

PERMITTING NOTES

A. ZONING AND LAND USE NOTES

- EXISTING ZONING IS R-3 RESIDENTS ZONE (TO REMAIN UNCHANGED).
- THE GROSS AREA OF THE SITE IS 24,528 S.F., 0.5631 AC.
- THE EXISTING USE OF THIS PROPERTY IS RESIDENTIAL, GROUP DWELLING, (TO REMAIN UNCHANGED) AND IS SUBJECT TO USE SPECIFIC STANDARD 4.9.7.B.6.
- PROPOSED BUILDING INFO:
TOTAL BUILDING GFA AFTER IMPROVEMENTS= 17,979 S.F., TOTAL BEDROOMS= 27, TOTAL BEDS= 55, (51 EXISTING BEDS PROVIDED= 4 NEW BEDS TOTAL)

B. DRAINAGE NOTES:

- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- THIS PROJECT IS NOT AFFECTED BY THE CITY OF TUCSON FLOODPLAIN REGULATIONS PER TECHNICAL STANDARDS SEC. 2-01.3.7.B.2.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.

C. STREETS AND ROADS NOTES

- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- TOTAL MILES OF NEW PUBLIC STREETS IS 0. TOTAL MILES OF NEW PRIVATE STREETS IS 0.

D. UTILITIES NOTE

- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.

E. WASTEWATER MANAGEMENT NOTES

- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, AS CURRENTLY AMENDED.
- ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- SEWERAGE DISPOSAL WILL BE BY PRIVATE INDIVIDUAL DISPOSAL SYSTEMS. CONCEPTUAL APPROVAL BY THE PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY FOR PRIVATE INDIVIDUAL DISPOSAL SYSTEMS WILL BE OBTAINED PRIOR TO APPROVAL OF THE DEVELOPMENT PACKAGE DOCUMENTS.

SOLID WASTE

WASTE STREAM CALCULATIONS:

- USE: MULTI-FAMILY (0.0057 TONS/SF, TOTAL SF = 17,797 SF)
0.0057 TONS/SF X 17,797 SF = 101.4 TONS/YEAR
- SIZE & COLLECTION FREQUENCY
101.4 TONS/YEAR / 52 WKS/YEAR = 1.95 TONS/WK
1.95 TONS/WK X 2,000 LBS/TON = 3,900 LBS/WK
3,900 LBS/WK / 3 LBS/GAL = 1,300 GAL/WK (TOTAL WASTE)
1,300 GAL/WK / 201.97 GAL/CUBIC YARD = 6.44 CUBIC YARDS/WK (TOTAL WASTE)

MINIMUM COLLECTION: 1-6 CUBIC YARD WASTE SHALL BE COLLECTED 2 TIMES PER WEEK.

VEHICULAR PARKING CALCULATIONS

	REQUIRED	PROVIDED
DORMATORY, FRATERNITY, OR SORORITY - 0.7/RESIDENT OR BED (0.7x55 = 38.5) (3 SPACE REDUCTION IS APPLIED HERE FROM THE SHORT TERM BICYCLE PARKING COVERAGE)	36	11
EXISTING OFFSITE PARKING: (7 DESIGNATED SPACES ON MARTIN AVE.)	-	7*
(7 DESIGNATED SPACES ON NORTH ALLEY)	-	7
ACCESSIBLE (INCLUDES VAN SPACES)	1	1
VAN ACCESSIBLE	1	1
TOTAL	36	25
LOADING	0	0

* THE NORTH 7 SPACES IN MARTIN AVE. ARE PERMITTED FOR SORORITY USE ONLY.

BICYCLE PARKING CALCULATIONS

	REQUIRED	PROVIDED
SHORT TERM: GROUP DWELLING - 0.1 SPACES/BEDROOM	3	21
LONG TERM: GROUP DWELLING - 0.5 SPACES/BEDROOM	14	26

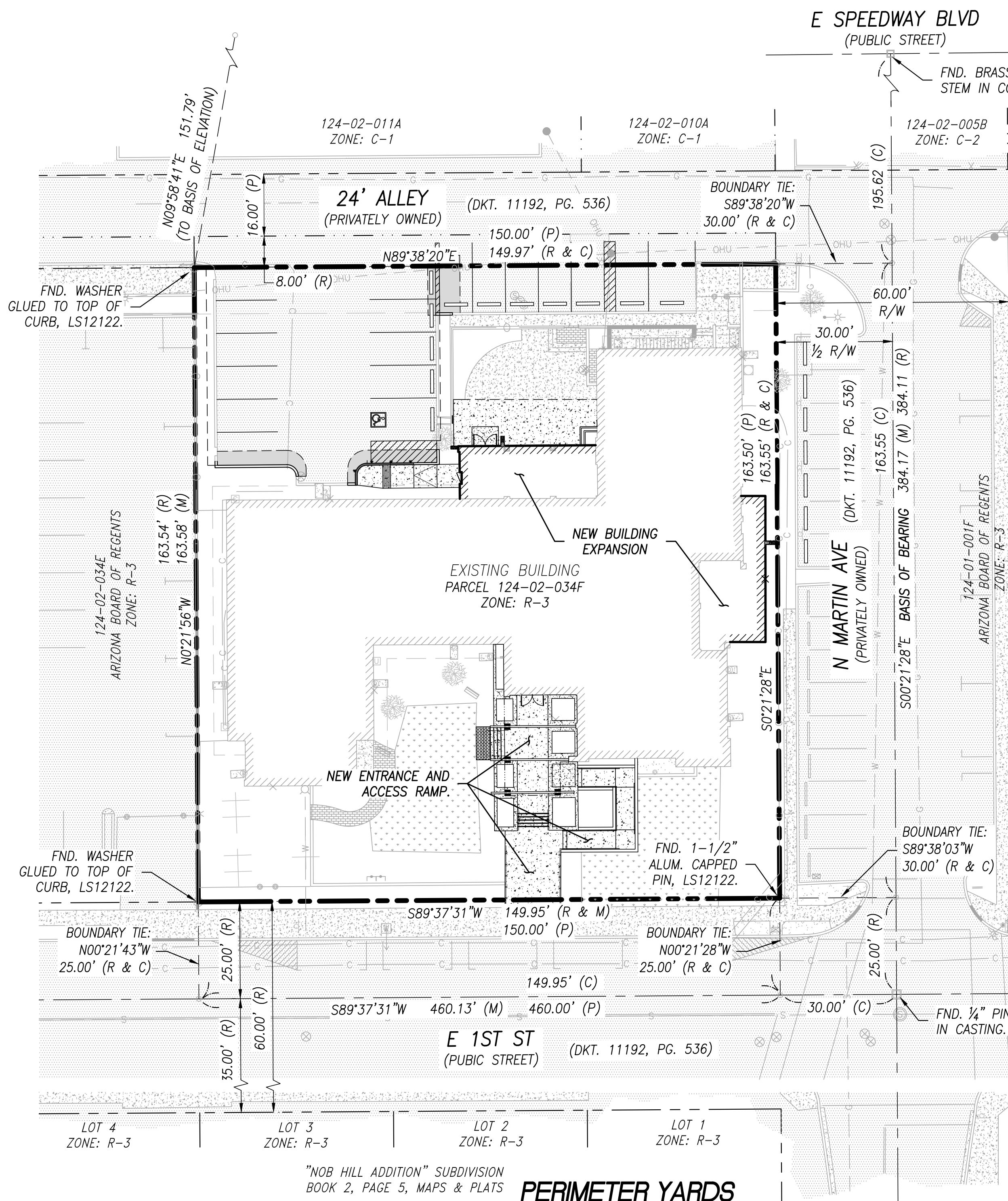
* LONG TERM BICYCLE PARKING SHALL BE LOCATED INSIDE OF BUILDING

BUILDING EXPANSION CALULATION

	EXISTING AREA (SF)	ADDITION AREA (SF)	TOTAL (SF)
BASEMENT	1,095		1,095
MAIN LEVEL	8,912	931	9,843
SECOND LEVEL	4,876	1,983	6,859
TOTAL	14,883	2,914	17,797

* TOTAL INCREASE= 19.6%

DEVELOPEMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY 1779 E 1st STREET - TUCSON, AZ 85719 SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ



PERIMETER YARDS

	REQUIRED	PROVIDED
NORTH (ALLEY) 10' OR 3/4 (H)	VARIES	VARIES
SOUTH (E 1ST STREET) 20' OR 1.5x(H)	VARIES	VARIES
EAST (N MARTIN AVE) 10'	10.00'	VARIES
WEST (PARKING LOT) 10' OR 3/4 (H)	19.17'	7.85'

NOTE: SEE SHEET C3.0 FOR BUILDING SETBACK DIMENSIONS.



SHEET INDEX

1	-	C1.0	COVER SHEET
2	-	C1.1	NOTES & LEGEND
3	-	C2.0	DEMOLITION PLAN
4	-	C3.0	SITE PLAN
5	-	C4.0	GRADING PLAN
6	-	C4.1	GRADING DETAILS/SITE DETAILS
7	-	C5.0	PRIVATE UTILITY PLAN
8	-	C6.0	HORIZONTAL CONTROL PLAN

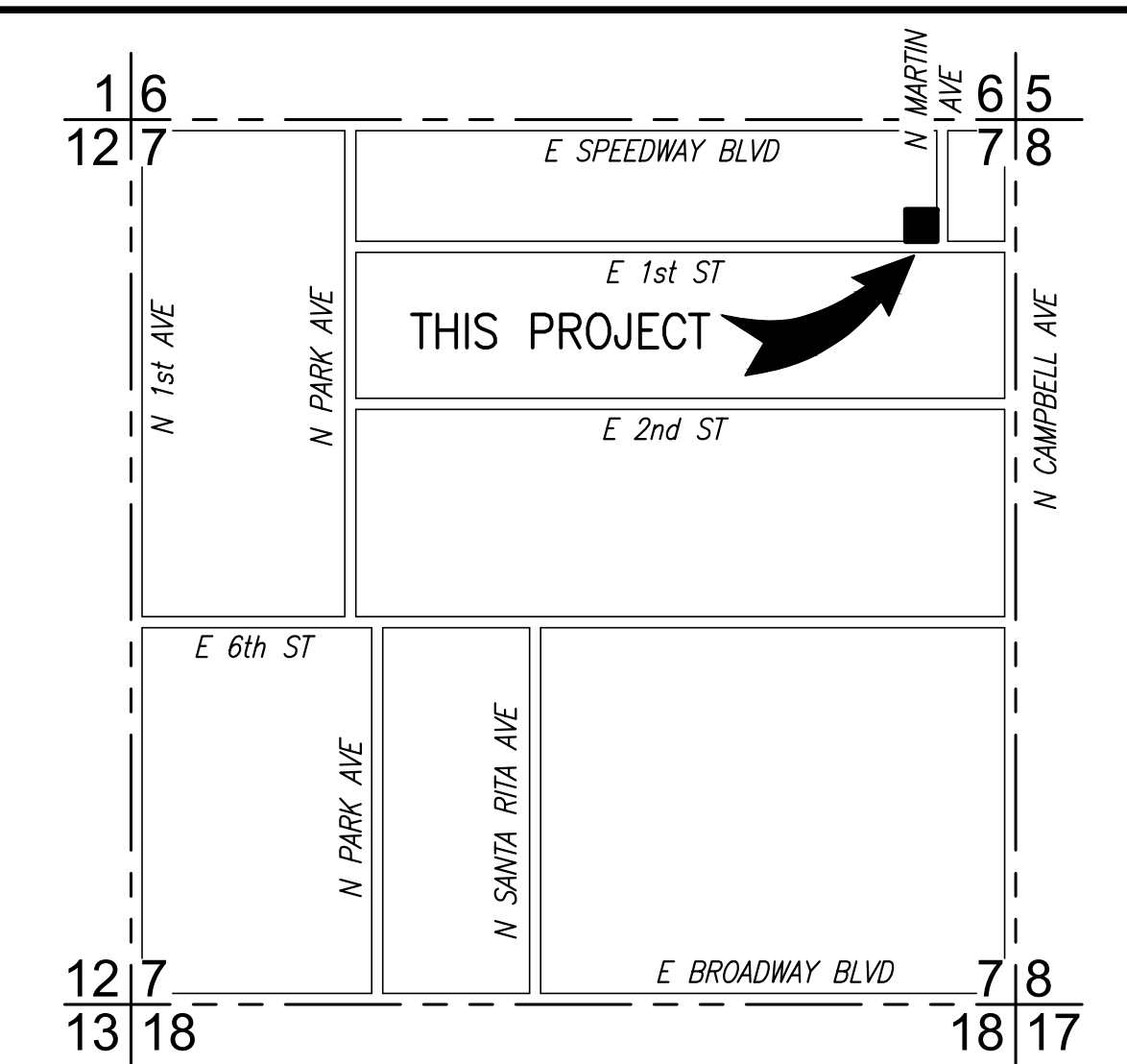
BASIS OF BEARING

BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF MARTIN AVENUE, BETWEEN SPEEDWAY BOULEVARD AND FIRST STREET, LYING WITHIN SECTION 7, TOWNSHIP 14 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA. SAID BEARING BEING SOUTH 00°21'28" EAST, AS SHOWN HEREON.

BASIS OF ELEVATIONS

BASIS OF ELEVATIONS: THE BASIS OF ELEVATIONS FOR THIS PROJECT IS AN UNNAMED CITY OF TUCSON (COT) BENCHMARK BEING A CHISELED "X" ON ROUND CONCRETE BASE OF NORTHERNMOST LIGHT POLE IN EAST PARKING LOT OF "SPEEDWAY MERCHANTS" (LOCATED N09°58'41"E, 151.79 FEET FROM THE NORTHWEST CORNER OF THE SUBJECT PARCEL). SAID ELEVATION BEING 2465.61 (NAVD-88) PER COT FIELD BOOK 2332, PAGE 56 (LEFT).

P.C. APPROVAL STAMP



LOCATION MAP

A PORTION OF SECTION 7, T-14-S, R-14-E, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA
SCALE: 3" = 1 MILE

OWNER/DEVELOPER

ALPHA CHI OMEGA NATIONAL HOUSE CORPORATION
CONTACT : AMY JO GABEL
ADDRESS : 1420 E. 1ST STREET
TUCSON, AZ 85719
PHONE : (859) 333-8090
EMAIL : AJGabel@alphachiomega.org

ARCHITECT

TRENORHL, INC.
CONTACT : MICHAEL S. HUG
ADDRESS : 55 ROSWELL STREET, STE. 200
ALPHARETTA, GA 30009
PHONE : (678) 254-0423
EMAIL : mhug@trenorhl.com

CIVIL ENGINEER

GRENIER ENGINEERING, INC.
CONTACT : JASON MORSE, P.E.
ADDRESS : 6300 E. EL DORADO PLAZA, SUITE A120, TUCSON, AZ 85715
PHONE : (520) 326-7082
EMAIL : jmorse@greniereng.com

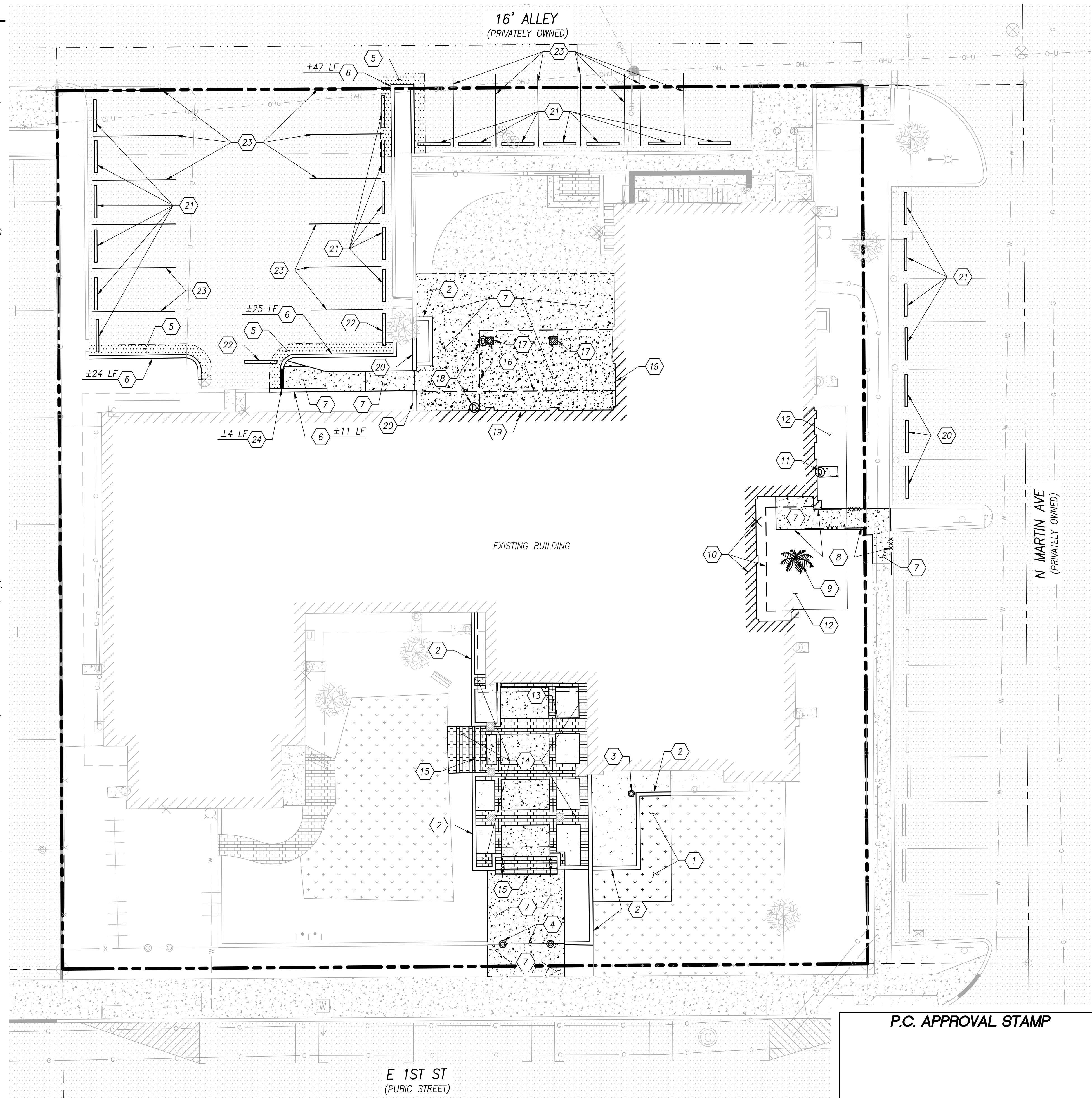
DP21-0351

COT ADMINISTRATIVE ADDRESS:
1779 E 1st STREET
TUCSON, AZ 85719
REF NO'S.: T20FO00174

<p>GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508</p>	<p>Job Number: 21104 Designed By: TL Drawn By: TL Checked By: JM Date: 03/18/2022 Scale: N/A H: 1"=20' Sheet Number: C1.0</p>
<p>Rev # Date Description</p>	<p>Project: DEVELOPEMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY 1779 E 1st STREET, TUCSON, AZ 85719 A PORTION OF SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ</p>

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, INCLUDING DEMOLITION PERMIT, REQUIRED BY GOVERNMENTAL AGENCIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL REGULATIONS AND REQUESTS BY PIMA COUNTY REGARDING DUST POLLUTION.
3. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES OR AGENCIES. UTILITY LOCATIONS SHOWN ARE APPROXIMATE, AND THERE MAY BE EXISTING UTILITIES WHICH ARE NOT SHOWN ON THESE PLANS; THEREFORE, THE POSSIBILITY OF CONFLICTS WITH UTILITIES IN SERVICE EXISTS. THE CONTRACTOR SHALL CALL "BLUE STAKE CENTER" AT 1-800-782-5348, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION, TO REQUEST VERIFICATION OF THE LOCATION AND ELEVATION OF ALL UTILITIES WITHIN THE WORK AREA. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COSTS INCURRED AS A RESULT OF DAMAGE TO UTILITIES CAUSED BY HIS OPERATIONS.
4. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO COMMENCING WORK TO DISCONNECT, SHUT OFF, OR STUB OUT ANY EXISTING UTILITIES AFFECTED BY THE DEMOLITION.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
6. THE CONTRACTOR AGREES TO PROTECT ALL ADJACENT PROPERTY AND EXISTING IMPROVEMENTS, INCLUDING POSITIVE CONTROL OF EARTH SPILLAGE, CONSTRUCTION WATER, AND RUNOFF WATERS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED AND/OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, AND/OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
8. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
9. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION MATERIALS PER CITY AND/OR COUNTY REGULATIONS.
10. AN APPROVED COPY OF THIS PLAN SHALL BE KEPT ON LOCATION AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR THE CONTROL OF DUST FROM DEMOLITION ACTIVITIES. THE COST THEREOF IS TO BE INCLUDED IN THE CONTRACT PRICE.
12. THE EXISTENCE AND LOCATION OF ANY EXISTING UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A REPRESENTATION OF THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEANS TO PROTECT ANY UTILITY NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
13. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM PIMA COUNTY DEPARTMENT OF ENVIRONMENTAL QUALITY, INCLUDING DUST CONTROL AND ASBESTOS/NESHAP.
14. THE CONTRACTOR SHALL OBTAIN APPROVAL AND CLEARANCE FROM TUCSON FIRE DEPARTMENT PRIOR TO PROCEEDING WITH ANY DEMOLITION WORK.
15. REGARDING DEMOLITION OF EXISTING LANDSCAPE IMPROVEMENT, THE CONTRACTOR SHALL:
 - A. CUT AND CAP ALL LANDSCAPE IRRIGATION LINES SERVING PLANTS TO BE REMOVED.
 - B. ENSURE CONTINUED IRRIGATION SERVICE TO PLANT MATERIAL TO REMAIN.
 - C. PROTECT ALL PLANT MATERIAL TO REMAIN: DO NOT COMPACT SOIL OR PLACE CONSTRUCTION EQUIPMENT OR MATERIAL WITHIN THE AREA UNDER THE PLANT CANOPY.
 - D. SALVAGE AND OFFER ALL LANDSCAPE IRRIGATION EQUIPMENT TO THE OWNER.
 - E. ALL STUMPS OF REMOVED TREES MUST BE COMPLETELY REMOVED BELOW GRADE.
 - F. ALL EXISTING BACKFLOW PREVENTORS SHALL BE SALVAGED.
16. CONTRACTOR SHALL COORDINATE WITH WATER DEPARTMENT FOR EXISTING WATER SERVICES TO BE ABANDONED.
17. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR ARCHITECT FOR MATERIALS TO BE SALVAGED FOR REUSE OR STORAGE.
18. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED CITY AND/OR COUNTY REGULATIONS.
19. PRIOR TO DEMOLITION OCCURRING, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY.
20. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.



KEYNOTES

- 1 EXISTING GRASS AREA TO BE REMOVED.
- 2 EXISTING PLANTER WALL TO BE REMOVED.
- 3 EXISTING FLAG POLE TO BE REMOVED AND SALVAGED PER DIRECTION OF OWNER.
- 4 EXISTING ENTRY GATE TO BE REMOVED AND SALVAGED IF POSSIBLE. IF DAMAGED, A NEW GATE CAN BE INSTALLED AT DIRECTION OF OWNER.
- 5 EXISTING PAVEMENT TO BE REMOVED.
- 6 EXISTING VERTICAL CURB TO BE REMOVED.
- 7 EXISTING CONCRETE SIDEWALK/PAD TO BE REMOVED, SEE HORIZONTAL CONTROL PLAN FOR LIMITS OF DEMO.
- 8 EXISTING RAMP AND HANDRAILS TO BE REMOVED.
- 9 EXISTING VEGETATION TO BE REMOVED.
- 10 EXISTING HOSE BIB TO BE REMOVED WITH PORTION OF BUILDING WALL/OVERHANG FOR NEW EXPANSION, SEE BUILDING PLANS FOR LOCATION OF NEW OF HOSE BIB.
- 11 EXISTING DOWNSPOUT TO BE RELOCATED TO NEW BUILDING EDGE, SEE BUILDING PLANS. RELOCATE SPLASH BLOCK TO NEW DOWNSPOUT LOCATION.
- 12 AREA TO BE EXCAVATED AND TREATED FOR NEW BUILDING EXPANSION.
- 13 PROTECT EXISTING HOSEBIB IN-PLACE, TO BE ADJUSTED TO FINAL GRADE.
- 14 EXISTING PATIO SURFACE TO BE REMOVED AND REPLACED, COORDINATE NEW HARDSCAPE WITH ARCHITECT AND OWNER.
- 15 EXISTING STEPS TO BE DEMOLISHED.
- 16 EXISTING OVERHANG TO BE REMOVED, SEE BUILDING PLANS.
- 17 EXISTING BUILDING COLUMNS TO REMAIN, SEE BUILDING PLANS.
- 18 EXISTING UTILITY TO ADJUSTED, SEE BUILDING PLAN.
- 19 PORTION OF BUILDING WALL TO BE REMOVED FOR NEW BUILDING EXPANSION.
- 20 EXISTING PATIO WALL TO BE REMOVED.
- 21 EXISTING PARKING BUMPERS TO BE RELOCATED, SEE SITE PLAN FOR NEW PLACEMENT.
- 22 EXISTING PARKING BUMPER TO BE REMOVED.
- 23 EXISTING STRIPING TO BE OBLITERATED.
- 24 EXISTING HEADER TO BE REMOVED.

P.C. APPROVAL STAMP

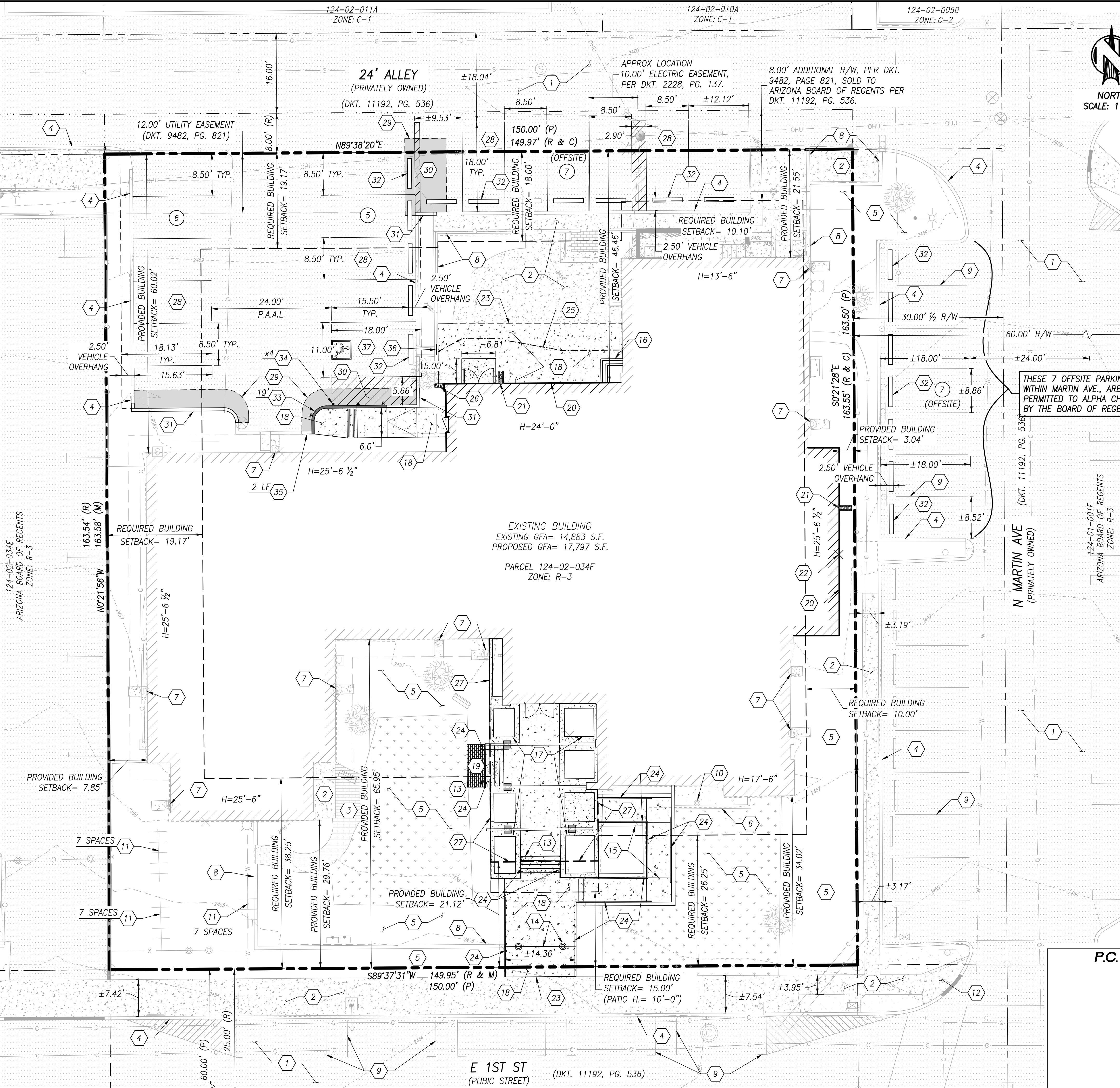
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Rev #	Date	Description
<p>GRENIER ENGINEERING, Inc. Structural & Civil Engineering Consultants 6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508</p>		
Sheet Name	DEMO PLAN	
Project	DEVELOPEMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY 1779 E 1st STREET, TUCSON, AZ 85719 A PORTION OF SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ	
Job Number:	21104	
Designed By:	TL	
Drawn By:	TL	
Checked By:	JM	
Date:	03/18/2022	
Scale:	N/A H: 1"=10'	
Sheet Number:	C2.0	
Sheet 3 of 8		

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124-02-034E
ARIZONA BOARD OF REGENTS
ZONE: R-3

163.54' (R)
163.58' (M)
N07°15'57\"

124-02-011A ZONE: C-1
124-02-010A ZONE: C-1
124-02-005B ZONE: C-2



KEYNOTES

- 1 EXISTING AC PAVEMENT TO REMAIN.
- 2 EXISTING CONCRETE SIDEWALK/PAD TO REMAIN.
- 3 EXISTING PAVERS/HARDSCAPE TO REMAIN.
- 4 EXISTING VERTICAL CURB TO REMAIN.
- 5 EXISTING LANDSCAPING TO REMAIN.
- 6 EXISTING PLANTER TO REMAIN.
- 7 EXISTING DOWNSPOUT AND/OR SPLASH BLOCK TO REMAIN.
- 8 EXISTING BLOCK WALL TO REMAIN.
- 9 EXISTING PAVEMENT STRIPING TO REMAIN.
- 10 EXISTING FLAG POLE TO REMAIN.
- 11 EXISTING BIKE RACK AREA (21 SPACES), TO REMAIN.
- 12 EXISTING SIDEWALK ACCESS RAMP TO REMAIN.
- 13 NEW STAIRS, SEE GRADING PLAN FOR ELEVATIONS. SEE BUILDING PLANS FOR STAIR DETAILS. COORDINATE HARDSCAPE WITH ARCHITECT AND OWNER.
- 14 RE-INSTALL EXISTING ENTRY GATE IF SALVAGED, IF UN-USABLE, COORDINATE NEW GATE WITH OWNER.
- 15 NEW CONCRETE ACCESSIBLE RAMP TO FRONT ENTRANCE, SEE GRADING PLAN FOR DETAILS.
- 16 NEW PLANTER, SEE BUILDING PLANS.
- 17 EXISTING PATIO SURFACE TO BE REMOVED AND REPLACED. SEE GRADING PLAN FOR NEW GRADES. COORDINATE NEW HARDSCAPE WITH ARCHITECT AND OWNER.
- 18 NEW CONCRETE SIDEWALK/PAD PER P.A.G. STANDARD DETAIL 200. 5% MAX. LONGITUDINAL SLOPE AND 2% MAX. CROSS SLOPE. SEE HARDSCAPE PLANS FOR FINISH.
- 19 NEW PAVERS, COORDINATE NEW HARDSCAPE WITH ARCHITECT AND OWNER.
- 20 NEW BUILDING EXPANSION, SEE BUILDING PLANS.
- 21 NEW RE-LOCATED ROOF DRAIN DOWNSPOUT, SEE BUILDING PLANS.
- 22 RE-LOCATED HOSEBIB, SEE BUILDING PLANS.
- 23 CONCRETE SIDEWALK NEW TO EXISTING CONNECTION PER P.A.G. STD. DTL. 203.
- 24 NEW HANDRAIL PER DETAIL 1, SHEET C4.1.
- 25 NEW DRAINAGE FLOWLINE, SEE GRADING PLAN.
- 26 NEW PATIO WALL, CONTRACTOR TO MATCH EXISTING WALL IN-KIND TO CLOSE OFF BACK PATIO & TO MATCH WALL MATERIAL, HEIGHT AND FINISH.
- 27 EXISTING PATIO OVERHANG LIMITS, TO REMAIN.
- 28 NEW STANDARD PARKING SPACE PER DETAIL 2, SHEET C4.1.
- 29 SAWCUT 2' MIN. EXISTING PAVEMENT, TACK AND JOIN TO NEW PAVEMENT.
- 30 NEW A.C. PAVEMENT, MATCH EXISTING PAVEMENT SECTION.
- 31 NEW 6" REVEAL CONCRETE VERTICAL CURB PER P.A.G. STD. DTL. 209, TYPE 2. JOIN NEW CURB TO EXISTING PER P.A.G. STD. DTL. 211.
- 32 RELOCATED PARKING BUMPERS. SEE DETAIL 2, SHEET C4.1.
- 33 NEW CONCRETE HEADER PER P.A.G. STD. DTL. 213, LENGTH PER PLAN.
- 34 NEW POST BARRICADE, TYPE "A" PER P.A.G. STD. DTL. 106, PLACED 5' O.C.
- 35 NEW VERTICAL CURB TERMINAL SECTION PER P.A.G. STD. DTL. 210. MODIFIED LENGTH PER PLAN.
- 36 NEW WALL MOUNTED VAN ACCESSIBLE PARKING SPACE PER DETAIL 3, SHEET C4.1.
- 37 NEW VAN ACCESSIBLE PARKING SPACE PER DETAIL 2, SHEET C4.1.

THESE 7 OFFSITE PARKING SPACES, WITHIN MARTIN AVE., ARE PERMITTED TO ALPHA CHI OMEGA BY THE BOARD OF REGENTS.

N MARTIN AVE
(PRIVATELY OWNED)

124-01-001F
ARIZONA BOARD OF REGENTS
ZONE: R-3

EXISTING BUILDING
EXISTING GFA= 14,883 S.F.
PROPOSED GFA= 17,797 S.F.

PARCEL 124-02-034F
ZONE: R-3

P.C. APPROVAL STAMP

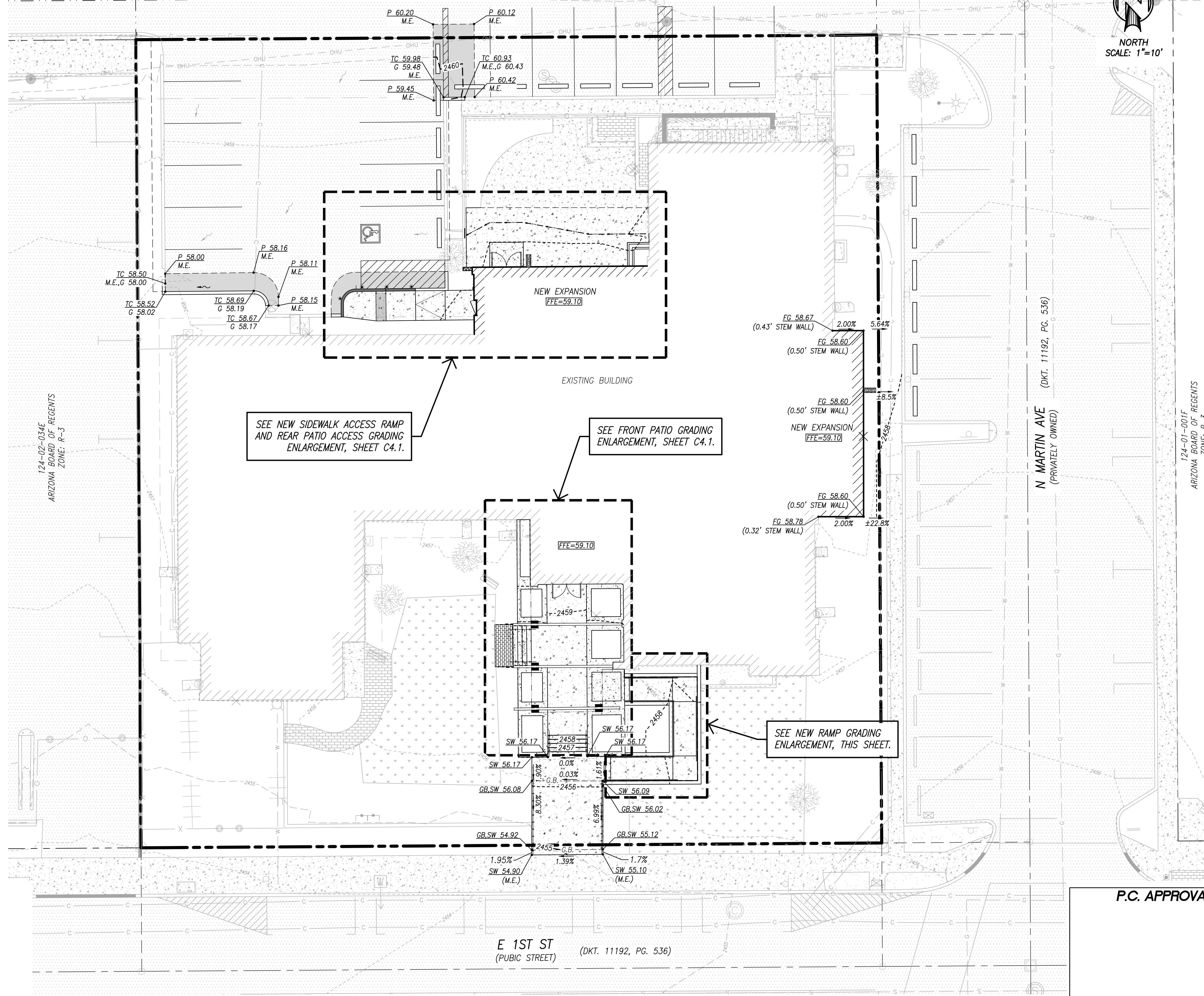
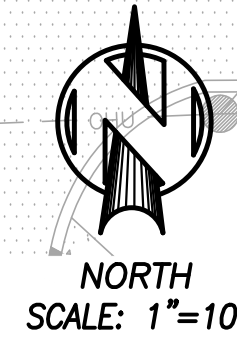
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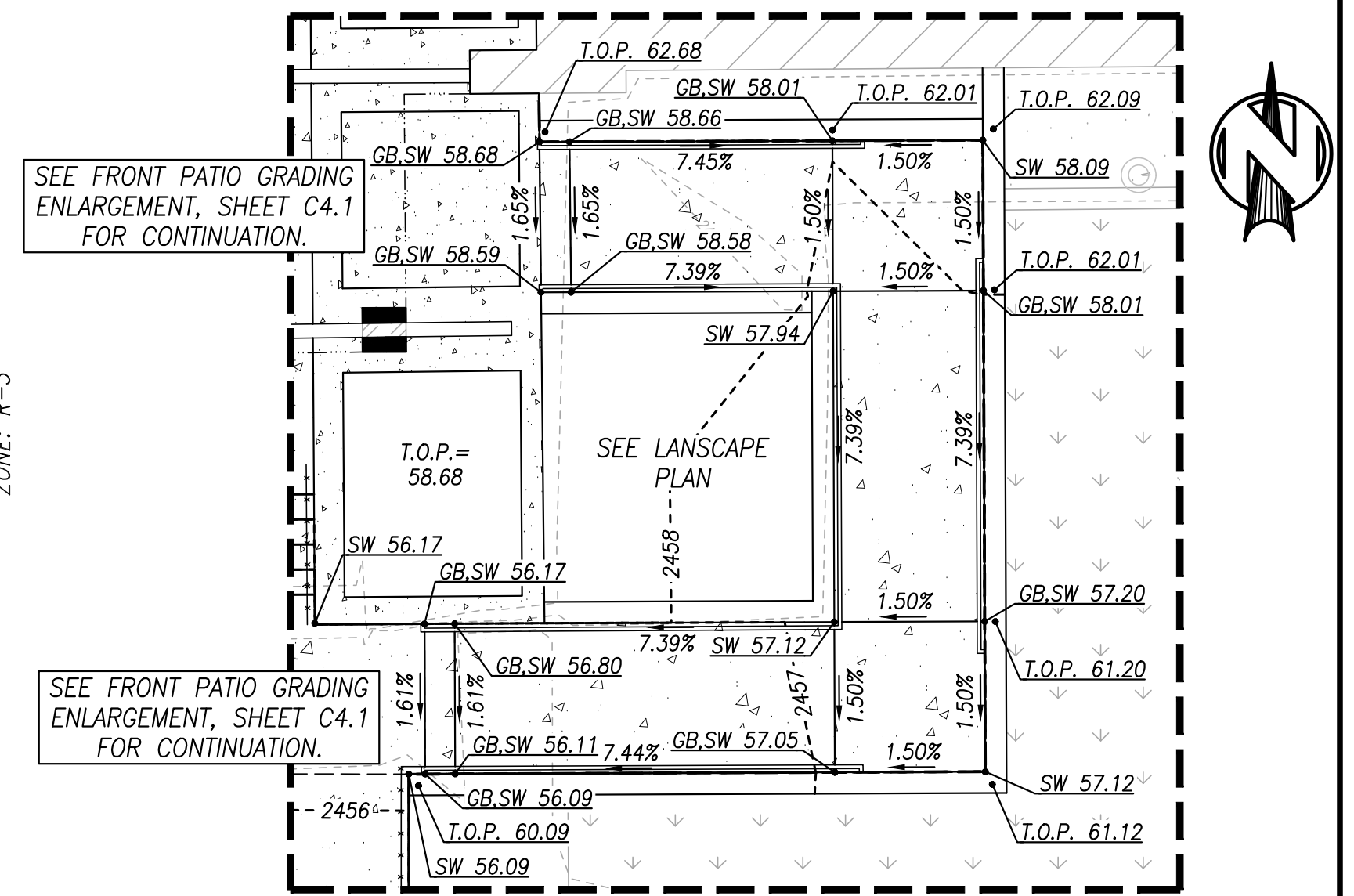
16' ALLEY
(PRIVATELY OWNED) (DKT. 11192, PG. 536)



SEE NEW SIDEWALK ACCESS RAMP AND REAR PATIO ACCESS GRADING ENLARGEMENT, SHEET C4.1.

SEE FRONT PATIO GRADING ENLARGEMENT, SHEET C4.1.

SEE NEW RAMP GRADING ENLARGEMENT, THIS SHEET.



NEW RAMP GRADING ENLARGEMENT
SCALE: 1" = 5'

124-02-034E
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ZONE: R-3

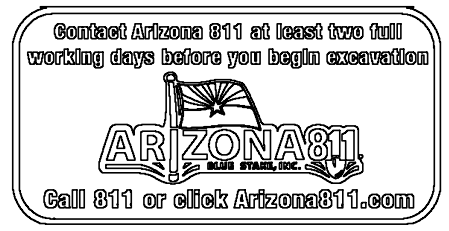
124-01-001F
ARIZONA BOARD OF REGENTS
ZONE: R-3

N MARTIN AVE
(PRIVATELY OWNED) (DKT. 11192, PG. 536)

E 1ST ST
(PUBLIC STREET) (DKT. 11192, PG. 536)

SITE LAYOUT
SCALE: 1" = 10'

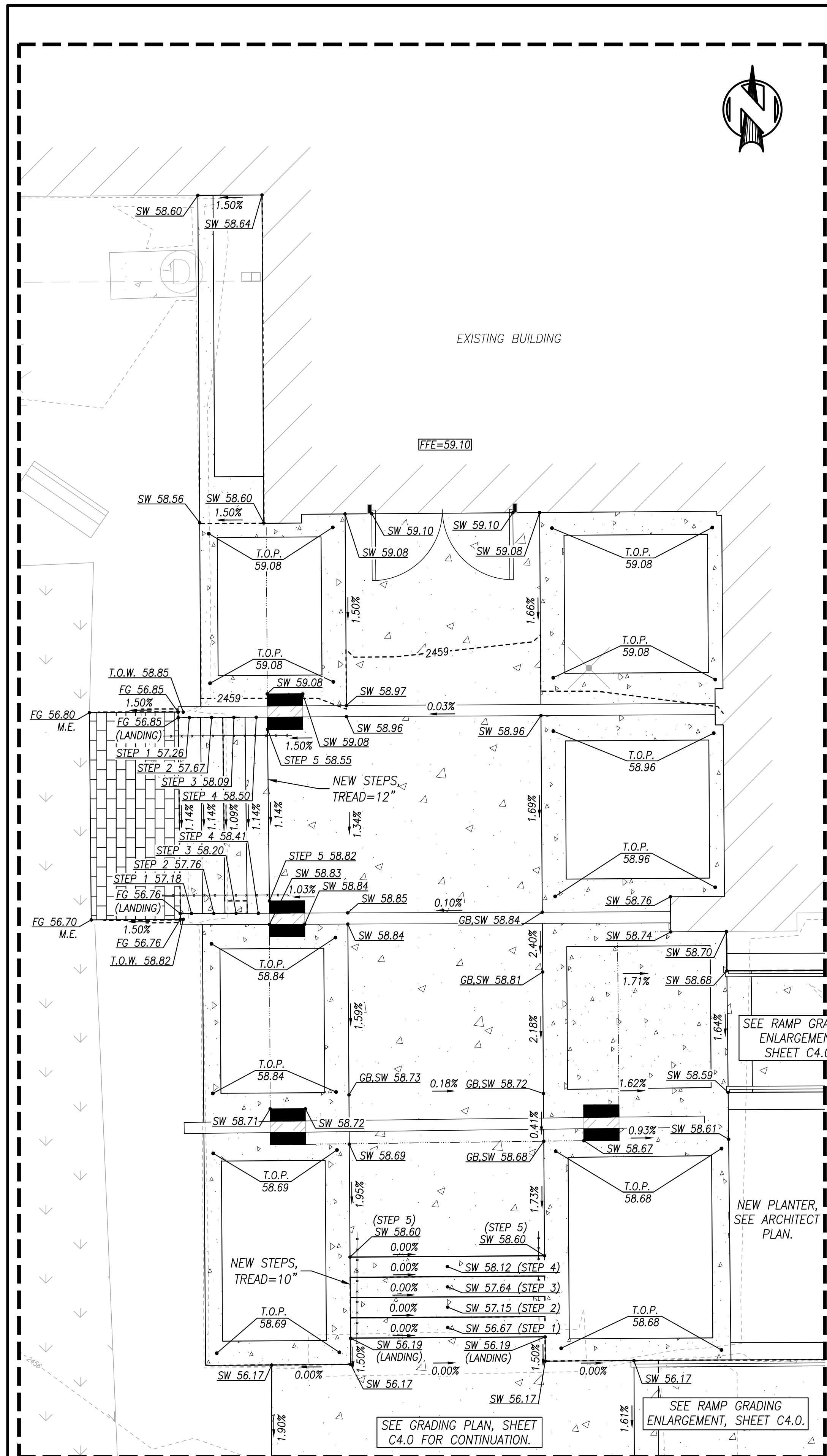
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P.C. APPROVAL STAMP

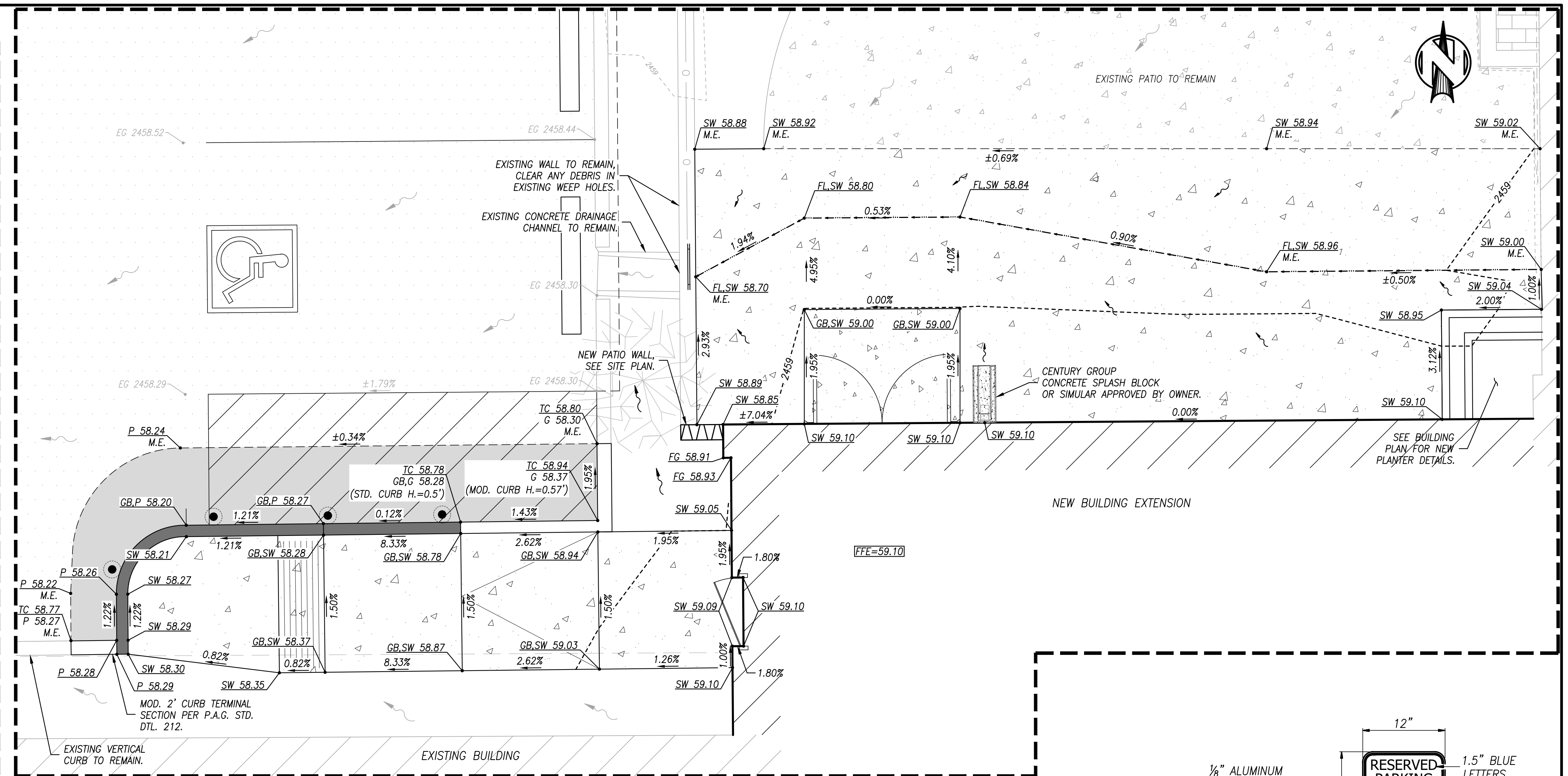
 GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508	Job Number: 21104 Designed By: TL Drawn By: TL Checked By: JM Date: 03/18/2022 Scale: N/A Hz: 1"=10' Sheet Number: C4.0 Sheet 5 of 8
Rev # Date Description	Project: DEVELOPEMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY 1779 E 1st STREET, TUCSON, AZ 85719 A PORTION OF SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ

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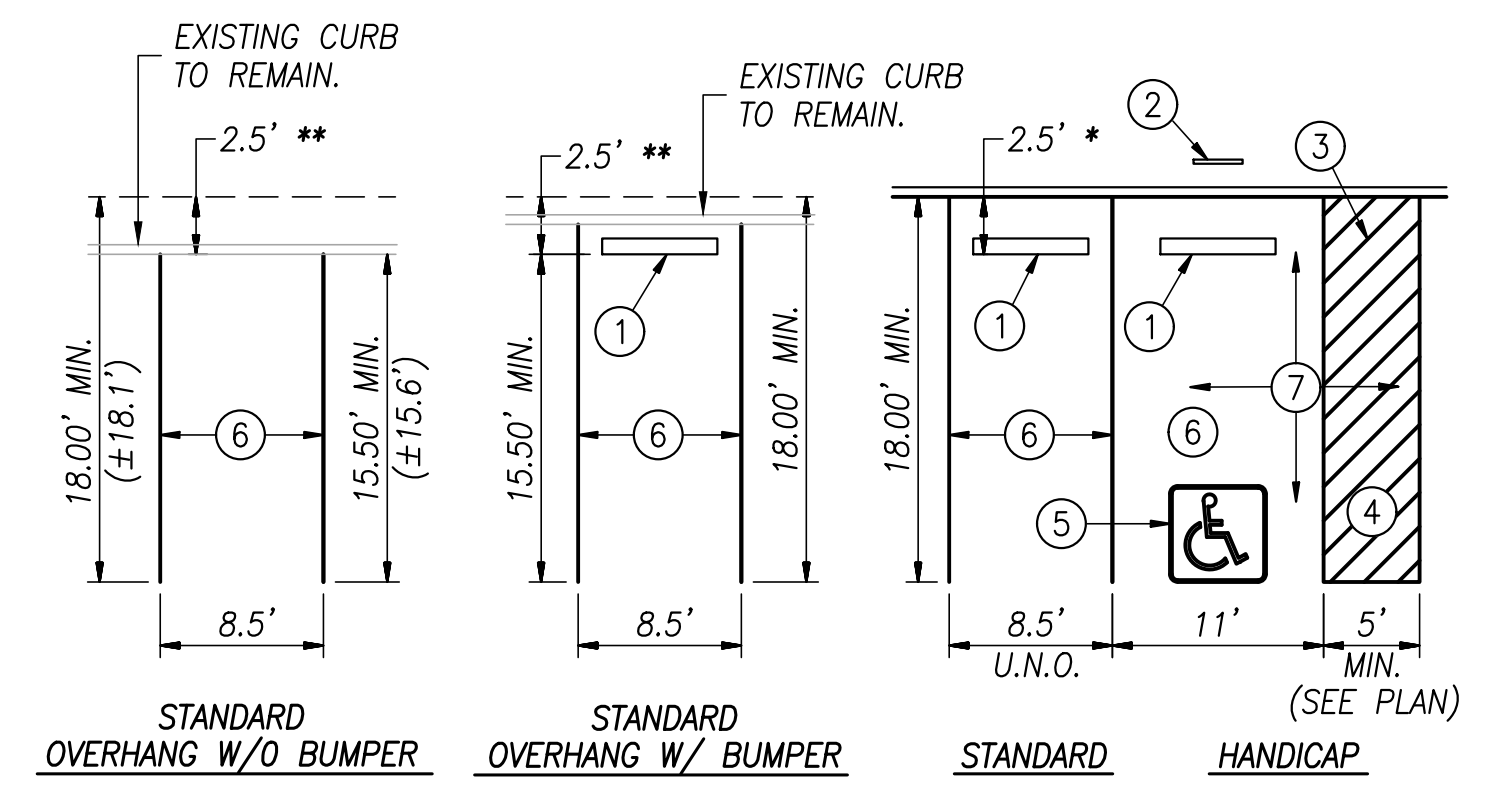
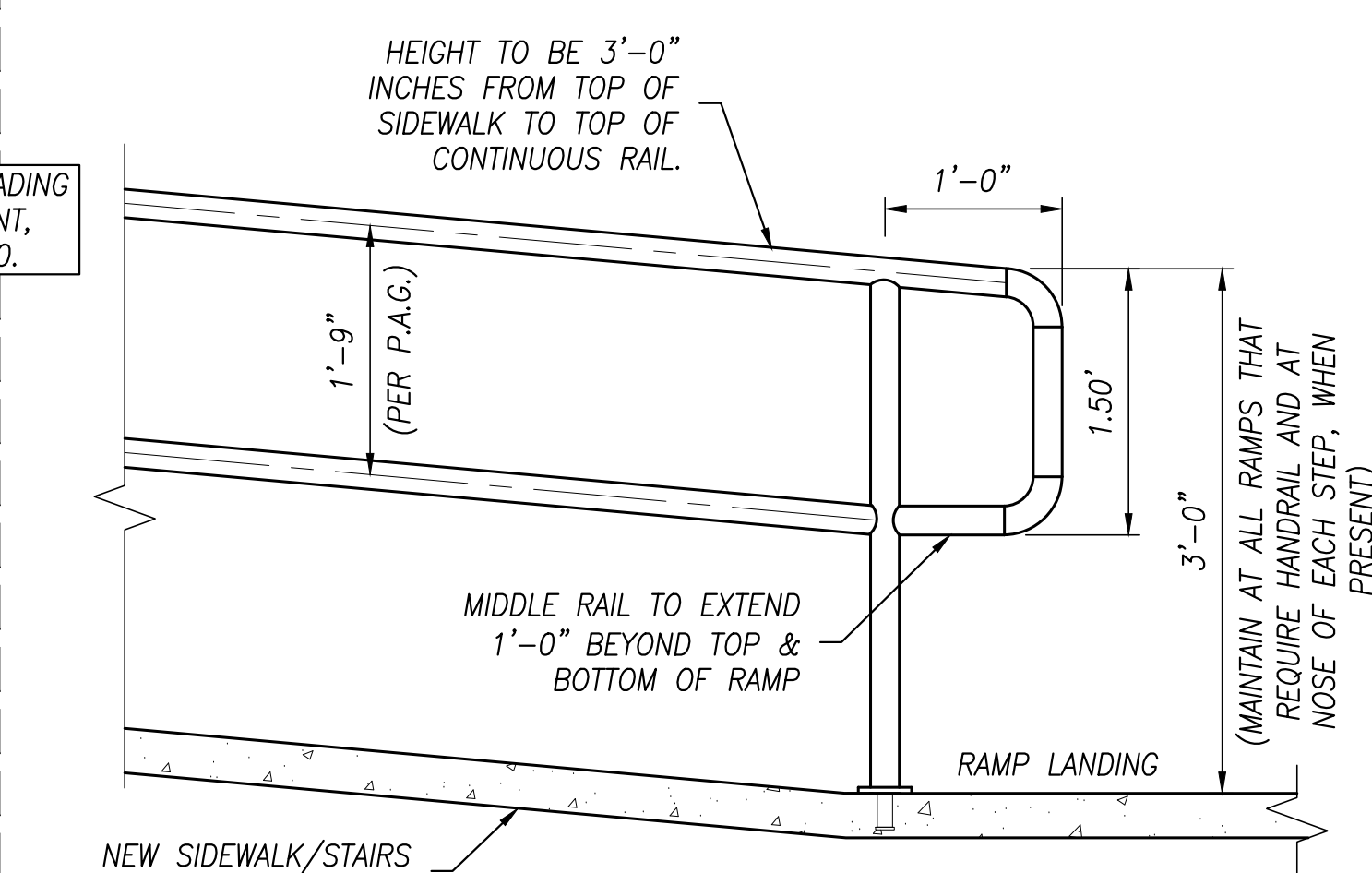
FRONT PATIO GRADING ENLARGEMENT

SCALE: 1" = 3'



NEW SIDEWALK ACCESS RAMP AND REAR PATIO ACCESS GRADING ENLARGEMENT

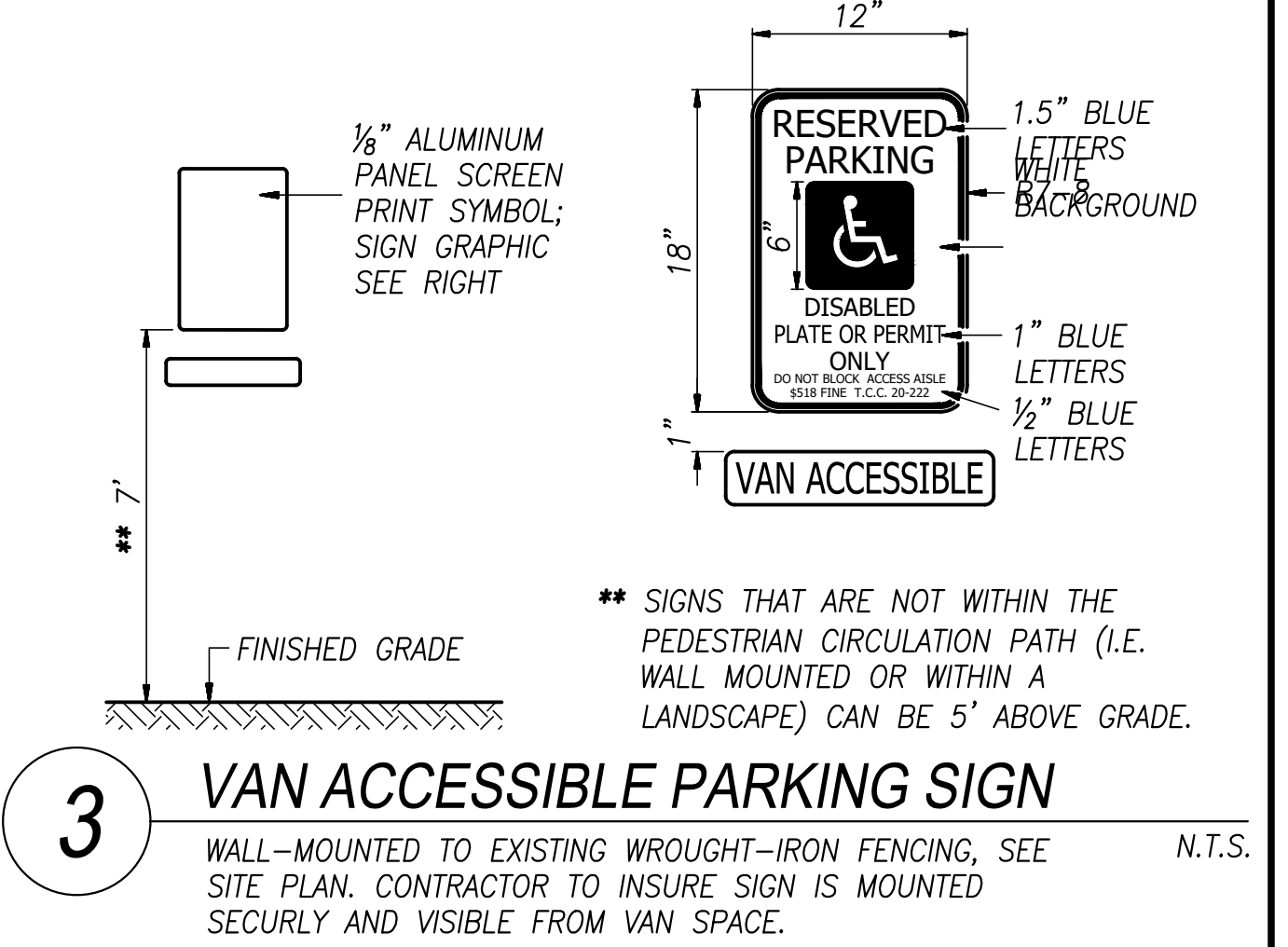
SCALE: 1" = 3'



KEYNOTES

- 1) RE-LOCATED CONCRETE WHEEL STOP
 - 2) ACCESSIBLE PARKING SIGN PER DETAIL 3.
 - 3) 6" WIDE SOLID WHITE PAINTED STRIPE
 - 4) ACCESS ISLE
 - 5) INTERNATIONAL DISABLED PAVEMENT MARKING
 - 6) 4" WIDE SOLID WHITE STRIPE
 - 7) SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION
- * OVER HANG FROM FACE OF WHEEL STOP
 ** OVER HANG FROM FACE OF EX. CURB OR NEW WHEEL STOP.

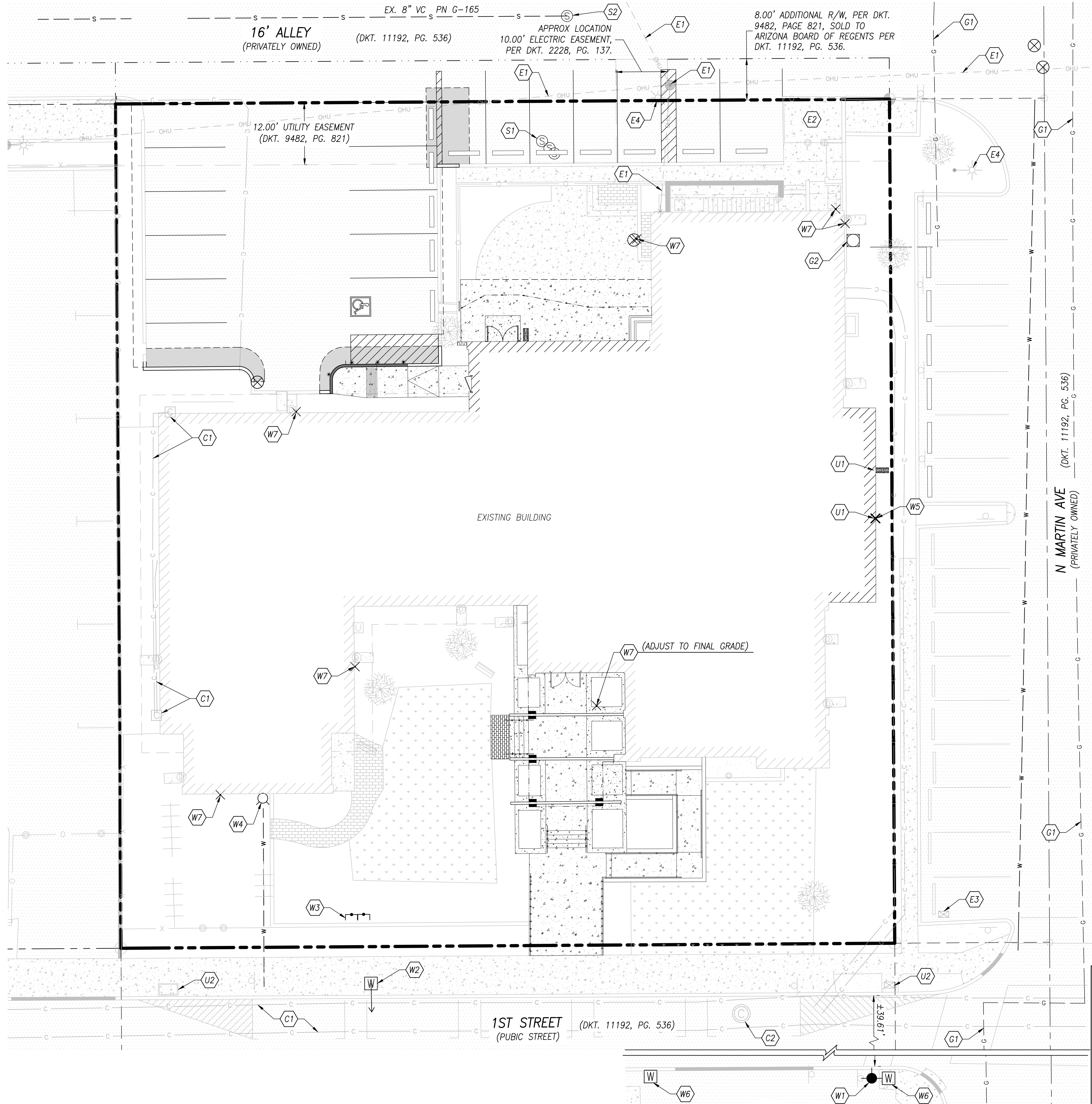
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DP21-0351

COT ADMINISTRATIVE ADDRESS:
 1779 E 1st STREET
 TUCSON, AZ 85719
 REF NO'S.: T20FO00174

	<p>GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants</p> <p>6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508</p>
<p>Job Number: 21104</p> <p>Designed By: TL</p> <p>Drawn By: TL</p> <p>Checked By: JM</p> <p>Date: 03/18/2022</p> <p>Scale: N/A H: 1"=10'</p> <p>Sheet Number: 6 of 8</p>	<p>Project: DEVELOPMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY 1779 E 1st STREET, TUCSON, AZ 85719 A PORTION OF SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ</p> <p>C4.1</p>



UTILITY KEYNOTES

- (U1) SEE BUILDING PLANS FOR CONNECTION AT NEW BUILDING.
- (U2) EXISTING UNKNOWN UTILITY BOX TO REMAIN.

WATER KEYNOTES

- (W1) EXISTING FIRE HYDRANT TO REMAIN.
- (W2) EXISTING WATER SERVICE METER TO REMAIN.
- (W3) EXISTING DOMESTIC WATER BACKFLOW PREVENTOR TO REMAIN.
- (W4) EXISTING FIRE DEPARTMENT CONNECTION (FDC) LOCATION.
- (W5) RELOCATED HOSEBIB TO NEW BUILDING EXPANSION, SEE PLUMBING PLANS.
- (W6) EXISTING WATER SERVICE METER FOR ADJACENT PROPERTY, TO REMAIN.
- (W7) EXISTING HOSEBIB TO REMAIN

SEWER KEYNOTES

- (S1) EXISTING HCS SEWER CLEANOUTS TO REMAIN.
- (S2) EXISTING CLEANOUT TO REMAIN. (PN G-165)

ELECTRICAL KEYNOTES

- (E1) EXISTING UTILITY POLE AND OVERHEAD UTILITY LINES TO REMAIN.
- (E2) EXISTING TRANSFORMER AND ENCLOSURE TO REMAIN.
- (E3) EXISTING ELECTRICAL BOX TO REMAIN.
- (E4) EXISTING LIGHT POLE TO REMAIN.

GAS KEYNOTES

- (G1) EXISTING GAS MAIN TO REMAIN AND BE PROTECTED.
- (G2) EXISTING GAS METER TO REMAIN.

COMMUNICATIONS KEYNOTES

- (C1) EXISTING COMMUNICATIONS LINE/BOX TO REMAIN AND BE PROTECTED.
- (C2) EXISTING COMMUNICATIONS MANHOLE TO REMAIN.



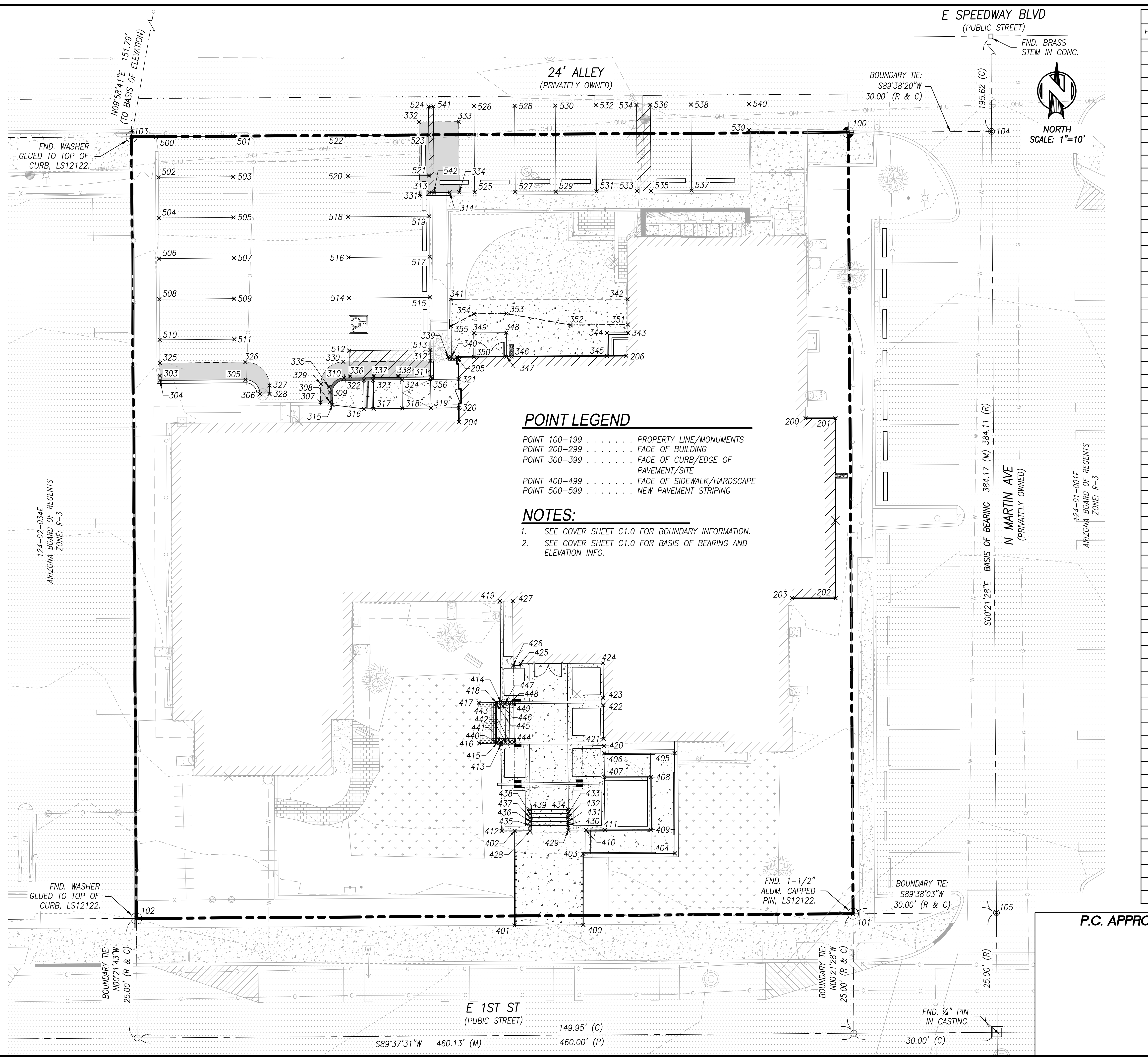
DP21-0351
 COT ADMINISTRATIVE ADDRESS:
 1779 E 1st STREET
 TUCSON, AZ 85719
 REF NO'S.: T20FO00174

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Rev #	Date	Description

<p>GRENIER ENGINEERING, INC. Structural & Civil Engineering Consultants 6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715 Phone: 520.326.7082 ~ Fax: 520.326.7508</p>		<p>Job Number: 21104 Designed By: TL Drawn By: TL Checked By: JM Date: 03/18/2022 Scale: N/A H: 1"=10' Sheet Number: C5.0</p>
<p>Sheet Name: PRIVATE UTILITY PLAN</p>		<p>Project: DEVELOPEMENT PACKAGE FOR ALPHA CHI OMEGA SORORITY 1779 E 1st STREET, TUCSON, AZ 85719 A PORTION OF SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ</p>

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POINT #	NORTHING	EASTING
100	450735.31	1000316.98
101	450571.76	1000318.00
102	450570.78	1000168.06
103	450734.36	1000167.02
104	450735.49	1000346.99
105	450571.95	1000348.01
200	450675.47	1000308.05
201	450675.47	1000314.32
202	450637.81	1000314.34
203	450637.80	1000305.20
204	450674.71	1000235.52
205	450688.29	1000235.09
206	450688.55	1000270.53
300	450684.39	1000172.97
304	450683.37	1000172.98
305	450683.52	1000190.87
306	450680.53	1000193.89
307	450678.83	1000206.56
308	450678.85	1000208.56
309	450680.87	1000208.55
310	450683.89	1000211.51
311	450684.09	1000229.60
312	450687.46	1000229.58
313	450722.70	1000229.30
314	450722.73	1000233.61
315	450678.25	1000209.06
316	450677.44	1000215.68
317	450677.46	1000217.68
318	450677.53	1000223.68
319	450677.60	1000229.68
320	450677.66	1000235.50
321	450683.66	1000235.46
322	450683.43	1000215.61
323	450683.46	1000217.61
324	450683.53	1000223.61
325	450686.99	1000172.95
326	450687.22	1000190.85
327	450682.31	1000195.88
328	450680.55	1000195.89
329	450682.60	1000206.62
330	450687.27	1000211.34
331	450722.06	1000227.30
332	450737.47	1000227.18
333	450737.53	1000235.48
334	450722.75	1000235.61
335	450681.95	1000208.36
336	450684.26	1000212.80
337	450684.31	1000217.80
338	450684.36	1000222.80
339	450688.28	1000233.23
340	450688.28	1000233.94
341	450700.33	1000233.85
342	450700.36	1000270.83
343	450693.33	1000270.93
344	450693.30	1000266.51
345	450688.52	1000266.55
346	450688.38	1000246.53
347	450688.37	1000245.45
348	450693.37	1000245.45
349	450693.32	1000238.64
350	450688.32	1000238.64
351	450695.08	1000270.88
352	450694.97	1000258.86
353	450697.37	1000245.45
354	450697.32	1000238.64
355	450694.75	1000233.89
356	450683.59	1000229.61

POINT LEGEND

- POINT 100-199 PROPERTY LINE/MONUMENTS
- POINT 200-299 FACE OF BUILDING
- POINT 300-399 FACE OF CURB/EDGE OF PAVEMENT/SITE
- POINT 400-499 FACE OF SIDEWALK/HARDSCAPE
- POINT 500-599 NEW PAVEMENT STRIPING

NOTES:

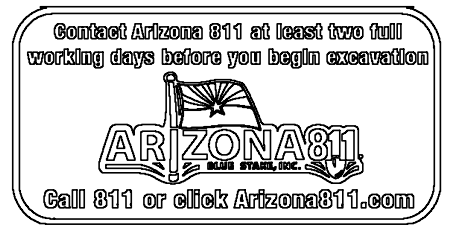
- SEE COVER SHEET C1.0 FOR BOUNDARY INFORMATION.
- SEE COVER SHEET C1.0 FOR BASIS OF BEARING AND ELEVATION INFO.

POINT #	NORTHING	EASTING
400	450569.46	1000261.55
401	450569.33	1000247.16
402	450589.12	1000247.19
403	450584.31	1000261.56
404	450584.39	1000280.73
405	450605.38	1000280.65
406	450605.33	1000265.91
407	450600.33	1000265.96
408	450600.36	1000275.67
409	450589.36	1000275.71
410	450589.30	1000262.09
411	450589.33	1000266.08
412	450589.10	1000244.47
413	450607.22	1000244.33
414	450616.19	1000244.27
415	450607.44	1000243.43
416	450607.42	1000239.76
417	450615.94	1000239.69
418	450615.96	1000243.34
419	450637.20	1000244.15
420	450606.94	1000265.89
421	450608.38	1000265.81
422	450615.43	1000265.76
423	450616.92	1000265.75
424	450624.22	1000265.68
425	450624.09	1000248.42
426	450623.72	1000246.86
427	450637.22	1000246.79
428	450589.14	1000250.44
429	450589.28	1000258.44
430	450590.28	1000258.43
431	450591.11	1000258.43
432	450591.94	1000258.42
433	450592.78	1000258.41
434	450593.61	1000258.41
435	450590.22	1000250.43
436	450591.06	1000250.42
437	450591.89	1000250.42
438	450592.72	1000250.41
439	450593.56	1000250.41
440	450607.68	1000243.43
441	450607.68	1000244.35
442	450607.68	1000245.26
443	450607.69	1000246.18
444	450607.69	1000247.09
445	450615.73	1000243.34
446	450615.74	1000244.26
447	450615.74	1000245.17
448	450615.75	1000246.09
449	450615.75	1000247.01
500	450734.37	1000172.12
501	450734.50	1000188.20
502	450725.87	1000172.65
503	450726.00	1000188.27
504	450717.37	1000172.71
505	450717.50	1000188.34

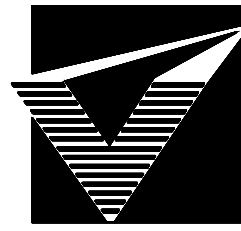
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507	450709.00	1000188.41
508	450700.37	1000172.85
509	450700.50	1000188.48
510	450691.87	1000172.91
511	450692.00	1000188.54
512	450689.62	1000212.56
513	450689.75	1000229.56
514	450700.62	1000212.48
515	450700.75	1000229.47
516	450709.12	1000212.41
517	450709.25	1000229.40
518	450717.62	1000212.34
519	450717.75	1000229.34
520	450726.12	1000212.27
521	450726.25	1000229.27
522	450734.62	1000212.20
523	450734.75	1000229.20
524	450740.70	1000229.15
525	450722.77	1000238.82
526	450740.77	1000238.68
527	450722.83	1000247.32
528	450740.83	1000247.18
529	450722.90	1000255.82
530	450740.90	1000255.68
531	450722.96	1000264.32
532	450740.96	1000264.18
533	450723.03	1000272.82
534	450741.03	1000272.68
535	450723.05	1000275.71
536	450741.05	1000275.58
537	450723.11	1000284.21
538	450741.11	1000284.08
539	450735.82	1000296.23
540	450741.20	1000296.20
541	450740.71	1000230.18
542	450722.71	1000230.32

POINT #	NORTHING	EASTING
542	450722.71	1000230.32

DP21-0351
COT ADMINISTRATIVE ADDRESS:
1779 E 1st STREET
TUCSON, AZ 85719
REF NO'S.: T20FO0174



Rev #	Date	Description

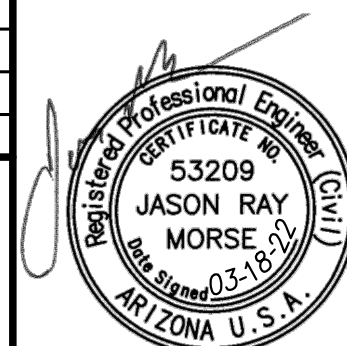


GRENIER ENGINEERING, INC.
Structural & Civil Engineering Consultants

6300 E. El Dorado Plaza, Suite A120, Tucson, AZ 85715
Phone: 520.326.7082 ~ Fax: 520.326.7508

Sheet Name: **HORIZONTAL CONTROL PLAN**

Project: DEVELOPMENT PACKAGE FOR
ALPHA CHI OMEGA SORORITY
1779 E 1st STREET, TUCSON, AZ 85719
A PORTION OF SECTION 7, T14S, R14E, G&SRM, PIMA COUNTY, AZ



P.C. APPROVAL STAMP

Job Number:	21104
Designed By:	TL
Drawn By:	TL
Checked By:	JM
Date:	03/18/2022
Scale:	N/A Hz: AS NOTED
Sheet Number:	C6.0
Sheet 8 of 8	

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