



CITY OF
TUCSON

T21SA00085

DRB-21-11

Case Number DDO-21-19

Date Accepted 3/12/21

DESIGN DEVELOPMENT OPTION (DDO) APPLICATION For Landscaping/Screening Substitutions

This application must be filed at Planning and Development Services Department, Public Works Building, 3rd Floor, 201 North Stone Avenue, Tucson, Arizona. Call 837-4979 to schedule a submittal appointment. To be accepted for processing, the application must be complete, accurate, and legible and must be accompanied by the appropriate plans, documentation, and fees. Incomplete applications will not be accepted. Please make your check payable to the "City of Tucson."

PROPERTY INFORMATION

Project Address _____ DP# _____

Zone _____ Proposed Use (Please be specific.) _____

Number of Existing Buildings _____ Number of Stories _____ Height of Structure(s) _____

Size of Property _____

Property Tax Code(s) _____

Property Legal Description _____

Mailing Address: Planning & Development Services Department
P. O. Box 27210
Tucson, AZ 85726-7210
Phone: (520) 837-4979
DSD_Zoning_Administration@tucsonaz.gov

Location: Public Works Building
201 N. Stone Ave

APPLICANT INFORMATION

APPLICANT/AGENT Name _____

Address _____

Phone _____ FAX _____

OWNER Name _____

Address _____

Phone _____ FAX _____

ARCHITECT/
ENGINEER Name _____

Address _____

Phone _____ FAX _____

SIGNATURE OF OWNER

Owner _____

Date _____

SIGNATURE OF APPLICANT (if not owner)


Applicant _____

Date _____

If you have already applied for any related processes, please list the case numbers (variance, HPZ, NPZ, rezoning, etc.)

MODIFICATION REQUESTED

Check the items that apply and indicate what is proposed instead, explaining why each request is being made. (Use additional sheets if necessary.)

Street Landscape Border _____

Interior Landscape Border (tree requirement) _____

Street Frontage Screening _____

Interior Perimeter Screening _____

Vehicular Use Area Trees _____

Other Landscaping or Screening Requirements _____

Explain how these DDOs will improve the design of the project. (Use additional sheets if necessary.)

Objective: For the existing 5'-0" high slatted chain link fence to the east of the fire station to be allowed to meet the intent for required screening.

Along the east side of the fire station development portion of the site, there is an existing 5'-0" high slatted chain link fence that bisects the property, approximately 120' from the east property line, separating the fire station from the undeveloped portion of the site. The abutting property to the east is zoned for residential use, but is an educational land use, for Grijalva Elementary School. More specifically, the adjacent area is the drop-off area for the school. Vegetative screening also exists at the east property line around the school drop off and along the access drive to the south. These existing conditions provide adequate screening from the adjacent property that we feel meets the intent for opaque screening.

Approval of this DDO will focus tax payer dollars from Tucson Delivers, Safer City on providing the facilities needed by the fire department for firefighter safety and to increase the service capacity of the fire station.

Design Development Option (DDO) Project Description Narrative

March 10, 2021

(Revised) April 8, 2021



ARCHITECTS

4330 NORTH CAMPBELL AVE
SUITE NO. 268
TUCSON, ARIZONA 85718

520.408.1044 TEL
520.408.1170 FAX
WSMARCH.COM WEB

City of Tucson Fire Station 18 - Project Description

The proposed work consists of adding 3,004-sf expansion to the existing 2,285-sf Tucson Fire Department (TFD) Station 18. The fire station is located on a developed site that includes an access road to the south of the station for Grijalva Elementary school, located at the east boundary of the site. Grijalva Park occupies the southern portion of the site beyond the access road. An undeveloped portion of the site separates the fire station from the elementary school to the East.

This fire station is one of several Tucson Fire Department stations to receive safety upgrades through the Tucson Delivers, Safer City Program. The additions proposed are intended to help bring the facility into compliance with National Fire Protection Association (NFPA) guidelines for firefighter safety.

The lot is zoned R-2 which allows land use for protective service. The City of Tucson UDC use-specific standard 4.9.13.F requires a minimum 5-ft opaque masonry screen wall on the portion(s) of the site abutting a residential property. While the site is surrounded by other R-2 zoned properties, the developments to the east and south of the fire station are not residences. To the east is an undeveloped portion of the site which is adjacent to a middle school, and the development on the parcel that is south of the fire station includes an access road to the school and a park. The comments resulting from a zoning review DP20-0224 indicated that the requirement for opaque screening applies to the existing east fence that separates the fire station from the undeveloped portion of site.

Our objective in this DDO request is for a substitute of materials to meet the intent of the use specific standard for opaque screening between the Fire Station and residential-zoned properties. We request to provide new slats into the existing 5'-0" high slatted chain link fence to the east of the fire station to be allowed to meet the intent for required screening.

The slat material proposed, *Vinyl/Wood Fence Slats* by PrivacyLink, is an HDPE double-wall slat with a wood grain imprint and coloring to mimic actual wood with 'winged' sides to maximize privacy (approximately 98%). The slat color is to be *Wood Grain – Cedar tone*. The HDPE material offers low maintenance and greater longevity than an actual wood slat. The proposed product information is included in this submittal.

Design Development Option (DDO) Project Description Narrative

March 10, 2021

(Revised) April 8, 2021



ARCHITECTS

City of Tucson Fire Station 18 – Modification Requested

Explain how these DDOS will improve the design of the project.

Along the east side of the fire station development portion of the site, there is an existing 5'-0" high slatted chain link fence that bisects the property, approximately 120' from the east property line, separating the fire station from the undeveloped portion of the site. The abutting property to the east is zoned for residential use, but is an educational land use, for Grijalva Elementary School. More specifically, the adjacent area is the drop-off area for the school. Vegetative screening also exists at the east property line around the school drop off and along the access drive to the south. These existing conditions provide adequate screening from the adjacent property that we feel meets the intent for opaque screening.

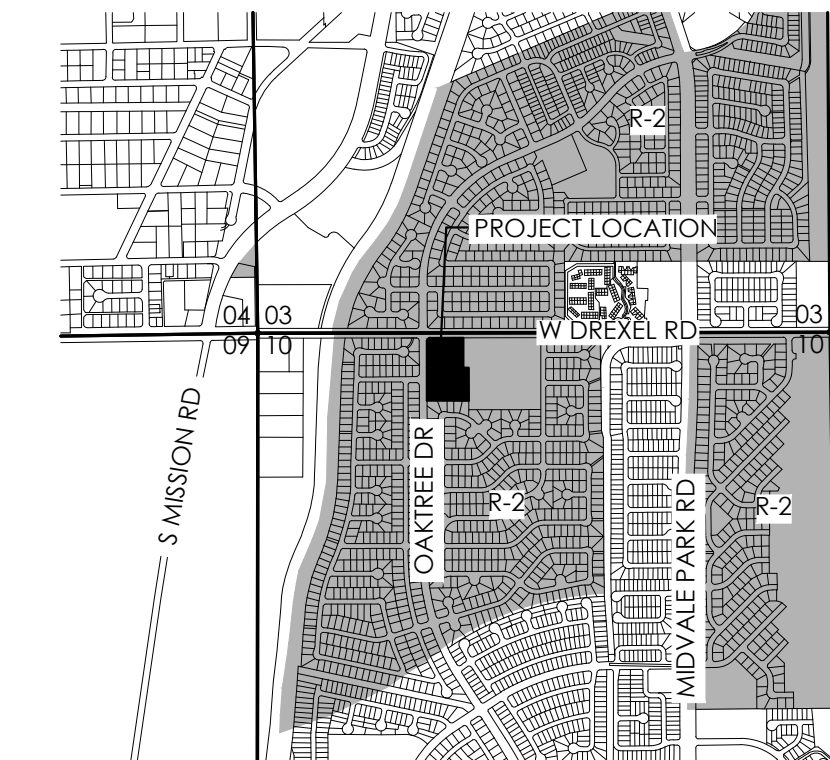
4330 NORTH CAMPBELL AVE
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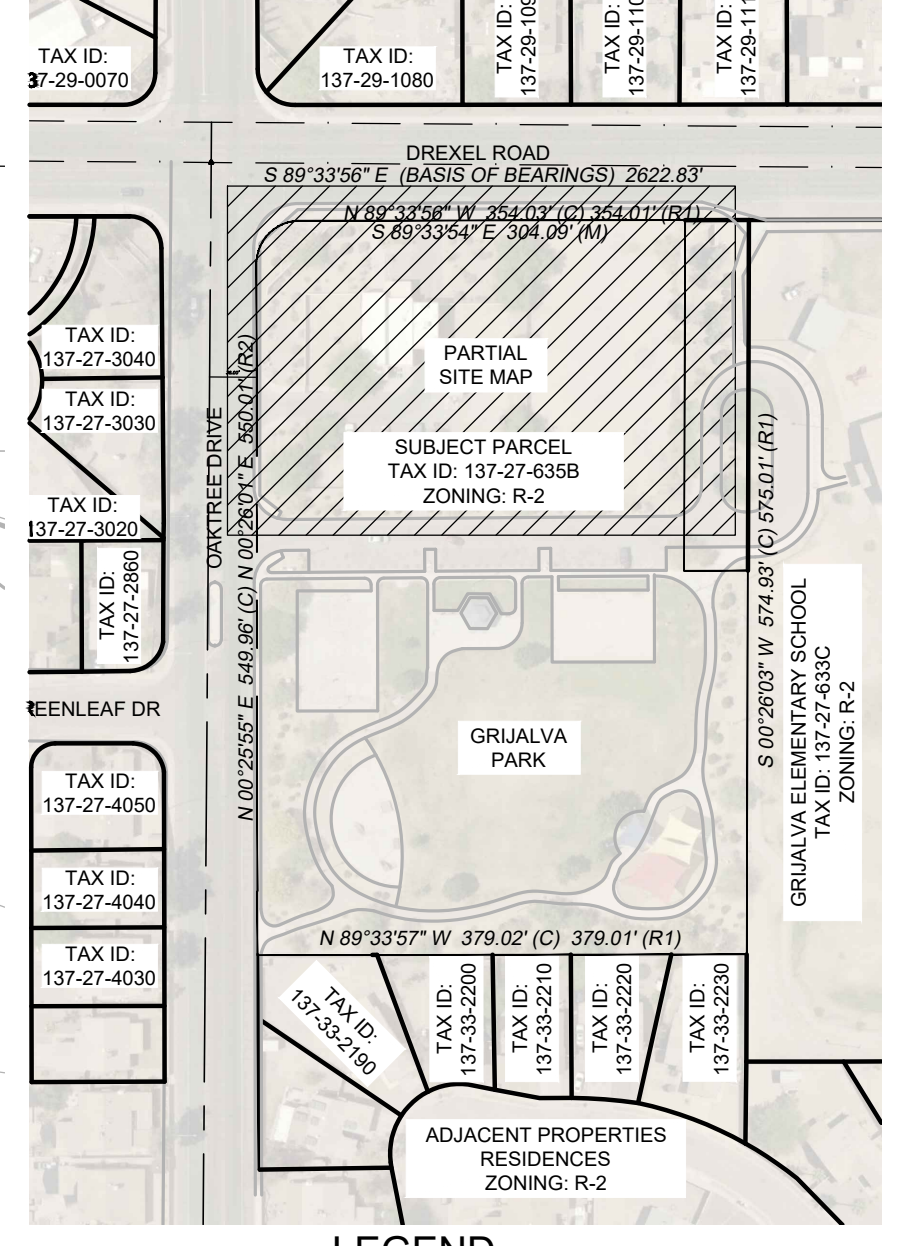
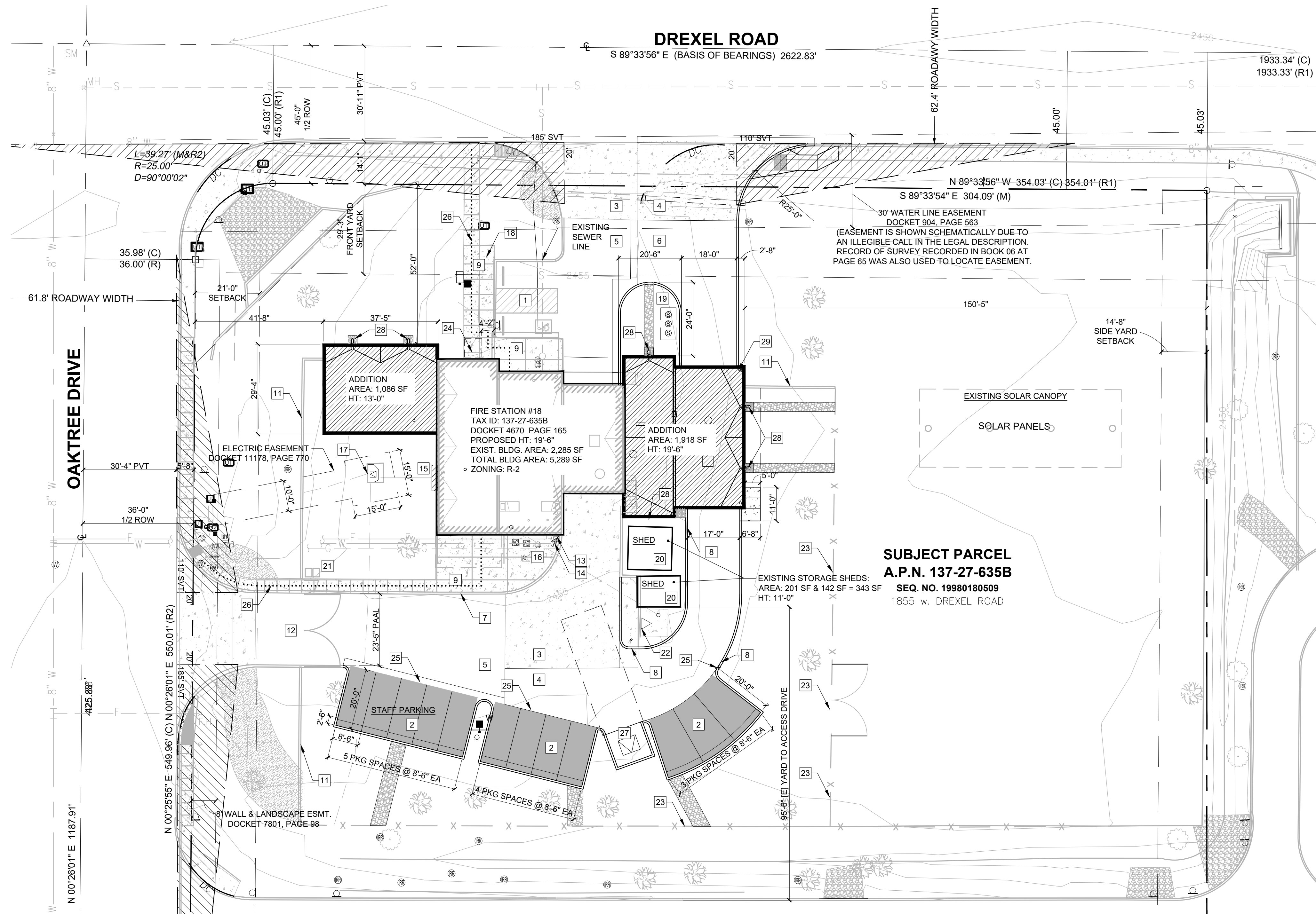
The approval of this request for substitute materials will improve the design of the project by maintaining the ability for the undeveloped portion of the site to remain flexible for future City of Tucson, or Tucson Fire Department needs. A slatted chain link fence with the product proposed will provide a high degree of privacy in an application that is low maintenance, and highly durable. Additionally, approval of this DDO material substitution request will utilize the existing secure fencing and focus taxpayer dollars funding this project through the Tucson Delivers, Safer City Program that is intended for equipment upgrades on providing the facilities needed by the fire department for firefighter safety.

DEVELOPMENT PACKAGE FOR ADDITION TO FIRE STATION 18 CITY OF TUCSON

1855 W DREXEL RD TUCSON, AZ 85746



1 LOCATION MAP
SCALE: 3" = 1 MILE



LEGEND

- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- BACKFLOW PREVENTER
- WATER METER
- GAS METER
- SEWER CLEANOUT
- LIGHT POLE
- CONCRETE
- ASPHALT PAVEMENT
- FENCE
- EXISTING VEGETATION. NO CHANGE U.N.O.

- # SITE PLAN KEYNOTES**
1. VISITOR PARKING AREA - SEE DETAIL 6 SHEET 2
 2. STAFF PARKING - ASPHALT PAVING
 3. EXISTING CONCRETE APRON TO REMAIN
 4. NEW CONCRETE APRON
 5. EXISTING ASPHALT TO REMAIN
 6. NEW AREA OF ASPHALT
 7. EXISTING CONCRETE CURB
 8. NEW CONCRETE CURB
 9. EXISTING CONCRETE SIDEWALK
 10. NEW CONCRETE SIDEWALK
 11. EXISTING SITE WALL TO REMAIN
 12. EXISTING SECURE VEHICULAR GATE TO REMAIN
 13. GAS METER
 14. WATER METER
 15. NEW ELECTRICAL SERVICE ENTRANCE
 16. EXISTING GROUND MOUNTED MECHANICAL UNITS TO REMAIN
 17. EXISTING GROUND MOUNTED TRANSFORMER - OBSERVE REQUIRED CLEARANCES
 18. EXISTING FLAGPOLE TO REMAIN
 19. RELOCATED EXISTING SAND OIL SEPARATOR - SEE PLUMBING
 20. EXISTING STORAGE SHED BUILDING TO REMAIN
 21. EXISTING APC RECYCLING ROLL OFF CONTAINERS
 22. EXISTING GROUND MOUNTED ANTENNA AND TOWER TO REMAIN
 23. EXISTING 5'-0" SLATTED CHAIN LINK FENCE TO REMAIN. PROVIDE NEW DUAL OPENING CHAINLINK SWING GATE.
 24. EXISTING BIKE RACK TO REMAIN - 5-LOOP WAVE TYPE, 7 BIKE CAPACITY - SEE DETAIL 7 SHEET 2
 25. PROVIDE NEW CURB - SEE CIVIL
 26. ACCESSIBLE PATH TO RIGHT OF WAY
 27. MASONRY DUMPSTER ENCLOSURE - SEE DETAIL 4/2, AND REFUSE ACCESS DETAIL 5/2
 28. SPLASH BLOCK AND RIP-RAP AT DOWNSPOUT
 29. LONG TERM BIKE STORAGE: 2 MADRAP WALL MOUNTED BIKE RACKS WITH LOCKING BAR - MOUNTED TO INSIDE WALL OF APP. BAY - DTL 2/2

PROPERTY SUMMARY:

PARCEL ID 137-27-635B CITY OF TUCSON OWNER
 AREA: 206,497 SF (4.74 ACRES)
 ZONING: R-2 RESIDENCE ZONE, (CIVIC USE PERMITTED - PROTECTIVE SERVICE, SUBJECT TO USE SPECIFIC STANDARD FOR R-2 & 4.9.13.F)
 SOUTHERN PORTION OF SITE IS GRUALVA PARK WARD 1 - MIDVALE PARK NEIGHBORHOOD

SITE REQUIREMENTS (UDC 6.3-2A)

- RESIDENTIAL DENSITY MAXIMUM: 1 / 5,000 SF
- LOT SIZE / SITE AREA MINIMUM: 5,000 SF
- EXCEPTIONS TO DIMENSION STANDARDS. (PER UDC TABLE 6.3-2.B)
 - PROTECTIVE SERVICE LOT SIZE MIN = 20,000 SF
 - ACTUAL EXISTING SITE: 206,497 SF
 - COMPLIANT

EXPANSION OF EXISTING DEVELOPMENT:

- EXIST. BLDG: 2,285 SF
- EXIST SHED #1: 201 SF
- EXIST SHED #2: 142 SF
- ADDITIONS: 3,004 SF
- 3,004 / 2,628 = **115% EXPANSION**

SETBACKS (6.3-2.A UDC)

- FRONT YARD (NORTH)
 - FRONT LOT LINE ON MS&R
 - 21' PERIMETER YARD OR HT OF PROPOSED WALL, WHICHEVER IS GREATER
 - PROPOSED BLDG. HT IS 19'-6" X 1.5= 29'-3" YARD REQUIRED
 - PROPOSED YARD IS 52'-0" - COMPLIANT
- SIDE YARD (EAST)
 - 10' OR 3/4HT, WHICHEVER IS GREATER
 - PROPOSED BLDG HT IS 19'-6" X .75 = 14'-8" YARD REQUIRED
 - PROPOSED YARD IS 150'-5" - COMPLIANT
- REAR YARD (WEST)
 - STREET PERIMETER YARD (WEST)
 - LOT LINE ON MS&R

VEHICLE PARKING: (7.4 UDC)

- CALCULATION OF REQUIRED MOTOR VEHICLES, BASED ON GFA (UDC 7.4.3.F.4)
 - GFA = 5,289 (BLDG) + 343 SF (SHED) - 1,745 SF (GARAGES)
 - = 3,887 SF / 300
 - = 13 SPACES REQUIRED
 - 14 SPACES PROVIDED - COMPLIANT

ACCESSIBLE PARKING

- REQUIRED: 1 VAN ACCESSIBLE REQUIRED. 1 PROVIDED - COMPLIANT

BICYCLE PARKING (TABLE 7.4.8-1):

- SHORT TERM PARKING (CIVIC USE): 1SPC / 8,000 GFA
- 2 MIN. REQUIRED
- 7 PROVIDED (EXISTING)
- LONG TERM PARKING (CIVIC USE): 1SPC / 12,000 GFA
- 2 MIN. REQUIRED
- 2 PROVIDED WITHIN THE BUILDING (APPARATUS BAYS).

LOADING ZONES:

- (TABLE 7.5.5-A) CIVIC USE GROUP, LOADING AREA NOT REQUIRED.
- PROVIDED: NONE

OWNER

CITY OF TUCSON
 255 W. ALAMEDA ST., 5TH FLOOR
 TUCSON, AZ 85726
 TEL 520-837-4063
 Contact: Terry Gilliland
 terry.gilliland@tucsonaz.gov

ARCHITECT

WSM ARCHITECTS, INC.
 4330 N. CAMPBELL AVE., SUITE 268
 TUCSON, AZ 85718
 TEL 520-408-1044
 Contact: John Price
 jprice@wsmarsh.com

CIVIL

DOWL
 430 W. WARNER ROAD, B101
 TEMPE, AZ 85284
 TEL 480-753-0800
 Contact: Erin O'Brien
 eobrien@dowl.com

LANDSCAPE

NORRIS DESIGN
 418 N TOOLE AVE
 TUCSON, AZ 85701
 TEL 520-622-9565
 Contact: Jason Kuklinski
 jkuklinski@norris-design.com

SHEET INDEX

1 OF 5	COVER SHEET, SITE PLAN
2 OF 5	EXISTING PLAN & DETAILS
3 OF 5	GRADING & DRAINAGE PLAN
4 OF 5	LANDSCAPE PLAN
5 OF 5	LANDSCAPE DETAILS



1855 W DREXEL RD
 TUCSON, AZ 85746

DEVELOPMENT PACKAGE

Addition to Fire Station 18 City of Tucson

SITE PLAN

Parcel 137-27-635B, PTN E379.01' W1933.33' S625.01'
 N670.01' NW4 4.68 AC SEC 10-15-13, T-15S R-13E S10,
 G&SRM, PIMA COUNTY, AZ

SCALE: HOR. AS SHOWN
 VER: N/A

DESIGNED BY: TJP
 DRAWN BY: AML
 CHECKED BY: PDM

FILE NO: 20-005
 DATE: 11/15/2024

PROJECT NO: DP20-0224

GENERAL NOTES:

1. EXISTING ZONING IS R-2
2. GROSS AREA OF THE SITE: 206,497 SF / 4.74AC. THE SUBJECT LOT IS ASSESSOR PARCEL NUMBER 137-27-635B.
3. RESIDENTIAL USE GROUP - FIRE STATION IS CIVIC USE, PROTECTIVE SERVICE (UDC TABLE 4.8-2) PERMITTED. SUBJECT TO USE SPECIFIC STANDARD 4.9.13.F. GRUALVA PARK IS USE GROUP - OPEN SPACE (OS).
4. TOTAL NUMBER OF ADDITIONS PROPOSED: 2
5. EXISTING BUILDING HEIGHT IS 17'-6"; PROPOSED ADDITION HEIGHT MAXIMUM IS 19'-6"
6. SCREENING (UDC 4.9.13.F) THERE SHALL BE SCREEN WALL AT LEAST 5 FT IN HEIGHT BETWEEN THIS USE AND ANY RESIDENTIAL ZONE.
7. ALL GROUND MOUNTED MECHANICAL EQUIPMENT AND REFUSE AREA WILL BE SCREENED. THESE AREAS ARE EXISTING TO REMAIN.
8. PER UDC TABLE 6.3-2.B. EXCEPTIONS TO THE R-1, R-2, R-3, MH-1 & MH-2 DIMENSIONAL STANDARDS THE MINIMUM LOT SIZE FOR A PROTECTIVE SERVICE (P-GOVERNMENT OWNED AND OPERATED ONLY) IS 20,000 SF.
9. PER UDC TABLE 6.3-2.B. EXCEPTIONS TO THE R-1, R-2, R-3, MH-1 & MH-2 DIMENSIONAL STANDARDS THE MAXIMUM LOT COVERAGE ALLOWED FOR PROTECTIVE SERVICE

(P-GOVERNMENT OWNED AND OPERATED ONLY) IS 60%.

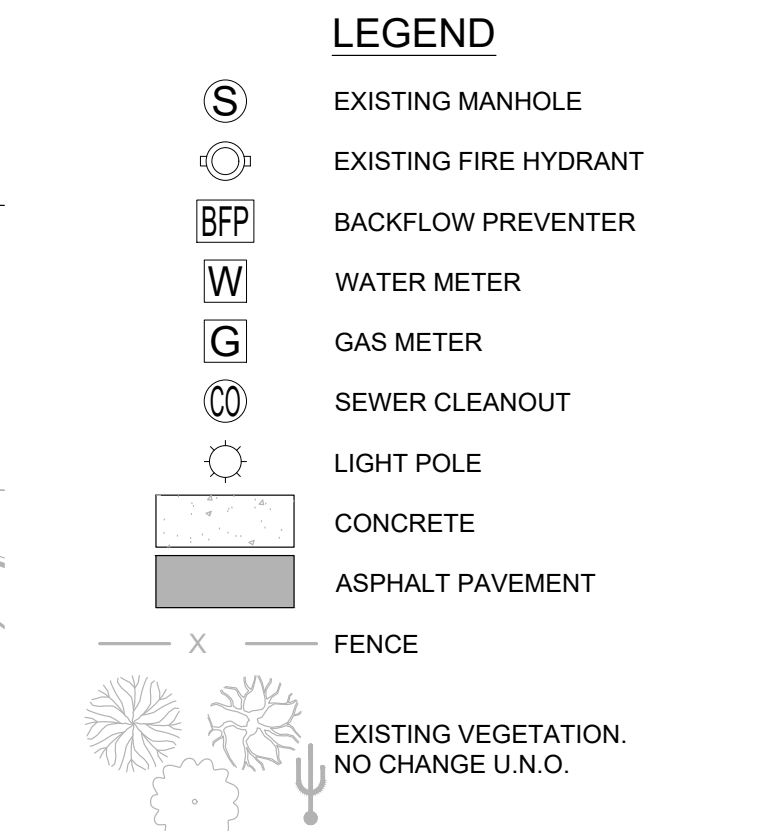
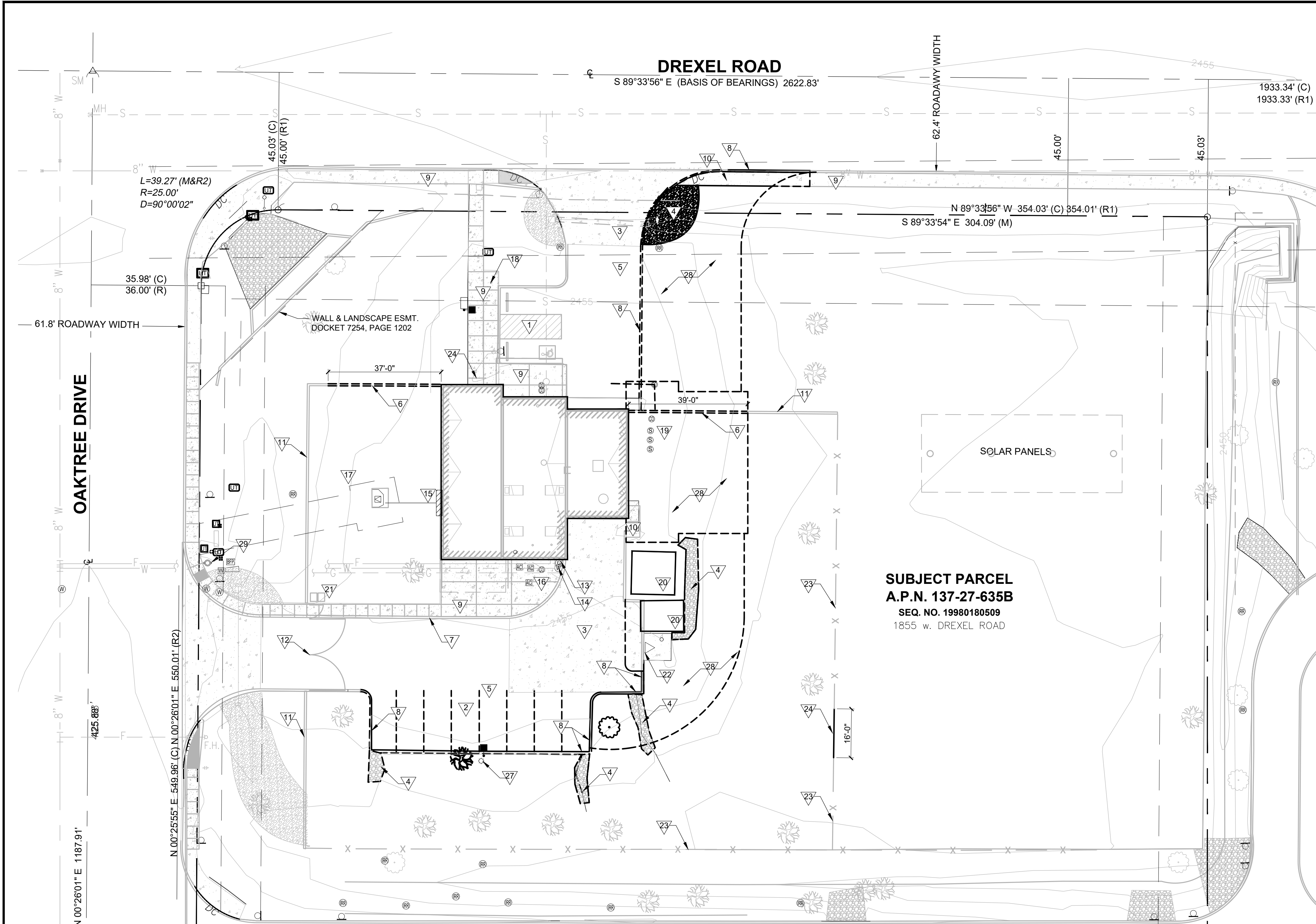
10. THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS DEVELOPMENT AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
11. DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
12. NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SECTION 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
13. ANY RELOCATION OR MODIFICATION OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
14. ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
15. MAINTENANCE AND OPERATION OF THE PRIVATE SEWER TO ITS POINT OF CONNECTION TO THE PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND

EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.

16. ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF PIMA COUNTY ORDINANCE NO. 1991-140, AS CURRENTLY AMENDED.
17. ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED, AND MAINTAINED ON A PRIVATE BASIS. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY WASTEWATER MANAGEMENT DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING OR BUILDING PLANS.
18. ALL EXISTING PLANT MATERIAL INSIDE THE SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY. BRANCHES FROM TREES SHALL BE TRIMMED TO

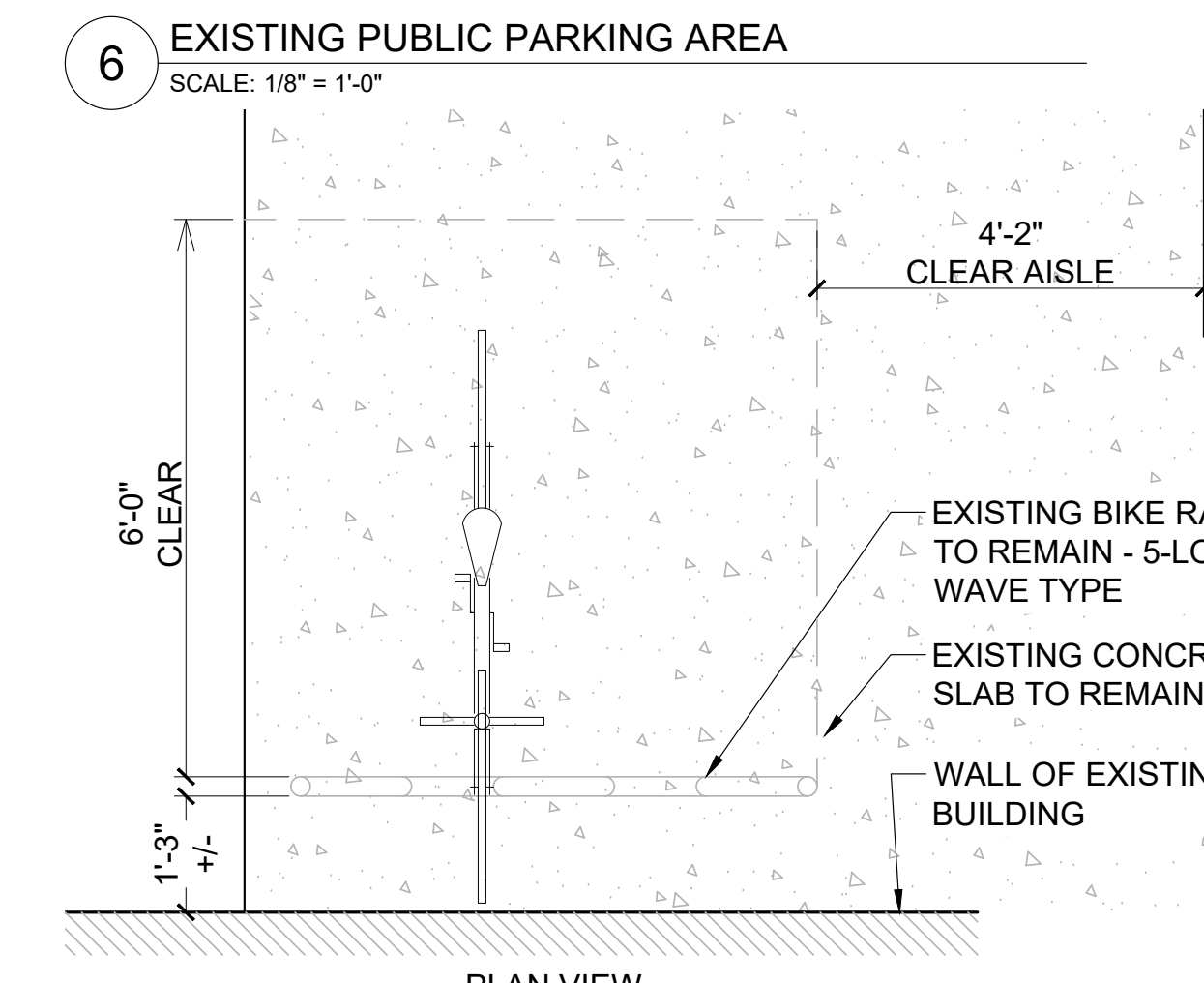
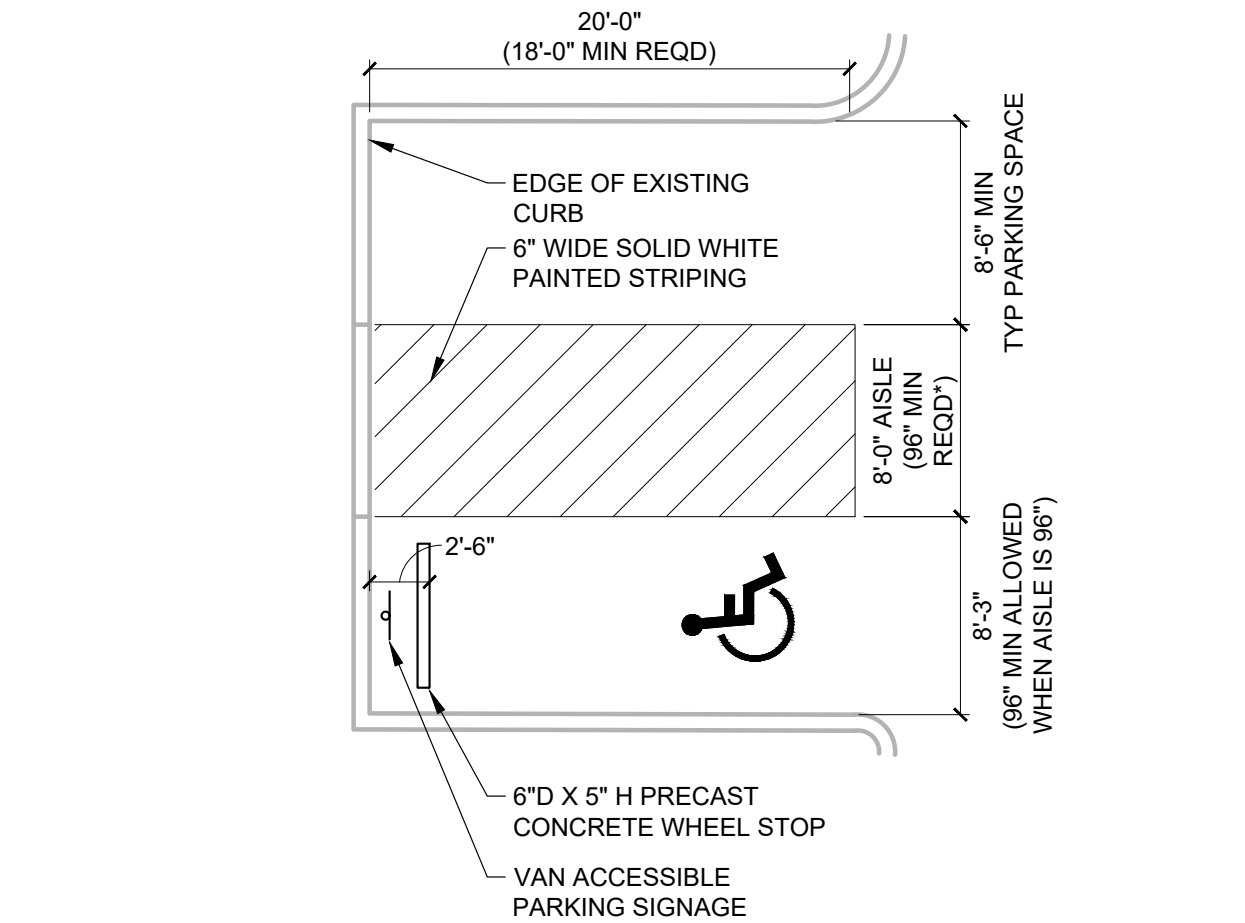
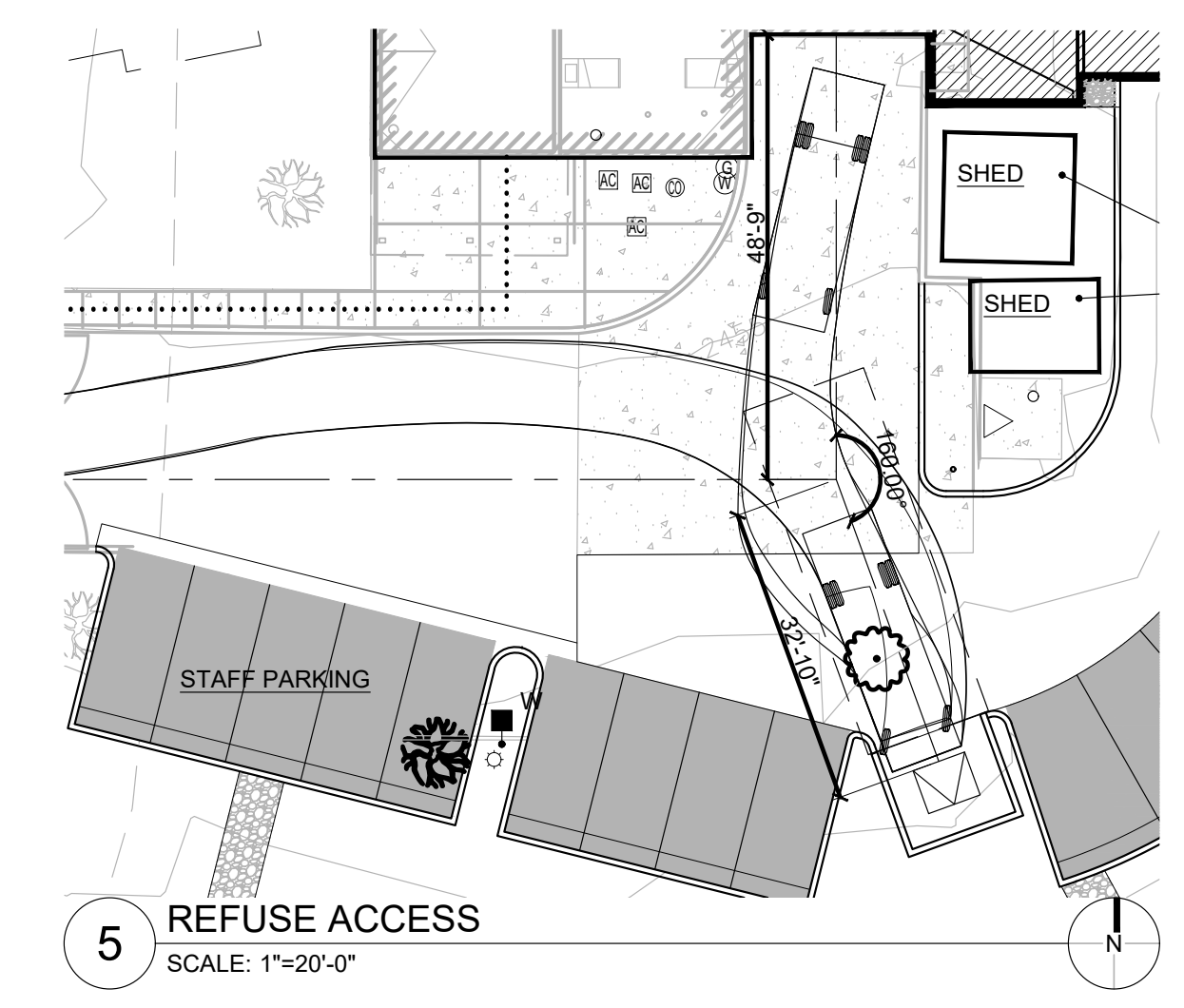


REVISION	BY	DATE	WSM FILE NO.	DESIGNED BY:	DRAWN BY:	CHECKED BY:	PROJECT NO.
			20-005	TJP	AML	PDM	DP20-0224

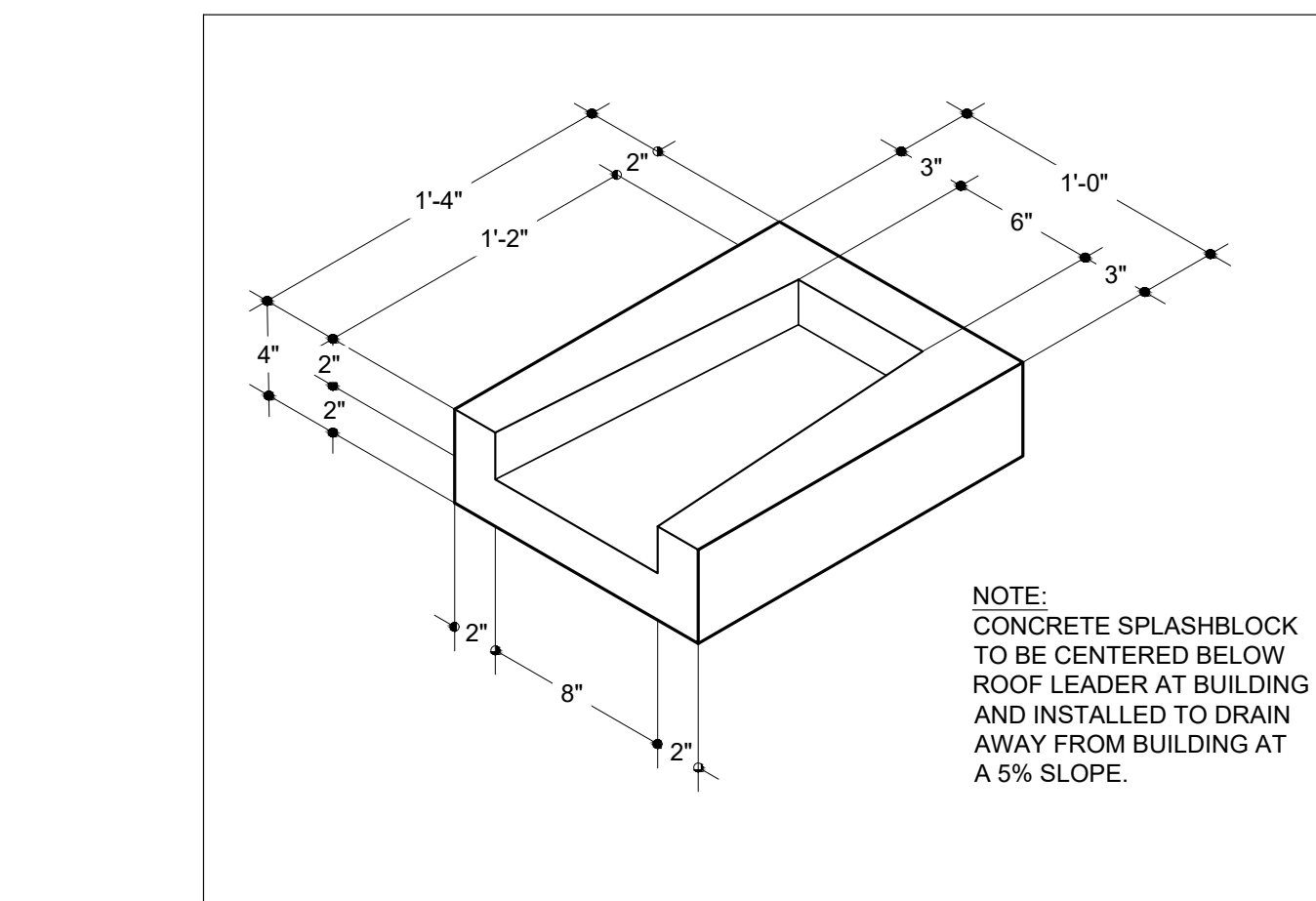


- # EXISTING SITE PLAN KEYNOTES**
1. VISITOR PARKING
 2. STAFF PARKING
 3. EXISTING CONCRETE APRON TO REMAIN
 4. REMOVE RIP RAP AND GROUND COVER THIS AREA - SEE CIVIL FOR GRADING
 5. EXISTING ASPHALT TO REMAIN
 6. DEMOLISH PORTION OF EXISTING SITE WALL
 7. EXISTING CONCRETE CURB
 8. DEMOLISH PORTION OF EXISTING CURB
 9. EXISTING CONCRETE SIDEWALK
 10. DEMOLISH PORTION OF EXISTING SIDEWALK
 11. EXISTING SITE WALL TO REMAIN
 12. EXISTING SECURE VEHICULAR GATE TO REMAIN
 13. GAS METER
 14. WATER METER
 15. ELECTRICAL SERVICE ENTRANCE
 16. EXISTING GROUND MOUNTED MECHANICAL UNITS TO REMAIN
 17. EXISTING GROUND MOUNTED TRANSFORMER - OBSERVE REQUIRED CLEARANCES
 18. EXISTING FLAGPOLE TO REMAIN
 19. EXCAVATE EXISTING SAND OIL SEPARATOR AND RELOCATE PER PLANS - SEE PLUMBING
 20. EXISTING STORAGE SHED BUILDING TO REMAIN
 21. EXISTING APC RECYCLING ROLL-OFF CONTAINERS TO REMAIN
 22. EXISTING GROUND MOUNTED ANTENNA AND TOWER TO REMAIN
 23. EXISTING 5" SLATTED CHAIN LINK SITE FENCE TO REMAIN
 24. DEMOLISH PORTION OF EXISTING FENCE AND REPLACE WITH DUAL OPENING CHAINLINK SWING GATE
 25. DEMOLISH EXISTING TREE
 26. EXISTING BIKE RACK TO REMAIN FOR SHORT TERM BIKE PARKING - 5-LOOP WAVE TYPE, 7 BIKE CAPACITY
 27. EXISTING SITE LIGHTING TO REMAIN
 28. CLEAR AND PREPARE AREA FOR NEW WORK - SEE CIVIL
 29. EXISTING FIRE HYDRANT

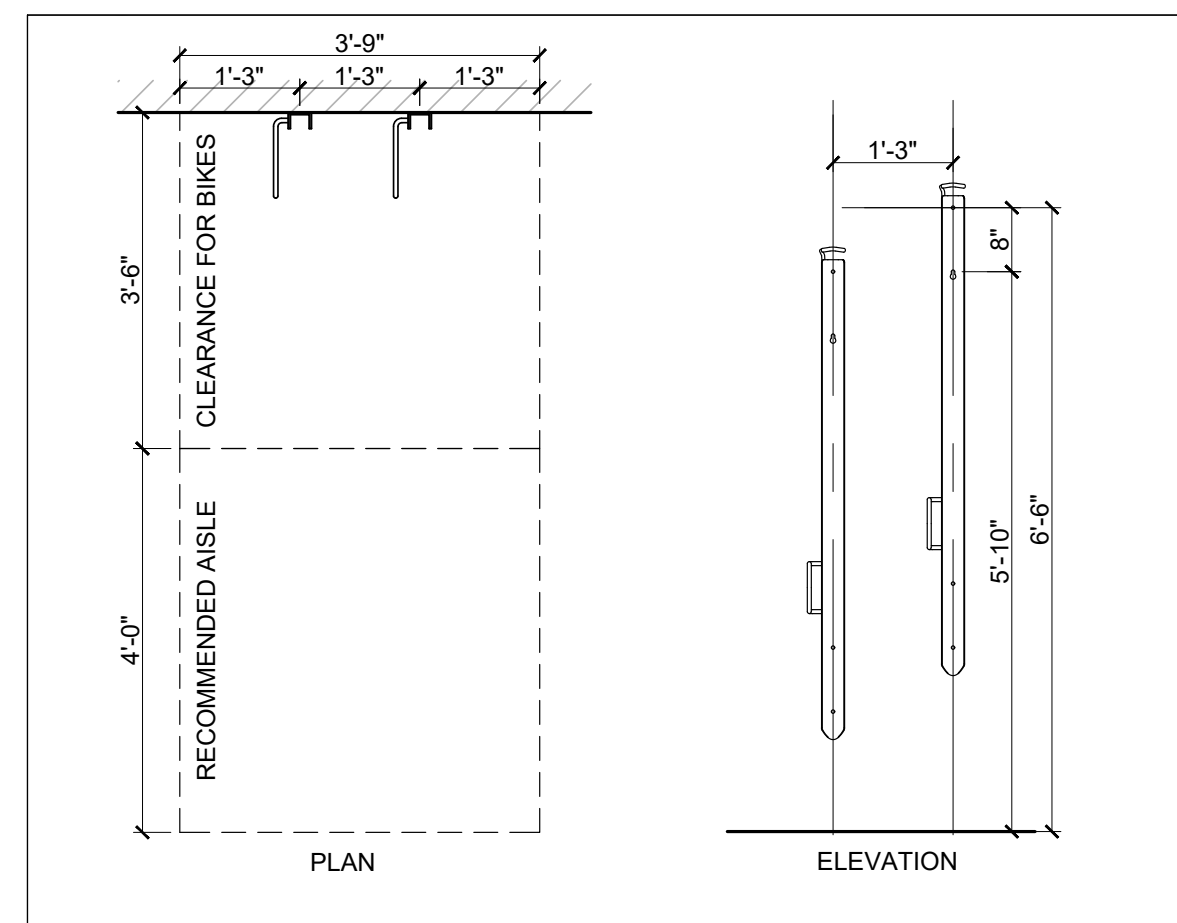
SUBJECT PARCEL
A.P.N. 137-27-635B
 SEQ. NO. 19980180509
 1855 W. DREXEL ROAD



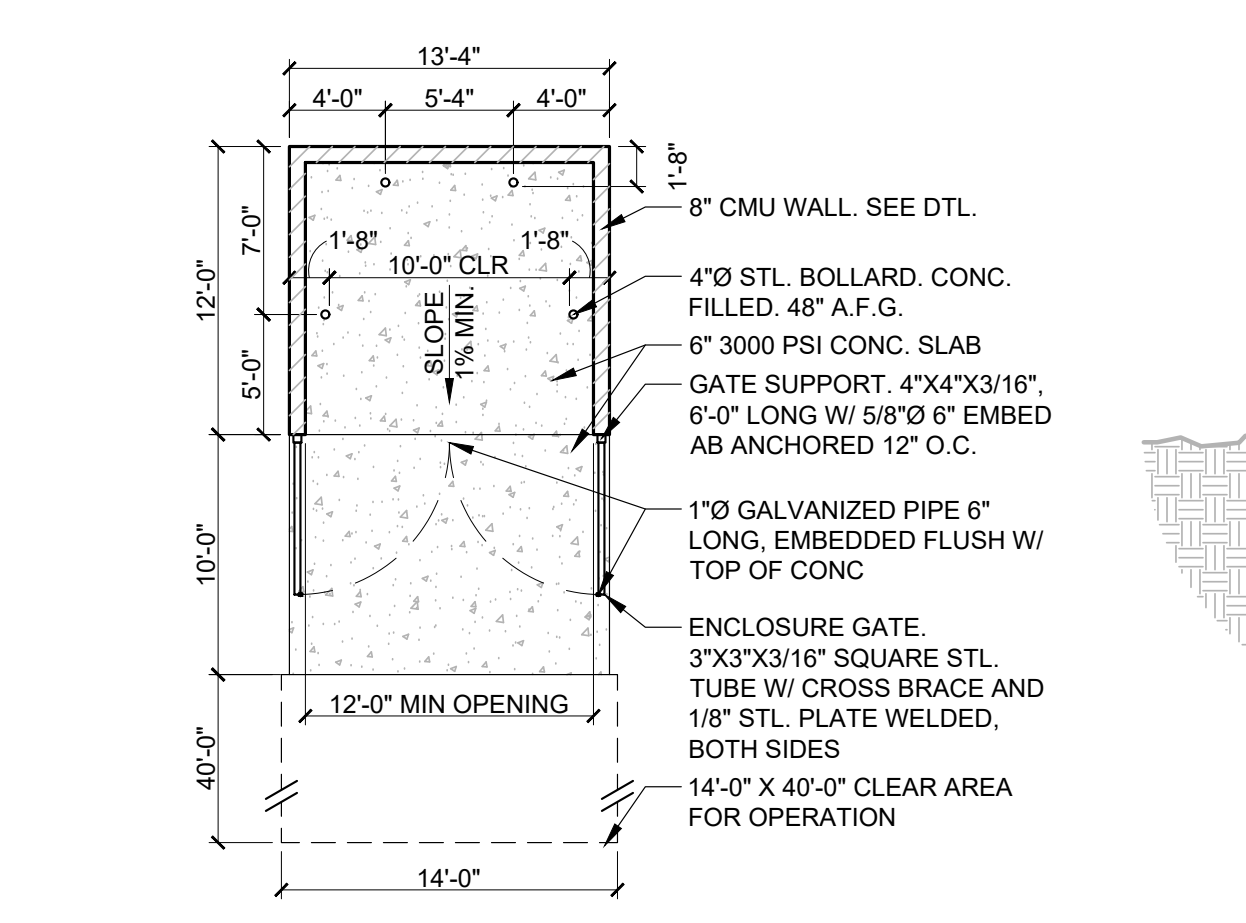
1 DEMOLITION SITE PLAN
 SCALE: 1"=20'-0"



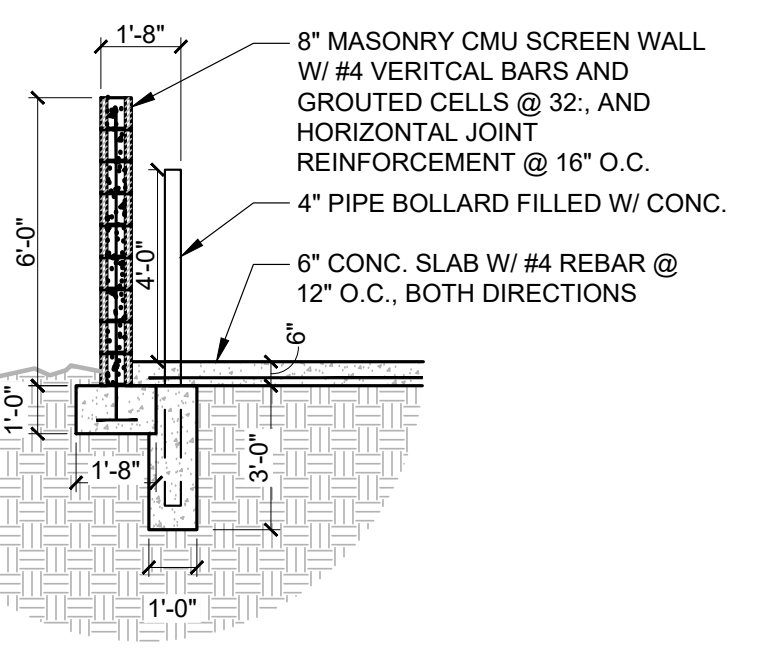
2 CONCRETE SPLASH BLOCK
 SCALE: 1-1/2"=1'-0"



3 WALL MOUNTED BIKE RACK
 SCALE: 1"=1'-0"



4 DUMPSTER ENCLOSURE
 SCALE: 1"=1'-0"



Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811
 Call 811 or click Arizona811.com



1855 W DREXEL RD
 TUCSON, AZ 85746

W.S.M. ARCHITECTS

DEVELOPMENT PACKAGE

Addition to Fire Station 18 City of Tucson

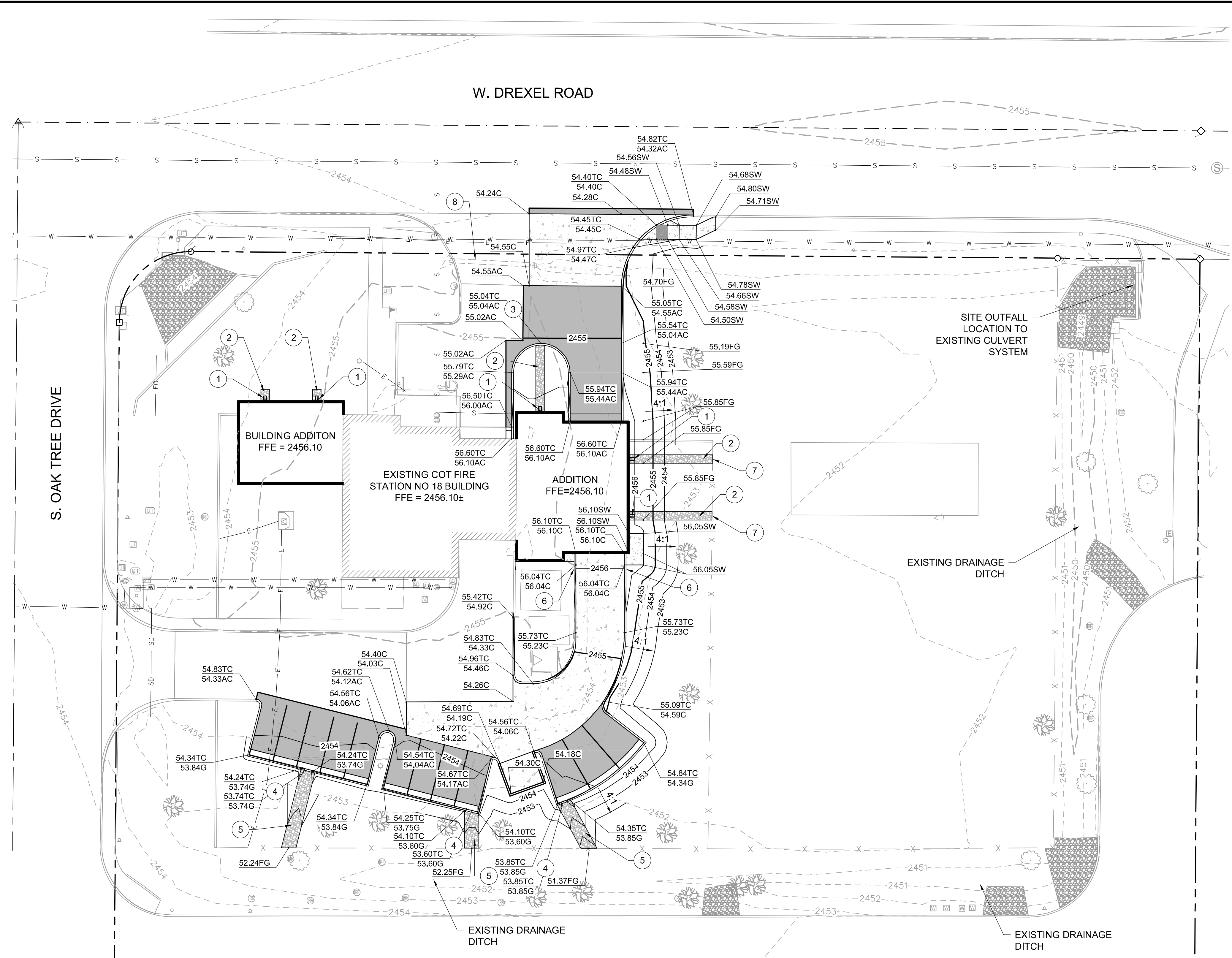
DEMOLITION SITE PLAN

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 G&SRM, PIMA COUNTY, AZ

SCALE: HOR. AS SHOWN
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GRADING AND DRAINAGE KEYNOTES

- 1 REFER TO ARCHITECTURAL PLANS FOR SPLASH BLOCK AT DOWNSPOUT LOCATION.
- 2 PROVIDE RIPRAP D50=6" DEPTH 12" AT/AROUND SPLASH BLOCK AS SHOWN. EXTEND RIPRAP AS SHOWN. RIPRAP PER DETAIL 2 THIS SHEET.
- 3 PROVIDE 1" WIDE CURB OPENING FOR DRAINAGE PASS THROUGH PER DETAIL 1 THIS SHEET.
- 4 PROVIDE 4" WIDE CURB OPENING FOR DRAINAGE PASS THROUGH PER DETAIL 1 THIS SHEET.
- 5 PROVIDE RIPRAP D50=6" DEPTH 12" AT THE END OF CURB OPENING. EXTEND SOUTH TO EXISTING FENCE OPENINGS.
- 6 TRANSITION FROM FLUSH CURB TO FULL HEIGHT CURB OVER 1'.
- 7 PROVIDE DRAINAGE PASS THROUGH AT EXISTING FENCE - SIMILAR AS WHAT IS CURRENTLY PRESENT ONSITE.
- 8 ABANDON EXISTING 18" RCP STORM DRAIN PIPE IN PLACE. CLEAN AND SLURRY FILL. RE-GRADE WEST INLET TO MATCH NEARBY GRADES.

GENERAL NOTES

1. VERIFY ALL TIE IN ELEVATIONS AS SHOWN PRIOR TO COMMENCING WORK.
2. SURVEY INFORMATION SHOWN PROVIDED BY ALTA ARIZONA.
3. SOME ELEVATIONS SHOWN HAVE BEEN TRUNCATED. ADD 2400' TO TRUNCATED ELEVATIONS FOR TRUE ELEVATION.
4. SALVAGE EXISTING RIPRAP WHERE NEW GRADING/IMPROVEMENTS ARE SHOWN FOR RE-USE

DRAINAGE STATEMENT

THE PROPOSED IMPROVEMENTS TO THE EXISTING CITY OF TUCSON FIRE STATION NO. 18 INCLUDE THE ADDITION OF APPROXIMATELY 3,033 SF OF NEW BUILDING AREA, A NEW APPARATUS BAY AND ASSOCIATED INGRESS AND EGRESS DRIVES, RECONFIGURED AND EXPANDED PARKING AND OTHER MISCELLANEOUS SITE WORK. THE SITE IN ITS CURRENT CONFIGURATION INCLUDES A SINGLE STORY FIRE STATION BUILDING, PAVED INGRESS AND EGRESS DRIVES, PARKING AREAS IN A SECURED PORTION OF THE SITE, PUBLIC PARKING ON THE NORTH, AN ENCLOSED MECHANICAL YARD ON THE EAST SIDE AND OPEN SPACE/LANDSCAPING. THE ORIGINAL BUILDING WAS BUILT AROUND 1998.

THE SITE IS NOT LOCATED WITHIN A CRITICAL OR BALANCED BASIN ACCORDING TO CITY OF TUCSON GIS DATA. THE MAJORITY OF THE SITE DRAINS TO THE SOUTH AND EAST WHERE IT IS INTERCEPTED BY AN EXISTING DRAINAGE DITCH. THE DITCH FLOWS TO THE EAST AND IS INTERCEPTED BY A PAIR OF STORM DRAINS THAT CONVEY WATER TO THE EAST. EVENTUALLY STORMWATER IS ROUTED THROUGH BOX CULVERTS AND CONCRETE CHANNELS ON THE SOUTH SIDE OF DREXEL ROAD WHERE IT DISCHARGES INTO THE SANTA CRUZ RIVER. THE NORTH BUILDING AREA AND DRIVEWAYS DRAIN NORTH TO DREXEL RD WHERE IT HEADS TO THE WEST AND IS ROUTED TO THE WEST BRANCH OF THE SANTA CRUZ RIVER. THE PROPOSED IMPROVEMENTS FOLLOW EXISTING DRAINAGE PATTERNS.

THE SITE IS LOCATED IN UNSHADED ZONE 'X' ACCORDING TO FEMA FIRM MAP NO. 04019C2270L WITH AN EFFECTIVE DATE OF JUNE 16, 2011. UNSHADED ZONE 'X' IS CONSIDERED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN. THE ADDITIONAL PEAK FLOWS GENERATED BY THE SITE DUE TO THE ADDITIONAL IMPERVIOUS AREA ARE MINIMAL AND NOT ANTICIPATED TO IMPACT THE PERFORMANCE OF THE STORM DRAIN AND DRAINAGE INFRASTRUCTURE ADJACENT TO THE SITE.

EARTHWORK QUANTITIES

ESTIMATED TOTAL CUT: 9 CY
 ESTIMATED TOTAL FILL: 258 CY
 NET FILL: 249 CY

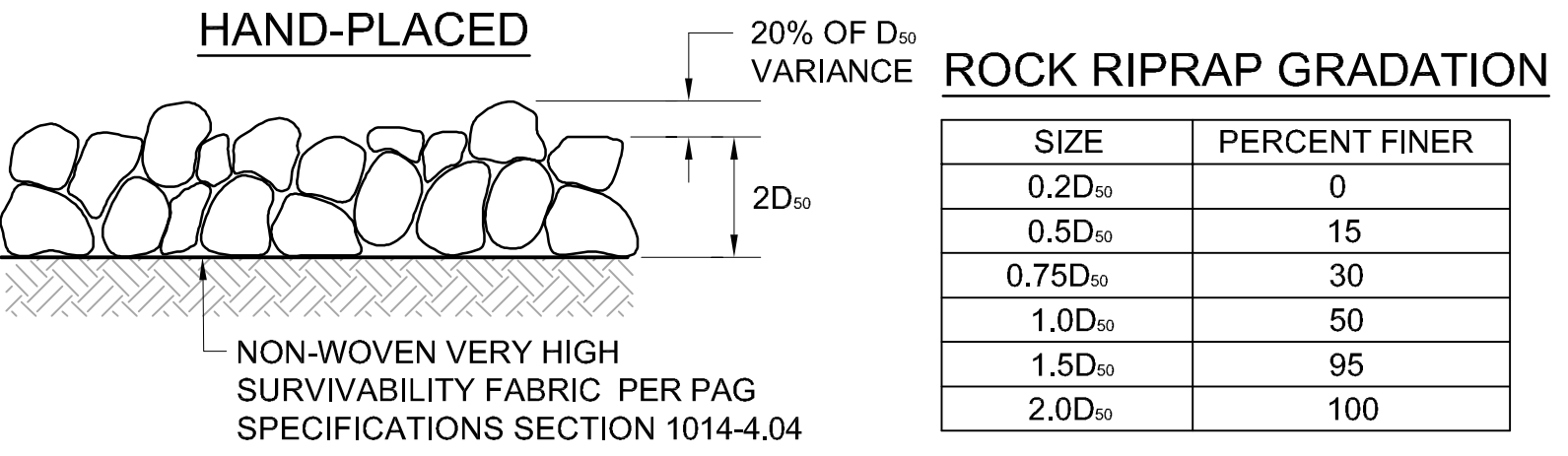
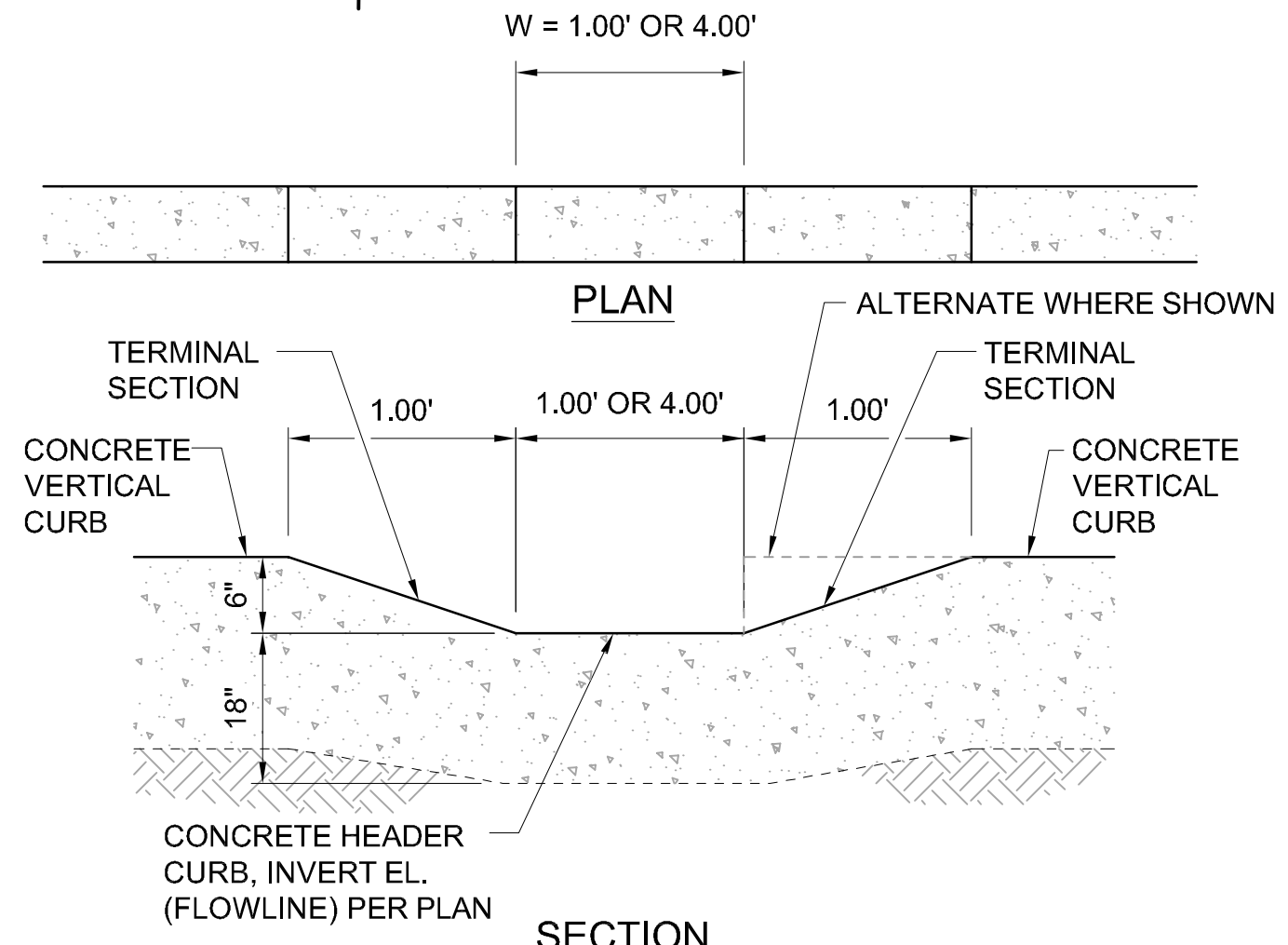
THE ESTIMATES FOR EARTHWORK QUANTITIES ARE NET UNADJUSTED QUANTITIES ONLY. THEY DO NOT ACCOUNT FOR EXCESS CUT AND FILL THAT MAY BE REQUIRED DURING CONSTRUCTION. THEY ARE GIVEN ONLY FOR THE PURPOSES OF DETERMINING GRADING PERMIT FEES. EARTHWORK CONTRACTOR SHALL DETERMINE HIS OWN QUANTITIES.

ENGINEER'S GRADING & DRAINAGE NOTES

1. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES SHALL BE FOUR (4) HORIZONTAL TO ONE (1) VERTICAL UNLESS OTHERWISE SPECIFIED.
2. AT LOCATIONS CALLED OUT TO MATCH EXISTING OR AT APPARENT LOCATIONS, THE CONTRACTOR SHALL MATCH FINISHED GRADES OF PROPOSED PAVEMENT AND PROPOSED CURB AND GUTTER WITH THE EXISTING PAVEMENT AND EXISTING CURB AND GUTTER. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM ALL CURBING AND EXISTING PAVEMENT.
3. DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION AT THE CONTRACTOR'S EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER.
4. ALL SURFACES ALONG ACCESSIBLE ROUTES AND ADA RAMPS SHALL BE STABLE, FIRM, SLIDE-RESISTANT, AND SHALL COMPLY WITH THE LATEST ADAAG REQUIREMENTS. ANY GRADE OR ELEVATION CHANGES TO THE ACCESSIBLE ROUTE MADE IN THE FIELD SHALL BE REVIEWED WITH THE ENGINEER PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASH-OUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A STAND OF GRASS, OTHER FINAL LANDSCAPE PLANTING, OR OTHER PERMANENT SOIL STABILIZATION IS WELL ESTABLISHED.
6. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN ALL NATURAL AND PAVED AREAS. IN AREAS WHERE SIDEWALKS OR PAVING DO NOT IMMEDIATELY ADJOIN THE STRUCTURE, PROTECTIVE SLOPES MUST BE PROVIDED WITH A MINIMUM GRADE OF APPROXIMATELY FIVE PERCENT (5%) FOR AT LEAST 10 FEET FROM PERIMETER WALLS. BACKFILL AGAINST FOOTINGS, EXTERIOR WALLS, AND IN UTILITY TRENCHES SHOULD BE WELL COMPACTED AND FREE OF ALL CONSTRUCTION DEBRIS TO REDUCE THE POSSIBILITY OF MOISTURE INFILTRATION.
7. INFILTRATION OF WATER INTO UTILITY OR FOUNDATION EXCAVATIONS MUST BE PREVENTED DURING CONSTRUCTION. PLANTERS AND OTHER SURFACE FEATURES THAT COULD RETAIN WATER IN AREAS ADJACENT TO THE BUILDING OR PAVEMENTS SHOULD BE SEALED OR ELIMINATED.
8. RIP RAP SHALL CONFORM TO PAG SPECIFICATIONS, LATEST EDITION.
9. SPOT ELEVATIONS SHOWN ON PLANS ARE FINISHED GRADE ELEVATIONS UNLESS OTHERWISE SHOWN.
10. GRADING SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT FOR THE PROJECT SITE IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.

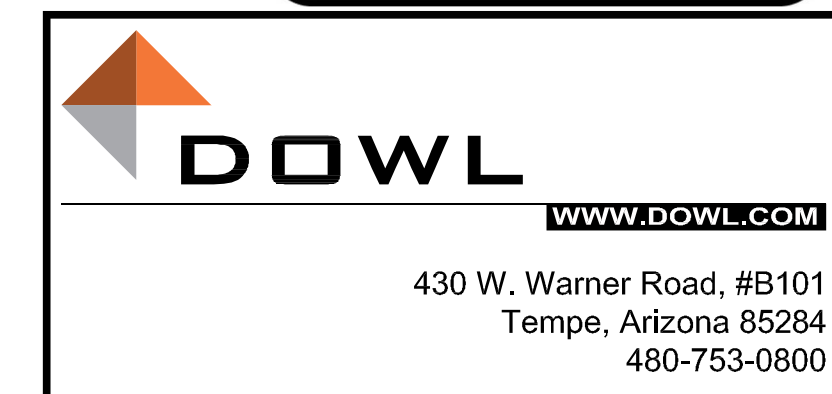
NOTES:

1. TOP OF RIPRAP TO BE AT FLOWLINE OR GRADE AS INDICATED ON PLAN (WITHIN VARIANCE GIVEN). RIPRAP PLACED ABOVE FINAL GRADE WILL NOT BE ACCEPTED.
2. RIPRAP SHALL BE ANGULAR AND SHALL NOT EXCEED 3:1 RATIO FOR FLAT AND ELONGATED PIECES (ASTM D4791). ROUNDED ROCK (RIVER ROCK) IS NOT ACCEPTABLE.
3. INSTALL SEPARATION GEOTEXTILE FABRIC PER MANUFACTURERS RECOMMENDATIONS.
4. RIP-RAP CONSTRUCTION PER PAG SPECIFICATIONS.
5. RIP-RAP COLOR SHALL BE APPROVED BY THE ARCHITECT.



1 DETAIL - CURB OPENING
SHT 3 NTS

2 DETAIL - RIPRAP PLACEMENT
SHT 3 NTS



DEVELOPMENT PACKAGE
 FOR
Addition to Fire Station 18 City of Tucson
GRADING AND DRAINAGE PLAN

Parcel 137-27-635B, PTN E379.01' W1933.33' S625.01'
 N670.01' NW4 4.68 AC SEC 10-15-13, T-15S R-13E S10,
 G&SRM, PIMA COUNTY, AZ

SCALE: HOR: 1/8"=1'-0" REF: _____
 VER: N/A COR NO: _____

NO.	REVISION	BY	DATE	FILE NO.	DESIGNED BY	DRAWN BY	CHECKED BY
				20-005	ERO	ERO	RAI

COT UDC ARTICLE 7.6.4.C.2 - STREET LANDSCAPE BORDERS

LANDSCAPE BORDER = 111 LF
 11' X 10' IN WIDTH = 1,110 S.F. BORDER
 1 TREE PER 33 LF = 111 LF / 33 LF = 4 TREES

TREES:	REQ. 4	PROVIDED 4
SHRUBS:	REQ. 50% COVERAGE	PROVIDED 50% COVERAGE

COT UDC ARTICLE 7.6.4.C.2 - STREET LANDSCAPE BORDERS

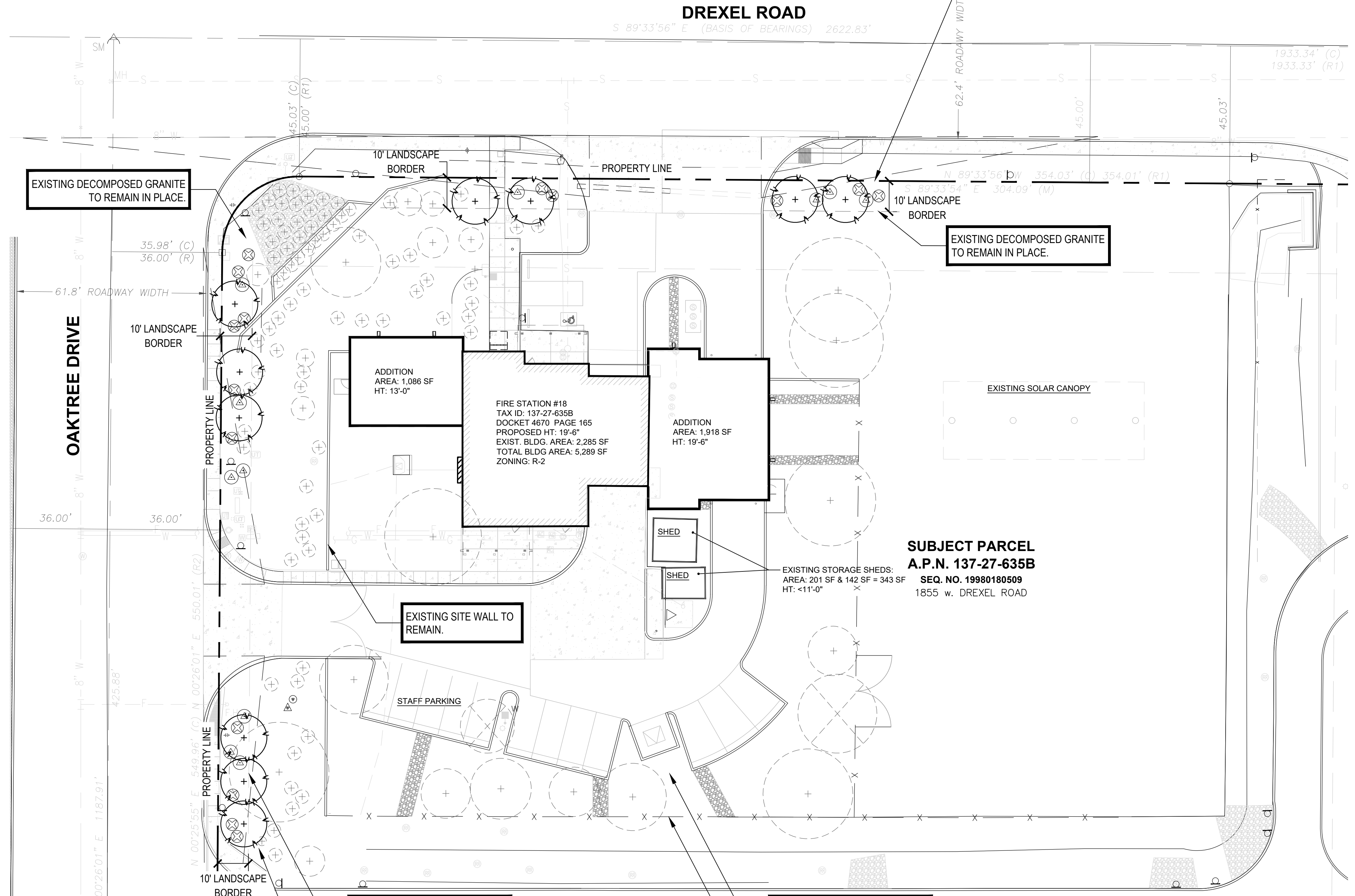
LANDSCAPE BORDER = 185 LF
 18' X 10' IN WIDTH = 1,850 S.F. BORDER
 1 TREE PER 33 LF = 185 LF / 33 LF = 6 TREES

TREES:	REQ. 6	PROVIDED 6
SHRUBS:	REQ. 50% COVERAGE	PROVIDED 50% COVERAGE

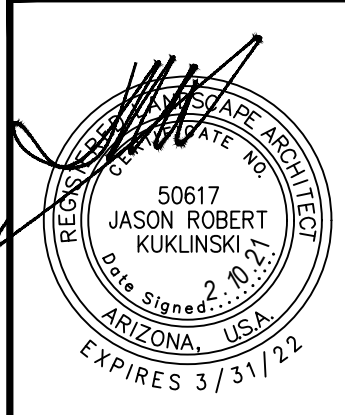
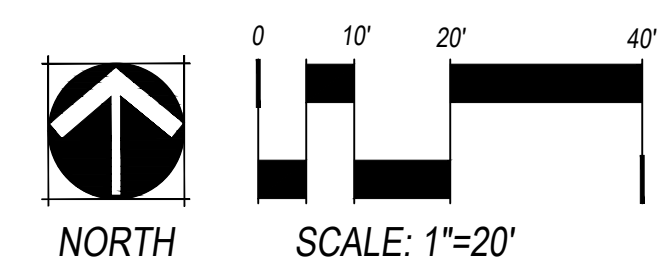
LANDSCAPE SCHEDULE

SYMBOL	SCIENTIFIC NAME	BOTANICAL NAME	SIZE	QTY.
TREES - DETAIL 1/SHEET 5				
(+)	CHILOPSIS LINEARIS	DESERT WILLOW	15 GALLON	10
(+)	EXISTING VEGETATION TO REMAIN		VARIES	
(X)	EXISTING VEGETATION TO BE REMOVED		VARIES	2
(Δ)	EXISTING SAGUARO TO BE TRANSPLANTED		1' HT.	1
ACCENTS - DETAIL 2-4/SHEET 5				
(Δ)	DASYLIRION WHEELERI	DESERT SPOON	5 GALLON	11
(X)	HESPERALOE PARVIFLORA	RED YUCCA	5 GALLON	15
(Δ)	CARNEGIEA GIGANTEA	SAGUARO	4' HT MIN.	1
(Δ)	TRANSPLANTED SAGUARO		1' HT.	1

- IRRIGATION NOTES:**
1. INVESTIGATE AND CONNECT TO EXISTING IRRIGATION SYSTEM USE AS A POINT OF CONNECTION FOR THE MODIFIED LANDSCAPE AREAS AND NEW IRRIGATION. COORDINATE WITH OWNER AND LANDSCAPE CONTRACTOR. DO NOT CUT OFF, CAP OFF, OR EXTEND ANY EXISTING IRRIGATION LINE BEYOND ITS CURRENT CONDITION WITHOUT THE OWNER'S APPROVAL. THE EXISTING IRRIGATION SYSTEM CANNOT BE SHUT OFF FOR MORE THAN 48 HOURS. THIS MAY REQUIRE A MEETING WITH THE LANDSCAPE MAINTENANCE SUPERINTENDENT.
 2. LOCATE AND IDENTIFY THE EXISTING IRRIGATION CONTROLLER AND IRRIGATION BACKFLOW PREVENTER. ENSURE BOTH ARE IN PROPER WORKING CONDITION AND THE BACKFLOW PREVENTER IS TESTED AND CERTIFIED BY A LICENSED PROFESSIONAL.



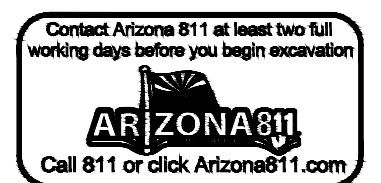
SUBJECT PARCEL
A.P.N. 137-27-635B
SEQ. NO. 19980180509
 1855 W. DREXEL ROAD



1855 W DREXEL RD
 TUCSON, AZ 85746

DEVELOPMENT PACKAGE
Addition to Fire Station 18 City of Tucson
LANDSCAPE PLAN

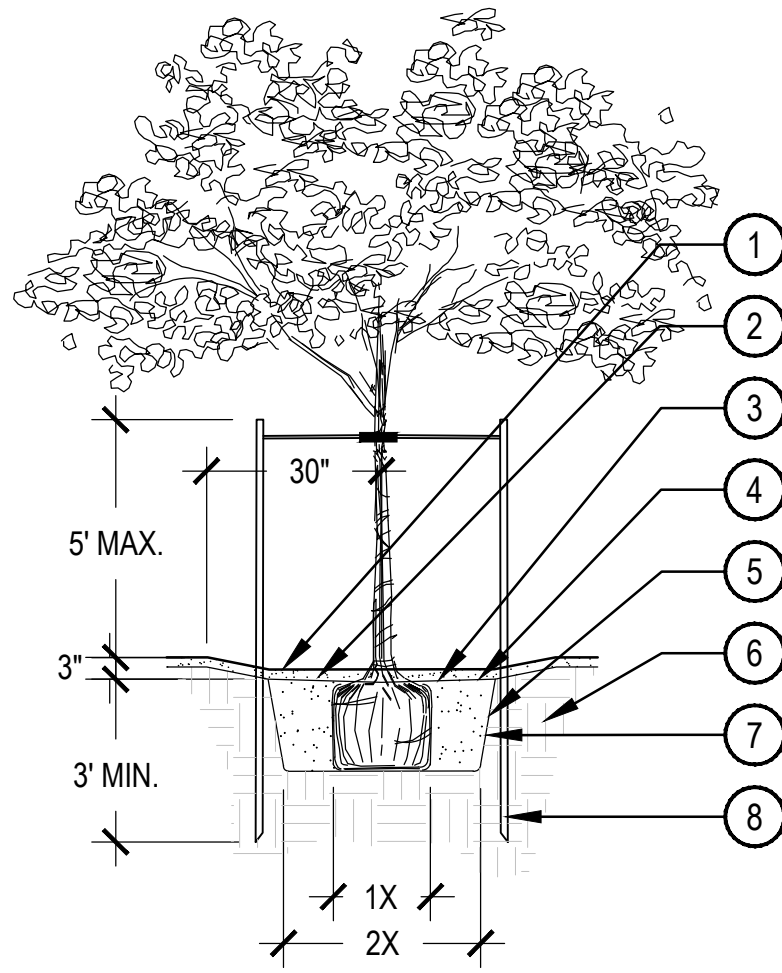
Parcel 137-27-635B, PTN E379.01' W1933.33' S625.01'
 N670.01' NW4 4.68 AC SEC 10-15-13, T-15S R-13E S10,
 G&SRM, PIMA COUNTY, AZ



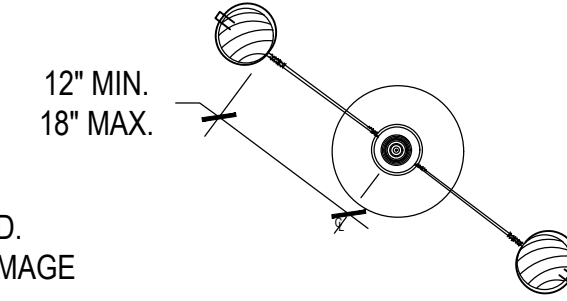
418 North Toole Avenue
 Tucson, AZ 85701
 P 520.622.9565
 www.norris-design.com



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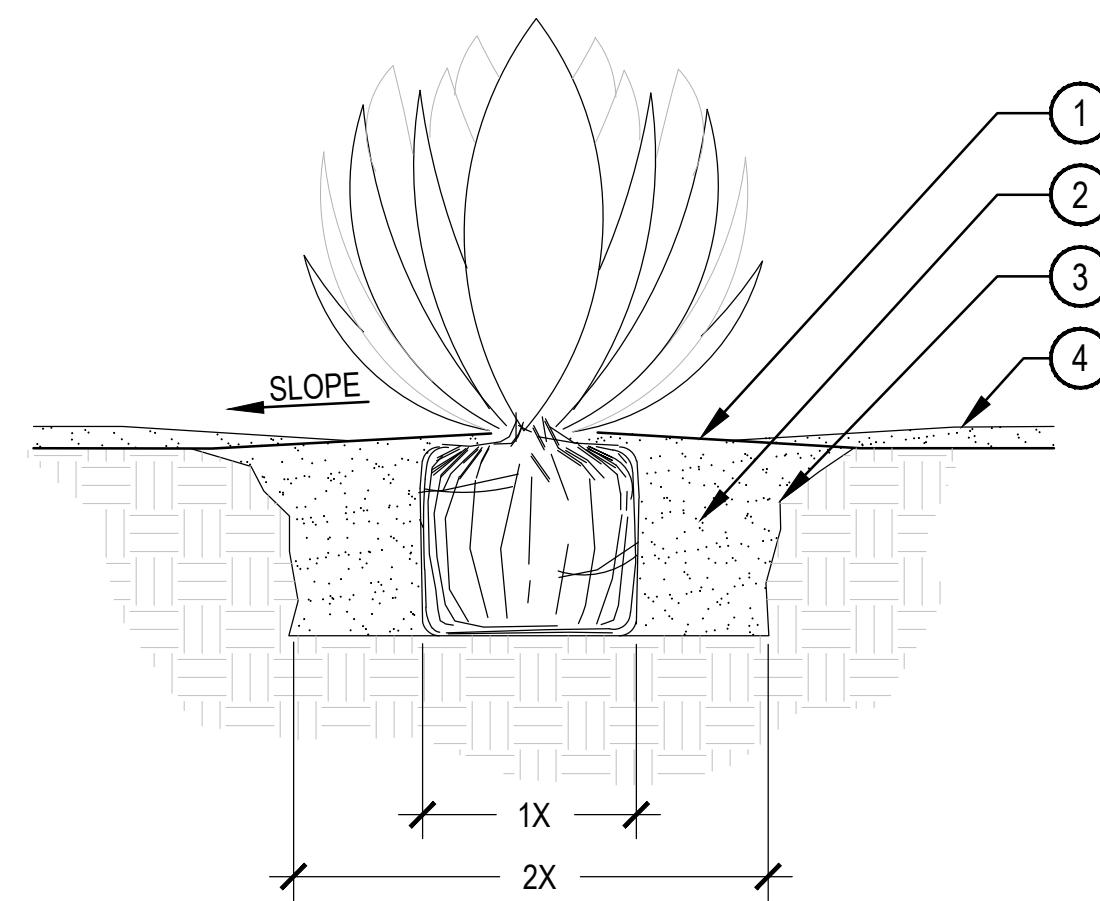
- ① FINISH GRADE
- ② INERT GROUND COVER PER SCHEDULE
- ③ 3" DEEP TREE WELL, BLEND TO GRADING
- ④ BACKFILL WITH SITE AMENDED SOIL AND WATER SETTLE
- ⑤ HOLE SIZE: 2X WIDTH OF ROOTBALL
- ⑥ LOOSEN SOIL 3X WIDTH OF ROOTBALL
- ⑦ SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING
- ⑧ 2" DIA. PRESSURE TREATED 8'-0" LODGEPOLE PINE TREE STAKES (SEE NOTE 2)



- NOTES:**
1. SET TOP OF ROOTBALL 4" BELOW TOP OF TREE WELL. ORGANIC MULCH AS REQUIRED.
 2. DRIVE TREE STAKES 3' MIN. INTO GROUND TO FIRM BEARING, TAKE CARE NOT TO DAMAGE ROOTBALL. SAW STAKES ABOVE TIE TO PREVENT ABRASION TO OTHER BRANCHES.
 3. INSTALL BERM ON DOWNSIDE OF SLOPES FOR TREES ON GRADE OF 5:1 OR GREATER.

1 SINGLE-TRUNK TREE STAKING

SCALE: NTS

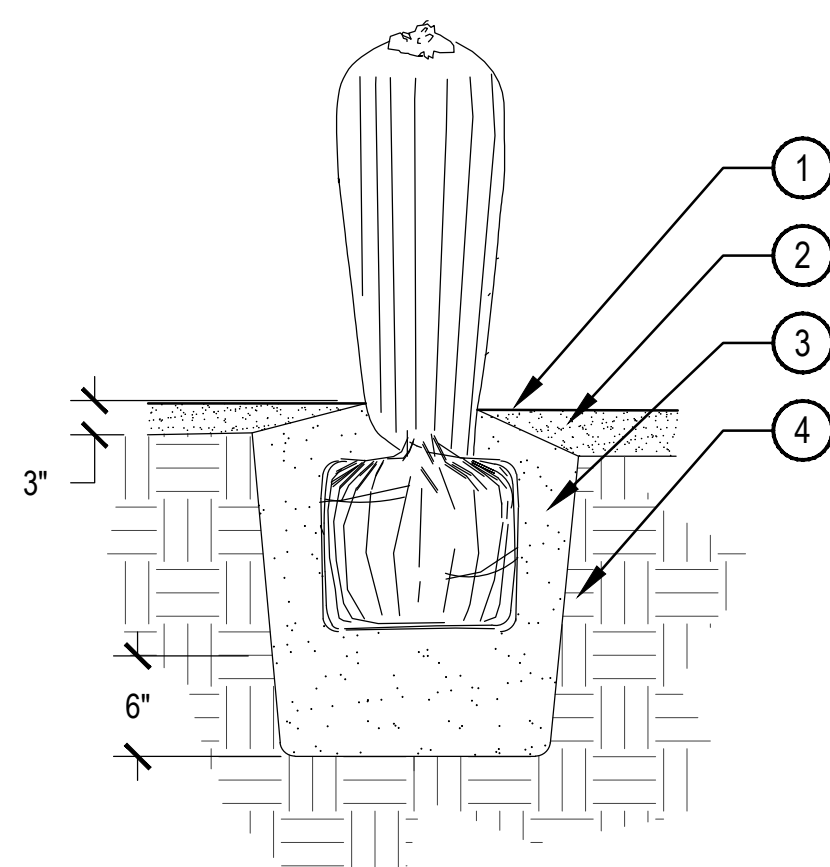


- ① FINISH GRADE
- ② BACKFILL SITE AMENDED SOIL, THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER, SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM.
- ③ SIDES OF PLANT PIT SHALL BE SCARIFIED AND SLOPING
- ④ TOP OF DECOMPOSED GRANITE

- NOTES:**
1. DO NOT CREATE BASIN AT BASE OF ACCENT.
 2. SLOPE BACKFILL AWAY FROM PLANT.
 3. USE DRY SITE SOIL ONLY IN PIT. NO MULCH AT PLANT BASE.

2 ACCENT/CACTI

SCALE: NTS

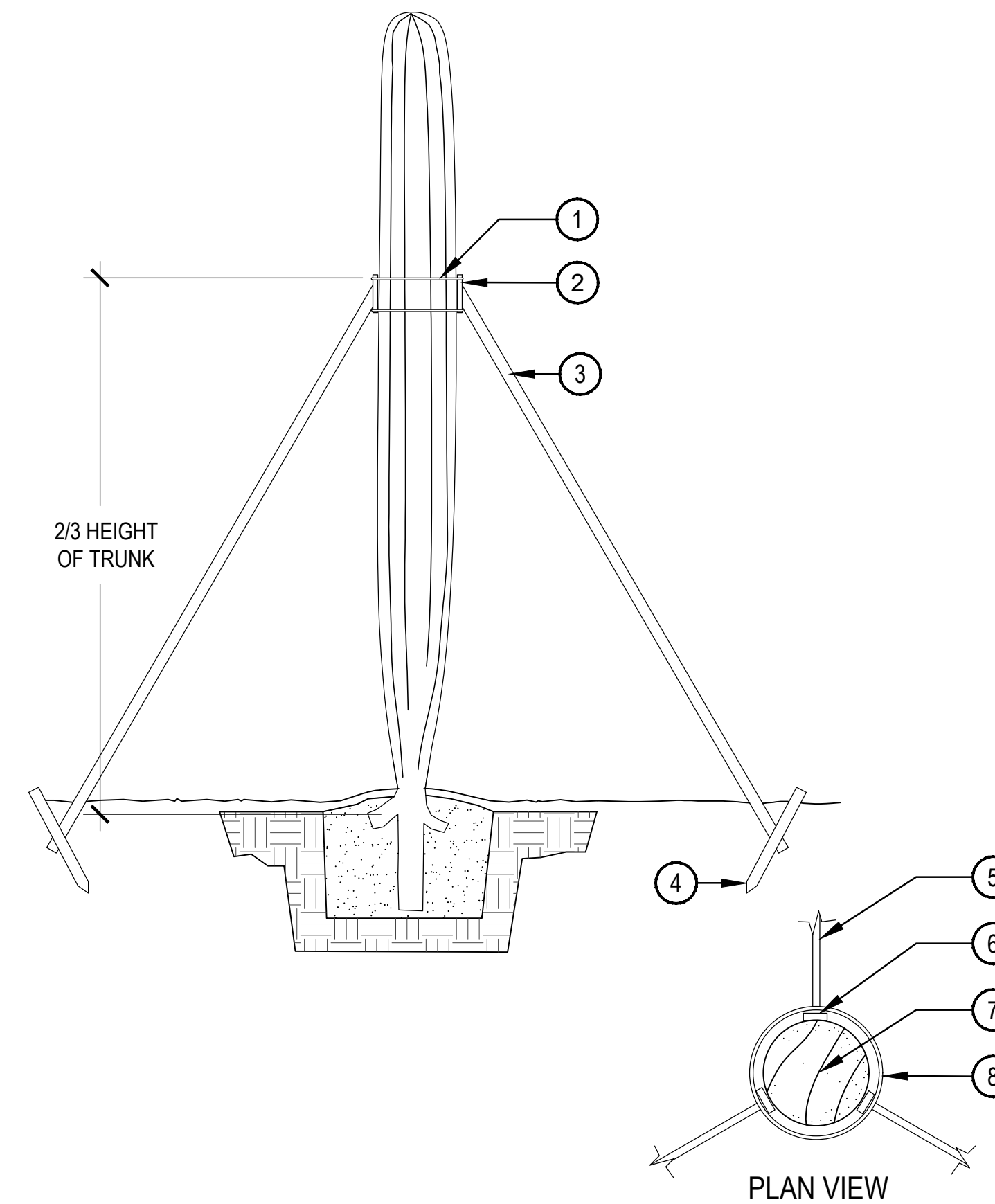


- ① FINISHED GRADE
- ② INSERT GROUND COVER PER SCHEDULE
- ③ NATIVE SOIL, THOROUGHLY INCORPORATE 0.25 LBS. OF SOIL SULFUR INTO BACKFILL. WATER SETTLE AND TAMP BACKFILL BELOW ROOT SYSTEM.
- ④ 95% COMPACTED SUBGRADE

- NOTE:**
1. PLANT PIT TO BE 6" DEEPER THAN FREE EXTENSION OF ROOTS.
 2. ROOT PRUNE ALL DAMAGED ROOTS. INSPECTION OF ROOT SYSTEM BY LANDSCAPE ARCHITECT REQUIRED PRIOR TO INSTALLATION.
 3. USE NATIVE SOIL ONLY IN PIT. NO MULCH AT BASE OF PLANT
 4. DO NOT CREATE BASIN AT BASE OF CACTUS. SLOPE BACKFILL AWAY FROM PLANT.
 5. AT SITE, DUST ENTIRE ROOT STRUCTURE WITH WETTABLE DUSTING SULFUR. (1.5 LBS. MIN.)

3 SAGUARO & BARREL CACTUS PLANTING

SCALE: NTS



- ① SECURE WITH ROPE AROUND GUIDES - ROPE MUST NOT CONSTRICT TRUNK OR DAMAGE SKIN.
- ② 2"X4"X1' WOOD GUIDE WITH CARPET AGAINST TRUNK
- ③ 2"X4' BRACE - 3 PER TRUNK
- ④ STAKE TO BE NAILED TO BRACE
- ⑤ BRACING
- ⑥ WOOD GUIDE
- ⑦ SAGUARO
- ⑧ ROPE

- NOTE:**
1. ALL SAGUARO OVER 4" PLANTED HEIGHT MUST BE STAKED.
 2. ROOT PRUNE ALL SHREDDED OR DAMAGED ROOTS.
 3. ENSURE ALL WOUNDS TO ROOT SYSTEM ARE CLEAN CUT BEFORE PLANTING.
 4. APPLY DUSTING SULFUR TO ALL AREAS BELOW GRADE.
 5. PLANT PIT TO BE 6" MIN. WIDER THAN EXTENT OF SEVERED LATERAL ROOTS.
 6. CUT THROUGH TAP ROOT TO PROVIDE FLAT BASE WIDTH. SUFFICIENT TO SUPPORT WEIGHT OF PLANT W/O SINKAGE.
 7. BACKFILL PIT WITH 6" LAYER OF RODDED, COMPACTED, DRY NATIVE SOIL.
 8. PLANTING DEPTH TO BE AT DEPTH PLANT WAS ORIGINALLY GROWN.
 9. ENSURE SURFACE WATER CANNOT STAND AGAINST THE ROOT COLLAR.
 10. ALL SAGUARO PLACEMENTS MUST MATCH ORIGINAL ORIENTATION W/ ORIGINAL NORTH SIDE FACING NORTH. NORTHSIDE OF PLANTS TO BE MARKED BY THE NURSERY OR TRANSPLANT CONTRACTOR.
 11. SAGUARO ARE SPECIFIED BY HEIGHT. A VARIETY OF HEIGHTS MAY BE ACCEPTABLE PROVIDED THE AVERAGE IS NOT LESS THAN THAT SPECIFIED.
 12. DO NOT WATER FOR THREE WEEKS FOLLOWING PLANTING.
 13. REMOVE SUPPORTS AFTER 1 YEAR.

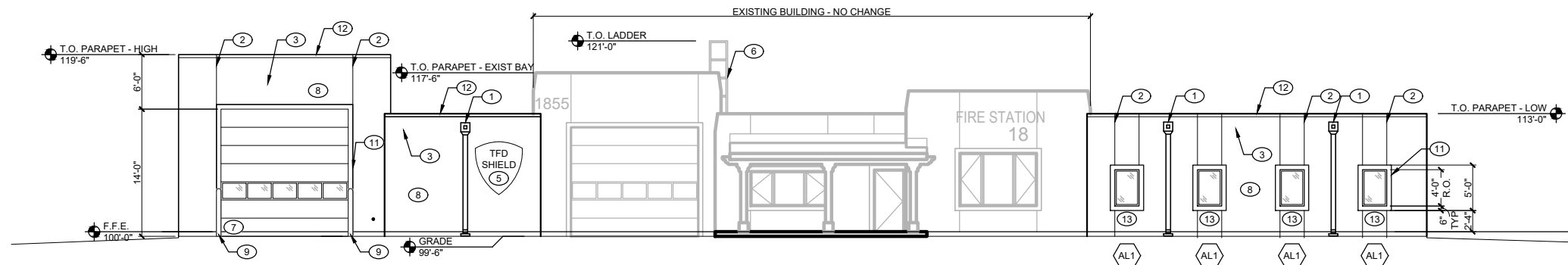
4 SAGUARO STAKING

SCALE: NTS

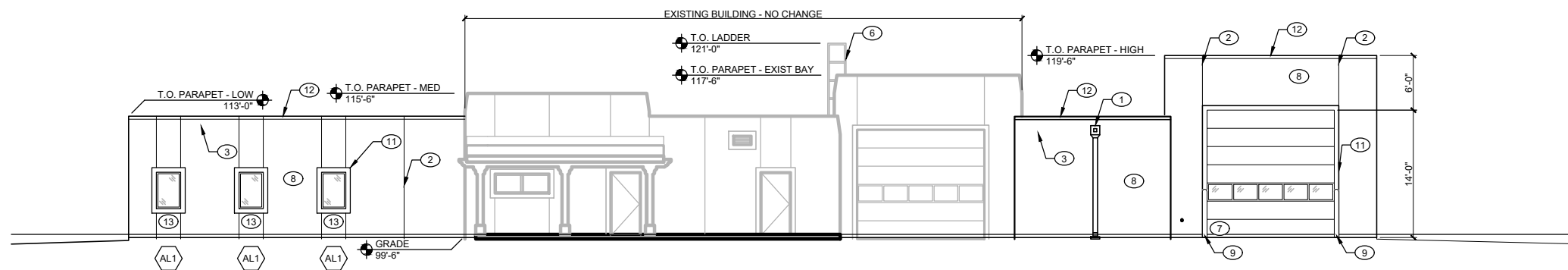
NO.	REVISION	BY	DATE

ELEVATION KEYNOTES

1. SCUPPER WITH INTEGRAL OVERFLOW AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
2. CONTROL JOINT IN STUCCO
3. DASHED LINE INDICATES ROOF LINE
4. WALL LOUVER PER MECHANICAL
5. WALL MOUNTED SIGNAGE - TUCSON FIRE DEPARTMENT SHIELD
6. EXISTING ROOF LADDER TO REMAIN
7. OVERHEAD COILING DOOR - REF SPEC
8. STUCCO - SEE WALL CONSTRUCTION FOR ADDITION INFORMATION - PTD.
9. 6" STEEL BOLLARD
10. EXTERIOR DOOR PER SCHEDULE
11. STUCCO FOAM EXTRUSION DETAIL TO MATCH BUILDING STANDARD, TYPICAL AT OPENINGS
12. PREFINISHED METAL PARAPET CAP
13. WINDOW - 1" DOUBLE PANE GLASS



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



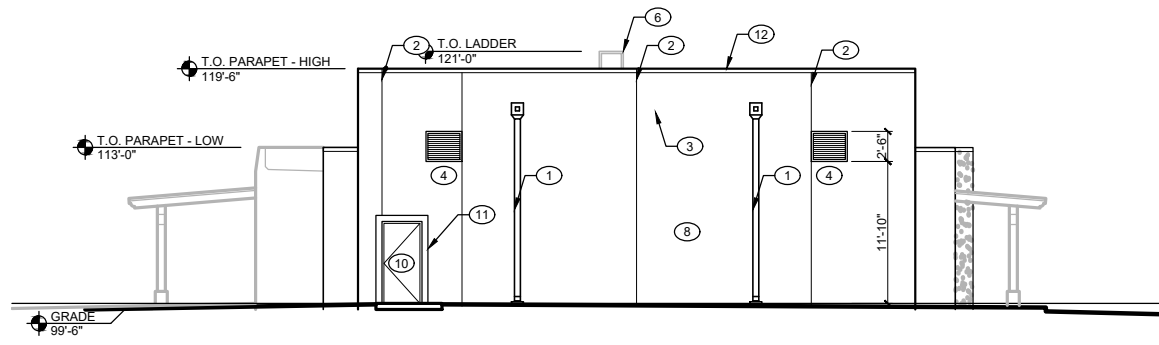
BUILDING ELEVATIONS

CITY OF TUCSON FIRE DEPARTMENT STATION #18

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 18
PROJECT NO.:20-005



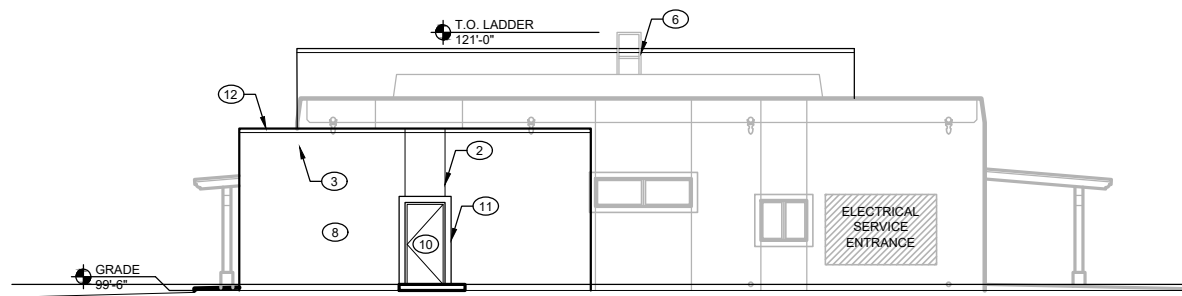
ARCHITECTS



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION KEYNOTES

1. SCUPPER WITH INTEGRAL OVERFLOW AND DOWNSPOUT. PAINT TO MATCH ADJACENT SURFACE
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10. EXTERIOR DOOR PER SCHEDULE
11. STUCCO FOAM EXTRUSION DETAIL TO MATCH BUILDING STANDARD, TYPICAL AT OPENINGS
12. PREFINISHED METAL PARAPET CAP
13. WINDOW - 1" DOUBLE PANE GLASS



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



BUILDING ELEVATIONS

CITY OF TUCSON FIRE DEPARTMENT STATION #18

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 18
PROJECT NO.:20-005



ARCHITECTS



 NORTH ELEVATION PHOTO
SCALE: NTS




 EAST ELEVATION PHOTO
SCALE: NTS



 SOUTH ELEVATION PHOTO
SCALE: NTS



 WEST ELEVATION PHOTO
SCALE: NTS



BUILDING FACADE PHOTOS

CITY OF TUCSON FIRE DEPARTMENT STATION #18

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 18
PROJECT NO.:20-005



ARCHITECTS



VIEW LOOKING NORTH
SCALE: NTS



VIEW LOOKING EAST
SCALE: NTS



VIEW LOOKING SOUTH
SCALE: NTS



VIEW LOOKING WEST
SCALE: NTS



VIEWS FROM BUILDING

CITY OF TUCSON FIRE DEPARTMENT STATION #18

FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 18
PROJECT NO.:20-005



ARCHITECTS



FENCING TO THE EAST
SCALE: NTS

EXISTING 5'-0" HIGH SLATTED FENCE PROPOSED TO REMAIN



VIEWS FROM BUILDING

CITY OF TUCSON FIRE DEPARTMENT STATION #18

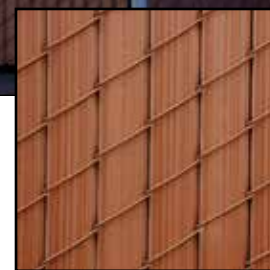
FEBRUARY 10, 2021
CITY OF TUCSON FIRE STATION 18
PROJECT NO.:20-005



ARCHITECTS

VinylWood® (3 1/2" x 5" mesh — near total privacy)

Patent Pending



VinylWood® is a durable chain link fence with wood-grained slats inserted into the chain link at our factory that look just like real wood. It is an excellent choice in fencing when you want the look and feel of wood, but not the headaches of natural wood upkeep.

It offers the lasting qualities of chain link, double-wall slats made from tough HDPE and "factory inserted" into the chain link for easy installation. There is no staining or painting required.

VinylWood® Benefits:

- Requires no painting or staining
- Little or no maintenance
- Available in 3 to 12 foot heights
- Slats manufactured from high-quality HDPE and "factory inserted" into the mesh
- Materials are much stronger and more durable than wood
- 15 year pro-rata limited warranty

Heavy-duty HDPE Slats

VinylWood® features strong and durable double wall slats "factory inserted" into the wire mesh. We've closely matched the color of the fused and bonded vinyl coating with the color of the wood grained slats to provide a beautiful finished appearance.

Vinyl Coated Chain Link Fencing

The vinyl coating on VinylWood®'s chain link mesh is created by the thermally fused and bonded method with a 9 gauge finish, 10 gauge core wire.

Galvanized Chain Link Fencing

We fabricate our chain link mesh using only the highest grade 9 or 10 gauge galvanized wire. Our state-of-the-art manufacturing process ensures a consistent weave and product quality.

ASTM Designations

Meets ASTM Designations (see chart on the next page)



Technical Data

VinyWood® Specifications	
Wind load and privacy factor - approximately (Based on wire/mesh used-stretch tension)	98%
3 1/2" x 5" Mesh	✓
Manufactured up to 12' high	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 10 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class IV wire (1.20 oz.)	✓
Available in 9 gauge galvanized before weaving (GBW) per ASTM A392 and A817, Type II, class V wire (2.0 oz.)	✓
Available in 9 gauge finish 10 gauge core fused & bonded vinyl coated wire per ASTM F668, class 2B	✓
Available in 9 gauge aluminized before weaving wire per ASTM A491, Type 1	✓
Self-locking double wall slats (with or without staples)	✓
Slats meet ASTM F3000 and F3000M designations	✓
Available in a 25' roll 5' minimum increments thereafter	✓
Fifteen year pro-rata limited warranty	✓

Standard Wire Colors

Galvanized or wood grain

Standard Slat Color

Wood grain

Please refer to actual color samples for accurate color. **Samples available upon request.**



Every VinyWood® slat is carefully crafted to replicate as closely as possible the actual grain and color of wood. A close-up view clearly shows the rich, wood grained texture.

HDPE Technical Properties

Property	Values
Melt Index	(.35) Optimum extrusion processing conditions for Fence Slats
Density	(.945) Polyethylene ranges anywhere from .914 to .960 in density
Minimum Temp.	(-70° F) Under no stress, HDPE remains flexible at this temperature
Maximum Temp.	(180° F) Under no stress, HDPE will not distort at this temperature
Strength	(4,000 psi) HDPE will not distort at lesser loads or impacts



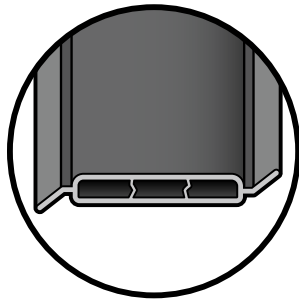
MADE IN USA



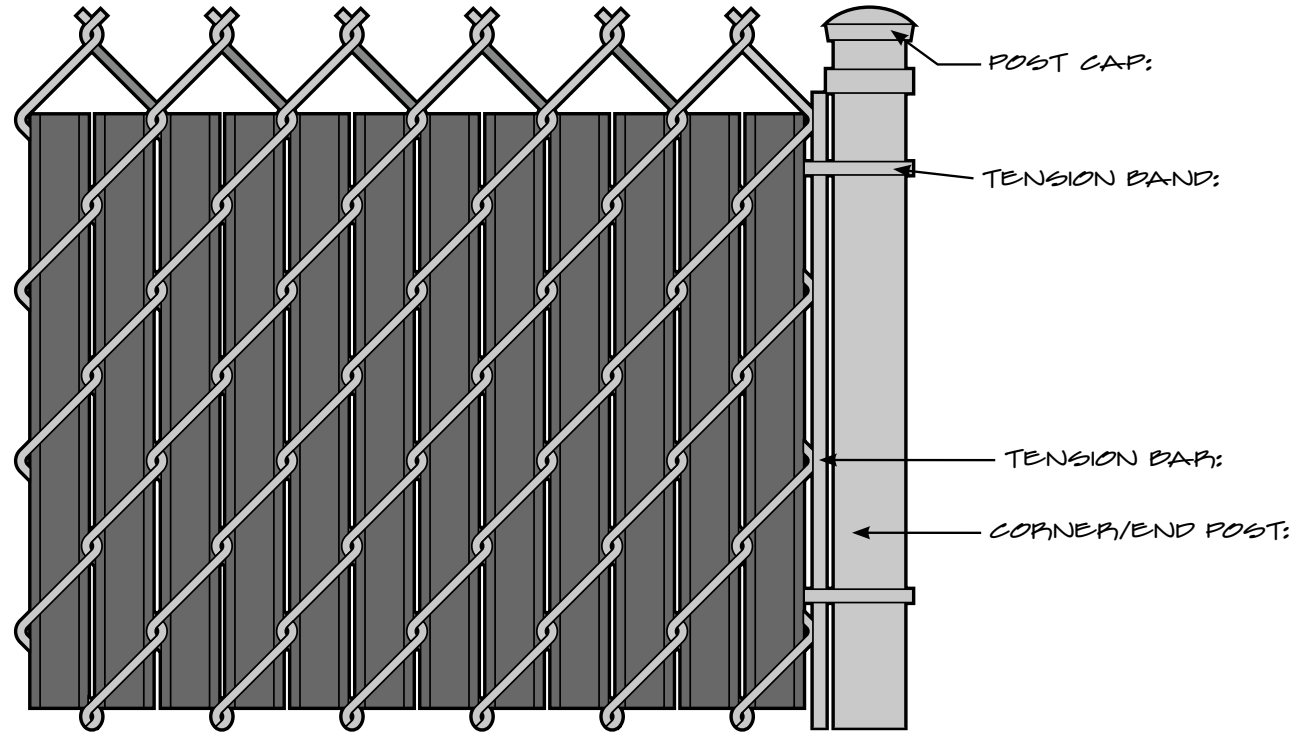
YOUR TOTAL FENCING SOURCE

COMMERCIAL, INDUSTRIAL & RESIDENTIAL FENCE PRODUCTS AND ACCESSORIES FOR THE FENCE PROFESSIONAL!

1.800.574.1076 • www.eprivacylink.com



Slat end view



VinylWood®

3 1/2" x 5" Mesh with Factory Inserted Slats

 <p>130 West 700 South Smithfield, UT 84335 eprivacylink.com 1-800-574-1076</p>	PROJECT:	SUBMITTED BY:	DRAWING NO:
	OWNER/GENERAL CONTRACTOR:	DATE:	

VinylWood®

3 1/2 x 5 in. Mesh with Privacy Slats

Architectural Reference Specifications

Chain Link Fence with Pre-Woven Slats

Section 32 31 13 – Chain Link Fences and Gates

While it is the intent of this specification to assist the professional specifier in making an informed choice of components and installation techniques, this is still a general specification. Certain details such as framework sizes, post spacing and concrete footer sizes must be tailored to the specifics of the job site. Wind loading data, freeze-thaw rates and other site conditions must be considered.

PART 1 GENERAL

1.1 Summary

This specification details the components and requirements for complete fence systems incorporating: **VinylWood®**.

1.2 Work Included

The contractor shall provide labor, materials and all necessary accessory items for the installation of the privacy fencing system specified herein.

1.3 Related Work

General Conditions - Earthwork - Concrete

1.4 System Description

The privacy fencing system shall be a complete system made up of chain link fence fabric with pre-inserted high-density polyethylene (HDPE) slats, framework, fittings, gates and incidental accessory items.

1.5 Quality Assurance

Installer Qualifications: Company specializing in performing the work of this section with minimum five (5) years documented experience.

1.6 References

ASTM D638	Standard Test Method for Tensile Properties of Plastics
ASTM D746	Standard Test Method for Brittleness
ASTM D747	Standard Test Method for Apparent Bending Modulus of Plastics by Means of a Cantilever Beam
ASTM D1238	Standard Test Method for Flow Rates of Thermoplastics by Extrusion Plastometer
ASTM D1505	Standard Test Method for Density of Plastics by the Density Gradient Technique

(All ASTM Standards referenced in this specification)

1.7 Mandatory Product Characteristics

Fabric provides 98% (approx.) privacy when installed correctly that results in not being able to see through the fence when you look straight on.

- Slats should not slip or go behind the knuckle thus causing less privacy and very sloppy looking, non-uniform slats.
- Slats should be free from an excess of smudge, grease or insertion marks.
- Slats should fit tight and securely in the mesh without use of staple or stitch.
- Hand inserted slats are not an “equal to!”

1.8 Submittals

Shop drawings, manufacturer's product data and samples, plan layout including spacing of components, accessories and post details shall be submitted for approval.

PART 2: PRODUCTS

2.1: Manufacturer

The fence fabric with pre-inserted slats shall be manufactured by **PrivacyLink®**, LLC, P.O. Box 295, Hyde Park, Utah 84318. The manufacturer may be contacted at 800-574-1076, 435-563-1058 or via fax at 435-563-1062. The manufacturer's web site is located at www.eprivacylink.com and E-Mail may be sent to info@eprivacylink.com. All other components of the system such as framework, fittings and gates shall be manufactured by various standard fence industry manufacturers.

2.2: 3 1/2" x 5" Mesh Products

The fence fabric shall be:

Height {choose one}
3', 42", 4', 5', 6', 7', 8', 10', 12' high.

Fabric Diameter & Finish {choose one}

1. 3 1/2" x 5" mesh by 9 ga. (0.148") galvanized before weaving per ASTM A392 & A817, 1.2 oz. Type II Class 4 OR

2. 3 1/2" x 5" mesh by 10 ga. (0.135") galvanized before weaving per ASTM A392 & A817, 1.2 oz. Type II class 4 OR

3. 3 1/2" x 5" mesh by 9 ga. finish (10 ga. Core) vinyl coated by the thermally fused and bonded method per ASTM F668, Class 2b OR

4. 3 1/2" x 5" mesh by 8 ga. finish (9 ga. Core) vinyl coated by the thermally fused and bonded method per ASTM F668, Class 2B

Fabric Color: The vinyl coated chain link fabric shall be "Cedar Tone."

The privacy slats for **VinylWood®**, which are pre-inserted at the time of manufacturing, shall be double wall, fluted to give a wood-like appearance, self-locking and 2.85" (approx.) wide to provide a tight fit in the fence fabric and provide 98% (approx.) privacy. The slats shall be manufactured from virgin, high-density polyethylene (HDPE) and the color shall be "Cedar Tone".

Before Weaving	After Weaving
1.2 oz. is class 1	1.2 oz. is type II class 4
2.0 oz. is class 2	2.0 oz. is type II class 5

2.4 Framework, Fittings & Gates

Framework - per ASTM F1043 - Standard Specification for Strength and Protective Coatings on Metal Industrial Chain Link Fence Framework {special consideration to wind loading should be considered}.

Fence Fittings - per ASTM F626 - Standard Specification for Fence Fittings.

Swing & Slide Gates - per ASTM F900 - Standard Specification for Industrial and Commercial Swing Gates & Slide Gates.

PART 3 EXECUTION

3.1 Preparation

Prepare the grade and remove surface irregularities, if any, which may interfere with the installation of the fence.

3.2 Installation

Per ASTM F-567 – Standard Practice for Installation of Chain Link Fence

3.3 Clean Up

Contractor shall clean the job site of excess materials and debris. Material from posthole excavations shall be scattered uniformly away from the posts.



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P.O. Box 295, Hyde Park, Utah 84318
Toll free: 800-574-1076
Phone: 435-563-1058
Fax: 435-563-1062
Web: www.eprivacylink.com
Email: info@eprivacylink.com

11/30/2020	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	<p>ADMINISTRATIVE MANUAADMINISTRATIVE MANUAL</p> <p>4.1 Identification and Descriptive Data</p> <p>The Development Package will contain the following identification in the lower right corner of each sheet:</p> <p>Any other relevant case number for reviews or modifications that affect the site.</p> <p>Add case number and DP20-0224 on each sheet.</p> <p>Ensure that Zoning and Engineering comments are addressed prior to landscape section approval.</p>
1/5/2021	ELISA HAMBLIN	ZONING	REVIEW	Reqs Change	<p>CDRC TRANSMITTAL</p> <p>TO: Development Services Department Plans Coordination Office</p> <p>FROM: Elisa Hamblin, AICP; Principal Planner</p> <p>PROJECT: 1855 W Drexel Rd – Fire Station #18 Additions Development Package (1st Review) DP20-0224</p> <p>TRANSMITTAL DATE: January 5, 2021</p> <p>COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.</p> <p>This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).</p> <p>Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet</p>

been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year expiration date is November 1, 2021.

1. 2-06.4.1 - The name, mailing and email addresses, and phone number of the primary property owner of the site, the developer of the project, registrant(s), and other person(s), firm(s), or organization(s) that prepared the development package documents shall be provided on the right half of the cover sheet. Provide names and email addresses.

2. 2-06.4.3 – Provide assigned case number DP20-0224 adjacent to the title block on each sheet.

3. 2-06.4.4.A – Correct the location map on upper right of sheet 1 to show the subject property approximately centered within the one square mile area and correct section numbers to the north of Drexel Rd.

4. 2-06.4.7.A.4 - Identify the existing and proposed use of the property as classified per the UDC. List all UDC sections applicable to the proposed uses. Demonstrate compliance with use-specific standard 4.9.13.F. which requires a minimum 5 ft screen wall on the portion of the site abutting a residential property, in this case it would apply to the eastern fence/wall adjacent to the fire station. This must be a solid, opaque wall, unless modified through a variance (deletion of the requirement) or constructed of another material (chain link and slats) and modified through a Design Development Option (DDO), which is an administrative process. The DDO request would be for a substitution of materials to include slatted chain link fencing and vegetation in lieu of a solid wall. Contact Mark.Castro@tucsonaz.gov for more information on either of these options.

5. 2-06.4.7.A.8.a, b, c – Update general notes on sheet 1. Include existing storage buildings on east of property, which appears to be approximately 150 - 200 sq ft. each. Update notes on floor area for each building, Percentage and area in square feet of building and accessory building coverage, and Percentage of building, lot area, or vehicular use area expansion.

6. 2-06.4.8.A - Provide site boundary/subdivision perimeter information, including bearing in degrees, minutes, and seconds, with basis for bearing noted, together with distances in feet, to hundredths of a foot, or other functional reference system. Provide information for the entire parcel, not just the northern portion. This can be added to the site plan map above the legend on

sheet 1 if needed.

7. 2-06.4.8.B – Verify all existing easements are drawn on the plan. The recordation information, location, width, and purpose of all easements on site will be stated. Blanket easements should be listed in the notes, together with recordation data and their proposed status. Should an easement not be in use and be proposed for vacation or have been abandoned, so indicate. However, should the easement be in conflict with any proposed building location, vacation of the easement shall occur prior to approval of plan unless written permission from easement holder(s) is provided.

8. 2-06.4.8.C - The following information regarding existing private or public right-of-way adjacent to or within the site shall be provided: the name, right-of-way width, recordation data, type and dimensioned width of paving, curbs, curb cuts, and sidewalks.

9. 2-06.4.9.F - All existing zoning classifications on and adjacent to the project (including across any adjacent right-of-way) shall be indicated on the drawing with zoning boundaries clearly defined.

10. 2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces and parking areas, fully dimensioned. Include dimensions for all Parking Area Access Lanes (PAAL) and Access Lanes. See UDC Article 7.4.6.D. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.

11. 2-06.4.9.H.5.a – Correct notes regarding calculations on the number of parking spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. Parking is based on gross floor area of all structures, including the existing storage building. Please note, GFA does exclude vehicle use area (garages). Based on rough calculations, it appears approximately 13 parking spaces are required. Please verify this calculation and correct on the site plan.

12. 2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide detail for short-term bike parking.

13. 2-06.4.9.O - All applicable building setback lines,

such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown. Correct setbacks (lines and general notes) for Drexel Rd and Oak Tree Rd. As both streets are a Major Street and Route, developing area setbacks are applied as found in UDC Article 6.4.5.C.2. Setback from both streets is 21 ft or the building wall height (whichever is greater) as measured from the back of future curb.

14. 2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s). Provide sq ft and height of existing storage building on west of property.

15. 2-06.4.9.R - Show on-site pedestrian circulation and refuge utilizing location and the design criteria in Section 7-01.0.0, Pedestrian Access, of the Technical Standards Manual. Provide dimensions for all pedestrian areas.

16. 2-06.4.9.S - Show existing or proposed pedestrian circulation along abutting rights-of-way. Such sidewalks must comply with accessibility requirements for the physically disabled and the design criteria in Section 10-01.0.0, Street Technical Standards, of the Technical Standards Manual.

17. Show compliance with landscaping and screening requirements by locations, material descriptions, and dimensions. Specific plant or hardscape material shall be detailed on a landscape plan. A detailed landscape plan is required. In accordance with Section 2-11.0.0, Landscape Plan Requirements. See comments from Landscape Reviewer.

If you have any questions about this transmittal, please contact me at Elisa.Hamblin@tucsonaz.gov or (520) 837-4966.

RESUBMITTAL OF THE FOLLOWING IS REQUIRED:
Revised development package

Parcel Number: 137-27-635B

Property Address			
Street Number	Street Direction	Street Name	Location
1855	W	DREXEL RD	Tucson
5775	S	OAK TREE DR	Tucson

Contact Information	
Property Owner Information:	Property Description:
CITY OF TUCSON 00000-0000	PTN E379.01' W1933.33' S625.01' N670.01' NW4 4.68 AC SEC 10-15-13

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2020	VACANT/AG/GOLF (2)	15.0	\$83,000	\$0	\$83,000	\$83,000	\$12,450
2021	VACANT/AG/GOLF (2)	15.0	\$83,000	\$0	\$83,000	\$83,000	\$12,450

Property Information					
Township:	15.0	Section:	10	Range:	13.0E
Map:	40	Plat:	20	Block:	
Tract:		Land Measure:	203,948.00F	Lot:	
Census Tract:	2502	File Id:	1	Group Code:	000
Use Code:	9700 (MUNICIPAL VACANT LAND)			Date of Last Change:	12/3/2008

Valuation Area				
District Supervisor: ADELITA GRIJALVA District No: 5				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
51	1111047 DEL	08016401	40020 DEL	17

Recording Information (2)				
Sequence No.	Docket	Page	Date Recorded	Type
20081780658	13390	2356	9/12/2008	
19980180509	10741	1603	2/26/1998	

Permits (3)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T99BU02534	COTH ~ FINAL	09/14/1999	03/22/2000	TUC	\$5,170	0					
Description: FIRE SPKR:PIPE ADD 37											
T98CM03126	CNEW ~ FINAL	08/26/1999	03/21/2000	TUC	\$167,469	3,467					
Description: FIRE STATION #18:TEMP POWER POLE 57 x 61 WOOD FRAME W/ STUCCO BUILDING, FENCES OFMASONRY AND CHAINLINK W/ WOOD SLATS AND TWO PORCHES											
T07CM01261	CALT ~ FINAL	05/09/2007	06/26/2007	TUC	\$0	0					
Description: TI:HVAC UPGRADES IN MECHANICAL ROOM											

Notes (1)

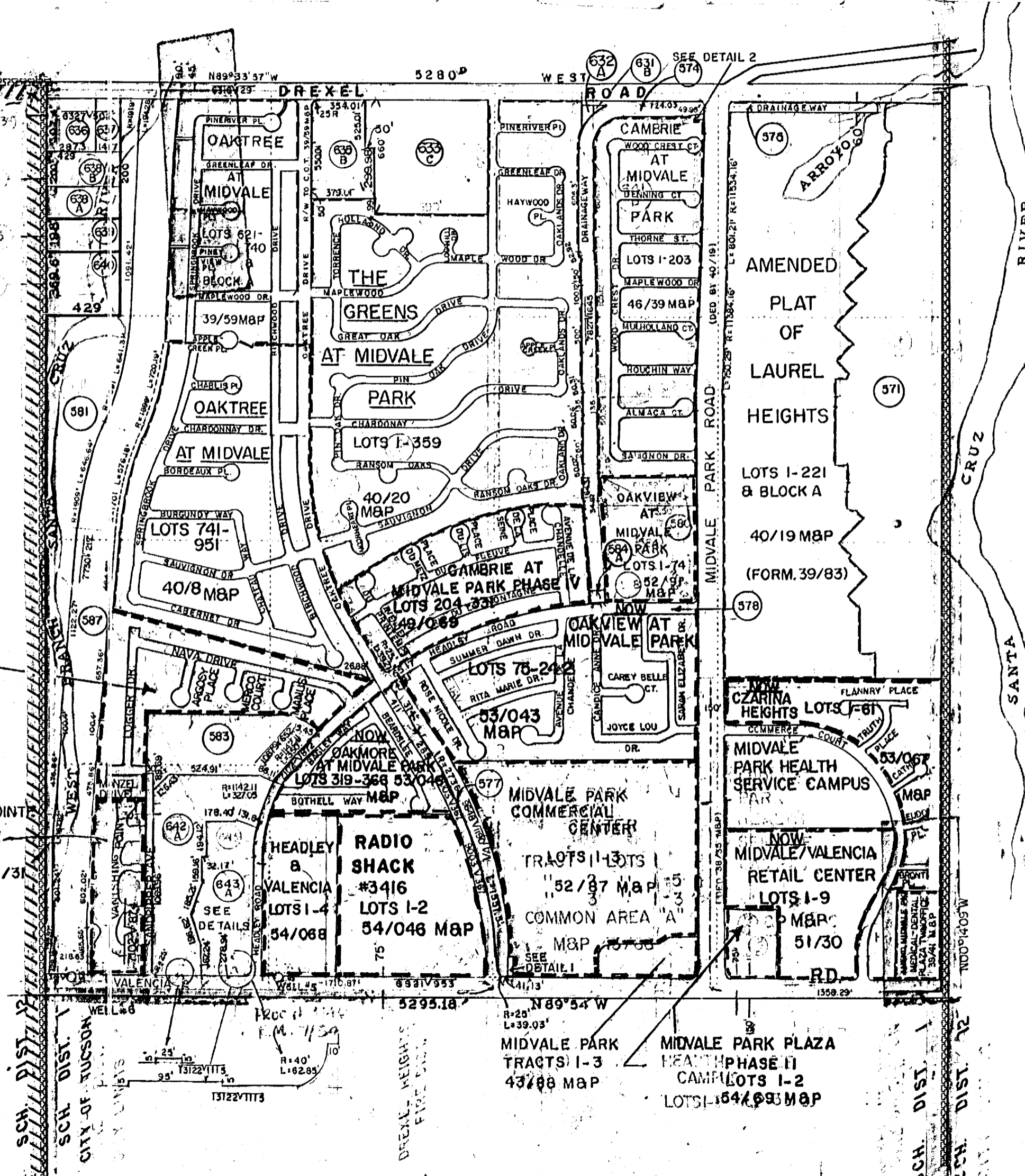
Created: 10/16/2008	09 SPLIT/COMBO W\137-27-633B,635A VESTING 13390-2356 SQ FT: 3.96 X 43560=172498 PLUS W:\TRAV\33902356.137=31449 =
Modified: 10/16/2008	203947

SECTION 10, TOWNSHIP 15 SOUTH, RANGE 13 EAST

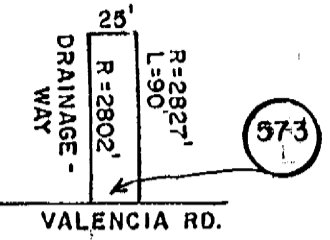


137-27
-33

SCHOOL DIST. 1
SCHOOL DIST. 12

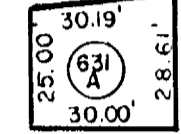


DETAIL 1



SCALE 1"=100'

DRAINAGE WAY



DETAIL 2
SCALE 1"=40'

U.S. LAND
STATE LAND
ROADS
R.R. R.O.F.W.
PAT. MINERAL CLAIMS
SUBDIVISIONS

ACREAGE ASSESSED IN THIS BOOK

IRRIGATED
IRRIGABLE
DRY FARM
DRY LAND
GRAZING
WASTE
DESERT HOMESTEAD
SUBURBAN
CANALS
WELL SITES
SAND FITS

ACREAGE ASSESSED

TOTAL ACREAGE

2009-1



SEE BOOK 6 PAGE 65 R.S.

M151310

15310

SCANNED

1563 (6)

CAMBRIE AT
MIDVALE PARK
LOTS 332-430
52/058 M&P

SUNSET POINT
AT MIDVALE
PARK
LOTS 1-56
M&P 62/31

PROJECT

SCH. DIST. 1
SCH. DIST. 12
CITY OF TUCSON
CITY OF UNIVIS

MIDVALE PARK
TRACTS 1-3
43/088 M&P

MIDVALE PARK PLAZA
HEALTH PHASE II
CAMP LOTS 1-2
LOTS 1-54/093 M&P

RADIO
SHACK
#3416
LOTS 1-2
54/046 M&P

CZARINA
HEIGHTS LOTS 1-61
COMMERCIAL COURT TRIDY PLACE

MIDVALE
PARK HEALTH
SERVICE CAMPUS

MIDVALE/VALENCIA
RETAIL CENTER
LOTS 1-9
M&P
51/30

MIDVALE PARK
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HEADLEY
&
VALENCIA
LOTS 1-4
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COMMON AREA "A"
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SEE
DETAIL 1

577

MIDVALE PARK
COMMERCIAL
CENTER

TRACTS 1-3
52/87 M&P
COMMON AREA "A"
M&P 57/68

SEE
DETAIL 1