

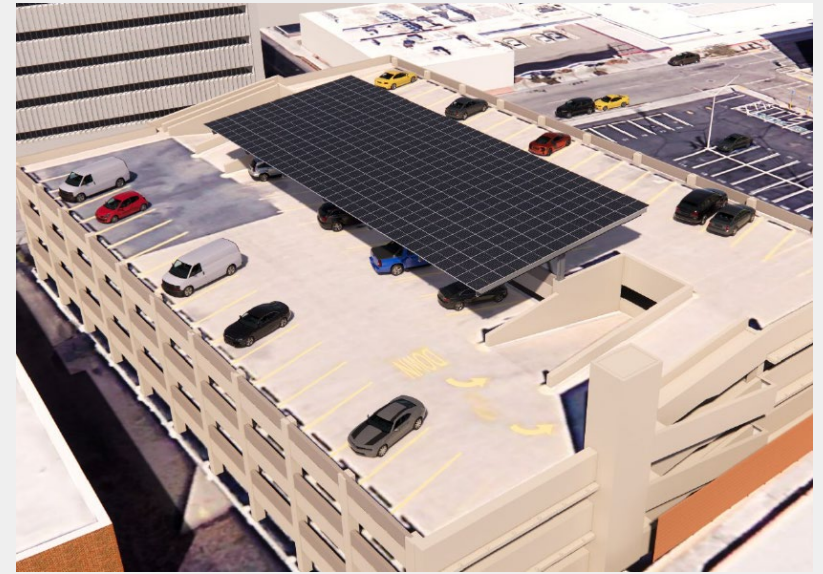
# Solar Project at Wells Fargo Parking Garage

Rio Nuevo Area Design Review Board Meeting  
Case Number DRB-21-15

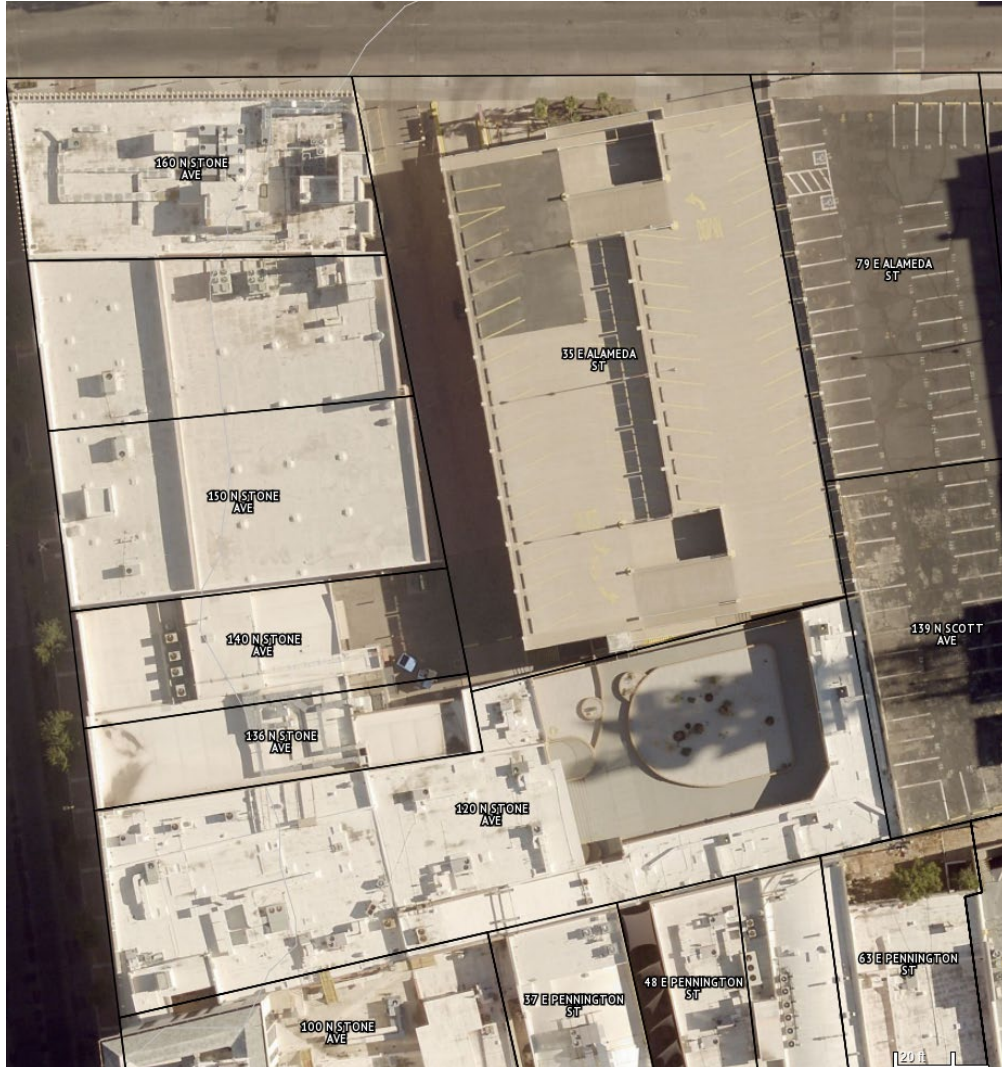
**October 22<sup>nd</sup>, 2021**

# Solar Project

- Single solar canopy to be added to top floor of parking garage
  - ~5,000 sq. ft
  - System capacity is ~90 kW
- Solar energy production provides Wells Fargo with ~65% of total electrical usage of garage (annually)
- Solar canopy is offset at least 35 ft from edge of garage to minimize street level visibility

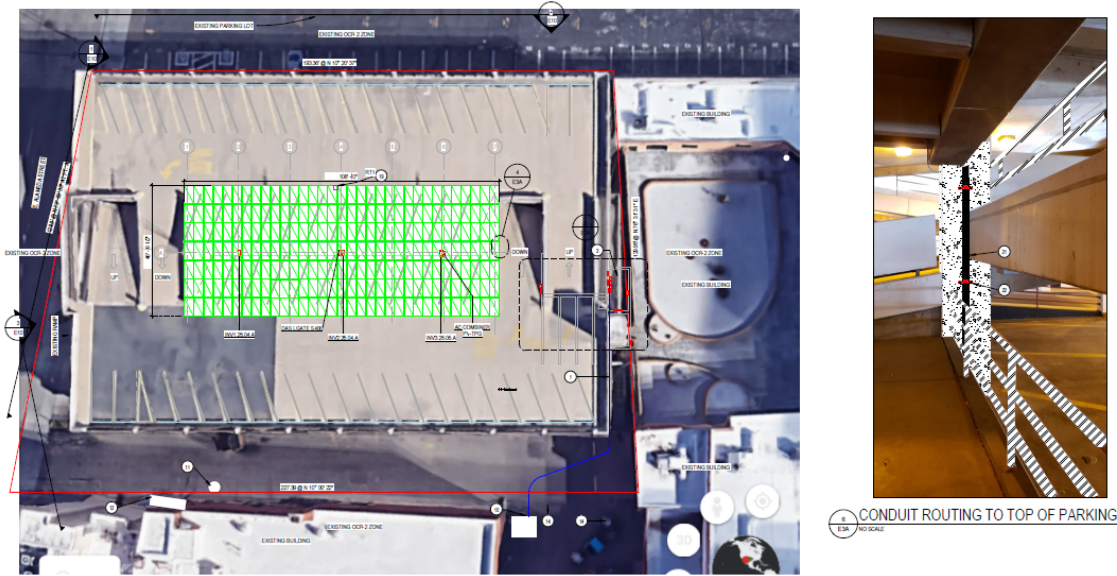


# Background



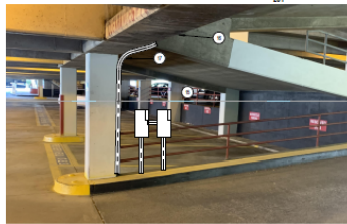
- Parking garage at 35 E Alameda St
  - Primary usage of structure is to provide parking to Wells Fargo employees and customers
  - Bank branch located at 150 N Stone Ave
- Existing zoning: OCR-2
- Parcel number: 11711096C
  - Associated PDS Development Package: DP21-0187
  - Associated CoT Building Permit: T21CM07464
- Parking garage access points
  - Both ingress/egress points are on Alameda St
  - Existing sidewalk along Alameda St

# Site Plans and Elevations



**OVERALL SITE PLAN**  
Solar Array Schedule - SERVICE TUCSON PARKING GARAGE

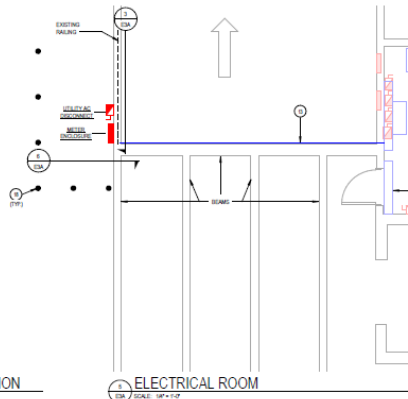
INVERTER	MODULE MANUFACTURER	MODULE MODEL	Sub-Array	TOTAL # OF MODULES	STC WATTS	DC SYSTEM SIZE	ADWIDTH	TELT ANGLE	MODULES PER STRING	# OF STRINGS	SYSTEM SIZE AC (kWp)	DC/AC RATIO
INV1-25.94.A	JA Solar	JAM7210-365P6	1	72	305 W	21.7 kW	26.0'	26.0°	5'	18	4	25 kW 1.1080
INV2-25.94.A	JA Solar	JAM7210-365P6	1	22	305 W	21.7 kW	26.0'	26.0°	5'	18	4	25 kW 1.1080
INV3-25.95.A	JA Solar	JAM7210-365P6	1	87	305 W	33.5 kW	26.0'	26.0°	5'	17	5	25 kW 1.3350
				281	88.3 kW					13	76 kW	1.1683



3 NEW PV EQUIPMENT ON MAIN LEVEL



4 OVERALL SITE PLAN CONDUIT LOCATION



5 ELECTRICAL ROOM

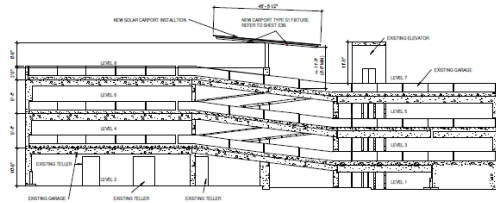


2 CONDUIT ROUTING TO TOP OF PARKING

- Solar interconnection equipment will be located on first floor of parking garage near electrical room
- Will permanently occupy 1 parking space
- Electrical conduit will not be visible from the outside

# Site Plans and Elevations

- Canopy installed with 10 degree tilt facing W
- Set back ~35 ft from all edges of garage
- See renderings for street level views



NORTH PARKING GARAGE SECTION VIEW  
SCALE: 1/8"=1'-0"



WEST PARKING GARAGE SECTION VIEW  
SCALE: 1/8"=1'-0"



NORTH EAST PARKING GARAGE SECTION VIEW  
SCALE: 1/8"=1'-0"

# Impacts of Project

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- Parking Spaces
  - 1 space (out of 250) will be permanently occupied by solar equipment on first floor
  - All other spaces to remain
- Shade
  - Canopy will fully shade 22 parking spaces
  - Shade on street level will not be impacted
- Building Height
  - Canopy adds 8 ft on W side and 11ft on E side to existing structure (37-40 ft total height)
  - Neighboring building heights range from 35 ft to 77 ft
- Building Façade
  - No impact to street level façade
  - Steel to be painted to match existing building colors
- Vehicular and Pedestrian Traffic Patterns
  - No impact

# Street Level Views

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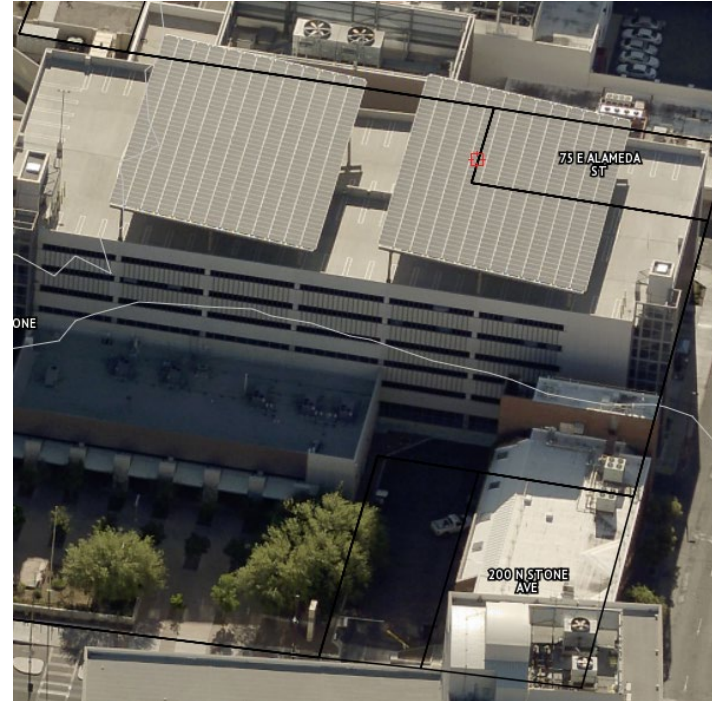


View from corner of Alameda St and Stone Ave



View facing W on Alameda St

# Examples of Solar in Surrounding Area



Existing solar canopies on top of parking garage at 220 N Stone Ave; located across the street from 35 E Alameda St



# Project Summary



- 90 kW solar canopy on top of Wells Fargo parking garage
- Partially visible from certain vantage points at street level
- Adding 8-11 ft to height of existing structure
- Zoning remains unchanged
- Building use remains unchanged
- Street level building façade remains unchanged
- Vehicular and pedestrian traffic patterns remain unchanged
- Minor impact to number of parking spaces available in garage
- Precedent example of solar canopies referenced at 220 N Stone Ave

# Thank You

Questions?