R SETBACKS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS, AND AS SUCH, THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE REQUIREMENTS OF THE MAJOR MS&R SETBACKS. DOING SO CREATES A UNIQUE PEDESTRIAN FRIENDLY ENVIRONMENT THAT MAXIMIZES THE DEVELOPMENT FOOTPRINT WITH SETBACKS AND PERIMETER YARDS CONGRUENT WITH ADJACENT PARCELS.

2. THIS PROJECT IS SEEKING RELIEF FROM MINIMUM PERIMETER YARD STANDARDS OUTLINED IN SECTION 6.3;

JUSTIFICATION: 5.12.10.C.2 - RELIEF FROM THE MINIMUM PERIMETER YARD STANDARD IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND, AS SUCH, THE PROPOSED DEVELOPMENT SEEKS RELIEF TO MAINTAIN A BUILDING FOOTPRINT THAT IS CONGRUENT WITH THE SURROUNDING BUILDINGS WITHIN THIS DEVELOPMENT ZONE. ALSO, IN ORDER TO CREATE A UNIQUE PEDESTRIAN FRIENDLY ENVIRONMENT THAT MAXIMIZES THE TRANSIT-ORIENTED DEVELOPMENT'S FOOTPRINT (WHILE MAINTAINING VISIBLE GROUND FLOOR ACTIVITY), RELIEF FROM THE MINIMUM PERIMETER YARD REQUIREMENT IS NECESSARY.

3. THIS PROJECT IS SEEKING RELIEF FROM MOTOR VEHICLE AND BICYCLE PARKING STANDARDS OUTLINED IN SECTION 7.4;

JUSTIFICATION: 5.12.10.C.5 - RELIEF FROM MINIMUM VEHICULAR AND BICYCLE PARKING STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND, AS SUCH, THE PROPOSED DEVELOPMENT SEEKS RELIEF FROM THE REQUIREMENTS OF THE MOTOR VEHICLE PARKING REQUIREMENT. BICYCLE PARKING WILL CONTINUE TO BE PROVIDED PER UDC SECTION 7.4 REQUIREMENTS. URBAN ENVIRONMENT PARKING ALTERNATIVES ARE AVAILABLE, INCLUDING METERED ON-STREET SPACES ALONG STONE AVENUE AND JACKSON STREET, AS WELL AS SPACES WITHIN THE LA PLACITA GARAGE - LOCATED IMMEDIATELY TO THE SOUTHWEST OF THE PROPOSED PROJECT.

4. THIS PROJECT IS SEEKING RELIEF FROM OFF-STREET LOADING STANDARDS OUTLINED IN SECTION 7.5;

JUSTIFICATION: 5.12.10.C.6 - RELIEF FROM THE OFF-STREET LOADING REQUIREMENTS IS ALLOWED FOR PROJECTS WITHIN THE DCS. FOLLOWING PRELIMINARY REVIEW BY ENVIRONMENTAL SERVICES, CITY STAFF HAS RECOMMENDED THAT THE PROPOSED OFF-STREET LOADING ZONE ALONG THE PROPOSED BUILDING FRONTAGE OFF JACKSON STREET, BE TRANSITIONED FROM AN 8-HOUR LOADING AND UNLOADING ZONE TO A 24-HOUR LOADING AND UNLOADING ZONE. THIS ACTION ENSURES RECYCLE AND WASTE COLLECTION IS NOT DISRUPTED BY LEGALLY PARKED VEHICLES AND THUS AVOIDING A PUBLIC HEALTH AND/OR TRAFFIC SAFETY ISSUE.

5. THIS PROJECT IS SEEKING RELIEF FROM LANDSCAPING AND SCREENING STANDARDS OUTLINED IN SECTION 7.6;

JUSTIFICATION: 5.12.10.C.7 - RELIEF FROM LANDSCAPING AND SCREENING STANDARDS IS ALLOWED FOR PROJECTS WITHIN THE DCS. THE PROPOSED PROJECT IS LOCATED WITHIN THE DCS AND, AS SUCH, THE PROPOSED DEVELOPMENT SEEKS RELIEF TO MAINTAIN A BUILDING FOOTPRINT THAT IS CONGRUENT WITH THE SURROUNDING BUILDINGS WITHIN THIS DEVELOPMENT ZONE. ALSO, IN ORDER TO CREATE A UNIQUE PEDESTRIAN FRIENDLY ENVIRONMENT THAT MAXIMIZES THE TRANSIT-ORIENTED DEVELOPMENT'S FOOTPRINT (WHILE MAINTAINING VISIBLE GROUND FLOOR ACTIVITY), RELIEF FROM THE LANDSCAPING AND SCREENING REQUIREMENT IS NECESSARY. WHERE AVAILABLE AND APPLICABLE, DROUGHT TOLERANT TREES AND PLANTS WILL BE INSTALLED OR LEFT IN PLACE TO MAINTAIN THE MINIMUM 50% SHADE COVERAGE FOR PEDESTRIAN PATHS.

## PERMITTING NOTES

- EXISTING ZONING IS OCR-2.
- EXISTING USE OF PROPERTY IS OFFICE.
- PROPOSED USE OF PROPERTY IS COMMERCIAL USE GROUP-ADMINISTRATIVE AND PROFESSIONAL OFFICE (55,024 SF) & RESIDENTIAL USE GROUP-MULTIFAMILY DEVELOPMENT (37,735, 50 UNITS).
- EXISTING BUILDING = 55,024 SF, EXPANSION = 37,735 SF (68.6%)
- THE GROSS AREA OF THE SITE IS 16,743 SF, 0.38 ACRES.
- TOTAL NUMBER OF LOTS IS 1.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS DEVELOPMENT PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

## PERMITTING NOTES - CONTINUED

- THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OPERATION, MAINTENANCE, AND LIABILITY FOR DRAINAGE STRUCTURES.
- THE WATER COMPANY THAT WILL SERVE THIS DEVELOPMENT IS TUCSON WATER.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- MAINTENANCE AND OPERATION OF THE PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF PROPERTY OWNER.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, AS AMENDED).
- ALL PROPOSED WORK IN THE PUBLIC RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY EXCAVATION PERMIT OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT RICHARD LEIGH OF THE TRANSPORTATION DEPARTMENT PERMIT CODES AT 791-5100 FOR ADDITIONAL INFORMATION.
- THIS PROJECT IS DESIGNED TO MEET THE SETBACKS THAT ARE PROPOSED AND APPROVED THROUGH THE MDR APPROVAL THROUGH THE IID SUBMITTAL.
- THIS PROJECT WILL OBTAIN A PERMIT USING AN MDR FOR THE DOWNTOWN INFILL INCENTIVE DISTRICT OPTION.
- MONUMENTS PER SEPARATE PERMIT.

## SOLID WASTE / RECYCLING

WASTE STREAM CALCULATIONS:

- OFFICE (0.0013 TONS/SF, TOTAL SF = 55,024 SF)  
0.0013 TONS/SF X 55,024 SF = 71.5 TONS/YEAR  
USE: RESIDENTIAL (0.0057 TONS/SF, TOTAL SF = 37,735 SF)  
0.0057 TONS/SF X 37,735 SF = 215.1 TONS/YEAR  
TOTAL = 71.5 TONS/YEAR + 215.1 TONS/YEAR = 286.6 TONS/YEAR  
SIZE & COLLECTION FREQUENCY  
286.6 TONS/YEAR / 52 WKS/YEAR = 5.5 TONS/WK  
5.5 TONS/WK X 2000 LBS/TON = 11,000 LBS/WK  
11,000 LBS/WK / 3 LBS/GAL = 3,667 GAL/WK (TOTAL WASTE)  
3,667 GAL/WK / 201.97 GAL/CUBIC YARD = 18.2 CUBIC YARDS  
RECYCLE = 20% OF TOTAL WASTE  
0.50 (3,667 GAL/WK) = 1,834 GAL/WK  
1,834 GAL/WK / 201.97 GAL/CUBIC YARD = 9.1 CUBIC YARDS

COLLECTION: TWO 4 CUBIC YARD WASTE & TWO 4 CUBIC YARD RECYCLING ROLLING METAL CONTAINERS SHALL BE COLLECTED 2 TO 3 TIMES PER WEEK.

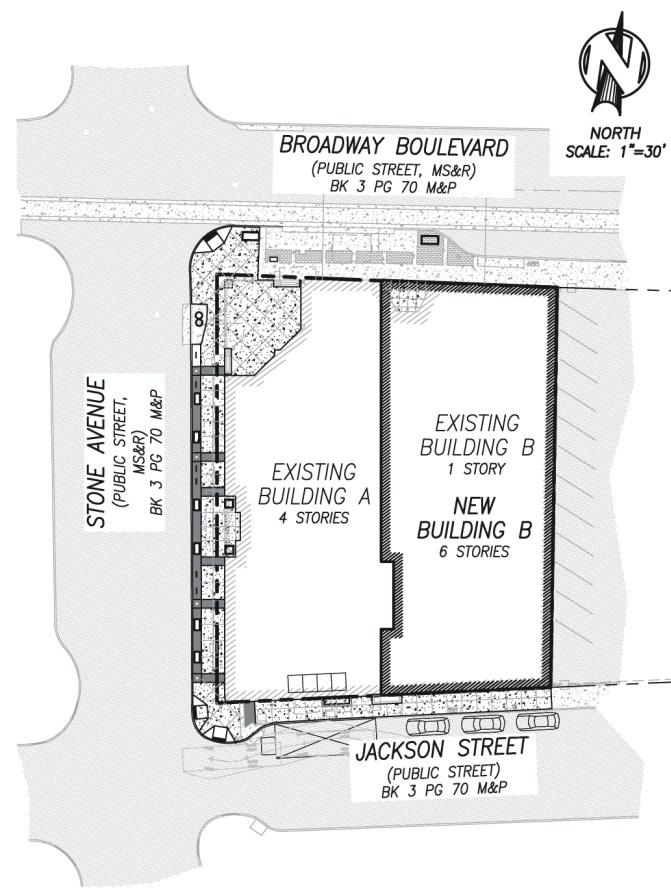
THE BUILDING OWNER'S FACILITY PERSONNEL SHALL WATCH FOR THE ARRIVAL OF THE SERVICE VEHICLE ON THE DAY OF SERVICING, SHALL ROLL THE CONTAINERS OUT CLEARLY INTO THE LOADING SPACE IN FRONT OF THE VEHICLE WHEN THE VEHICLE ARRIVES AND SHALL ROLL THE CONTAINERS BACK INTO THE BUILDING IMMEDIATELY AFTER SERVICING SO THAT THE SERVICE VEHICLE OPERATOR DOES NOT EXIT THE TRUCK.

## LEGEND

FEATURE	NEW	EXISTING	FEATURE	NEW	EXISTING
SURVEY BENCH MARK		⊕	TRAFFIC CONTROL BOX		□
SURVEY MONUMENT		□	UTILITY BOX		⊞
PROJECT BOUNDARY LINE	---	---	GAS LINE		---
ADJACENT BOUNDARY LINE	---	---	GAS METER		⊙
EASEMENT LINE	---	---	SANITARY SEWER LINE		---
CENTER LINE	---	---	SANITARY SEWER MANHOLE		⊙
CONTOUR LINE - MAJOR	---	---	SANITARY SEWER CLEANOUT		⊙
CONTOUR LINE - MINOR	---	---	STORM DRAIN LINE		---
A.C. PAVEMENT			STORM DRAIN MANHOLE		⊙
CONCRETE CURB			FIRE HYDRANT		⊙
CONCRETE SIDEWALK/PAD			FIRE DEPARTMENT CONNECTION		⊙
BUILDING EXTERIOR WALL			WATER LINE		---
WALL			WATER METER		⊙
OVERHEAD UTILITY LINE			WATER VALVE		⊙
UNDERGROUND ELECTRIC LINE			WATER MANHOLE		⊙
ELECTRICAL TRANSFORMER			SLOPE ARROW		→
ELECTRICAL BOX			SIGN		⊙
LIGHT POLE			TILE FLOORING		⊙
TRAFFIC LIGHT			BRICK PAVERS		⊙
UNDERGROUND TELEPHONE LINE			FENCE		⊙

# DEVELOPMENT PACKAGE FOR THE WESTERNER

## 10 E. BROADWAY, TUCSON AZ 85701



REFERENCE SITE PLAN

## UTILITY CONTACTS

**ELECTRIC:**  
TUCSON ELECTRIC POWER COMPANY  
4350 E. IRVINGTON ROAD  
TUCSON, AZ 85714  
PO BOX 711 MAIL STOP DB102  
TUCSON AZ 85702  
CONTACT MIKE KAISER  
(520) 918-8244 PHONE

**WATER:**  
CITY OF TUCSON WATER DEPARTMENT  
310 W. ALAMEDA STREET  
TUCSON, AZ 85701  
CONTACT FREDRICK COY  
(520) 837-2216 PHONE

**SEWER:**  
PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT  
201 N. STONE AVE. 8TH FLOOR  
TUCSON, AZ 85701  
CONTACT MARY HAMILTON  
(520) 740-6641 PHONE

**CABLE:**  
COX COMMUNICATIONS  
1440 E. 15TH STREET  
TUCSON, AZ 85719  
CONTACT BURT ELLIOT  
(520) 955-0041 PHONE

**NATURAL GAS:**  
SOUTHWEST GAS CORPORATION  
3401 E. GAS ROAD  
TUCSON, AZ 85714  
CONTACT BRAD STENINGER  
(520) 247-0724 PHONE

**STORM SEWER:**  
CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT  
201 N. STONE AVE.  
TUCSON, AZ 85701  
CONTACT ELIZABETH LEIBOLD  
(520) 791-4371 PHONE

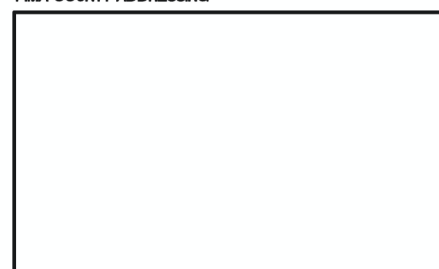
**TELEPHONE:**  
CENTURY LINK  
333 E. WETMORE ROAD, 3RD FLOOR  
TUCSON, AZ 85705  
CONTACT EVA ELDRIDGE  
(520) 292-7212 PHONE

## BICYCLE PARKING

OFFICE	REQUIRED	PROVIDED
SHORT TERM PARKING	(1 SPACE/20,000 S.F., 2 MINIMUM) 3 REQUIRED	6
LONG TERM PARKING (INSIDE BUILDING)	(1 SPACE/6,000 S.F., 2 MINIMUM) 9 REQUIRED	9
MULTIFAMILY DWELLINGS		
SHORT TERM PARKING	(0.10 SPACE/BEDROOM, 2 MINIMUM) 5 REQUIRED	6
LONG TERM PARKING (INSIDE BUILDING)	(0.5 SPACE/BEDROOM, 2 MINIMUM) 25 REQUIRED	50
TOTAL PARKING (SHORT TERM)	42	71

NOTE: LONG-TERM SPACES WILL BE PROVIDED IN EACH RESIDENTIAL UNIT AS WELL AS STORAGE AREAS WITHIN THE OFFICE BUILDING

## PIMA COUNTY ADDRESSING



## VEHICULAR PARKING

THIS PROJECT SEEKS RELIEF FROM VEHICULAR PARKING. PLEASE SEE IID GENERAL NOTE NO. 3 ON THIS SHEET.

**DP15-0208**

COT ADMINISTRATIVE ADDRESS:  
10 E. BROADWAY  
TUCSON, AZ 85701

REF NO'S.:

Rev #	Description
 GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 - Fax: 520.326.7508	
Job Number:	015082
Designed By:	AR/RM
Drawn By:	AR
Checked By:	RM
Date:	1/15/16
Scale Vt:	N/A (SEE AS NOTED)
Sheet Number:	
<b>COVER SHEET</b> <b>DEVELOPMENT PACKAGE</b> Project: <b>THE WESTERNER</b> TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ	
<b>C1.0</b>	
Sheet 1 of 8	

## ABBREVIATIONS

FFE FINISH FLOOR ELEVATION  
GFA GROSS FLOOR AREA  
INV INVERT  
M&P MAPS & PLATS  
PC/COT PIMA COUNTY/CITY OF TUCSON  
ROW RIGHT OF WAY  
SF SQUARE FEET  
SVT SIGHT VISIBILITY TRIANGLE  
TYP TYPICAL

**CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL**

Site/Dev Plan     SCZ  
 Tentative Plat     FRZ  
 Grading     HDZ  
 SWPPP     WASH  
 FUP     Other

DVPPG MGR \_\_\_\_\_ Date \_\_\_\_\_

Zoning \_\_\_\_\_ Date \_\_\_\_\_

Engineering \_\_\_\_\_ Date \_\_\_\_\_

H/C Site \_\_\_\_\_ Date \_\_\_\_\_

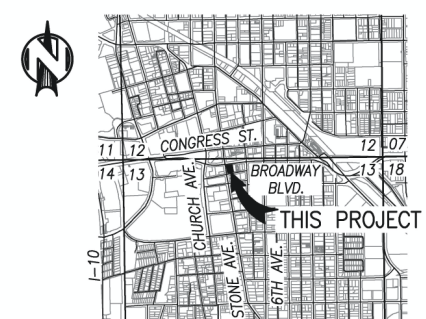
Fire \_\_\_\_\_ Date \_\_\_\_\_

Landscape \_\_\_\_\_ Date \_\_\_\_\_

PL/ME \_\_\_\_\_ Date \_\_\_\_\_

Revision # \_\_\_\_\_ per letter in SIRE

Two working days before you dig,  
CALL FOR THE BLUE STAKES  
**1-800-STAKEIT OR 1-800-782-5348**  
Blue Stake Center



## LOCATION MAP

SCALE: 3" = 1 MILE  
A PORTION OF THE SECTION 13, T-14-S, R-13-E, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

## OWNER/DEVELOPER

COPE COMMUNITY SERVICES, INC.  
CONTACT : ROD COOK, CEO  
ADDRESS : 82 N. STONE  
TUCSON, AZ 85701  
PHONE : (520) 792-3293  
FAX : (520) 792-4336  
EMAIL : rcook41@cox.net

## ARCHITECT

CARHUFF + CUEVA ARCHITECTS  
CONTACT : VANCE GOODMAN  
ADDRESS : 3149 E. PRINCE RD  
TUCSON, AZ 85716  
PHONE : (520) 577-4560  
EMAIL : vgoodman@cca-az.com

## CIVIL ENGINEER

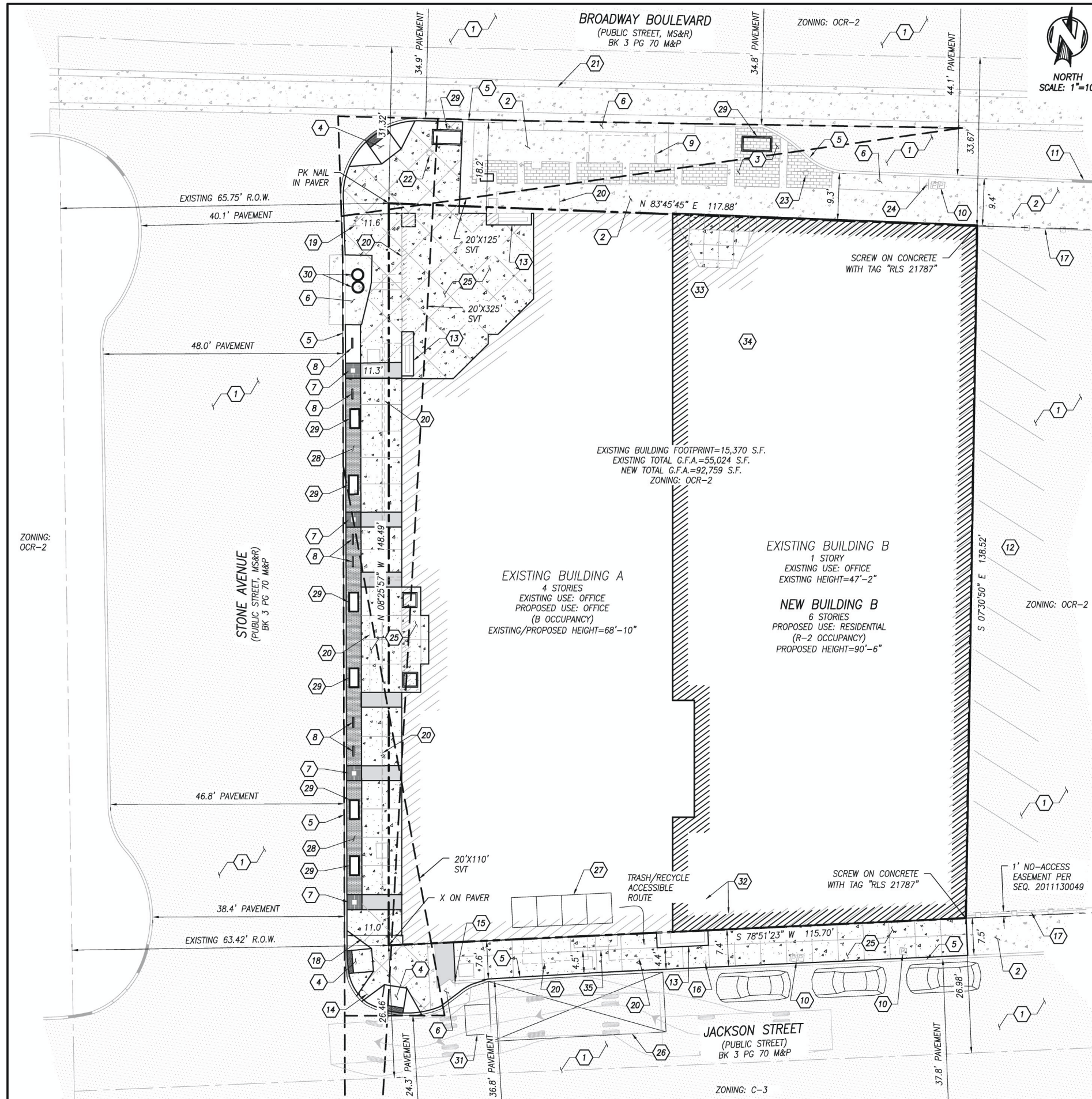
GRENIER ENGINEERING, INC.  
CONTACT : RICHARD MACIAS, P.E.  
ADDRESS : 5524 E. 4TH STREET,  
TUCSON, AZ 85711  
PHONE : (520) 326-7082  
FAX : (520) 326-7508  
EMAIL : rmacias@greniereng.com

## SHEET INDEX

- C1.0 COVER SHEET
- C2.0 SITE PLAN
- C3.0 EXISTING UTILITY PLAN
- L1.0 HARDSCAPE PLAN
- L2.0 LANDSCAPE PLAN
- L3.0 IRRIGATION PLAN
- L4.0 HARDSCAPE DETAILS
- L5.0 LANDSCAPE DETAILS

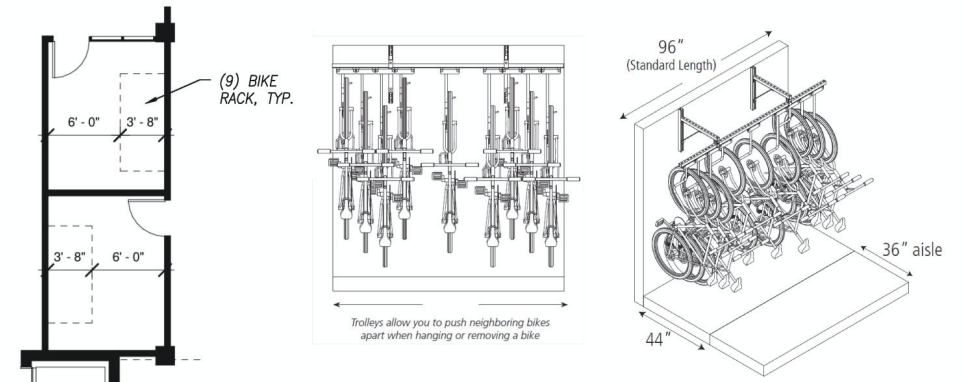


# WEST POINTE APARTMENTS

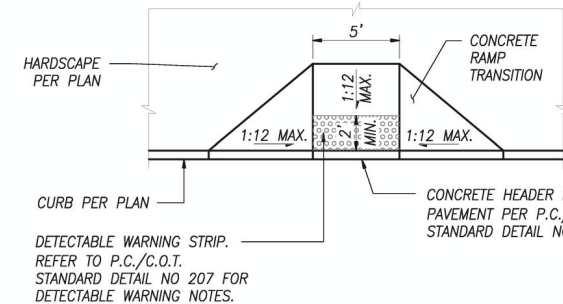


## KEYNOTES

- 1 EXISTING AC PAVEMENT TO REMAIN.
- 2 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 3 EXISTING BRICK PAVERS TO REMAIN.
- 4 NEW CURB ACCESS RAMP PER DETAIL 2.
- 5 EXISTING CONCRETE VERTICAL CURB TO REMAIN.
- 6 EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
- 7 NEW TREE GRATE, SEE HARDSCAPE PLAN.
- 8 NEW BICYCLE RACK, SEE HARDSCAPE PLAN.
- 9 EXISTING STREET CAR CANOPY TO REMAIN.
- 10 EXISTING PARKING METER TO REMAIN.
- 11 EXISTING CONCRETE DRIVEWAY APRON TO REMAIN.
- 12 EXISTING PARKING SPACES TO REMAIN.
- 13 EXISTING RAISED BRICK PLANTER TO REMAIN.
- 14 EXISTING STOP & STREET SIGNS TO REMAIN.
- 15 EXISTING 30 MIN. FREIGHT LOADING SIGN TO REMAIN.
- 16 EXISTING HANDICAP PARKING SIGN TO REMAIN.
- 17 EXISTING WROUGHT IRON FENCE TO REMAIN.
- 18 EXISTING RIGHT TURN ONLY SIGN TO REMAIN.
- 19 EXISTING RIGHT TURN ONLY, ONE WAY, AND TURNING VEHICLES YIELD TO PEDESTRIANS SIGNS TO REMAIN.
- 20 EXISTING BUILDING OVERHANG TO REMAIN.
- 21 EXISTING STREET CAR TRACKS TO REMAIN.
- 22 EXISTING TRAFFIC LIGHT & STREET CAR POWER POLE TO REMAIN.
- 23 EXISTING TRANSIT AND RIGHT TURNS ONLY SIGN & STREET CAR POWER POLE TO REMAIN.
- 24 EXISTING PARKING SIGN TO REMAIN.
- 25 NEW CONCRETE SIDEWALK, SEE HARDSCAPE PLAN.
- 26 12' X 35' LOADING ZONE.
- 27 (2) TRASH & (2) RECYCLE ROLLING METAL CONTAINERS (4 CUBIC YARD) PICK-UP LOCATION.
- 28 NEW BRICK PAVERS, SEE HARDSCAPE PLAN.
- 29 NEW RAISED PLANTER, SEE HARDSCAPE PLAN.
- 30 TRASH RECEPTACLES, SEE HARDSCAPE PLAN (TO BE SERVICED BY OWNER/DEVELOPER).
- 31 TRASH & RECYCLE PICK-UP LOCATION.
- 32 TRASH & RECYCLE STORAGE LOCATION.
- 33 GANG MAILBOXES IN BUILDING FIRST FLOOR.
- 34 BICYCLE RACKS IN BUILDING FIRST FLOOR, SEE DETAIL 1.
- 35 EXISTING RAISED BRICK PLANTER TO BE REMOVED.



**1 LONG TERM BICYCLE RACK** AMERICAN BICYCLE SECURITY COMPANY "BIKE FILE" RACK N.T.S.



**2 CURB ACCESS RAMP** N.T.S.

\* ADA STANDARDS SHALL BE COMPLIANT 2006 IBC (CHAPTER 11), AND ICC ANSI 117.1 (SECTION 405 AND/OR 406).

**DP15-0208**  
COT ADMINISTRATIVE ADDRESS:  
10 E. BROADWAY  
TUCSON, AZ 85701

Rev #	Description

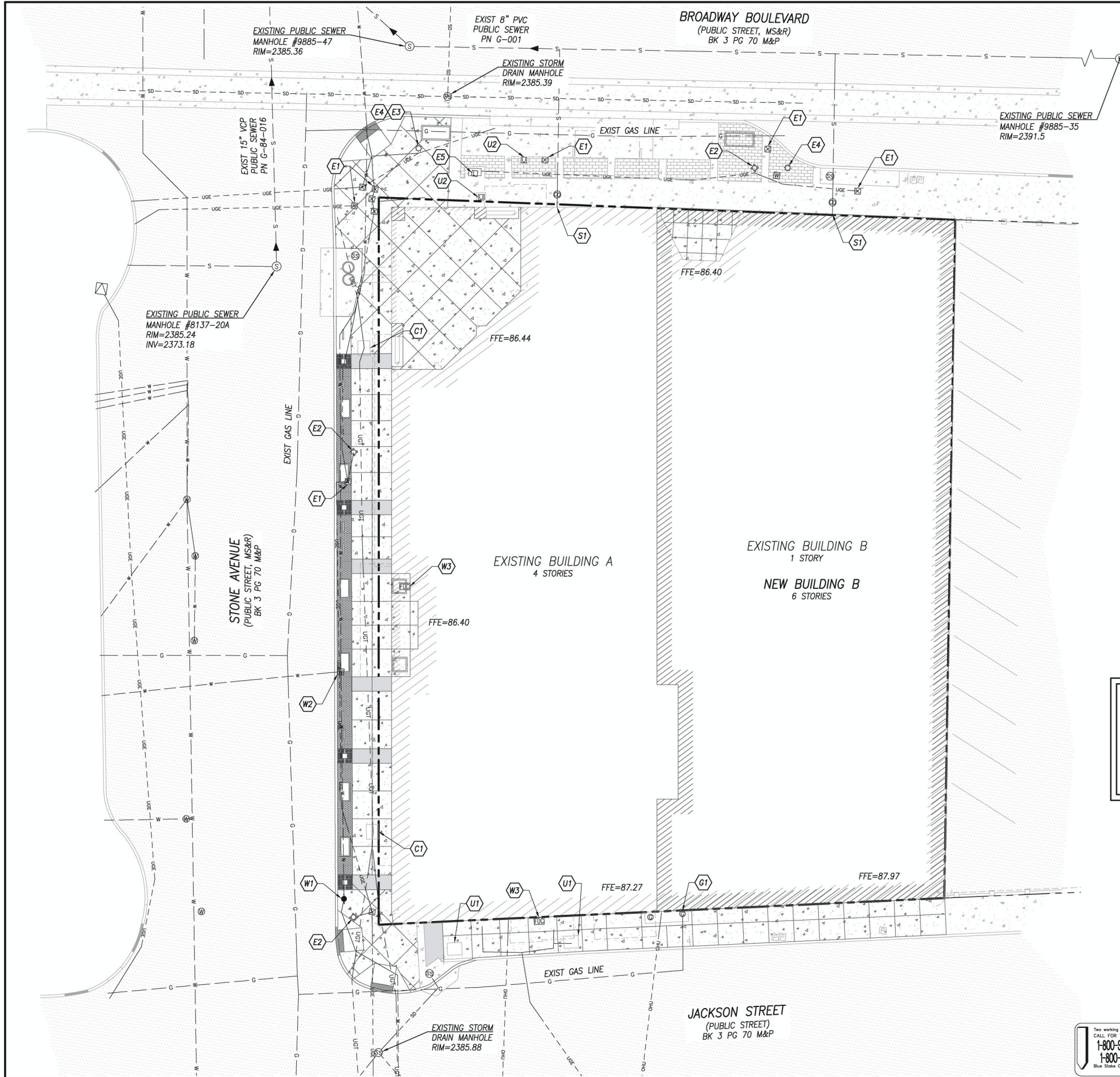
REF NO'S.:

<p><b>GRENIER ENGINEERING, INC.</b> Structural &amp; Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 - Fax: 520.326.7508</p>		<p>Job Number: 015082 Designed By: AR/RM Drawn By: AR Checked By: RM</p>
<p><b>SITE PLAN</b> DEVELOPMENT PACKAGE</p>		<p>Date: 1/15/16 Scale: N/A Sheet Number: C2.0</p>
<p><b>THE WESTERNER</b></p> <p>TUCSON LOT 3 BLOCK 216, M&amp;P BK 3 PG 70, SECTION 13, T14S, R13E, G&amp;SRM, PIMA COUNTY, AZ</p>		<p>Sheet 2 of 8</p>

Two working days before you dig,  
CALL FOR THE BLUE STAKES  
**1-800-STAKEIT OR 1-800-782-5348**  
Blue Stake Center



# WEST POINTE APARTMENTS



### UTILITY KEYNOTES

- U1) EXISTING UTILITY VAULT TO REMAIN.
- U2) EXISTING UTILITY BOX TO REMAIN.

### COMMUNICATIONS KEYNOTES

- C1) EXISTING COMMUNICATIONS VAULT TO REMAIN.

### ELECTRICAL KEYNOTES

- E1) EXISTING ELECTRIC BOXES TO REMAIN.
- E2) EXISTING STREET LIGHT TO REMAIN.
- E3) EXISTING TRAFFIC LIGHT TO REMAIN.
- E4) EXISTING STREET CAR POWER POLE TO REMAIN.
- E5) EXISTING TRAFFIC CONTROL BOX TO REMAIN.

### GAS KEYNOTES

- G1) EXISTING GAS METER TO REMAIN.

### WATER KEYNOTES

- W1) EXISTING FIRE HYDRANT TO REMAIN.
- W2) EXISTING WATER METER TO REMAIN.
- W3) EXISTING FIRE DEPARTMENT CONNECTION.

### SANITARY SEWER KEYNOTES

- S1) EXISTING SANITARY SEWER HCS. INSTALL BACKWATER VALVE IF NOT PRESENT.

1. NEW UTILITIES FOR THE NEW BUILDING WILL BE CONNECTED TO THE EXISTING BUILDING UTILITIES INTERNALLY, SEE PLUMBING PLANS.

2. EXISTING UTILITIES SHOWN ARE APPROXIMATE, BASED ON EXISTING AS-BUILTS AND ABOVE GROUND SURVEY AND ARE SHOWN FOR REFERENCE ONLY.

**DP15-0208**

COT ADMINISTRATIVE ADDRESS:  
10 E. BROADWAY  
TUCSON, AZ 85701

REF NO'S.:

CITY OF TUCSON DEVELOPMENT PACKAGE PSDD APPROVAL	
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
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<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
Engineering _____ Date _____	
H/C Site _____ Date _____	
Fire _____ Date _____	
Landscape _____ Date _____	
PL/ME _____ Date _____	
Revision # _____	<input type="checkbox"/> per letter in SIRE

 Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508	Job Number: 015082 Designed By: AR/RM Drawn By: AR
	Checked By: RM Date: 1/15/16 Scale: N/A Hz: 1"=10' Sheet Number:
Project: <b>EXISTING UTILITY PLAN DEVELOPMENT PACKAGE</b> <b>THE WESTERNER</b> TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ	
<h2>C3.0</h2>	
Sheet 3 of 8	

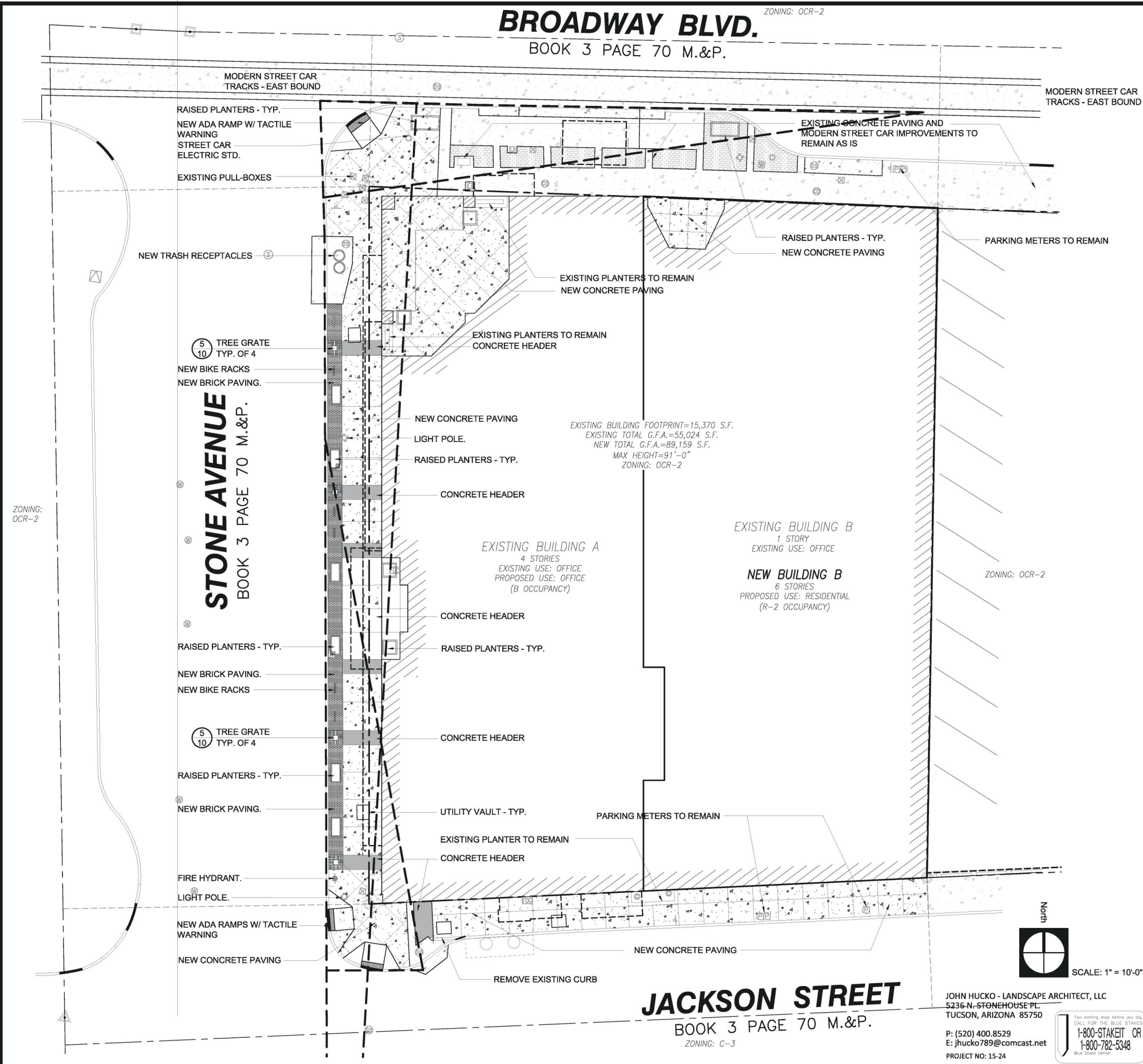




## BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2



### General Notes

- Concrete Paving - 4" depth with 8"x8" toe down at all planting areas/tree grates - Saw cut 1/4" wide x 1" depth score joints
- All paving - hard steel trowel finish with tsaw-cut joints
- Integral color concrete bands color Davis Color "Sandstone"
- Salvage and store two (2) existing trash receptacles for reuse - see plan for new location
- 6" X 6" concrete header below grade to support tree grate frame on 2 sides of grate. Anchor steel frame to existing curb and paving toe down to support steel grate frame. Refer to Mfg. tree grate frame dimension specifications for required dimensions
- Maintain 3" reveal against all paving/landscape areas to allow for 2" depth of decomposed granite
- Core drill curb - 3" Dia. Hole at finish asphalt grade at each of 4 tree grate locations. Angle hole slightly down into tree well for water harvesting.
- Install 12" Dia. x 24" deep sump under each raised planter. bring irrigation up through sump into planter box. backfill sump with pea gravel.

### Site Elements

- Planters - 10 Total Quantity, 2- 3' X 6' X 24" High, 6- 2' X 4' X 24" High, 2- 2' X 2' X 24" High  
Standard Rectangle - Color Black  
with 2" Dia. drainage hole - Or Equal  
By: Old Town Fiberglass 714-633-3732 - oldtownfiberglass.com
- Trash Receptacles - 2 - Color Black  
www.victorstanley.com
- Bike Racks - 6 Total  
Model # BRWS - 101 In-Ground Mount - Color Black  
www.victorstanley.com
- Tree Grates - 4 Total Quantity  
IRONSMITH # 4804 - 48" X 48" - Cast Gray Iron - Or Equal  
With M4800F-4 Frame

IRONSMITH  
800-338-4766  
www.ironsmith.com

### Paving Legend

- Existing Concrete
- New Concrete - Integral Color -  
Davis Color - Baja Red - 160
- Brick Pavers - 4" X 8" - Adobe Red
- Concrete Headers - Natural Gray Color
- Existing Brick Pavers

**DP15-0208**

COT ADMINISTRATIVE ADDRESS:  
10 E. BROADWAY  
TUCSON, AZ 85701

REF NO'S.:

### HARDSCAPE PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL

- |   |                                |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan  | <input type="checkbox"/> SCZ   |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> FRZ   |
| <input type="checkbox"/> Grading        | <input type="checkbox"/> HDZ   |
| <input type="checkbox"/> SWPPP          | <input type="checkbox"/> WASH  |
| <input type="checkbox"/> FUP            | <input type="checkbox"/> Other |

DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

**GRENIER ENGINEERING, INC.**  
Structural & Civil Engineering Consultants

5524 East 4th Street, Tucson, Arizona 85711  
Phone: 520.326.7082 ~ Fax: 520.326.7508

**SITE PLAN DEVELOPMENT PACKAGE**

**THE WESTERNER**  
TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70,  
SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ

Sheet 4 of 8



Job Number: 015082  
Designed By: JH  
Drawn By: DL  
Checked By: JH  
Date: 01-15-16  
Scale: N/A (up to 1"=10')  
Sheet Number:  
**L1.0**



## BROADWAY BLVD.

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

EXIST 65.75' R.O.W.

**STONE AVENUE**  
BOOK 3 PAGE 70 M.&P.

4 - EXISTING OAK TREES TO REMAIN  
MAINTAIN IRRIGATION TO TREES  
THROUGHOUT CONSTRUCTION

EXISTING BUILDING FOOTPRINT=15,370 S.F.  
EXISTING TOTAL G.F.A.=55,024 S.F.  
NEW TOTAL G.F.A.=89,159 S.F.  
MAX HEIGHT=91'-0"  
ZONING: OCR-2

EXISTING BUILDING A  
4 STORIES  
EXISTING USE: OFFICE  
PROPOSED USE: OFFICE  
(B OCCUPANCY)

EXISTING BUILDING B  
1 STORY  
EXISTING USE: OFFICE

NEW BUILDING B  
6 STORIES  
PROPOSED USE: RESIDENTIAL  
(R-2 OCCUPANCY)

ZONING: OCR-2

ZONING:  
OCR-2

EXIST 63.42' R.O.W.

## JACKSON STREET

BOOK 3 PAGE 70 M.&P.

ZONING: C-3

JOHN HUCKO - LANDSCAPE ARCHITECT, LLC  
5236 N. STONEHOUSE PL.  
TUCSON, ARIZONA 85750

P: (520) 400.8529  
E: jhucko789@comcast.net  
PROJECT NO: 15-24

SCALE: 1" = 10'-0"

Two working days before you dig  
CALL FOR THE BLUE STAKES  
1-800-STAKEIT OR  
1-800-782-5348  
Blue Stakes Service

### GENERAL LANDSCAPE NOTES

- .38 Acre - 16,375 S.F. Parcel is zoned R-2 AND OCR-2
- Shrubs used to satisfy Landscape Border requirements will not be smaller than 5 gallon size. They will be aligned, grouped or clustered to provide interest and continuous screening at maturity.
- Plant materials will cover at least 50% of the area Landscape Borders not including canopy trees.
- Trees planted near sidewalks or curbs will be planted 5' away to prevent upheaval. Where 5' is not available, a root barrier will be used.
- Site visibility triangles: Materials within site visibility triangles shall be placed so as not to interfere with a visibility plane described by two horizontal lines located 30 inches and 72 inches above finish grade. All shrub heights in SVT's shall be maintained below 30" and tree canopy's shall be maintained above 72" height
- All plant materials will be selected from the approved City of Tucson Plant List.
- An automatic drip irrigation system will be installed to irrigate all planting
- Any plant material in areas requiring landscaping that does not survive will be replaced with an equivalent size and species within 30 days.
- Landscape maintenance will be provided including watering, pruning, mulching, weeding, and fertilizing. Per the Unified Development Code all required landscaping, irrigation and site improvements will be maintained. The property owner is responsible for proper and adequate landscaping as required by the UDC.
- Grading Limits:  
The entire site is previously been developed.
- The majority of this Multi-Use development is comprised of residential housing. Therefore the Commercial Rainwater Harvesting requirements do not apply. Rainwater will be harvested from the building roof and directed to landscape areas if possible.

### ROW STANDARD PLANTING NOTES

- It is the owners responsibility to keep the Site Visibility Triangles (SVT) and the pedestrian access area clear of vegetation at all times, per Unified Development Code(UDC) section.
- Final plant locations must be in compliance with all utility setback requirements.
- the owner understands that if the City of Tucson Transportation Dept. or any utility company needs to work within the ROW in the landscape area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)
- Contractor to obtain a Right Of Way excavation permit prior to construction within the right of way.

### LANDSCAPE NOTES

- Backfill mix for Raised planter boxes and at grade planters adjacent building shall consist of 50% screened topsoil and 50% GRO-WELL Brand Organic Compost. Install 6" pea-gravel layer with filter fabric as drainage layer in raised planter boxes
- Topdress planters above with rock mulch.

### PLANT LEGEND

PLANT SYMBOL BOTANICAL NAME COMMON NAME: SIZE: QTY

#### TREES:

	Quercus virginiana Heritage Live Oak	Existing	4
--	---	----------	---

#### SHRUBS & GROUNDCOVERS:

	Pedilanthus macrocarpus Lady slipper	5 Gal.	xx
	Lantana Gold Lantana	1 Gal.	xx
	Pachycereus marginatus Mexican Fence Post Cacti Multi-trunk - Min. 3 trunks - 5'tall	15" Gal.	xx
	Plants In Raised Planters - TBD	5 Gal. & 1 Gal.	

### INERT MATERIALS

DG Decomposed Granite -  
1/2" Minus - 2" Depth  
Color - "Apache Brown"  
RM Rock Mulch 1"-3"  
Fractured Rock 3"  
Depth  
Color - "Apache Brown"

### LANDSCAPE PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL

Site/Dev Plan  SCZ  
 Tentative Plat  FRZ  
 Grading  HDZ  
 SWPPP  WASH  
 FUP  Other

DVPKG MGR Date \_\_\_\_\_  
Zoning Date \_\_\_\_\_  
Engineering Date \_\_\_\_\_  
H/C Site Date \_\_\_\_\_  
Fire Date \_\_\_\_\_  
Landscape Date \_\_\_\_\_  
PL/ME Date \_\_\_\_\_  
Revision #  per letter in SIRE

REF NO'S.:

**DP15-0208**

COT ADMINISTRATIVE ADDRESS:  
10 E. BROADWAY  
TUCSON, AZ 85701

 <b>GREINER ENGINEERING, INC.</b> Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508	Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A 1"=10" Sheet Number:
	EXPIRES 3/31/2018
<b>SITE PLAN DEVELOPMENT PACKAGE</b>	
<b>THE WESTERNER</b>	
TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ	
<b>L2.0</b>	
Sheet 5 of 8	



**BROADWAY BLVD.**

BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

**STONE AVENUE**  
BOOK 3 PAGE 70 M.&P.

ZONING: OCR-2

EXISTING BUILDING FOOTPRINT=15,370 S.F.  
EXISTING TOTAL G.F.A.=55,024 S.F.  
NEW TOTAL G.F.A.=89,159 S.F.  
MAX HEIGHT=91'-0"  
ZONING: OCR-2

EXISTING BUILDING A  
4 STORIES  
EXISTING USE: OFFICE  
PROPOSED USE: OFFICE  
(B OCCUPANCY)

EXISTING BUILDING B  
1 STORY  
EXISTING USE: OFFICE  
**NEW BUILDING B**  
6 STORIES  
PROPOSED USE: RESIDENTIAL  
(R-2 OCCUPANCY)

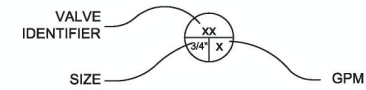
IRRIGATION POC - EXISTING HOSE BIB

IRRIGATION CONTROLLER

IRRIGATION BACKFLOW PREVENTER  
LOCATION TO BE FIELD VERIFIED

### IRRIGATION LEGEND

Symbol	Manufacturer	Description
	Water Meter	Irrigation P.O.C
	Hunter	X-CORE -XC-4 Outdoor Model - Wall Mount
	Febco	3/4" -Reduced Pressure Backflow Preventer, Febco 825Y With Tan Guardshack enclosure
	Rain Bird	XCZ-075-PRF - 3/4" Low Flow Control Zone Kit
	SCH. 40 PVC	3/4" Mainline -
	SCH. 40 PVC	2"-4" Sleeve.
	SCH. 40 PVC	Lateral line - 3/4" -
	SCH. 40 PVC	3/4" SCH. 40 PVC - Pipe Drip Lateral w/ Rain Bug XBT-20-6 Multi-outlet Emitter @ 1 GPH each
	SCH. 40 PVC	Outlet XBT-20 Single-outlet Emitter @ 1 GPH w/ XQ 1/4" Distribution Tubing, 2 GPH per Shrub or Groundcover, 8 GPH per Tree
		In-Line Drip Tubing - Rain Bird XFS-06-12 - 6 GPH
	Lasco	AP-075 - 3/4" Hose End Flush Cap.



### IRRIGATION NOTES

1. Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
2. The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
3. Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried.
4. Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
5. Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.
6. Contractor shall apply for Reduced Pressure Backflow Preventer permit from Backflow Prevention Department.
7. The irrigation system design is based on a minimum operating static water pressure of 50 PSI. Any discrepancy shall be reported to the owner immediately.
8. Sleeve all irrigation lines under concrete including all drip laterals and lateral lines.

**DP15-0208**

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TUCSON, AZ 85701

REF NO'S.:

### IRRIGATION PLAN

CITY OF TUCSON DEVELOPMENT PACKAGE PDSD APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
Engineering _____ Date _____	
H/C Site _____ Date _____	
Fire _____ Date _____	
Landscape _____ Date _____	
PL/ME _____ Date _____	
Revision # _____	<input type="checkbox"/> per letter in SIRE

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**SITE PLAN DEVELOPMENT PACKAGE**

**THE WESTERNER**

TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70,  
SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ

**L3.0**

Sheet 8 of 8

**JACKSON STREET**

BOOK 3 PAGE 70 M.&P.  
ZONING: C-3

JOHN HUCKO - LANDSCAPE ARCHITECT, LLC  
5236 N. STONEHOUSE PL.  
TUCSON, ARIZONA 85750

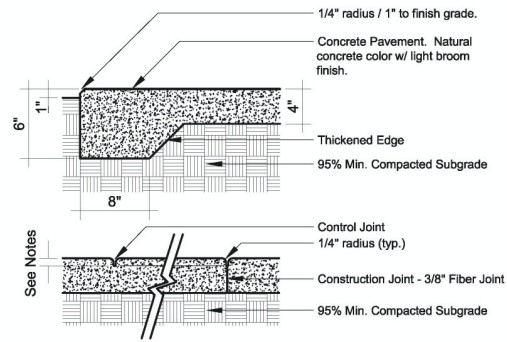
P: (520) 400.8529  
E: jhucko789@comcast.net  
PROJECT NO: 15-24

SCALE: 1" = 10'-0"

North

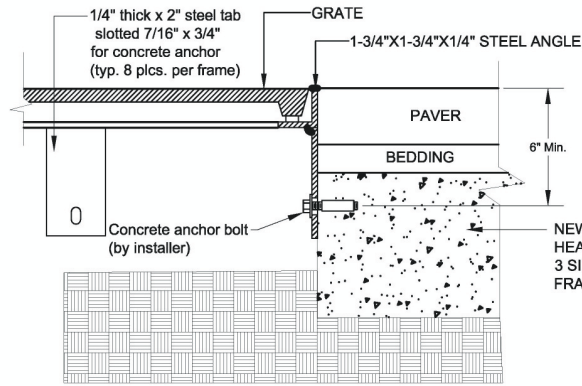
Two working days before you file,  
CALL FOR THE BLUE STAKES  
1-800-STAKEIT OR  
1-800-782-5348  
Blue Stake Order





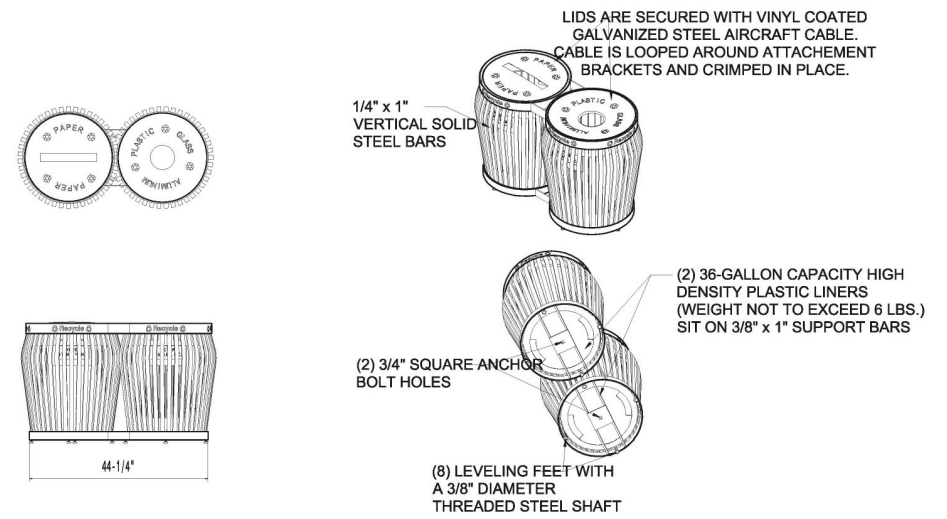
**NOTE:**  
Pour sample on-site for finish approval by the Owner's Rep.  
Control joints to be installed at a depth of 1/4 the thickness of the concrete slab.  
Control joints shall be as shown on plans.  
Install 3/8" Fiber joint material - hold down 1/2"-3/4" - fill with Sika-Flex for all construction joints  
Control joints & construction joints to be finished with a 1/4" radius jointer.  
Edges of concrete pavement to be finished with a 1/4" radius edger.

**1 CONCRETE PAVEMENT**  
NTS



**SECTION TREE GRATE FRAME**  
INSTALLATION WITH CONTINUOUS STEEL SKIRT FOR PAVERS BOLT ON FOR RETROFIT APPLICATIONS

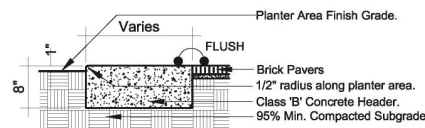
**5 TREE GRATE**  
NTS



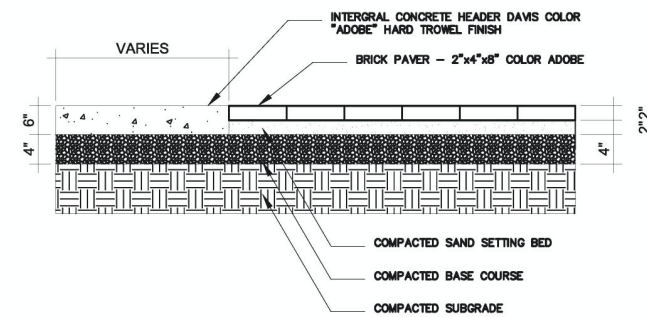
**7 TRASH RECEPTACLE**  
NTS

P.O. DRAWER 330 - DUNKIRK, MD 20754 USA  
TOLL FREE: (800) 368-2573 (USA & CANADA)  
TEL (301) 855-8300 - FAX (410) 257-7579  
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

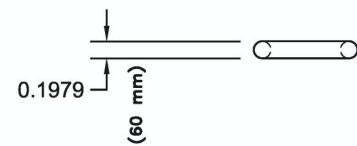
PATENTS PENDING



**2 CONCRETE HEADER**  
NTS



**4 BRICK PAVING/CONCRETE HEADER**  
NTS

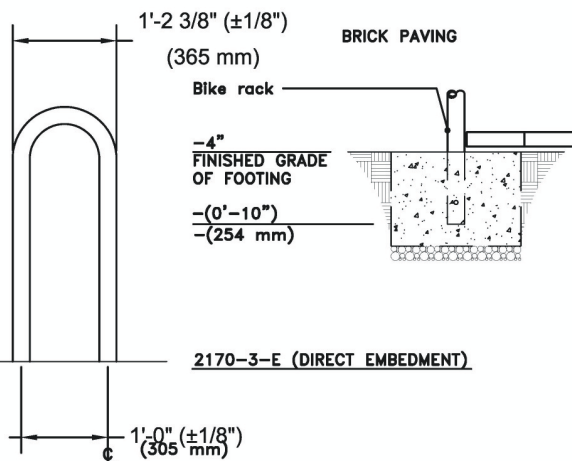


TOP VIEW

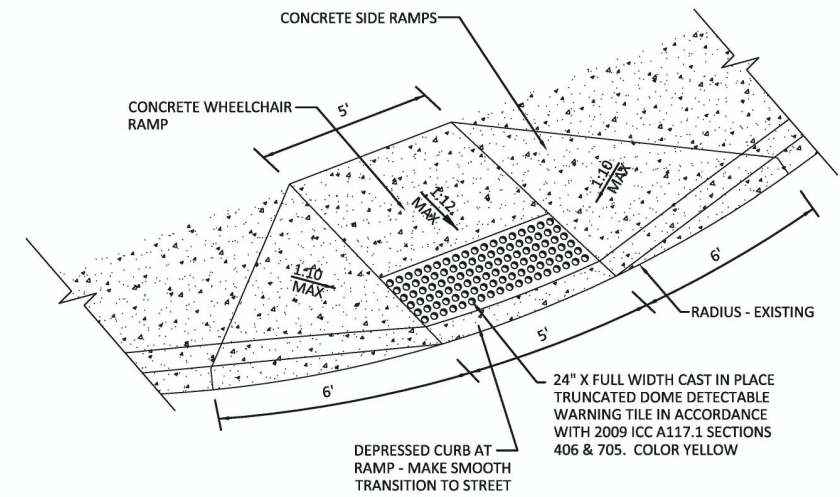
2'-11 1/4" (895 mm)

0'-0" FINISHED GRADE

FRONT VIEW



**6 BIKE RACK**  
NTS



**8 ACCESSIBLE RAMP**  
NTS

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PROJECT NO: 15-24

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Blue Stakes Only

**HARDSCAPE DETAILS**

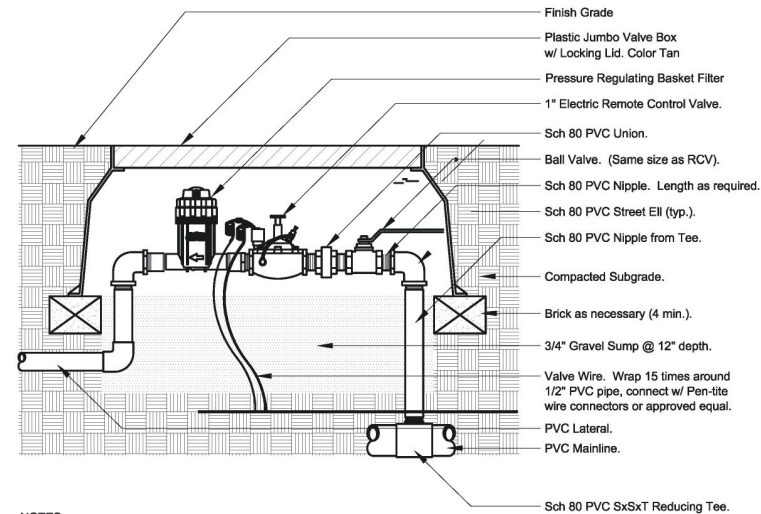
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<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR	Date
Zoning	Date
Engineering	Date
H/C Site	Date
Fire	Date
Landscape	Date
PL/ME	Date
Revision #	<input type="checkbox"/> per letter in SIRE

REF NO'S.:

**DP15-0208**  
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 <b>GRENIER ENGINEERING, INC.</b> Structural & Civil Engineering Consultants 5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 - Fax: 520.326.7508		 JOHN R. HUCKO REGISTERED PROFESSIONAL ENGINEER ARIZONA, U.S.A. EXPIRES 3/31/2018
Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A Plot: 1"=10' Sheet Number:	<b>SITE PLAN</b> <b>DEVELOPMENT PACKAGE</b> THE WESTERNER TUCSON LOT 3 BLOCK 216, M&P BK 3 PG 70, SECTION 13, T14S, R13E, G&SRM, PIMA COUNTY, AZ <b>L4.0</b> Sheet 7 of 8	

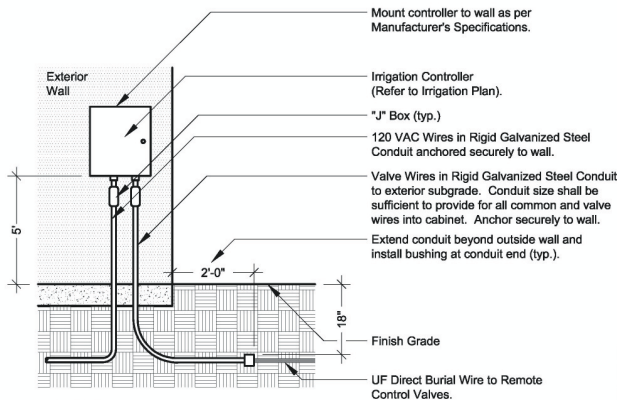




NOTES:  
Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.  
Compact soil around piping and valve box to same density as undisturbed soil.  
Refer to Specifications for piping material.

## 1 REMOTE CONTROL VALVE WITH FILTER - DRIP

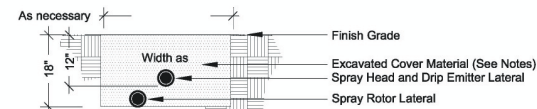
NTS



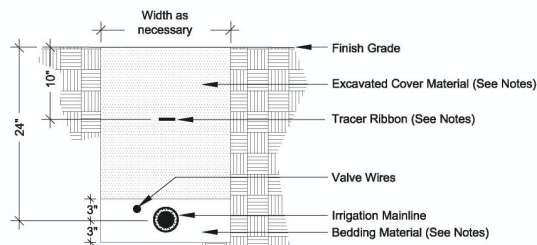
NOTES:  
All wiring to be installed as per City Code.  
Refer to Electrical Plans for location and power source.

## 2 WALL-MOUNTED IRRIGATION CONTROLLER

NTS



### LATERAL TRENCH

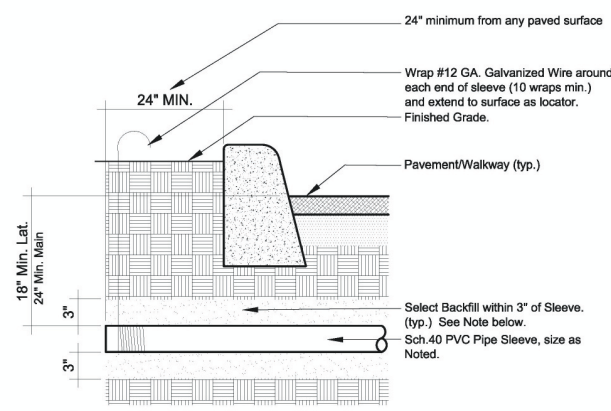


### MAINLINE TRENCH

All mainlines to be installed in accordance with manufacturer's Specifications.  
All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal. Bundle and tape wiring at 10 foot intervals.  
Valve wires to be installed within mainline trench wherever possible.  
Bedding material shall be 1/4\"/>

## 3 TRENCHING DETAIL

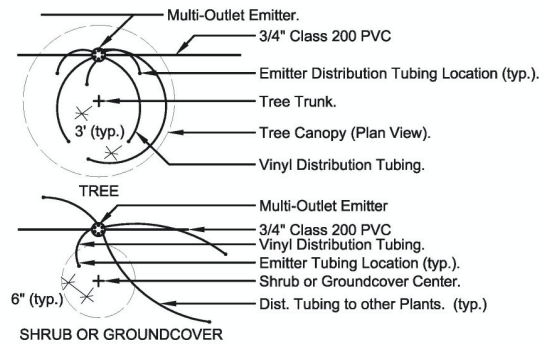
NTS



NOTE:  
Backfill within 3\"/>

## 4 PIPE SLEEVING

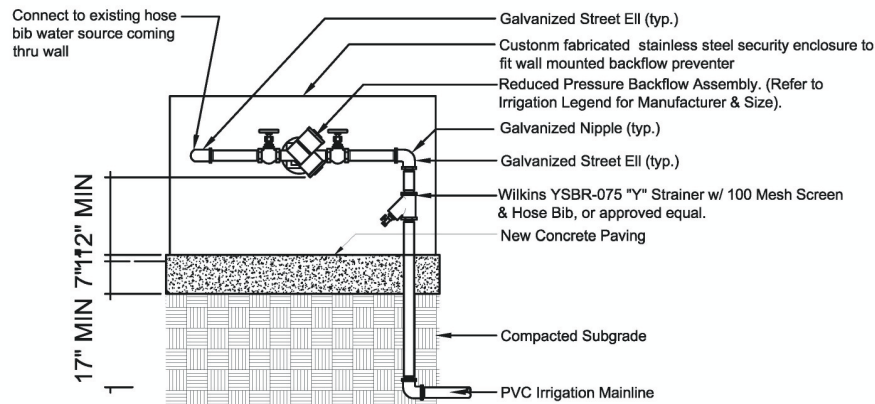
NTS



NOTES:  
Refer to Irrigation Key for Manufacturer.

## 5 EMITTER PLACEMENT

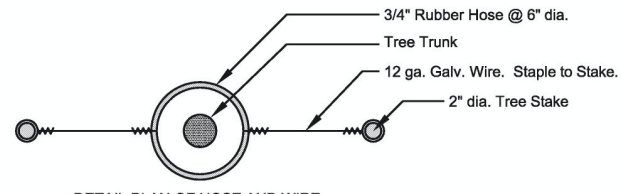
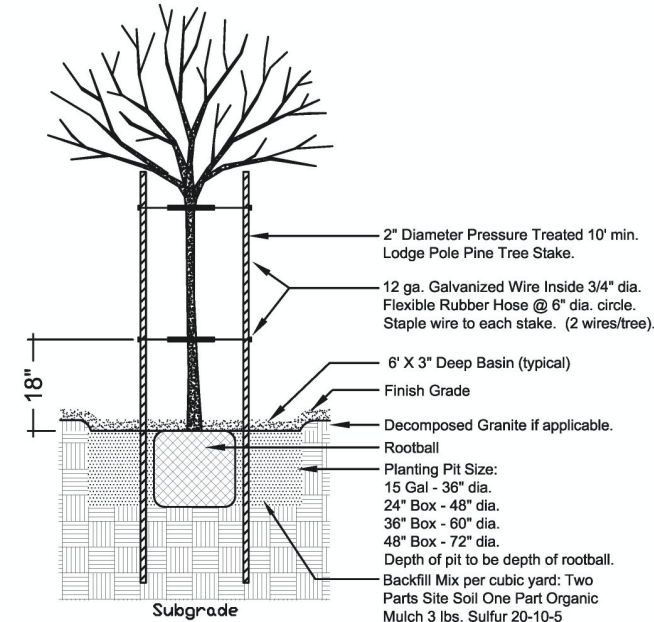
NTS



NOTES:  
Supply keyed padlock, Master Lock Model #957 w/ two keys, or approved equal, for locking security enclosure.

## 6 REDUCED PRESSURE TYPE BACKFLOW PREVENTER

NTS

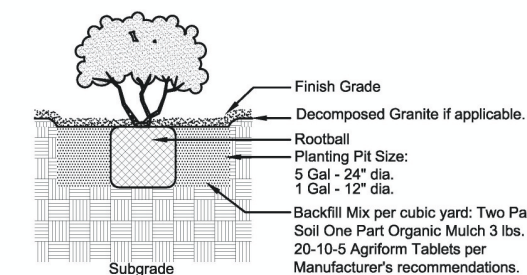


### DETAIL PLAN OF HOSE AND WIRE

NOTE:  
See Specifications for application of FeRROMEC AC Liquid Iron to all trees.  
Plant pit to be to the depth of the rootball, typical.

## 7 SINGLE TRUNK TREE PLANTING

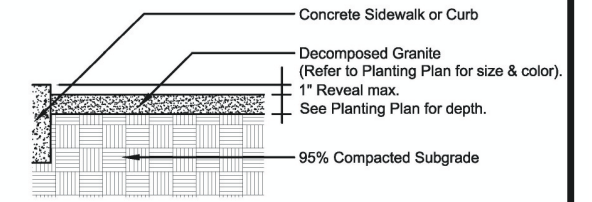
NTS



NOTE: Plant pit to be to the depth of the rootball, typical.

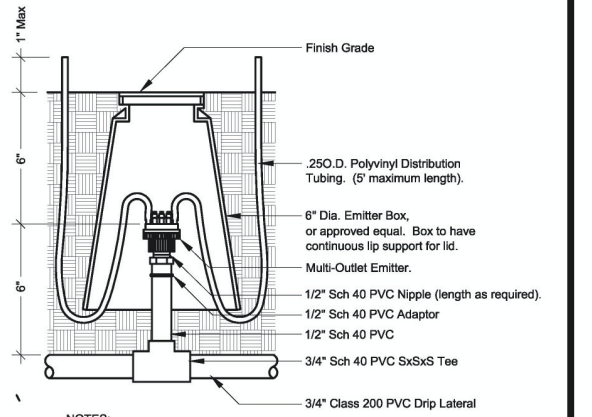
## 8 SHRUB PLANTING

NTS



## 9 SCREENED ROCK / DECOMPOSED GRANITE

NTS



NOTES:  
Compact soil around emitter assembly to same density as undisturbed soil.

## 9 EMITTER INSTALLATION

NTS

LANDSCAPE DETAILS	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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<b>Zoning</b>	<b>Date</b>
<b>Engineering</b>	<b>Date</b>
<b>H/C Site</b>	<b>Date</b>
<b>Fire</b>	<b>Date</b>
<b>Landscap</b>	<b>Date</b>
<b>PL/ME</b>	<b>Date</b>
<b>Revision #</b>	<input type="checkbox"/> per letter in SIRE

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PROJECT NO: 15-24

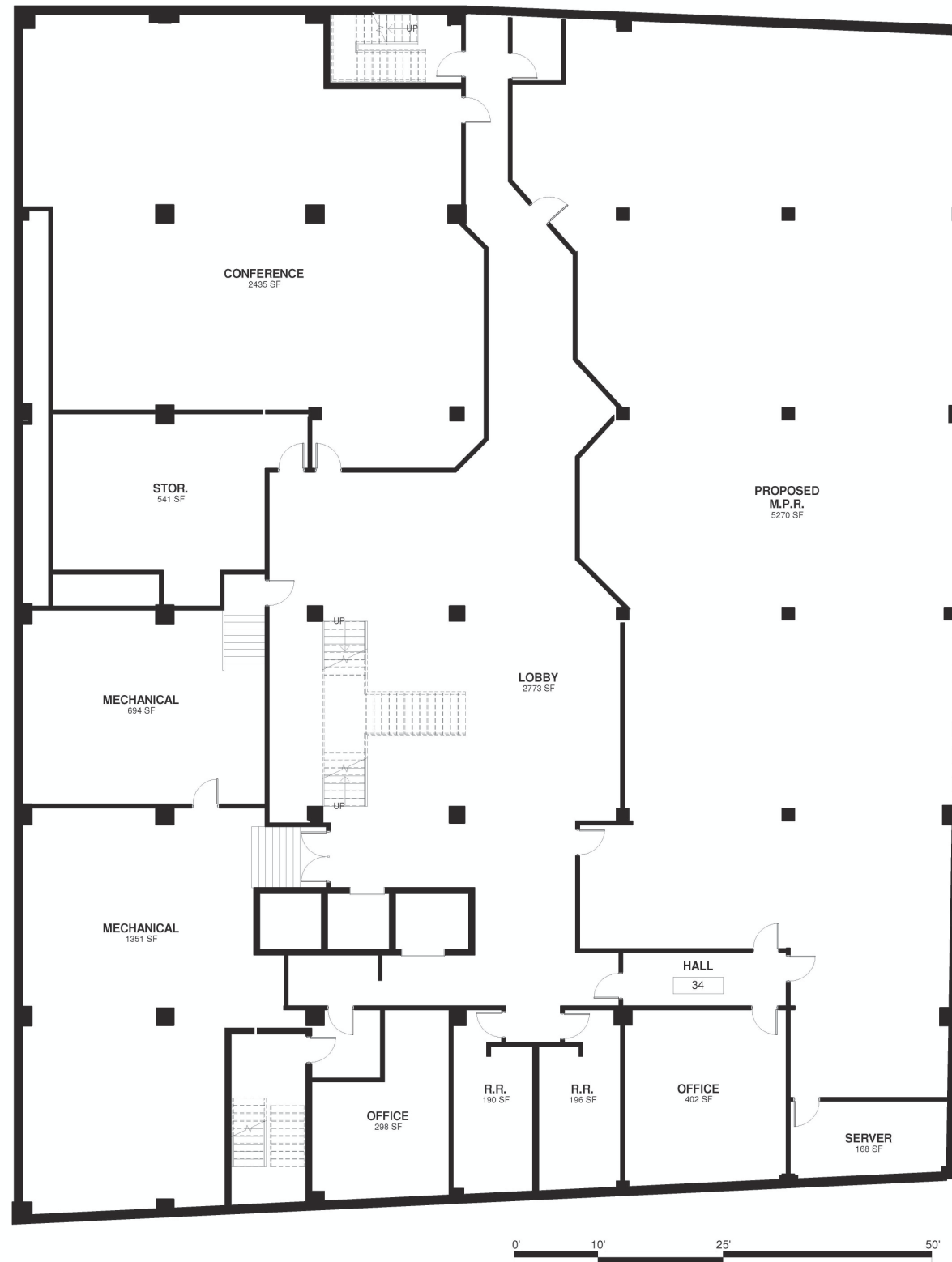
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**DP15-0208**  
COT ADMINISTRATIVE ADDRESS:  
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TUCSON, AZ 85701

<p><b>GRENIER ENGINEERING, INC.</b> Structural &amp; Civil Engineering Consultants</p> <p>5524 East 4th Street, Tucson, Arizona 85711 Phone: 520.326.7082 ~ Fax: 520.326.7508</p>	<p>18943 JOHN R. HUCKO Professional Engineer ARIZONA, U.S.A. EXPIRES 3/31/2018</p>
<p><b>SITE PLAN DEVELOPMENT PACKAGE</b></p> <p><b>THE WESTERNER</b></p> <p>TUCSON LOT 3 BLOCK 216, M&amp;P BK 3 PG 70, SECTION 13, T14S, R13E, G&amp;SRM, PIMA COUNTY, AZ</p>	<p>Job Number: 015082 Designed By: JH Drawn By: DL Checked By: JH Date: 01-15-16 Scale: N/A (1"=10") Sheet Number: L5.0</p>

Sheet 8 of 8



2 PROPOSED LOWER LEVEL LOWER LEVEL 15,760 SF  
A-1 1/8" = 1'-0"

DESIGN APPROVAL  
OWNER/CLIENT: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

PRELIMINARY  
NOT FOR  
CONSTRUCTION



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architects, llc  
3149 e prince rd #151  
tucson, arizona 85716  
phone 520.577.4560  
www.cca-az.com

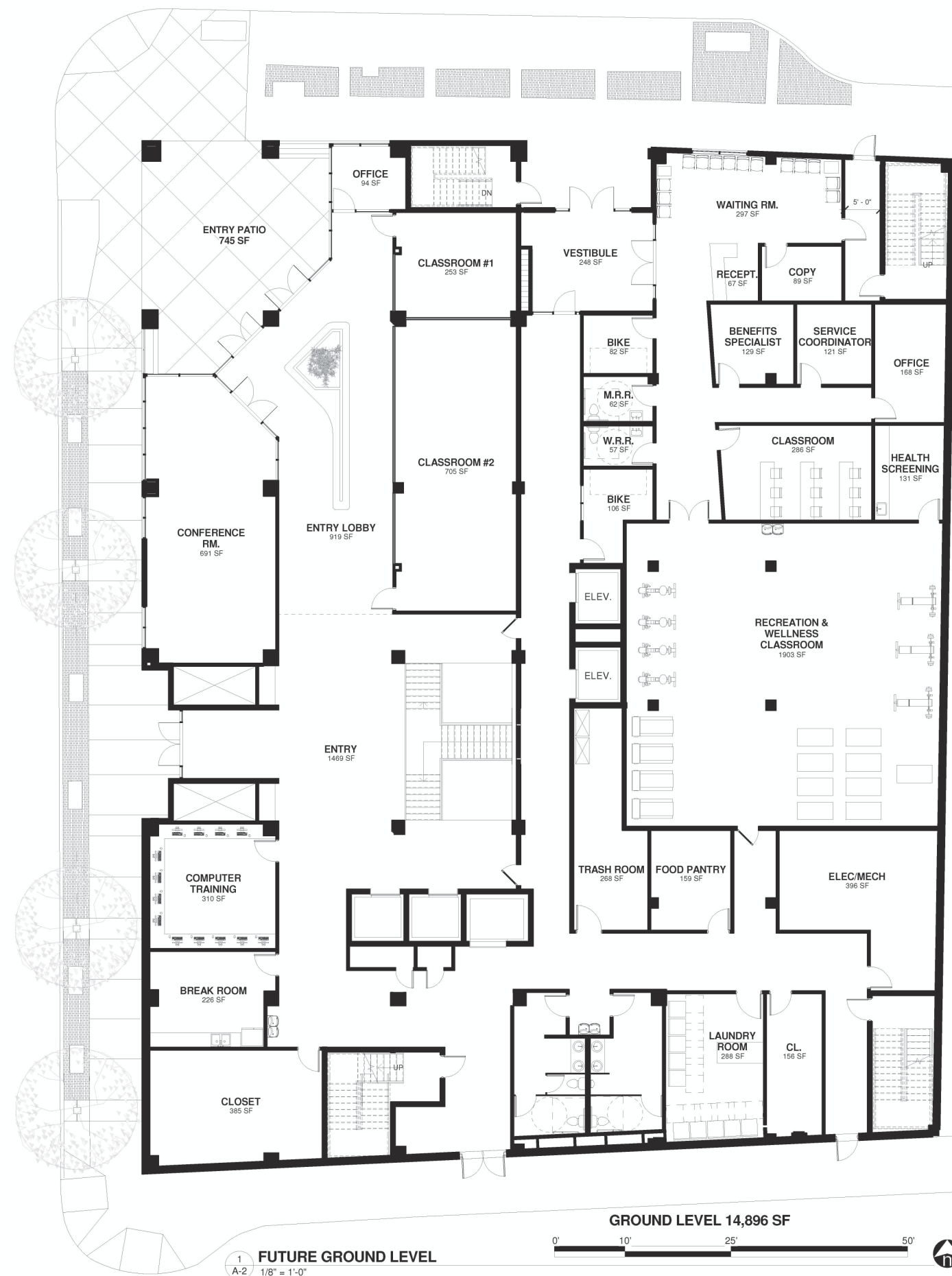
FUTURE EXPANSION OF:  
  
THE WESTERNER  
  
10 E. BROADWAY  
TUCSON, AZ 85701

SCHMATIC DESIGN

REVISION	DATE	DESCRIPTION	BY

PROJECT NO.	T16-10
DATE	JANUARY 2016
SCALE	1/8" = 1'-0"
DRAWN BY	-
DRAWING TITLE	LOWER LEVEL
DRAWING NUMBER	A-1





GROUND LEVEL 14,896 SF

1  
A-2  
FUTURE GROUND LEVEL  
1/8" = 1'-0"

DESIGN APPROVAL

OWNER/CLIENT: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

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FUTURE EXPANSION OF:

THE WESTERNER

10 E. BROADWAY  
TUCSON, AZ 85701

SCHEMATIC DESIGN

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE JANUARY 2016

SCALE 1/8" = 1'-0" DRAWN BY -

DRAWING TITLE GROUND LEVEL

DRAWING NUMBER A-2



1  
A-3

FUTURE 2nd LEVEL PROPOSED 2ND LEVEL 7,717 SF SF

FUTURE 2ND LEVEL 7,547 SF

1/8" = 1'-0"



DESIGN APPROVAL

OWNER CLIENT:	DATE APPROVED:
---------------	----------------

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NOT FOR  
CONSTRUCTION



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FUTURE EXPANSION OF:

THE WESTERNER

10 E. BROADWAY  
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SCHEMATIC DESIGN

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

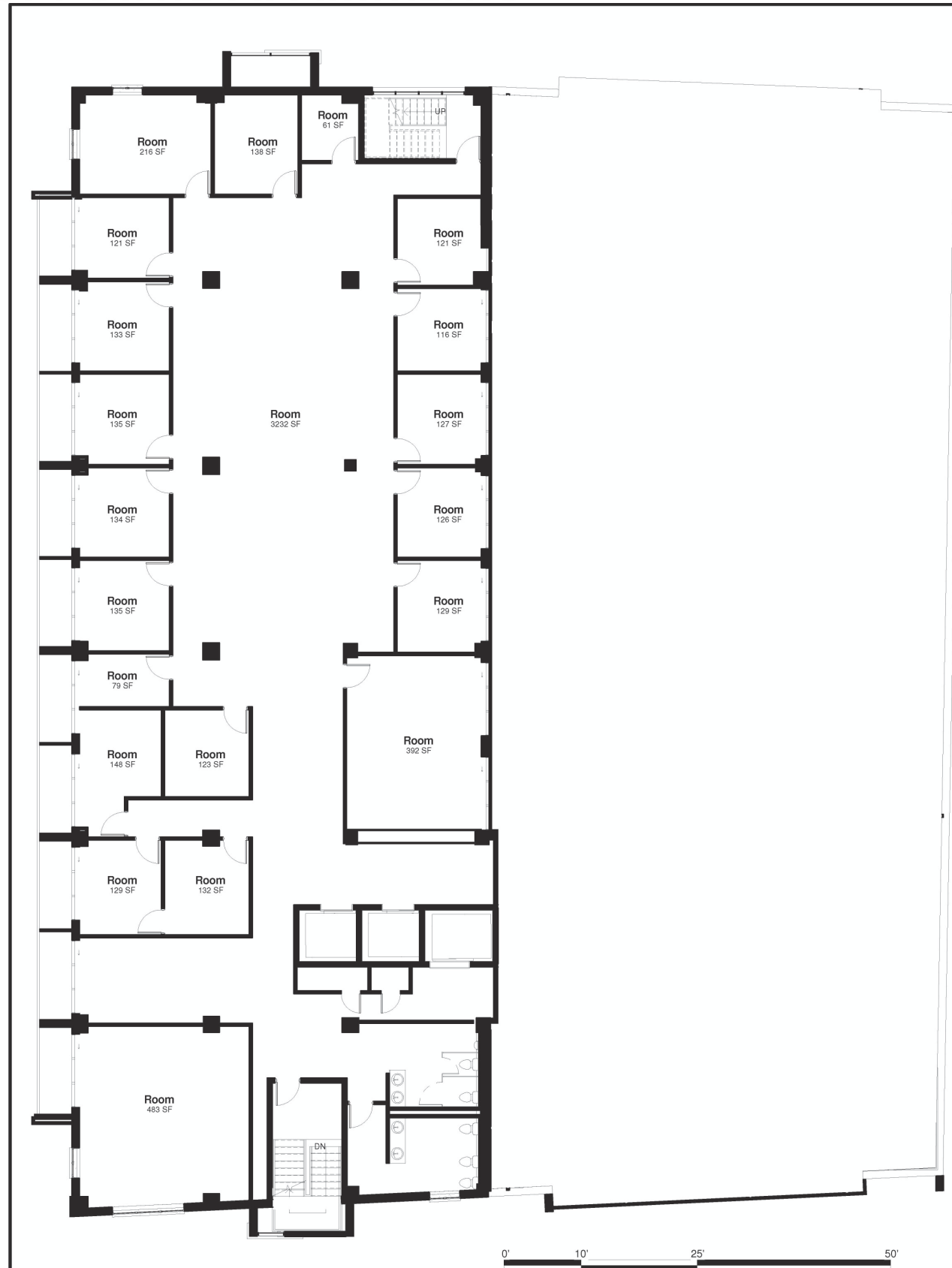
DATE JANUARY 2016

SCALE 1/8" = 1'-0" DRAWN BY -

DRAWING TITLE SECOND LEVEL

DRAWING NUMBER A-3





1 PROPOSED 3RD LEVEL  
A-4 1/8" = 1'-0"

PROPOSED 3RD LEVEL 7,717 SF



2 FUTURE 3RD LEVEL  
A-4 1/8" = 1'-0"



FUTURE 3RD LEVEL 7,547 SF



DESIGN APPROVAL  
OWNER/CLIENT: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

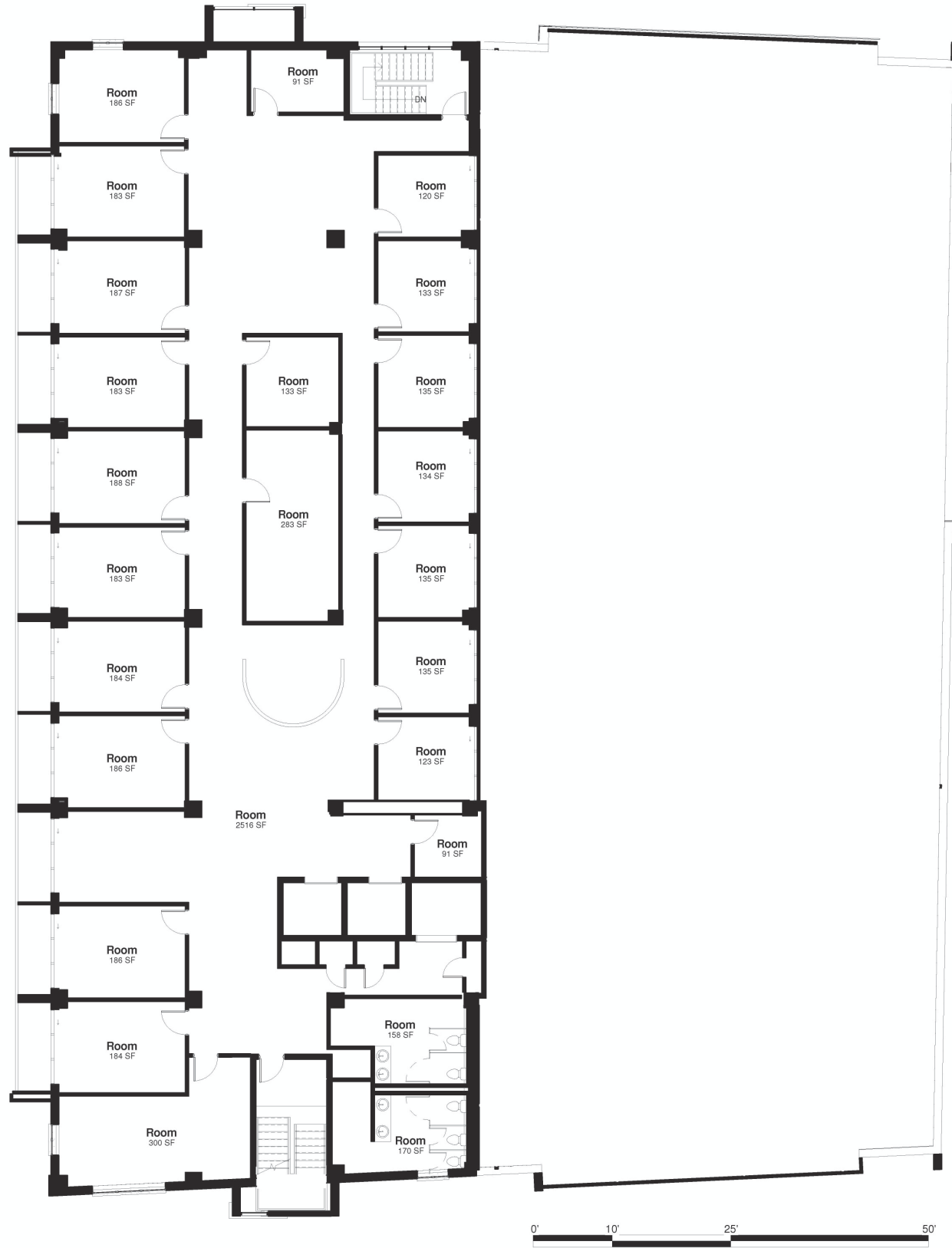
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FUTURE EXPANSION OF:  
THE WESTERNER  
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TUCSON, AZ 85701  
SCHEMATIC DESIGN

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10  
DATE JANUARY 2016  
SCALE 1/8" = 1'-0" DRAWN BY -  
DRAWING TITLE THIRD LEVEL  
DRAWING NUMBER A-4



1 PROPOSED 4TH LEVEL  
A-5 1/8" = 1'-0"

PROPOSED 4TH LEVEL 7,717 SF



2 FUTURE 4TH LEVEL  
A-5 1/8" = 1'-0"

FUTURE 4TH LEVEL 7,547 SF

DESIGN APPROVAL  
OWNER: CLIENT: DATE APPROVED:

PRELIMINARY  
NOT FOR  
CONSTRUCTION



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FUTURE EXPANSION OF:

THE WESTERNER  
10 E. BROADWAY  
TUCSON, AZ 85701

SCHEMATIC DESIGN

REVISION	DATE	DESCRIPTION	BY

PROJECT NO. T16-10

DATE JANUARY 2016

SCALE 1/8" = 1'-0" DRAWN BY -

DRAWING TITLE FOURTH LEVEL

DRAWING NUMBER A-5



# WEST POINTE APARTMENTS



1  
A-6  
FUTURE 5TH LEVEL  
1/8" = 1'-0"

FUTURE 5TH LEVEL 7,547 SF



2  
A-6  
FUTURE 6TH LEVEL  
1/8" = 1'-0"

FUTURE 6TH LEVEL 7,547 SF

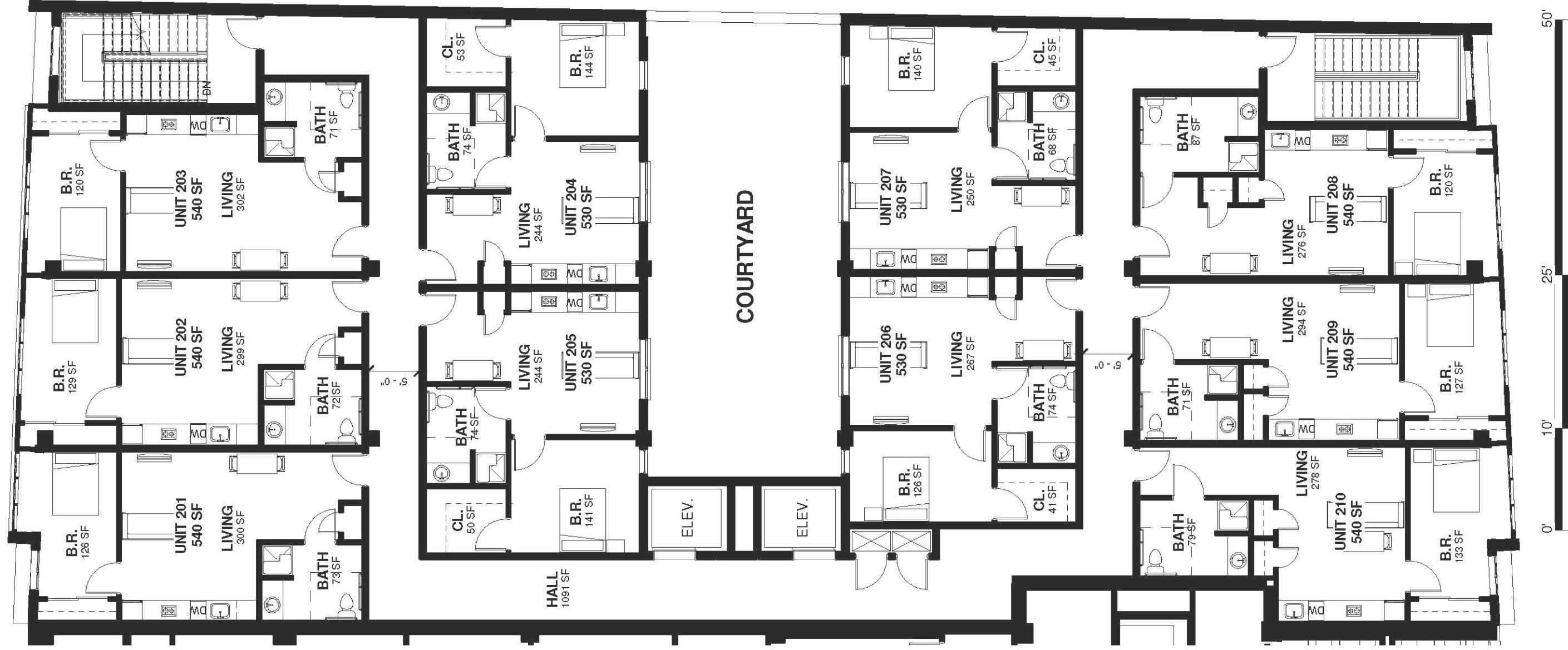
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OWNER CLIENT: \_\_\_\_\_ DATE APPROVED: \_\_\_\_\_

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FUTURE EXPANSION OF:  
  
THE WESTERNER  
  
10 E. BROADWAY  
TUCSON, AZ 85701  
  
SCHEMATIC DESIGN

REVISION	DATE	DESCRIPTION	BY
PROJECT NO.	T16-10		
DATE	JANUARY 2016		
SCALE	1/8" = 1'-0"	DRAWN BY	-
DRAWING TITLE	FIFTH / SIXTH LEVELS		
DRAWING NUMBER	A-6		



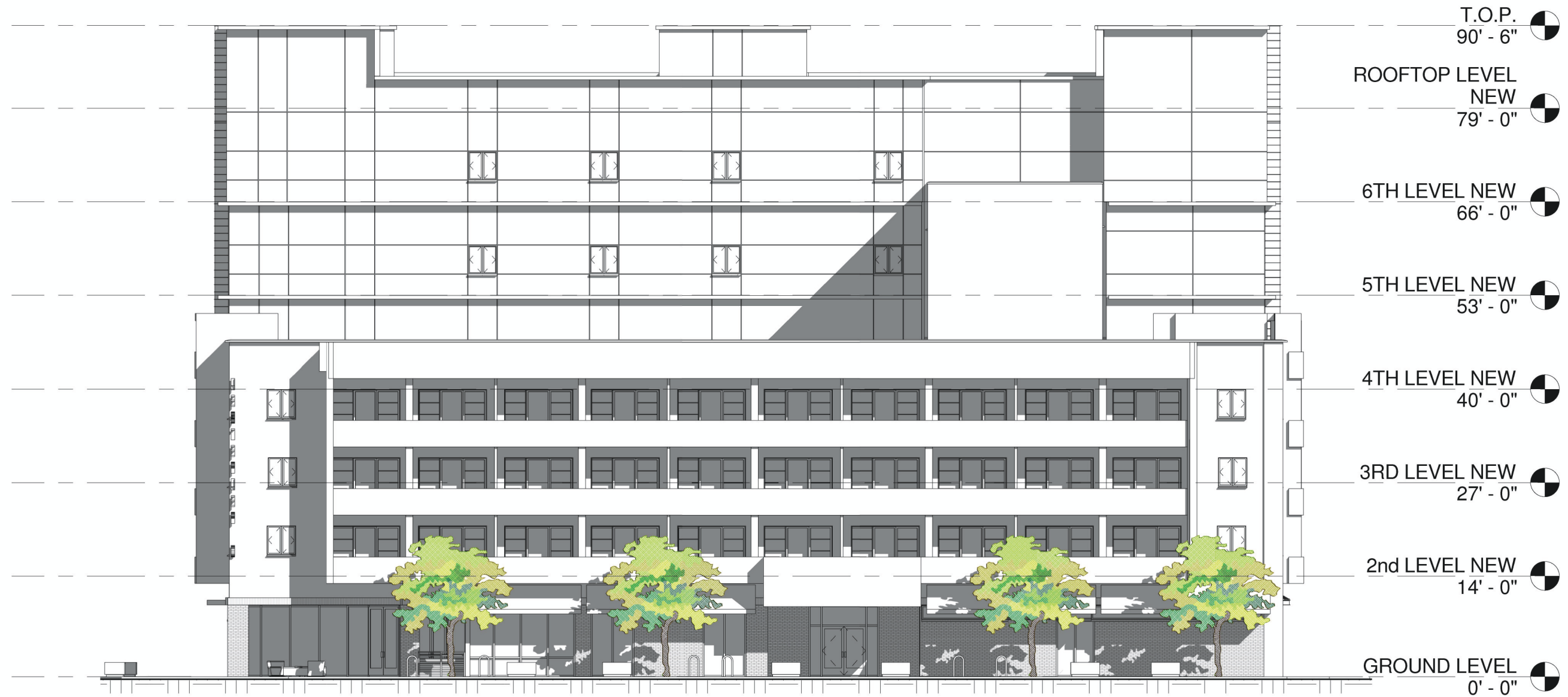
FUTURE 2ND LEVEL 7,547 SF





1 **FUTURE NORTH ELEVATION**  
 SD-9 1/16" = 1'-0"





1 **FUTURE WEST ELEVATION**  
SD-7 1/16" = 1'-0"

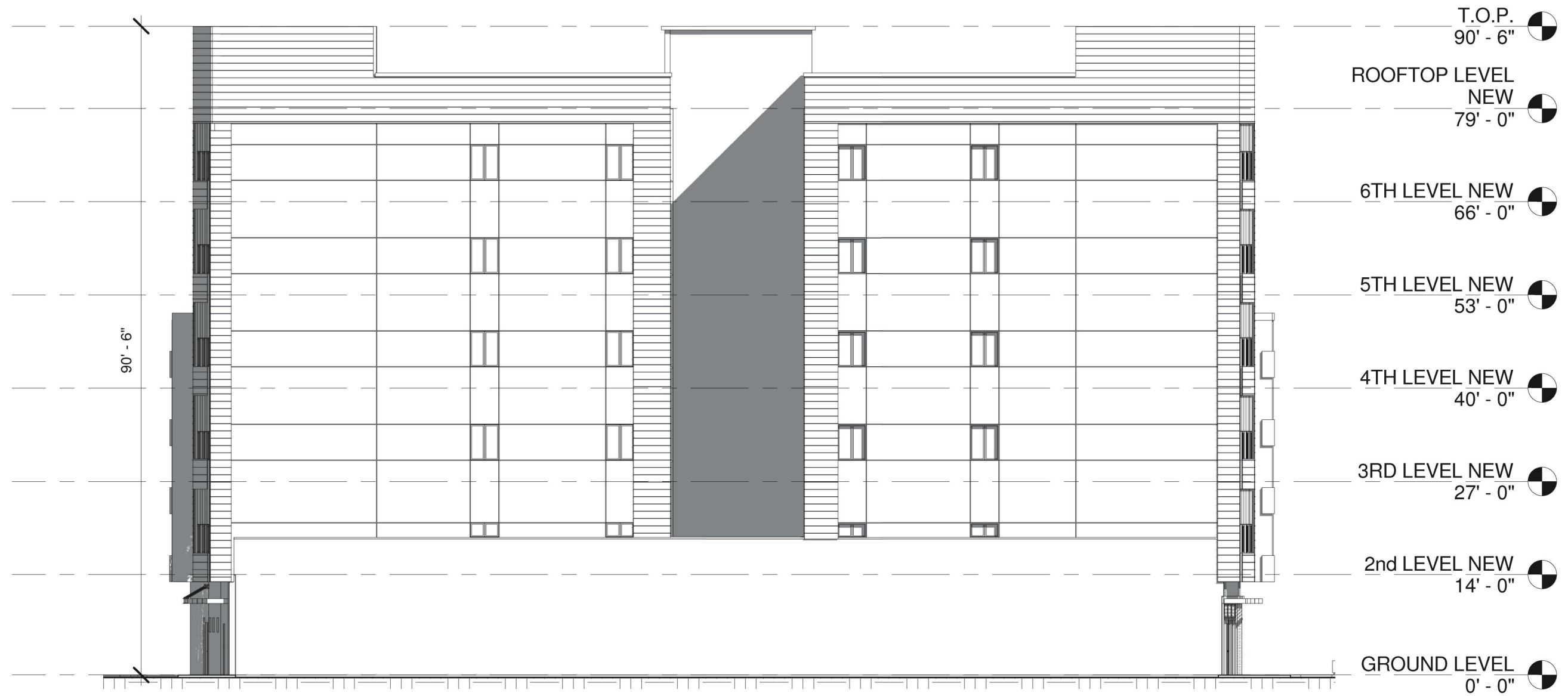






1 **FUTURE SOUTH ELEVATION**  
SD-10 1/16" = 1'-0"





1 **FUTURE EAST ELEVATION**  
SD-8 1/16" = 1'-0"







**NORTH ELEVATION COLOR**





WEST ELEVATION COLOR





**SOUTH ELEVATION COLOR**





EAST ELEVATION COLOR



# WEST POINTE APARTMENTS

## RENDERING





# WEST POINTE APARTMENTS

## RENDERING









# WEST POINTE APARTMENTS

## INFILL INCENTIVE DISTRICT APPLICATION RESPONSES:

1. State the applicant's intention to use the IID zoning option in lieu of existing underlying zoning.

The intention for using the Infill Incentive District Zoning option is mainly for scheduling purposes. The IID zoning option is nearly a 1/3 less time related to length of submittal and approval. The other reason is the mission statement for the IID. The IID gives incentives to owners and developers to help beautify our streets and that fits with our goals. For a department of the City to be solely committed to positive growth of our City was incentive enough for our team to want to do these types of projects.

2. Describe how the project is consistent with the IID purpose to create sustainable infill development.

One of the goals of the IID is to encourage and create sustainable infill development. The most sustainable building is a building that already exists. By renovating and rehabilitating the existing beautiful historic structure holds true to the IID purpose and goals. Another shared concern of the IID is encouraging growth at our City's core instead of our City's limits. We are proposing to add medium density residences vertically and not horizontally. This discourages horizontal growth, or sprawl, which our limited downtown cannot sustain. Lastly, the IID was created to help discourage certain modes of transportation and facilitate others like light rail. By utilizing this location which is directly in front of a modern street car stop and a zero lot line building with no parking, we encourage the tenants and the employees to seek out other modes of transportation including light rail, car-pooling, biking and walking.

3. Describe the benefits the project will bring to the adjacent properties and the surrounding area.

The benefits far out-weigh the negatives by developing this particular property. This parcel is currently already along the street car route and as mentioned above, it has a stop directly in front of the building. This boosts excitement for downtown progress which gives more people an incentive to relocate to the City. It is a fact that when other developers see their City's downtown growing with hustle and bustle, they want to be part of the action. For the last couple of years, the downtown of Tucson has been expanding, in population as well as structures. This building will have street level rentable commercial/office tenant spaces that will keep storefront activity long after regular business hours. This will not only provide the surrounding area with more job opportunities but also will keep busy and vibrant street level activity, another IID encouragement. This benefits everybody.

Planning and Development Services Department

4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent property.

The renovating of the existing historic building and the new vertical construction on its rear half, will have very little adverse effects on any adjacent properties. During construction, noise will be mitigated by keeping strict schedules of operation during business and daylight hours only. Normal pedestrian activity will remain due to covers being constructed over the existing sidewalks. The only adjacent lot directly



# WEST POINTE APARTMENTS

## INFILL INCENTIVE DISTRICT APPLICATION RESPONSES:

affected by construction is to the East. This is a surface vehicle parking lot, so minimal disruption will occur. Any or all demolition from the property and disposal of waste will occur at the south end of the parcel on a Jackson Street. The General Contractor will purchase a few parking meters on the south side so disruption of parking will be minimal. Besides routine noise and vibration during any development, the adverse effects will be minimal to none for the adjacent properties.

5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Standards:

A local Landscape Architect has been hired to inspect, beautify and comply with the Design standards laid out by the City's Unified Development Code. The same Landscape Architect was hired to do similar landscaping to 1 E. Broadway which is located just across the street. That location's street landscaping met and exceeded the design standards introduced by the Planning and Development Services department. The appropriate usage of trees, pavers, benches and bicycle parking will encourage safe and friendly usage by pedestrians.

Design Standards (UDC Sec. 5.12.8.A).

6. Describe how the project will support a safe streetscape coordinated with adjoining properties.

Like stated in the previous response, the same Landscape Architect who did the street-scape landscaping is also performing this task. Their goal is to maintain streetscape City standards, enhance the beauty of the street and pedestrian walkways while coordinating similar approaches with all the adjacent and surrounding streetscapes. By adding trees, benches, planters and bicycle parking racks, not only are we creating an aesthetically pleasing environment, but also are creating safe passages for pedestrians and cyclists by inserting barriers between them and the vehicles driving close by.

7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC Sec. 5.12.8.B).

The proposed building is not adjacent to or abuts any single family detached residence or duplex residential properties. These Development Transition Standards do not apply.

8. Indicate whether the project will significantly impede solar energy options to adjacent properties.

This project is located at 10 E. Broadway Blvd. Directly to the East of this parcel is a surface parking lot. There are currently no solar energy options on this parcel. The only opportunity for the Westerner's shadow to impede on the property is late in the day when solar loses its effectiveness. The impact on the East adjacent site is very minimal. The parcel across the street to the South is located directly south of the building and will never interfere with solar capabilities due to our location in the Northern hemisphere.

The building directly to the West is a Historic building currently owned by Cope Properties. The façade of this building will have a shadow cast on it only in the early morning hours of each day. The shadow does not reach the roof of the building which would interfere with solar options. The building directly to the North of the Westener is 1 W. Broadway. The shadow will cast on the southern façade of 1 W. Broadway between the approximate hours of 11am to 1pm each day. This only affects the façade and not the roof where solar capabilities would be utilized. Ultimately, the proposed addition will have a very minimal effect on any surrounding buildings or properties where it concerns solar energy options.

9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.

The proposed project is located within the Downtown Core district. The building's proposed streetscape will be using drought tolerant shrubs like Lantana, Lady Slipper and Mexican fence post cacti. This is required per the approved City of Tucson Plant List, as well as species that the Landscape Architect has used in prior IID submittals. This results in a drastically lower potable water demand ratio per square foot of usable space than a typical residential or commercial development ratio. The existing Heritage Live Oak trees will remain as they are already part of the downtown Tucson streetscape. All of these species of plants were selected to not only comply with drought tolerant landscaping, but can also be found locally in our environment. We believe that using local species will complement the drama of the desert landscape as well as enhance the beauty of the street scape from which it once might have grown.

For any IID Plan that involves a reduction in parking, the applicant must:

1. Demonstrate how the proposed reduced off-street motor vehicle parking will not have an adverse impact on adjacent properties.

See attached Traffic & Parking Study prepared by Traffic Engineer.

2. Demonstrate how traffic generated by the off-street motor vehicle parking proposed in the application does not burden neighboring residential streets.

See attached Traffic & Parking Study prepared by Traffic Engineer.



# WEST POINTE APARTMENTS

## TRAFFIC ENGINEER STATEMENT:

*M Esparza*  
Engineering, LLC

Transportation Planning  
Traffic Engineering  
Consulting

### TRAFFIC MEMORANDUM

To: Mr. Philip Carhuff, AIA  
Carhuff and Cueva Architects, LLC

Cc: Richard Macias, P.E.

From: Marcos Esparza, P.E.  
Senior Associate

Date: January 11, 2016

Subject: **The Westerner Parking Study**



ME-Eng 2015.27

#### Introduction

The Westerner is a mixed-use residential project on the southeast corner of Broadway Boulevard/Stone Avenue in downtown Tucson Arizona. The physical address is 10 East Broadway Boulevard. On the project site is an existing four-story office building with a one-story section to the east.

The proposed project will demolish the eastern half of the building and construct a six-story building. The top five floors will include fifty residential apartments and the bottom floor would be office space. The western half of the project will remain as a four-story office building.

The existing property does not have any on-site parking spaces and no new parking spaces are proposed for the project. Potential tenants, both office and residential, would be informed of the lack of on-site parking. The residential project will appeal to potential tenants who do not require parking spaces due to limited use of or non-ownership of motor vehicles.

Project team members met with Planning and Development Services and Department of Transportation staff on November 13, 2015. City staff was informed that no new on-site parking spaces were planned for this project.

City of Tucson Department of Transportation staff has required a traffic statement justifying the relief requested for no parking spaces for this project. This report is provided to provide such support.



# WEST POINTE APARTMENTS

## TRAFFIC ENGINEER STATEMENT:

*The Westerner  
Traffic Statement*



Proposed Future rendering

Source: Carhuff and Cueva Architects

### Support for Parking Space Relief

The urban project setting is easily accessed by transit, walking and bicycling. As a downtown residential project, typical traffic impacts are not expected. Trip generation and parking generation rates, and concomitant impacts to surrounding streets, will be much less than a typical mixed use (office and residential) development based on the following:

- The residential project will primarily serve tenants for whom the downtown culture is appealing. The appeal is for those without cars and for those whose lifestyle choice includes travel via alternate modes such as transit, bicycling or walking.
- This area has a “Walk Score<sup>1</sup>” of 81, one of the highest in the Tucson area.
- The site is adjacent to or near several Sun Tran bus routes and the Ronstadt Transit Station.
- The Tucson Modern Streetcar travels on Broadway, with a stop on the north side of the project.
- Established pedestrian infrastructure (sidewalks, transit stops and crosswalks) and proximity to the Downtown and 4<sup>th</sup> Avenue Business District encourage travel by alternate modes.
- Recent aggressive development in the downtown area has added grocery stores, general retail, restaurants and bars, as well as other employment opportunities.
- Abundant public parking is readily available within walking distance to the project.

<sup>1</sup> “Walk Score” is a measurement of a City’s, or neighborhoods general measure of “walkability”. It measures how easy it is to access employment, retail and entertainment facilities without needing a motor vehicle. The general Walk Score for Tucson as a whole is 39, indicating that Tucson is car-dependent city. The project area’s Walk Score of 81 indicates that most errands can be done on foot. Further information is provided in [www.walkscore.com](http://www.walkscore.com).



# WEST POINTE APARTMENTS

## TRAFFIC ENGINEER STATEMENT:

*The Westerner  
Traffic Statement*

- There is no existing on-site parking for the existing office space within the project site.

It is anticipated that most residential tenants will be those who will walk, bike, or use transit rather than drive a motor vehicle on a regular basis. As such, the motor vehicle trip rate would be much lower than a typical apartment. There are existing off-site parking spaces to accommodate any projected motor vehicle parking needs.

### **Downtown Infill Incentive District**

The project area is within the Downtown Core Sub district of the City of Tucson's Downtown Infill Incentive District, or IID. Development within the IID is encouraged and has been aggressive since its adoption and authorization by the City Council.

The City of Tucson's Unified Development Code provides guidance that allows for a reduction in parking spaces in the IID for the land uses that are approved within its area. This guidance is found in Section 7.4.5 Reductions and Exemptions of the UDC.

It should be noted that there are several residential projects in the IID with few to no on-site parking spaces. A sample of these include,

- One North Fifth
- The Cadence
- One East Broadway
- Herbert Residential

### **Nearby Parking**

The provision of new parking spaces within the property limits is not feasible. However, there are a number of parking spaces in the vicinity of the project.

Cardiff-Cueva Architects recently prepared a Capital Needs Assessment (CNA) for the project and included a map and list of nearby surface parking lots, subterranean parking lots and parking garages within a six-minute walk of the property. These are provided as an attachment to this report.

The closest parking spaces to the project site are the on-street parking spaces adjacent to the project on Jackson Street and Stone Avenue, and at the La Placita Parking Garage, southwest of the project. As shown in the attachment, there are several other off-site parking lots and garages within short walking distance of the project site.

### **Development Plan**

Grenier Engineering recently submitted a development plan to the City of Tucson for this project. The development plan describes and shows the loading spaces and adjacent off-site parking spaces and area. This plan was approved by the City of Tucson Department of Transportation on December 28, 2015.

# WEST POINTE APARTMENTS

## TRAFFIC ENGINEER STATEMENT:

*The Westerner  
Traffic Statement*

### Conclusions

This project will be another positive economic addition to downtown Tucson. It will also be a good representative project that follows the City's plan to discourage motor vehicle use in the urban area, as envisioned by the planners and public officials who crafted the IID.

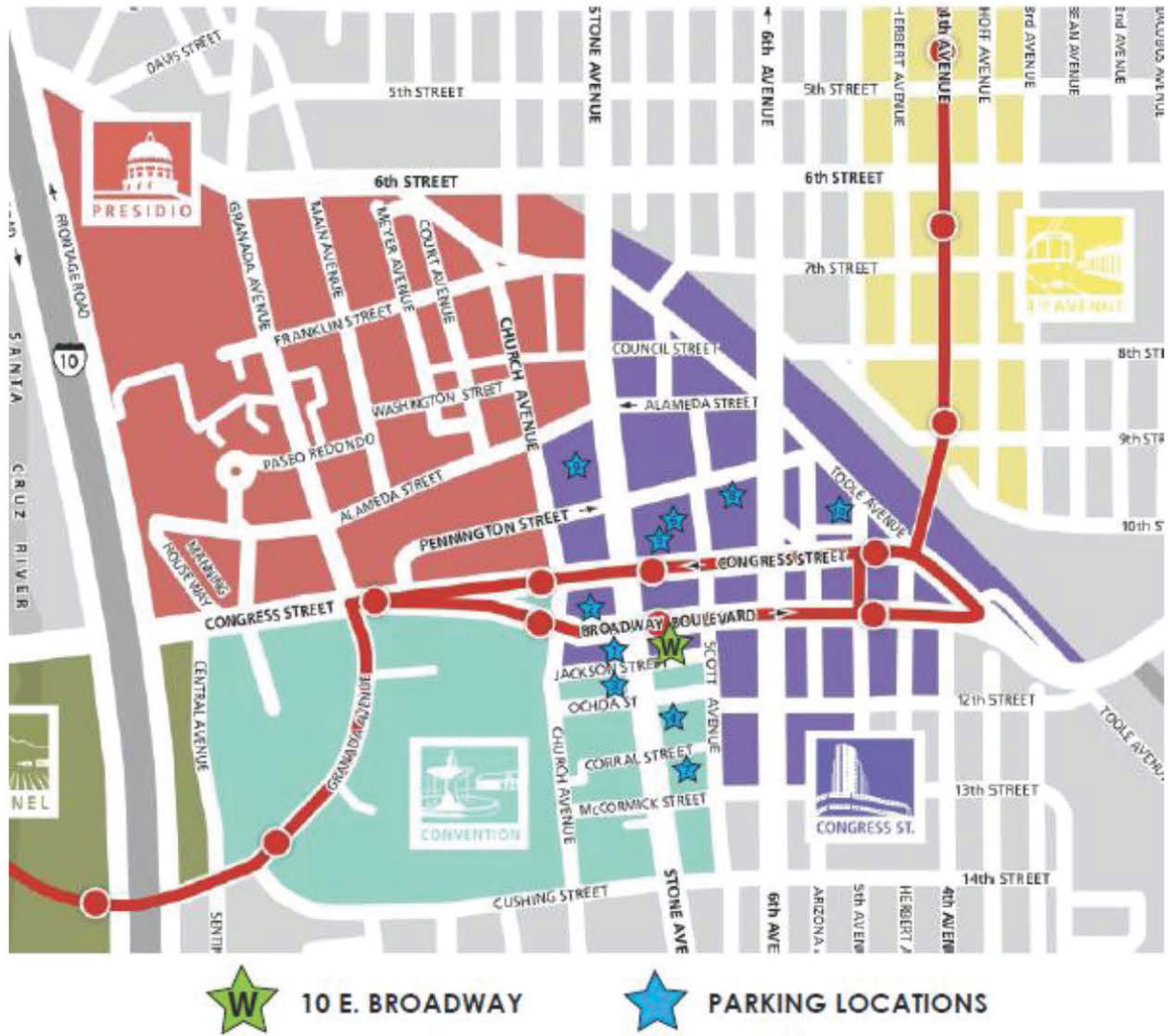
The project developers should provide information and/or incentives for office and residential tenants of the project to encourage the use of non-motor vehicular modes of travel to and from the project. Information on Pima Association of Governments' Sun Rideshare program could benefit office workers seeking carpool opportunities. Maps of nearby parking areas should also be provided for the office employees and patrons. For the residential tenants, information on alternative mode opportunities, such as transit schedules, The Loop maps, and maps of downtown businesses could be provided in common areas of the building.



# WEST POINTE APARTMENTS

## TRAFFIC ENGINEER STATEMENT:

### 10 E. BROADWAY PARKING VICINITY MAP



Source: City of Tucson, Carhuff + Cueva Architects



## TRAFFIC ENGINEER STATEMENT:

### Parking Map Key

<p>1. Surface parking: 62 S Stone Ave Distance: 0.06 miles (2 minute walk) Flat fee: \$6.00</p>	<p>6. Surface parking: 41 E Pennington Street 76 Distance: 0.14 miles (3 minute walk) Flat fee: \$6.00</p>
<p>2. Subterranean parking: 55 W Broadway Blvd Distance: 0.07 miles (2 minute walk) Hourly fee: \$3 an hour, \$1.50 each additional hour Flat fee: \$9.00</p>	<p>7. Surface parking: 23 E Corral Street Distance: 0.16 miles (4 minute walk) Flat fee: \$5.00</p>
<p>3. Garage parking: La Placita Garage 211 S. Church Avenue Distance: 0.09 miles (2 minute walk) Flat fee: \$5.00 Monthly Parking: Available \$ unknown</p>	<p>8. Garage parking: Pennington Street Garage 110 E. Pennington St. Distance: 0.21 miles (5 minute walk) Monthly Parking: Available \$85.00</p>
<p>4. Surface parking: 160 S Scott Ave Distance: 0.12 miles (3 minute walk) Flat fee: \$5.00</p>	<p>9. Garage parking: Main Library Garage 101 North Stone Avenue Distance: 0.20 miles (5 minute walk) Monthly Parking: \$65.00</p>
<p>5. Subterranean parking: Old Pueblo Garage 25 E. Congress St. Distance: 0.14 miles (3 minute walk) Flat fee: \$5.00 Monthly Parking: Available \$ unknown</p>	<p>10. Garage parking: Depot Plaza Garage 45 N. 5th Avenue Distance: 0.3 miles (6 minute walk) Monthly Parking: Available \$65.00 10 E.</p>

**Source: Carhuff+Cueva Architects**



# WEST POINTE APARTMENTS

## COLOR SAMPLES



EXTERIOR STUCCO:

DUNN EDWARDS

LOOKING GLASS

DE6376

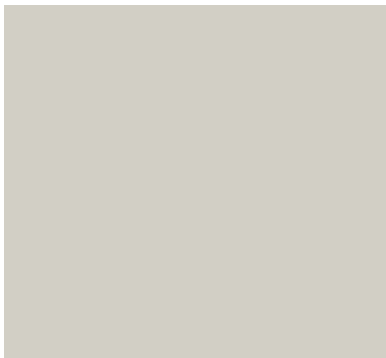


EXTERIOR STUCCO:

DUNN EDWARDS

STUFFED OLIVE

DE5529

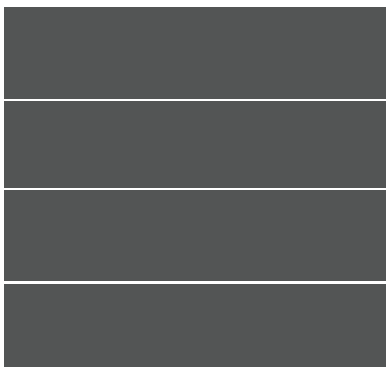


EXTERIOR STUCCO:

DUNN EDWARDS

MINER'S DUST

DEC786



METAL PANELS:

AEP SPAN

COOL ZINC GRAY

12" PANEL

