



CITY OF
TUCSON

T21SA00083

DRB-21-09

Case Number DDO-21-17

Date Accepted 3/12/21

DESIGN DEVELOPMENT OPTION (DDO) APPLICATION For Landscaping/Screening Substitutions

This application must be filed at Planning and Development Services Department, Public Works Building, 3rd Floor, 201 North Stone Avenue, Tucson, Arizona. Call 837-4979 to schedule a submittal appointment. To be accepted for processing, the application must be complete, accurate, and legible and must be accompanied by the appropriate plans, documentation, and fees. Incomplete applications will not be accepted. Please make your check payable to the "City of Tucson."

PROPERTY INFORMATION

Project Address _____ DP# _____

Zone _____ Proposed Use (Please be specific.) _____

Number of Existing Buildings _____ Number of Stories _____ Height of Structure(s) _____

Size of Property _____

Property Tax Code(s) _____

Property Legal Description _____

Mailing Address: Planning & Development Services Department
P. O. Box 27210
Tucson, AZ 85726-7210
Phone: (520) 837-4979
DSD_Zoning_Administration@tucsonaz.gov

Location: Public Works Building
201 N. Stone Ave

APPLICANT INFORMATION

APPLICANT/AGENT Name _____

Address _____

Phone _____ FAX _____

OWNER Name _____

Address _____

Phone _____ FAX _____

ARCHITECT/
ENGINEER Name _____

Address _____

Phone _____ FAX _____

SIGNATURE OF OWNER

Owner _____

Date _____

SIGNATURE OF APPLICANT (if not owner)


Applicant _____

Date _____

If you have already applied for any related processes, please list the case numbers (variance, HPZ, NPZ, rezoning, etc.)

MODIFICATION REQUESTED

Check the items that apply and indicate what is proposed instead, explaining why each request is being made. (Use additional sheets if necessary.)

Street Landscape Border _____

Interior Landscape Border (tree requirement) _____

Street Frontage Screening _____

Interior Perimeter Screening _____

Vehicular Use Area Trees _____

Other Landscaping or Screening Requirements _____

Explain how these DDOs will improve the design of the project. (Use additional sheets if necessary.)

Objective: For the provision of new slats and vegetation in the existing of 6'-0" high chain link fence to the east, and the addition of vines and slats to fill in gaps of visibility at the 6'-0" high chain link fence to the south to be allowed to meet the intent for required screening.

The south and east east property lines have existing chain link fence along the property lines. The east boundary fence abuts an electrical easement and the neighboring residential properties have existing masonry site walls. We wish to add slats to this portion of existing chain link fence, and add vegetation in some areas to meet the intent for opaque screening. The south boundary fence has varied vegetative coverage, including dense vines over the chain link that come from either side of the property line. There are also areas of abutting fence material on adjacent property side. We wish to preserve the existing vegetation in place to act as screening, and supplement with additional plant coverage and slatting where there are open 'gaps' of visibility. We believe that these conditions will provide adequate screening from the adjacent residential properties that meet the intent for opaque screening.

This DDO will allow the neighbors of the Fire Department to keep their existing vegetation, while also receiving added screening from the fire station activities.

Approval of this DDO will focus tax payer dollars from Tucson Delivers, Safer City on providing the facilities needed by the fire department for firefighter safety.

Design Development Option (DDO) Project Description Narrative

March 10, 2021

(Revised) April 8, 2021



ARCHITECTS

4330 NORTH CAMPBELL AVE
SUITE NO. 268
TUCSON, ARIZONA 85718

520.408.1044 TEL
520.408.1170 FAX
WSMARCH.COM WEB

City of Tucson Fire Station 7 - Project Description

The proposed work consists of adding 1,639-sf of expansion to the existing 10,830-sf Tucson Fire Department (TFD) Station 7. The fire station is located on a developed site that includes the existing Fire Station, apparatus bay apron driveways, a storage shed, public and staff parking.

This fire station is one of several Tucson Fire Department stations to receive safety upgrades through the Tucson Delivers, Safer City Program. The additions proposed are intended to help bring the facility into compliance with National Fire Protection Association (NFPA) guidelines for firefighter safety.

The lot is zoned R-1 which allows land use for protective service. The City of Tucson UDC use-specific standard 4.9.13.F requires a minimum 5-ft opaque masonry screen wall on the portion(s) of the site abutting a residential property. The east and south boundaries of the site abut residential properties with an existing 6'-0" chain link fence located at the lot lines. The east boundary fence abuts an electrical easement, and the neighboring residential properties have existing masonry site walls. We wish to add slats to this portion of existing chain link fence and add vegetation in some areas to meet the intent for opaque screening. The south boundary fence has varied vegetative coverage, including dense vines over the chain link that come from either side of the property line. There are also areas of abutting fence material on adjacent property side. We wish to preserve the existing vegetation in place to act as screening, and supplement with additional plant coverage and slatting where there are open 'gaps' of visibility. We believe that these conditions will provide adequate screening from the adjacent residential properties that meet the intent for opaque screening.

Our objective in this DDO request is for a substitute of materials to meet the intent of the use specific standard for opaque screening between the Fire Station and residential-zoned properties. We request to provide new slats and vegetation in the existing 6'-0" high chain link fence to the east and provide new slats and vegetation to fill in gaps of visibility at the existing 6'-0" high chain link fence to the south to be allowed to meet the intent for required screening.

The slat material proposed, *Vinyl/Wood Fence Slats* by PrivacyLink, is an HDPE double-wall slat with a wood grain imprint and coloring to mimic actual wood with 'winged' sides to maximize privacy (approximately 98%). The slat color is to be *Wood Grain – Cedar tone*. The HDPE material offers low maintenance and greater longevity than an actual wood slat. The proposed product information is included in this submittal.

Design Development Option (DDO) Project Description Narrative

March 10, 2021

(Revised) April 8, 2021

City of Tucson Fire Station 7 – Modification Requested

Explain how these DDOS will improve the design of the project.

The approval of this request for substitute materials will improve the design of the project by preserving mature vines and vegetation bordering the site that are being kept by neighbors to remain, while also providing added privacy from the fire station activities. A slatted chain link fence with the product proposed will provide a high degree of privacy in an application that is low maintenance, and highly durable. Additionally, approval of this DDO material substitution request will utilize the existing secure fencing and focus taxpayer dollars funding this project through the Tucson Delivers, Safer City Program that is intended for equipment upgrades on providing the facilities needed by the fire department for firefighter safety.

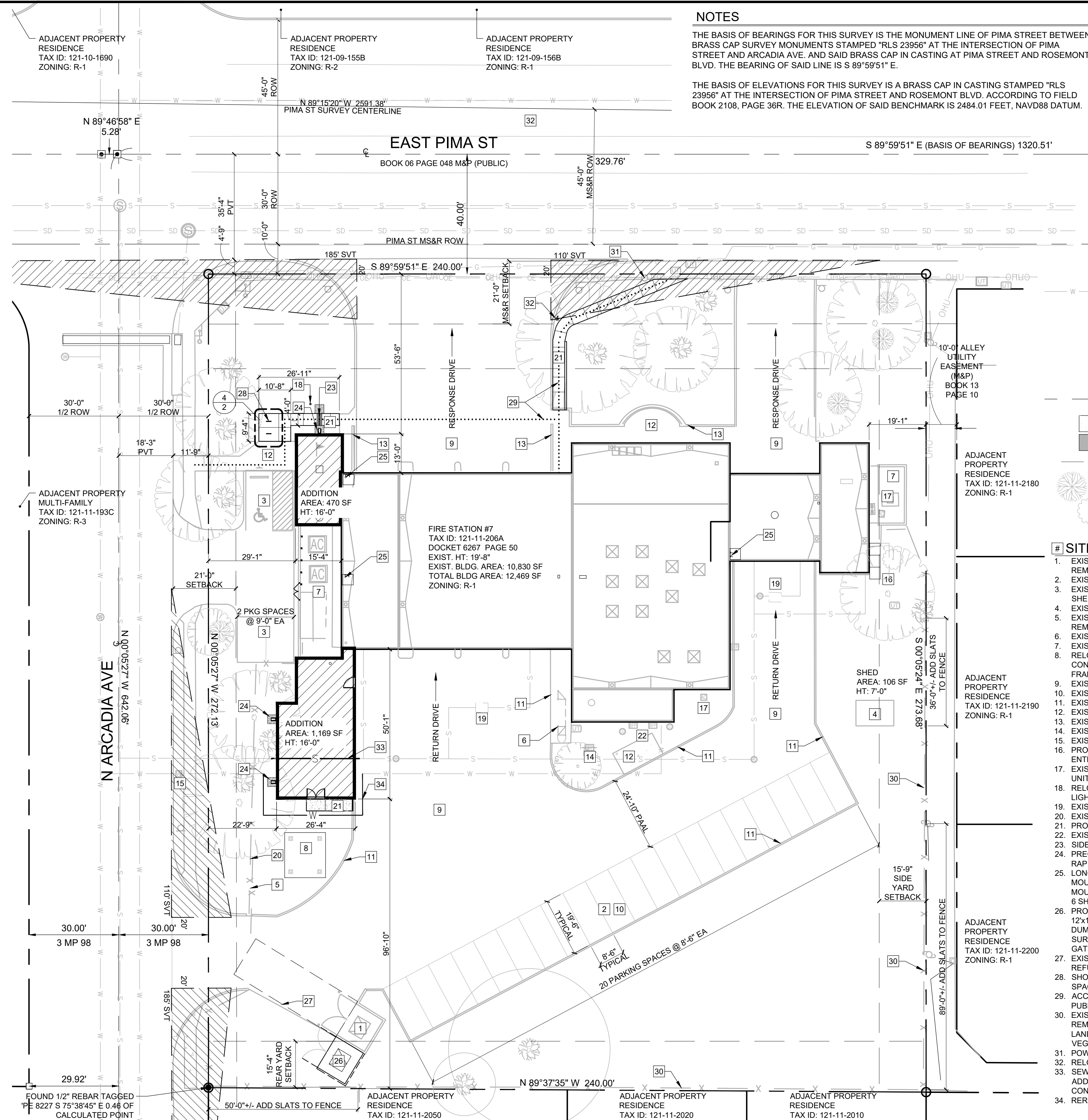


ARCHITECTS

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SUITE NO. 268
TUCSON, ARIZONA 85718

520.408.1044	TEL
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WSMARCH.COM	WEB

DEVELOPMENT PACKAGE FOR ADDITION TO FIRE STATION 7 CITY OF TUCSON 4902 E PIMA ST TUCSON, AZ 85712



NOTES
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MONUMENT LINE OF PIMA STREET BETWEEN BRASS CAP SURVEY MONUMENTS STAMPED "RLS 23956" AT THE INTERSECTION OF PIMA STREET AND ARCADIA AVE. AND SAID BRASS CAP IN CASTING AT PIMA STREET AND ROSEMONT BLVD. THE BEARING OF SAID LINE IS S 89°59'51" E.

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS A BRASS CAP IN CASTING STAMPED "RLS 23956" AT THE INTERSECTION OF PIMA STREET AND ROSEMONT BLVD. ACCORDING TO FIELD BOOK 2108, PAGE 36R. THE ELEVATION OF SAID BENCHMARK IS 2484.01 FEET, NAVD83 DATUM.

LEGEND

- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- BACKFLOW PREVENTER
- WATER METER
- GAS METER
- SEWER CLEANOUT
- LIGHT POLE
- CONCRETE
- ASPHALT PAVEMENT
- FENCE
- EXISTING VEGETATION, NO CHANGE U.N.O.

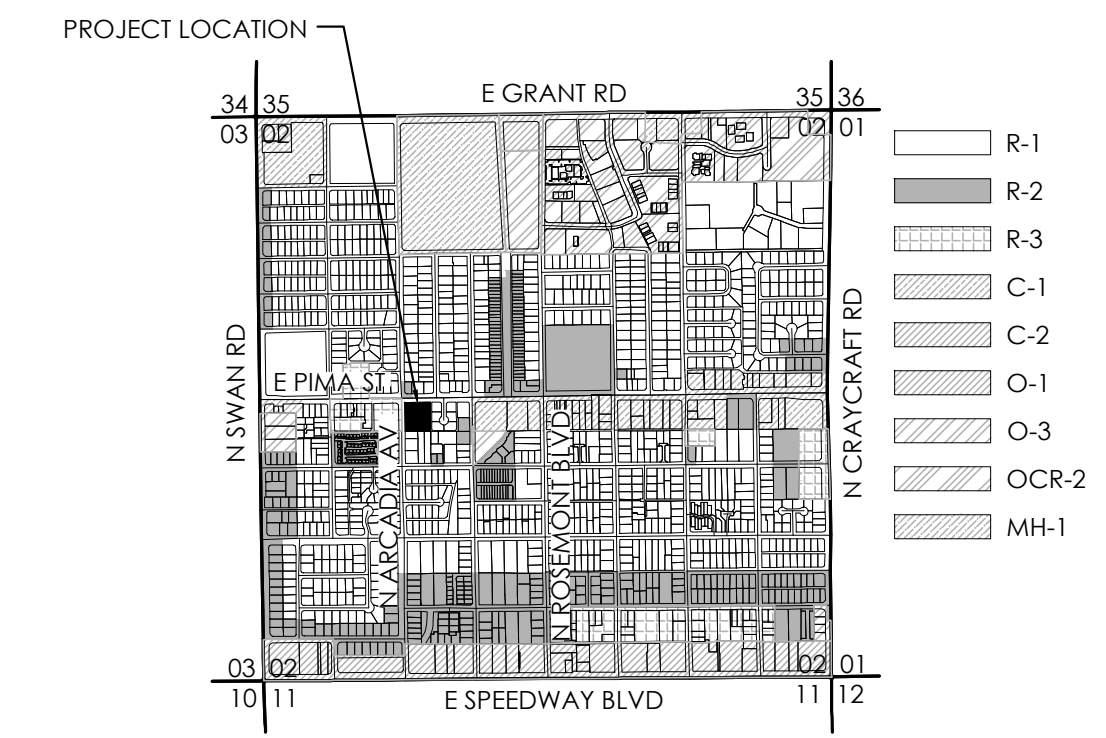
PROPERTY SUMMARY:

PARCEL ID 12111206A CITY OF TUCSON OWNER
 - AREA: 65,009 SF (1.49 ACRES)
 - ZONING: R-1 RESIDENCE ZONE, (CIVIC USE PERMITTED - PROTECTIVE SERVICE, SUBJECT TO USE SPECIFIC STANDARD 4.9.13.F)
 - WARD 6 - NON-DESIGNATED NEIGHBORHOOD

SITE REQUIREMENTS (UDC 6.3-2A)
 - RESIDENTIAL DENSITY MAXIMUM: 1 / 7,000 SF
 - LOT SIZE / SITE AREA MINIMUM: (1 UNIT) 7,000 SF MIN
 - EXCEPTIONS TO DIMENSION STANDARDS, (PER UDC TABLE 6.3-2.B)
 - PROTECTIVE SERVICE LOT SIZE MIN = 20,000 SF
 - ACTUAL EXISTING SITE: 65,009 SF **COMPLIANT**
 - LOT COVERAGE MAXIMUM 60%
 - BUILDING AREA: 10,830 SF(EX) + 106 SF(EX) + 470 SF(N) + 1,169 SF(N) = 12,575 SF
 - GROSS FLOOR AREA: 12,575 SF
 - VEHICULAR USE AREA: 23,073 SF
 - TOTAL: 35,648 SF
 - PROPOSED LOT COVERAGE: 35,648 SF / 65,009 SF = **55% COVERAGE - COMPLIANT**
 - (6.3-2.A UDC) DIMENSIONAL STANDARDS FOR R-1
 - HEIGHT MAX 25'
 - PERMETER YARD:
 + RES USE - TO RES USE 6' OR 2/3 HT
 + RES USE TO NON RES 10' OR 3/4 HT

SITE PLAN KEYNOTES

1. EXISTING DUMPSTER ENCLOSURE TO REMAIN
2. EXISTING STAFF PARKING
3. EXISTING VISITOR PARKING - SEE DETAIL 3 SHEET 2
4. EXISTING STORAGE BUILDING TO REMAIN
5. EXISTING VEHICULAR ACCESS GATE TO REMAIN
6. EXISTING HOSE TOWER TO REMAIN
7. EXISTING MECHANICAL YARD
8. RELOCATED TRAINING EQUIPMENT, PROVIDE CONCRETE FOUNDATIONS AND SUPPORT FRAMING
9. EXISTING CONCRETE APRON TO REMAIN
10. EXISTING ASPHALT TO REMAIN
11. EXISTING DRIVEWAY EDGE TO REMAIN
12. EXISTING CONCRETE SIDEWALK TO REMAIN
13. EXISTING SITE WALL TO REMAIN
14. EXISTING GAS METER TO REMAIN
15. EXISTING WATER METER TO REMAIN
16. PROVIDE NEW ELECTRICAL SERVICE ENTRANCE ON CONCRETE PAD
17. EXISTING GROUND MOUNTED MECHANICAL UNITS TO REMAIN
18. RELOCATED FLAGPOLE, PROVIDE GROUND LIGHTING
19. EXISTING SAND OIL SEPARATOR
20. EXISTING CHAIN LINK FENCING TO REMAIN
21. PROVIDE NEW CONCRETE SIDEWALK
22. EXISTING BACKFLOW PREVENTOR
23. SIDEWALK SCUPPER PER PAG DETAIL
24. PRECAST CONCRETE SPLASH BLOCK TO RIP RAP AREA - SEE CIVIL
25. LONG TERM BIKE STORAGE: 2 MADRX WALL MOUNTED BIKE RACKS WITH LOCKING BAR - MOUNTED TO INSIDE WALL OF APP YARD - DTL 6 SHEET 2
26. PROVIDE NEW CONCRETE PAD (APPROX 12'X12') BENEATH EXISTING RECYCLING DUMPSTER, PROVIDE SLATTED CHAINLINK SURROUND WITH DUAL OPENING SWING GATE
27. EXISTING FLUSH EDGE TO REMAIN FOR REFUSE ACCESS TO EXISTING DUMPSTER
28. SHORT TERM BICYCLE PARKING U-RACK (2 SPACES) SEE DETAIL 4, SHEET 2
29. ACCESSIBLE ROUTE TO/FROM BUILDING TO PUBLIC WAY (SHOWN AS DOTTED LINE)
30. EXISTING 6'-0" CHAIN LINK FENCING TO REMAIN, ADD SLATS WHERE INDICATED. SEE LANDSCAPE PLAN FOR AREAS OF ADDED VEGETATION SCREENING
31. POWER POLE TO REMAIN
32. RELOCATED MAILBOX
33. SEWER PIPING TO BE REPLACED UNDER ADDITION TO CAST IRON, PVC OR ABS AT CONTRACTORS OPTION
34. REROUTE WATER LINE PER CIVIL



1 LOCATION MAP
SCALE: 3" = 1 MILE

PROPERTY SUMMARY (CONT.):

ACCESSIBLE PARKING
 - REQUIRED: 1 VAN ACCESSIBLE REQUIRED, 1 EXISTING PROVIDED

BICYCLE PARKING (TABLE 7.4.8-1):
 - SHORT TERM PARKING (CIVIC USE): 1SPC / 8,000 GFA
 - 2 MIN. REQUIRED
 - 4 PROVIDED
 - LONG TERM PARKING (CIVIC USE): 1SPC / 12,000 GFA
 - 2 MIN. REQUIRED
 - 6 PROVIDED WITHIN THE BUILDING (APPARATUS BAYS).

LOADING ZONES:
 (TABLE 7.5.5-A) CIVIC USE GROUP, LOADING AREA NOT REQUIRED.
 PROVIDED: NONE

OWNER

CITY OF TUCSON
 255 W. ALAMEDA ST., 5TH FLOOR
 TUCSON, AZ 85726
 TEL. 520-837-4063
 Contact: Terry Gilliland
 terry.gilliland@tucsonaz.gov

SHEET INDEX

SHEET 1 COVER SHEET, SITE PLAN
 SHEET 2 DEMOLITION PLAN & DETAILS
 SHEET 3 GRADING AND DRAINAGE PLAN
 SHEET 4 LANDSCAPE PLAN
 SHEET 5 LANDSCAPE DETAILS

ARCHITECT

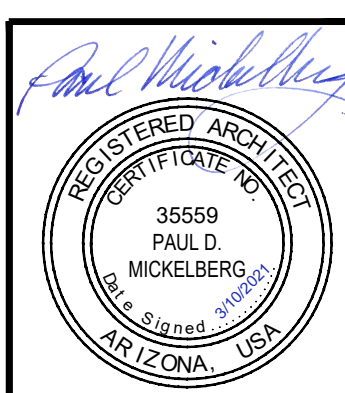
WSM ARCHITECTS, INC.
 4330 N. CAMPBELL AVE., SUITE 268
 TUCSON, AZ 85718
 TEL. 520-408-1044
 Contact: John Price
 jprice@wsmarsh.com

CIVIL

DOWL
 430 W. WARNER ROAD, B101
 TEMPE, AZ 85284
 TEL. 480-753-0800
 Contact: Erin O'Brien
 eobrien@dowl.com

LANDSCAPE

NORRIS DESIGN
 418 N TOOLE AVE
 TUCSON, AZ 85701
 TEL. 520-622-9665
 Contact: Jason Kuklinski
 jkuklinski@norris-design.com



GENERAL NOTES:

1. EXISTING ZONING IS R-1
2. GROSS AREA OF THE SITE: 65,009 SF / 1.49AC. THE SUBJECT LOT IS ASSESSOR PARCEL NUMBER 121-11-206A.
3. RESIDENTIAL USE GROUP - CULTURAL USE, PROTECTIVE SERVICE (UDC TABLE 4.8-2) PERMITTED. SUBJECT TO USE SPECIFIC STANDARD 4.9.13.F.
4. TOTAL NUMBER OF ADDITIONS PROPOSED: 2
5. EXISTING BUILDING HEIGHT IS 21'-0" AND IS TO REMAIN
6. SCREENING (UDC 4.9.13.F) THERE SHALL BE SCREEN WALL AT LEAST 5 FT IN HEIGHT BETWEEN THIS USE AND ANY RESIDENTIAL ZONE.
7. ALL GROUND MOUNTED MECHANICAL EQUIPMENT AND REFUSE AREA WILL BE SCREENED. THESE AREAS ARE EXISTING TO REMAIN.
8. PER UDC TABLE 6.3-2.B: EXCEPTIONS TO THE R-1, R-2, R-3, MH-1 & MH-2 DIMENSIONAL STANDARDS THE MINIMUM LOT SIZE FOR A PROTECTIVE SERVICE (P-GOVERNMENT OWNED AND OPERATED ONLY) IS 20,000 SF.
9. PER UDC TABLE 6.3-2.B: EXCEPTIONS TO THE R-1, R-2, R-3, MH-1 & MH-2 DIMENSIONAL STANDARDS THE MAXIMUM LOT COVERAGE ALLOWED FOR PROTECTIVE SERVICE (P-GOVERNMENT OWNED AND OPERATED ONLY) IS 60%.

10. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
11. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
12. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
13. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
14. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
15. MAINTENANCE AND OPERATION OF THE PRIVATE SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.

1 SITE PLAN
SCALE: 1"=20'-0"

16. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, AS CURRENTLY AMENDED.
17. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
18. ALL EXISTING PLANT MATERIAL INSIDE THE SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY. BRANCHES FROM TREES SHALL BE TRIMMED TO MEET REQUIREMENTS OF THE UDC.
19. NO EASEMENTS ARE ON RECORD WITHIN THE EXTENTS OF THIS PARCEL.

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

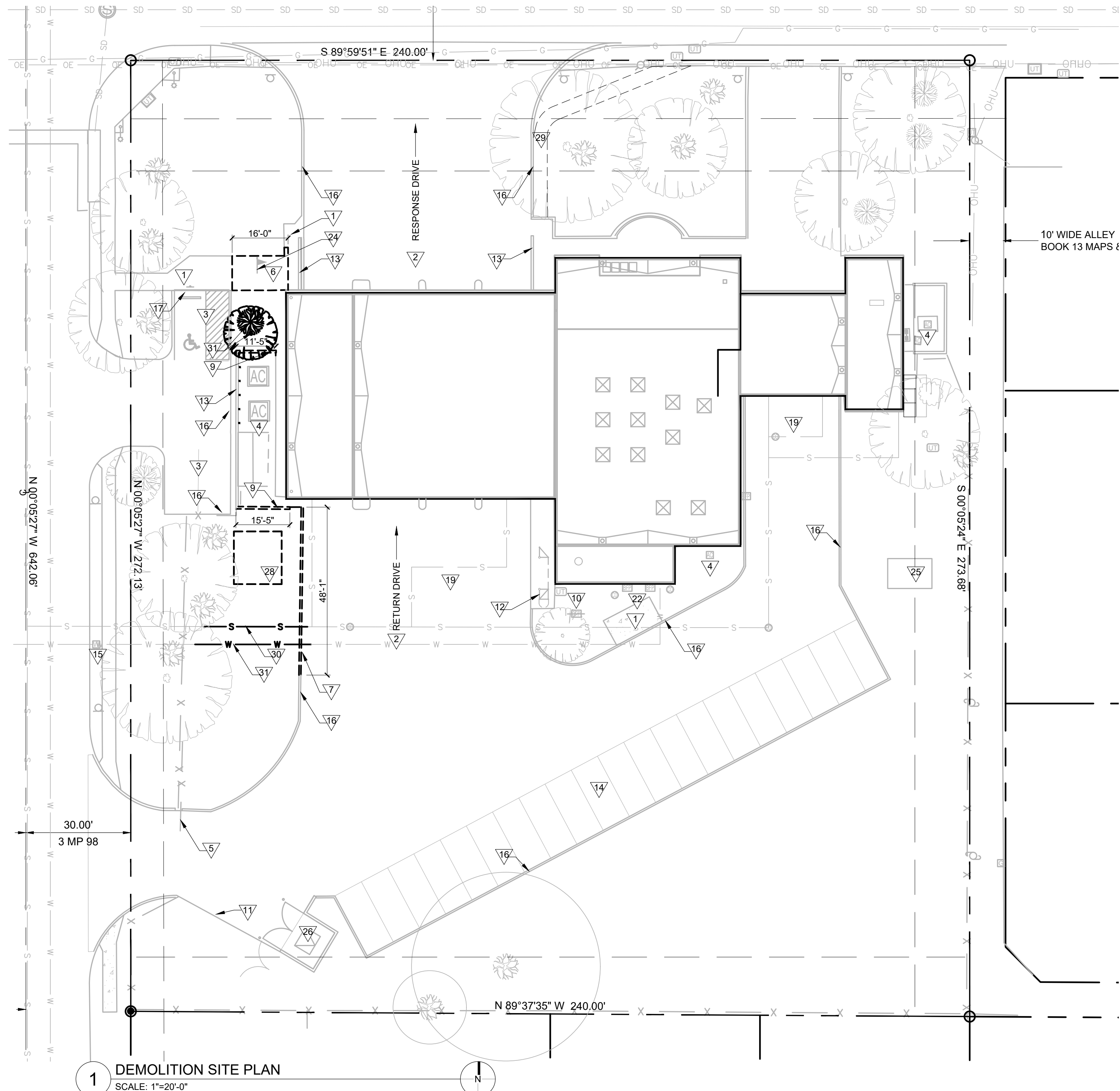
4902 E. PIMA ST.
TUCSON, AZ 85712

DEVELOPMENT PACKAGE
Addition to Fire Station 7 City of Tucson
SITE PLAN

Parcel 121-11-206A, SPEEDWAY NO 2 LOTS 6 & 7 LESS N10' FOR RD BLK 15, Book 3 of M&P page 98 SEC 15, T-14S R-14E S2, G&SRM, PIMA COUNTY, AZ

SCALE: HOR. AS SHOWN REF. VER. N/A JOB NO.

1/5

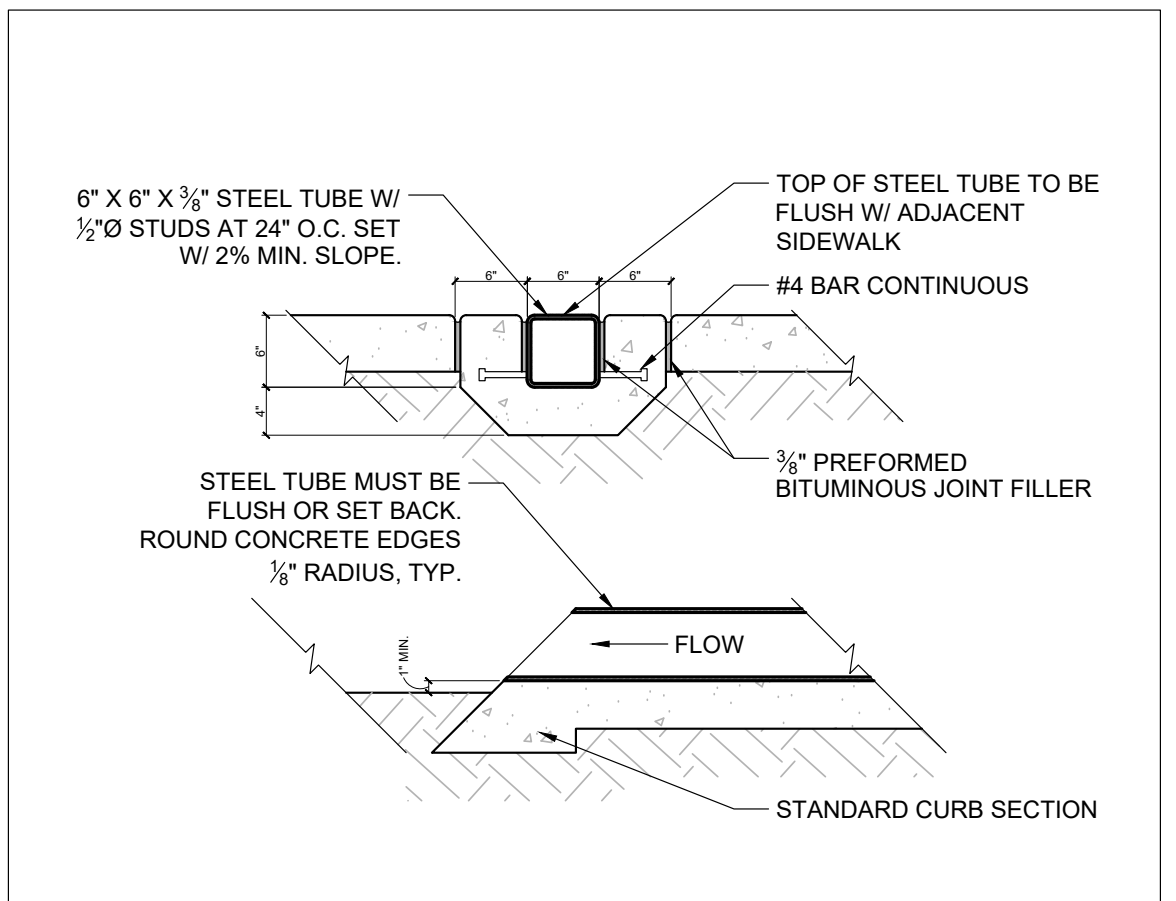


1 DEMOLITION SITE PLAN
SCALE: 1"=20'-0"

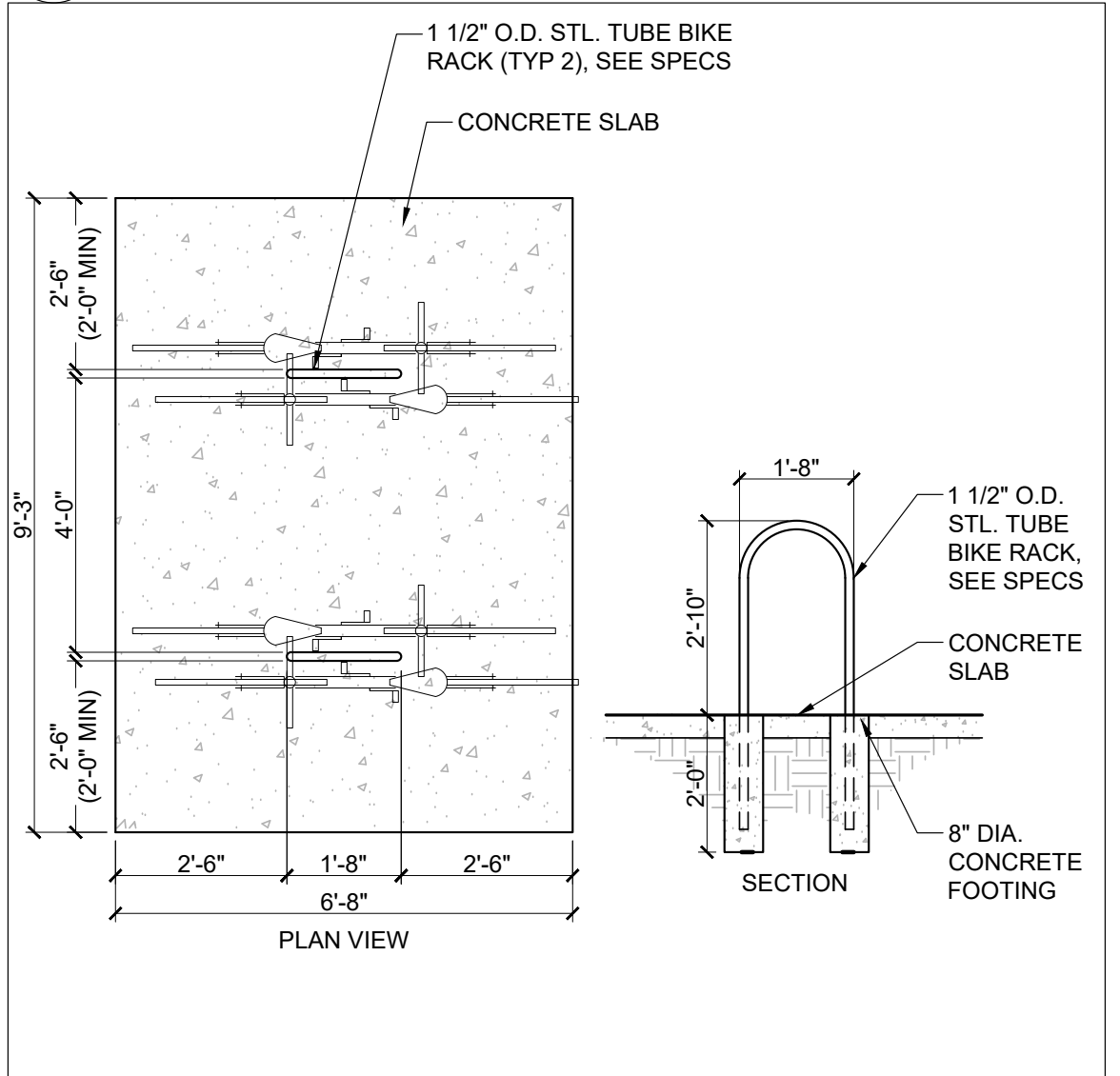
- LEGEND**
- W S EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - BFP BACKFLOW PREVENTER
 - W WATER METER
 - G GAS METER
 - CO SEWER CLEANOUT
 - Light Pole
 - CONCRETE
 - ASPHALT PAVEMENT
 - X FENCE
 - EXISTING VEGETATION, NO CHANGE U.N.O.

DEMOSITE PLAN KEYNOTES

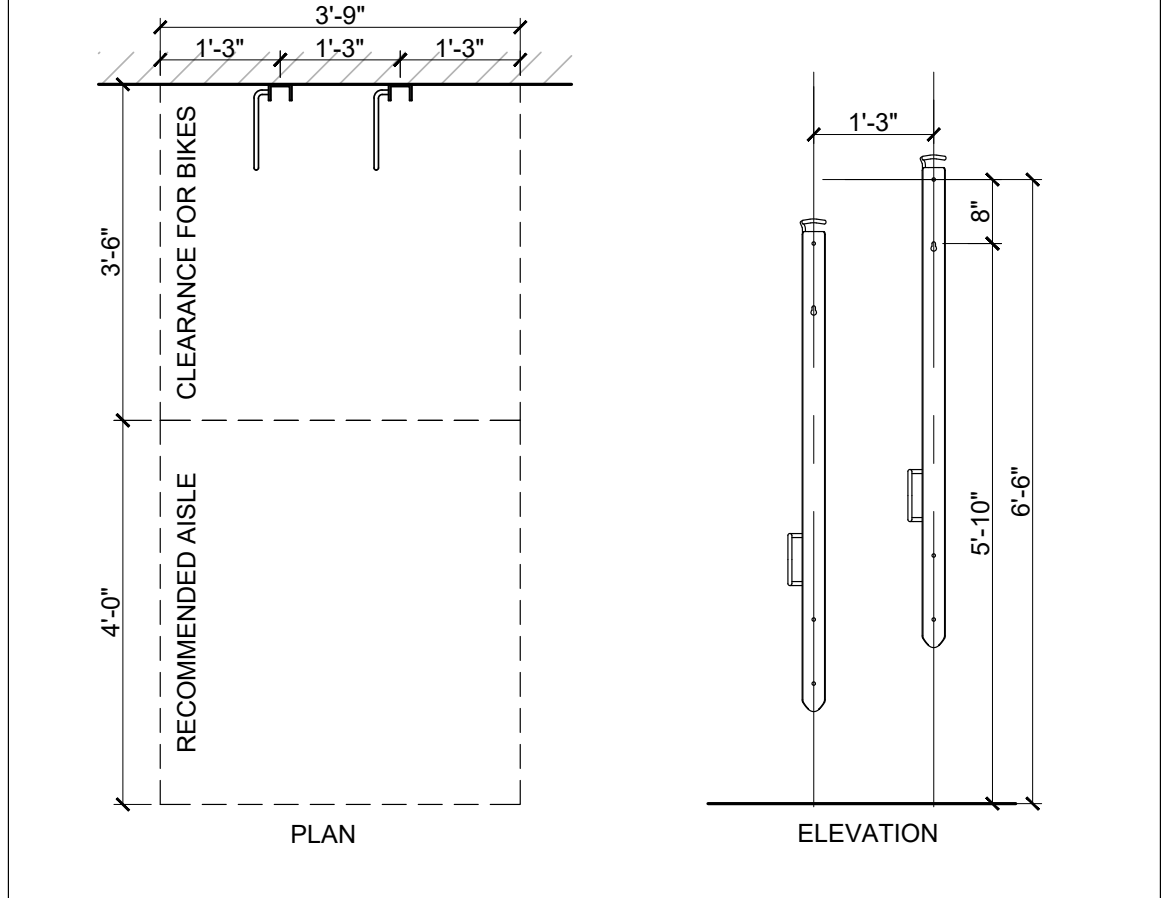
1. EXISTING CONCRETE WALKWAY TO REMAIN
2. EXISTING CONCRETE APRON TO REMAIN
3. EXISTING VISITOR PARKING TO REMAIN
4. EXISTING MECHANICAL YARD TO REMAIN
5. EXISTING VEHICULAR ACCESS GATE TO REMAIN
6. PORTION OF CONCRETE SIDEWALK TO BE REMOVED
7. PORTION OF EXISTING CONCRETE PAVEMENT AND CURB TO BE REMOVED AS REQUIRED FOR NEW ADDITION
8. EXISTING GROUND MOUNTED MECHANICAL UNITS TO REMAIN
9. DEMOLISH PORTION OF EXISTING MASONRY WALL TO ACCOMMODATE NEW ACCESS DOOR
10. EXISTING GAS METER TO REMAIN
11. EXISTING DRIVEWAY EDGE TO REMAIN
12. EXISTING HOSE TOWER TO REMAIN
13. EXISTING SITE WALL TO REMAIN
14. EXISTING STAFF PARKING - ASPHALT PAVEMENT TO REMAIN
15. EXISTING WATER METER TO REMAIN
16. EXISTING 6" VERTICAL CONCRETE CURB TO REMAIN
17. EXISTING ADA PARKING SIGN TO REMAIN
18. NOT USED
19. EXISTING SAND OIL SEPARATOR
20. EXISTING SITE LIGHTING TO REMAIN
21. NOT USED
22. EXISTING BACKFLOW PREVENTOR TO REMAIN
23. EXISTING CHAIN LINK ROLLING FENCE TO REMAIN
24. EXISTING FLAG POLE TO BE RELOCATED
25. EXISTING STORAGE OUTBUILDING TO REMAIN
26. EXISTING DUMPSTER AND MASONRY ENCLOSURE TO REMAIN
27. TREE TO BE REMOVED
28. GROUND MOUNTED TRAINING EQUIPMENT TO BE RELOCATED FROM ITS EXISTING CONCRETE BEARING LOCATION. SUPPORT STRUCTURE AND FOOTINGS TO BE DEMOLISHED
29. GRADE AREA FOR NEW ACCESSIBLE WALKWAY - SEE CIVIL
30. DEMOLISH PORTION OF EXISTING SEWER PIPING AND REPLACE PORTION GOING UNDERNEATH ADDITION PER PLANS
31. DEMOLISH EXISTING WATER PIPING AND REROUTE WATER LINE PER CIVIL



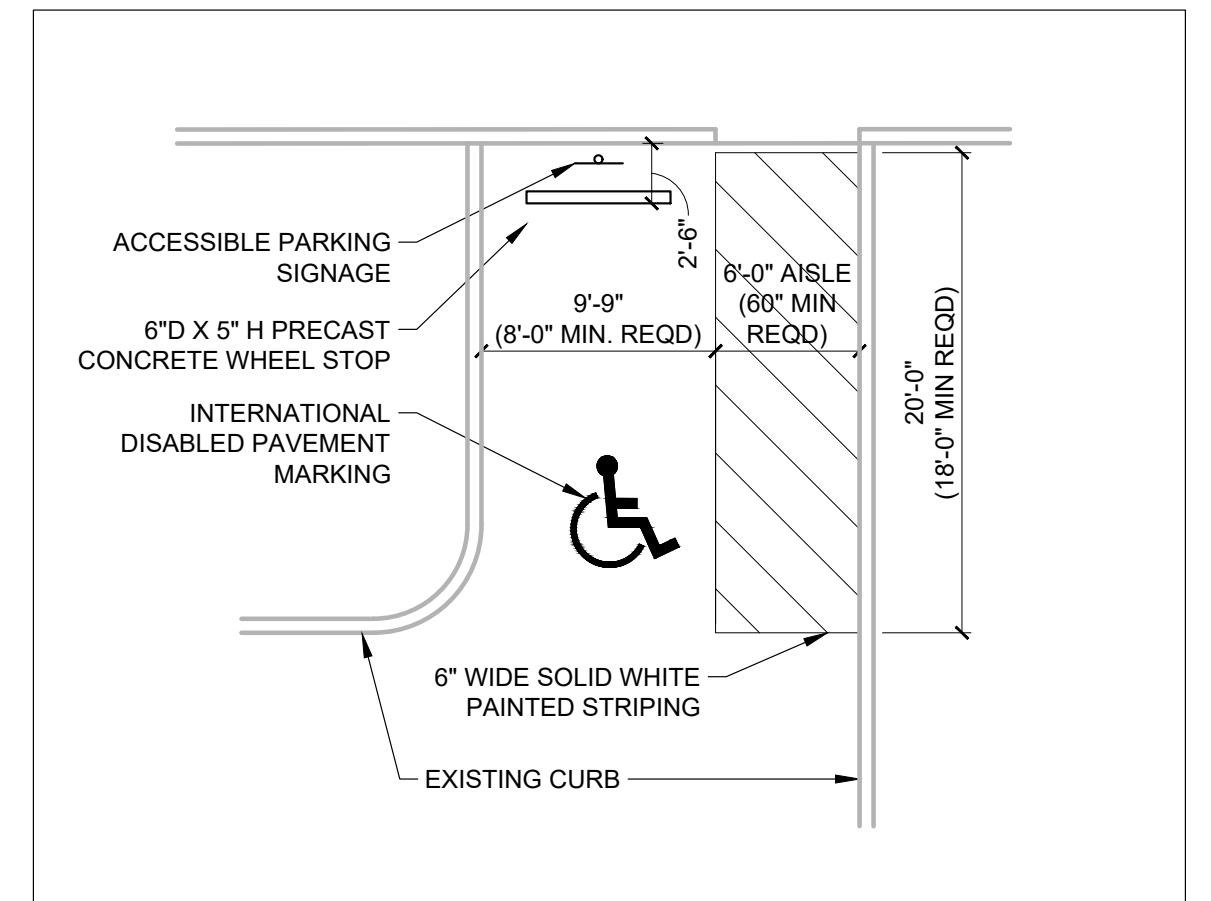
2 SIDEWALK SCUPPER
SCALE: 3/4"=1'-0"



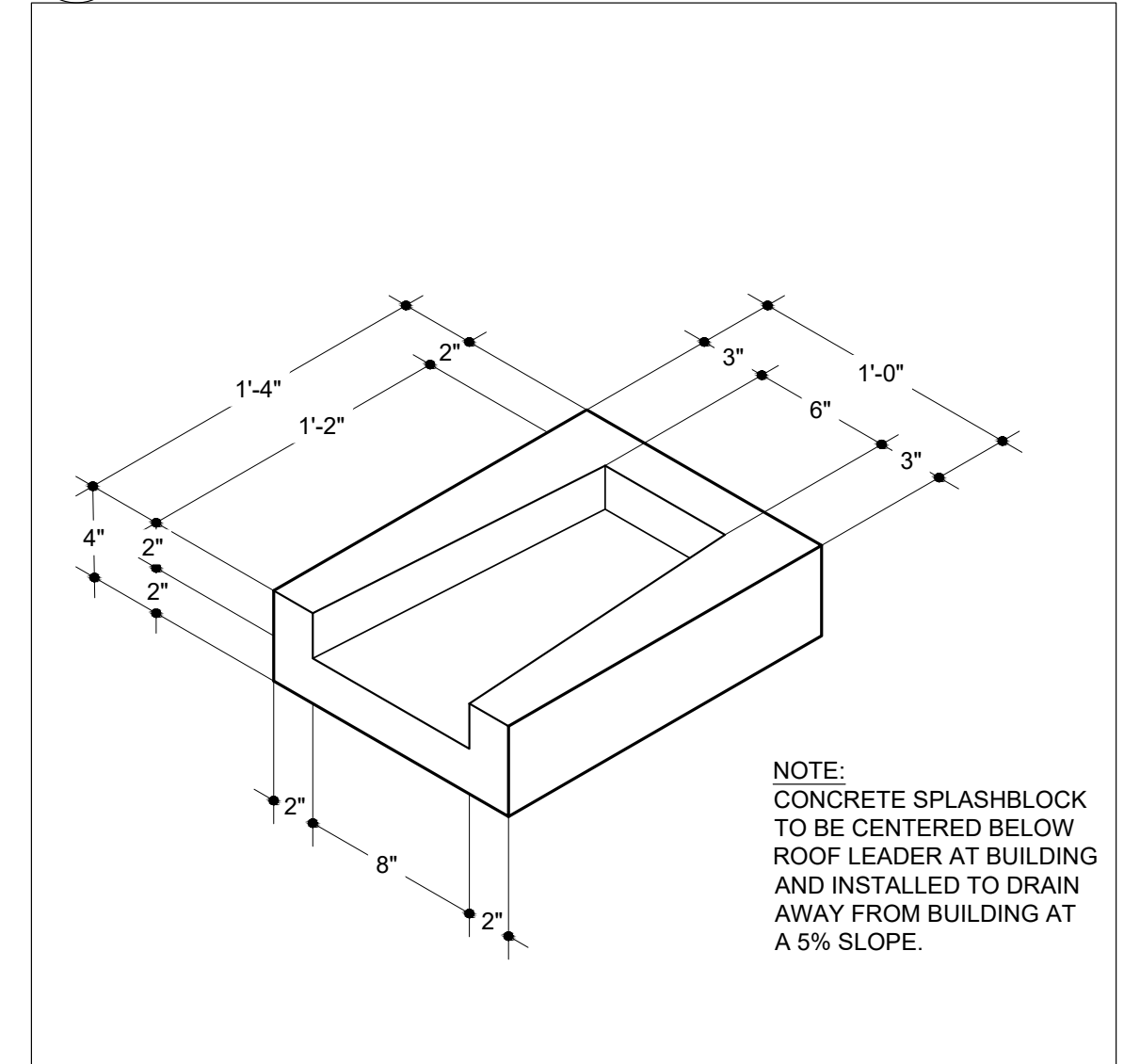
4 BICYCLE PARKING
SCALE: 3/8"=1'-0"



6 WALL MOUNTED BIKE RACK
SCALE: 1"=1'-0"



3 EXISTING ACCESSIBLE PARKING SPACE DETAIL
SCALE: 1/8"=1'-0"



5 CONCRETE SPLASH BLOCK
SCALE: 1-1/2"=1'-0"

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

4902 E. PIMA ST.
TUCSON, AZ 85712

DEVELOPMENT PACKAGE

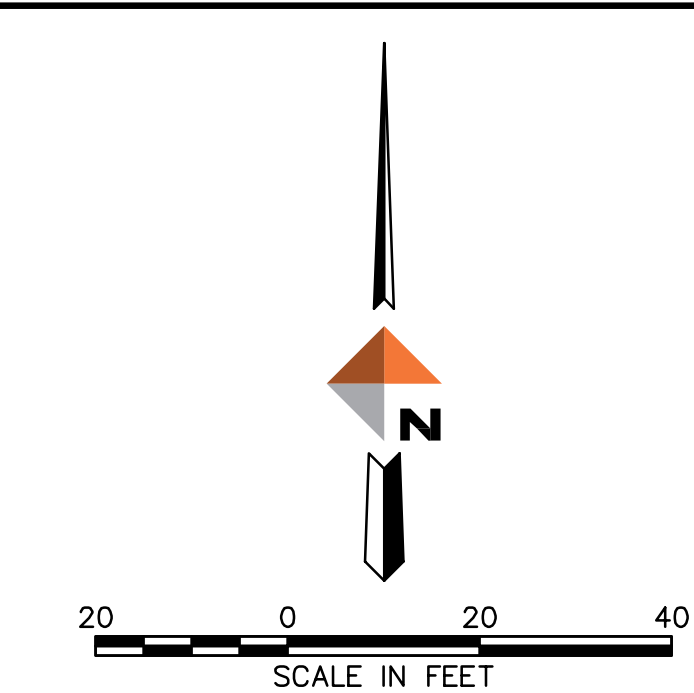
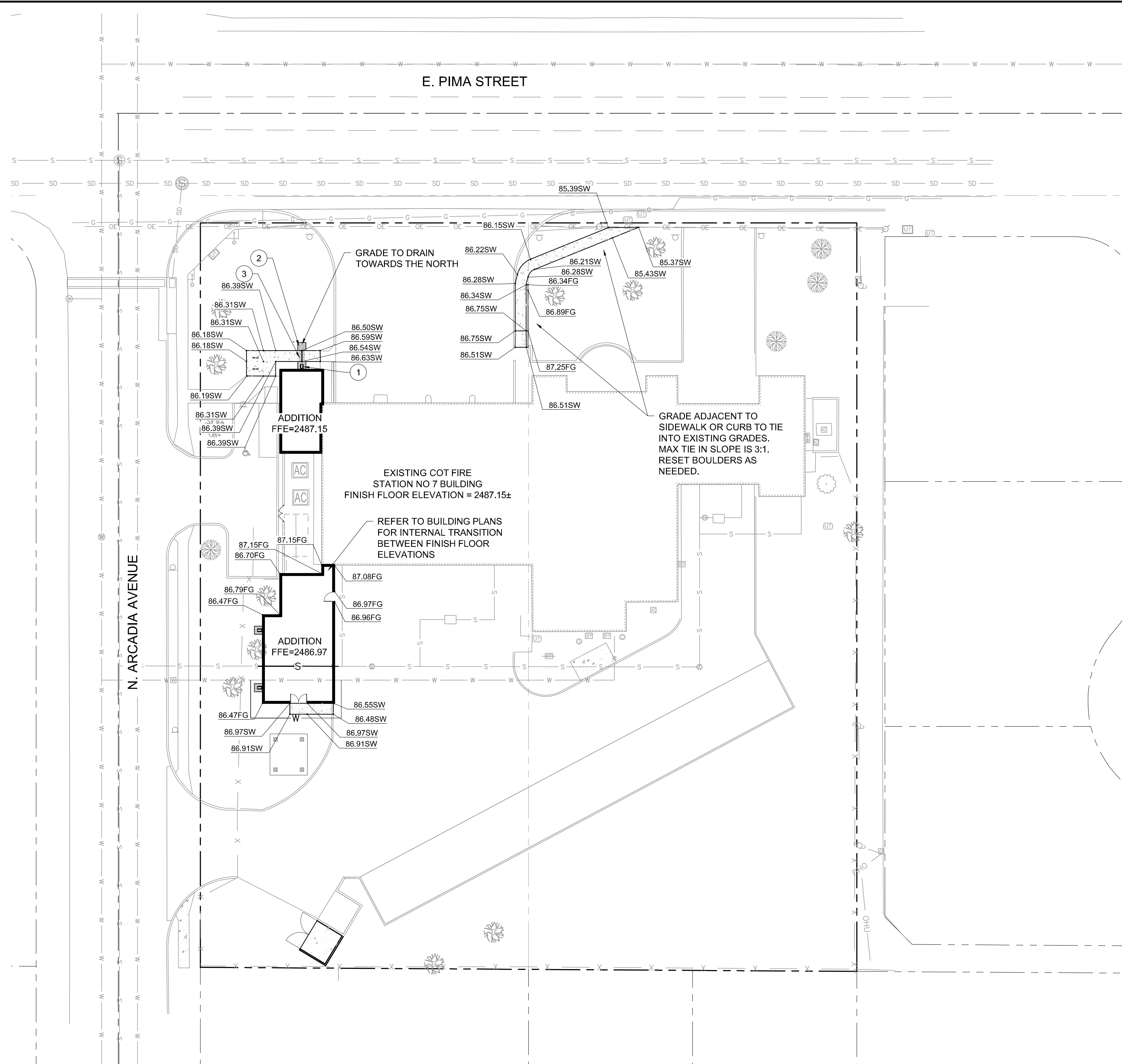
FOR
Addition to Fire Station 7 City of Tucson

DEMOLITION PLAN & DETAILS

Parcel 121-11-206A, SPEEDWAY NO 2 LOTS 6 & 7 LESS
N10' FOR RD BLK 15, Book 3 of M&P page 98 SEC 15,
T-14S R-14E S2, G&SRM, PIMA COUNTY, AZ

HOR. AS SHOWN REF.
SCALE: N/A VER. N/A JOB NO.

REVISION	BY	DATE	WSM FILE NO.	DESIGNED BY	DRAWN BY	CHECKED BY	JOB NO.
			20-005	TJP	AML	PDM	DP20-0222



GRADING AND DRAINAGE KEYNOTES

- 1 REFER TO ARCHITECTURAL PLANS FOR SPLASH BLOCK AT DOWNSPOUT LOCATION.
- 2 PROVIDE RIPRAP D50=6" DEPTH 12" AT/AROUND SPLASH BLOCK AS SHOWN AND DOWNSTREAM OF THE SIDEWALK SCUPPER. RIPRAP PER DETAIL 1 THIS SHEET.
- 3 PROVIDE TYPE 1 SIDEWALK SCUPPER PER PAG STD DTL 204.

GENERAL NOTES

- 1. A MAXIMUM 2% SLOPE IN ANY DIRECTION FOR ACCESSIBLE PARKING SPACES AND ADJACENT AISLE.
- 2. VERIFY ALL TIE IN ELEVATIONS AS SHOWN PRIOR TO COMMENCING WORK.
- 3. SURVEY INFORMATION SHOWN PROVIDED BY ALTA ARIZONA.
- 4. SOME ELEVATIONS SHOWN HAVE BEEN TRUNCATED. ADD 240' TO TRUNCATED ELEVATIONS FOR TRUE ELEVATION.

DRAINAGE STATEMENT

THE PROPOSED IMPROVEMENTS TO THE EXISTING CITY OF TUCSON FIRE STATION NO. 7 INCLUDE THE ADDITION OF APPROXIMATELY 1,639 SF OF NEW BUILDING AREA AND OTHER MISCELLANEOUS SITE WORK. THE SITE IN ITS CURRENT CONFIGURATION INCLUDES A SINGLE STORY FIRE STATION BUILDING, PAVED INGRESS AND EGRESS DRIVES, PARKING AREAS IN A SECURED PORTION OF THE SITE, PUBLIC PARKING ON THE EAST, AN ENCLOSED MECHANICAL YARD ON THE EAST SIDE AND OPEN SPACE/LANDSCAPING. THE ORIGINAL BUILDING WAS BUILT AROUND 1981 AND EXPANDED WITH AN ADDITIONAL APPARATUS BAY IN 2003.

NO EXISTING ONSITE RETENTION/DETENTION IS PROVIDED. CURRENTLY THE NORTH PORTION OF THE SITE SHEET FLOWS NORTH TO THE PIMA STREET RIGHT OF WAY WHILE THE SOUTH PORTION OF THE SITE SHEET FLOWS WEST TO THE ARCADIA AVENUE RIGHT OF WAY. ALL STORM WATER GENERATED BY THE SITE IS COLLECTED BY AN EXISTING STORM DRAIN SYSTEM THAT DISCHARGES INTO THE ARCADIA WASH, LOCATED APPROXIMATELY 1,000 FEET EAST OF THE SITE. A TRENCH TYPE CATCH BASIN WITH A VANE GRATE COLLECTS WATER FLOWING FROM FROM ARCADIA ROAD AT THE SOUTH LEG OF THE ARCADIA ROAD / PIMA STREET INTERSECTION. STORM WATER IS THEN CONVEYED VIA A 36" STORM DRAIN NORTH TO A 6'X3' SINGLE CELL BOX CULVERT WHICH FLOWS TO THE EAST AND DISCHARGES TO THE ARCADIA WASH JUST NORTH OF PIMA STREET. (REF COT PLAN NUMBER I-85-083)

THE SITE IS LOCATED WITHIN A BALANCED BASIN ACCORDING TO GIS DATA. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 04019C2282L WITH EFFECTIVE DATE OF JUNE 6, 2011 THE BUILDING IS LOCATED IN UNSHADED ZONE 'X', WHICH IS CONSIDERED OUTSIDE OF THE 500-YEAR FLOODPLAIN. A TOTAL OF 1,635 SF OF ADDITIONAL IMPERVIOUS AREA IS ADDED TO THE SITE. THIS IS INSIGNIFICANT AND ADDITIONAL PEAK FLOWS GENERATED ARE NEGLIGIBLE AND DO NOT IMPACT THE PERFORMANCE OF THE STORM DRAIN INFRASTRUCTURE ADJACENT TO THE SITE.

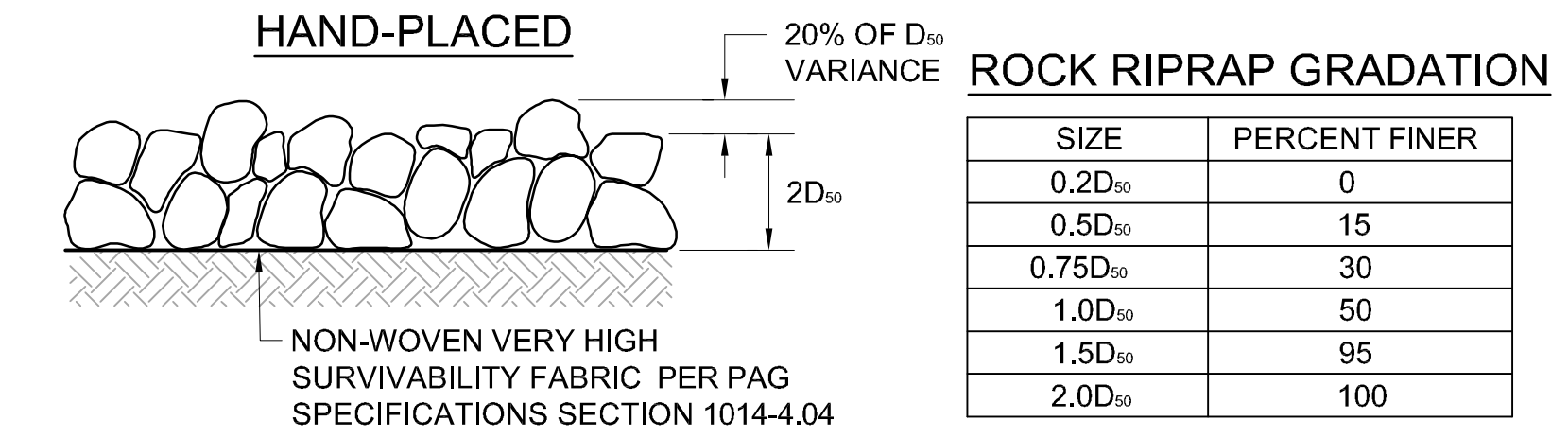
EARTHWORK QUANTITIES

ESTIMATED TOTAL CUT: 27 CY
 ESTIMATED TOTAL FILL: 0 CY
 NET CUT: 27 CY

THE ESTIMATES FOR EARTHWORK QUANTITIES ARE NET UNADJUSTED QUANTITIES ONLY. THEY DO NOT ACCOUNT FOR EXCESS CUT AND FILL THAT MAY BE REQUIRED DURING CONSTRUCTION. THEY ARE GIVEN ONLY FOR THE PURPOSES OF DETERMINING GRADING PERMIT FEES. EARTHWORK CONTRACTOR SHALL DETERMINE HIS OWN QUANTITIES.

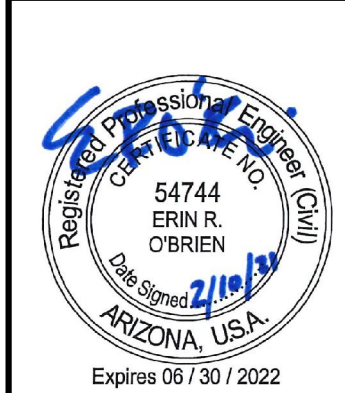
ENGINEER'S GRADING & DRAINAGE NOTES

- 1. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES SHALL BE FOUR (4) HORIZONTAL TO ONE (1) VERTICAL UNLESS OTHERWISE SPECIFIED.
- 2. AT LOCATIONS CALLED OUT TO MATCH EXISTING OR AT APPARENT LOCATIONS, THE CONTRACTOR SHALL MATCH FINISHED GRADES OF PROPOSED PAVEMENT AND PROPOSED CURB AND GUTTER WITH THE EXISTING PAVEMENT AND EXISTING CURB AND GUTTER. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM ALL CURBING AND EXISTING PAVEMENT.
- 3. DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION AT THE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- 4. ALL SURFACES ALONG ACCESSIBLE ROUTES AND ADA RAMPS SHALL BE STABLE, FIRM, SLIDE-RESISTANT, AND SHALL COMPLY WITH THE LATEST ADAAG REQUIREMENTS. ANY GRADE OR ELEVATION CHANGES TO THE ACCESSIBLE ROUTE MADE IN THE FIELD SHALL BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- 5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASH-OUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A STAND OF GRASS, OTHER FINAL LANDSCAPE PLANTING, OR OTHER PERMANENT SOIL STABILIZATION IS WELL ESTABLISHED.
- 6. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN ALL NATURAL AND PAVED AREAS. IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE STRUCTURE, PROTECTIVE SLOPES MUST BE PROVIDED WITH A MINIMUM GRADE OF APPROXIMATELY FIVE PERCENT (5%) FOR AT LEAST 10 FEET FROM PERIMETER WALLS. BACKFILL AGAINST FOOTINGS, EXTERIOR WALLS, AND IN UTILITY TRENCHES SHOULD BE WELL COMPACTED AND FREE OF ALL CONSTRUCTION DEBRIS TO REDUCE THE POSSIBILITY OF MOISTURE INFILTRATION.
- 7. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION. PLANTERS AND OTHER SURFACE FEATURES THAT COULD RETAIN WATER IN AREAS ADJACENT TO THE BUILDING OR PAVEMENTS SHOULD BE SEALED OR ELIMINATED.
- 8. RIP RAP SHALL CONFORM TO PAG SPECIFICATIONS, LATEST EDITION.
- 9. SPOT ELEVATIONS SHOWN ON PLANS ARE FINISHED GRADE ELEVATIONS UNLESS OTHERWISE SHOWN.
- 10. GRADING SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT FOR THE PROJECT SITE IN ADDITION TO HE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.



- NOTES:**
- 1. TOP OF RIPRAP TO BE AT FLOWLINE OR GRADE AS INDICATED ON PLAN (WITHIN VARIANCE GIVEN). RIPRAP PLACED ABOVE FINAL GRADE WILL NOT BE ACCEPTED.
 - 2. RIPRAP SHALL BE ANGULAR AND SHALL NOT EXCEED 3:1 RATIO FOR FLAT AND ELONGATED PIECES (ASTM D4791). ROUNDED ROCK (RIVER ROCK) IS NOT ACCEPTABLE.
 - 3. INSTALL SEPARATION GEOTEXTILE FABRIC PER MANUFACTURERS RECOMMENDATIONS.
 - 4. RIP-RAP CONSTRUCTION PER PAG SPECIFICATIONS.
 - 5. RIP-RAP COLOR SHALL BE APPROVED BY THE ARCHITECT.

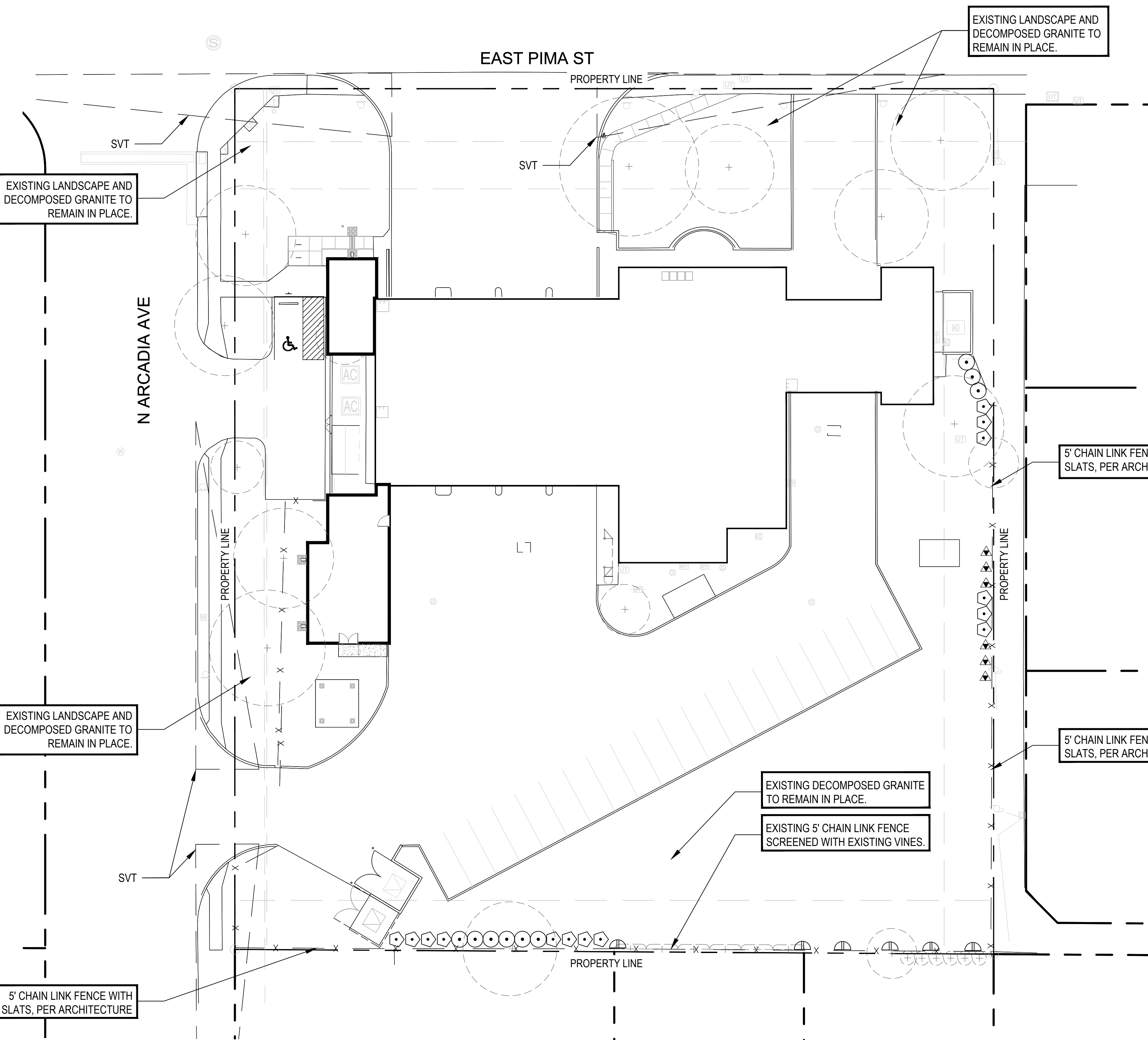
1 SHT 3
 NTS
DETAIL - RIPRAP PLACEMENT



DOWL
 www.dowl.com
 430 W. Warner Road, #B101
 Tempe, Arizona 85284
 480-753-0800

DEVELOPMENT PACKAGE
 FOR
Addition to Fire Station 7 City of Tucson
GRADING AND DRAINAGE PLAN
 Parcel 121-11-206A, SPEEDWAY NO 2 LOTS 6 & 7 LESS
 N10' FOR RD BLK 15, Book 3 of M&P page 98 SEC 15,
 T-14S R-14E S2, G&SRM, PIMA COUNTY, AZ

NO.	REVISION	BY	DATE	W/S	FILE NO.	DESIGNED BY	DRAWN BY	CHECKED BY	PROJECT NO.
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EXISTING LANDSCAPE AND DECOMPOSED GRANITE TO REMAIN IN PLACE.

EXISTING LANDSCAPE AND DECOMPOSED GRANITE TO REMAIN IN PLACE.

EXISTING LANDSCAPE AND DECOMPOSED GRANITE TO REMAIN IN PLACE.

EXISTING DECOMPOSED GRANITE TO REMAIN IN PLACE.

EXISTING 5' CHAIN LINK FENCE SCREENED WITH EXISTING VINES.

5' CHAIN LINK FENCE WITH SLATS, PER ARCHITECTURE

5' CHAIN LINK FENCE WITH SLATS, PER ARCHITECTURE

5' CHAIN LINK FENCE WITH SLATS, PER ARCHITECTURE

LANDSCAPE SCHEDULE

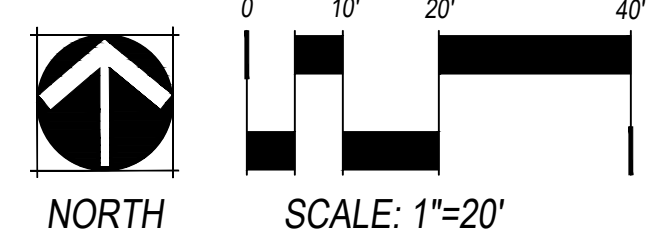
SYMBOL	SCIENTIFIC NAME	BOTANICAL NAME	SIZE	QTY.
EXISTING VEGETATION				
(+)	EXISTING VEGETATION TO REMAIN		VARIES	
(X)	EXISTING VEGETATION TO BE REMOVED		VARIES	1
SHRUBS AND VINES - DETAIL 1/SHEET 5				
(●)	LEUCOPHYLLUM LANGMANIAE "LYNN'S LEGACY"	LYNN'S LEGACY TEXAS RANGER	5 GALLON	9
(◐)	MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE	5 GALLON	6
(◑)	SENNA WISLIZENI	SHRUBBY SENNA	5 GALLON	1
ACCENTS - DETAIL 2/SHEET 5				
(▲)	OPUNTIA FICUS-INDICA	INDIAN FIG	5 GALLON	6

IRRIGATION NOTES:

1. INTENT OF THIS PROJECT IS FOR LANDSCAPE TO BE MANUALLY WATERED BY HOSE OR OTHER METHOD BY OWNER. TREES AND SHRUBS ARE TO HAVE A 4" WELL PROVIDED PER DETAILS. INSTALLER TO MANUALLY WATER ALL LANDSCAPE UNTIL FINAL ACCEPTANCE. COORDINATE WITH OWNER'S REPRESENTATIVE FOR WATER SOURCE AND FREQUENCY OF WATERING. LANDSCAPE MAY REQUIRE ADDITIONAL OR MORE FREQUENT WATERING IMMEDIATELY AFTER INSTALLATION AND/OR DURING HOTTER WEATHER.

LANDSCAPE GENERAL NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLAN AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT IMMEDIATELY.
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
- LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.
- SIGHT VISIBILITY TRIANGLES SHALL HAVE A CLEAR ZONE WHICH IS FREE OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS BETWEEN 30 INCHES AND 72 INCHES IN HEIGHT.
- MAINTENANCE: ALL REQUIRED LANDSCAPING ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING.
- ALL DISTURBED, GRUBBED, GRADED OR BLADED AREAS NOT OTHERWISE IMPROVED SHALL BE LANDSCAPED, RESEEDDED, OR TREATED WITH AN INORGANIC OR ORGANIC GROUNDCOVER.
- THE SCHEDULE FOR PLANTING OF SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANT SIZE, LOCATION AND SPACING:
 - SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFFSITE UTILITY SERVICE LINES OR UTILITY EASEMENTS OR WITH SOLAR ACCESS TO AN ADJACENT PROPERTY.
 - ALL SHRUBS TO BE A MINIMUM OF 2' FROM BACK OF CURB OR BACK OF SIDEWALK.
- PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID PROPOSED UTILITIES, EXISTING PRESERVED VEGETATION, AND OTHER FIELD CONDITIONS. CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
- THE CONTRACTOR SHALL SCHEDULE UTILITY LOCATION SERVICES AND TAKE EXTREME CARE WHILE WORKING WITHIN THE PROJECT AREA AS TO NOT DISTURB ANY EXISTING UTILITIES OR STRUCTURES ON OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND OR REPAIRING ANY EXISTING STRUCTURES OR UTILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE PROPERTY LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- NOTIFY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE OF ANY INSPECTIONS AND / OR APPROVALS OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL WARRANTY WORKMANSHIP AND ALL PLANT MATERIAL FOR 90 DAYS.
- FINAL PLANT LOCATIONS MUST BE IN COMPLIANCE WITH ALL UTILITY SETBACK REQUIREMENTS.
- PLANTS SHALL BE PRUNED ON A REGULAR BASIS TO PREVENT OBSTRUCTION OF WALKWAYS, CURB AREAS, DRIVES, AND LINE OF SIGHT VISIBILITY TRIANGLES.
- ANY PLANT MATERIAL INCLUDED IN THE APPROVED LANDSCAPE PLAN THAT DOES NOT SURVIVE AFTER INSTALLATION SHALL BE REPLACED WITH PLANT MATERIAL OF THE SAME OR LIKE SPECIES OF EQUAL SIZE WITHIN THIRTY (30) DAYS OF THE PLANT'S DEMISE.



418 North Toole Avenue
Tucson, AZ 85701
P 520.622.9565
www.norris-design.com



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4902 E. PIMA ST.
TUCSON, AZ 85712

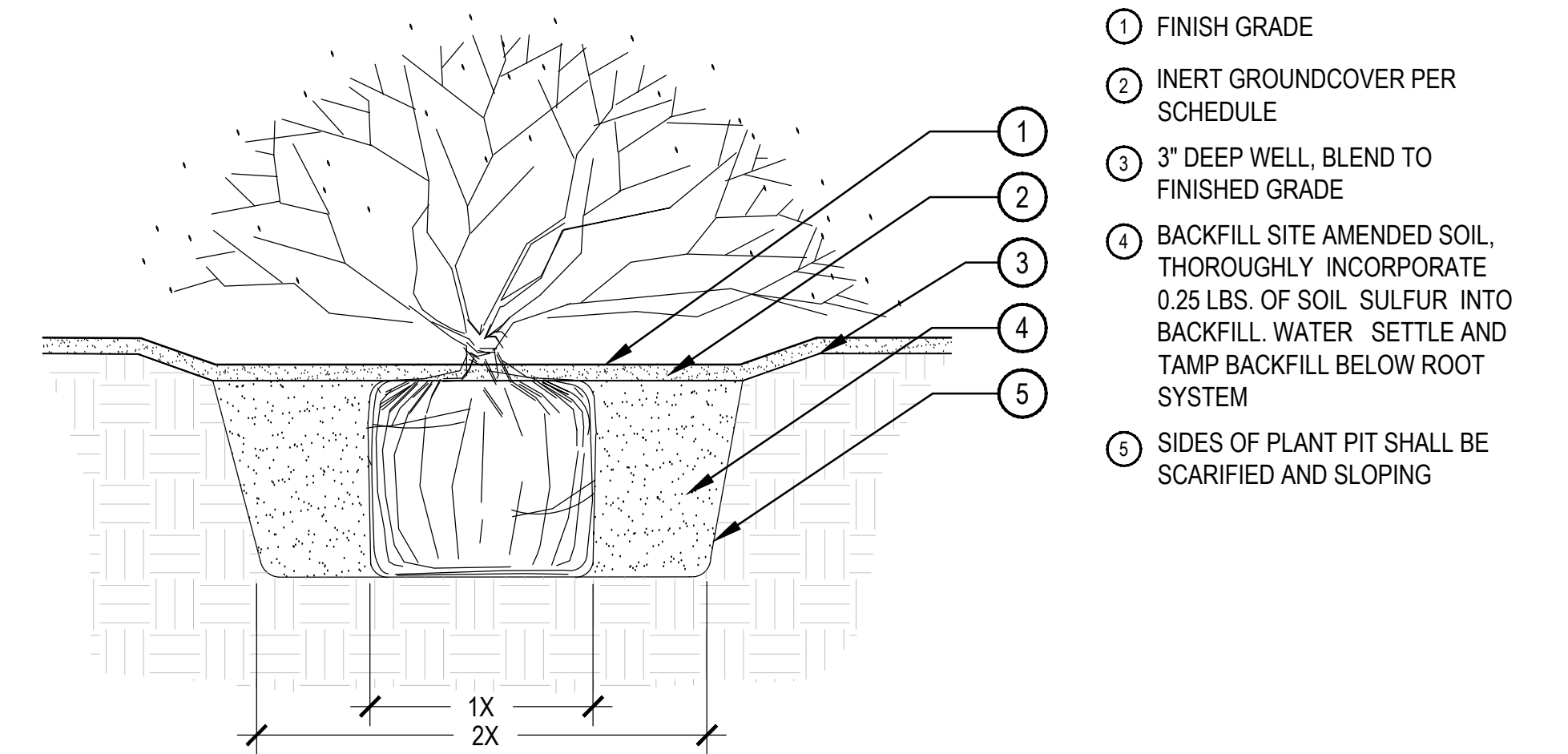
DEVELOPMENT PACKAGE

Addition to Fire Station 7 City of Tucson

LANDSCAPE PLAN

Parcel 121-11-206A, SPEEDWAY NO 2 LOTS 6 & 7 LESS
N10' FOR RD BLK 15, Book 3 of M&P page 98 SEC 15,
T-14S R-14E S2, G&SRM, PIMA COUNTY, AZ

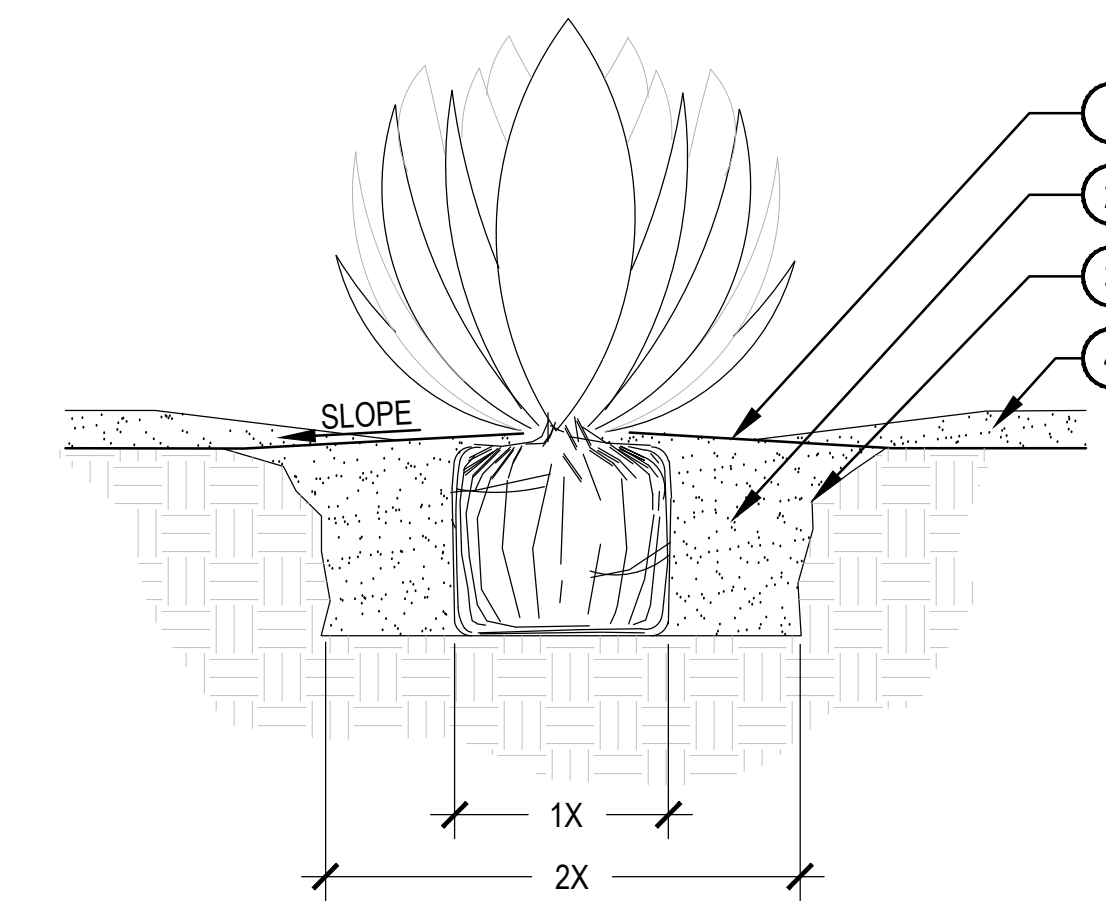
SCALE: HOR. AS SHOWN REF. JOB NO. _____
VER: N/A



- NOTES:
1. CREATE A 4" WELL FOR HAND WATERING.
 2. DO NOT DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER.
 3. BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
 4. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.

1 SHRUB / GROUNDCOVER PLANTING

SCALE: NTS



- NOTES:
1. CREATE A 4" WELL FOR HAND WATERING.
 2. SLOPE BACKFILL AWAY FROM PLANT.
 3. USE DRY SITE SOIL ONLY IN PIT. NO MULCH AT PLANT BASE.

2 ACCENT/CACTI

SCALE: NTS



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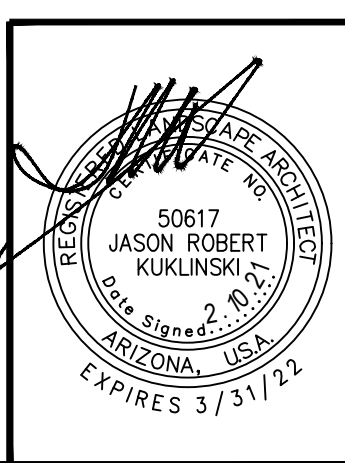


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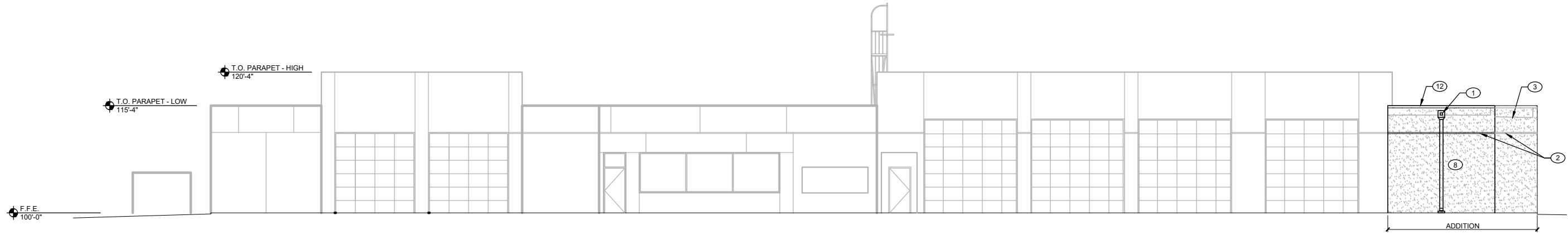
4902 E. PIMA ST.
TUCSON, AZ 85712



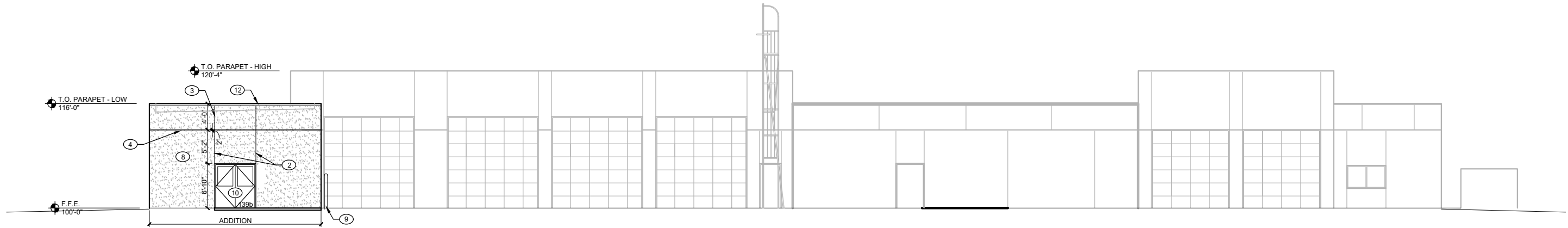
DEVELOPMENT PACKAGE
FOR
Addition to Fire Station 7 City of Tucson
LANDSCAPE DETAILS
Parcel 121-11-206A, SPEEDWAY NO 2 LOTS 6 & 7 LESS
N10' FOR RD BLK 15, Book 3 of M&P page 98 SEC 15,
T-14S R-14E S2, G&SRM, PIMA COUNTY, AZ

5/5

DP20-0222



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION KEYNOTES

1. SCUPPER WITH INTEGRAL OVERFLOW AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
2. CONTROL JOINT IN STUCCO
3. DASHED LINE INDICATES ROOF LINE
4. METAL ACCENT REVEAL, PROFILE TO MATCH EXISTING BUILDING STANDARD
5. PRECAST CONCRETE SPLASHBLOCK - SEE SITE PLAN
6. EXISTING STUCCO OVER MASONRY SITE WALL TO REMAIN - PATCH, REPAIR, AND REPAINT AS NECESSARY TO COMPLETE SCOPE OF WORK
7. EXISTING HOSE TOWER TO REMAIN
8. STUCCO - SEE WALL CONSTRUCTION FOR ADDITION INFORMATION - PTD.
9. 6" STEEL BOLLARD
10. EXTERIOR DOOR PER SCHEDULE
11. ACCESS GATE TO MECHANICAL YARD
12. PREFINISHED METAL PARAPET CAP
13. WINDOW - 1" DOUBLE PANE GLASS



BUILDING ELEVATIONS

CITY OF TUCSON FIRE DEPARTMENT STATION #7

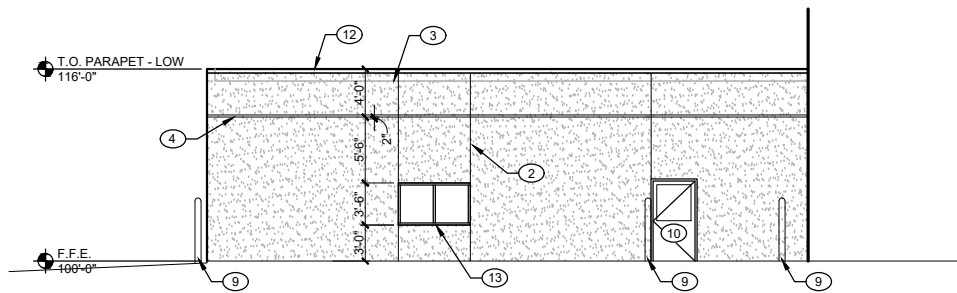
FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 07
PROJECT NO.:20-005



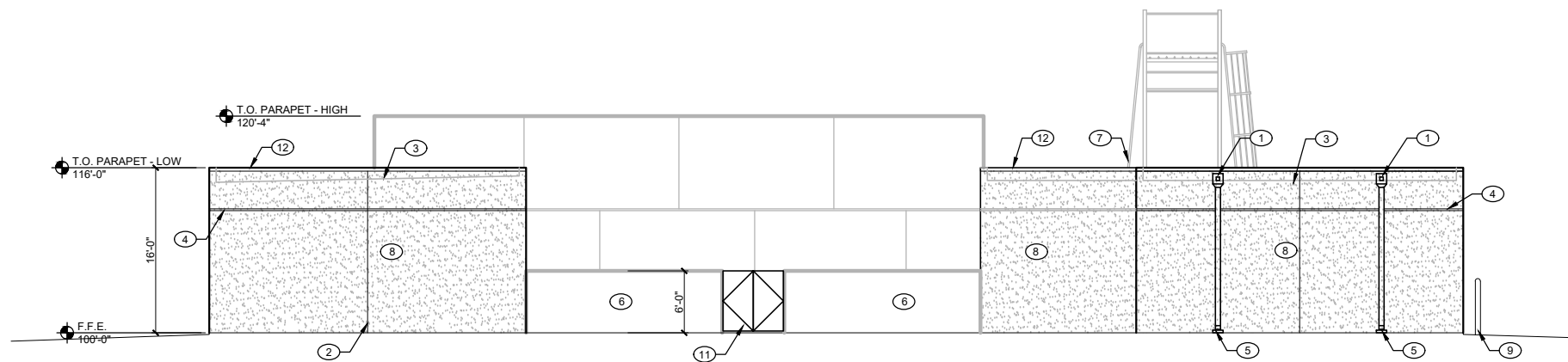
ARCHITECTS

ELEVATION KEYNOTES

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1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



BUILDING ELEVATIONS

CITY OF TUCSON FIRE DEPARTMENT STATION #7

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 07
PROJECT NO.:20-005



ARCHITECTS



NORTH ELEVATION PHOTO
SCALE: NTS



EAST ELEVATION PHOTO
SCALE: NTS



SOUTH ELEVATION PHOTO
SCALE: NTS



WEST ELEVATION PHOTO
SCALE: NTS



BUILDING FACADE PHOTOS

CITY OF TUCSON FIRE DEPARTMENT STATION #7

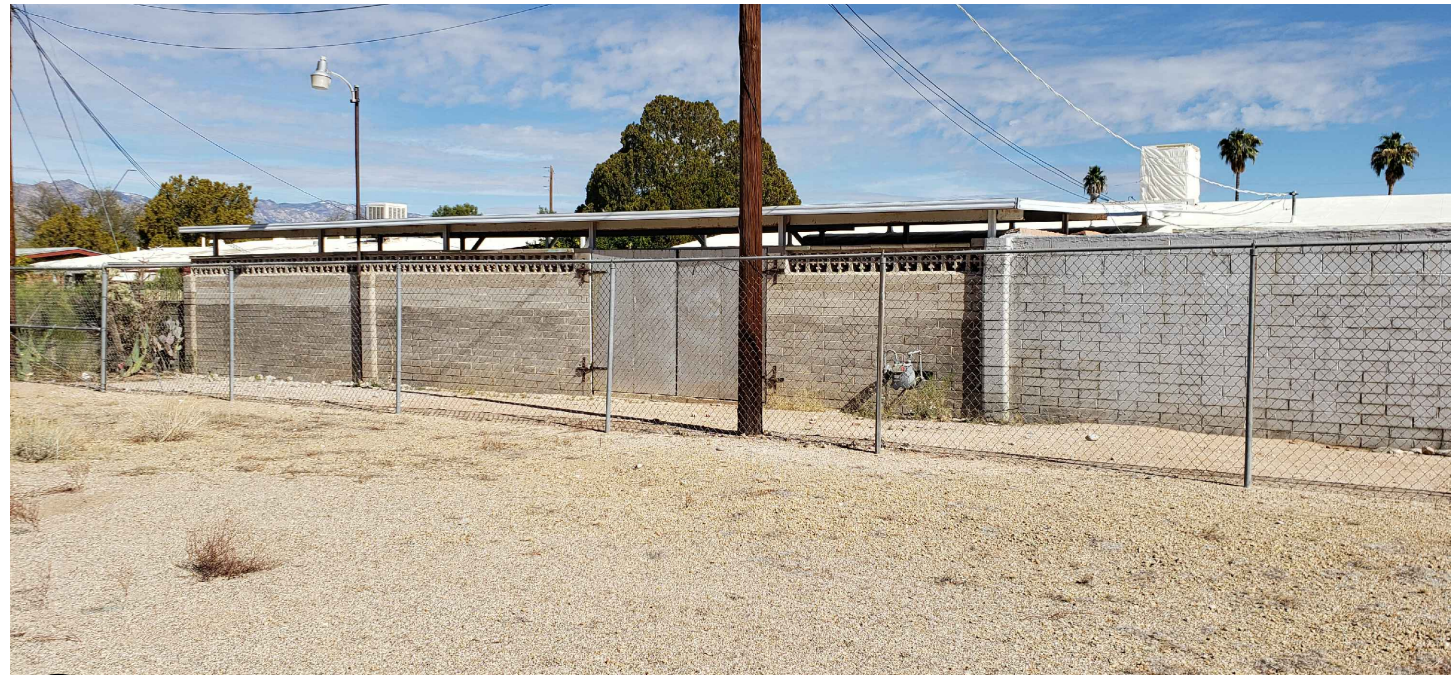
FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 07
PROJECT NO.:20-005



ARCHITECTS



VIEW LOOKING NORTH
SCALE: NTS



VIEW LOOKING EAST
SCALE: NTS



VIEW LOOKING SOUTH
SCALE: NTS



VIEW LOOKING WEST
SCALE: NTS



VIEWS FROM BUILDING

CITY OF TUCSON FIRE DEPARTMENT STATION #7

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 07
PROJECT NO.:20-005



ARCHITECTS



EXISTING FENCING @ SOUTH SITE BOUNDARY
SCALE: NTS



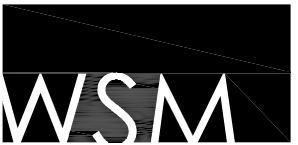
EXISTING FENCING @ EAST SITE BOUNDARY
SCALE: NTS



VIEWS FROM BUILDING

CITY OF TUCSON FIRE DEPARTMENT STATION #7

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 07
PROJECT NO.:20-005



ARCHITECTS

VinylWood® (3 1/2" x 5" mesh — near total privacy)

Patent Pending



VinylWood® is a durable chain link fence with wood-grained slats inserted into the chain link at our factory that look just like real wood. It is an excellent choice in fencing when you want the look and feel of wood, but not the headaches of natural wood upkeep.

It offers the lasting qualities of chain link, double-wall slats made from tough HDPE and "factory inserted" into the chain link for easy installation. There is no staining or painting required.

VinylWood® Benefits:

- Requires no painting or staining
- Little or no maintenance
- Available in 3 to 12 foot heights
- Slats manufactured from high-quality HDPE and "factory inserted" into the mesh
- Materials are much stronger and more durable than wood
- 15 year pro-rata limited warranty

Heavy-duty HDPE Slats

VinylWood® features strong and durable double wall slats "factory inserted" into the wire mesh. We've closely matched the color of the fused and bonded vinyl coating with the color of the wood grained slats to provide a beautiful finished appearance.

Vinyl Coated Chain Link Fencing

The vinyl coating on VinylWood®'s chain link mesh is created by the thermally fused and bonded method with a 9 gauge finish, 10 gauge core wire.

Galvanized Chain Link Fencing

We fabricate our chain link mesh using only the highest grade 9 or 10 gauge galvanized wire. Our state-of-the-art manufacturing process ensures a consistent weave and product quality.

ASTM Designations

Meets ASTM Designations (see chart on the next page)



Technical Data

VinyWood® Specifications

Wind load and privacy factor - approximately (Based on wire/mesh used-stretch tension)	98%
3 1/2" x 5" Mesh	✓
Manufactured up to 12' high	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 10 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class V wire (2.0 oz.)	✓
Available in 9 gauge finish 10 gauge core fused & bonded vinyl coated wire per ASTM F668, class 2B	✓
Available in 9 gauge aluminized before weaving wire per ASTM A491, Type 1	✓
Self-locking double wall slats (with or without staples)	✓
Slats meet ASTM F3000 and F3000M designations	✓
Available in a 25' roll 5' minimum increments thereafter	✓
Fifteen year pro-rata limited warranty	✓

Standard Wire Colors

Galvanized or wood grain

Standard Slat Color

Wood grain

Please refer to actual color samples for accurate color. **Samples available upon request.**



Every VinyWood® slat is carefully crafted to replicate as closely as possible the actual grain and color of wood. A close-up view clearly shows the rich, wood grained texture.

HDPE Technical Properties

Property	Values
Melt Index	(.35) Optimum extrusion processing conditions for Fence Slats
Density	(.945) Polyethylene ranges anywhere from .914 to .960 in density
Minimum Temp.	(-70° F) Under no stress, HDPE remains flexible at this temperature
Maximum Temp.	(180° F) Under no stress, HDPE will not distort at this temperature
Strength	(4,000 psi) HDPE will not distort at lesser loads or impacts



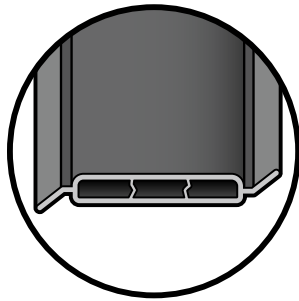
MADE IN USA



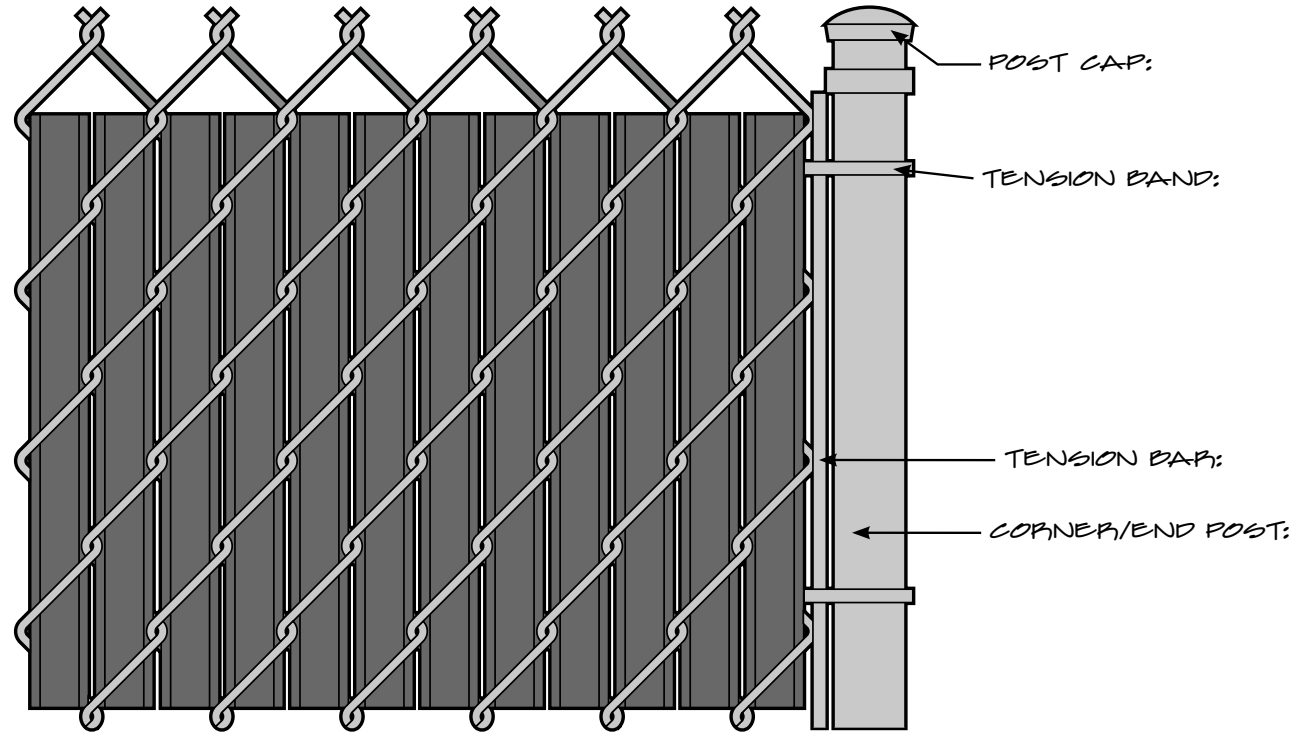
YOUR TOTAL FENCING SOURCE

COMMERCIAL, INDUSTRIAL & RESIDENTIAL FENCE PRODUCTS AND ACCESSORIES FOR THE FENCE PROFESSIONAL!

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Slat end view



VinylWood®

3 1/2" x 5" Mesh with Factory Inserted Slats

 <p>130 West 700 South Smithfield, UT 84335 eprivacylink.com 1-800-574-1076</p>	PROJECT:	SUBMITTED BY:	DRAWING NO:
	OWNER/GENERAL CONTRACTOR:	DATE:	

VinylWood®

3 1/2 x 5 in. Mesh with Privacy Slats

Architectural Reference Specifications

Chain Link Fence with Pre-Woven Slats

Section 32 31 13 – Chain Link Fences and Gates

While it is the intent of this specification to assist the professional specifier in making an informed choice of components and installation techniques, this is still a general specification. Certain details such as framework sizes, post spacing and concrete footer sizes must be tailored to the specifics of the job site. Wind loading data, freeze-thaw rates and other site conditions must be considered.

PART 1 GENERAL

1.1 Summary

This specification details the components and requirements for complete fence systems incorporating: **VinylWood®**.

1.2 Work Included

The contractor shall provide labor, materials and all necessary accessory items for the installation of the privacy fencing system specified herein.

1.3 Related Work

General Conditions - Earthwork - Concrete

1.4 System Description

The privacy fencing system shall be a complete system made up of chain link fence fabric with pre-inserted high-density polyethylene (HDPE) slats, framework, fittings, gates and incidental accessory items.

1.5 Quality Assurance

Installer Qualifications: Company specializing in performing the work of this section with minimum five (5) years documented experience.

1.6 References

ASTM D638	Standard Test Method for Tensile Properties of Plastics
ASTM D746	Standard Test Method for Brittleness
ASTM D747	Standard Test Method for Apparent Bending Modulus of Plastics by Means of a Cantilever Beam
ASTM D1238	Standard Test Method for Flow Rates of Thermoplastics by Extrusion Plastometer
ASTM D1505	Standard Test Method for Density of Plastics by the Density Gradient Technique

(All ASTM Standards referenced in this specification)

1.7 Mandatory Product Characteristics

Fabric provides 98% (approx.) privacy when installed correctly that results in not being able to see through the fence when you look straight on.

- Slats should not slip or go behind the knuckle thus causing less privacy and very sloppy looking, non-uniform slats.
- Slats should be free from an excess of smudge, grease or insertion marks.
- Slats should fit tight and securely in the mesh without use of staple or stitch.
- Hand inserted slats are not an “equal to!”

1.8 Submittals

Shop drawings, manufacturer’s product data and samples, plan layout including spacing of components, accessories and post details shall be submitted for approval.

PART 2: PRODUCTS

2.1: Manufacturer

The fence fabric with pre-inserted slats shall be manufactured by **PrivacyLink®**, LLC, P.O. Box 295, Hyde Park, Utah 84318. The manufacturer may be contacted at 800-574-1076, 435-563-1058 or via fax at 435-563-1062. The manufacturer’s web site is located at www.eprivacylink.com and E-Mail may be sent to info@eprivacylink.com. All other components of the system such as framework, fittings and gates shall be manufactured by various standard fence industry manufacturers.

2.2: 3 1/2” x 5” Mesh Products

The fence fabric shall be:

Height {choose one}
3’, 42”, 4’, 5’, 6’, 7’, 8’, 10’, 12’ high.

Fabric Diameter & Finish {choose one}

1. 3 1/2” x 5” mesh by 9 ga. (0.148”) galvanized before weaving per ASTM A392 & A817, 1.2 oz. Type II Class 4 OR

2. 3 1/2” x 5” mesh by 10 ga. (0.135”) galvanized before weaving per ASTM A392 & A817, 1.2 oz. Type II class 4 OR

3. 3 1/2” x 5” mesh by 9 ga. finish (10 ga. Core) vinyl coated by the thermally fused and bonded method per ASTM F668, Class 2b OR

4. 3 1/2” x 5” mesh by 8 ga. finish (9 ga. Core) vinyl coated by the thermally fused and bonded method per ASTM F668, Class 2B

Fabric Color: The vinyl coated chain link fabric shall be "Cedar Tone."

The privacy slats for **VinylWood®**, which are pre-inserted at the time of manufacturing, shall be double wall, fluted to give a wood-like appearance, self-locking and 2.85" (approx.) wide to provide a tight fit in the fence fabric and provide 98% (approx.) privacy. The slats shall be manufactured from virgin, high-density polyethylene (HDPE) and the color shall be "Cedar Tone".

Before Weaving	After Weaving
1.2 oz. is class 1	1.2 oz. is type II class 4
2.0 oz. is class 2	2.0 oz. is type II class 5

2.4 Framework, Fittings & Gates

Framework - per ASTM F1043 - Standard Specification for Strength and Protective Coatings on Metal Industrial Chain Link Fence Framework {special consideration to wind loading should be considered}.

Fence Fittings - per ASTM F626 - Standard Specification for Fence Fittings.

Swing & Slide Gates - per ASTM F900 - Standard Specification for Industrial and Commercial Swing Gates & Slide Gates.

PART 3 EXECUTION

3.1 Preparation

Prepare the grade and remove surface irregularities, if any, which may interfere with the installation of the fence.

3.2 Installation

Per ASTM F-567 – Standard Practice for Installation of Chain Link Fence

3.3 Clean Up

Contractor shall clean the job site of excess materials and debris. Material from posthole excavations shall be scattered uniformly away from the posts.



PrivacyLink®
P.O. Box 295, Hyde Park, Utah 84318
Toll free: 800-574-1076
Phone: 435-563-1058
Fax: 435-563-1062
Web: www.eprivacylink.com
Email: info@eprivacylink.com

11/30/2020	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	ADMINISTRATIVE MANUA ADMINISTRATIVE MANUAL
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4.1 Identification and Descriptive Data

The Development Package will contain the following identification in the lower right corner of each sheet:

Any other relevant case number for reviews or modifications that affect the site.

Add case number and DP20-0222 on each sheet.

Ensure that Zoning and Engineering comments are addressed prior to landscape section approval.

12/29/2020	ELISA HAMBLIN	ZONING	REVIEW	Reqs Change	CDRC TRANSMITTAL TO: Development Services Department Plans Coordination Office FROM: Elisa Hamblin, AICP; Principal Planner PROJECT: 4902 E Pima St – Fire Station #7 Addition Development Package (1st Review) DP20-0222 TRANSMITTAL DATE: December 29, 2020 COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed. This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06 as well as compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM). Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet
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been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is October 28, 2021.

1. 2-06.4.1 - The name, mailing and email addresses, and phone number of the primary property owner of the site, the developer of the project, registrant(s), and other person(s), firm(s), or organization(s) that prepared the development package documents shall be provided on the right half of the cover sheet. Provide names and email addresses.

2. 2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses. Demonstrate compliance with use-specific standard 4.9.13.F. which requires a minimum 5 ft screen wall to the south and east. It appears that portions of the site are enclosed with a chain link fence, which does not meet the requirements of a screen wall per UDC Article 7.6.5. It is possible to modify this requirement through a Design Development Option (DDO), which is an administrative process. The DDO request would be for a substitution of materials to include slatted chain link fencing and vegetation in lieu of a solid wall. Contact Mark.Castro@tucsonaz.gov for more information.

3. 2-06.4.7.A.8.a, b, c – Update general notes on sheet 1. Include existing storage building on east of property, which appears to be approximately 100 sq ft. Update notes on floor area for each building, Percentage and area in square feet of building and accessory building coverage, and Percentage of building, lot area, or vehicular use area expansion.

4. 2-06.4.8.A - Provide site boundary/subdivision perimeter information, including bearing in degrees, minutes, and seconds, with basis for bearing noted, together with distances in feet, to hundredths of a foot, or other functional reference system.

5. 2-06.4.8.B – Verify all existing easements are drawn on the plan. The recordation information, location, width, and purpose of all easements on site will be stated. Blanket easements should be listed in the notes, together with recordation data and their proposed status. Should an easement not be in use and be proposed for vacation or have been abandoned, so indicate. However, should the easement be in conflict with any proposed building location, vacation of the easement shall occur prior to approval of plan unless written permission from easement holder(s) is provided.

6. 2-06.4.8.C - The following information regarding existing private or public right-of-way adjacent to or within the site shall be provided: the name, right-of-way width, recordation data, type and dimensioned width of paving, curbs, curb cuts, and sidewalks. Include information for Pima St and Arcadia Av on site plan.
7. 2-06.4.9.F - All existing zoning classifications on and adjacent to the project (including across any adjacent right-of-way) shall be indicated on the drawing with zoning boundaries clearly defined.
8. 2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces and parking areas, fully dimensioned. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.
9. 2-06.4.9.H.5.a – Correct notes regarding calculations on the number of parking spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. Parking for this use is calculated at 1 space per 300 sq ft of gross floor area. Please note, gross floor area excludes vehicle use area. Based on rough calculations, it appears approximately 24 parking spaces are required. Please verify this calculation. If the required number of parking spaces cannot be provided on site, there are options in UDC Article 7.4.5. which may work, including an Individual Parking Plan (IPP) or Parking Design Modification Request (PDMR) per UDC Article 7.4.10. Alternately, you may wish to proceed with a variance request from the Board of Adjustment. Assuming the site is only short 1 parking space, the easiest option may be to provide extra bike parking, per UDC Article 7.4.5.E.3.
10. 2-06.4.9.H.5.d – Clarify location of the two short term bicycle spaces which are required.
11. 2-06.4.9.O - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown. Correct setbacks (lines and general notes) for Pima and Arcadia. As Pima is a Major Street and Route, developing area setbacks are applied to both streets as found in UDC Article 6.4.5.C.2. Setback from Pima is 21 ft or the building wall height (whichever is greater) as measured from the back of future curb. Setback from

Arcadia is 21 ft or the building wall height (whichever is greater), as measured from the outside edge of adjacent travel lane.

12. 2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s). Provide sq ft and height of existing storage building on east of property.

13. 2-06.4.9.R – For the additions and expansions on site, show on-site pedestrian circulation and refuge utilizing location and the design criteria in Section 7-01.0.0, Pedestrian Access, of the Technical Standards Manual. Provide details for sidewalk area and accessible route on west of new building. Sidewalk is required to Pima St. At least one of the two routes to the streets must meet ADA standards.

14. 2-06.4.9.S - Show existing or proposed pedestrian circulation along abutting rights-of-way. Such sidewalks must comply with accessibility requirements for the physically disabled and the design criteria in Section 10-01.0.0, Street Technical Standards, of the Technical Standards Manual.

15. Add case number DP20-0222 adjacent to the title block on all sheets.

If you have any questions about this transmittal, please contact me at Elisa.Hamblin@tucsonaz.gov or (520) 837-4966.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED:
Revised development package

Parcel Number: 121-11-206A

Property Address			
Street Number	Street Direction	Street Name	Location
4902	E	PIMA ST	Tucson

Contact Information	
Property Owner Information:	Property Description:
CITY OF TUCSON 00000-0000	SPEEDWAY NO 2 LOTS 6 & 7 LESS N10' FOR RD BLK 15

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2020	VACANT/AG/GOLF (2)	15.0	\$98,000	\$756,106	\$854,106	\$854,106	\$128,116
2021	VACANT/AG/GOLF (2)	15.0	\$110,000	\$732,893	\$842,893	\$842,893	\$126,434

Property Information					
Township:	14.0	Section:	2	Range:	14.0E
Map:	3	Plat:	98	Block:	015
Tract:		Land Measure:	65,490.00F	Lot:	00006
Census Tract:	3102	File Id:	1	Group Code:	000
Use Code:	9770 (MUNICIPAL POLICE/FIRE DEPARTMENT FACILITY)			Date of Last Change:	11/5/2012

Valuation Area				
District Supervisor: ADELITA GRIJALVA District No: 5				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
4	1111055 DEL	01005601	03098 DEL	9

Recording Information (1)				
Sequence No.	Docket	Page	Date Recorded	Type
0	6267	50	4/28/1980	

Commercial Characteristics

Property Appraiser: Eduardo Puig Phone: (520) 724-6980

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	11,274	\$732,893	\$0	\$0

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1985	904/3	0000000	11,274	\$1,312,467	\$659,121	FIRE STATION
002-001	1985	290/3	0000000	0	\$165,929	\$59,734	PARKING LOT
003-001	1985	101/3	0000000	0	\$28,885	\$14,038	COMMERCIAL YARD IMPROVEMENTS

Permits (5)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T20CM07970	COTH ~ APPROVED			TUC	\$0	0	3/*				
Description: REPL CELL TOWER ANTENNAS											
T99EL02023	COTH ~ FINAL	12/08/1999	12/02/1999	TUC	\$0	0		07/24/2007			0
Description: GENERATORS											
T97CM01535	CALT ~ FINAL	09/23/1997	04/25/1998	TUC	\$85,000	371		07/24/2007			0
Description: REMODEL:FIRE STATION:WOMENS FACILITIES											
T12CM00965	CALT ~ FINAL	03/12/2012	07/23/2012	TUC	\$40,000	0	3/*	03/30/2012	03/30/2012		0
Description: TI:KITCHEN HOOD REPLACEMENT											
T01CM02515	CADD ~ FINAL	05/21/2002	11/27/2002	TUC	\$235,000	1,121		07/24/2007			0
Description: FIRE STATION:NEW APPARATUS BAY ADDITION											

Notes (2)

Created: 1/13/2012 Modified: 1/13/2012	CHG USE CODE TO 9770
Created: 12/23/2011 Modified: 12/30/2011	TUCSON FIRE STATION 7. PU ONE NEW BLDG FOR 2013. CORRECT CLASS (4/0). NC USE CODE OR RATIOS. SPECS AND DIMS EST.

ASSESSOR'S RECORD MAP

LAYOUT

121-11

SPEEDWAY ADDITION No. 2

UNSUBDIVIDED

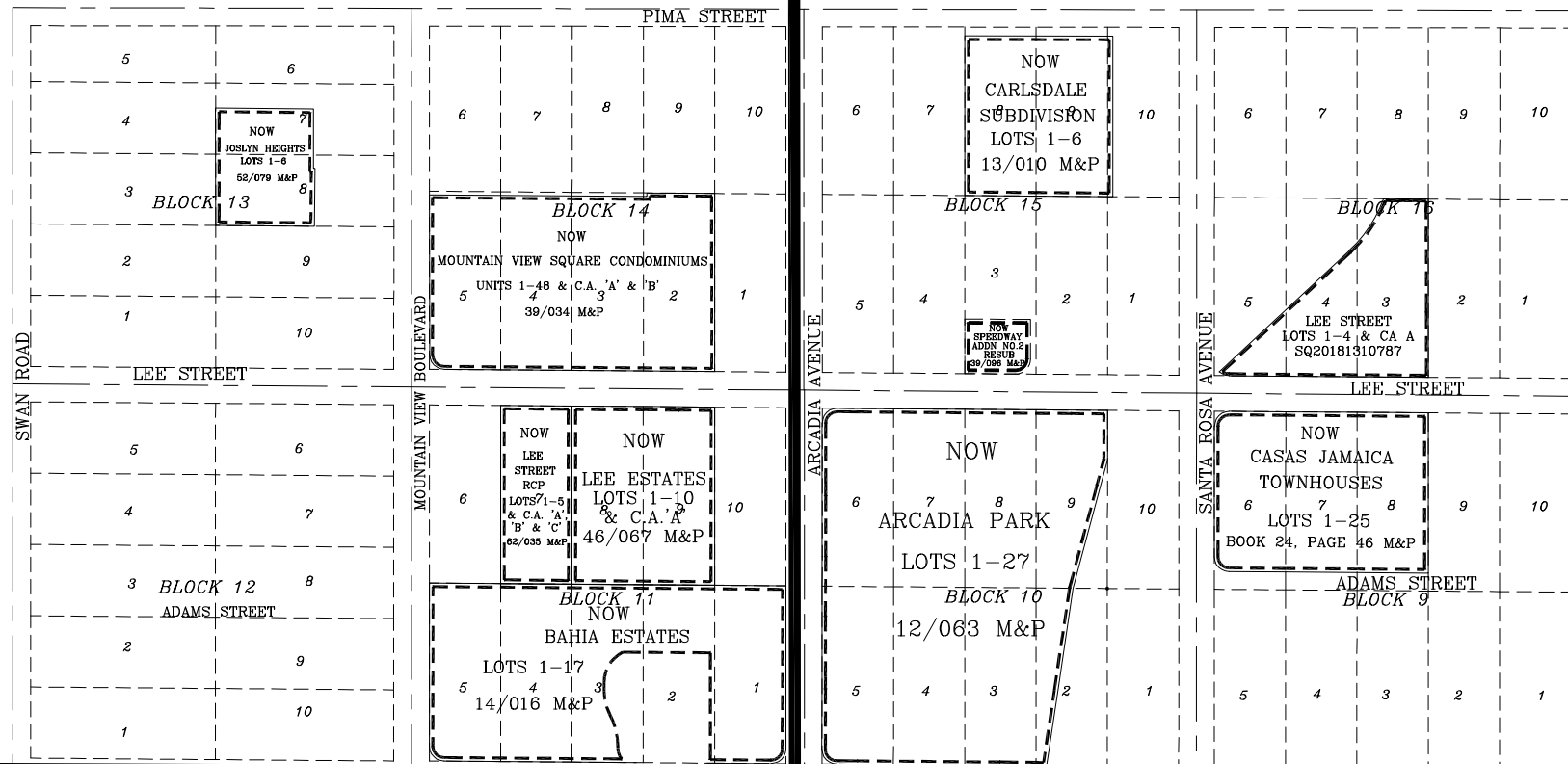
CLOVERLEAF ADDITION
BOOK 06, PAGE 048

SEE DETAIL #3

SEE DETAIL #2

SPEEDWAY ADDITION
BOOK 03, PAGE 087 M&P

AVONDALE
BOOK 04, PAGE 042 M&P

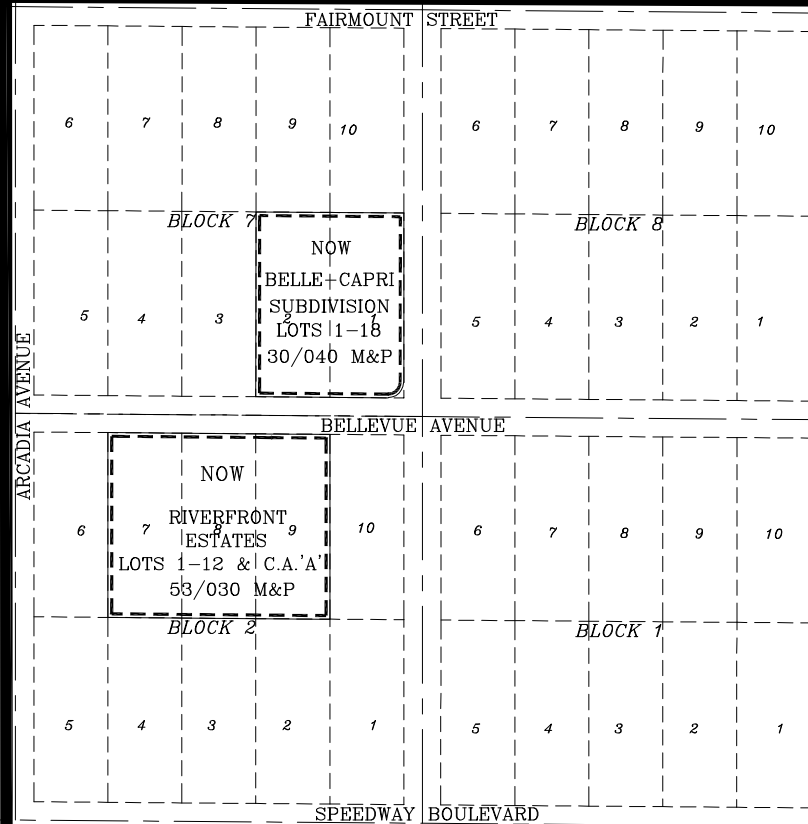


PINECREST RESUB
BOOK 09, PAGE 081 M&P

SEE DETAIL #1

PINECREST
BOOK 09, PAGE 063 M&P

AVONDALE
BOOK 04, PAGE 042 M&P



SEE BOOK 03 PAGE 098 M&P
2019-1

S02,T14S,R14E

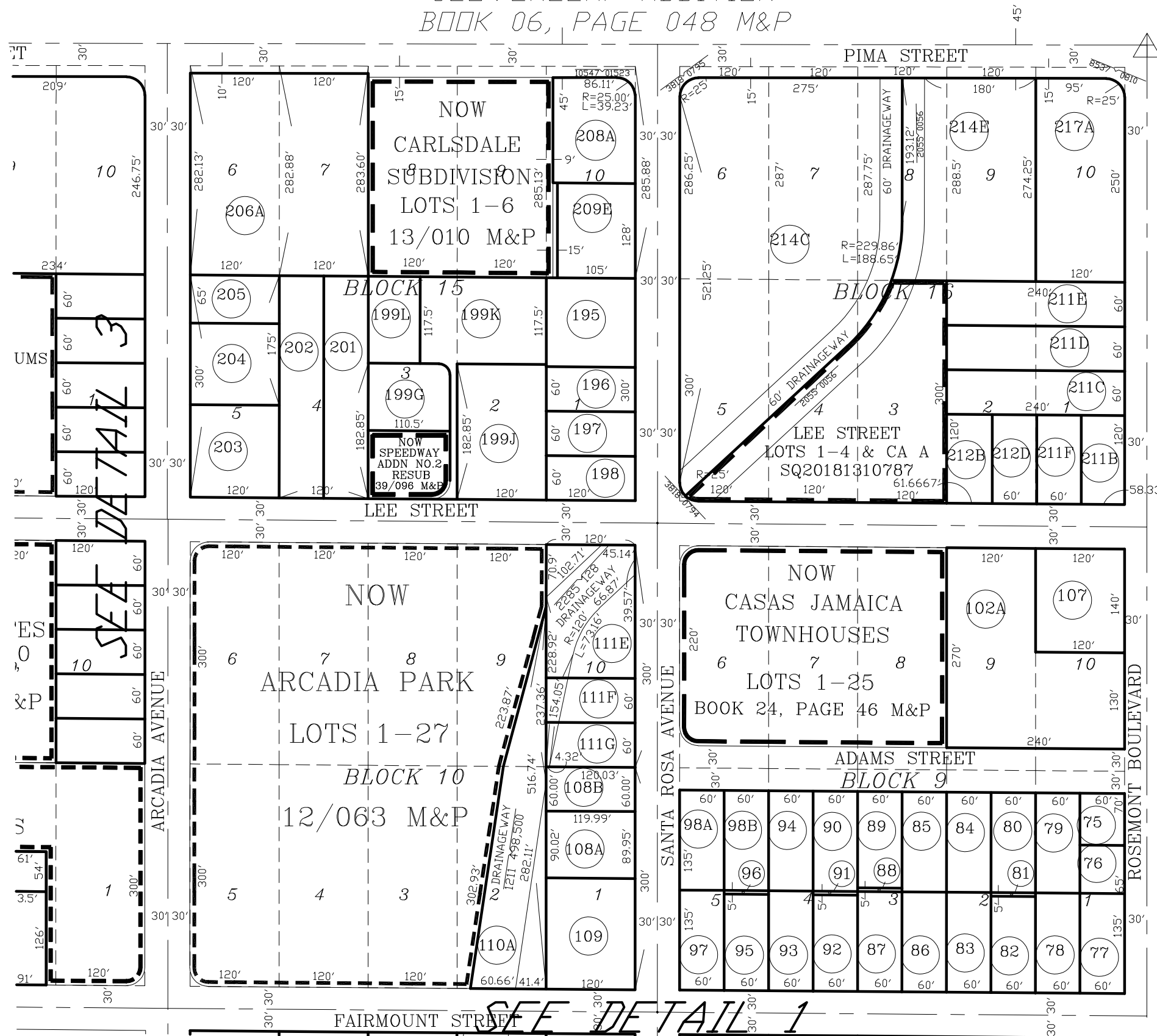
:\MP03\03098- 05/10/18



pima
county
assessor

CLOVERLEAF ADDITION
BOOK 06, PAGE 048 M&P

CEN. 1/4 CDR SEC 2



AVONDALE
BOOK 04, PAGE 042 M&P

SEE BOOK 03 PAGE 098 M&P
2011-2

S02,T14S,R14E

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