



CITY OF
TUCSON

T21SA00084
DRB-21-10

Case Number DDO-21-18

Date Accepted 3/12/21

DESIGN DEVELOPMENT OPTION (DDO) APPLICATION For Landscaping/Screening Substitutions

This application must be filed at Planning and Development Services Department, Public Works Building, 3rd Floor, 201 North Stone Avenue, Tucson, Arizona. Call 837-4979 to schedule a submittal appointment. To be accepted for processing, the application must be complete, accurate, and legible and must be accompanied by the appropriate plans, documentation, and fees. Incomplete applications will not be accepted. Please make your check payable to the "City of Tucson."

PROPERTY INFORMATION

Project Address _____ DP# _____

Zone _____ Proposed Use (Please be specific.) _____

Number of Existing Buildings _____ Number of Stories _____ Height of Structure(s) _____

Size of Property _____

Property Tax Code(s) _____

Property Legal Description _____

Mailing Address: Planning & Development Services Department
P. O. Box 27210
Tucson, AZ 85726-7210
Phone: (520) 837-4979
DSD_Zoning_Administration@tucsonaz.gov

Location: Public Works Building
201 N. Stone Ave

APPLICANT INFORMATION

APPLICANT/AGENT Name _____

Address _____

Phone _____ FAX _____

OWNER Name _____

Address _____

Phone _____ FAX _____

ARCHITECT/
ENGINEER Name _____

Address _____

Phone _____ FAX _____

SIGNATURE OF OWNER

Owner _____

Date _____

SIGNATURE OF APPLICANT (if not owner)


Applicant _____

Date _____

If you have already applied for any related processes, please list the case numbers (variance, HPZ, NPZ, rezoning, etc.)

MODIFICATION REQUESTED

Check the items that apply and indicate what is proposed instead, explaining why each request is being made. (Use additional sheets if necessary.)

Street Landscape Border _____

Interior Landscape Border (tree requirement) _____

Street Frontage Screening _____

Interior Perimeter Screening _____

Vehicular Use Area Trees _____

Other Landscaping or Screening Requirements _____

Explain how these DDOs will improve the design of the project. (Use additional sheets if necessary.)

Objective: For the provision of a new section of 5'-0" high slatted chain link fence parallel to the response drive to be allowed to meet the intent for required screening.

The southeast corner of the site abuts a residential property. The residential property has an existing opaque masonry site wall and the adjacent property and usable part of this site are also separated by detention basin with steep topography. Throughout the drainage area is existing dense, mature vegetation. The topography at this portion of the site due to the wash is challenging for constructability of a masonry wall, and would be such that a masonry wall could not be reasonably constructed at a distance less than >90'-0" from the residential property line. We propose that a section of slatted chain link fence be placed parallel to the response drive that is approximately 90'-0" in length, which in conjunction with the existing vegetation, will provide adequate screening from the adjacent property to meet the intent for opaque screening.

Approval of this DDO will focus tax payer dollars from Tucson Delivers, Safer City on providing the facilities needed by the fire department for firefighter safety.

Design Development Option (DDO) Project Description Narrative

March 10, 2021

(Revised) April 8, 2021



ARCHITECTS

4330 NORTH CAMPBELL AVE
SUITE NO. 268
TUCSON, ARIZONA 85718

520.408.1044 TEL
520.408.1170 FAX
WSMARCH.COM WEB

City of Tucson Fire Station 15 - Project Description

The proposed work consists of adding 833-sf expansion to the existing 3,976-sf Tucson Fire Department (TFD) Station 15. The fire station is located on a developed site that includes the existing Fire Station, apparatus bay apron driveways, a storage shed, public and staff parking, a City of Tucson recycling area, and an existing detention basin.

This fire station is one of several Tucson Fire Department stations to receive safety upgrades through the Tucson Delivers, Safer City Program. The additions proposed are intended to help bring the facility into compliance with National Fire Protection Association (NFPA) guidelines for firefighter safety.

The lot is zoned R-2 which allows land use for protective service. The City of Tucson UDC use-specific standard 4.9.13.F requires a minimum 5-ft opaque masonry screen wall on the portion(s) of the site abutting a residential property. This requirement applies to the southwest corner of the site, where an edge of the triangular site abuts a residential property. All other boundaries of the site are bordered by existing streets. The site has existing topographic constraints including a detention basin along the southern border of the site. Due to this topography of this basin, mobilization for construction of a masonry wall to meet the criteria of the standard is prohibitive.

The residential property abutting the site has an existing opaque masonry site wall and the adjacent property and usable part of this site are also separated by detention basin with steep topography. Throughout the easement is existing dense, mature vegetation. The topography at this portion of the site due to the wash is challenging for constructability of a masonry wall, and would be such that a masonry wall could not be reasonably constructed near the property line. We are proposing that a section of slatted chain link fence be placed parallel to the response drive, which in conjunction with the existing vegetation, will provide adequate screening from the adjacent property to meet the intent for opaque screening.

Our objective in this DDO request is for a substitute of materials to meet the intent of the use specific standard for opaque screening between the Fire Station and residential-zoned properties. We request to provide a new section of 5'-0" high slatted chain link fence parallel to the response drive to be allowed to meet the intent for required screening.

The slat material proposed, *Vinyl/Wood Fence Slats* by PrivacyLink, is an HDPE double-wall slat with a wood grain imprint and coloring to mimic actual wood with 'winged' sides to maximize privacy (approximately 98%). The slat color is to be *Wood Grain – Cedar tone*. The proposed product information is included in this submittal.

Design Development Option (DDO) Project Description Narrative

March 10, 2021

(Revised) April 8, 2021

City of Tucson Fire Station 15 – Modification Requested

Explain how these DDOS will improve the design of the project.

The approval of this request for substitute materials will improve the design of the project by preserving the mature vegetation existing in the floodplain area of the site, while also providing added privacy from the fire station activities. A slatted chain link fence with the product proposed will provide a high degree of privacy in an application that is low maintenance, and highly durable. Additionally, approval of this DDO material substitution request will utilize the existing secure fencing and focus taxpayer dollars funding this project through the Tucson Delivers, Safer City Program that is intended for equipment upgrades on providing the facilities needed by the fire department for firefighter safety.

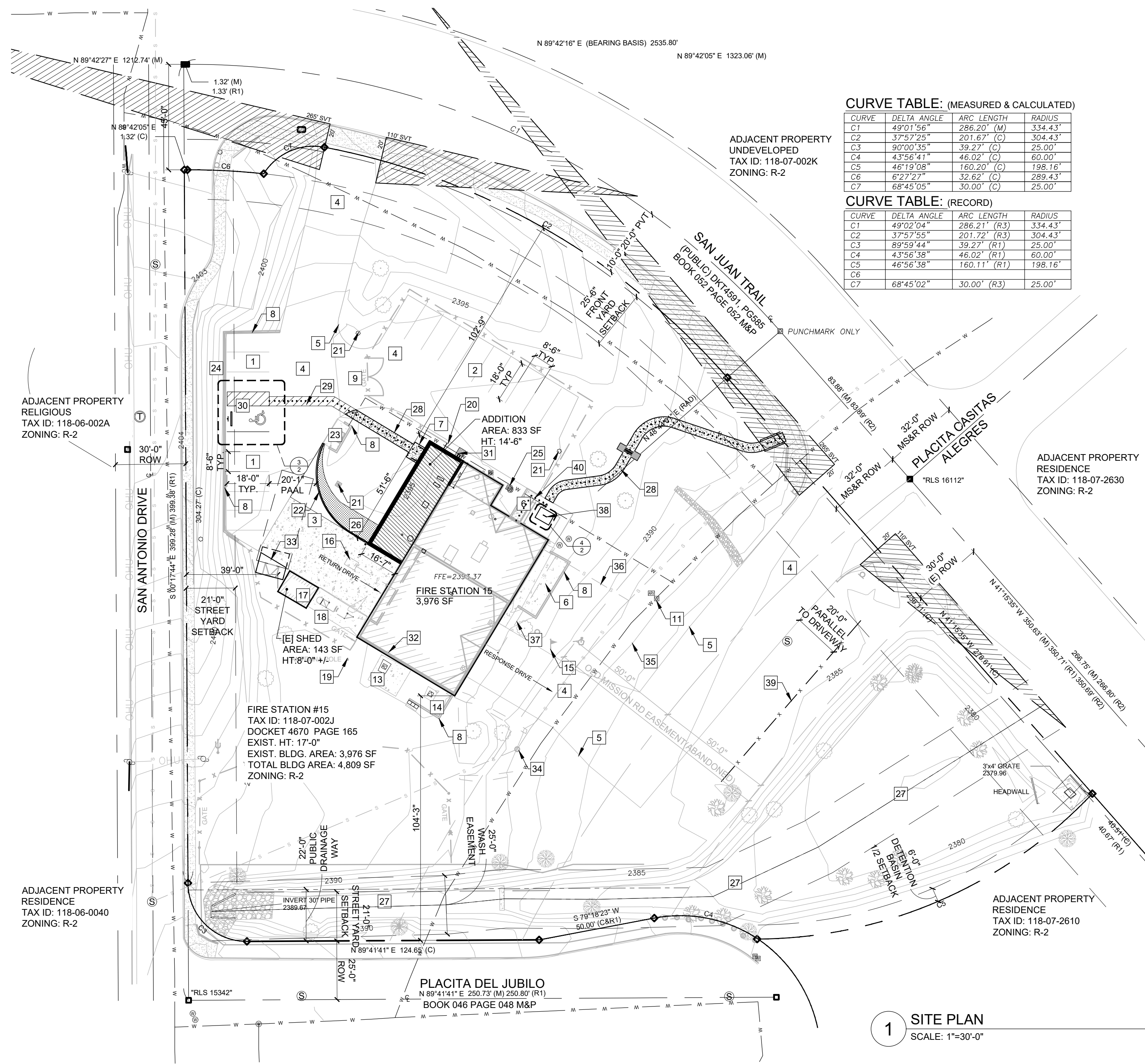


ARCHITECTS

4330 NORTH CAMPBELL AVE
SUITE NO. 268
TUCSON, ARIZONA 85718

520.408.1044	TEL
520.408.1170	FAX
WSMARCH.COM	WEB

DEVELOPMENT PACKAGE FOR ADDITION TO FIRE STATION 15 CITY OF TUCSON 2002 S MISSION RD TUCSON, AZ 85713

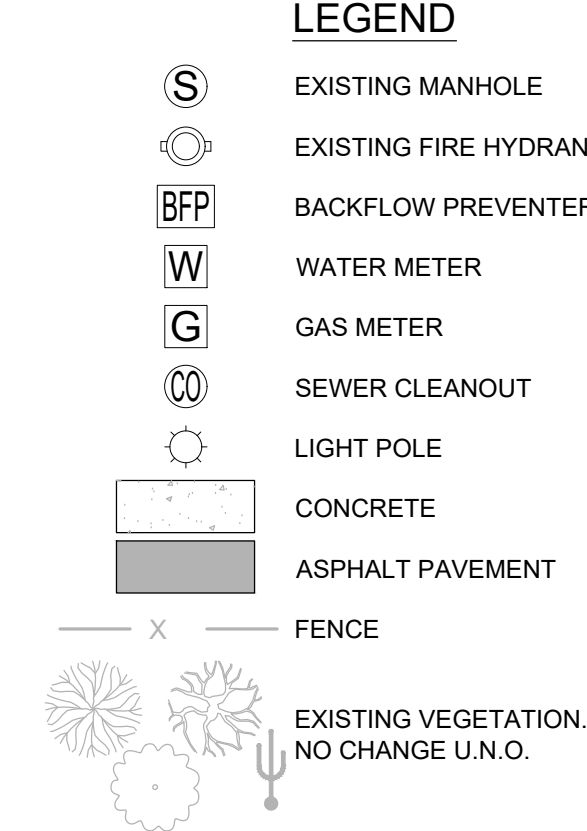


CURVE TABLE: (MEASURED & CALCULATED)

CURVE	DELTA ANGLE	ARC LENGTH	RADIUS
C1	49°01'56"	286.20' (M)	334.43'
C2	37°57'25"	201.67' (C)	304.43'
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CURVE TABLE: (RECORD)

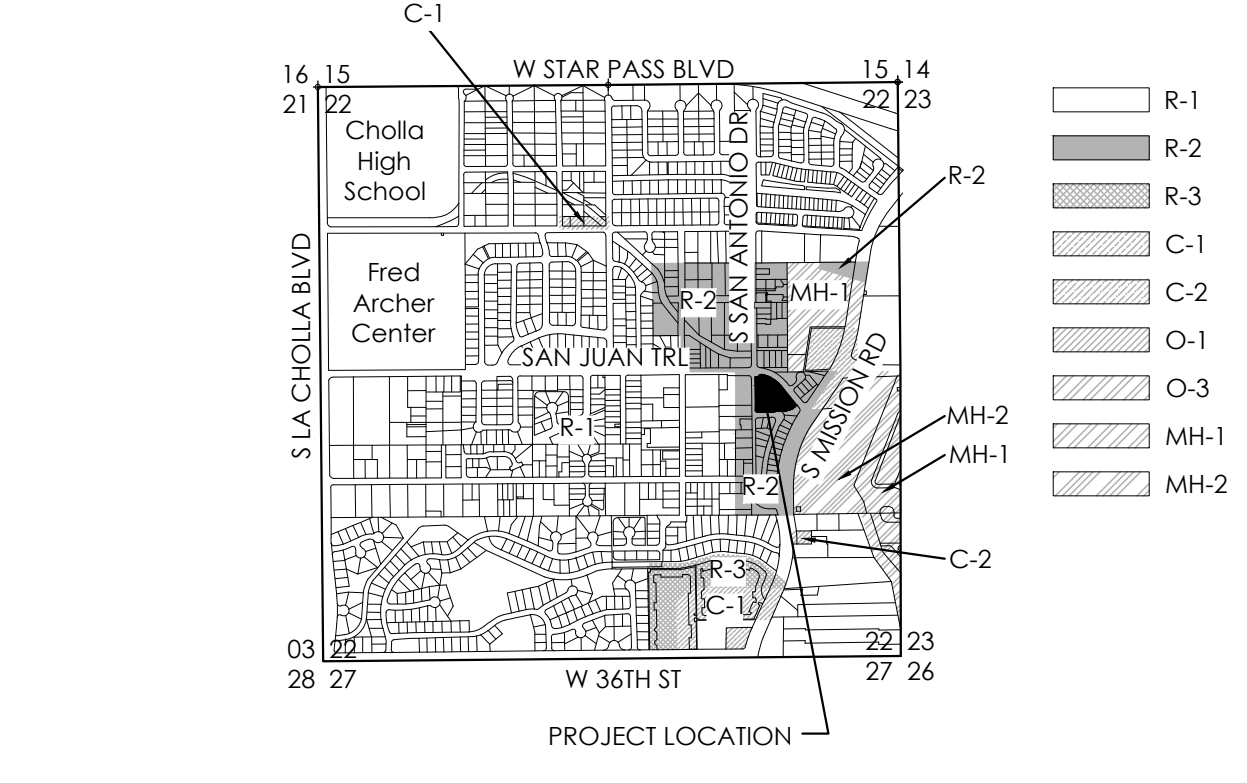
CURVE	DELTA ANGLE	ARC LENGTH	RADIUS
C1	49°02'04"	286.21' (R3)	334.43'
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C4	43°56'38"	46.02' (R1)	60.00'
C5	46°19'08"	160.11' (R1)	138.16'
C6	68°45'02"	30.00' (R3)	25.00'



PROPERTY SUMMARY:

PARCEL ID 118-07-002J. CITY OF TUCSON OWNER
 - AREA: 93,001 SF (2.13 ACRES)
 - ZONING: R-2 RESIDENCE ZONE. (CIVIC USE PERMITTED - PROTECTIVE SERVICE. SUBJECT TO USE SPECIFIC STANDARD FOR R-2 & 4.9.13.F)
 - WARD 1 - A-MOUNTAIN NEIGHBORHOOD

SITE REQUIREMENTS (UDC 6.3-2A)
 - RESIDENTIAL DENSITY MAXIMUM: 1 / 5,000 SF
 - LOT SIZE / SITE AREA MINIMUM: 5,000 SF
 - EXCEPTIONS TO DIMENSION STANDARDS. (PER UDC TABLE 6.3-2.B)
 - PROTECTIVE SERVICE LOT SIZE MIN = 20,000 SF
 - ACTUAL EXISTING SITE: 93,002 SF **COMPLIANT**
 - LOT COVERAGE MAXIMUM 60%
 - BUILDING AREA: 3,976 SF(EX) + 143 SF(EX) + 833 SF(N) = 4,952 SF
 - GROSS FLOOR AREA: 4,952 SF
 - VEHICULAR USE AREA: 18,393 SF
 - TOTAL: 23,345 SF
 - PROPOSED LOT COVERAGE: 23,345 SF / 93,002 SF = **25% COVERAGE - COMPLIANT**
 - (6.3-2.A UDC) DIMENSIONAL STANDARDS FOR R-2
 - HEIGHT MAX 25'
 - PERMETER YARD:
 * RES USE. TO RES USE 6' OR 2/3 HT
 * RES USE TO NON RES 10' OR 3/4 HT



- # SITE PLAN KEYNOTES**
- EXISTING VISITOR PARKING
 - EXISTING STAFF PARKING
 - EXISTING CONCRETE APRON TO REMAIN
 - EXISTING ASPHALT TO REMAIN
 - EXISTING DRIVEWAY EDGE TO REMAIN
 - EXISTING CONCRETE SIDEWALK
 - NEW CONCRETE LANDING OUTSIDE EXTERIOR DOOR
 - EXISTING SITE WALL TO REMAIN
 - EXISTING SECURE VEHICULAR GATE TO REMAIN
 - NOT USED
 - 2" WATER METER & SERVICE W/ GATE VALVE IN VALVE BOX
 - ELECTRICAL SERVICE ENTRANCE
 - EXISTING GROUND MOUNTED MECHANICAL UNITS TO REMAIN
 - EXISTING GROUND MOUNTED TRANSFORMER
 - EXISTING FLAGPOLE TO REMAIN
 - EXISTING SAND OIL SEPARATOR
 - EXISTING STORAGE SHED BUILDING TO REMAIN
 - EXISTING HOSE TOWER TO REMAIN
 - EXISTING ANTENNA POLE TO REMAIN
 - REPLACE CHAIN LINK FENCE AT BUILDING ADDITION TO TERMINATE INTO SIDE OF BUILDING
 - EXISTING SITE POLE LIGHTING TO REMAIN
 - NEW CONCRETE CURB
 - EXISTING MASONRY APC RECYCLING ENCLOSURE TO REMAIN
 - REPLACE GAS METER - SEE PLUMBING
 - EXISTING BACKFLOW PREVENTER
 - PROVIDE NEW CURB AND POUR BACK PORTION OF DRIVEWAY THIS AREA - INFILL LANDSCAPE AREA WITH GRAVEL TO MATCH ADJACENT AREA
 - EXISTING WASH - NO CHANGE
 - PAVED ACCESSIBLE PATH. SLOPE NOT TO EXCEED 1:20. CROSS SLOPE NOT TO EXCEED 1:48.
 - STRIPED ACCESSIBLE PATH ON EXISTING PAVING. SLOPE NOT TO EXCEED 1:20. CROSS SLOPE NOT TO EXCEED 1:48.
 - ACCESSIBLE VAN PARKING SPACE AND AISLE. SEE DETAIL 3 SHEET 2.
 - SPLASH BLOCK AND RIP-RAP AT DOWNSPOUT - SEE DETAIL 5, SHEET 2 OF THIS SET
 - LONG TERM BIKE STORAGE - 2 MADRAX WALL MOUNTED BIKE RACKS WITH LOCKING BAR - MOUNTED TO INSIDE WALL OF APP. BAY - SEE DETAIL 6, SHEET 2 OF THIS SET
 - PROVIDE NEW CONCRETE PAD (APPROX 12' x 12') BENEATH EXISTING DUMPSTER
 - EXISTING MANHOLE 9881-66
 - EXISTING 8" SEWER LINE
 - EXISTING 4" SEWER LINE
 - EXISTING 3" SEWER LINE
 - SHORT TERM BIKE PARKING. SEE DETAIL 4 SHEET 2
 - PROVIDE 5'-0" HIGH SLATTED CHAIN LINK FENCE FOR SCREENING (+/-90° PARALLEL WITH DRIVEWAY)
 - ADD GATE TO EXISTING CHAIN LINK FENCE

- EXPANSION OF EXISTING DEVELOPMENT:**
 EXIST. BLDG: 4,119 SF
 ADDITIONS: 833 SF
 833 / 4,119 = **20.2% EXPANSION**
- SETBACKS (6.3-2.A UDC)**
 - FRONT YARD (NORTHEAST)
 - NORTHEAST OF SITE IS FRONT LOT LINE - 20' PERIMETER YARD OR 1 1/2 THE HT OF PROPOSED WALL, WHICHEVER IS GREATER
 - EXISTING BLDG. HT IS 17' X .75 = 12'-9" YARD REQUIRED
 - PROPOSED YARD IS 102'-9" - **COMPLIANT**
- SIDE YARD (SOUTH)**
 - 10' OR 3/4HT, WHICHEVER IS GREATER
 - EXISTING BLDG HT IS 17' X .75 = 12'-9" YARD REQUIRED
 - EXISTING YARD IS >104'-0" - **COMPLIANT**
- WEST SIDE STREET PERIMETER YARD**
 - 10'-0"
 - EXISTING YARD (TO OUT BLDG) IS 39'-0" - **COMPLIANT**
- REAR YARD (NONE)**
 - 10' OR 3/4HT, WHICHEVER IS GREATER
 - NO REAR YARD THIS SITE
- BUILDING HEIGHT - 25 FT MAX**
 - EXISTING BUILDING IS 17'-0", PROPOSED ADDITION IS 14'-6"
COMPLIANT
 - EXISTING STORAGE SHED IS 8'-0", NO CHANGE
COMPLIANT
- LANDSCAPE BORDER (TABLE 7.6.4-1)**
 - LAND USE: RESIDENTIAL SUBDIVISION TO RESIDENTIAL ZONE: NONE REQUIRED
 - PROVIDED: EXISTING RETAINING WALL FENCING ON WEST, CHAIN LINK FENCING AROUND SOUTHWEST AND NORTH EAST SIDES.
 - FRONT SIDE (NORTH): >103'-0" TO BUILDING
 - YARD TO AT SOUTH IS AN EXISTING DRAINAGE WASH (UNDER 500 GFS) WITH A 25' SETBACK (PER PIMA COUNTY GIS)
- VEHICLE PARKING: (7.4 UDC)**
 - CIVIC USE (PROTECTIVE SERVICE) = 1 SPACE / 300 SF GFA
 GFA = 4,809 SF (BLDG) + 143 SF (SHED) - 1,567 SF (GARAGE) = 3,385 SF / 300 = 12 PKG SPACES REQUIRED
 - PROVIDED: 18 SPACES TOTAL - **COMPLIANT**
- ACCESSIBLE PARKING**
 REQUIRED: 1 VAN ACCESSIBLE. 1 PROVIDED; **COMPLIANT**
- BICYCLE PARKING (TABLE 7.4.8-1):**
 - SHORT TERM PARKING (CIVIC USE): 1SPC / 8,000 GFA
 - 2 MIN. REQUIRED
 - 2 PROVIDED
 - LONG TERM PARKING (CIVIC USE): 1SPC / 12,000 GFA
 - 2 MIN. REQUIRED
 - 2 PROVIDED WITHIN THE BUILDING (APPARATUS BAYS).
- LOADING ZONES:**
 (TABLE 7.5.5-A) CIVIC USE GROUP, LOADING AREA NOT REQUIRED. PROVIDED: NONE

1 LOCATION MAP
SCALE: 3" = 1 MILE

OWNER
 CITY OF TUCSON
 255 W. ALAMEDA ST., 5TH FLOOR
 TUCSON, AZ 85725
 TEL: 520-837-4063
 Contact: Terry Gilliland
 terry.gilliland@tucsonaz.gov

SHEET INDEX
 SHEET 1 COVER SHEET, SITE PLAN
 SHEET 2 DEMOLITION SITE PLAN
 SHEET 3 GRADING AND DRAINAGE PLAN

ARCHITECT
 WSM ARCHITECTS, INC.
 4330 N. CAMPBELL AVE., SUITE 268
 TUCSON, AZ 85718
 TEL: 520-408-1044
 Contact: John Price
 jprice@wsmarsh.com

CIVIL
 DOWL
 430 W. WARNER ROAD, B101
 TEMPE, AZ 85284
 TEL: 480-753-0800
 Contact: Erin O'Brien
 eobrien@dowl.com

LANDSCAPE
 NORRIS DESIGN
 418 N TOOLE AVE
 TUCSON, AZ 85701
 TEL: 520-622-9565
 Contact: Jason Kuklinski
 jkuklinski@norris-design.com

GENERAL NOTES:

- EXISTING ZONING IS R-2
- GROSS AREA OF THE SITE: 93,002 SF / 2.13AC. THE SUBJECT LOT IS ASSESSOR PARCEL NUMBER 118-07-002J.
- RESIDENTIAL USE GROUP - CIVIC USE, PROTECTIVE SERVICE (UDC TABLE 4.8-2) PERMITTED. SUBJECT TO USE SPECIFIC STANDARD 4.9.13.F.
- TOTAL NUMBER OF ADDITIONS PROPOSED: 1
- EXISTING BUILDING HEIGHT IS 17'-0" AND IS TO REMAIN
- SCREENING (UDC 4.9.13.F) THERE SHALL BE SCREEN WALL AT LEAST 5 FT IN HEIGHT BETWEEN THIS USE AND ANY RESIDENTIAL ZONE.
- ALL GROUND MOUNTED MECHANICAL EQUIPMENT AND REFUSE AREA WILL BE SCREENED. THESE AREAS ARE EXISTING TO REMAIN.
- PER UDC TABLE 6.3-2.B: EXCEPTIONS TO THE R-1, R-2, R-3, MH-1 & MH-2 DIMENSIONAL STANDARDS THE MINIMUM LOT SIZE FOR A PROTECTIVE SERVICE (P-GOVERNMENT OWNED AND OPERATED ONLY) IS 20,000 SF.
- PER UDC TABLE 6.3-2.B: EXCEPTIONS TO THE R-1, R-2, R-3, MH-1 & MH-2 DIMENSIONAL STANDARDS THE MAXIMUM LOT COVERAGE ALLOWED FOR PROTECTIVE SERVICE (P-GOVERNMENT OWNED AND OPERATED ONLY) IS 60%.

- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- MAINTENANCE AND OPERATION OF THE PRIVATE SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.

- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, AS CURRENTLY AMENDED.
- ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
- ALL EXISTING PLANT MATERIAL INSIDE THE SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY. BRANCHES FROM TREES SHALL BE TRIMMED TO

1 SITE PLAN
SCALE: 1"=30'-0"

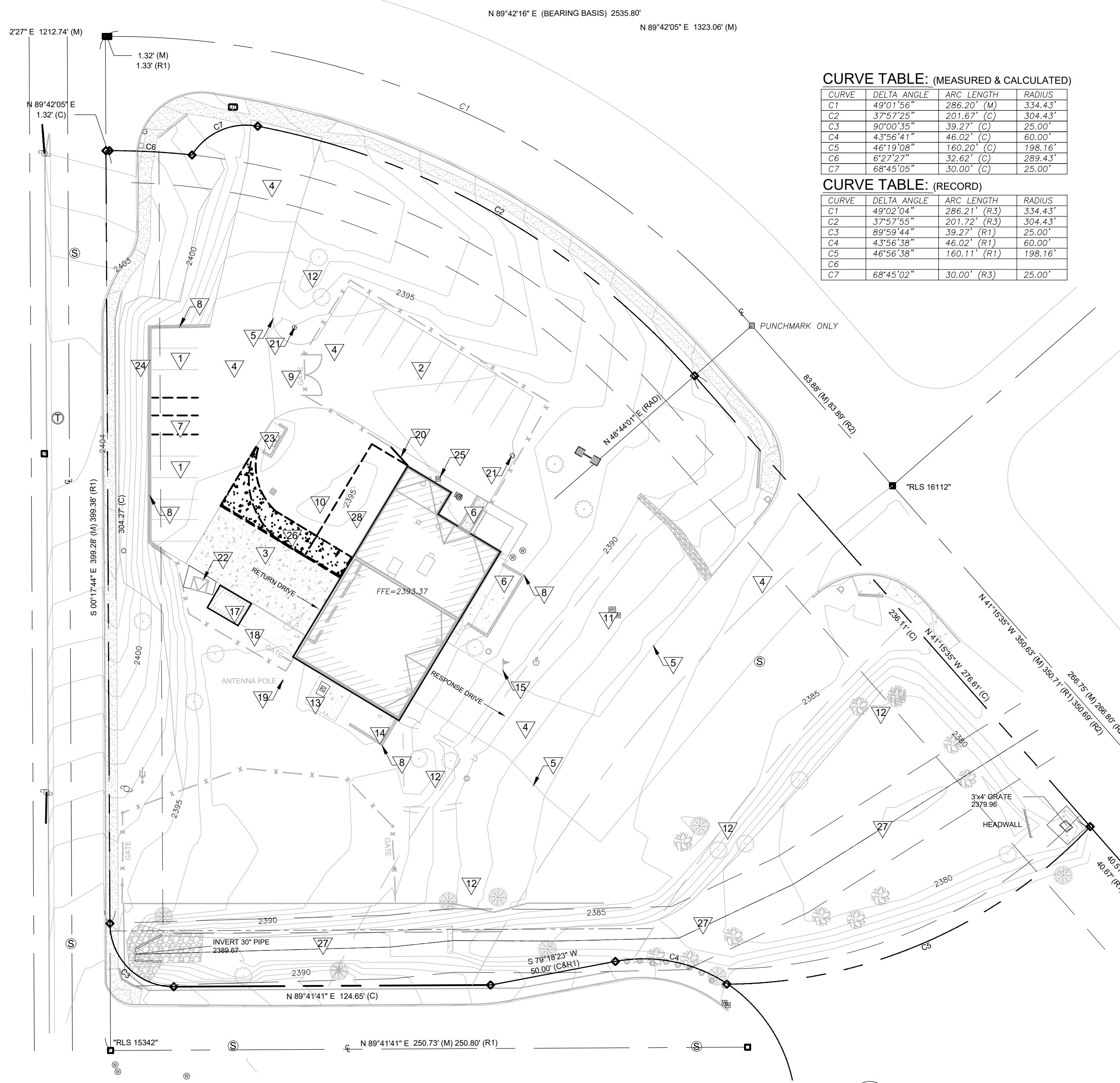


2002 S MISSION RD, TUCSON, AZ 85713

DEVELOPMENT PACKAGE
Addition to Fire Station 15 City of Tucson
SITE PLAN
 Parcel 118-07-002J, PT NW4 NE4 SE4 LYG S OF SAN JUAN TRAIL & ADJ TO W LINE 2.26 AC SEC 22-14-13 (8311/1522), T-14S R-13E S22, G&SRM, PIMA COUNTY, AZ

SCALE: HOR: AS SHOWN VER: N/A REF: JOB NO.

REVISION	BY	DATE	WSM FILE NO.	DESIGNED BY	DRAWN BY	CHECKED BY
			20-005	TJP	AML	PDM



CURVE TABLE: (MEASURED & CALCULATED)

CURVE	DELTA ANGLE	ARC LENGTH	RADIUS
C1	49°01'56"	286.20' (M)	334.43'
C2	37°57'25"	201.67' (C)	304.43'
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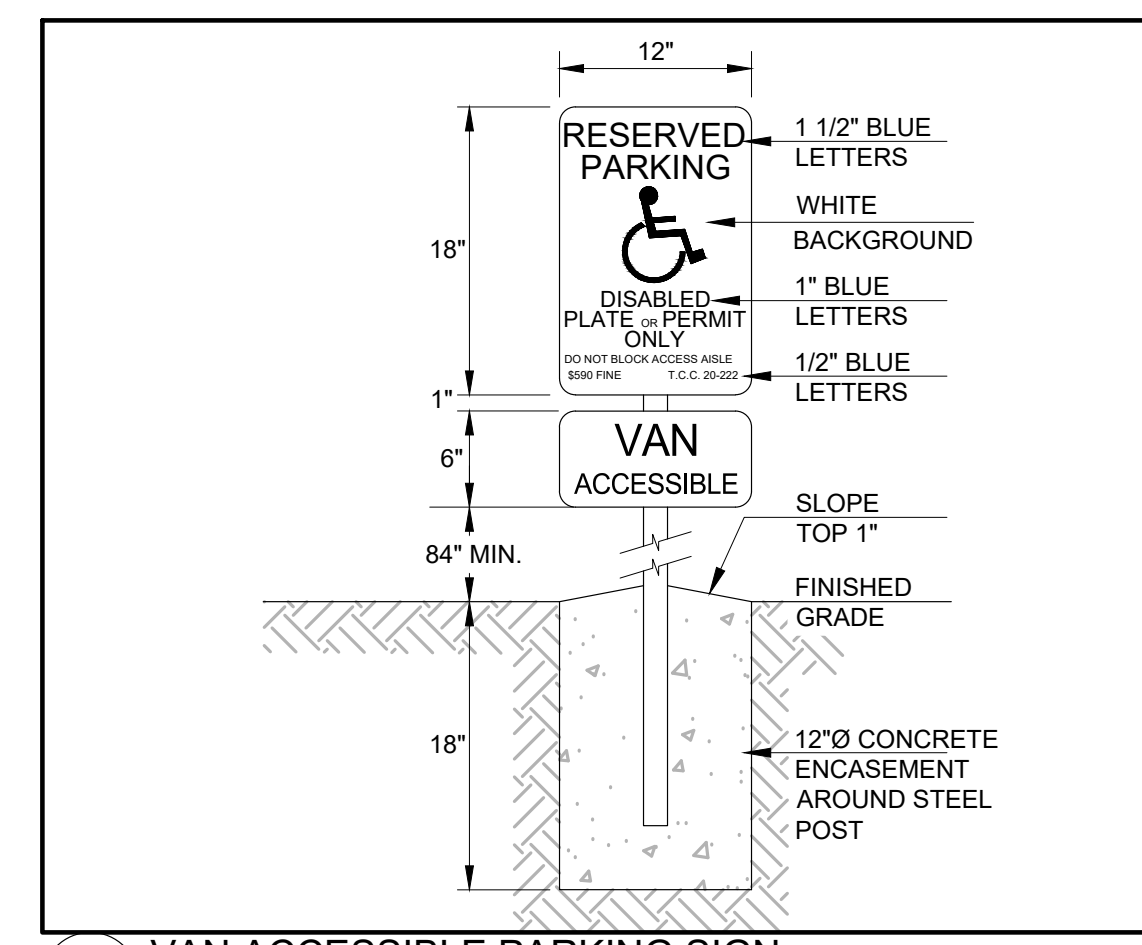
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- LEGEND**
- EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - BACKFLOW PREVENTER
 - WATER METER
 - GAS METER
 - SEWER CLEANOUT
 - LIGHT POLE
 - CONCRETE
 - ASPHALT PAVEMENT
 - FENCE
 - EXISTING VEGETATION. NO CHANGE U.N.O.

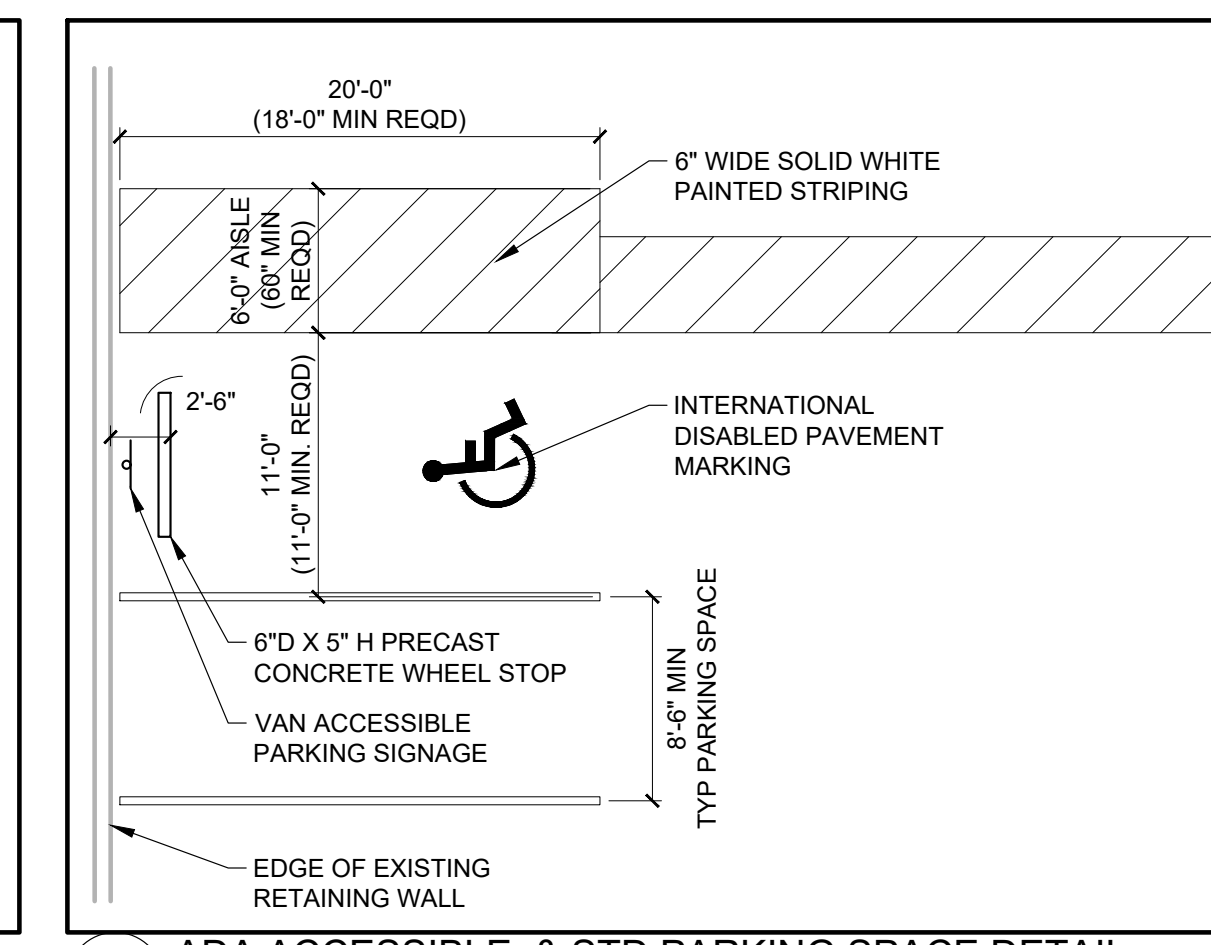
EXIST. SITE PLAN KEYNOTES

1. EXISTING VISITOR PARKING
2. EXISTING STAFF PARKING
3. EXISTING CONCRETE APRON TO REMAIN
4. EXISTING ASPHALT TO REMAIN
5. EXISTING DRIVEWAY EDGE TO REMAIN
6. EXISTING CONCRETE WALKWAY TO REMAIN
7. STRIPE PAINT AT EXISTING PARKING AREAS AS REQUIRED TO COMPLETE STRIPING FOR NEW PARKING SPACE DESIGNATIONS INDICATED IN SITE PLAN
8. EXISTING SITE RETAINING WALL TO REMAIN
9. EXISTING SECURE VEHICULAR GATE TO REMAIN
10. GRADE AREA PER CIVIL. AND RELOCATE 5 BOULDERS THIS AREA
11. WATER METER
12. EXISTING VEGETATION TO REMAIN
13. EXISTING GROUND MOUNTED MECHANICAL UNITS TO REMAIN
14. EXISTING GROUND MOUNTED TRANSFORMER
15. EXISTING FLAGPOLE TO REMAIN
16. EXISTING SAND OIL SEPARATOR
17. EXISTING STORAGE SHED BUILDING TO REMAIN
18. EXISTING HOSE TOWER TO REMAIN
19. EXISTING ANTENNA POLE TO REMAIN
20. REMOVE PORTION OF EXISTING FENCE CONFLICTING WITH BUILDING ADDITION. REPLACE SECTION OF FENCE TO TERMINATE INTO SIDE OF BUILDING ADDITION
21. EXISTING SITE LIGHTING TO REMAIN
22. EXISTING SOLID WASTE DUMPSTER TO REMAIN
23. EXISTING APC RECYCLING BIN ENCLOSURE TO REMAIN
24. DEMOLISH AND REPLACE EXISTING GAS METER - SEE PLUMBING
25. EXISTING BACKFLOW PREVENTER
26. DEMOLISH PORTION OF DRIVEWAY THIS AREA TO PREPARE FOR NEW CURB AND LANDSCAPE AREA
27. EXISTING WASH - NO CHANGE
28. AREA OF NEW ADDITION (SHOWN DASHED) - REGRADE AREA ADJACENT TO BUILDING ACCORDING TO CIVIL TO MAINTAIN 2% SLOPE DRAINAGE AWAY FROM BUILDING

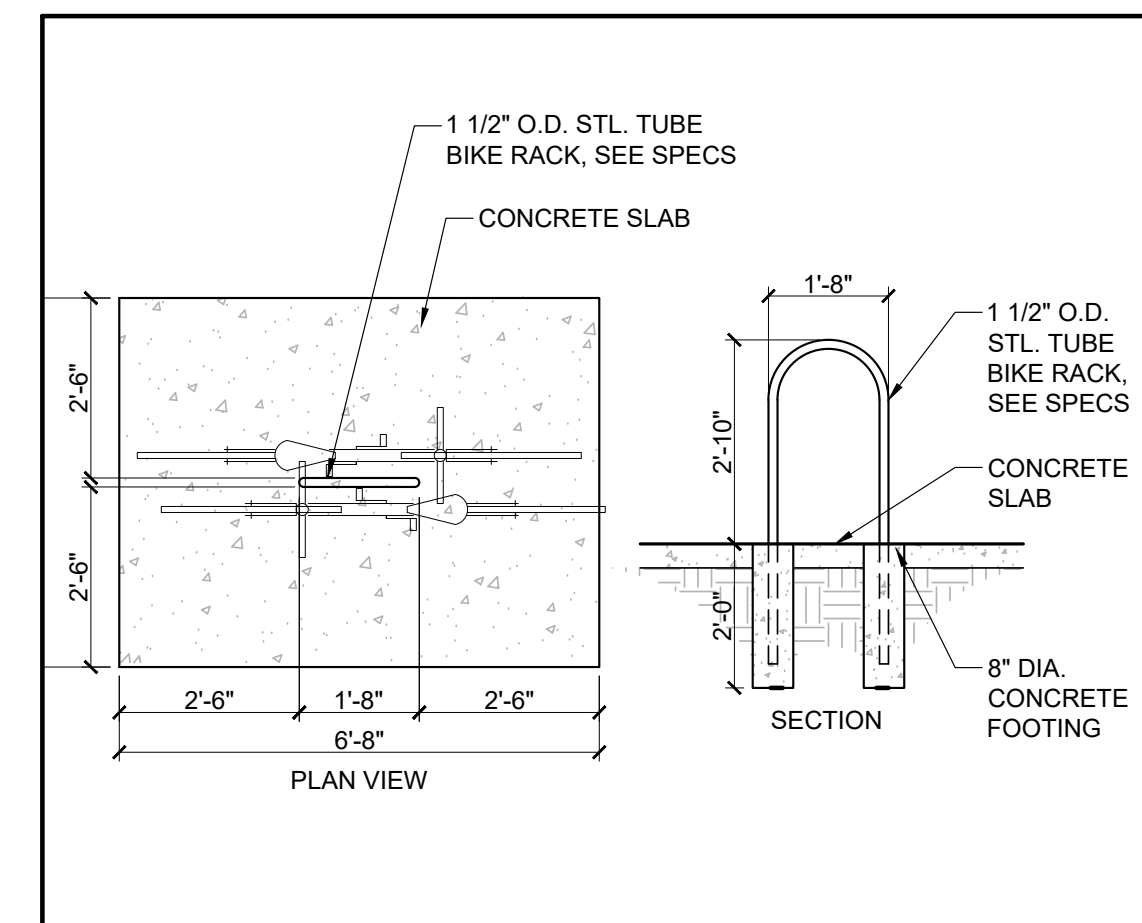
1 DEMOLITION SITE PLAN
SCALE: 1"=30'-0"



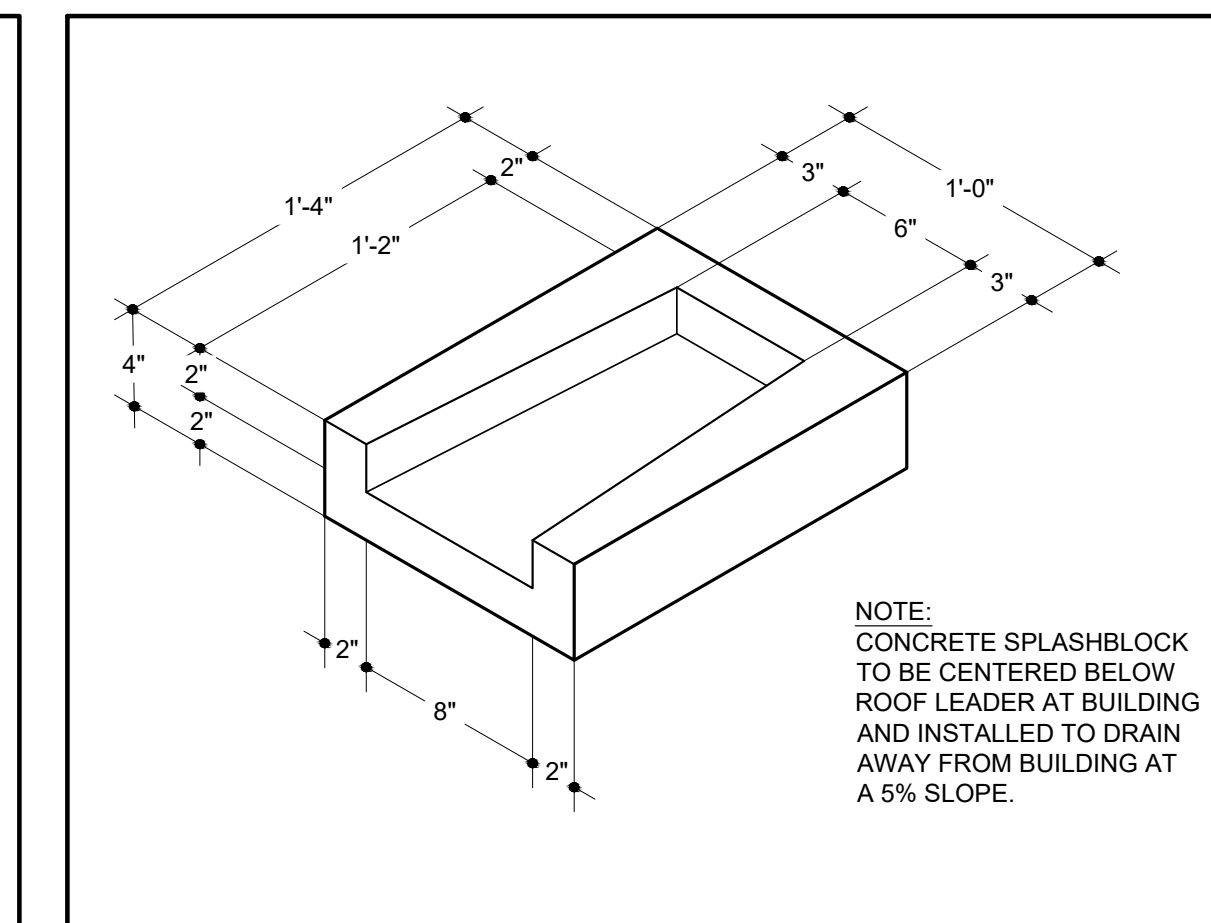
2 VAN ACCESSIBLE PARKING SIGN
SCALE: 1"=1'-0"



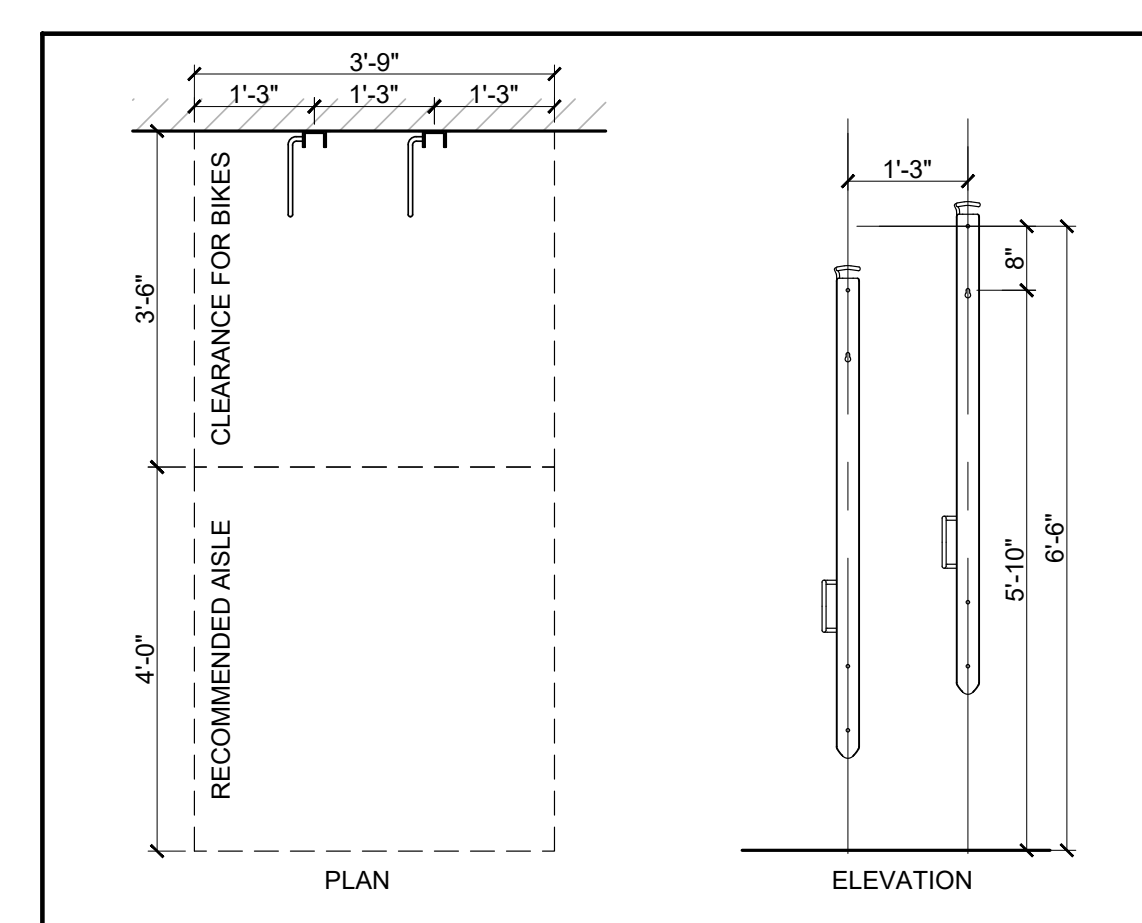
3 ADA ACCESSIBLE & STD PARKING SPACE DETAIL
SCALE: 3/16"=1'-0"



4 BICYCLE PARKING
SCALE: 3/8"=1'-0"



5 CONCRETE SPLASH BLOCK
SCALE: 1-1/2"=1'-0"



6 WALL MOUNTED BIKE RACK INSIDE APP BAY
SCALE: 1"=1'-0"

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

W.S.M. ARCHITECTS

2002 S MISSION RD. TUCSON, AZ 85713

DEVELOPMENT PACKAGE

ADDITION TO FIRE STATION 15 CITY OF TUCSON

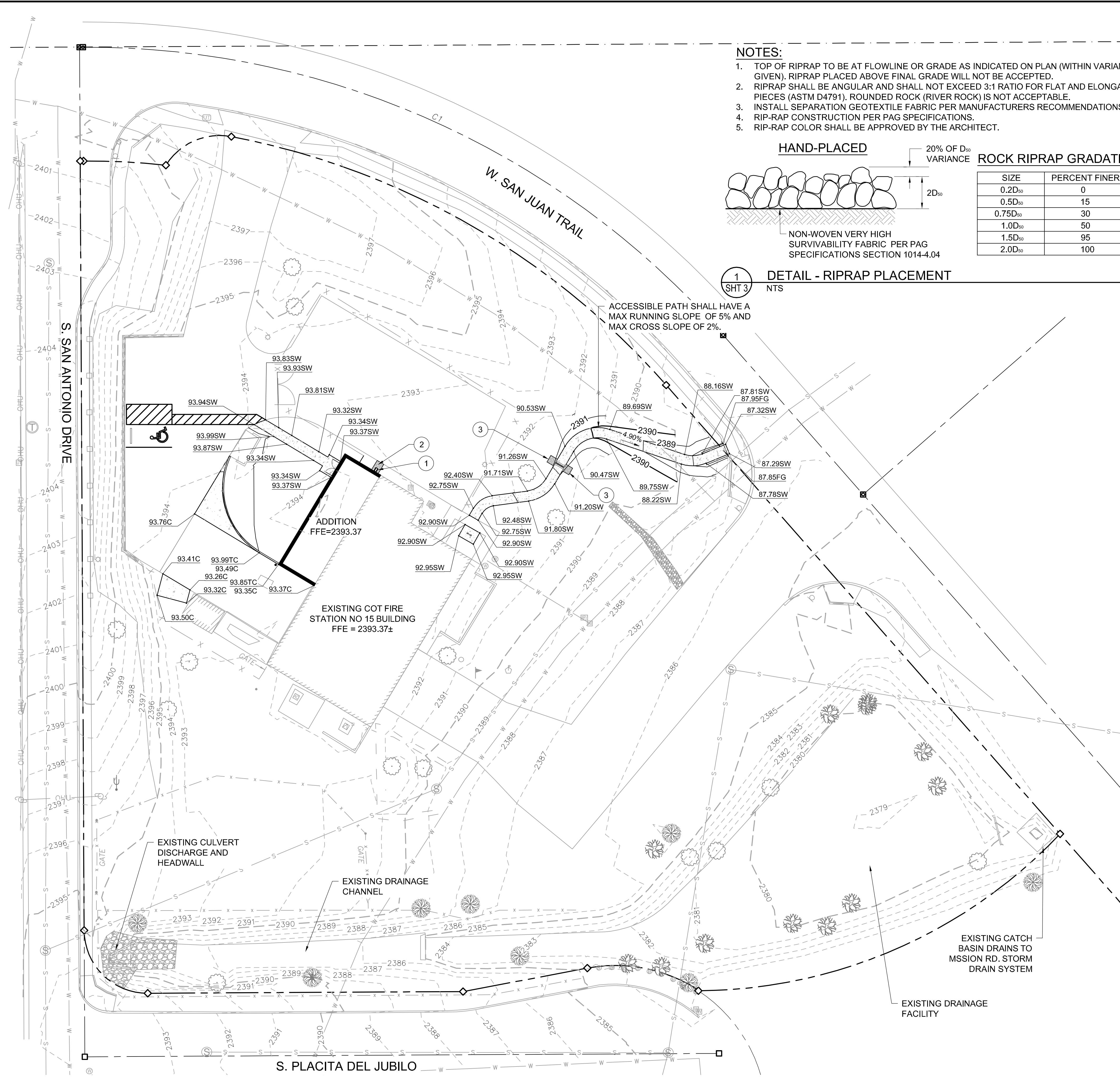
DEMOLITION PLAN & DETAILS

Parcel 118-07-002J, PT NW4 NE4 SE4 LYG S OF SAN JUAN TRAIL & ADJ TO W LINE 2.26 AC SEC 22-14-13 (8311/1522), T-14S R-13E S22, G&SRM, PIMA COUNTY, AZ

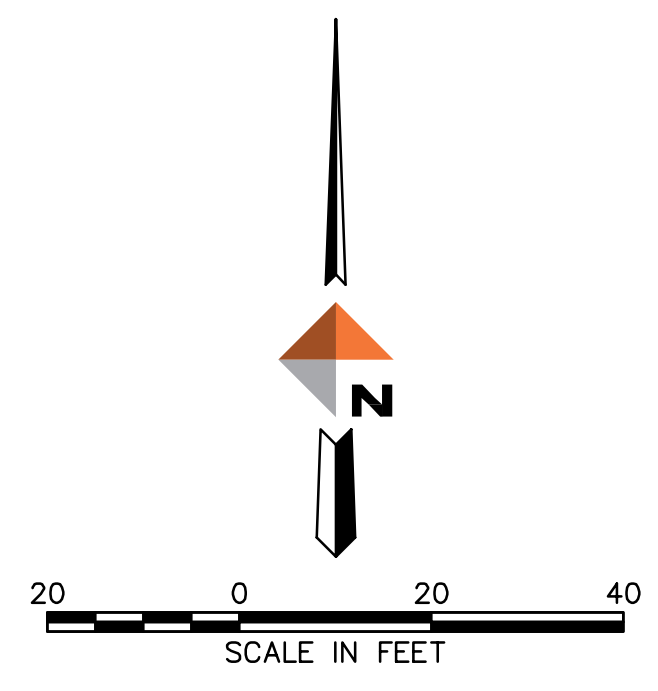
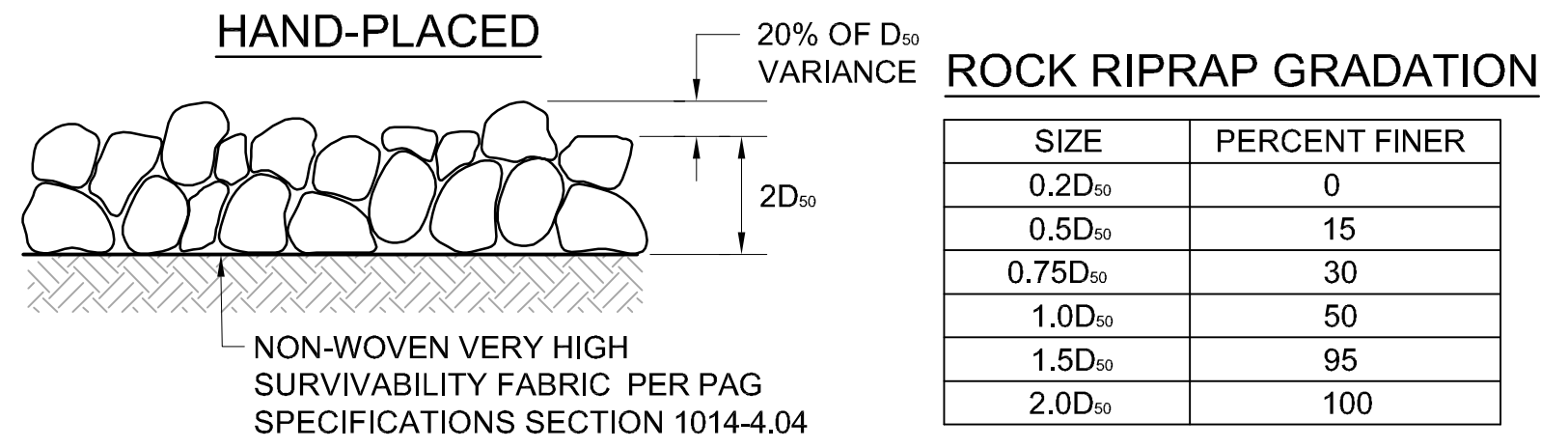
SCALE: AS SHOWN REF: VER: N/A JOB NO:

2/3

REVISION	BY	DATE	W.S.M. FILE NO.	DESIGNED BY	T.J.P.	DRAWN BY	A.M.L.	CHECKED BY	P.D.M.	DP20-0223
			20-005							



- NOTES:**
- TOP OF RIPRAP TO BE AT FLOWLINE OR GRADE AS INDICATED ON PLAN (WITHIN VARIANCE GIVEN). RIPRAP PLACED ABOVE FINAL GRADE WILL NOT BE ACCEPTED.
 - RIPRAP SHALL BE ANGULAR AND SHALL NOT EXCEED 3:1 RATIO FOR FLAT AND ELONGATED PIECES (ASTM D4791). ROUNDED ROCK (RIVER ROCK) IS NOT ACCEPTABLE.
 - INSTALL SEPARATION GEOTEXTILE FABRIC PER MANUFACTURERS RECOMMENDATIONS.
 - RIP-RAP CONSTRUCTION PER PAG SPECIFICATIONS.
 - RIP-RAP COLOR SHALL BE APPROVED BY THE ARCHITECT.



GRADING AND DRAINAGE KEYNOTES

- REFER TO ARCHITECTURAL PLANS FOR SPLASH BLOCK AT DOWNSPOUT LOCATION.
- PROVIDE RIPRAP D50=6" DEPTH 12" AT/AROUND SPLASH BLOCK AS SHOWN. EXTEND TO ADJACENT PAVEMENT EDGE. RIPRAP PER DETAIL 1 THIS SHEET.
- PROVIDE RIPRAP D50=6" DEPTH 12" AT EITHER SIDE OF SIDEWALK SCUPPER AS SHOWN. RIPRAP PER DETAIL 1 THIS SHEET.

GENERAL NOTES

- A MAXIMUM 2% SLOPE IN ANY DIRECTION FOR ACCESSIBLE PARKING SPACES AND ADJACENT AISLE.
- VERIFY ALL TIE IN ELEVATIONS AS SHOWN PRIOR TO COMMENCING WORK.
- SURVEY INFORMATION SHOWN PROVIDED BY ALTA ARIZONA.
- SOME ELEVATIONS SHOWN HAVE BEEN TRUNCATED. ADD 2300' TO TRUNCATED ELEVATIONS FOR TRUE ELEVATION.

DRAINAGE STATEMENT

THE PROPOSED IMPROVEMENTS TO THE EXISTING CITY OF TUCSON FIRE STATION NO. 15 INCLUDE THE ADDITION OF APPROXIMATELY 833 SF OF NEW BUILDING AREA AND OTHER MISCELLANEOUS SITE WORK. THE SITE IN ITS CURRENT CONFIGURATION INCLUDES A SINGLE STORY FIRE STATION BUILDING, PAVED INGRESS AND EGRESS DRIVES, PARKING AREAS IN A SECURED PORTION OF THE SITE, PUBLIC PARKING AND OPEN SPACE/LANDSCAPING. THE ORIGINAL BUILDING WAS BUILT AROUND 1973.

THE SITE IS LOCATED WITHIN A CRITICAL BASIN WITHIN THE WEST BRANCH SANTA CRUZ RIVER WATERSHED ACCORDING TO CITY OF TUCSON GIS DATA. CURRENTLY THE SITE DRAINS TO THE SOUTH, WITH THE NORTH PORTION OF THE SITE DRAINING THROUGH THE SECURED PARKING AREA. ON THE SOUTH PORTION OF THE SITE IS AN EXISTING CHANNEL THAT CONVEYS FLOWS FROM THE WEST TO THE EAST. A 30" CULVERT CONVEYS FLOWS UNDER SAN ANTONIO DRIVE TO THE CHANNEL. FLOWS ARE THEN CONVEYED TO A STORM DRAIN SYSTEM IN MISSION ROAD VIA A AREA CATCH BASIN AND GRADED DETENTION BASIN ON THE SOUTHWEST CORNER OF THE PROJECT SITE. THE STORM DRAIN SYSTEM EVENTUALLY DISCHARGES INTO THE OLD WEST BRANCH OF THE SANTA CRUZ RIVER.

THE SITE IS LOCATED IN BOTH SHADED AND UNSHADED ZONE 'X' ACCORDING TO FEMA FIRM MAP NO. 04019C2286I WITH AN EFFECTIVE LOMR 16-09-0670P. A MAJORITY THE SITE, INCLUDING THE BUILDING AND EXPANSION, IS LOCATED WITHIN UNSHADED ZONE 'X' WHICH IS CONSIDERED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN. A TOTAL OF 680 SF OF ADDITIONAL IMPERVIOUS AREA IS ADDED TO THE SITE. THIS IS INSIGNIFICANT AND ADDITIONAL PEAK FLOWS GENERATED ARE NEGLIGIBLE AND DO NOT IMPACT THE PERFORMANCE OF THE STORM DRAIN AND DRAINAGE INFRASTRUCTURE ADJACENT TO THE SITE.

EARTHWORK QUANTITIES

ESTIMATED TOTAL CUT: 60 CY
ESTIMATED TOTAL FILL: 10 CY
NET CUT: 50 CY

THE ESTIMATES FOR EARTHWORK QUANTITIES ARE NET UNADJUSTED QUANTITIES ONLY. THEY DO NOT ACCOUNT FOR EXCESS CUT AND FILL THAT MAY BE REQUIRED DURING CONSTRUCTION. THEY ARE GIVEN ONLY FOR THE PURPOSE OF DETERMINING GRADING PERMIT FEES. EARTHWORK CONTRACTOR SHALL DETERMINE HIS OWN QUANTITIES.

ENGINEER'S GRADING & DRAINAGE NOTES

- THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES SHALL BE FOUR (4) HORIZONTAL TO ONE (1) VERTICAL UNLESS OTHERWISE SPECIFIED.
- AT LOCATIONS CALLED OUT TO MATCH EXISTING OR AT APPARENT LOCATIONS, THE CONTRACTOR SHALL MATCH FINISHED GRADES OF PROPOSED PAVEMENT AND PROPOSED CURB AND GUTTER WITH THE EXISTING PAVEMENT AND EXISTING CURB AND GUTTER. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM ALL CURBING AND EXISTING PAVEMENT.
- DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION AT THE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
- ALL SURFACES ALONG ACCESSIBLE ROUTES AND ADA RAMPS SHALL BE STABLE, FIRM, SLIDE-RESISTANT, AND SHALL COMPLY WITH THE LATEST ADAAG REQUIREMENTS. ANY GRADE OR ELEVATION CHANGES TO THE ACCESSIBLE ROUTE MADE IN THE FIELD SHALL BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASH-OUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A STAND OF GRASS, OTHER FINAL LANDSCAPE PLANTING, OR OTHER PERMANENT SOIL STABILIZATION IS WELL ESTABLISHED.
- THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN ALL NATURAL AND PAVED AREAS. IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE STRUCTURE, PROTECTIVE SLOPES MUST BE PROVIDED WITH A MINIMUM GRADE OF APPROXIMATELY FIVE PERCENT (5%) FOR AT LEAST 10 FEET FROM PERIMETER WALLS. BACKFILL AGAINST FOOTINGS, EXTERIOR WALLS, AND IN UTILITY TRENCHES SHOULD BE WELL COMPACTED AND FREE OF ALL CONSTRUCTION DEBRIS TO REDUCE THE POSSIBILITY OF MOISTURE INFILTRATION.
- INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION. PLANTERS AND OTHER SURFACE FEATURES THAT COULD RETAIN WATER IN AREAS ADJACENT TO THE BUILDING OR PAVEMENTS SHOULD BE SEALED OR ELIMINATED.
- RIP RAP SHALL CONFORM TO PAG SPECIFICATIONS, LATEST EDITION.
- SPOT ELEVATIONS SHOWN ON PLANS ARE FINISHED GRADE ELEVATIONS UNLESS OTHERWISE SHOWN.
- GRADING SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT FOR THE PROJECT SITE IN ADDITION TO BE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

2002 S MISSION RD.
TUCSON, AZ 85713

430 W. Warner Road, #B101
Tempe, Arizona 85284
480-753-0800

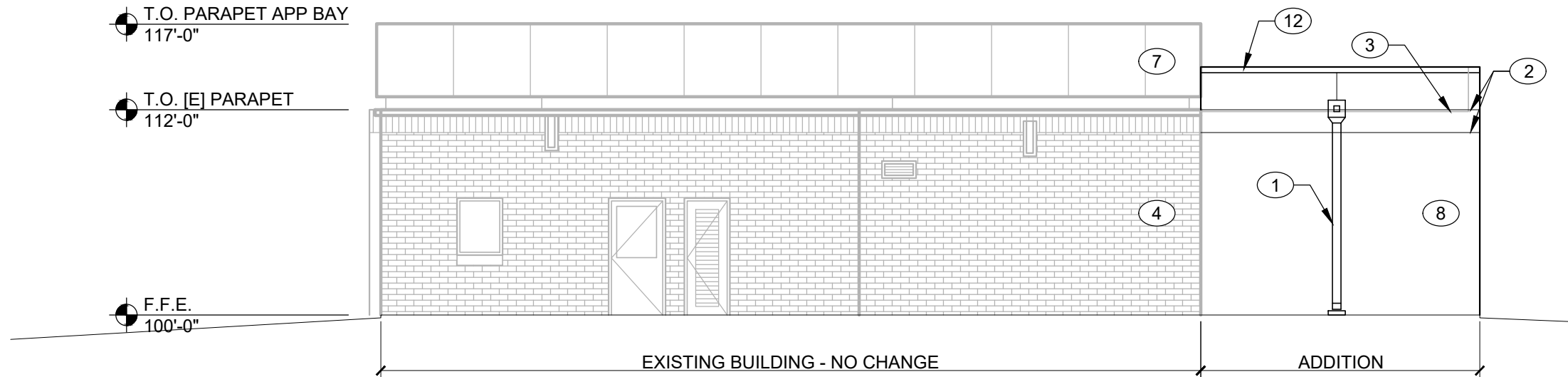
DEVELOPMENT PACKAGE

FOR
Addition to Fire Station 15 City of Tucson
GRADING AND DRAINAGE PLAN

Parcel 118-07-002J, PT NW4 NE4 SE4 LYG S OF SAN JUAN TRAIL & ADJ TO W LINE 2.26 AC SEC 22-14-13 (8311/1522), T-14S R-13E S22, G&SRM, PIMA COUNTY, AZ

SCALE: HORIZ. 1"=20'-0" VERT. 1"=4'-0" REF. OR NO.

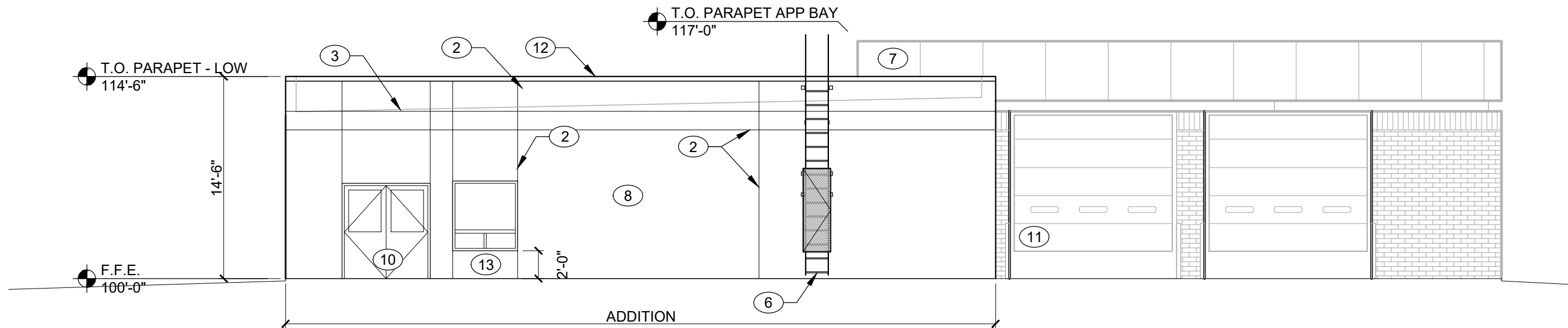
NO.	REVISION	BY	DATE	FILE NO.	DESIGNED BY	DRAWN BY	CHECKED BY
				20-005	ERO	ERO	RAI



ELEVATION KEYNOTES

1. SCUPPER WITH INTEGRAL OVERFLOW AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
2. CONTROL JOINT IN STUCCO
3. DASHED LINE INDICATES ROOF LINE BEYOND
4. EXISTING WALL TO REMAIN
5. PROVIDE NEW WALL LOUVER PER MECHANICAL
6. PREMANUFACTURED STEEL ROOF LADDER WITH LOCKING GATE - PTD. TO MATCH WALL
7. EXISTING WALL PANELS TO REMAIN
8. STUCCO WALL, PTD.
9. 6" STEEL BOLLARD
10. EXTERIOR DOOR PER SCHEDULE
11. EXISTING COILING OVERHEAD DOOR TO REMAIN
12. PREFINISHED METAL PARAPET CAP
13. RELOCATED WINDOW

1 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



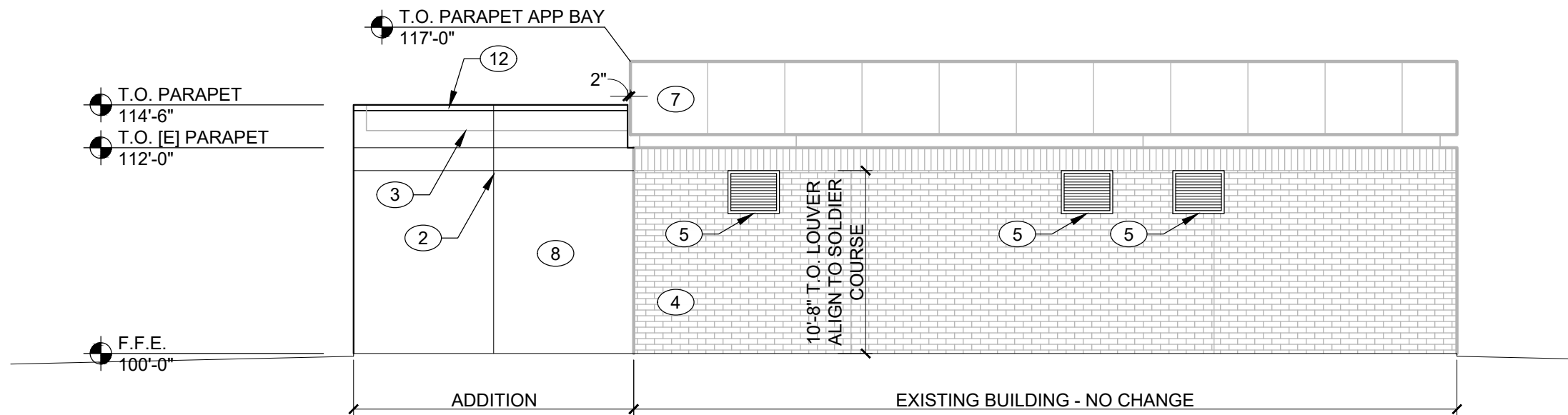
BUILDING ELEVATIONS

CITY OF TUCSON FIRE DEPARTMENT STATION #15

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 15
PROJECT NO.:20-005



ARCHITECTS



ELEVATION KEYNOTES

1. SCUPPER WITH INTEGRAL OVERFLOW AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
2. CONTROL JOINT IN STUCCO
3. DASHED LINE INDICATES ROOF LINE BEYOND
4. EXISTING WALL TO REMAIN
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10. EXTERIOR DOOR PER SCHEDULE
11. EXISTING COILING OVERHEAD DOOR TO REMAIN
12. PREFINISHED METAL PARAPET CAP
13. RELOCATED WINDOW

1 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING ELEVATIONS

CITY OF TUCSON FIRE DEPARTMENT STATION #15

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 15
PROJECT NO.:20-005



ARCHITECTS



 **NORTHEAST ELEVATION PHOTO**
SCALE: NTS



 **SOUTHEAST ELEVATION PHOTO**
SCALE: NTS



 **NORTHWEST ELEVATION PHOTO**
SCALE: NTS



 **SOUTHWEST ELEVATION PHOTO**
SCALE: NTS



BUILDING FACADE PHOTOS

CITY OF TUCSON FIRE DEPARTMENT STATION #15

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 15
PROJECT NO.:20-005



ARCHITECTS



VIEW LOOKING NORTH/NORTHEAST
SCALE: NTS



VIEW LOOKING SOUTH/SOUTHEAST
SCALE: NTS



VIEW LOOKING NORTH/NORTHWEST
SCALE: NTS



VIEW LOOKING SOUTH/SOUTHWEST
SCALE: NTS



VIEWS FROM BUILDING

CITY OF TUCSON FIRE DEPARTMENT STATION #15

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 15
PROJECT NO.:20-005



ARCHITECTS



LOCATION FOR 5'-0" HIGH SLATTED CHAIN LINK FENCE



VIEW LOOKING AT FENCING

SCALE: NTS



VIEWS FROM BUILDING

CITY OF TUCSON FIRE DEPARTMENT STATION #15

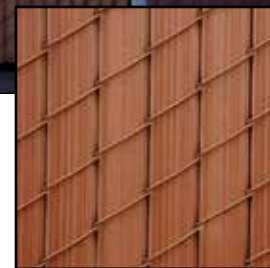
FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 15
PROJECT NO.:20-005



ARCHITECTS

VinylWood® (3 1/2" x 5" mesh — near total privacy)

Patent Pending



VinylWood® is a durable chain link fence with wood-grained slats inserted into the chain link at our factory that look just like real wood. It is an excellent choice in fencing when you want the look and feel of wood, but not the headaches of natural wood upkeep.

It offers the lasting qualities of chain link, double-wall slats made from tough HDPE and "factory inserted" into the chain link for easy installation. There is no staining or painting required.

VinylWood® Benefits:

- Requires no painting or staining
- Little or no maintenance
- Available in 3 to 12 foot heights
- Slats manufactured from high-quality HDPE and "factory inserted" into the mesh
- Materials are much stronger and more durable than wood
- 15 year pro-rata limited warranty

Heavy-duty HDPE Slats

VinylWood® features strong and durable double wall slats "factory inserted" into the wire mesh. We've closely matched the color of the fused and bonded vinyl coating with the color of the wood grained slats to provide a beautiful finished appearance.

Vinyl Coated Chain Link Fencing

The vinyl coating on VinylWood®'s chain link mesh is created by the thermally fused and bonded method with a 9 gauge finish, 10 gauge core wire.

Galvanized Chain Link Fencing

We fabricate our chain link mesh using only the highest grade 9 or 10 gauge galvanized wire. Our state-of-the-art manufacturing process ensures a consistent weave and product quality.

ASTM Designations

Meets ASTM Designations (see chart on the next page)



Technical Data

VinyWood® Specifications

Wind load and privacy factor - approximately (Based on wire/mesh used-stretch tension)	98%
3 1/2" x 5" Mesh	✓
Manufactured up to 12' high	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 10 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class V wire (2.0 oz.)	✓
Available in 9 gauge finish 10 gauge core fused & bonded vinyl coated wire per ASTM F668, class 2B	✓
Available in 9 gauge aluminized before weaving wire per ASTM A491, Type 1	✓
Self-locking double wall slats (with or without staples)	✓
Slats meet ASTM F3000 and F3000M designations	✓
Available in a 25' roll 5' minimum increments thereafter	✓
Fifteen year pro-rata limited warranty	✓

Standard Wire Colors

Galvanized or wood grain

Standard Slat Color

Wood grain

Please refer to actual color samples for accurate color. **Samples available upon request.**



Every VinyWood® slat is carefully crafted to replicate as closely as possible the actual grain and color of wood. A close-up view clearly shows the rich, wood grained texture.

HDPE Technical Properties

Property	Values
Melt Index	(.35) Optimum extrusion processing conditions for Fence Slats
Density	(.945) Polyethylene ranges anywhere from .914 to .960 in density
Minimum Temp.	(-70° F) Under no stress, HDPE remains flexible at this temperature
Maximum Temp.	(180° F) Under no stress, HDPE will not distort at this temperature
Strength	(4,000 psi) HDPE will not distort at lesser loads or impacts



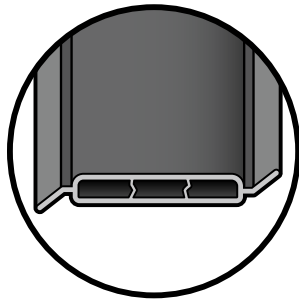
MADE IN USA



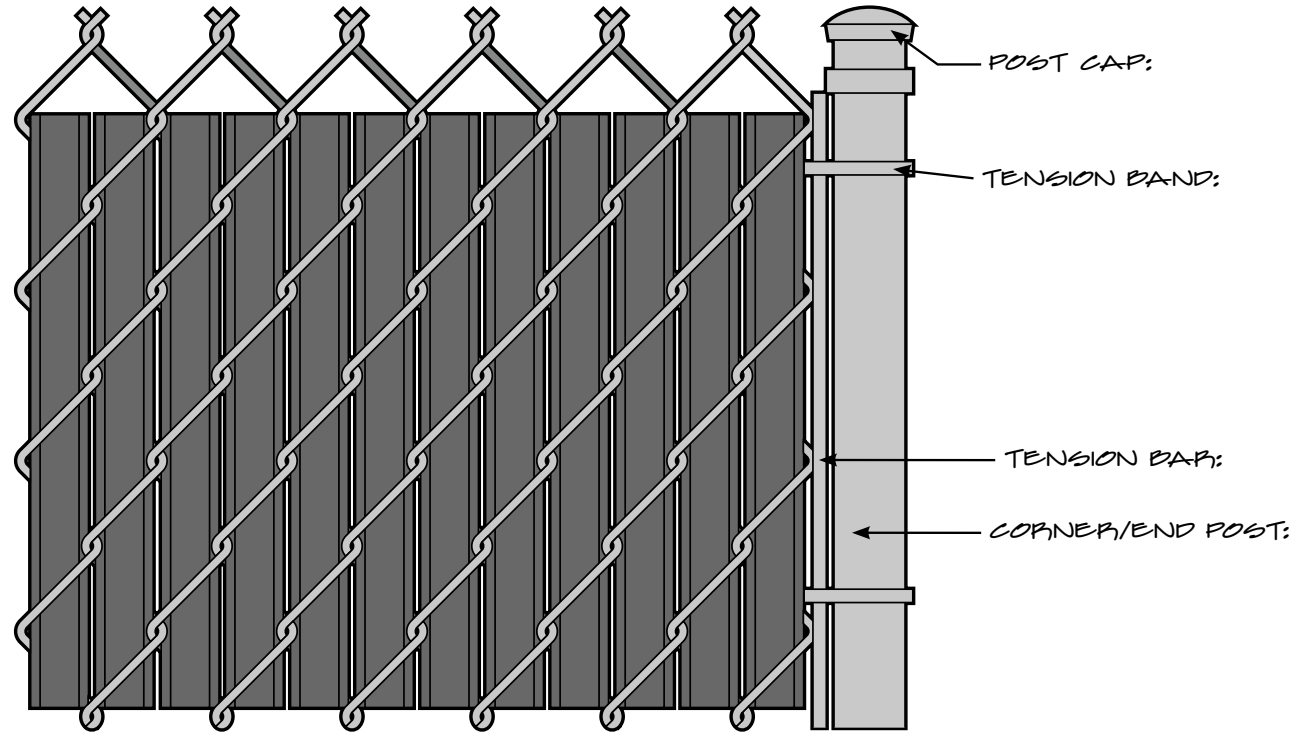
YOUR TOTAL FENCING SOURCE

COMMERCIAL, INDUSTRIAL & RESIDENTIAL FENCE PRODUCTS AND ACCESSORIES FOR THE FENCE PROFESSIONAL!

1.800.574.1076 • www.eprivacylink.com



Slat end view



VinylWood®

3 1/2" x 5" Mesh with Factory Inserted Slats



130 West 700 South
Smithfield, UT 84335
eprivacylink.com
1-800-574-1076

PROJECT:

OWNER/GENERAL CONTRACTOR:

SUBMITTED BY:

DATE:

DRAWING NO:

VinylWood®

3 1/2 x 5 in. Mesh with Privacy Slats

Architectural Reference Specifications

Chain Link Fence with Pre-Woven Slats

Section 32 31 13 – Chain Link Fences and Gates

While it is the intent of this specification to assist the professional specifier in making an informed choice of components and installation techniques, this is still a general specification. Certain details such as framework sizes, post spacing and concrete footer sizes must be tailored to the specifics of the job site. Wind loading data, freeze-thaw rates and other site conditions must be considered.

PART 1 GENERAL

1.1 Summary

This specification details the components and requirements for complete fence systems incorporating: **VinylWood®**.

1.2 Work Included

The contractor shall provide labor, materials and all necessary accessory items for the installation of the privacy fencing system specified herein.

1.3 Related Work

General Conditions - Earthwork - Concrete

1.4 System Description

The privacy fencing system shall be a complete system made up of chain link fence fabric with pre-inserted high-density polyethylene (HDPE) slats, framework, fittings, gates and incidental accessory items.

1.5 Quality Assurance

Installer Qualifications: Company specializing in performing the work of this section with minimum five (5) years documented experience.

1.6 References

ASTM D638	Standard Test Method for Tensile Properties of Plastics
ASTM D746	Standard Test Method for Brittleness
ASTM D747	Standard Test Method for Apparent Bending Modulus of Plastics by Means of a Cantilever Beam
ASTM D1238	Standard Test Method for Flow Rates of Thermoplastics by Extrusion Plastometer
ASTM D1505	Standard Test Method for Density of Plastics by the Density Gradient Technique

(All ASTM Standards referenced in this specification)

1.7 Mandatory Product Characteristics

Fabric provides 98% (approx.) privacy when installed correctly that results in not being able to see through the fence when you look straight on.

- Slats should not slip or go behind the knuckle thus causing less privacy and very sloppy looking, non-uniform slats.
- Slats should be free from an excess of smudge, grease or insertion marks.
- Slats should fit tight and securely in the mesh without use of staple or stitch.
- Hand inserted slats are not an “equal to!”

1.8 Submittals

Shop drawings, manufacturer’s product data and samples, plan layout including spacing of components, accessories and post details shall be submitted for approval.

PART 2: PRODUCTS

2.1: Manufacturer

The fence fabric with pre-inserted slats shall be manufactured by **PrivacyLink®**, LLC, P.O. Box 295, Hyde Park, Utah 84318. The manufacturer may be contacted at 800-574-1076, 435-563-1058 or via fax at 435-563-1062. The manufacturer’s web site is located at www.eprivacylink.com and E-Mail may be sent to info@eprivacylink.com. All other components of the system such as framework, fittings and gates shall be manufactured by various standard fence industry manufacturers.

2.2: 3 1/2” x 5” Mesh Products

The fence fabric shall be:

Height {choose one}
3’, 42”, 4’, 5’, 6’, 7’, 8’, 10’, 12’ high.

Fabric Diameter & Finish {choose one}

1. 3 1/2” x 5” mesh by 9 ga. (0.148”) galvanized before weaving per ASTM A392 & A817, 1.2 oz. Type II Class 4 OR

2. 3 1/2” x 5” mesh by 10 ga. (0.135”) galvanized before weaving per ASTM A392 & A817, 1.2 oz. Type II class 4 OR

3. 3 1/2” x 5” mesh by 9 ga. finish (10 ga. Core) vinyl coated by the thermally fused and bonded method per ASTM F668, Class 2b OR

4. 3 1/2” x 5” mesh by 8 ga. finish (9 ga. Core) vinyl coated by the thermally fused and bonded method per ASTM F668, Class 2B

Fabric Color: The vinyl coated chain link fabric shall be "Cedar Tone."

The privacy slats for **VinylWood®**, which are pre-inserted at the time of manufacturing, shall be double wall, fluted to give a wood-like appearance, self-locking and 2.85" (approx.) wide to provide a tight fit in the fence fabric and provide 98% (approx.) privacy. The slats shall be manufactured from virgin, high-density polyethylene (HDPE) and the color shall be "Cedar Tone".

Before Weaving	After Weaving
1.2 oz. is class 1	1.2 oz. is type II class 4
2.0 oz. is class 2	2.0 oz. is type II class 5

2.4 Framework, Fittings & Gates

Framework - per ASTM F1043 - Standard Specification for Strength and Protective Coatings on Metal Industrial Chain Link Fence Framework {special consideration to wind loading should be considered}.

Fence Fittings - per ASTM F626 - Standard Specification for Fence Fittings.

Swing & Slide Gates - per ASTM F900 - Standard Specification for Industrial and Commercial Swing Gates & Slide Gates.

PART 3 EXECUTION

3.1 Preparation

Prepare the grade and remove surface irregularities, if any, which may interfere with the installation of the fence.

3.2 Installation

Per ASTM F-567 – Standard Practice for Installation of Chain Link Fence

3.3 Clean Up

Contractor shall clean the job site of excess materials and debris. Material from posthole excavations shall be scattered uniformly away from the posts.



PrivacyLink®
P.O. Box 295, Hyde Park, Utah 84318
Toll free: 800-574-1076
Phone: 435-563-1058
Fax: 435-563-1062
Web: www.eprivacylink.com
Email: info@eprivacylink.com

11/30/2020	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	ADMINISTRATIVE MANUA ADMINISTRATIVE MANUAL
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4.1 Identification and Descriptive Data

The Development Package will contain the following identification in the lower right corner of each sheet:

Any other relevant case number for reviews or modifications that affect the site.

Add case number and DP20-0223 on each sheet.

Ensure that Zoning and Engineering comments are addressed prior to landscape section approval.

12/30/2020	ELISA HAMBLIN	ZONING	REVIEW	Reqs Change	CDRC TRANSMITTAL TO: Development Services Department Plans Coordination Office
------------	------------------	--------	--------	----------------	--

FROM: Elisa Hamblin, AICP; Principal Planner

PROJECT: 2002 S Mission Rd – Fire Station #15
Addition
Development Package (1st Review)
DP20-0223

TRANSMITTAL DATE: December 29, 2020

COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.

This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).

Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has

been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is November 1, 2021.

1. 2-06.4.1 - The name, mailing and email addresses, and phone number of the primary property owner of the site, the developer of the project, registrant(s), and other person(s), firm(s), or organization(s) that prepared the development package documents shall be provided on the right half of the cover sheet. Provide names and email addresses.

2. 2-06.4.3 – Provide relevant case number DP20-0223 adjacent to the title block on each sheet.

3. 2-06.4.4.B – In the location map on sheet 1, identify all streets that abut the subject property

4. 2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses. Demonstrate compliance with use-specific standard 4.9.13.F. which requires a minimum 5 ft screen wall on the portion of the site abutting a residential property. This must be a solid, opaque wall, unless modified through a variance (deletion of the requirement) or constructed of another material (chain link and slats) and modified through a Design Development Option (DDO), which is an administrative process. The DDO request would be for a substitution of materials to include slatted chain link fencing and vegetation in lieu of a solid wall. Contact Mark.Castro@tucsonaz.gov for more information on either of these options.

5. 2-06.4.7.A.8.a, b, c – Update general notes on sheet 1. Include existing storage building on west of property, which appears to be approximately 150 sq ft. Update notes on floor area for each building, Percentage and area in square feet of building and accessory building coverage, and Percentage of building, lot area, or vehicular use area expansion.

6. 2-06.4.8.B – Verify all existing easements shall be drawn on the plan. The recordation information, location, width, and purpose of all easements on site will be stated. Blanket easements should be listed in the notes, together with recordation data and their proposed status. Should an easement not be in use and be proposed for vacation or have been abandoned, so indicate. However, should the easement be in conflict with any proposed building location, vacation of the easement shall occur

prior to approval of plan unless written permission from easement holder(s) is provided.

7. 2-06.4.8.C - The following information regarding existing private or public right-of-way adjacent to or within the site shall be provided: the name, right-of-way width, recordation data, type and dimensioned width of paving, curbs, curb cuts, and sidewalks.

8. 2-06.4.9.F - All existing zoning classifications on and adjacent to the project (including across any adjacent right-of-way) shall be indicated on the drawing with zoning boundaries clearly defined.

9. 2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces and parking areas, fully dimensioned. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC. Correct site plan keynote 30 and accessible parking note on sheet 1 and detail 3 on sheet 2 to align. Different dimensions are provided and one note states "non-compliant".

10. 2-06.4.9.H.5.a – Correct notes regarding calculations on the number of parking spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. Parking is based on gross floor area of all structures, including the existing storage building. Please note, GFA does exclude vehicle use area (garages). Based on rough calculations, it appears approximately 9-10 parking spaces are required. Please verify this calculation and correct on the site plan.

11. 2-06.4.9.H.5.d – Clarify location of the two short term bicycle spaces which are required.

12. 2-06.4.9.O - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown. Correct setbacks (lines and general notes) for San Juan Tr, San Antonio Dr, and Placita Del Jubilo. As San Juan Tr is a Major Street and Route, developing area setbacks are applied to all streets as found in UDC Article 6.4.5.C.2. Setback from San Juan Tr is 21 ft or the building wall height (whichever is greater) as measured from the back of future curb. Setback from San Antonio and Placita Del Jubilo are 21 ft or the building wall height (whichever is greater), as measured from the outside edge of adjacent travel lane.

13. 2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s). Provide sq ft and height of existing storage building on west of property.

14. 2-06.4.9.R – For the additions and expansions on site, show on-site pedestrian circulation and refuge utilizing location and the design criteria in Section 7-01.0.0, Pedestrian Access, of the Technical Standards Manual. An accessible route (sidewalk) is required to San Juan Tr. Sidewalk to San Antonio and Placita Del Jubilo are exempt due to constraints, as outlined in AM 7-01.4.1.A.

15. 2-06.4.9.S - Show existing or proposed pedestrian circulation along abutting rights-of-way. Such sidewalks must comply with accessibility requirements for the physically disabled and the design criteria in Section 10-01.0.0, Street Technical Standards, of the Technical Standards Manual.

If you have any questions about this transmittal, please contact me at Elisa.Hamblin@tucsonaz.gov or (520) 837-4966.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED:
Revised development package

Parcel Number: 118-07-002J

Property Address			
Street Number	Street Direction	Street Name	Location
2002	S	MISSION RD	Tucson

Contact Information	
Property Owner Information:	Property Description:
CITY OF TUCSON 00000-0000	PT NW4 NE4 SE4 LYG S OF SAN JUAN TRAIL & ADJ TO W LINE 2.26 AC SEC 22-14-13 (8311/1522)

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2020	VACANT/AG/GOLF (2)	15.0	\$73,000	\$240,335	\$313,335	\$305,272	\$45,791
2021	VACANT/AG/GOLF (2)	15.0	\$101,000	\$234,926	\$335,926	\$320,536	\$48,080

Property Information					
Township:	14.0	Section:	22	Range:	13.0E
Map:		Plat:		Block:	
Tract:		Land Measure:	2.33A	Lot:	
Census Tract:	4407	File Id:	1	Group Code:	
Use Code:	9770 (MUNICIPAL POLICE/FIRE DEPARTMENT FACILITY)			Date of Last Change:	11/2/2012

Valuation Area				
District Supervisor: ADELITA GRIJALVA District No: 5				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
21	1111048 DEL	05006901	00000 DEL	12

Recording Information (1)				
Sequence No.	Docket	Page	Date Recorded	Type
0	4670	165	12/27/1973	

Commercial Characteristics

Property Appraiser: Eduardo Puig Phone: (520) 724-6980

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	3,876	\$234,926	\$0	\$0

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1975	904/3	0000000	3,876	\$439,911	\$175,920	FIRE STATION
002-001	2000	290/3	0000000	0	\$78,498	\$40,269	PARKING LOT
003-001	2000	101/3	0000000	0	\$25,083	\$18,737	COMMERCIAL YARD IMPROVEMENTS

Permits (4)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T20CM07775	COth ~ APPROVED			TUC	\$0	0					
Description: REPL CELL TOWER ANTENNAS											
T99EL02026	COth ~ FINAL	11/16/1999	11/15/1999	TUC	\$0	0		07/24/2007			0
Description: GENERATORS											
T97CM01532	CALT ~ FINAL	09/23/1997	09/03/1998	TUC	\$59,000	200		07/24/2007			0
Description: REMODEL:FIRE STATION:WOMENS FACILITIES											
T04CM04676	CALT ~ FINAL	11/17/2004	05/18/2005	TUC	\$105,000	3,660		07/24/2007			0
Description: TI:FIRE STATION											

Notes (1)

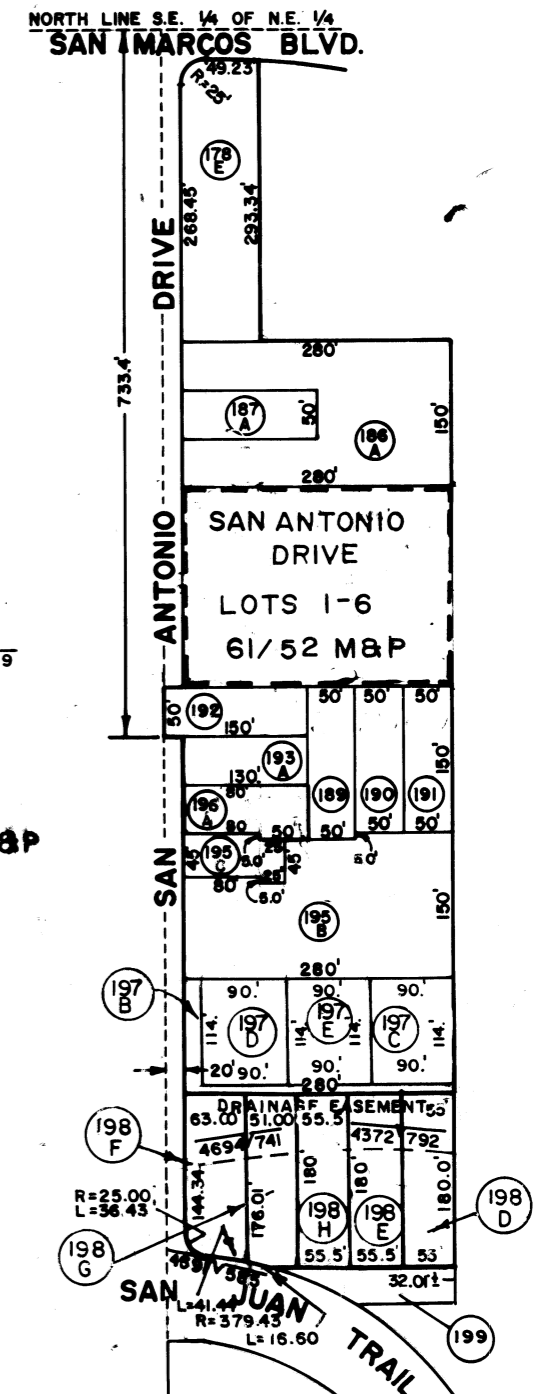
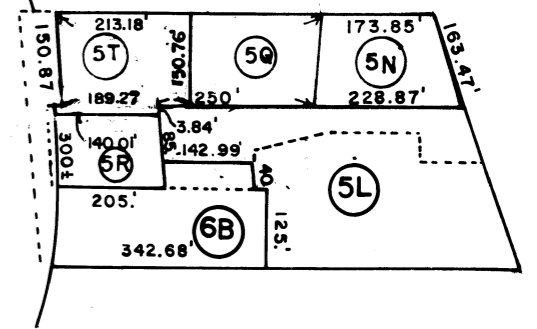
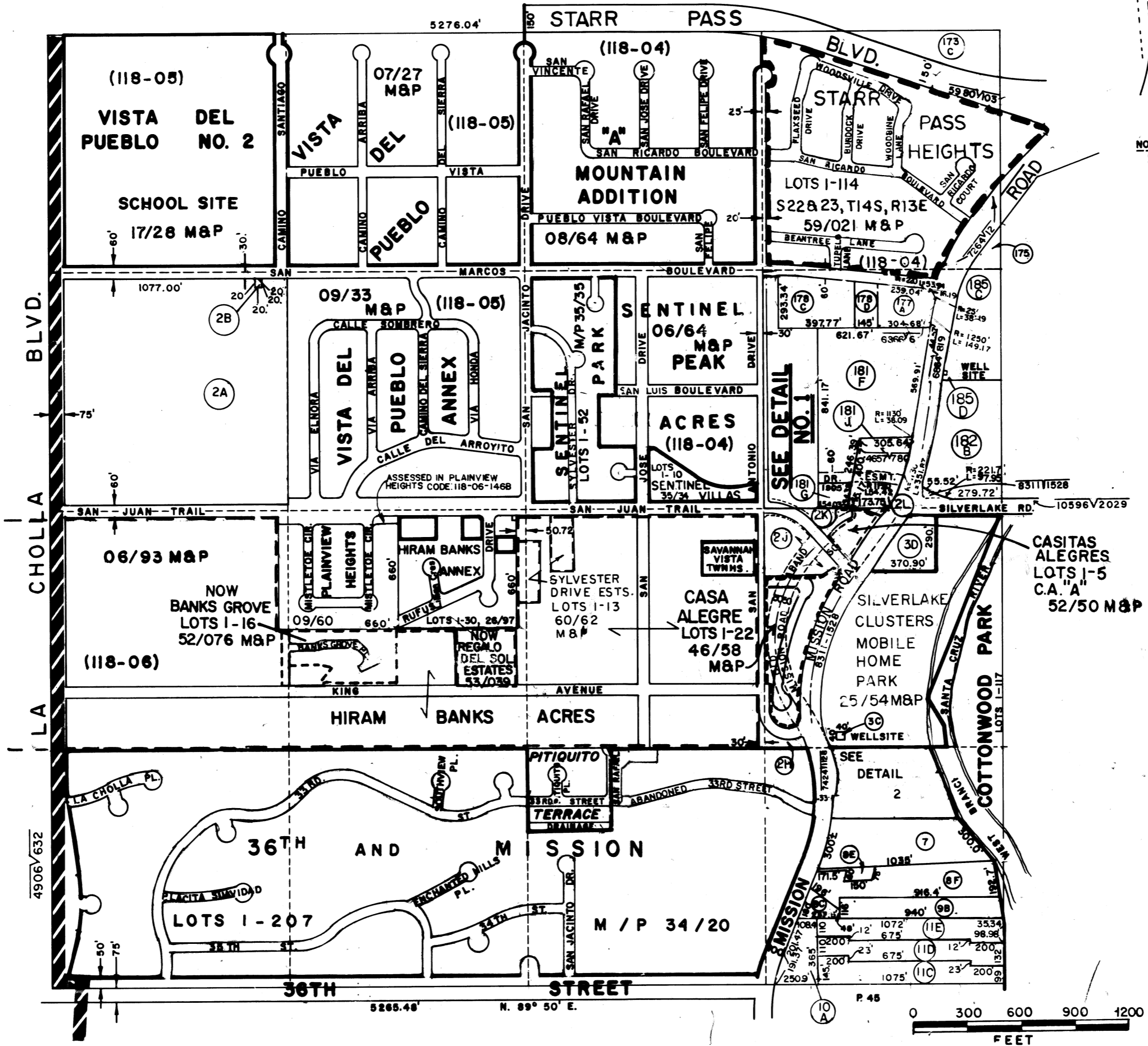
Created: 2/2/2012 Modified: 2/2/2012	TUCSON FIRE STATION. PU ONE NEW BLDG FOR 2014. CORRECT USE CODE (9700->9770) AND IMPS CLASS (4/0). NC RATIOS APEXED. SPECS AND DIMS EST.
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ASSESSOR'S RECORD MAP

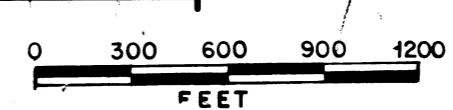


118-04
118-05
118-06
118-07

SECTION 22, TOWNSHIP 14 SOUTH, RANGE 13 EAST



DETAIL NO. 1
SCALE: 1" = 200'



2017-1

SEE BOOK 6 PAGE 32 R.S.
SEE BOOK 9 PAGE 51 R.S.
SEE BOOK 12 PAGE 34 R.S.
SEE BOOK 13 PAGE 89 R.S.

SEE BOOK 5 PAGE 91 R.S.
SEE BOOK 5 PAGE 79 R.S.
SEE R&S FILE - C.O.T. PLAN NO. R-80-03
FOR MISSION ROAD REALIGNMENT
SEE BOOK 6 PAGE 47 R.S.
SEE BOOK 8 PAGE 23 R.S.
SEE BOOK 8 PAGE 68 R.S.