



### Special Districts Application

Expansion of existing bar into former bar & microbrewery space, and exterior modifications.

Application Stage:  Pre-application  Application

Permit Activity Number(s): T21CM08562 Case Number(s): RNA-DRB-22-01  
T21SA00548 HPZ-22-

Date Accepted: 1/12/2022

#### PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): Highwire Expansion

Property Address: 30 S. Arizona Ave. Tucson, AZ 85701

Pima County Tax Parcel Number/s: 117-06-195A

Current Zoning: ocr-2

Applicable Overlay Zone/Special District:

- Grant Road Investment District (GRID)     Main Gate District (MGD)     Rio Nuevo Area
- Historic Preservation Zone (HPZ)     Neighborhood Preservation Zone
- Infill Incentive District (IID)     Sunshine Mile District

Neighborhood Association (if any):

- PROJECT TYPE (check all that apply):
- Change of use to existing building/site
  - New building(s) on vacant land     New building(s) on developed land
  - New addition to existing building     Other:

Description of Proposed Land Use: Highwire expansion- Facade improvement of windows and door.

Number of Buildings and Stories/Height of Proposed Structure(s): 1 building, 1 story/22' existing height.

Total Site Area (sq ft): 12,210 SF Total Gross Floor Area of Proposed Building(s) (sq ft): 4,709 SF

#### HISTORIC STATUS

- Site is within a:     Historic Preservation Zone    Please List:
- National Register District    Please List: **Downtown National Register**
- Site is/includes:     Contributing structure(s)     Non-contributing structure(s)
- Is adjacent to a contributing structure     Vacant

#### APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Jose Ceja

- ROLE:     Property owner     Architect     Engineer     Attorney     Developer
- Other: \_\_\_\_\_

EMAIL: jose@exaarchitects.co PHONE: 520.440.4941

ADDRESS: 4544 E. Camp Lowell Dr., #146

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): Jose Ceja

EMAIL: jose@exaarchitects.co PHONE: 520.440.4941

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT\*

*\*\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization*

Date: 1/6/2024



**HIGHWIRE**  
TUCSON

## HIWIRE BAR & LOUNGE EXPANSION

30 S. ARIZONA AVE. TUCSON, AZ 85701

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12/17/21

To whom it may concern,

As owner of the parcel that includes 30 S Arizona Avenue, I grant permission for the addition of the new glass roll up door, man door and the four glass windows. Please contact me if you have any questions. We are pleased with the improvements Highwire is installing to the Gibson's downtown buildings and the positive impact to our historic district.

Thank you,

A handwritten signature in black ink, appearing to read "Steve Gibson", enclosed within a circular scribble.

Steve Gibson

Gibson Family LLC,

520-403-7804

[steve@stevegibson.com](mailto:steve@stevegibson.com)



4544 East Camp Lowell Suite #146  
Tucson, Arizona 85712  
520-877-3177 phone  
520-457-5830 fax  
www.exaarchitects.com

December 6, 2021

From Jose Ceja  
Exa Architects Inc.  
520.440.4941

RE: T21CM08562  
Highwire Expansion Façade  
30 S. Arizona Ave, Tucson AZ. 85701

Parcel: 117-06-195A

**Project Statement:**

Highwire Expansion Façade – improvements requested are intended to support the continued evolution of this vibrant urban development in downtown Tucson, Arizona.

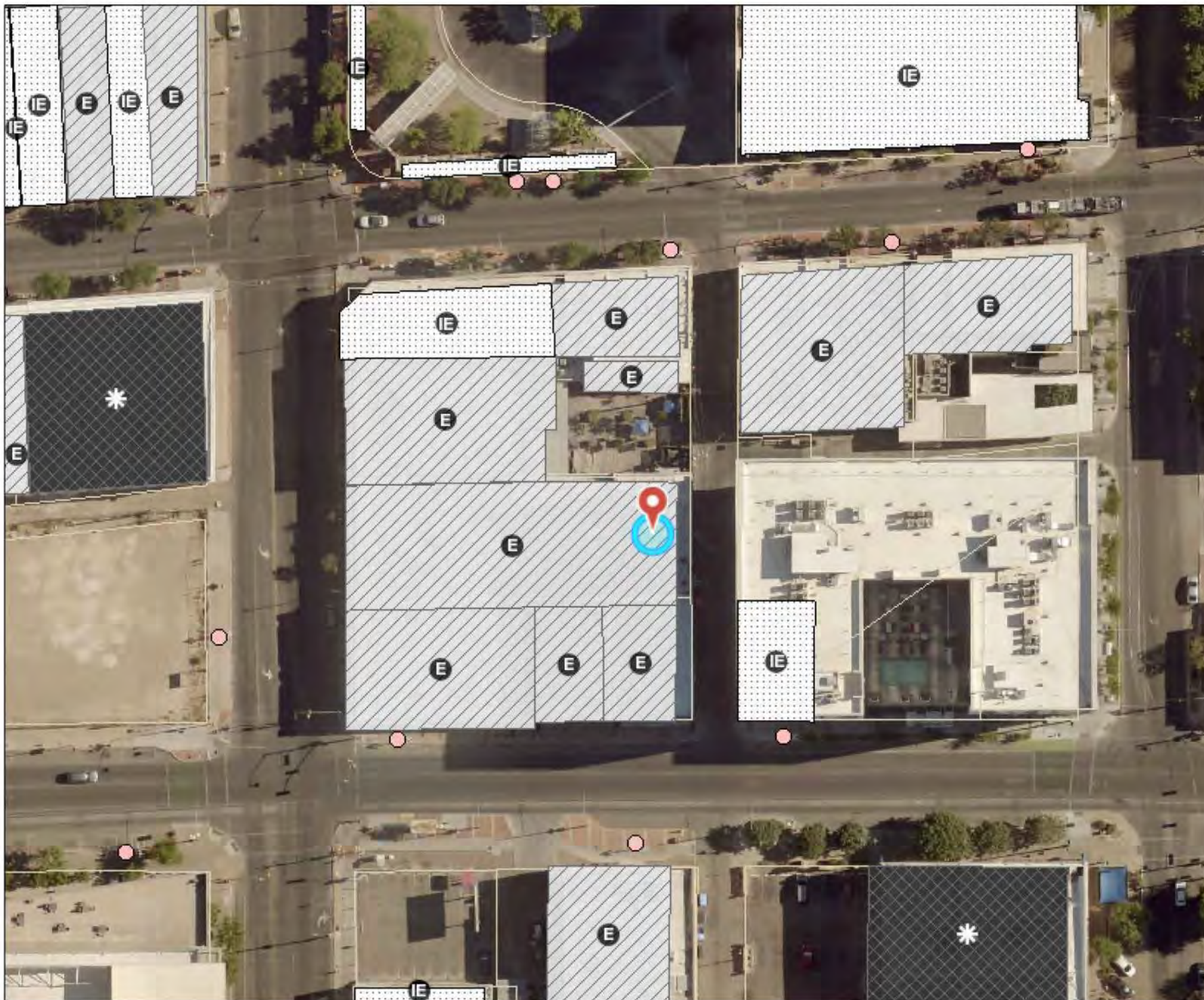
The new windows and operable door are to match the façade of the existing Highwire. The façade faces east towards Arizona street. The windows are currently boarded up and will be replaced with glass to allow natural light to enter the building. Due to the surrounding structures, the building will receive indirect sunlight as the space is mostly shaded throughout the day. The roll up garage style door will allow a transition between the outdoors and indoors for natural ventilation. The current door opening will be enclosed with brick below the roll up door to match the existing façade preventing egress. The door will also allow us to keep the current window frame size to honor the original design geometry of the historical building.

If you have any questions, please contact me at [Jose@exaarchitects.com](mailto:Jose@exaarchitects.com) or 520.440.4941.

Thank you,

Jose Ceja

A handwritten signature in blue ink, appearing to read "Jose Ceja", written over the typed name.



# Legend

- |                              |                        |
|------------------------------|------------------------|
| <b>Historic Streetlights</b> | No Data                |
| Historic Wall Mount          | Demolished Contributor |
| Original                     | Demolished             |
| Reproduction                 | Demolished             |
| <b>Historic Properties</b>   | Vacant                 |
| Listed                       | Outside of HD          |
| Listed and Local             | Parcels                |
| Contributor                  |                        |
| Eligible                     |                        |
| Ineligible                   |                        |
| Non-Contributor              |                        |

1: 1,128



0.0 0 0.02 0.0 Miles  
 WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © City of Tucson

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 THIS MAP IS NOT TO BE USED FOR NAVIGATION



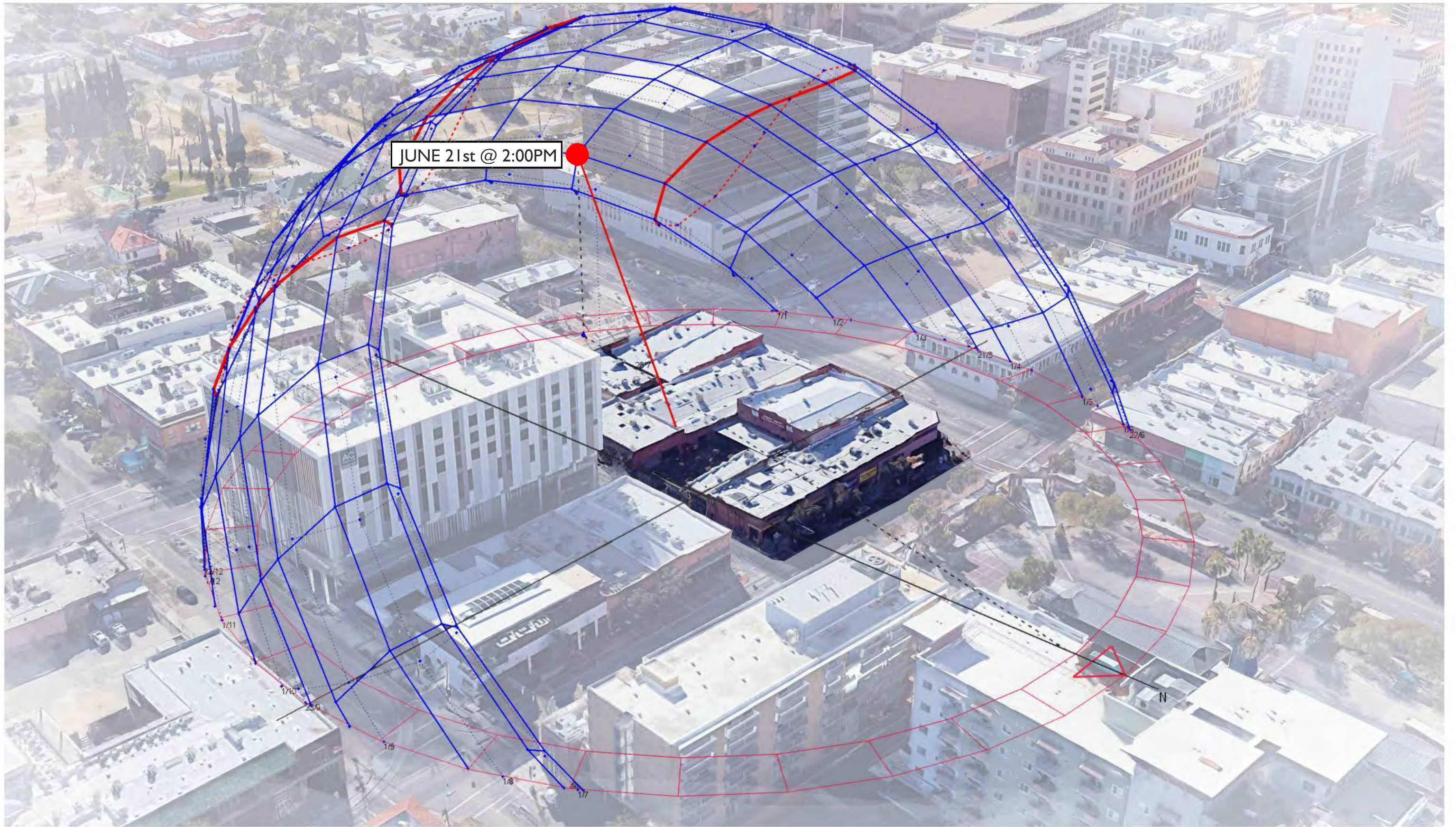
**HIGHWIRE BAR LOUNGE**  
 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701  
 PARCEL: 117-06-1910  
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

## DEVELOPMENT ZONE



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 c: 520.440.4941  
 f: 520.457.5830



JUNE 21st @ 2:00PM



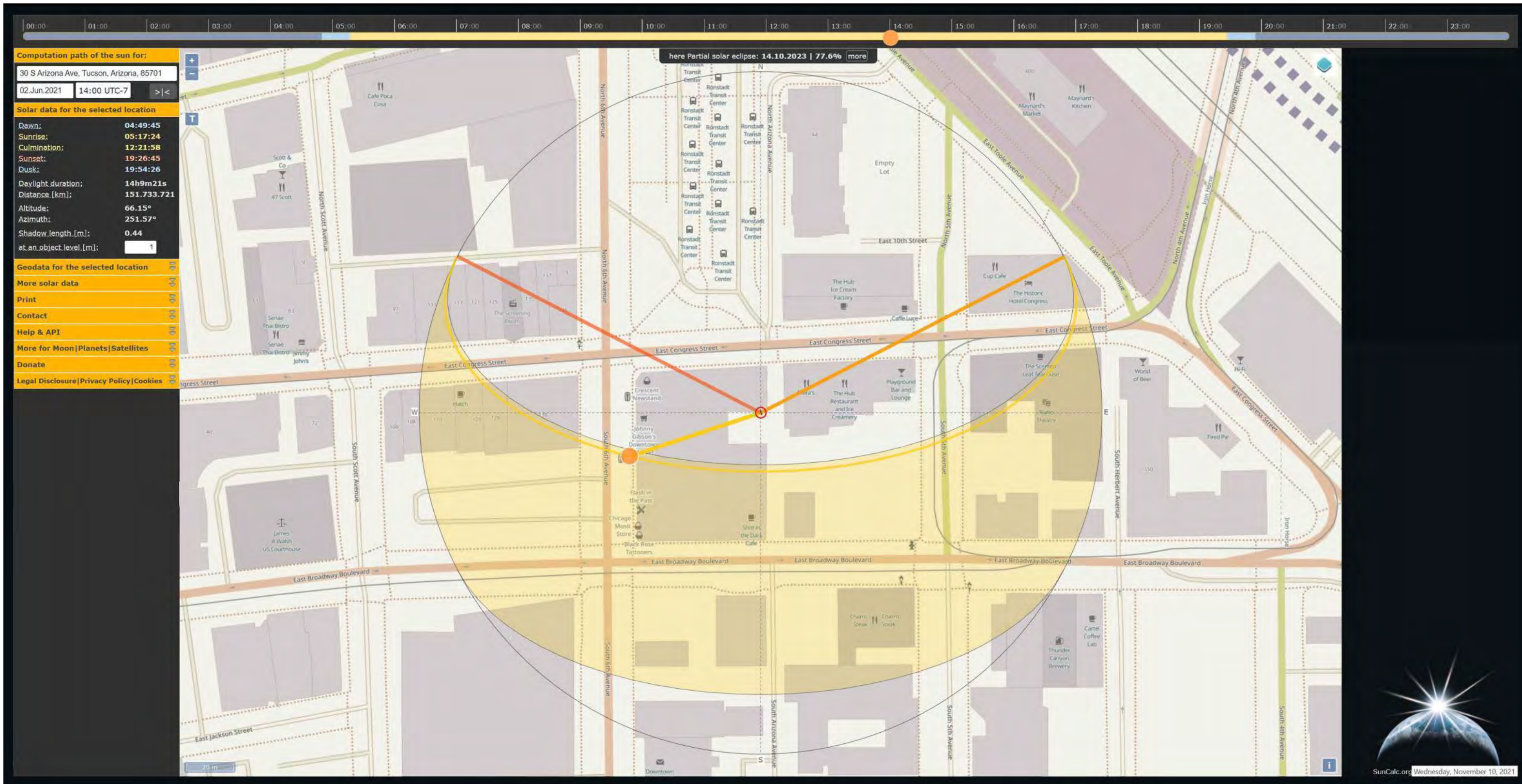
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 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701  
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 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

SUN STUDY



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**HIGHWIRE BAR LOUNGE**  
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SUN CALCULATOR - <https://www.suncalc.org/>



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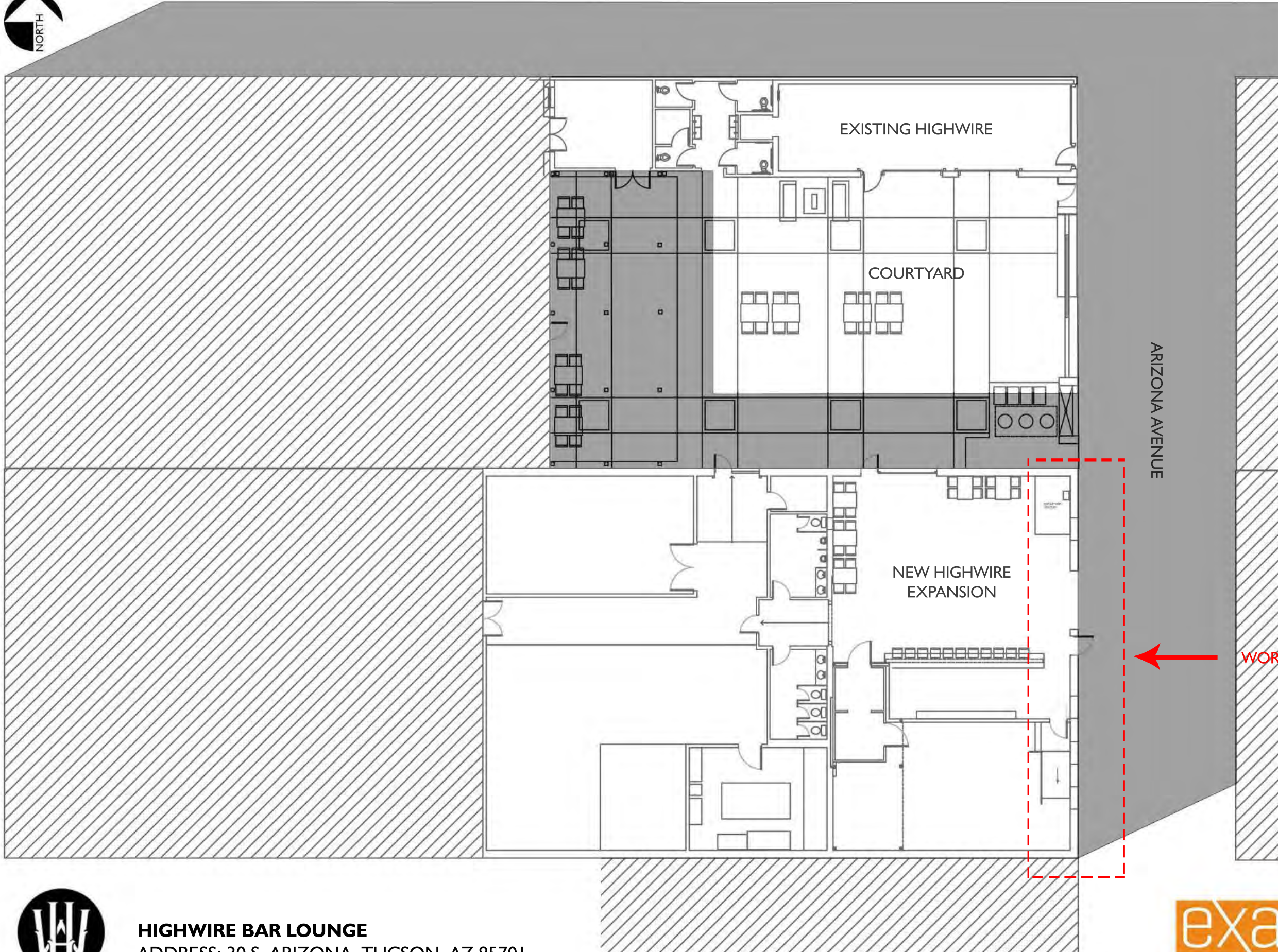
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SIDEWALK AREA = 11,749 SQ FT  
SHADED AREA = 8,207 SQ FT

PERCENTAGE OF  
SIDEWALK IN SHADE = 70%

6TH AVENUE



ARIZONA AVENUE

WORK AREA



**HIGHWIRE BAR LOUNGE**  
ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701  
PARCEL: 117-06-1910  
LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

SHADE STUDY ANALYSIS



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# HIGHWIRE FACADE

30 S. ARIZONA AVE., TUCSON, AZ 85701



Expires 03.31.22

REVISIONS:

## ABBREVIATIONS LIST:

AC	AIR CONDITIONING
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALLUM	ALUMINUM
AMP	AMPERAGE
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BOB	BOTTOM OF BEAM
BOC	BOTTOM OF CEILING
BOH	BOTTOM OF HEADER
BOS	BOTTOM OF SOFFIT
CAB	CABINET
CD	CONDENSATE DRAIN
CKT	CIRCUIT
CLG	CEILING
CLR	CLEAR/CLEARANCE
CM	CONSTRUCTION MANAGER
CMNT	CEMENT
CMU	CONCRETE MASONRY UNIT
CNTRS	CENTERS
CO	COMPANY
CL	CENTER LINE
CTR	CENTER
COL	COLUMN
COMP	COMPARTMENT
CONC	CONCRETE
CONT	CONTINUOUS
CONST	CONSTRUCTION
CJ	CONTROL JOINT
CR	CORNER
DA	DIAMETER
DM	DIMENSION
DISP	DISPENSER
DN	DOWN
DT	DRIVE THRU
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWINGS
EACH	EACH
EC	ELECTRICAL CONTRACTOR
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXBT	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FCO	FLOOR CLEANOUT
FR	FINISHED
FRXT	FRITURE
FLEX	FLEXIBLE
FOIC	FURNISHED BY OWNER
FLR	FLOOR
FT	FOOT/FEET
FR	FIRE
FRRT	FIRE RETARDANT TREATED
FR	FIRE RATED
FCR	FINISH CONCRETE ELEVATION
GA	GAUGE
GWB	GYPSUM WALL BOARD
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GRND	GROUND
HM	HOLLOW METAL
HDR	HEADER
HORZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING VENTILATING AIR CONDITIONING
HW	HOT WATER
INSUL	INSULATION
INFO	INFORMATION
LAND	LANDSCAPE
LX	LAMP
MC	MECHANICAL CONTRACTOR
MECH	MECHANICAL
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MIN	MINIMUM
MFR	MANUFACTURE
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
PC	PLUMBING CONTRACTOR
PMB	PRE ENGINEER METAL BUILDING
PLYWD	PLYWOOD
PM	PROJECT MANAGER
R	RADIUS
RECEPT	RECEPTACLE
REF	REFRIGERATOR
REV	REVISION
RND	ROUND
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SH	SIMILAR
SOL	SOLID
SPECS	SPECIFICATIONS
SQ	SQUARE
SS	STAINLESS STEEL
STRUCT	STRUCTURAL
STL	STEEL
SUSP	SUSPENDED
T&G	TONGUE AND GROOVE
TEL	TELEPHONE
TEMP	TEMPORARY
TYP	TYPICAL
UC	UNDER COUNTER
UNO	UNLESS NOTED OTHERWISE
V	VENT
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
WD	WOOD
WH	WATER HEATER

## GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE CITY, COUNTY AND STATE CODES CONFORM TO THE INDUSTRIAL COMMISSION OF THE ARIZONA 'GENERAL CONSTRUCTION SAFETY CODE' AND OSHA REQUIREMENTS. REQUIRE ALL SUBCONTRACTORS TO COMPLY WITH THESE REQUIREMENTS.
- CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL CONDITIONS AND BRING ANY DISCREPANCIES FROM THE DRAWINGS TO THE ARCHITECTS ATTENTION PRIOR TO BIDDING/CONSTRUCTION.
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK, VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS & MATERIALS TO ENSURE THEIR INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
- PROVIDE TWO YEARS GUARANTEE FOR MATERIALS AND WORKMANSHIP.
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECTS ATTENTION. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS FOR INTERIOR WALLS USUALLY ARE TO CENTER LINE OF WALL UNLESS OTHERWISE NOTED.
- DETAILS ARE USUALLY KEYED ONCE ON THE PLANS OR ELEVATIONS AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AS WELL AS REMOVE DEBRIS AND MATERIALS COMPLETELY FROM SITE UPON COMPLETION OF WORK. MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
- ALL DRYWALL SURFACES TO RECEIVE TAPE, TEXTURE AND PAINT. DO NOT USE PAINTS, PRIMERS, SEALERS OR GLUES THAT EMIT FLAMMABLE, TOXIC OR NOXIOUS FUMES. EACH TRADE SHALL BE RESPONSIBLE TO VERIFY THE MATERIALS TO BE USED AND COMPLY WITH THE MANUFACTURER'S WRITTEN INSTRUCTION FOR THEIR USE AND/OR INDUSTRIAL ASSOCIATION STANDARDS.
- FRAMING CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS FOR BACKING AND/OR BLOCKING REQUIRED FOR MOUNTING MILLWORK. SPECIAL EQUIPMENT AND OTHER ITEMS.
- CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION DAMAGED BY THIS WORK AND AS REQUIRED TO MATCH EXISTING UNDAMAGED FINISHES.
- CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON NEW DOORS AND PROVIDE TWO SETS OF KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNERS/TEENANT.
- HEIGHT OF BUILDING ADDRESS TO BE 24', MADE VISIBLE FROM STREET.

## PROPERTY INFORMATION

MAIL NAME AND ADDRESS:  
PARCEL: # 117-06-195A  
CITY OF TUCSON  
REAL ESTATE DIVISION  
ATT: GIBSON FAMILY LLC  
5211 N CALLE LA CIMA  
TUCSON AZ 85718-4808  
ZONING: OCR-2

## LEGAL DESCRIPTION:

TUCSON LOT 10 BLK 92 (CREATED IN MISC BK 14 PG 336)

## SCOPE OF WORK

THE SCOPE OF THIS PROJECT IS A TENANT IMPROVEMENT IN AN EXISTING BAR. THE BUILDING IS TO REMAIN AS IS WITH WINDOW AND DOOR REPLACEMENT.

## DEFERRED SUBMITTALS

SPRINKLER SYSTEM

## CODE REVIEW CHECKLIST

CITY OF TUCSON DEVELOPMENT SERVICES

JOB ADDRESS: 30 S. ARIZONA, TUCSON, AZ, 85701 ARCHITECT: EXA ARCHITECTS  
SIGNATURE: JOSE CEJA DATE: 1/11/2022

CODE ANALYSIS DATA  
TO FACILITATE PLAN REVIEW, ATTACH COMPLETED COPY TO APPLICATION/DRAWINGS  
Summary of Governing Regulations

Code	Title	Edition	Local Amendments
Building Code	IBC	2018	YES
Accessibility Code	IBC / ANSI	2009	YES
Mechanical Code	IMC	2018	YES
Electrical Code	NEC	2017	YES
Plumbing Code	IPC	2018	YES
Fire Prevention Code	IFC	2018	YES
Zoning Code	UDC	2013	-
Energy Conservation Code	IECC	2018	YES
International Fuel Gas Code	IFGC	2018	YES
Int. Existing Building Code	IEBC	2018	YES

General Building Summary

Height and Area	Occupancy Group(s)	Type of Construction	Sprinkler	Building Area (sq ft)	Building Height (# of Stories)
EXISTING	A-2	V-B	YES	12,210 SF TI SPACE 4,709 S.F.	24,000 SF TO REMAIN 26'-0"

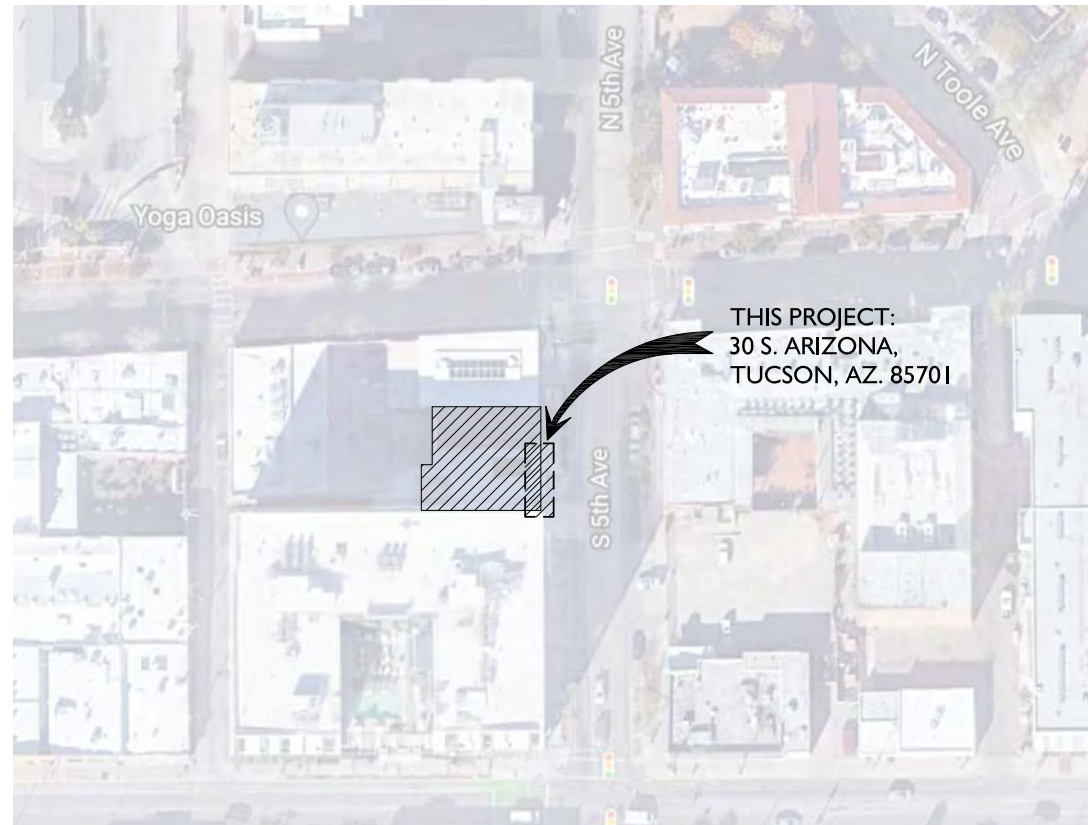
Allowable Area Calculation  
(Provide additional calculations for each building or separated use)

Area Modifications (IBC 506): THIS PROJECT ONLY- TYPE A-2 OCCUPANCY  
Allowable Area per Floor (Aa) 24,000 S.F.

Occupant Load and Existing  
THIS PROJECT ONLY- TYPE A-2 OCCUPANCY  
TOTAL OCCUPANCY-DINING OPEN SPACE 1295/15 = 86.33, BACK OF HOUSE 1305/200 = 6.5, RESTROOM 416/300 = 1.3. TOTAL OCCUPANTS 94.13 = 95 OCCUPANTS  
Number of Exits and exit widths required: (2) EXITS REQ'D - (3) PROVIDED: 95x20 = 19' REQ'D EXIT WIDTH, 108" PROVIDED

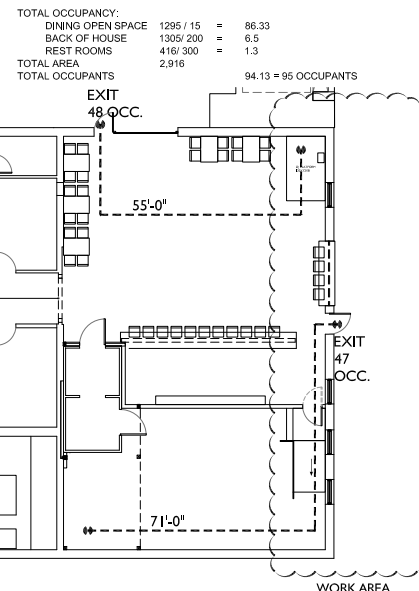
exit signs = provided and lighted  
panic hardware - provided  
corridor protection-ris

Plumbing Fixture Calculations  
Minimum Plumbing Facility (See table 2902.1)  
THIS PROJECT ONLY- TYPE A-2 OCCUPANCY  
WC- 1 per 75. 1 required for each sex: 1 F & 1 M provided  
Lavs - 1 per 200. 1 for each sex required, 1 F & 1 M provided  
Service Sink - 1 required and 1 provided.  
Drinking Fountains - 1 required and 1 provided (point of use dispenser)  
Per IPC410.1 where water is served in restaurants or where bottled water coolers are provided, drinking fountains shall not be required. Drinking fountains and Water Coolers to comply with ADA 309.4 and ADA 602.3



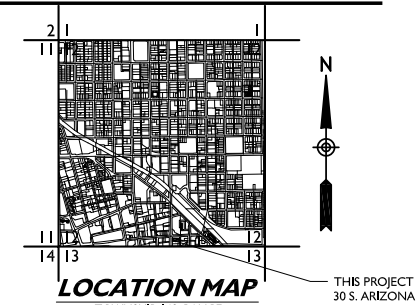
## SITE PLAN

SCALE: 1" = 20'



## EXITING PLAN

SCALE: 3/32" = 1'-0"



## LOCATION MAP

3" = 1 MILE

## CONTACTS

ARCHITECT: EXA ARCHITECTS  
4544 E CAMP LOWELL SUITE 146  
TUCSON, AZ 85712  
P. 520-877-3177  
CONTACT: JOSE CEJA

OWNER: PP TWO INC.  
LAS MARGARITAS  
6011 N. ORACLE RD.  
TUCSON, AZ 85704-5309

STRUCTURAL: JIM GALVIN, P.E.  
STRUCTURAL ENGINEER PLLC  
11441 N. INGOT LOOP,  
ORO VALLEY, AZ 85737  
PHONE: 520-982-7423

PLUMBING: PH MECHANICAL ENGINEERING  
335 N. WILMOT RD., #460  
TUCSON, AZ 85711  
P. 520-731-206  
CONTACT: ERIC HEIN

ELECTRICAL: STEVE MARKER  
MARKER ENGINEERING, LLC  
9644 E. PASEO SAN BERNARDO  
TUCSON, AZ 85747  
P. 520-812-9419  
CONTACT: STEVE MARKER

CONTRACTOR: TBD

## SHEET INDEX

ARCHITECTURAL:  
A1.0 GENERAL INFORMATION & CODE REVIEW CHECKLIST.  
A2.0 DEMO FLOOR PLAN, FLOOR PLAN, & EXTERIOR ELEVATION.

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Project 21111  
Date 1.11.2022  
Scale Noted

Sheet:

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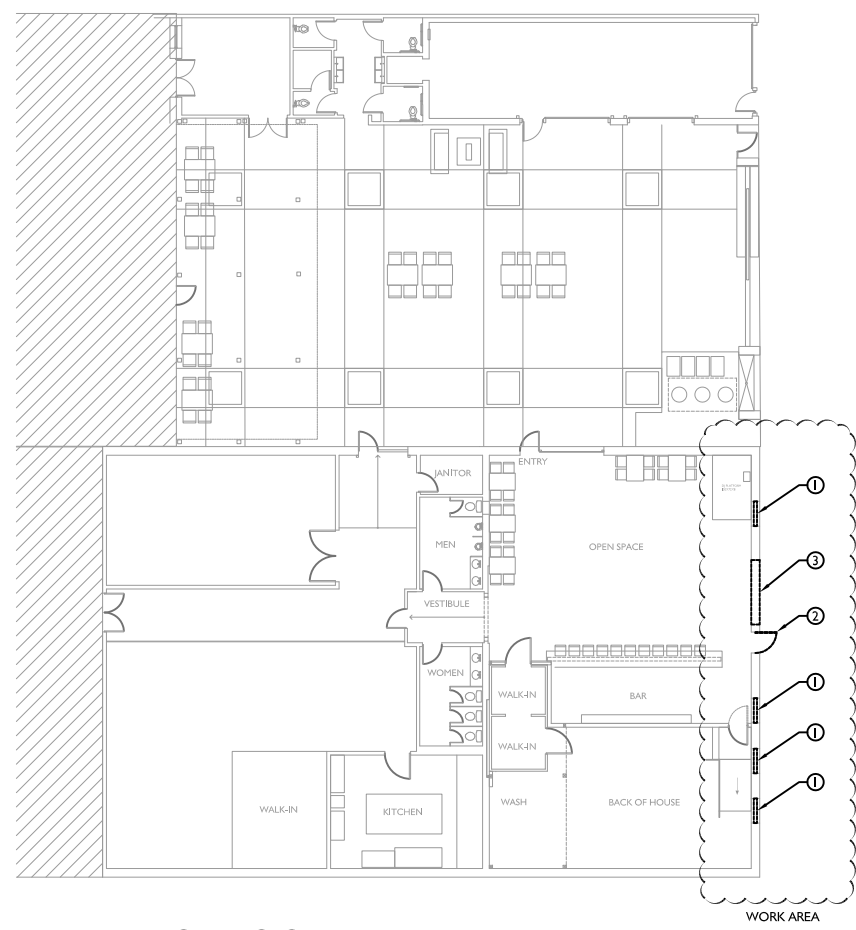
NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



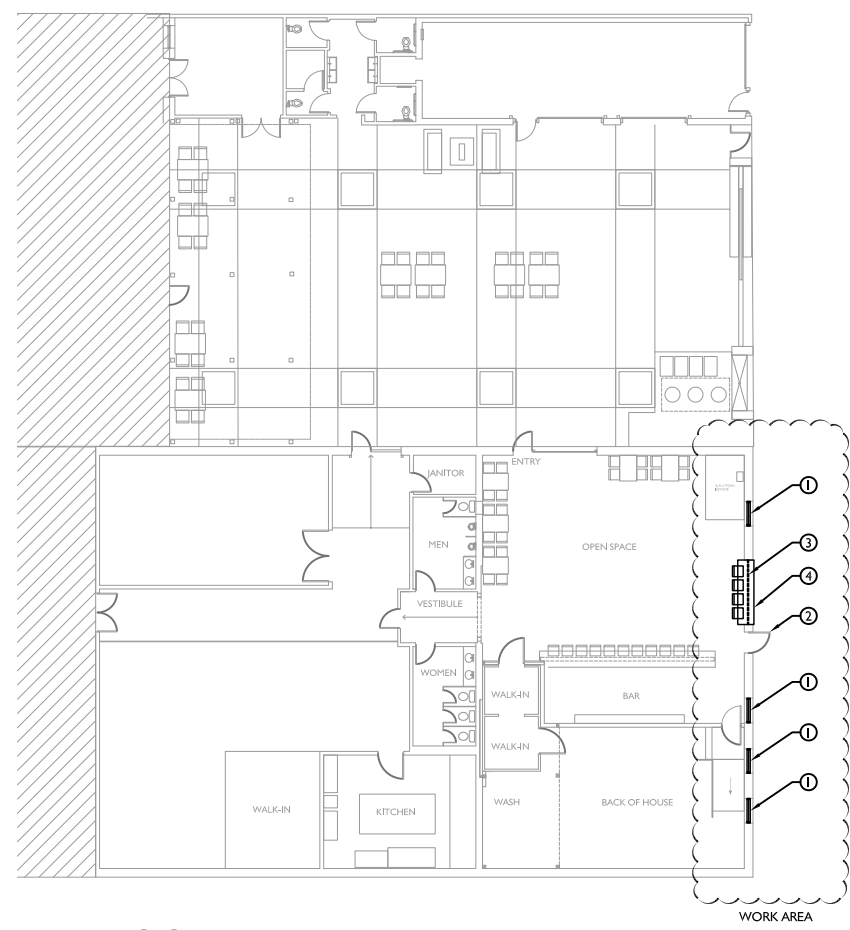
Expires 03.31.22  
REVISIONS:

**KEYNOTES: Ⓢ**

1. REPLACE 4 BOARDED UP WINDOWS WITH GLASS PANES, FIXED WINDOWS.
2. REPLACE ENTRY DOOR TO MATCH HIGHWIRE BUILDING 14 S.
3. REPLACE WOOD DOOR WITH ROLL-UP GARAGE WINDOW TO MATCH EXISTING HIGHWIRE BUILDING 14 S.



**DEMO FLOOR PLAN**  
SCALE 1/8" = 1'-0"

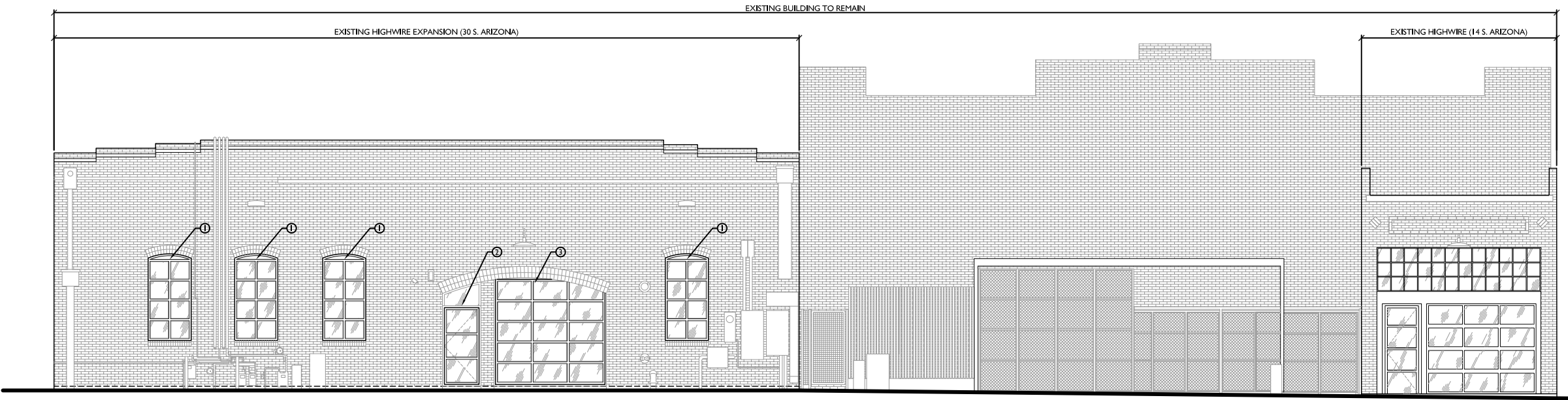


**FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**DEMO FLOOR PLAN, FLOOR PLAN,  
& ELEVATION**

**HIGHWIRE**  
30 S. ARIZONA AVE.  
TUCSON, AZ 85701

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.



**EAST ELEVATION 'A'**  
SCALE 1/4" = 1'-0"

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Project 21111  
Date 1.11.2022  
Scale Noted

Sheet:

**A2.0**

- Address Range Search
- Parcel Search
- Activity Search
- Map Search



- FAQ
- Disclaimer

## Permit Review Details

Permit: T21CM08562  
 Parcel: 11706195A

Addresses:  
 30 S ARIZONA AV

Review Status: **Completed**

### Review Details

Show 10 entries Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
11/9/2021	ROBERT SHERRY	WATER	REVIEW	Completed	None
11/9/2021	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Passed	None
11/9/2021	ROBERT SHERRY	MECHANICAL-COMMERCIAL	REVIEW	Reqs Change	Show how the new fenestration complies with Sections C402.1.5, C402.2.4.3, or C407, IECC 2018. Reference: Section CS03.3.2, IECC 2018.
11/15/2021	ERIC NEWCOMB	BUILDING-COMMERCIAL	REVIEW	Approved	None
11/16/2021	JPEELDA1	FIRE	REVIEW	Approved	None
11/17/2021	NROSS1	COMMERCIAL IMPACT FEE	COMMERCIAL IMPACT FEE PROCESSING	Completed	None
11/17/2021	NICHOLAS ROSS	ZONING	REVIEW	Reqs Change	P&DS TRANSMITTAL  FROM: Nick Ross  PROJECT: T21CM08562 Highwire Façade - 30 S. Arizona  TRANSMITTAL: November 17, 2021  COMMENTS: the following comments are relative to a project located within the Rio Nuevo Area.  This project is located within the Rio Nuevo Area and any exterior work must first be approved by the Design Review Board.  Additionally, please correct the project location map.  Please contact Maria.Gayosso@tucsonaz.gov for further information.
11/17/2021	NROSS1	ENGINEERING	REVIEW	Passed	None
12/1/2021	DAN SANTA CRUZ	ELECTRICAL-COMMERCIAL	REVIEW	Passed	None

Showing 1 to 9 of 9 entries

Previous 1 Next



**HIGHWIRE BAR LOUNGE**  
 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701  
 PARCEL: 117-06-1910  
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92



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RENDERING #1

**exa** ARCHITECTS

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RENDERING #2

**exa** ARCHITECTS

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NEW EXPANSION

NEW WINDOWS AND DOORS TO MATCH EXISTING HIGHWIRE BUILDING MATERIALS.



EXISTING HIGHWIRE



NEW ROLL UP DOOR TO MATCH EXISTING HIGHWIRE



DOOR TO MATCH EXISTING HIGHWIRE WITH ARCHED WINDOW ABOVE



STEEL/WINDOWS TO MATCH EXISTING HIGHWIRE ADAPTED TO ARCH

SAMPLES OF PROPOSED MATERIALS

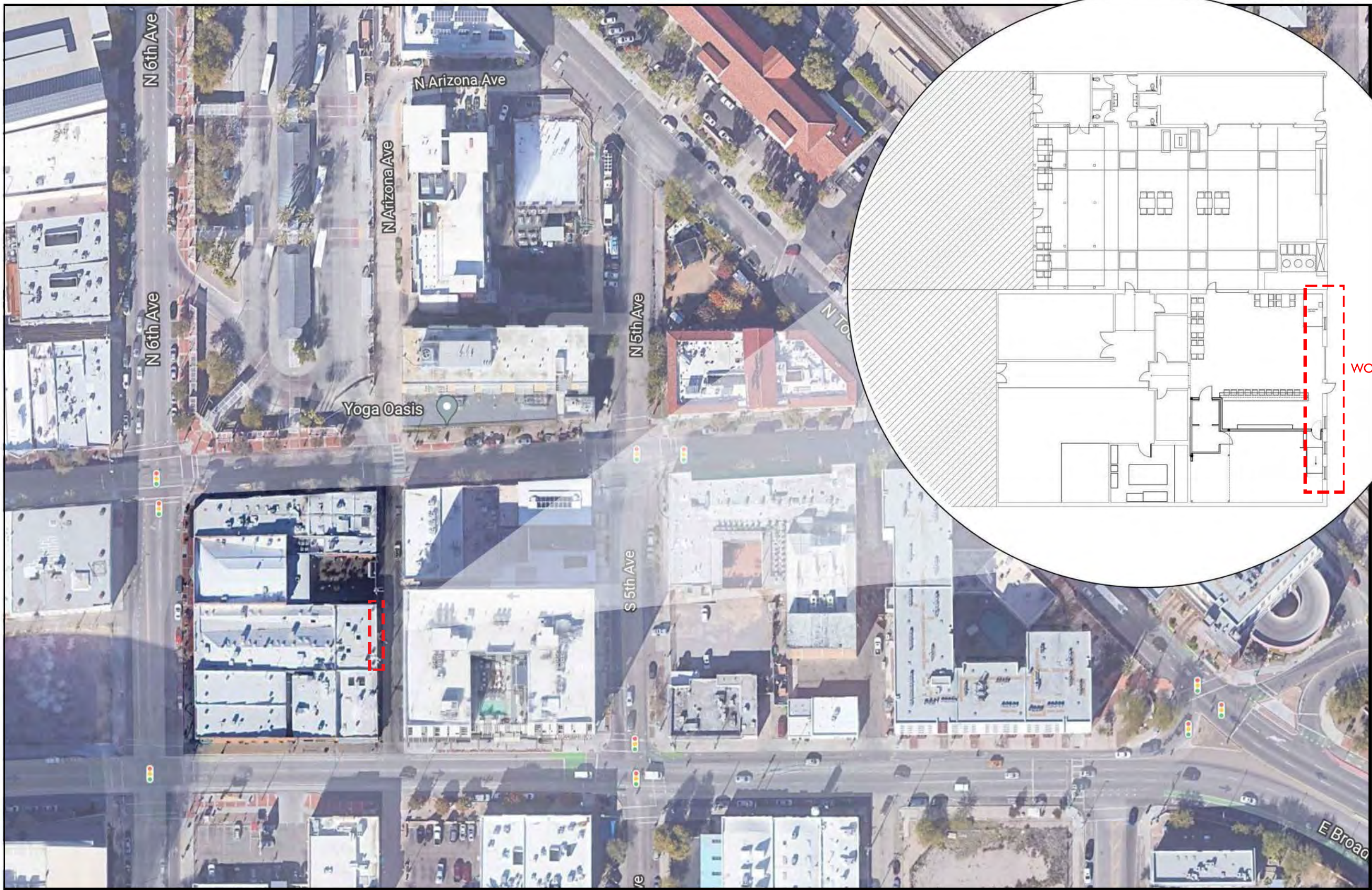


**HIGHWIRE BAR LOUNGE**  
 ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701  
 PARCEL: 117-06-1910  
 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92



4544 E. Camp Lowell Dr., #146  
 Tucson, AZ 85712  
 www.exaarchitects.com

o: 520.877.3177  
 c: 520.440.4941  
 f: 520.457.5830



AERIAL PHOTOGRAPH



**HIGHWIRE BAR LOUNGE**  
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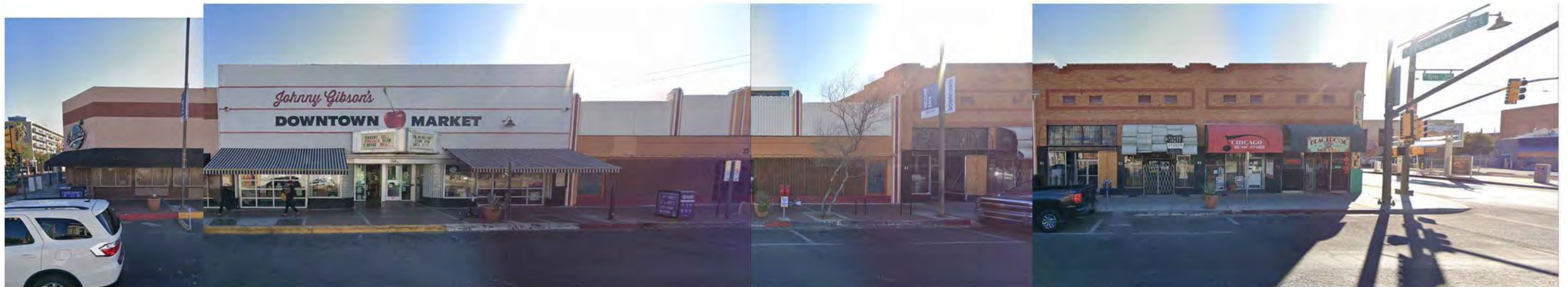


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EAST



WEST

SITE CONTEXT PHOTOS



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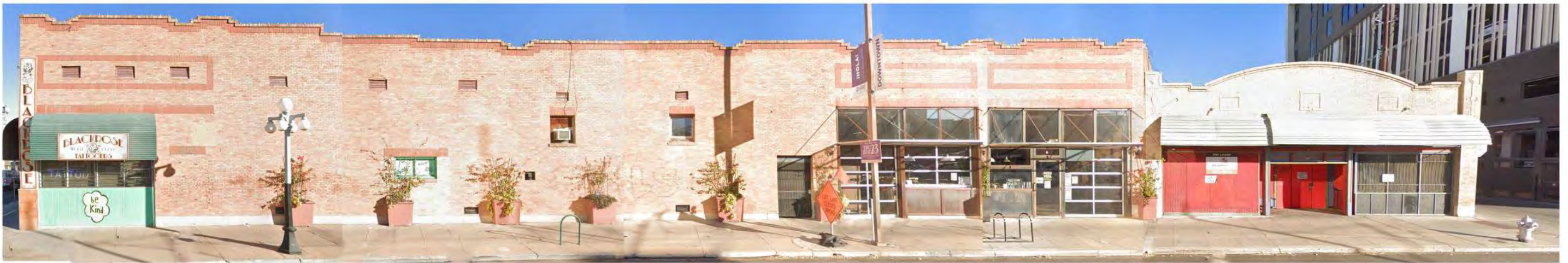
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NORTH



SOUTH

SITE CONTEXT PHOTOS



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 LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

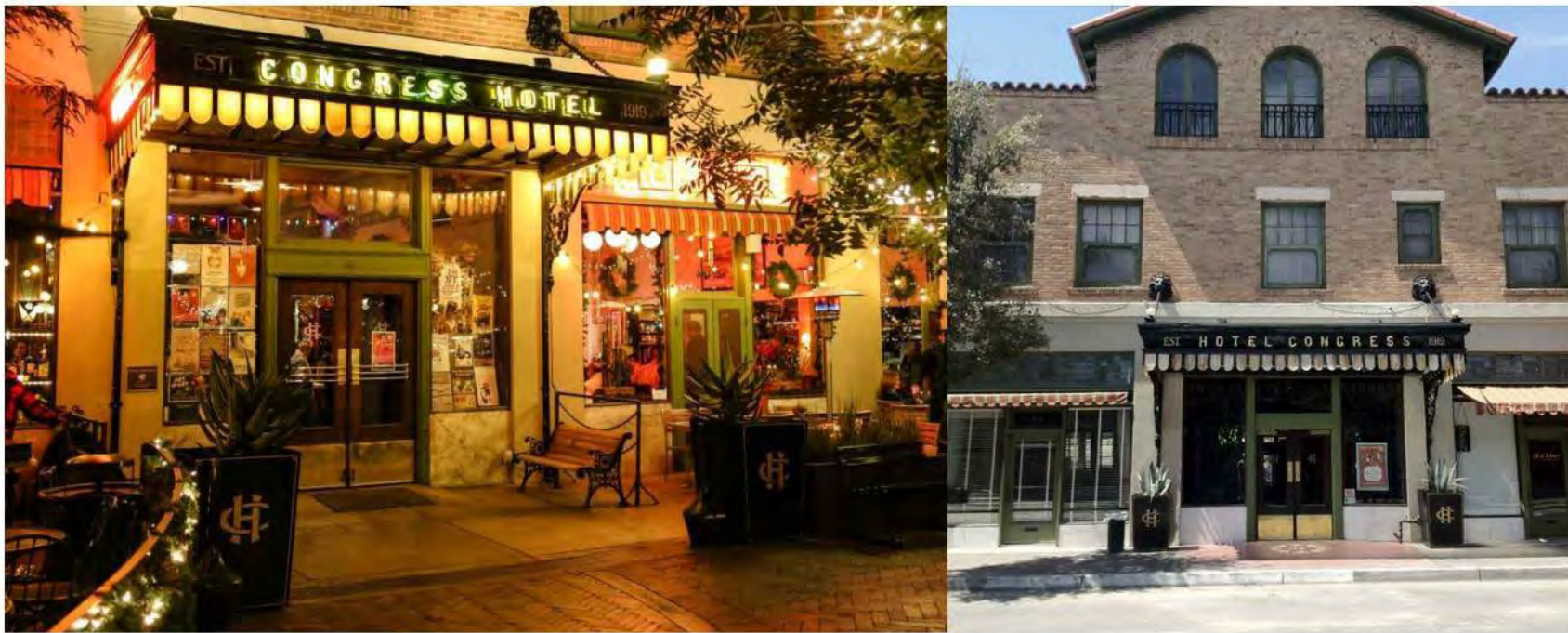


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THE BUFFET - BAR  
538 E 9th St, Tucson, AZ 85705



HOTEL CONGRESS - HOTEL, RESTAURANT, ENTERTAINMENT VENUE, AND BAR  
311 E Congress St, Tucson, AZ 85701



CHE'S LOUNGE - BAR  
350 N 4th Ave, Tucson, AZ 85705



**HIGHWIRE BAR LOUNGE**  
ADDRESS: 30 S. ARIZONA, TUCSON, AZ 85701  
PARCEL: 117-06-1910  
LEGAL: TUCSON LOT 7 & FRACTION LOT 6 BLK 92

PRECEDENT EXAMPLES



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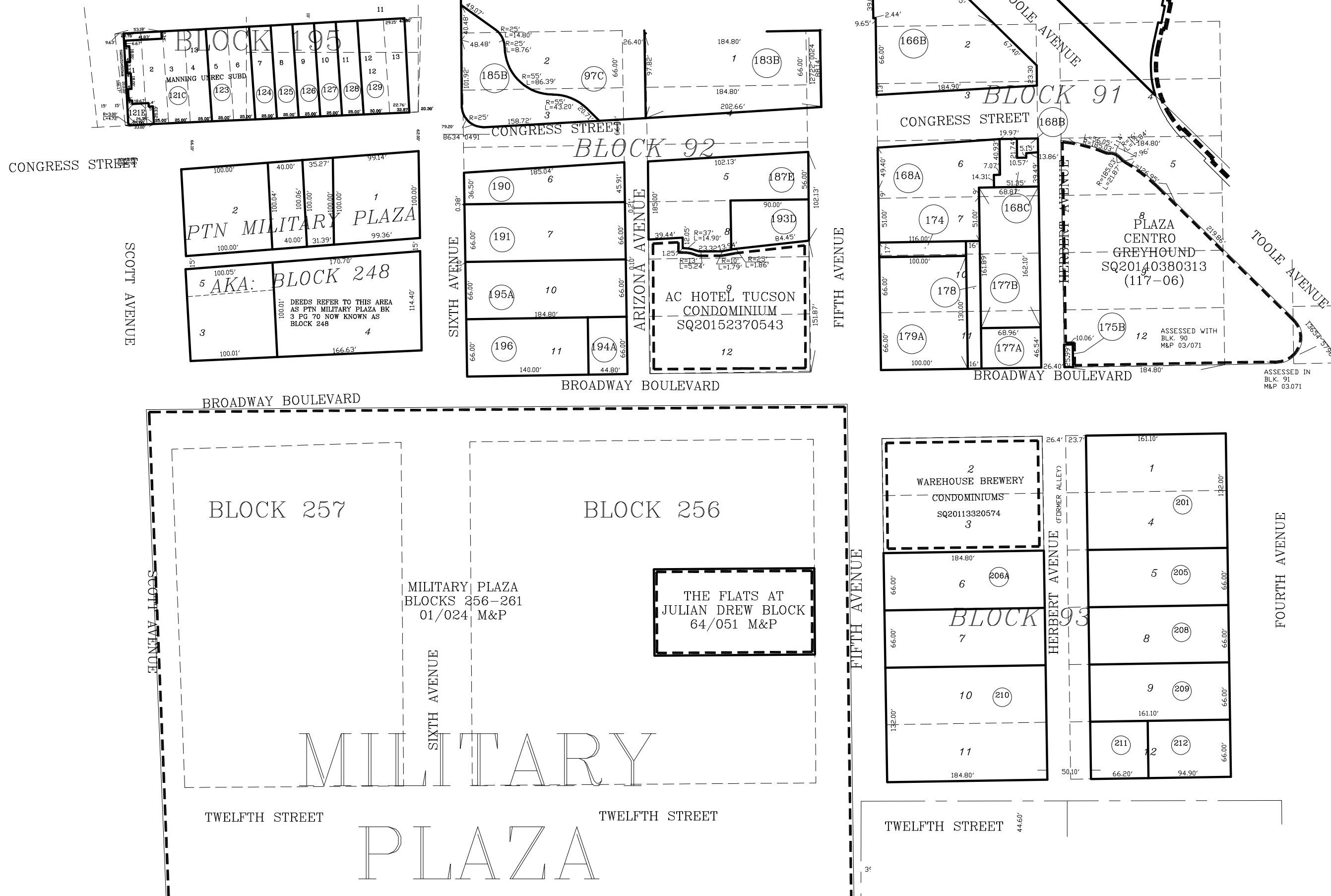
ASSESSOR'S RECORD MAP

(COTALL)

117-06  
117-12

CITY OF TUCSON DETAIL 21

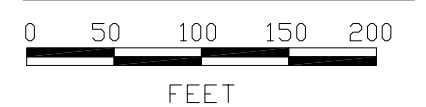
BLOCKS 91-93; 195; 248; MILITARY PLAZA



SEE BOOK 03 PAGE 070 M&P  
SEE BOOK 03 PAGE 071 M&P  
2020-1

S13,T14S,R13E

:\COT\_ALL\COT\_D021-10/22/19



pima  
county  
assessor

**Property Address**

Street Number	Street Direction	Street Name	Location
33	S	6TH AV	Tucson
30	S	ARIZONA AV	Tucson

**Contact Information**

Property Owner Information:	Property Description:
CITY OF TUCSON REAL ESTATE DIVISION ATTN: GIBSON FAMILY LLC 5211 N CALLE LA CIMA 85718-4808	TUCSON LOT 10 BLK 92 (CREATED IN MISC BK 14 PG 336)

**Valuation Data**

**Property Appraiser: Sarah Rushing Phone:**

Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2021	COMMERCIAL (1)	18.0	\$219,668	\$686,182	\$905,850	\$747,779	\$134,600
2022	COMMERCIAL (1)	18.0	\$219,668	\$686,061	\$905,729	\$785,168	\$141,330

**Property Information**

<b>Township:</b>	14.0	<b>Section:</b>	12	<b>Range:</b>	13.0E
<b>Map:</b>	3	<b>Plat:</b>	71	<b>Block:</b>	092
<b>Tract:</b>		<b>Land Measure:</b>	12,197.00F	<b>Lot:</b>	00010
<b>Census Tract:</b>	100	<b>File Id:</b>	1	<b>Group Code:</b>	
<b>Use Code:</b>	9710 (MUNICIPAL RESIDENTIAL PROPERTY )			<b>Date of Last Change:</b>	2/13/2020

**Valuation Area**

**District Supervisor: ADELITA GRIJALVA District No: 5**

DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	08021001	03071 DEL	30

**Recording Information (4)**

Sequence No.	Docket	Page	Date Recorded	Type
20162300272	0	0	8/17/2016	WTDEED
19862970653	7897	1497	10/24/1986	
96183016	10408	3217	10/25/1996	
92094893	9323	2682	6/30/1992	

# Commercial Characteristics

## Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	12,078	\$296,949	\$0	\$686,061

## Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1916	111/3	0000000	9,240	\$627,205	\$238,338	RETAIL STORE
002-001	1917	371/3	0000000	2,838	\$154,240	\$58,611	WAREHOUSE STORAGE

## Petition Information (2)

Tax Year	Owner's Estimate	Petition	Work Up
2007	\$220,000		
2002	\$90,000		

## Permits (10)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T19CM06981	CALT ~ ISSUED	11/13/2019		TUC	\$25,000	0	3/*				
<b>Description:</b> TI: ADDING NEW HOOD EQUIPMENT											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	01/29/2015		40
<b>Description:</b> BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	07/16/2015		80
<b>Description:</b> BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	08/10/2015		80
<b>Description:</b> BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	08/14/2015		80
<b>Description:</b> BAR/DISTILLERY											
T14CM07237	CALT ~ FINAL	12/02/2014	09/10/2015	TUC	\$150,000	2,600	3/*	01/29/2015	09/18/2015		100
<b>Description:</b> BAR/DISTILLERY											
CSPEC13765	SPEC ~	04/21/2014	05/11/2014	ASR							
<b>Description:</b> Update Apex & photos to book/map											
T07BU02220	COTH ~ FINAL	11/13/2007	01/18/2008	TUC	\$36,985	0	3/*				0
<b>Description:</b> Add 211 re sprinklers											
T07CM03301	CALT ~ FINAL	09/20/2007	04/11/2008	TUC	\$75,000	8,827	3/*				0
<b>Description:</b> TI: ART SALES & STUDIO											
T05OT02835	COTH ~ C OF O	11/15/2005	11/21/2005	TUC	\$0	12,025	3/*				0
<b>Description:</b> C OF O											

## Notes (8)

<b>Created:</b> 2/13/2020 <b>Modi ed:</b> 2/13/2020	Miscellaneous Book 14 Page 336 established property line between Lots 6, 7 & 10 (1916) based on common wall
<b>Created:</b> 9/21/2018 <b>Modi ed:</b> 9/21/2018	2020N No change to use code 9710. No change to Land/IMP class 1/0. Renovations on going, Updated Photos in Book-Map
<b>Created:</b> 11/7/2016 <b>Modi ed:</b> 11/7/2016	TRCNo 1611122: City of Tucson-owned GPLET property Special Warranty Deed SQ20162300272
<b>Created:</b> 9/1/2016 <b>Modi ed:</b> 9/1/2016	2017S Sq20162300272 date recorded 8/17/2016 per 42-16258 use change 1120 > 9710 (229 taxable days 2016 )
<b>Created:</b> 8/14/2015 <b>Modi ed:</b> 9/18/2015	2016S No change to use code 1120. No change to Land/IMP class 1/0. Renovation for distillery ongoing. Updated Photos in Book-Map.
<b>Created:</b> 9/18/2015 <b>Modi ed:</b> 9/18/2015	2017N No change to use code 1120. No change to Land/IMP class 1/0. Updated CCS IMP 002, renovations complete. Updated APEX/Photos in Book-Map
<b>Created:</b> 1/30/2015 <b>Modi ed:</b> 1/30/2015	No change to use code 1120. No Change to Land IMP class 1/0. CCS IMP 002, under renovation, APROX 70 % complete. Updated APEX/ Photos in Book-Map
<b>Created:</b> 4/21/2014 <b>Modi ed:</b> 4/21/2014	Per FC 4/21/14. Update Apex & Photos to book/map

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Use continuation sheets where necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For properties identified through survey: Site No: 117-06-195A Survey Area: Downtown Tucson Historic District

Historic Name(s): Roberts-Reynolds Garage (Enter the name(s), if any that best reflects the property's historic importance.)

Address: 33 S. 6th Avenue City or Town: Tucson vicinity County: Pima Tax Parcel No.: 117-06-195A Township: 14S Range: 13E Section: 13 Quarter Section: NE Acreage: <1

Block: 92 Lot(s): 10 Plat (Addition): Tucson Townsite Year of plat (addition): 1871

UTM reference: Zone 12 Easting: 502984 Northing: 3564995 USGS 7.5' quad map: Tucson, Arizona

Architect: not determined known (source: )

Builder: not determined known (source: )

Construction Date: 1917 known estimated (source: Pima County Assessor)

STRUCTURAL CONDITION

- Good (well maintained, no serious problems apparent) Fair (some problems apparent) Poor (major problems; imminent threat) Describe: Ruin/Uninhabitable

USES/FUNCTIONS

Describe how the property has been used over time, beginning with the original use.

Historic COMMERCE/specialty store Current: COMMERCE/specialty store

Sources: Field observation, City Directories

PHOTO INFORMATION

Date of photo: 1/25/2012 View Direction (looking towards) East Negative No.: DSC07988



SIGNIFICANCE

To be eligible for the National Register of Historic Places, a property must represent an important part of the history or architecture of an area. Note: a property need only be significant under one of the areas below to be eligible for the National Register.

- A. HISTORIC EVENTS/TRENDS (On a continuation sheet describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)
- B. PERSON (On a continuation sheet describe how the property is associated with the life of a person significant in the past.)
- C. ARCHITECTURE (On a continuation sheet describe how the property embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or possesses high artistic values.)

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

INTEGRITY

To be eligible for the National Register, a property must have integrity, that is, it must be able to visually convey its importance. Provide detailed information below about the property’s integrity. Use continuation sheets if necessary.

- 1. LOCATION Original Site Moved (date\_\_\_\_) Original Site:\_\_\_\_\_
- 2. DESIGN (Describe alterations from the original design, including dates – known or estimated – when alterations were made) Façade altered to Art Deco in about 1940. In 2011, windows were altered and façade revitalized with paint. Transoms have been covered but essential form of windows are still evident. Shade canopy was already missing in 2011.
- 3. SETTING (Describe the natural and/or built environment around the property) Describe how the setting has changed since the property’s period of significance: Characteristic urban commercial setting. Surrounding buildings are mostly one- or two-stories tall with a few high-rise offices. Sidewalks enhanced with suburban landscaping and brick pavers.
- 4. MATERIALS (Describe the materials used in the following elements of the property)  
 Walls (structure): Brick Foundation: Concrete Roof: Rolled asphalt  
 Windows: Wood storefront What were they originally? n/a  
 Wall Sheathing: Stucco If sheathing altered, what was it originally? Exposed brick
- 5. WORKMANSHIP (Describe the distinctive elements, if any, of craftsmanship or method of construction)  
 Art Deco concrete pilasters bookend the storefront with inner pilasters only on the top half where structural columns are located as well as a double central ornamental pilaster. Additional concrete plaster corrugated detailing is located between the single pilasters. There is a ceramic tile spandrel below original display windows. Original entry doors survive.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

- Individually listed; Contributor Non-contributor to \_\_\_\_\_ Historic District
- Date Listed: \_\_\_\_\_  Determined eligible by Keeper of National Register (date: \_\_\_\_\_)

RECOMMENDATIONS OF ELIGIBILITY (opinion of SHPO staff or survey consultant)

- Property is is not eligible individually.
- Property is is not eligible as a contributor to a potential historic district.
- More information needed to evaluate.
- If not considered eligible, state reason:

FORM COMPLETED BY:

Name and Affiliation: Don W. Ryden, AIA - Ryden Architects, Inc.  
Mailing Address: 902 W. McDowell Rd, Phoenix, AZ 85007

Date: 15 Jan 2015  
Phone No.: 602-253-5381



**STATE OF ARIZONA**

**HISTORIC PROPERTY INVENTORY FORM  
CONTINUATION SHEET**

Name of property 33 S. 6<sup>th</sup> Ave., Tucson, AZ Continuation Sheet No. 1  
=====

A. HISTORIC EVENTS/TRENDS (describe how the property is associated either with a significant historic event, or with a trend or pattern of events important to the history of the nation, the state, or a local community.)

The Roberts-Reynolds Garage contributes to the significance of the Downtown Tucson for its association with the advent and growth of automobile travel during the 20<sup>th</sup> century. The transformation from its original Commercial style in 1917 to its Art Deco style in about 1940 mirrors the paradigm shift of automobile design from the boxy 1914 Model T Ford to the sleek 1935 Chrysler Air Stream. The business owners evidently used the popular trends in architecture to convey to customers that their automotive repair services were keeping up with the technology of the time. The remodeling of the façade clearly demonstrates the evolution of commercial architecture in response to commercial competition within the automobile zone (6<sup>th</sup> Avenue and Broadway Boulevard) of Downtown Tucson.

B. PERSON (describe how the property is associated with the life of a person significant in the past.)

None determined.

C. ARCHITECTURE (describe how the property embodies the distinctive characteristics of a type, period, or method of construction.)

As a Progressive-period commercial building remodeled with an Art Deco-style façade transitioning to the Modern period, it contributes to the evolving 20<sup>th</sup>-century urban character of the Downtown Tucson HD.

Single-story, box-like building with a historic-period Art Deco-style façade remodel. Typical one-part commercial block façade composition. Remodeled façade retains its essential components (piers, storefronts, upper wall, and parapets) of the original Commercial-style massing and openings. Recessed entrance and storefront pattern convey traditional approach to retail store design.

Outbuildings: (Describe any other buildings or structures on the property and whether they may be considered historic.)

None.