



SPECIAL DISTRICTS APPLICATION

Application Stage: Pre-application [ ] Application [X]
Permit Activity Number: T21SA00375 Case Number: DRB-21-17 HPZ-21-081 Date Accepted: 9/24/2021

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): 128 E Congress St
Property Address: 128 E Congress St
Pima County Tax Parcel Number/s: 117-15-0030
Current Zoning: OUP-2
Applicable Overlay: [ ] Infill Incentive District [X] Rio Nuevo Area
Special Districts: [ ] Main Gate Overlay District [ ] Grant Road Overlay District
[ ] Neighborhood Preservation Zone [ ] Historic Preservation Zone

Neighborhood Association (if any):
PROJECT TYPE (check all that apply): Change of use to existing building [X]
New building on vacant land [ ] New building on developed land [ ]
New addition to existing building [ ] Other

Description of Proposed Use: BAR
Number of Buildings and Stories/Height of Proposed Structure(s): EXISTING - NO CHANGE
Site Area (sq ft): 3,300 SF Area of Proposed Building (sq ft): EXISTING - NO CHANGE (3,267 SF AT FIRST FLOOR)

HISTORIC STATUS

Site is within a: Historic Preservation Zone Please List:
National Register District Please List:
Site is/includes: [ ] A contributing structure [ ] Non-contributing structure
[X] adjacent to a contributing structure [ ] Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Bill Mackey
ROLE: [ ] Property owner [X] Architect [ ] Engineer [ ] Attorney [ ] Developer
Other:
EMAIL: 5206644847 PHONE: bill@workerincorporated.com
ADDRESS: 825 N NORTON AVE
PROPERTY OWNER NAME(S) (If ownership in escrow, please note): 130 E CONGRESS LLC
PHONE: PEACH PROPERTIES - 5207983331

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.
SIGNATURE OF OWNER/APPLICANT\* [Signature] 8.18.21. Date
\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization Date



August 19, 2021

City of Tucson  
Planning and Development Services Department  
201 N Stone Avenue  
Tucson, AZ 85701

RE: Letter of Authorization

To Whom It May Concern:

This letter is to serve as confirmation that Bill Mackey of Worker Architect is authorized to represent 130 E Congress, LLC with respect to any City required review processes or building permit matters for 128 E Congress Street.

Please feel free to contact me if you have any questions.

Sincerely,

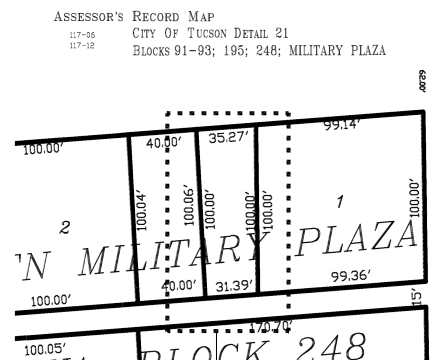
A handwritten signature in black ink, consisting of a large, stylized 'R' followed by a horizontal line and some scribbles.

Ron Schwabe  
Managing Member  
130 E Congress, LLC.

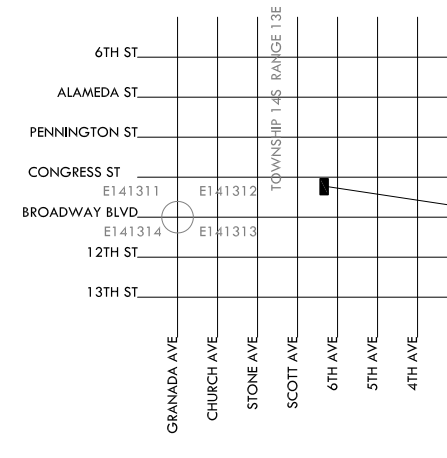




SITE AERIAL  
NTS



ASSESSOR MAP  
NTS



PROJECT LOCATION  
3" = 1 MILE



WORKER INC  
WORKER ARCHITECTURE PLLC  
bill@workerincorporated.com  
workerincorporated.com  
520.664.4847

OWNER  
100 CONGRESS LLC  
520-798-3331  
contact@peachpropls.com

STRUCTURAL ENGINEERING  
TURNER STRUCTURAL ENGINEERING  
520-323-3422

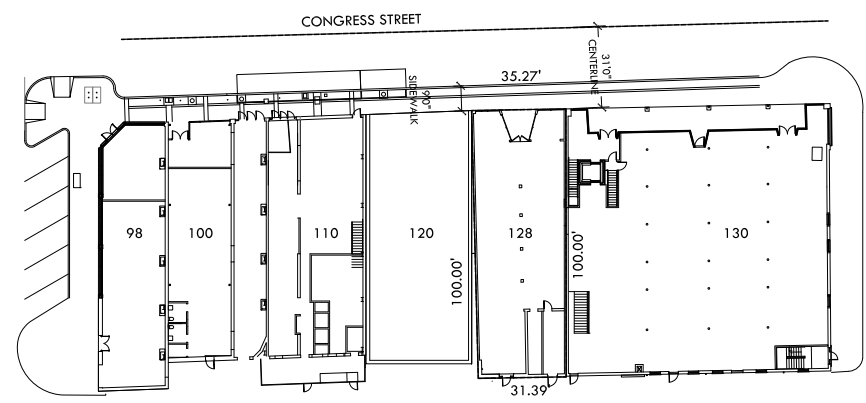
MECHANICAL ENGINEERING  
PROFESSIONAL ENGINEERING TECHNOLOGY  
520-881-1711

ELECTRICAL ENGINEERING  
ELECTRICAL DESIGN ASSOCIATES  
520-622-2196

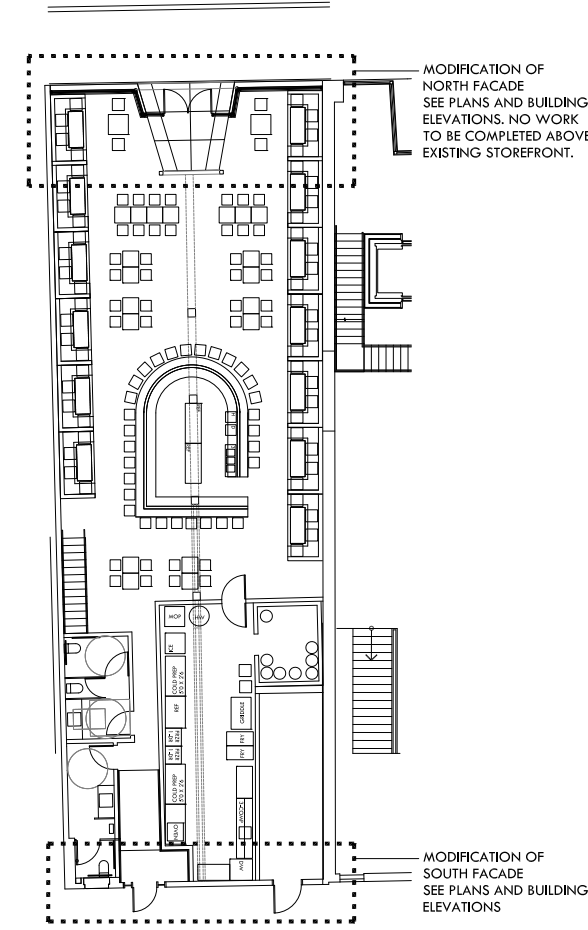


**SITE INFORMATION**

project	TENANT IMPROVEMENT AND FACADE REHABILITATION FIRST FLOOR ONLY
address	128 E CONGRESS
property owner	130 E CONGRESS LLC
business owner	NA
parcel	128: 117-15-0300
S/T/R	13 / 14 / 13E
zoning	128: OCR-2
overlays	DOWNTOWN CORE, INFILL INCENTIVE DISTRICT RIO NUEVO - DOWNTOWN; RIO NUEVO MFD DOWNTOWN REDEVELOPMENT DISTRICT
impact fee area	CENTRAL IMPACT FEE AREA
historic	UNDETERMINED
previous requests & requirements	SECOND FLOOR: T18CM09871
lot area	128: 3,300 SF
existing square footage	128: 3,267 SF
proposed square footage	NO CHANGE
existing use	OFFICE
proposed use	BAR
expansion	NA - NO CHANGE
height allowed	NA - NO CHANGE
setback perimeter yard - street	NA - NO CHANGE
setback perimeter yard - side	NA - DOWNTOWN PARKING DISTRICT
motor vehicle and bicycle parking	NA - NO CHANGE
off-street loading	NA - NO CHANGE
landscaping and screening	NA - NO CHANGE
canopy tree required	NA - NO CHANGE
canopy tree provided	NA - NO CHANGE
street landscape border min. width required	NA - NO CHANGE
street landscape border width provided	NA - NO CHANGE
native plant preservation	NA - NO CHANGE
sprinklers	AN AUTOMATIC FIRE SPRINKLER SYSTEM IS TO BE PROVIDED AS PART OF THIS PROJECT AND IS TO BE SUBMITTED AS A SEPARATE PERMIT



SITE PLAN - EXISTING  
1 : 30



SITE/FLOOR PLAN - PROPOSED  
1 : 10

**128 E CONGRESS**  
TENANT IMPROVEMENT AND FACADE REHABILITATION  
TUCSON, AZ 85701  
BATECELIAN AND ASSOCIATES ARCHITECTURE

**G1.1**



PROPOSED FACADE ELEVATION  
1 : 8

FACADE SECTION  
1 : 8



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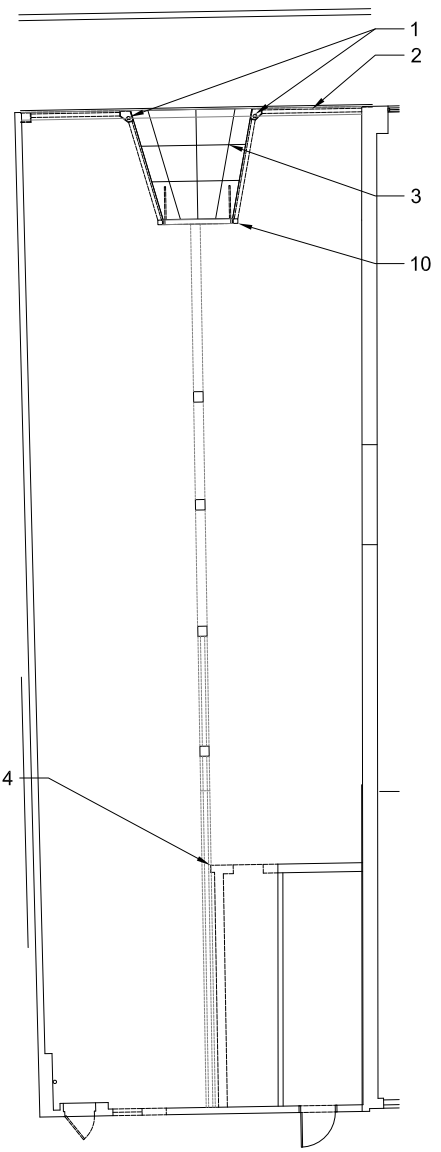
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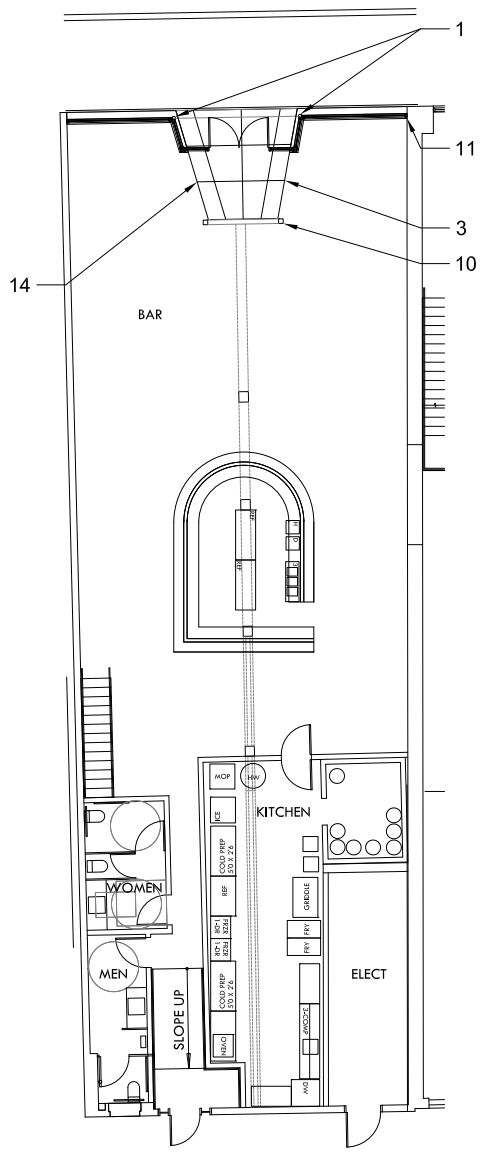
SOUTH ELEVATION - EXISTING  
1 : 8



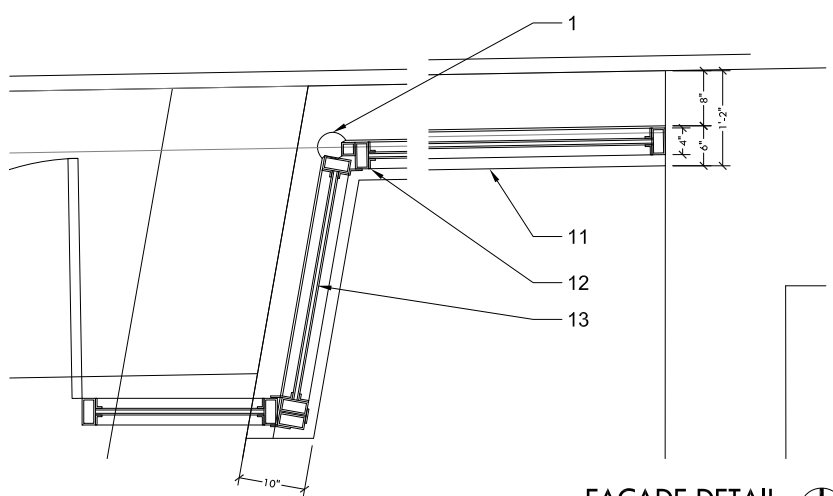
SOUTH ELEVATION - PROPOSED  
1 : 8



FLOOR PLAN - DEMOLITION  
1 : 8



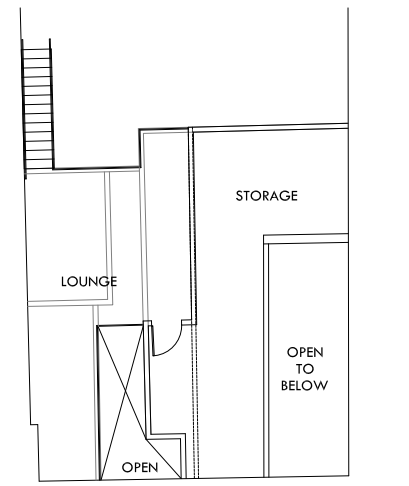
FLOOR PLAN - PROPOSED  
1 : 8



FACADE DETAIL  
1 INCH : 1 FOOT

KEY TO PLAN

- 1 EXISTING STEEL COLUMN  
CLEAN AND PAINT
- 2 REMOVE EXISTING STOREFRONT  
PREP AREA FOR CONCRETE BASE  
AND TS WINDOW WALL SYSTEM
- 3 EXISTING TERRAZO FLOOR  
PROTECT DURING CONSTRUCTION
- 4 REMOVE WALL AND EXISTING  
MEZZANINE FRAMING
- 5 EXISTING OPENING WITH  
BRICK INFILL TO REMAIN
- 6 EXISTING OPENING WITH BRICK  
INFILL TO BE REMOVED
- 7 EXISTING OPENING WITH WINDOW  
AND WROUGHT IRON. REMOVE ALL  
MATERIAL BELOW EXISTING ARCH HEADER
- 8 REMOVE EXISTING DOOR AND FRAME
- 9 BRICK INFILL EXISTING OPENING  
BRICK TO MATCH EXISTING
- 10 NEW TS STOREFRONT DOOR AND WINDOWS  
COLD ROLLED STEEL, CLEAR FINISH
- 11 NEW CONCRETE BASE WALL, CLEAR FINISH
- 12 NEW TS 2X4 WINDOW SYSTEM  
COLD ROLLED STEEL, CLEAR FINISH
- 13 1" INSULATED GLASS
- 14 TAPER FINISH FLOOR TO MEET EXISTING  
TERRAZO EDGE FLUSH
- 15 NEW TS 4X12 BEAM  
EXISTING BEAM - CLEAN AND PAINT  
(IF WOOD, PROVIDE 3/4" METAL PLATE  
COVER ALONG ENTIRE BEAM FACE)
- 17 EXISTING FACADE, NO WORK  
WORK COMPLETED

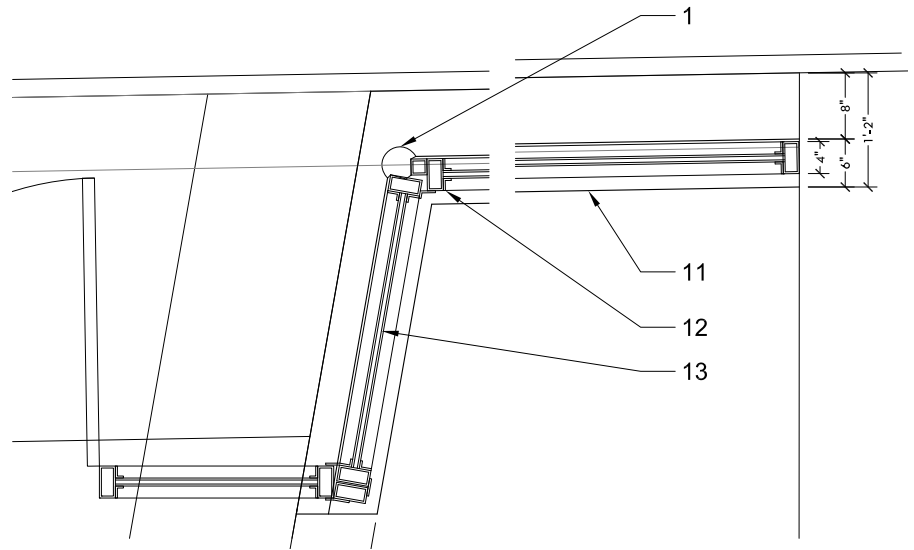
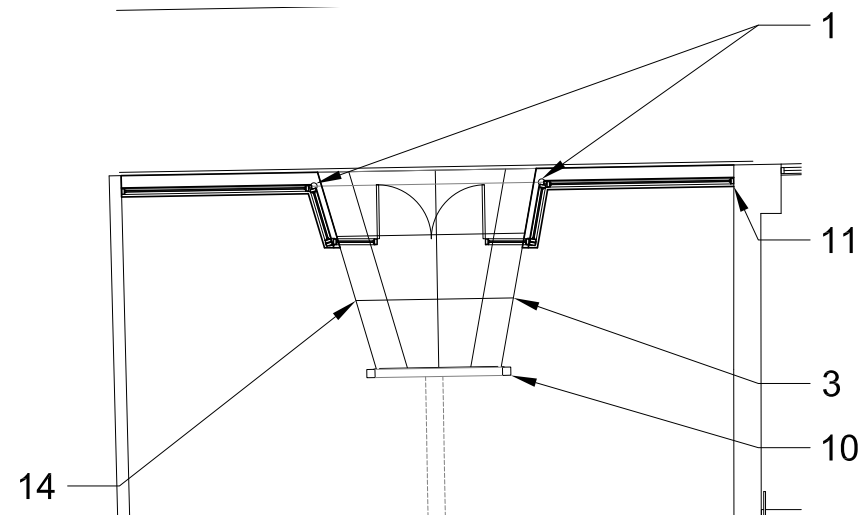
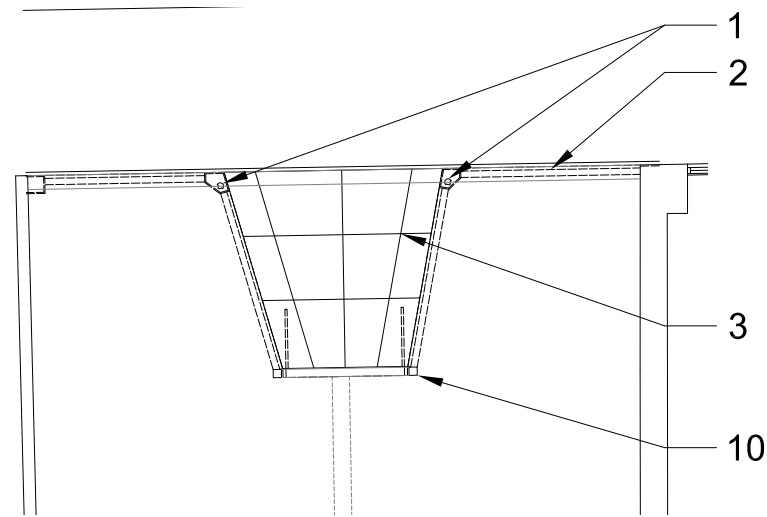
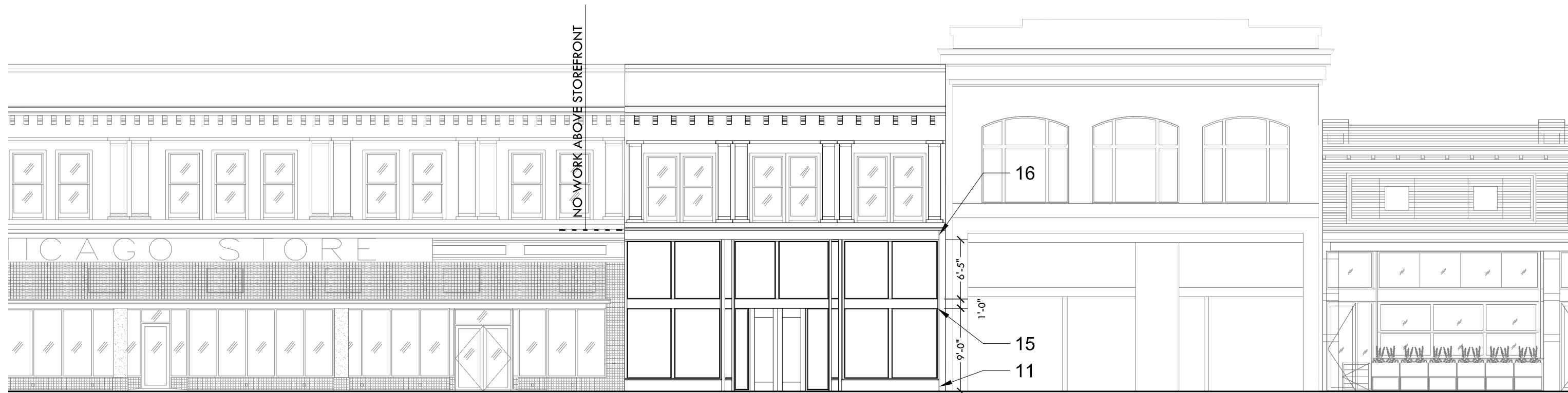


FLOOR PLAN - MEZZANINE  
1 : 8

**128 E CONGRESS**  
 TENANT IMPROVEMENT AND FACADE REHABILITATION  
 TUCSON, AZ 85701  
 FACADE ELEVATION, BUILDING SECTION

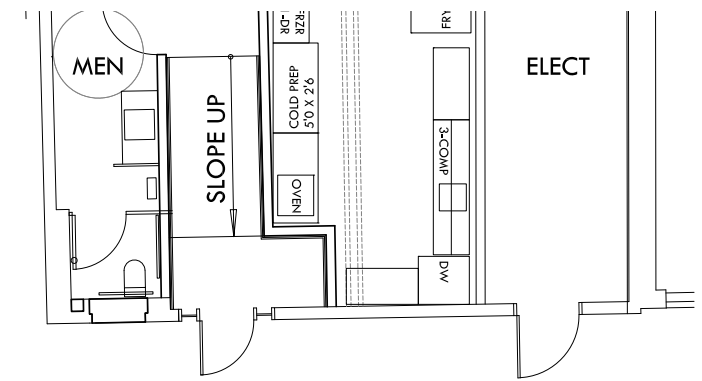
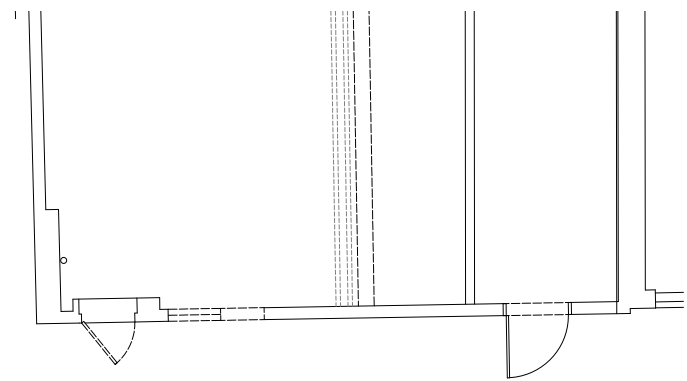
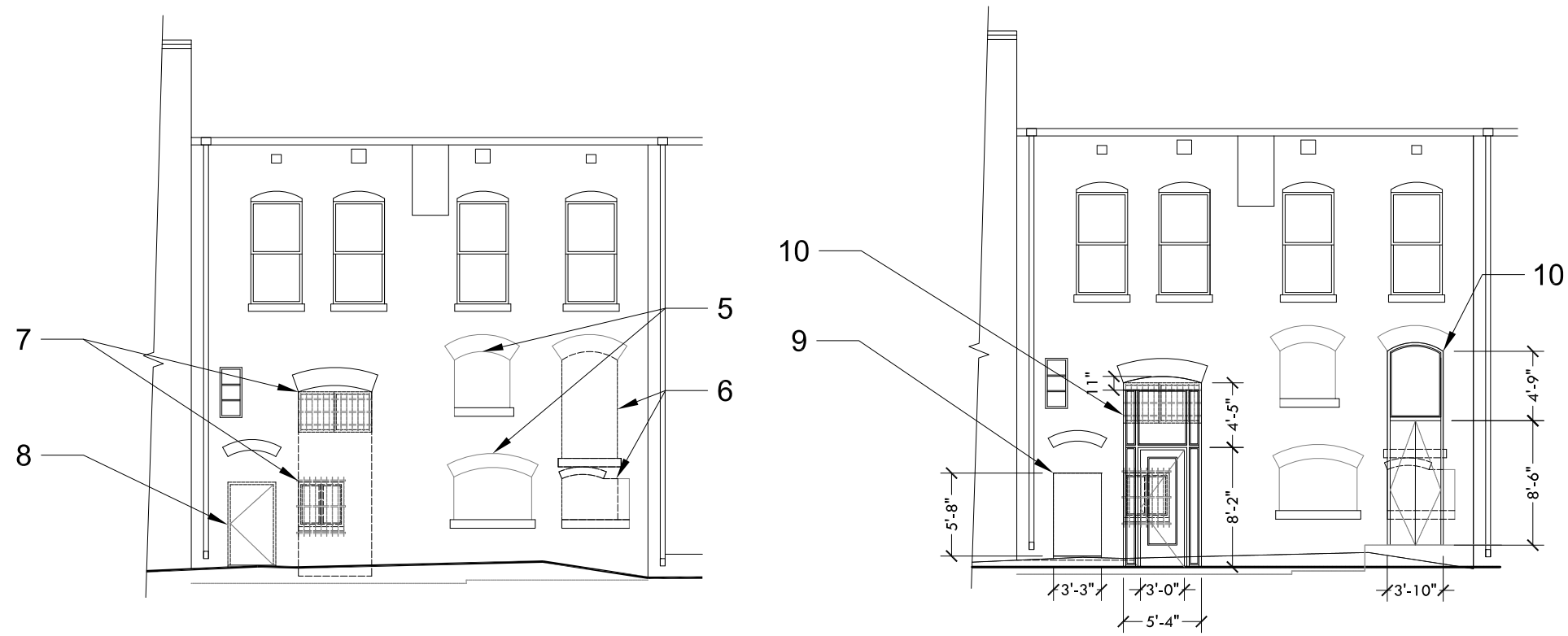
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1 OF X



### KEY TO PLAN

- 1 EXISTING STEEL COLUMN  
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AND TS WINDOW WALL SYSTEM
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- 16 EXISTING BEAM - CLEAN AND PAINT  
(IF WOOD, PROVIDE  $\frac{1}{8}$ " METAL PLATE  
COVER ALONG ENTIRE BEAM FACE)
- 17 EXISTING FACADE, NO WORK  
WORK COMPLETED

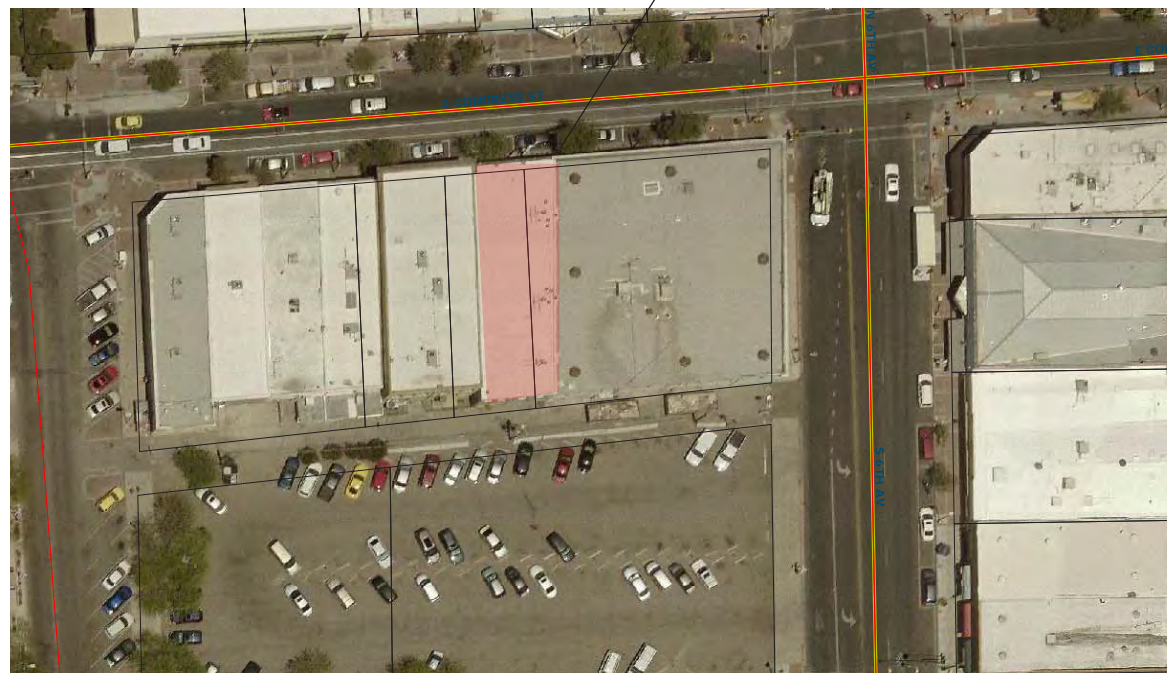


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WORK COMPLETED

THIS PROJECT  
128 E CONGRESS ST

CONGRESS STREET



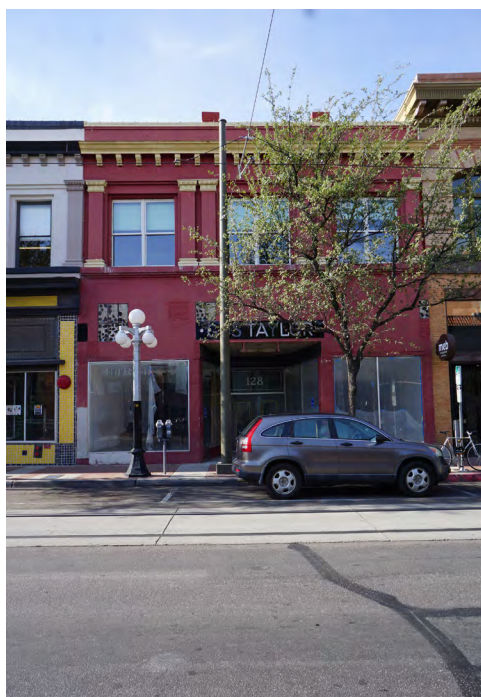
SCOTT AVE

6TH AVE

AERIAL

The project site is located at 128 East Congress Street, mid-block on the south side of Congress Street between Scott and 6th Avenues. The property is an individual property with a parcel ID of 117-15-0030 owned by 130 E Congress LLC. The property is zoned OCR-2.

The existing building, built in 1903, is listed as “Eligible” to the Downtown Tucson Historic District. The property inventory form acquired from the Arizona State Historic Preservation Office notes “the building has been extensively remodeled with the only remnant of the original construction is the projecting cornice. The first floor commercial bays have been completely modernized with recessed entryways. Commercial display area. Ineligibel (sic); integrity lost.”



NORTH FACADE



SOUTH FACADE

This project is on the first floor only of the building - a tenant improvement turning the vacant space into a bar and rehabilitating the north and south facades below the second floor level. For the north, or street facade, we are providing a storefront made of 2x4 tube steel members with a concrete base with proportions based on many of the historic storefront facades in downtown Tucson (base, storefront display window, beam, clerestory). For the south, back of house facade, we are opening a few previously infilled openings to create better access for an electrical room and proper exiting from the building.

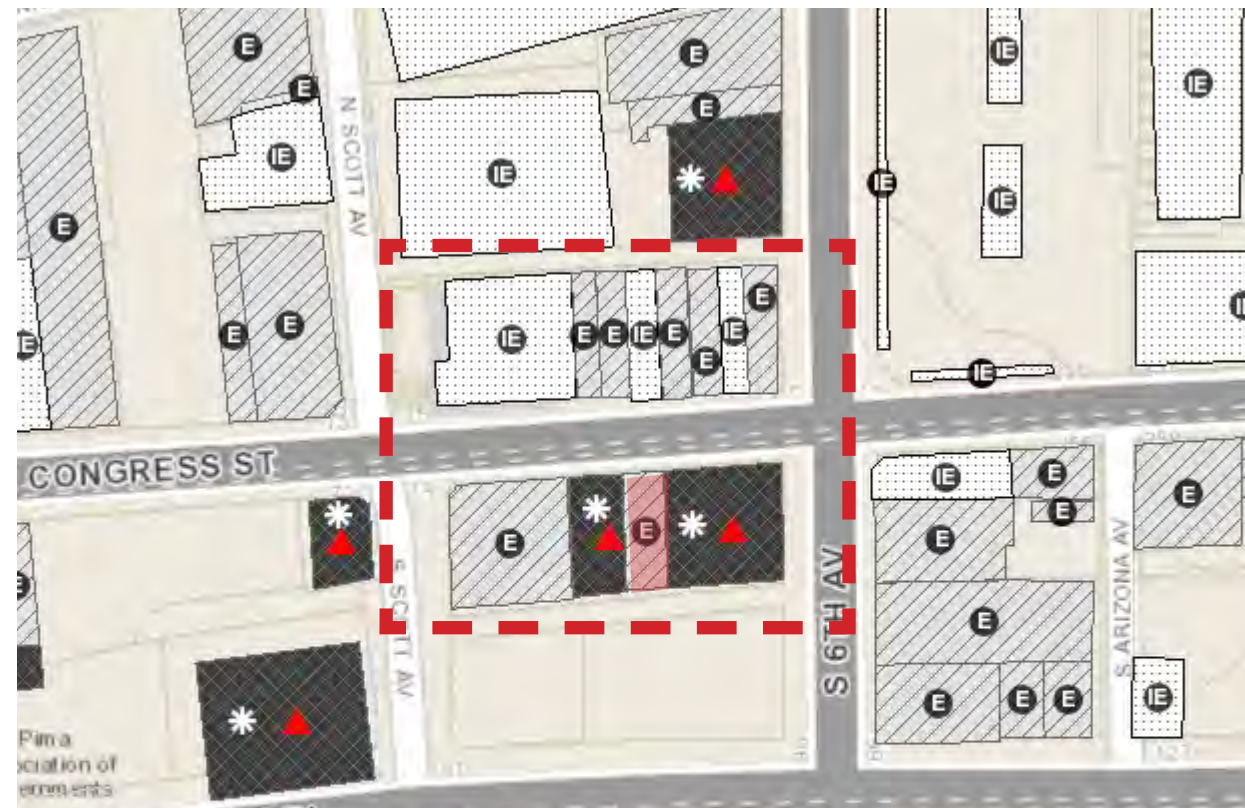




SITE AERIAL  
DEVELOPMENT ZONE

1. The proposed buildings shall respect the scale of those buildings located in the development zone and serve as an orderly transition to a different scale pursuant to Section 5.12.8.B, Development Transition Standards. Building heights with a vastly different scale than those on adjacent properties should have a transition in scale to reduce and mitigate potential impacts. In areas undergoing change, long range plans should be consulted for guidance as to appropriate heights;

Not fully applicable. The scale and proportions of the storefronts/facades of 130 E Congress and 120 E Congress - the properties to the east and west respectively - were used to generate the scale and proportion of the facade of the proposed project.

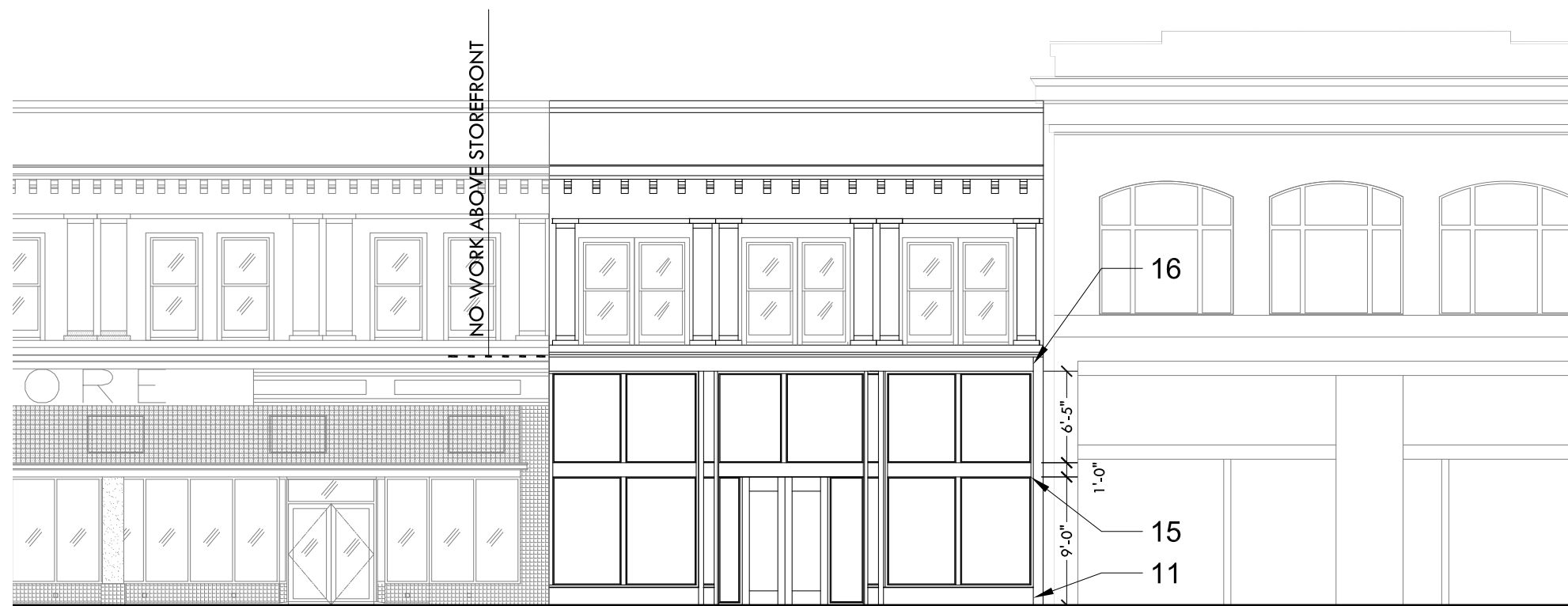
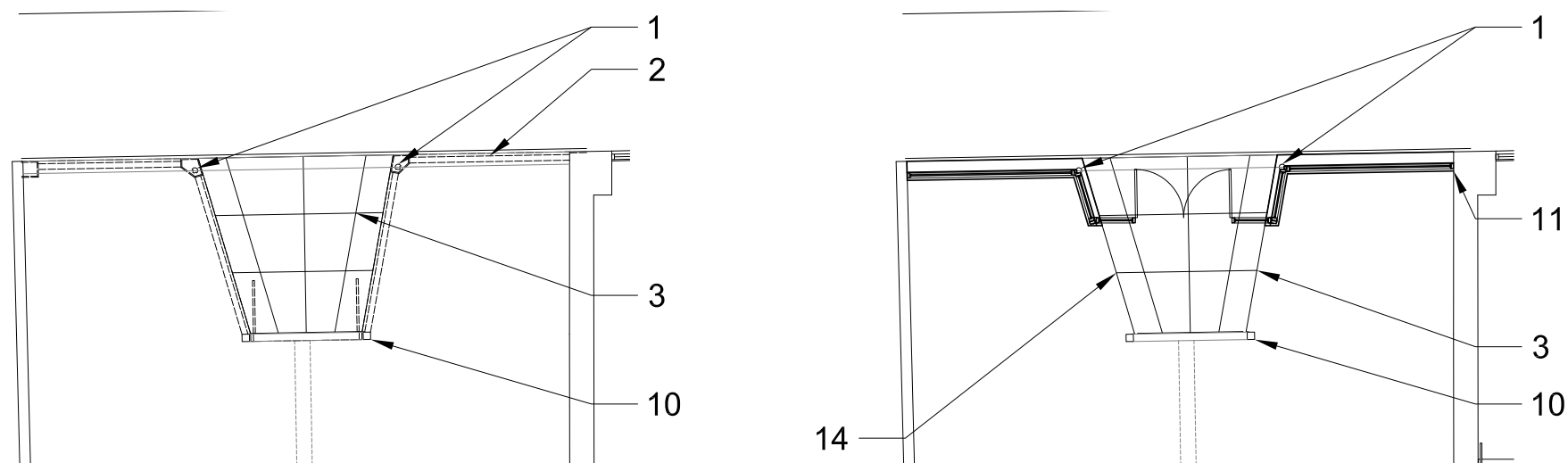


HISTORIC PROPERTIES, BOUNDARY  
DEVELOPMENT ZONE

**Legend**

- ▲ City Individual Designations
- Historic Properties
  - Listed
  - Listed and Local
  - Contributor
  - Eligible
  - Ineligible
  - Non-Contributor
  - No Data
  - Demolished Contributor
  - Demolished
- Vacant
- Outside of HD
- Parcels





2. All new construction must be consistent with the prevailing setback existing within its development zone except that the PDS Director may approve a different setback than the prevailing setback upon a written finding during the review process that a different setback is warranted by site conditions or applicable development design goals consistent with Section 5.12.1, Purpose, and the proposed setback will not be incompatible with adjacent properties, as defined in Section 11.4.2.A;

The proposed north facade is being placed at the sidewalk edge, consistent with the existing conditions along Congress Street. The entry to the site is through a recessed door, consistent with existing storefronts along Congress Street.

3. All new construction shall provide scale defining architectural elements or details at the first two floor levels, such as windows, spandrels, awnings, porticos, cornices, pilasters, columns, and balconies;

The proposed north facade utilizes horizontal and vertical steel members to create scale defining architectural elements and details in the proposed storefront design.

4. Every commercial building frontage shall provide windows, window displays, or visible activity within and adjacent to the building at the ground floor level, with a minimum of 50 percent of the building frontage providing such features;

The proposed facade is glass from east property line to west property line.

5. A single plane of a facade at the street level may not be longer than 50 feet without architectural relief or articulation by features such as windows, trellises, and arcades;

See number 3 above.

6. Building facade design shall include pedestrian-scaled, down-shielded, and glare controlled exterior building and window lighting;

We propose no light fixtures along the facade. Interior lighting will provide lighting because of all the glass.



7. The front doors of all commercial and government buildings shall be visible from the street and visually highlighted by graphics, lighting, marquees, or canopies;

Front door is placed in the center and is differentiated from the window system because it has no base and there will be wider pieces of steel for the door construction.

8. Modifications to the exterior of historic buildings shall complement the overall historic context of the Downtown and respect the architectural integrity of the historic façade;

Historic downtown Tucson commercial architecture storefronts typically consists of a base, a display window, a horizontal beam, and a clerestory for the first level. The proposed design honors that traditional arrangement. We located the horizontal beam at a similar height of the strong horizontal line made at 130 E Congress.

9. Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare;

The proposed facade faces north. There will be minimal glare or reflected heat generated at the facade.

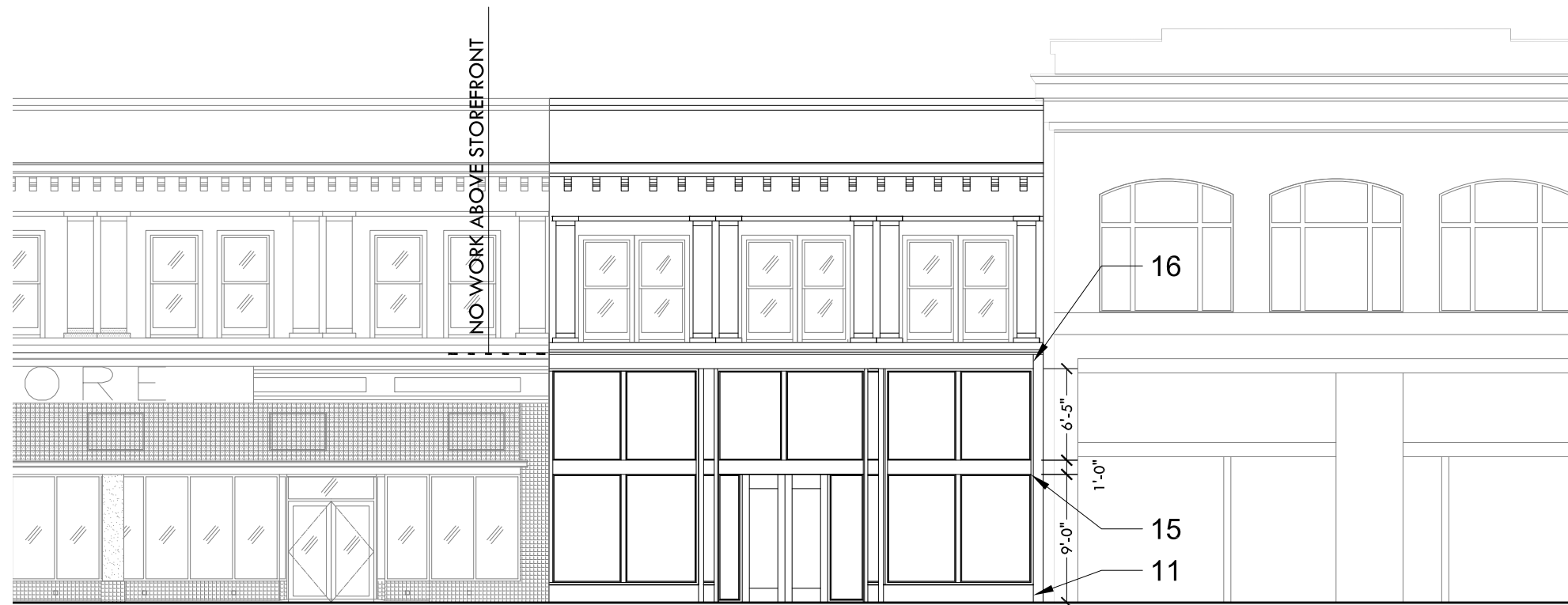
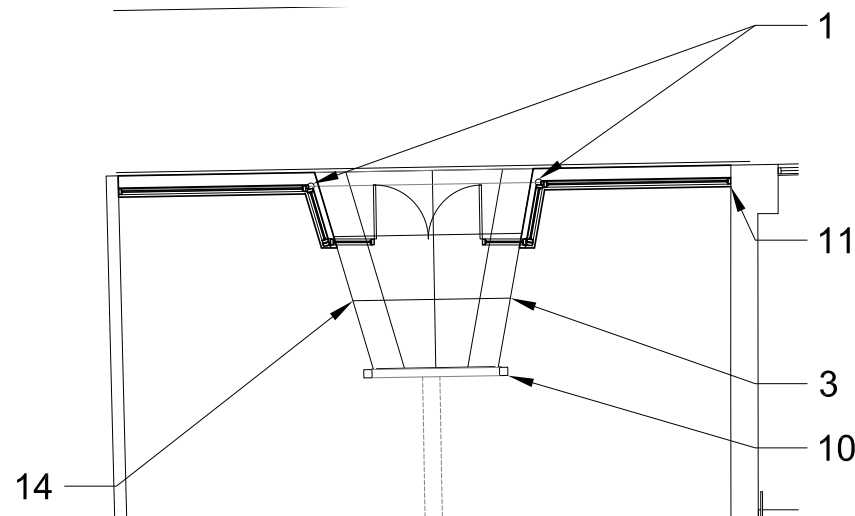
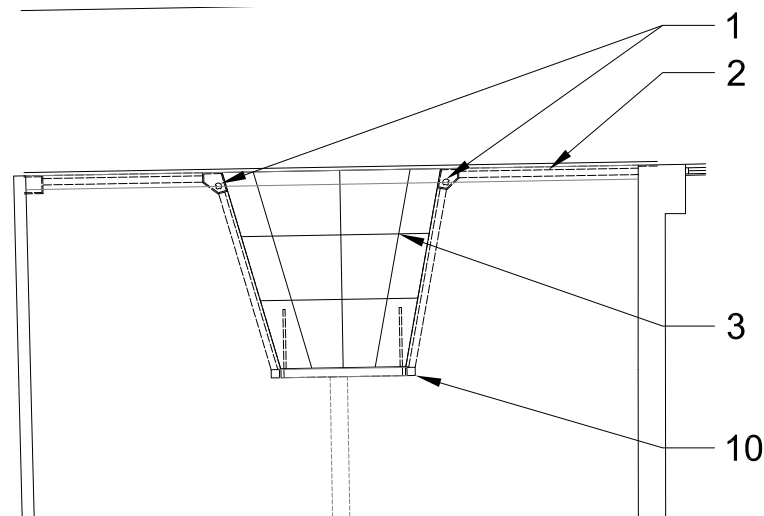
10. Safe and adequate vehicular parking areas designed to minimize conflicts with pedestrians and bicycles shall be provided;

Not applicable.

11. Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structure or vegetation, where permitted by the City;

The existing historic building facade shades the sidewalk along Congress Street throughout the day throughout the year.





12. Colors may conform to the overall color palette and context of the Downtown area or may be used expressively to create visual interest, variety, and street rhythms. The rationale for an expressive or idiosyncratic use of color shall be described in the site plan submittal;

Storefront will be glass, exposed concrete (grey), and exposed steel (dark grey).

13. New buildings shall use materials, patterns, and elements that relate to the traditional context of the Downtown area;

Metal storefront materials are found throughout the downtown area.

14. Twenty-four-hour, street-level activity is encouraged by providing a mixture of retail, office, and residential uses within each building; and,

The proposed project is occupying a historic building that was used for a variety of commercial uses. The proposed project will be a bar with operating hours in the evening.

15. Primary public entries shall be directly accessed from a sidewalk along a street rather than from a parking lot. Public access to commercial and governmental buildings shall be provided at sidewalk grade. The primary floor of, and access to, residential structures may be elevated. Secondary access may be provided from off-street parking areas.

Existing entry will be utilized, located at the center of the facade.

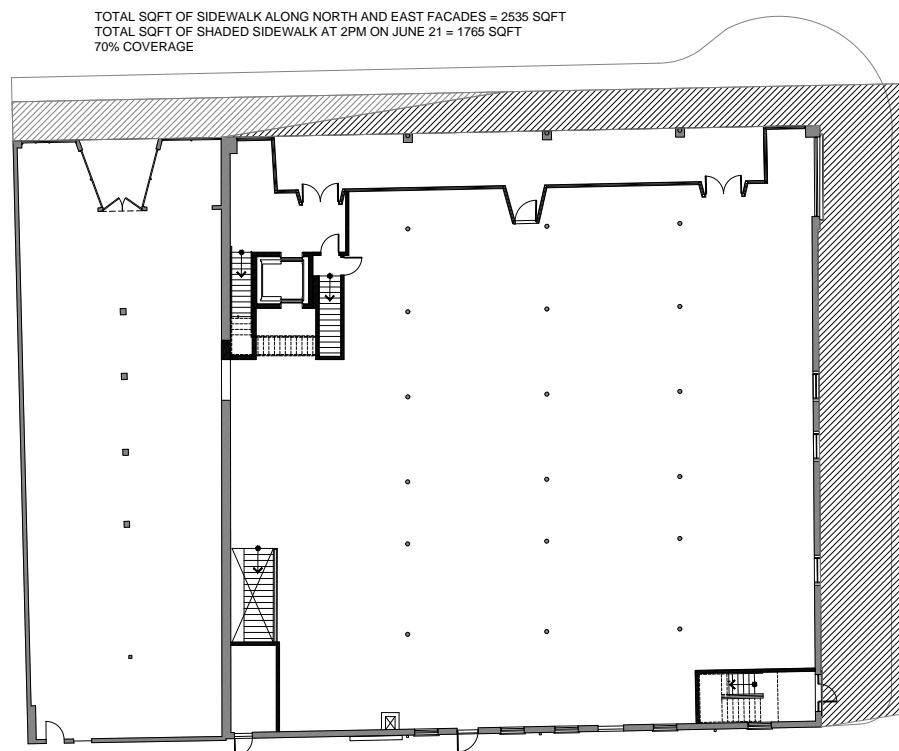
D. Site Design Standards

1. Vehicular Circulation

a. All parking area access lanes (PAALs) adjacent to buildings shall have pedestrian circulation paths between the PAAL and the building, with a minimum width of six feet.

Not applicable.

b. The locations of all points of vehicular ingress and egress shall be perpendicular to the intersecting street. Points of ingress and egress points shall be designed to minimize vehicular/pedestrian and vehicular/bicycle conflicts. Adequate storage for vehicular queuing at parking facilities shall be contained on site. Right turn bays are strongly discouraged.



Points of ingress and egress shall be minimized wherever possible. Additional temporary ingress and egress locations may be permitted for parking structures when occasional high peak period traffic flows (i.e., parking facilities for event venues) are anticipated.

Not applicable.

2. Parking

a. General Parking standards are listed in Section 7.4. Some properties in the RNA may also be located in the Downtown Parking District, which allows a reduction in the number of parking spaces as provided in Section 7.4.5.B.

b. Screening of Parking All new parking shall be designed so that vehicles are not visible from the adjoining street level, through incorporation of pedestrian arcades, occupied space, or display space.

c. Employee Parking Employee parking for all uses should be provided at remote locations in order to maximize the availability of space for development.

Not applicable.

3. Plazas and Open Space

The fundamental objective of the design standards in this Section 5.12.7.D.3 is to encourage public and private investments to enhance the character and function of Downtown's pedestrian environment.

a. Plazas and Pedestrian Nodes

Five percent of the gross floor area of new construction shall be provided in public plazas or courtyards. Open space plazas, courtyards, and patios are landscaped outdoor areas designed to accommodate multiple uses, from large gatherings of the people for performing arts to smaller gatherings. The plazas and courtyards will be one of the ways that spaces and uses can be linked. The requirement of this section may be waived or reduced by the PDS Director upon a written finding during the review process that the development enhances the downtown pedestrian environment even with a smaller percent or elimination of the requirement.

Not applicable.

b. Viewshed Corridors

Views of all historic properties and all natural elements surrounding the Downtown should be considered during design. Plazas, courtyards, and open spaces shall be sited to include views to other public spaces, where feasible.

Not applicable.

c. Linkages (Physical and Visual)

Neighborhood linkages shall be maintained throughout Downtown.

Not applicable.

4. Streetscape

a. Streetscapes must be consistent with the Streetscape Design Policy. In streetscape design, priority is given to pedestrians.

No work will be done in the right-of-way.

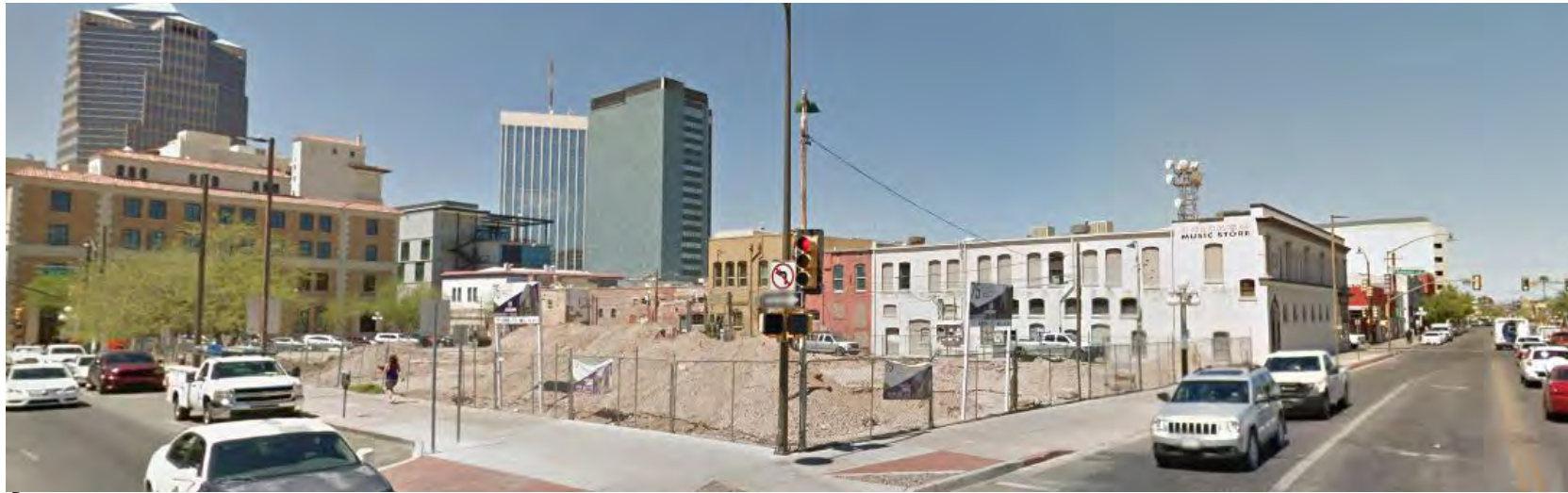
b. Shade

Shade shall be provided for at least 50 percent of all sidewalks and pedestrian pathways as measured at 2:00 p.m. on June 21 when the sun is 82° above the horizon (based on 32°N Latitude). Shade may be provided by arcades, canopies, or shade structures, provided they and their location and design characteristics are compatible with the prevailing and design context of the street and the architectural integrity of the building. Deciduous trees, as proposed in the Downtown Comprehensive Street Tree Plan, are encouraged to supplement existing evergreen trees. The use of plantings and shade structures in the City right-of-way are permitted to meet this standard with the approval of the Department of Transportation. The shade provided by a building may serve to meet this standard.

See diagram - 70% shade coverage is provided.



A



B



PHOTO KEY



C



D



## ARIZONA STATE HISTORIC PROPERTY INVENTORY

HISTORIC PROPERTY NAME		COUNTY Pima	INVENTORY NO. 132
COMMON PROPERTY NAME Commercial		QUAD/COUNTY MAP Section 12, Township 14 S., Range 13 E.	
PROPERTY LOCATION-STREET & NO. 128 E. Congress			
CITY, TOWN/VICINITY OF Tucson		ASSESSOR'S PARCEL NO. 117-15-003-0	
OWNER OF PROPERTY Levkowitz Philip & Joe		PHONE	
STREET & NO./P.O. BOX 130 E. Congress			
CITY, TOWN Tucson		STATE Arizona	ZIP 85701
FORM PREPARED BY		DATE	
STREET & NO./P.O. BOX		PHONE	
CITY, TOWN		STATE	ZIP
PHOTO BY		DATE	
VIEW S.			
HISTORIC USE			
PRESENT USE Commercial		ACREAGE	
ARCHITECT/BUILDER			
CONSTRUCTION/MODIFICATION DATES 1905			



**PHYSICAL DESCRIPTION**

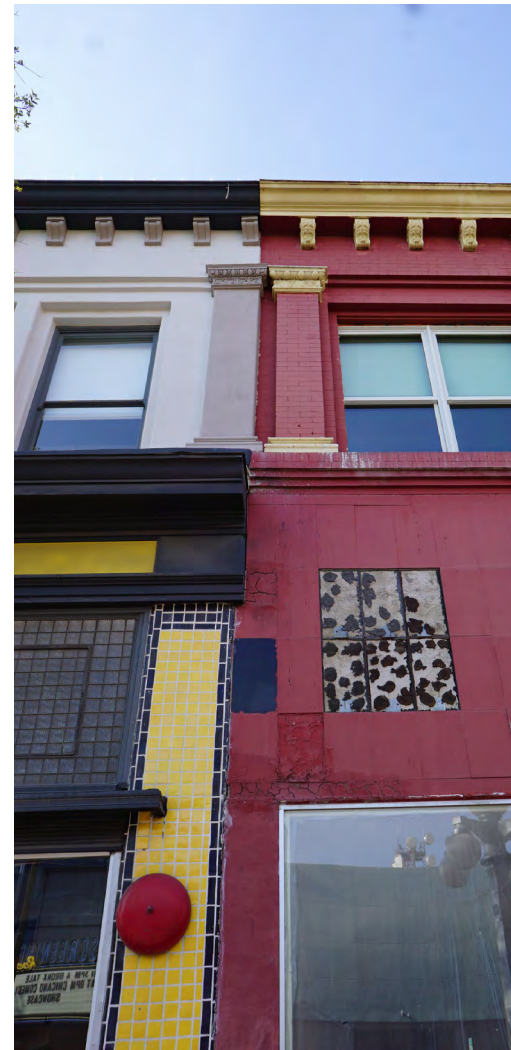
Extensively remodeled two story commercial structure. Only remnant of 1905 building is the projecting cornice.

The first floor commercial bays have been completely modernized with recessed entryways. Commercial display areas. The upper level wall has been covered over as a blank surface and spots commercial signage.

<p><b>STATEMENT OF SIGNIFICANCE/HISTORY</b></p> <p>Ineligibel; integrity lost.</p> <div style="border: 1px solid black; padding: 10px; margin: 10px auto; width: 80%;"> <p>The opinions concerning eligibility to the National Register of Historic Places are those of the consultant, Property Development Resources, and do not necessarily reflect the opinion of the State Historic Preservation Officer or the National Park Service.</p> </div>
<p><b>SOURCES OF ABOVE INFORMATION/BIBLIOGRAPHY</b></p>
<p><b>GEOGRAPHICAL DATA/LEGAL DESCRIPTION/VERBAL BOUNDARY DESCRIPTION</b></p> <p>Tucson W. 35.27' of E. 134.5' of lot 1, block 248.</p>
<p><b>GENERAL COMMENTS/FUTURE PLANS FOR PROPERTY</b></p>







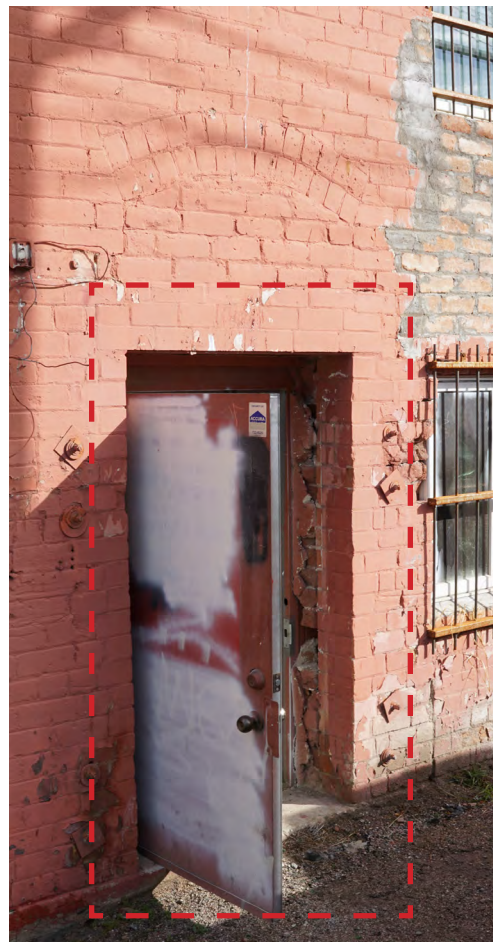
EXISTING CONDITIONS - NORTH FACADE



128 E CONGRESS  
DRB/PRS REVIEW DOCUMENTS

WORKER INC.  
workerincorporated.com





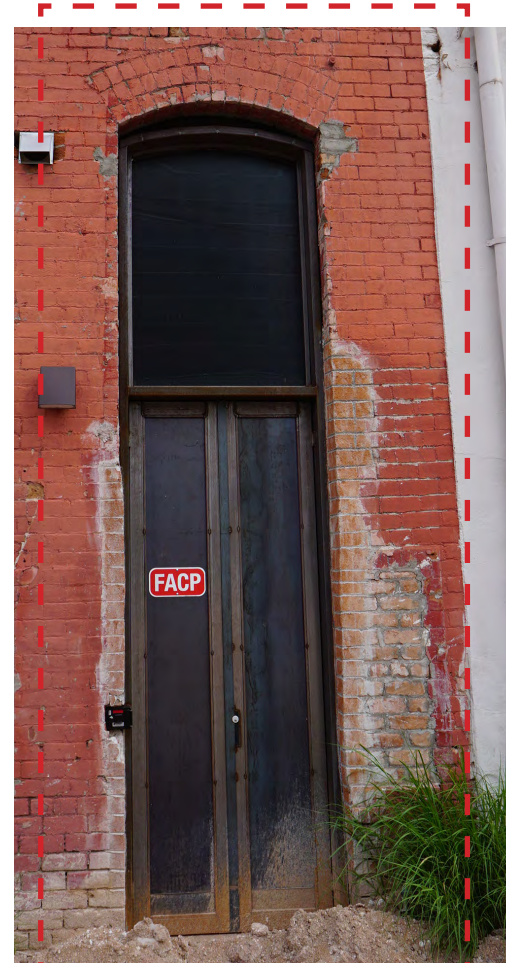
1



2



3



3



1

2

3



128 E CONGRESS  
DRB/PRS REVIEW DOCUMENTS

WORKER INC.  
workerincorporated.com



NORTH SIDE OF CONGRESS STREET  
DEVELOPMENT ZONE



128 E CONGRESS  
DRB/PRS REVIEW DOCUMENTS

WORKER INC.  
workerincorporated.com



SOUTH SIDE OF CONGRESS STREET  
DEVELOPMENT ZONE



128 E CONGRESS  
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workerincorporated.com

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
9/13/2021	STEVE SHIELDS	ZONING	REVIEW	Reqs Change	<p>ZONING REVIEW TRANSMITTAL</p> <p>FROM: PDSD Zoning Review</p> <p>PROJECT: T21CM06854 128 E Congress St Exterior Façade Renovation</p> <p>TRANSMITTAL: September 13, 2021 COMMENTS: the following comments are relative to an application for Rio Nuevo Area (UDC 5.12.7).</p> <p>This site is located in the HR-3 zone (UDC 4.7.9). A single-family residence (SFR) is a permitted use in this zone (Table 4.8-2). See Use-Specific Standards 4.9.7.B.6.</p> <p>1. Exterior work in the RNA requires Design Review.</p> <p>2. Submitted plan states "MODIFICATION OF NORTH FAÇADE SEE PLANS AND BUILDING ELEVATIONS. NO WORK TO BE COMPLETED ABOVE EXISTING STOREFRONT" but no plans or elevations were provided.</p> <p>If you have any questions about this transmittal, please contact Elisa Hamblin at <a href="mailto:Elisa.Hamblin@tucsonaz.gov">Elisa.Hamblin@tucsonaz.gov</a>.</p>

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Showing 1 to 9 of 9 entries

Parcel Number: 117-15-0030

Property Address			
Street Number	Street Direction	Street Name	Location
128	E	CONGRESS ST	Tucson

Contact Information	
Property Owner Information:	Property Description:
130 E CONGRESS LLC PO BOX 31840 TUCSON AZ 85751-1840	TUCSON W35.27' OF E134.5' OF LOT 1 BLK 248

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2020	COMMERCIAL (1)	18.0	\$72,633	\$544,297	\$616,930	\$616,930	\$111,047
2021	COMMERCIAL (1)	18.0	\$72,633	\$544,297	\$616,930	\$616,930	\$111,047

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map:	3	Plat:	70	Block:	248
Tract:		Land Measure:	3,300.00F	Lot:	00001
Census Tract:	100	File Id:	i	Group Code:	
Use Code:	1120 (STORE FRONT COMMERCIAL BLDG)			Date of Last Change:	4/17/2017

Sales Information (1)							
Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20131480676	1	3/2013	Commercial/Industrial	\$565,000	\$565,000	N	W2,RJM

Valuation Area				
District Supervisor: RICHARD ELIAS District No: 5				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	03070 DEL	20

Recording Information (5)				
Sequence No.	Docket	Page	Date Recorded	Type
20170520622	0	0	2/21/2017	WTDEED
20131480676	0	0	5/28/2013	WTDEED
20060781249	12789	6954	4/24/2006	QCDEED
20001430760	11347	2547	7/25/2000	DEED
0	5962	487	2/9/1979	

Commercial Characteristics				
Property Appraiser: Sarah Rushing Phone: (520) 724-8292				
Commercial Summary				
Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	6,494	\$210,541	\$0	\$544,297

Commercial Detail							
SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1916	111/3	0000000	6,494	\$565,970	\$210,541	RETAIL STORE

Petition Information (3)			
Tax Year	Owner's Estimate	Petition	Work Up
2009	\$73,183		
2003	\$60,000		
2002	\$25,000		

Permits (3)												
Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete	
T998U02526	CALT ~ FINAL	10/18/1999	11/03/1999	TUC	\$37,500	0	3/*	07/31/2007			0	
Description: SHORING OF ROOF												
T13CM06724	CALT ~ FINAL	04/11/2014	05/09/2014	TUC	\$25,000	3,585	3/*				0	
Description: RECORDING STUDIO												
CSALE12983	SALE ~	07/08/2013	07/29/2013	ASR								
Description: Per library notes, imps for this parcel on 0010. Per Coster, this parcel has sold separately. Update characteristics as needed.												



ASSESSOR'S RECORD MAP  
 117-06  
 117-12  
 CITY OF TUCSON DETAIL 21  
 BLOCKS 91-93; 195; 248; MILITARY PLAZA (COTALL)

