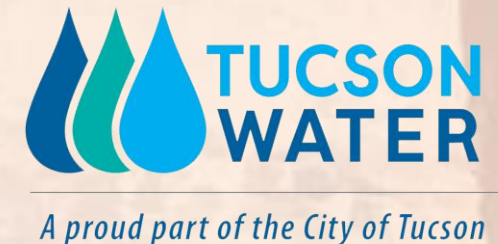


WELL B-045C SITE IMPROVEMENTS

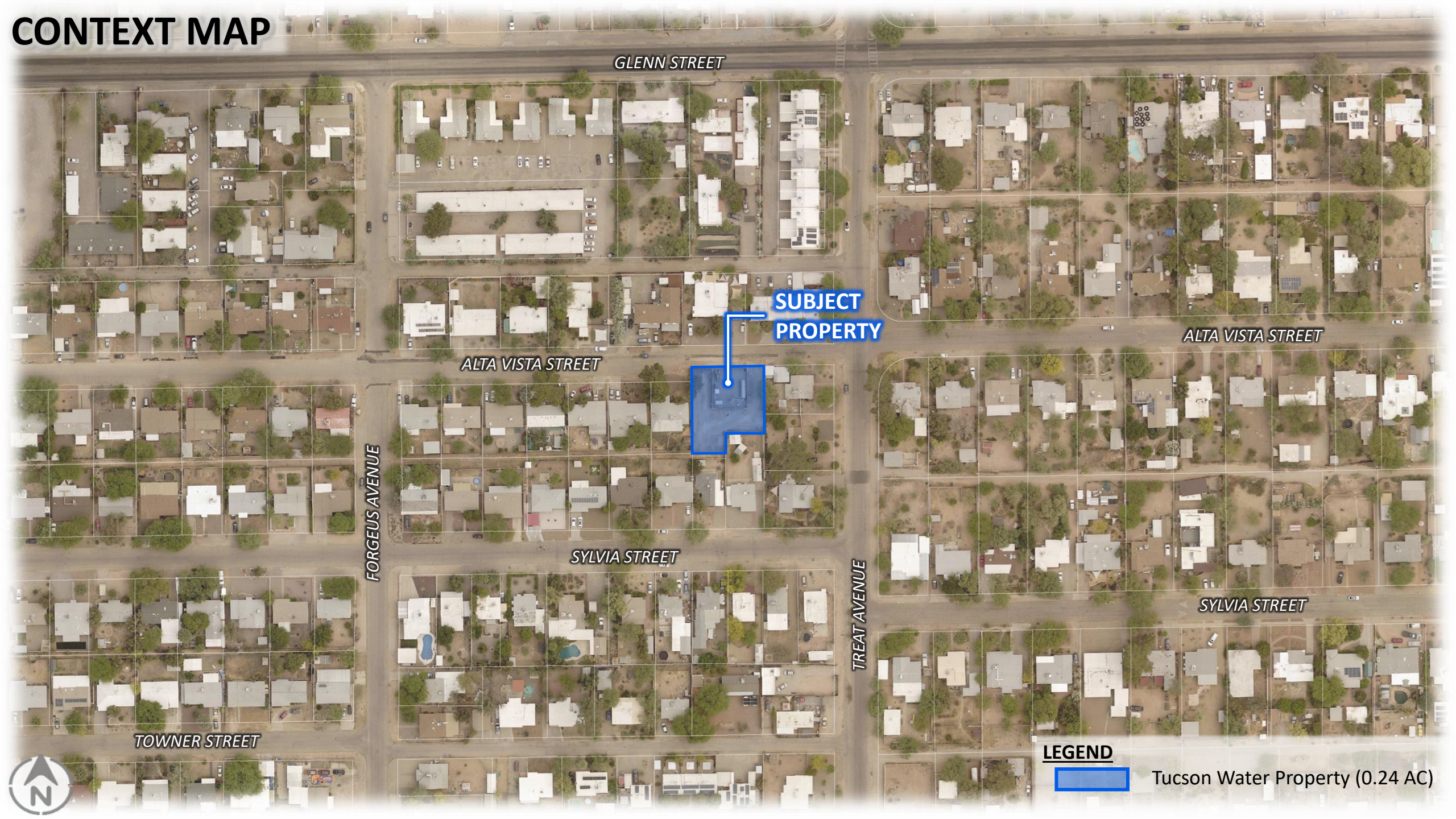
2700 East Alta Vista Street

*Special Exception
Design Review Board*

September 17, 2021



CONTEXT MAP



GLENN STREET

**SUBJECT
PROPERTY**

ALTA VISTA STREET

ALTA VISTA STREET

FORGEUS AVENUE

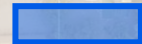
SYLVIA STREET

TREAT AVENUE

SYLVIA STREET

TOWNER STREET

LEGEND



Tucson Water Property (0.24 AC)



EXISTING CONDITIONS

ALTA VISTA STREET

TREAT AVENUE



7' FENCE (6' CHAIN-LINK WITH WOODEN SLATS + 1' BARBED WIRE)

ACCESS GATES (VEHICULAR AND PEDESTRIAN)

ACCESS GATE

TUCSON WATER PROPERTY LINE

ENCLOSED IN 8' WALL (YARD CORNERS) & 7' FENCE (6' CHAIN-LINK + 1' BARBED WIRE)

DISINFECTION SYSTEM

WELL B-045A (DECOMMISSIONED)

7' FENCE (6' CHAIN-LINK WITH WOODEN SLATS + 1' BARBED WIRE)

5,000 GALLON HYDROTANK

20' COMMUNICATION ANTENNA

ELECTRICAL RACK / 6' SHADE STRUCTURE

WELL B-045B (TO BE CAPPED)

PRIVATELY OWNED 5' - 6' WOODEN FENCE / WALL ON NEIGHBORING PROPERTY

PRIVATELY OWNED 5' - 6' WALL ON NEIGHBORING PROPERTY

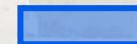
PRIVATELY OWNED 5' - 6' WALL ON NEIGHBORING PROPERTY

TUCSON WATER PROPERTY LINE

TEP POWER POLE

PRIVATELY OWNED 5' - 6' WALL ON NEIGHBORING PROPERTY

LEGEND

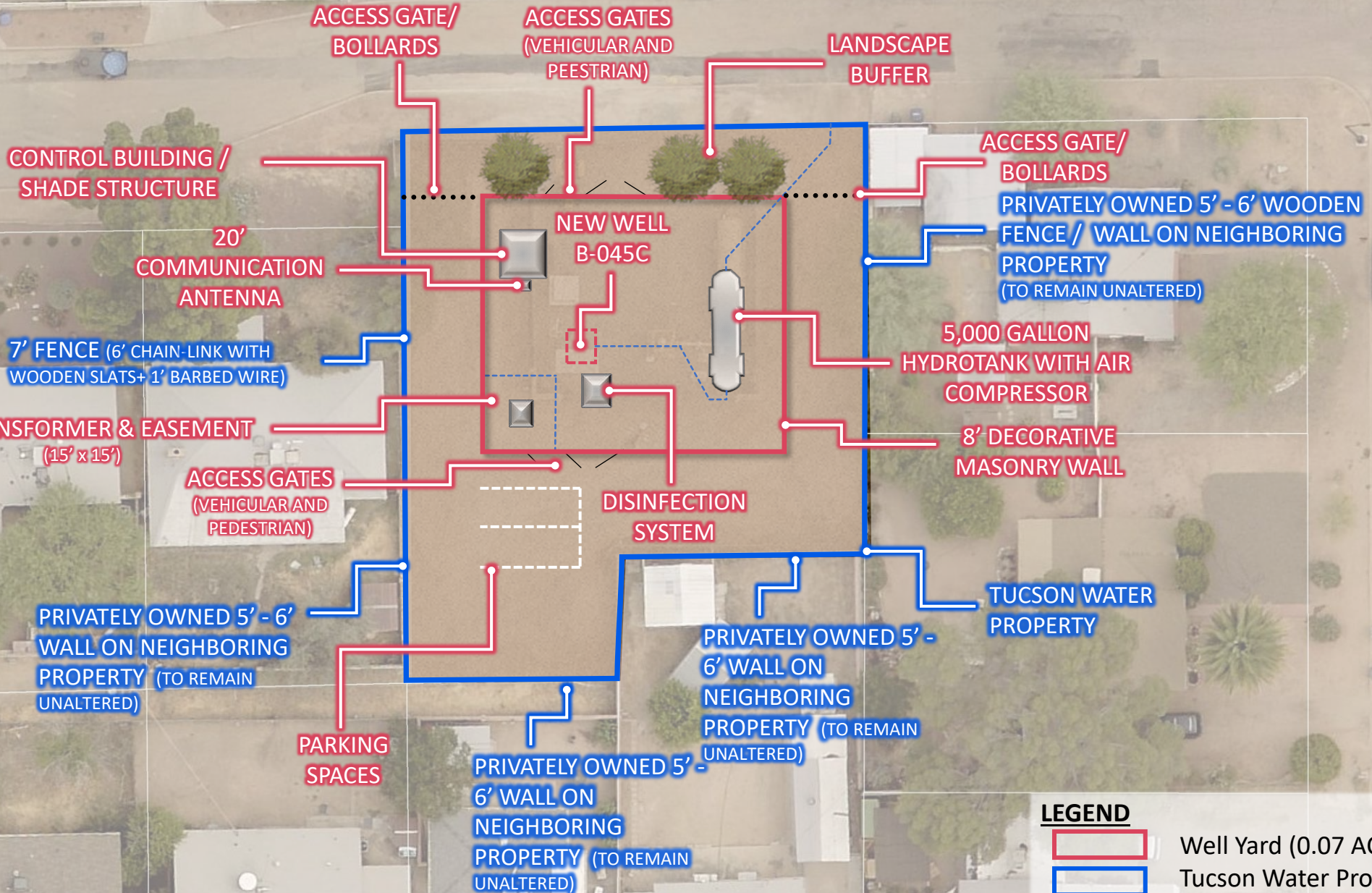


Tucson Water Property (0.24 AC)

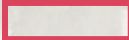
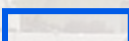
PROPOSED SITE PLAN

ALTA VISTA STREET

TREAT AVENUE



LEGEND

-  Well Yard (0.07 AC)
-  Tucson Water Property (0.24 AC)



EXAMPLE IMAGERY OF STRUCTURES



**CONTROL BUILDING
(100 SF)**

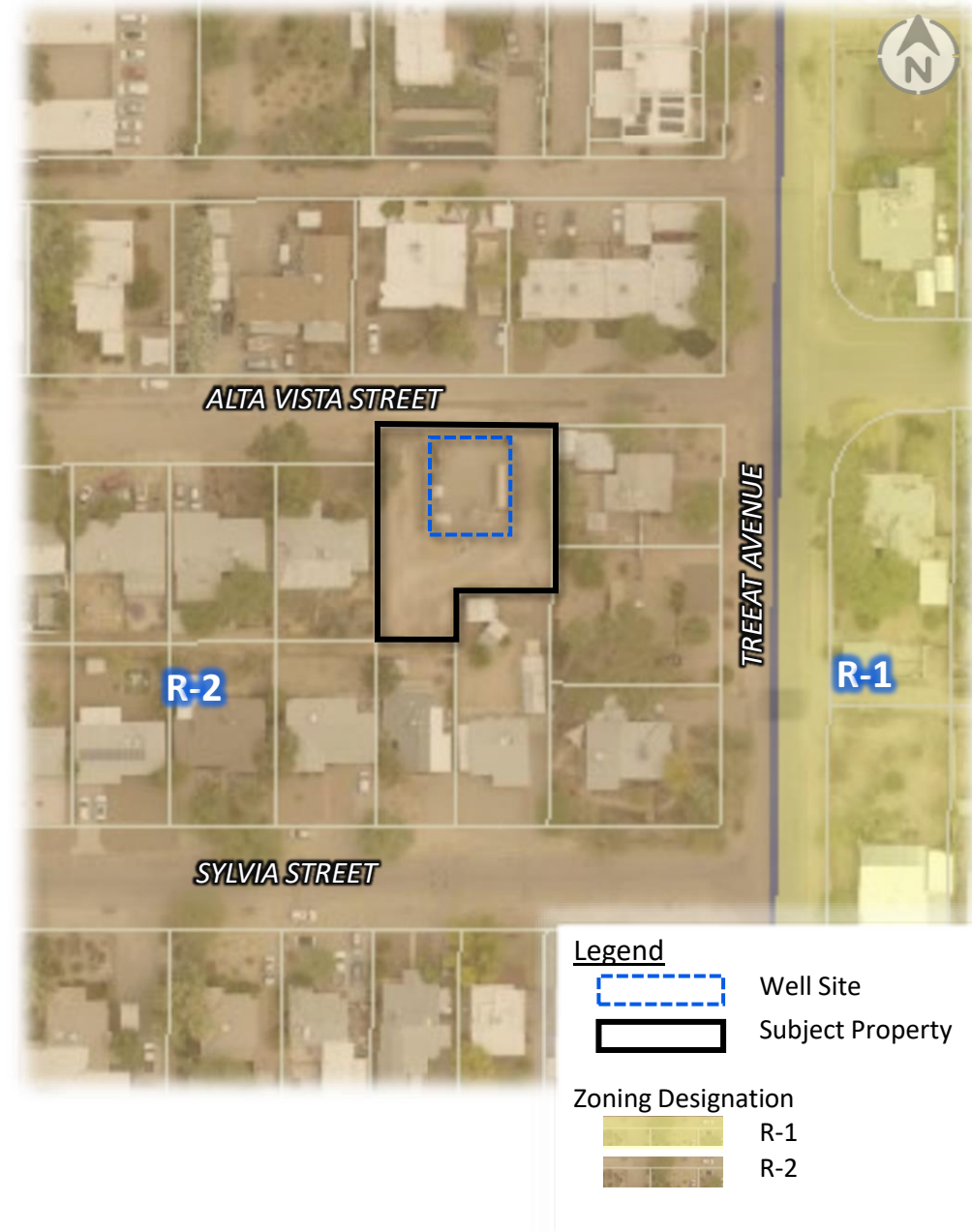
**SHADE STRUCTURE
WITH ELECTRICAL RACK**



**5,000 GALLON HYDRO TANK
WITH AIR COMPRESSOR**

SPECIAL EXCEPTION PROCESS

- Process to allow specific land uses on properties with zoning designations that would not typically permit the use
 - Well site is considered “Utility Distribution Use” which is not permitted outright in the R-2 zone (residential zone)
- To ensure compatibility with the neighborhood, the City’s Unified Development Code (UDC) requires conformance with “use-specific” standards and approval from the Zoning Examiner
- Applicable Use-Specific Standards
 - *The setback of the facility, including walls or equipment, shall be 20 feet from any adjacent residential zone*
 - *The use shall not have any service or storage yards*
 - *The Design Review Board (DRB) shall review all applications and make recommendations to the Zoning Examiner to ensure compatibility with surrounding uses*
 - *The use shall be located wholly within an enclosed building or within an area enclosed on all sides with a masonry wall or compact evergreen hedge, not less than six feet, nor more than ten feet, in height*
 - *The use shall be limited to water pumping and storage facilities, telephone exchanges, and power substations with an input voltage of no greater than 138 kilovolts*

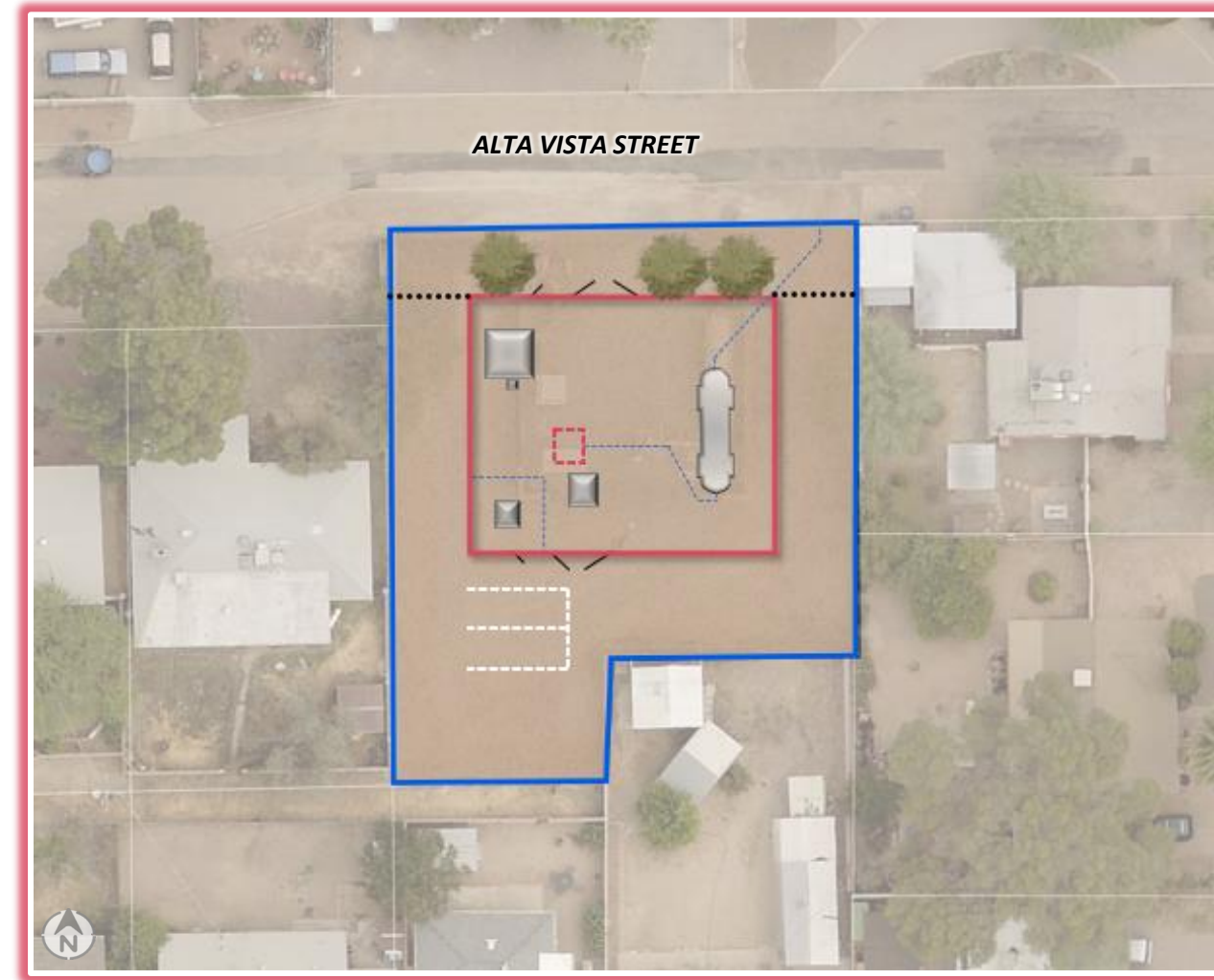


SPECIAL EXCEPTION PROCESS



PROJECT SUMMARY

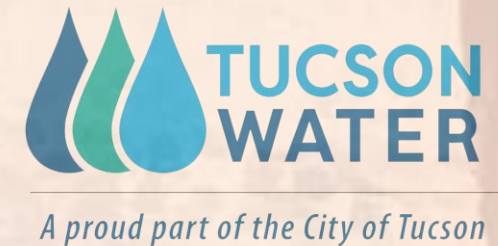
- Tucson Water is requesting a Special Exception to equip a replacement well that will be drilled in March 2022. Majority of construction will begin in Fall 2022.
- Noise mitigation measures will be implemented during well drilling.
- The improvements consist of the installation of:
 - 100 SF control building (max. height 10')
 - Communication antenna (max. height 20')
 - 5,000 GAL hydro tank with air compressor
 - Landscaping along Alta Vista
 - New 8' decorative masonry wall around well yard
 - Refresh wooden privacy slats with tan vinyl slats
 - Yard will be finished with gravel
 - TEP transformer
 - Pipes and other equipment necessary for the well to function.



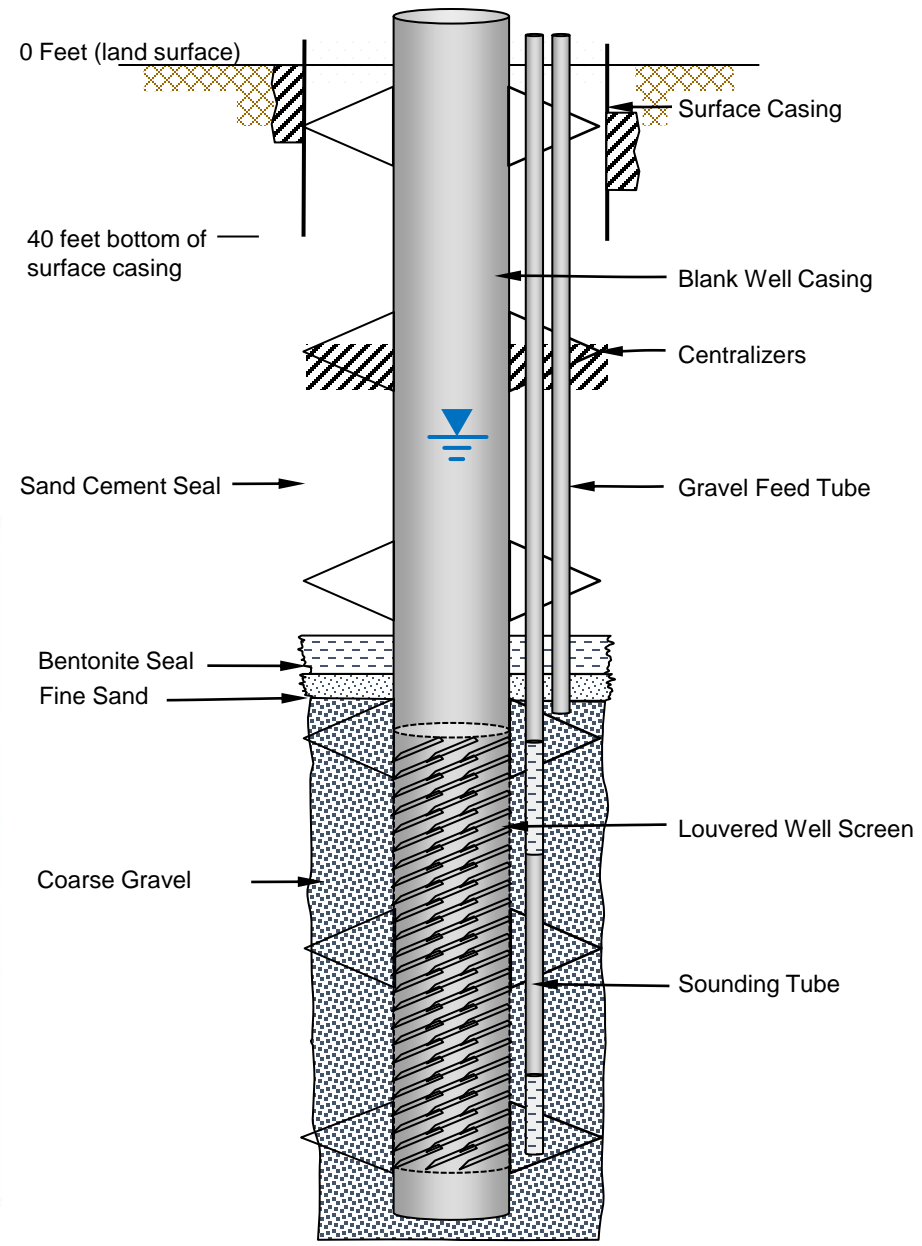
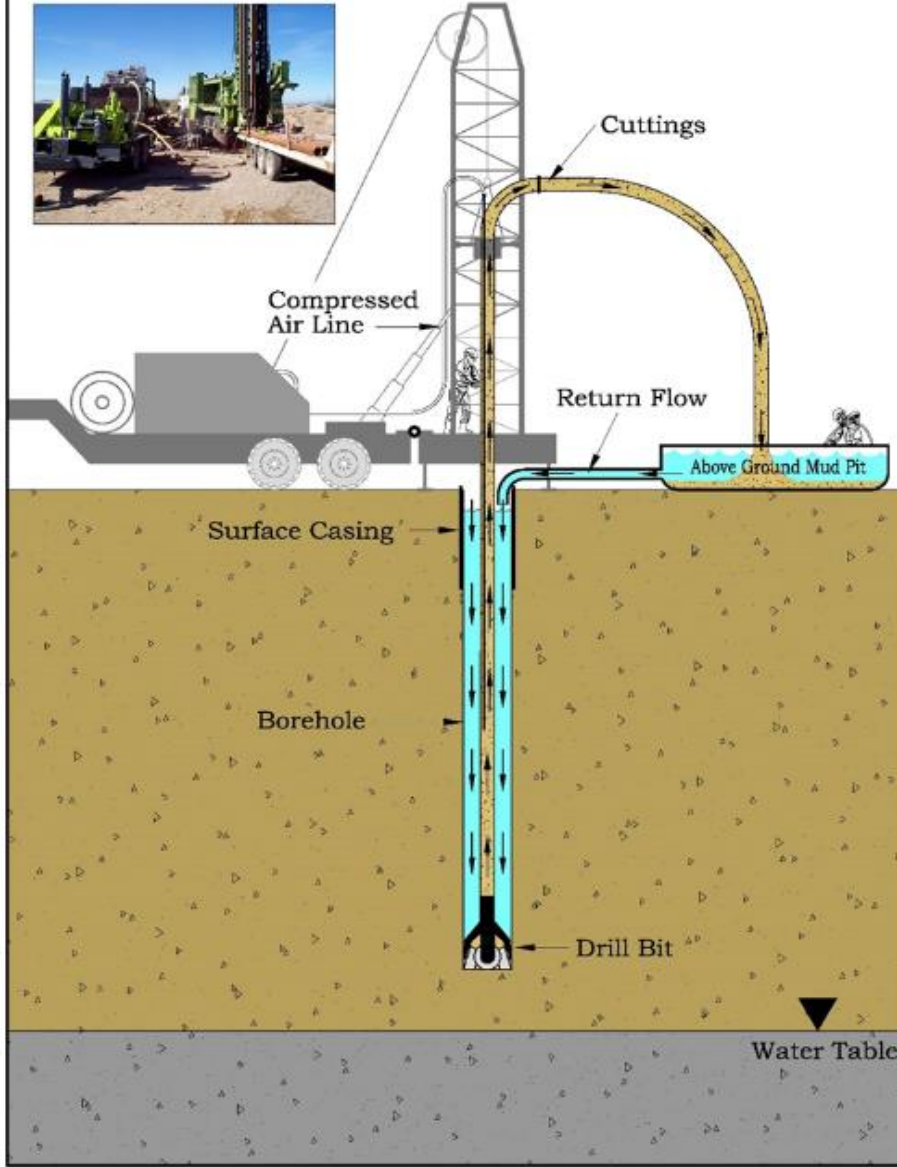
WELL B-045C SITE IMPROVEMENTS

2700 East Alta Vista Street

QUESTIONS???



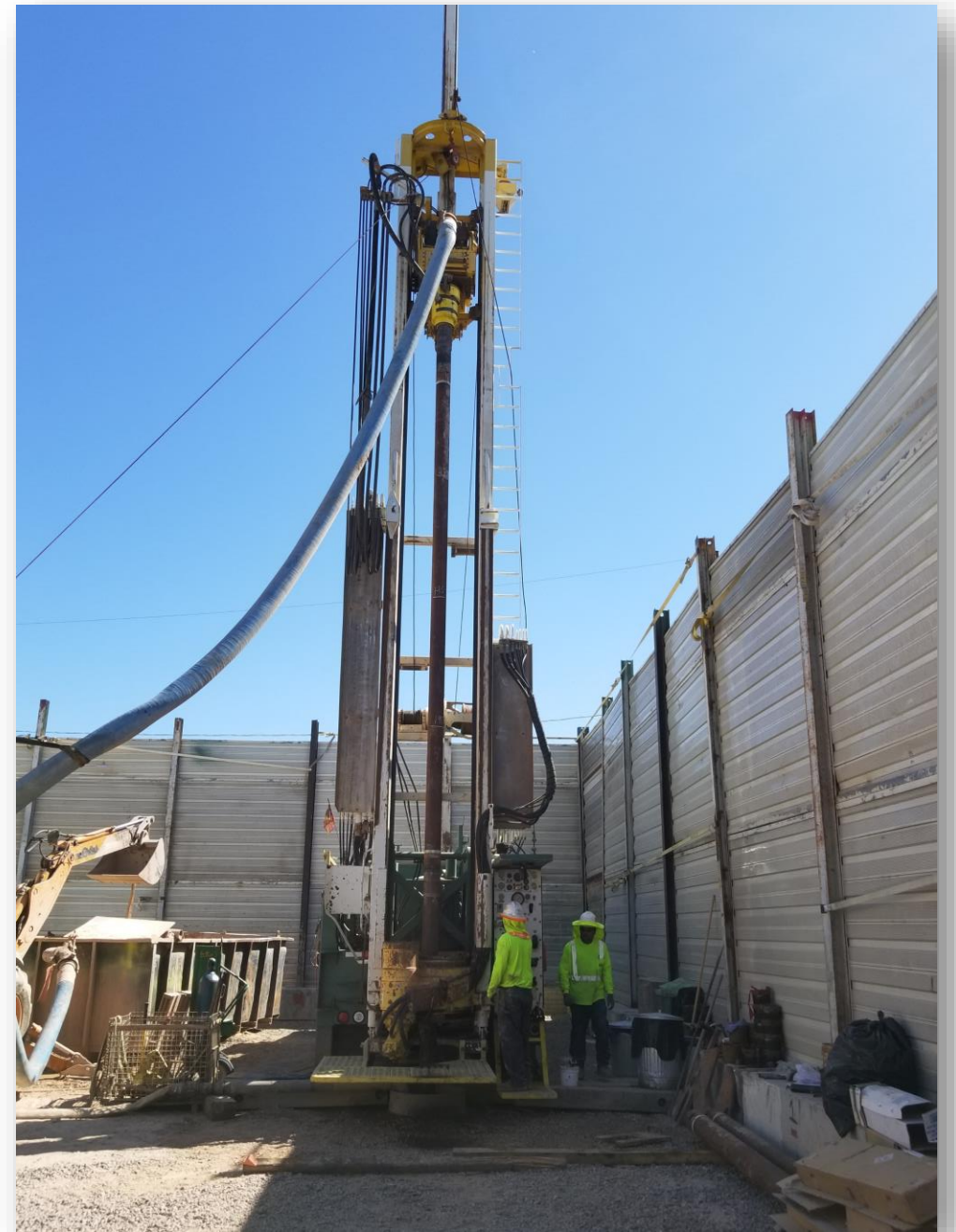
REVERSE ROTARY DRILLING



Installation of Sound Panels



Drill Rig and Sound Panels



Well Casing Installation



Neighborhood Well Construction Site



Water Recirculation Tanks

