

From: Taylor Hall, PM Design Group Inc.
Architect: Ken McCracken, Architect
1101 S. Central Expy., Suite 100
Allen, TX 75013

To: City of Tucson – Special District

Project: US Bank Remote ATM
44 E. Broadway Blvd.
Tucson, AZ 85701

Submittal: April 29, 2022

Cover

- Cover (Pg 1)
- City of Tucson Special Districts Application – filled and signed (Pgs 2-4)
- Project Narrative (Pg 5)
- Cutsheet of proposed ATM kiosk and surround (Pg 6)
- Architectural Cover Sheet, Site Plan, Enlarged Site Plan (Pgs 7-9)
- Existing site conditions document (Pgs 10-11)
- Surrounding area document (Pgs 12-14)
- Precedent examples document (Pgs 15-16)
- Letter of Authentication (pg 17)
- PDSZ Zoning Review comments (pgs 18-19)



Special Districts Application

Application Stage: Pre-application Application

Permit Activity Number(s): **T22SA00208**

Case Number(s): **DRB-22-06**

Date Accepted: **5/9/2022**

PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): _____

Property Address: _____

Pima County Tax Parcel Number/s: _____

Current Zoning: _____

Applicable Overlay Zone/Special District:

- Grant Road Investment District (GRID) Main Gate District (MGD) Rio Nuevo Area
- Historic Preservation Zone (HPZ) Neighborhood Preservation Zone
- Infill Incentive District (IID) Sunshine Mile District

Neighborhood Association (if any): _____

PROJECT TYPE (check all that apply): Change of use to existing building/site

- New building(s) on vacant land New building(s) on developed land
- New addition to existing building Other: Addition of ATM kiosk at parking lot

Description of Proposed Land Use: _____

Number of Buildings and Stories/Height of Proposed Structure(s): _____

Total Site Area (sq ft): _____ Total Gross Floor Area of Proposed Building(s) (sq ft): _____

HISTORIC STATUS

Site is within a: Historic Preservation Zone Please List: _____

National Register District Please List: _____

Site is/includes: Contributing structure(s) Non-contributing structure(s)

Is adjacent to a contributing structure Vacant

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: _____

ROLE: Property owner Architect Engineer Attorney Developer

Other: _____

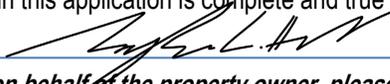
EMAIL: _____ PHONE: _____

ADDRESS: _____

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): _____

EMAIL: _____ PHONE: _____

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT* 

****If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization**
Date: _____

3/16/2022

To: City of Tucson

RE: 44 S. Broadway Blvd

Tucson, AZ 85710

Intent: Installation of ATM on property

To Whom it concerns:

Property Management **Peach Properties** owns the property at the above address and has entered into a land lease agreement with US Bank for an ATM to be located on the at 44 S. Broadway Blvd, Tucson AZ

We are providing written consent for Stratus(General Contractor) along with PM Design(Architect) to apply for a building permit, as a representative of the bank.

Please feel free to contact me with any questions.

Sincerely,



44 Broadway LLC
Property owner name



R. Schuck member
Property owner signature

520-349-2785

Property Owner Phone Number

From: Taylor Hall, PM Design Group Inc.
Architect: Ken McCracken, Architect
1101 S. Central Expy., Suite 100
Allen, TX 75013

To: City of Tucson – Special District

Project: US Bank Remote ATM
44 E. Broadway Blvd.
Tucson, AZ 85701

Submittal: April 29, 2022

Development Review Narrative

To whom it concerns. Our client is proposing the addition of a stand-alone, remote walk-up ATM kiosk, to the parking lot at 44 E. Broadway Blvd. The existing site is commercial parking lot. The design intent is to excavate, and provide new structural slab flush with existing parking surface for accessibility compliance. New slab proposed to receive ATM kiosk, bollards, and electric meter-socket.

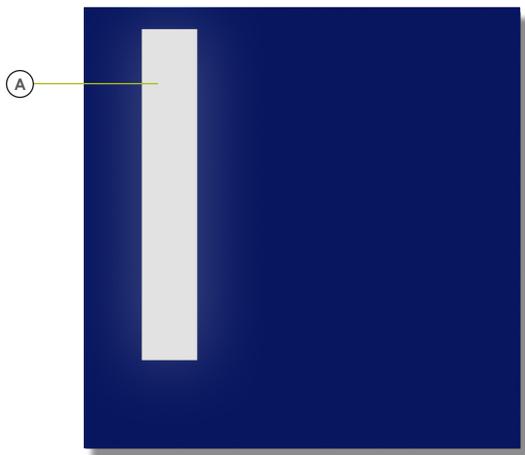
Project construction would occur continuously, without phasing. Construction schedule would commence approximately 12 weeks, following all required jurisdiction approvals.

The accessory structure would operate 24 hrs, 7 days a week. No employees shall be present during hours of operation. Client to service kiosk as required.

The project shall comply with all applicable city ordinances, as defined by city planning:

- Project complies with UDC Section 5.12.7.C in the following:
 1. It respects scale of the existing building in its surrounding
 2. The setback will not interfere with those of the existing adjacent properties
 3. N/A
 4. N/A
 5. Front façade is less than the 50' length maximum
 6. N/A
 7. N/A
 8. N/A
 9. N/A
 10. N/A
 11. ATM machine canopy provides cover for pedestrian use
 12. ATM client colors conform to the palette of the proposed Broadway Blvd area
 13. The ATM housing colors and patterns do not conflict with the traditional context of the proposed Broadway Blvd area
 14. It encourages street level activity 24hrs
 15. Primary approach of ATM faces sidewalk side and is level with grade

End Statement

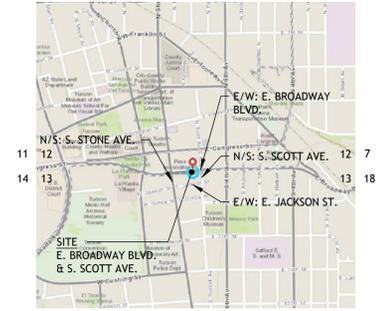


US Bank	
UNIT: 6538.35	ATM: 7705
Graphic Information	
<ul style="list-style-type: none"> ① 4 Sided LED Backlit Signage ② Backlit Push Thru Signage (front and back) ③ Acrylic Glow 	
Paint Information	
PMS Color	Finish Type
<ul style="list-style-type: none"> Ⓐ White Ⓑ Blue 2748c 	<ul style="list-style-type: none"> Stipple Finish Stipple Finish
	Revision #
	3
Rendered by Casey Allred	03/04/2020



**OFF PREMISES ATM
DOWNTOWN BROADWAY ATM
44 E. BROADWAY BLVD.
TUCSON, AZ 85701**

VICINITY MAP



SUBJECT PROPERTY LEGAL DESCRIPTION:
44 EAST BROADWAY CONDOMINIUMS SQZ0111930049
LYING WITHIN SECTION 13, TOWNSHIP 14 SOUTH, RANGE 13 EAST
PTM COMMON ELEMENTS A
PARKING AREAS / ENTRY DRIVES



MAP SCALE: 6" = 1 MILE (APPX. 9028')



1101 CENTRAL EXPRESSWAY S
SUITE 100
ALLEN, TX 75013
PROJECT CONTACT: MIKE BRIGGS
PHONE: 972.201.9317
EMAIL: mbriggs@pmdginc.com

KEN MCCrackEN, ARCHITECT



CONSULTANT:



US BANK
DP_CASE# DP22-0008
DOWNTOWN BROADWAY ATM
44 EAST BROADWAY BLVD
TUCSON, AZ 85701

REV	DATE	DESCRIPTION
01.14.22		CITY - CBCR PERMIT SUBMITTAL
03.02.22		CITY - SITE PLAN REVIEW COMMENTS

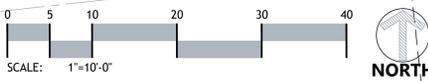
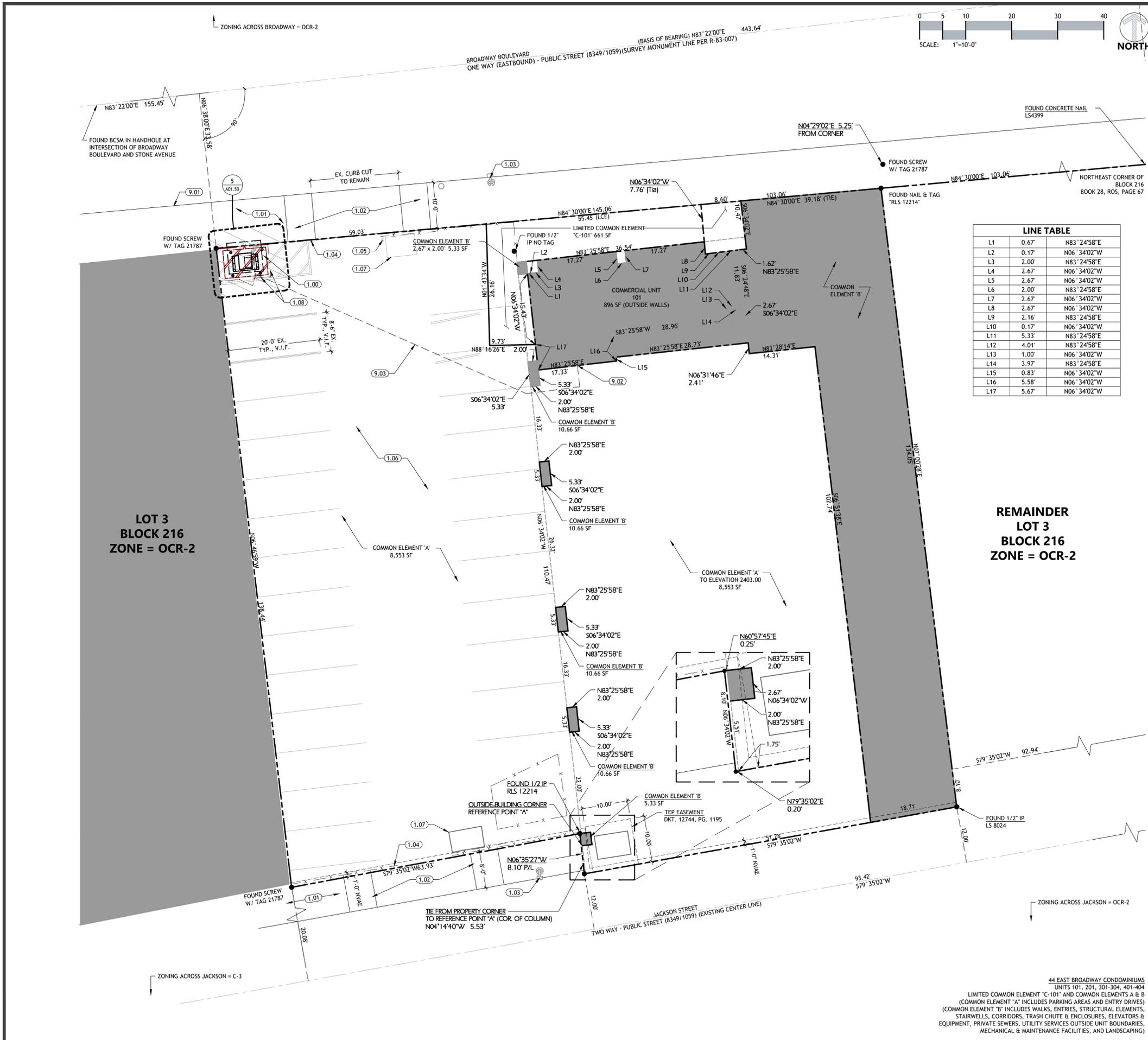
DRAWN BY: TLH
CHECKED BY: JA
ARCH. PROJECT NO.: ICN21015.0
SHEET NAME: COVER SHEET
1 OF 3
SHEET NUMBER: **A00.00**

ABBREVIATIONS			
Ø	DIAMETER	- G -	REQD. REQUIRED
⊕	AT CENTER LINE	GA. GAUGE	RM. ROOM
⊕	POUND or NUMBER	GALV. GALVANIZED	R.O. ROUGH OPENING
A.B.	ANCHOR BOLT	G.C. GENERAL CONTRACTOR	R.O.W. RIGHT OF WAY
A/C	AIR CONDITIONING	C.I. GALVANIZED IRON	RCP REFLECTED CEILING PLAN
A.C.T.	ASPHALTIC CONCRETE ACOUSTICAL CEILING	GND. GROUND	- S - SOLID CORE
A.F.F.	ABOVE FINISH FLOOR	GR. GRADE	S.C. SCHEDULE
A.F.G.	ABOVE FINISH GRADE	GYP. BD. GYPSUM BOARD	SECT. SECTION
ALT.	ALTERNATE	H.B. HOSE BIBB	SHT. SHEET
A.S.T.M.	AMERICAN SOCIETY FOR TESTING & MATERIALS	H.C. HOLLOW CORE	SIM. SIMILAR
BLDG.	BUILDING	HDR. HEADER	SPEC. SPECIFICATION
BOT.	BOTTOM	HDW. HARDWARE	SQ. SQUARE
B.O.	BOTTOM OF	HR. HOUR	S.S. STAINLESS STEEL
B.O.A.	BACK OF HOUSE	HT. HEIGHT	ST. STEEL
C.B.	CATCH BASIN	H.M. HOLLOW METAL	STD. STANDARD
C.J.	CONTROL JOINT	HOR. HORIZONTAL	STOR. STORAGE
CLG.	CEILING	HTG. HEATING	STRUCT. STRUCTURAL
CLR.	CLEAR	HVAC HEATING VENTILATION & AIR CONDITIONING	S.O.V. SHUT OFF VALVE
C.M.U.	CONCRETE MASONRY UNIT	H.W. HOT WATER	SUSP. SUSPENDED
C/O	CLEANOUT	I.E. INVERT ELEVATION	T. TREAD
COL.	COLUMN	INSUL. INSULATION	TEL. TELEPHONE
COMM.	COMMUNICATION	INT. INTERIOR	TEMP. TEMPERATURE
CONC.	CONCRETE	- L -	T & G TONGUE & GROOVE
CONTR.	CONTINUOUS CONTRACTOR	LAM. LAMINATED	T.O. TOP OF
C.W.	COLD WATER	LAV. LAVATORY	TYP. TYPICAL
DEPT.	DEPARTMENT	CLN. CLEANOUT	U.N.O. UNLESS NOTED OTHERWISE
DTL.	DETAIL	COL. COLUMN	U. UNDERWRITERS LABORATORY
D.F.	DRINKING FOUNTAIN	COMM. COMMUNICATION	VERT. VERTICAL
DIA.	DIAMETER	CONC. CONCRETE	V.C.T. VINYL COMPOSITE TILE
DIAL.	DIMENSION	CONT. CONTINUOUS CONTRACTOR	V.T.R. VENT THROUGH ROOF
DN.	DOWN	CONTR. CONTRACTOR	V.I.F. VERIFY IN FIELD
D.S.	DOWN SPOUT	C.W. COLD WATER	- W - WITH
DWG.	DRAWING	DEPT. DEPARTMENT	W.C. WATER CLOSET
(E)	EXISTING	DTL. DETAIL	WD. WOOD
EA.	EACH	D.F. DRINKING FOUNTAIN	W.H. WATER HEATER
EIFS	EXTERIOR INSULATION FINISH SYSTEM	DIA. DIAMETER	W/O WITHOUT
ELEC.	ELECTRICAL	DIAL. DIMENSION	W.W.F. WELDED WIRE FABRIC
ENCL.	ENCLOSURE	DN. DOWN	
E.J.	EXPANSION JOINT	D.S. DOWN SPOUT	
EQ.	EQUAL	DWG. DRAWING	
EQUIP.	EQUIPMENT	(E) EXISTING	
EXIST.	EXISTING	EA. EACH	
EXT.	EXTERIOR	EIFS EXTERIOR INSULATION FINISH SYSTEM	
F.D.	FLOOR DRAIN	ELEC. ELECTRICAL	
F.F.	FLOOR FINISH	ENCL. ENCLOSURE	
FIN.	FINISH	E.J. EXPANSION JOINT	
FLUOR.	FLUORESCENT	EQ. EQUAL	
F.O.	FACE OF	EQUIP. EQUIPMENT	
F.R.F.	FIBERGLASS REINFORCED PANEL	EXIST. EXISTING	
F.S.	FLOOR SINK	EXT. EXTERIOR	
FT.	FOOT/FEET	F.D. FLOOR DRAIN	
FTG.	FOOTING	F.F. FLOOR FINISH	
FURR.	FURRING	FIN. FINISH	
		FLUOR. FLUORESCENT	
		F.O. FACE OF	
		F.R.F. FIBERGLASS REINFORCED PANEL	
		F.S. FLOOR SINK	
		FT. FOOT/FEET	
		FTG. FOOTING	
		FURR. FURRING	

ANNOTATION SYMBOL LEGEND	
PLAN DETAIL REFERENCE SHEET NUMBER THIS SIGNIFIES DETAIL IS ON SAME SHEET	DOOR NUMBER
ELEVATION REFERENCE SHEET NUMBER	WINDOW TYPE
SUB-ELEVATION LETTER	WALL TYPE
ELEVATION REFERENCE SHEET NUMBER	KEYNOTE
PLAN DETAIL REFERENCE SHEET NUMBER	EQUIPMENT CALLOUT
SECTION REFERENCE SHEET NUMBER	REVISION NUMBER
DETAIL SECTION REFERENCE SHEET NUMBER	ROOM NAME ROOM NUMBER
ELEVATION HEIGHT	ROOM LABEL
ELEVATION LOCATION	ROOM NUMBER
LAYOUT STARTPOINT	COLUMN GRID LINE NUMBER
	FINISH CALLOUT
	CEILING HEIGHT
	CEILING FINISH CALLOUT

CODE ANALYSIS	
BUILDING SUMMARY	BUILDING CODES
CONSTRUCTION TYPE: V-B	I.B.C. (2018) EDITION I.P.C. (2018) EDITION I.M.C. (2018) EDITION N.E.C. (2014) EDITION I.F.C. (2018) EDITION I.E.C.C. (2018) EDITION
TOTAL AREA UNDER THIS PERMIT: 120 SF TOTAL BUILDING AREA: 18 SF	
BUILDING HEIGHT: 13'-4" (TOP OF PARAPET)	
NUMBER OF STORIES: 1	
OCCUPANCY GROUPS: B (BUSINESS)	
SCOPE OF WORK	
DEMOLITION	
-- REMOVAL OF DESIGNATED EXISTING PARKING STRIPE PAINT.	
-- CUT, DEMOLITION, AND REMOVAL OF EXISTING ASPHALT AND PARKING FOUNDATION FOR NEW SLAB CONSTRUCTION.	
-- TRENCH/BORE FOR ELECTRICAL AND TELCOM. TIE-IN	
CONSTRUCTION	
-- RUN CONDUIT & CABLE FOR ELECTRICAL AND TELCOM. TIE-IN	
-- FORM & POUR NEW STRUCTURAL CONCRETE PAD	
-- ROUTE NEW ELECTRICAL FEED TO EXISTING BUILDING PANELS, TO BE COORD. WITH PROPERTY MANAGER	
-- INSTALL NEW BANK ATM KIOSK	
-- PAINT NEW PARKING STRIPING AND SYMBOL(S)	
-- INSTALL NEW BOLLARDS AS APPLICABLE	
PROJECT DIRECTORY	
OWNER	
U.S. BANK 1 S. PINCKNEY ST. MADISON, WI 53703-2802 CONTACT: BYRON L. BUTLER, ASSISTANT VICE PRESIDENT PHONE: 608.252.4063 EMAIL: byron.butler@usbank.com	
ARCHITECT	
KEN MCCrackEN, ARCHITECT 1101 CENTRAL EXPRESSWAY S, SUITE 100 ALLEN, TX 75013 CONTACT: MIKE BRIGGS PHONE: 972.201.9317 EMAIL: mbriggs@pmdginc.com	
ELECTRICAL	
THORSON BAKER AND ASSOCIATES 525 METRO PLACE NORTH, SUITE 175 COLUMBUS, OH 43017 CONTACT: RYAN WAGNER PHONE: 234.400.0177 EMAIL: rwagner@thorsonbaker.com	
STRUCTURAL	
BHB STRUCTURAL 2766 SOUTH MAIN ST. SALT LAKE CITY, UT 84115 CONTACT: CHARICE HUBBARD - STERLING ATM PHONE: 208-866-2037 EMAIL: chariceh@sterlingatm.com	

PROJECT INFORMATION	
PROPERTY INFORMATION:	PROPERTY OWNER:
APN(S): 11713227A	RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT
PLANNING ZONE: OCR-2 (OFFICE/COMMERCIAL/RESIDENTIAL)	1703 E. BROADWAY BLVD. TUCSON, AZ 85719-5930
COUNTY: PIMA	
SEPARATE PERMITS	
1. N/A.	
SHEET	SHEET NAME
ARCHITECTURAL	
A00.00	COVER SHEET
A01.10	REFERENCE SITE PLAN
A01.50	CONSTRUCTION PLAN & SITE DETAILS
3	TOTAL ARCHITECTURAL SHEETS



- KEYNOTE DESCRIPTION**
- 1.00 EXTERIOR
 - 1.01 (N) PROPOSED KIOSK AND PAD, REF. 5/A01.50
 - 1.01 (E) SIDEWALK TO REMAIN
 - 1.02 (E) CURB RAMP AND DRIVEWAY TO REMAIN
 - 1.03 (E) STREET LIGHT TO REMAIN
 - 1.04 (E) TUBE STEEL FENCE WITH ROLLING GATE
 - 1.05 (E) PUBLIC PARKING SIGNAGE TO REMAIN
 - 1.06 (E) PARKING SPACE TO REMAIN
 - 1.07 (E) ROLLING GATE MOTOR TO REMAIN
 - 1.08 (N) TUBE STEEL FENCE TO MATCH EXISTING, COORD. W/ C.M.
- 9.00 UTILITIES**
- 9.01 (E) STORM DRAIN CURB INLET IN R.O.W. OR ON-SITE CATCH BASIN.
 - 9.02 (E) ELECTRICAL PANEL INSIDE BUILDING AT EXTERIOR WALL. DRILL/BORE THROUGH WALL AS REQ. FOR NEW ELECTRICAL CONDUIT AND TIE-IN; G.C./E.C. SHALL COORD. WITH PROPERTY MANAGER PRIOR TO ANY WORK AT/IN THE EXISTING BUILDING. ANY PENETRATIONS AT EXTERIOR WALL TO RECEIVE FOAM BACKER ROD AND SEALANT, G.C. TO VERIFY SEALANT AND MATERIALS USED AT BUILDING.
 - 9.03 (N) ELECTRICAL BORE PATH, REF. E1.0. CONTRACTOR SHALL COORD. PATH WITH C.M. AND POWER CO. AND/OR AHJ. PROVIDE BORE PIT(S) AS REQ. FOR PATH. ALL ADJACENT SURFACES AND ELEMENTS SHALL BE PROTECTED IN PLACE THROUGHOUT CONSTRUCTION. PATCH AND REPAIR SURFACES AT TO MATCH EXISTING AS REQ.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N83°24'58"E	0.67
L2	N06°34'02"W	0.17
L3	N83°24'58"E	2.00
L4	N06°34'02"W	2.67
L5	N06°34'02"W	2.67
L6	N83°24'58"E	2.00
L7	N06°34'02"W	2.67
L8	N06°34'02"W	2.67
L9	N83°24'58"E	2.16
L10	N06°34'02"W	0.17
L11	N83°24'58"E	5.33
L12	N83°24'58"E	4.01
L13	N06°34'02"W	1.00
L14	N83°24'58"E	3.97
L15	N06°34'02"W	0.83
L16	N06°34'02"W	5.58
L17	N06°34'02"W	5.67

SITE PLAN KEYNOTES

1. SITE EXISTING ZONING IS: OCR-2(OFFICE/COMMERCIAL/RESIDENTIAL)
2. SITE GROSS AREA: 0.46 ACRES / 19,867 SQ FT
3. SITE EXISTING USE: COMMERCIAL, PROPOSED USE: COMMERCIAL (NO CHANGE)
 - 3.1. SITE FALLS UNDER UDC SECTION 4.7.27
 - 3.2. SITE FALLS UNDER UDC SECTION 5.12.7
4. EXISTING BUILDING IS 32,925 SF, 74.67' ELEVATION
5. NO EXPANSION OR CHANGE IN LAND USE
6. SITE IS NOT PART OF LARGER SITE
7. THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R) & UDC ARTICLE 5.5 GATEWAY CORRIDOR ZONE (GCR)

GENERAL NOTES

SITE INFORMATION:

PARCEL ID: 117-13-227A
 LEGAL DESCRIPTION: 44 EAST BROADWAY CONDOMINIUMS SQ20111930049 PTN COMMON ELEMENTS A PARKING AREAS / ENTRY DRIVES

LAND AREA: 0.46 ACRE
 JURISDICTION: CITY OF TUCSON
 PROPERTY USE: EXISTING: PARKING, PROPOSED: FINANCIAL SERVICES & PARKING
 ZONING: OCR-2

BUILDING INFORMATION:
 BUILT USE / STYLE: BUSINESS COMMERCIAL, RESIDENTIAL CONDOMINIUMS
 STORY: 4 STORY
 FINISHED SF: 32,925

CAR PARKING
 REF: 7.4.4-1 TABLE

LAND USE
 PARKING: MOTOR VEHICLE PARKING REQUIRED
 - 0 REQUIRED

BICYCLE PARKING
 LAND USE: SHORT + LONG TERM PARKING REQUIRED
 PARKING: - 0 REQUIRED

SITE INFORMATION

KEY	DESCRIPTION
	AREA OF WORK
	PROPERTY LINE LOCATION
	6 FT HEIGHT FENCE
	EXISTING SITE LIGHT POLE AND FIXTURE

REV	DATE	DESCRIPTION
01.14.22		CITY - CBCR PERMIT SUBMITTAL
03.02.22		CITY - SITE PLAN REVIEW COMMENTS

SITE LEGEND

PM DESIGN
 Architectural Solutions Group

1101 CENTRAL EXPRESSWAY S
 SUITE 100
 ALLEN, TX 75013

PROJECT CONTACT: MIKE BRIGGS
 PHONE: 972.201.9317
 EMAIL: mbriggs@pmdesign.com

KEN MCCrackEN, ARCHITECT

SEAL:

CONSULTANT:



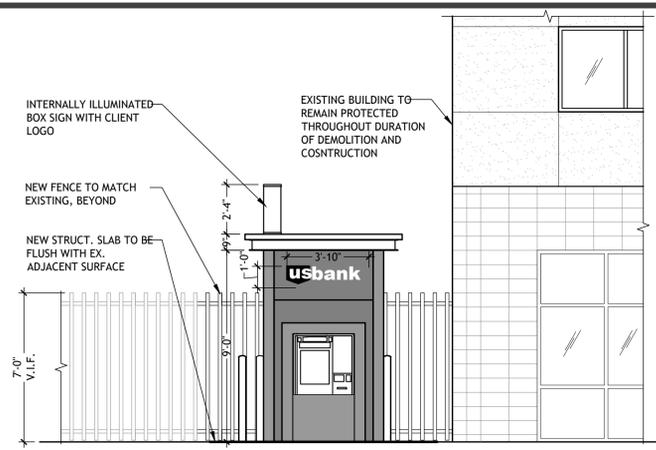
US BANK
 DP_CASE# DP22-0008
 DOWNTOWN BROADWAY ATM
 44 EAST BROADWAY BLVD
 TUCSON, AZ 85701

DRAWN BY: TLH
 CHECKED BY: JA

ARCH. PROJECT NO.:
ICN21015.0

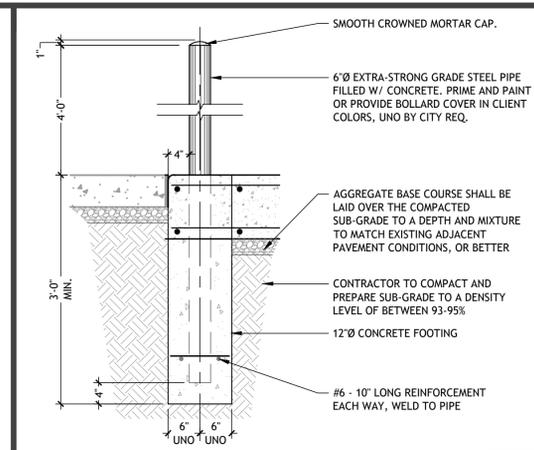
SHEET NAME:
REFERENCE SITE PLAN

SHEET NUMBER:
2 of 3



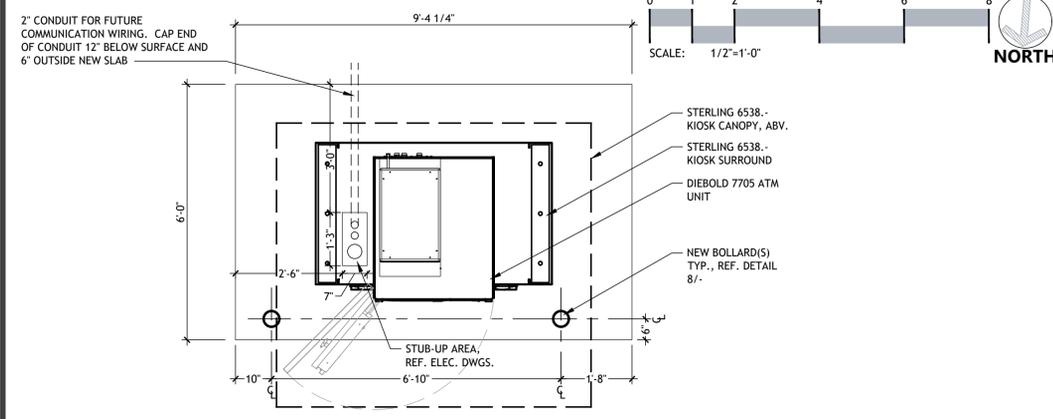
KIOSK FRONT ELEVATION

1/4" = 1'-0" **16**



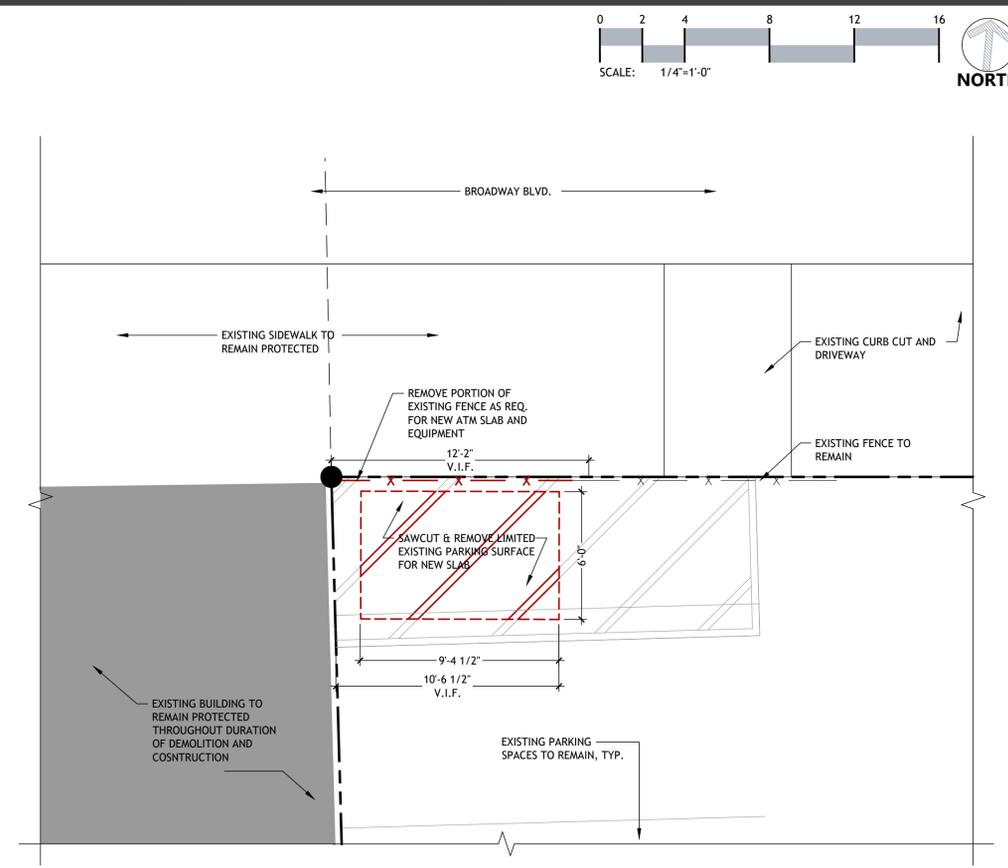
BOLLARD DETAIL

3/4" = 1'-0" **8**



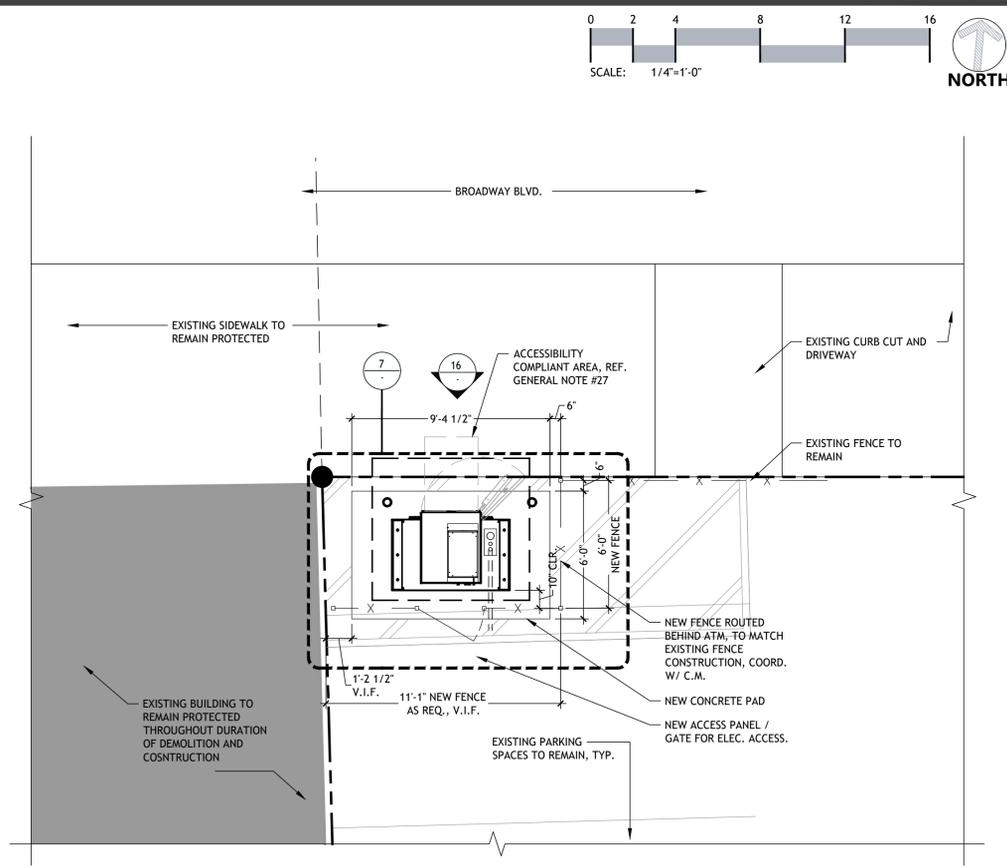
ATM PLAN

1/2" = 1'-0" **7**



ENLARGED DEMOLITION SITE PLAN

1/4" = 1'-0" **13**



ENLARGED SITE PLAN

1/4" = 1'-0" **5**

1. THESE GENERAL NOTES SHALL APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
2. THE WORK INDICATED IN THESE DRAWINGS SHALL CONFORM TO ALL CODES AND STANDARDS THAT HAVE JURISDICTION OVER THIS PROJECT.
3. THE CONTRACTOR SHALL SECURE AND MAINTAIN ALL JOB RELATED PERMITS AND LICENSES AND PAY ALL RELATED FEES.
4. ALL REQUIREMENTS AND REGULATIONS PERTAINING TO HANDICAPPED ACCESSIBILITY AND OSHA MUST BE INCORPORATED INTO THE WORK EVEN THOUGH THEY MAY NOT BE LISTED INDIVIDUALLY OR SEPARATELY IN THE DRAWINGS.
5. THE APPROVAL OF PLANS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR CITY ORDINANCES, STATE OR FEDERAL LAW.
6. GENERAL CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF WRITTEN SUBSTANTIAL COMPLETION.
7. THE GENERAL CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED.
8. MATERIAL AND EQUIPMENT TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDED MANUFACTURERS PRINTED INSTRUCTIONS AND SHALL COMPLY WITH LOCAL BUILDING CODE.
9. THE GENERAL CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION METHODS, MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
10. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION, PERMITS AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE WORK.
11. ABSOLUTELY NO SUBSTITUTIONS WILL BE ALLOWED, UNLESS APPROVED BY THE ARCHITECT IN WRITING.
12. NO INFORMATION OR DETAILS IN THE DRAWINGS OF THIS PROJECT MAY BE USED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
13. ALL CONSULTANT'S DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CROSS CHECK WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING OR INSTALLATION OF ANY MECHANICAL, PLUMBING, AND ELECTRICAL WORK. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND CONSULTING ENGINEERS DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR IMMEDIATE CLARIFICATION.
14. THE CONTRACTOR SHALL ESTABLISH BENCHMARKS AND VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO SUBMISSION OF BIDS. CONTRACTOR IS TO COMPARE ARCHITECTURAL DRAWINGS WITH MECHANICAL AND ELECTRICAL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. EXISTING CONDITIONS DISCOVERED TO BE IN CONFLICT WITH AND REQUIRING REVISION TO IMPROVEMENT DESIGN DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT AND OWNER CONSTRUCTION PROJECT MANAGER. NO INFORMATION OR DETAILS IN THE DRAWINGS OF THIS PROJECT MAY BE USED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
15. DIMENSIONS SHOWN ARE TO FINISH FACE, COLUMN GRID AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED.
16. UNLESS OTHERWISE SHOWN OR NOTED, ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR CONDITIONS AND SHALL BE USED WHERE APPLICABLE. THE CONTRACTOR SHALL REFER TO GENERAL NOTES AS DESCRIBED ON EACH DRAWING SHEET AND INCORPORATE AS A PART OF THE WORK.
17. SHOP DRAWINGS ARE MEANT TO COMPLIMENT AND CLARIFY THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL REVIEW SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ARCHITECT. HOWEVER, THE ARCHITECT'S REVIEW AND APPROVAL DOES NOT RELIEVE CONTRACTOR OF HIS RESPONSIBILITY TO VERIFY CONFORMANCE WITH CONSTRUCTION DOCUMENTS. WHEN DISCREPANCIES ARE FOUND BETWEEN SHOP DRAWINGS AND CONSTRUCTION DOCUMENTS, NOTIFY THE ARCHITECT AND HAVE THE SHOP REVISE DRAWINGS PRIOR TO SUBMITTAL. SHOP DRAWING LITERATURE SHALL BE SUBMITTED FOR ALL STEEL FABRICATIONS, MILLWORK, DOORS AND HARDWARE, PAINT, CEILING TILES, PLUMBING FIXTURES AND FITTINGS, HVAC EQUIPMENT AND CONTROLS, AND ELECTRICAL FIXTURES AND GEAR.
18. ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK, REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM CLEAN CONDITION.
19. PROVIDE A CONSTRUCTION FENCE OR CANOPY AT PUBLIC RIGHT-OF-WAY FOR PEDESTRIAN PROTECTION IF ANY WORK IS TO BE PERFORMED ON ANY BUILDING OR STRUCTURE ADJACENT TO PUBLIC RIGHT-OF-WAY.
20. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, TRANSPORTATION, TOOLS, UTILITIES, AND OTHER SERVICES NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION DOCUMENTS IN A TIMELY MANNER.
21. THE GENERAL CONTRACTOR SHALL INCLUDE IN THE BID ALL TRENCHING, PATCHING AND REPAIRING REQUIRED FOR THE JOB, INCLUDING (BUT NOT LIMITED TO) STRUCTURAL ITEMS, ELECTRICAL AND PLUMBING LINES, FIXTURES AND SITE WORK.
22. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEER'S JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
23. CONSTRUCTION WORK SHALL NOT BLOCK MEANS OF EGRESS.
24. CUTTING AND PATCHING: WHERE EXISTING CONDITIONS ARE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, MATCH AND PATCH EXISTING DISTURBED CONSTRUCTION OR FINISH.
25. ELECTRICAL, WATER & GAS SERVICES SHALL BE METERED DIRECTLY BY THE SERVING UTILITY COMPANY.
26. DIMENSIONS ARE NOT TO BE SCALED FROM DRAWINGS EXCEPT WHERE SPECIFICALLY APPROVED IN THESE DOCUMENTS.
27. G.C. TO ENSURE MIN. 30' x 48' GROUND AREA ADJACENT TO KIOSK LOCATION, DOES NOT EXCEED 2% SLOPE IN ANY DIRECTION, TO MEET ACCESSIBILITY COMPLIANCE.

GENERAL NOTES

PM DESIGN
Architectural Solutions Group

1101 CENTRAL EXPRESSWAY S
SUITE 100
ALLEN, TX 75013
PROJECT CONTACT: MIKE BRIGGS
PHONE: 972.201.9317
EMAIL: mbriggs@pmdesign.com

KEN MCCrackEN, ARCHITECT

SEAL:

Expires: 6/30/24

CONSULTANT:

usbank

US BANK
DP_CASE# DP22-0008
DOWNTOWN BROADWAY ATM
44 EAST BROADWAY BLVD
TUCSON, AZ 85701

REV	DATE	DESCRIPTION
1	01.14.22	CITY - CONR PERMIT SUBMITTAL
2	03.02.22	CITY - SITE PLAN REVIEW COMMENTS

DRAWN BY: TLH
CHECKED BY: JA

ARCH. PROJECT NO.: ICN21015.0

SHEET NAME: CONSTRUCTION PLAN & SITE DETAILS
3 OF 3

SHEET NUMBER: **A01.50**

April 29, 2022

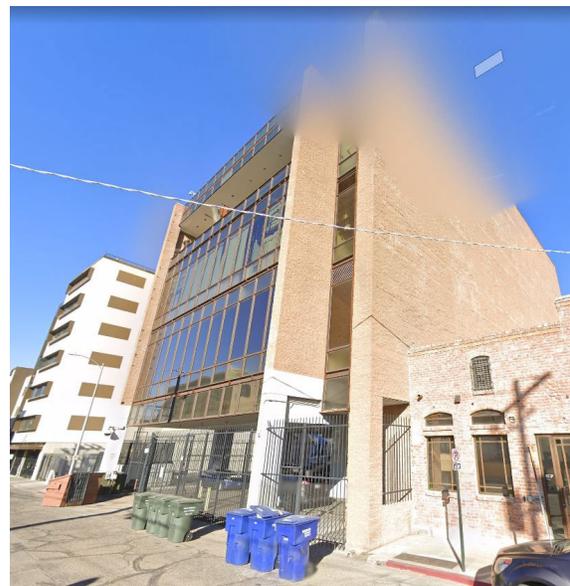
RE: **US BANK OFF PREMISES ATM**
44 E. BROADWAY BLVD
TUCSON, AZ 85701
ICN21015 – Tucson, AZ

Narrative

Photographs of project site Existing Conditions



South of lot, looking Northeast



Southeast of lot, looking northwest



South of lot, looking north



north of lot, looking south

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North of lot, looking southeast



northeast of lot, looking southwest

April 29, 2022

RE: **US BANK OFF PREMISES ATM**
44 E. BROADWAY BLVD
TUCSON, AZ 85701
ICN21015 – Tucson, AZ

Narrative

Photographs of elevations at Area of interest



Broadway at site, looking west

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Broadway at site, looking south



Broadway at site, looking east



Broadway at site, looking northwest



Broadway at site, looking northeast

April 29, 2022

RE: **US BANK OFF PREMISES ATM**
44 E. BROADWAY BLVD
TUCSON, AZ 85701
ICN21015 – Tucson, AZ

Narrative

Photographs of precedent examples

33 N. Stone Ave – Bank of America



2 E Congress Street – Chase Bank



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120 N. Stone Ave – PNC Bank



150 N. Stone Ave – Wells Fargo Bank



PDSD TRANSMITTAL

FROM: PDSD Zoning Review

PROJECT: US Bank ATM Kiosk – 44 E Broadway Blvd
Development Package (1st Review)
DP22-0008

TRANSMITTAL DATE: March 2, 2022

DUE DATE: February 23, 2022

COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.

This plan has been reviewed for compliance with the Unified Development Code (UDC) Administrative Manual (AM) Section 2-06. Also, compliance with applicable development criteria for the proposed use as listed in the City of Tucson Uniform Development Code (UDC) and the UDC Technical Standards Manual (TSM).

Section 3.3.3.G.5.c UDC, an applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One-year Expiration date is January 26, 2023

2-06.2.0 APPLICATION SUBMITTAL REQUIREMENTS

1. COMMENT: 2-06.2.4 – The Development Package (DP) is for site related reviews. Remove all building code related sheets from the DP.

2-06.3.0 FORMAT REQUIREMENTS

2. COMMENT: 2-06.3.12 – Revise the drawing index to only include site related sheets.

CONTENT REQUIREMENTS

3. COMMENT: 2-06.4.1 -Provide the email address for the owner listed on the 1st sheet.

4. COMMENT: 2-06.4.2.D – Provide the page number and the total number of pages in the package (i.e., sheet xx of xx), within the title block.

5. COMMENT: 2-06.4.3 – Provide the development package case number, DP22-0008, adjacent to the title block on all sheets.

6. COMMENT: 2-06.4.4.C – Provide the section, township, and range and label the section corners on the location map.

2-06.4.7 - General Notes

The following general notes are required. Additional notes specific to each plan are required where applicable.

2-06.4.7.A - Zoning and Land Use Notes

7. COMMENT: 2-06.4.7.A.4 – The use listed under Site Plan Keynotes on sheet 3 is not correct. Commercial is a use group. The use for the bank should be Financial Service: Excluding non-chartered institutions, condos should be Excluding non-chartered institution. Review UDC TABLE 4.8-4: PERMITTED USES - COMMERCIAL AND MIXED USEZONES and provide the correct uses for all uses within the building.

8. COMMENT: 2-06.4.7.A.6.a – As this site is located within the Downtown Core (DCS) and the Rio Nuevo Area (RNA) RNA review is required and must be approved prior to approval of this DP, see Design Review Comments. Once approved provide the RNA case number adjacent to the title block on all sheets and provide a general note stating the case number, date of approval, any modifications, and if applicable any conditions of approval.

9. COMMENT: 2-06.4.7.A.6.a – As Broadway Blvd. is designated as a Arterial Gateway on the COT MS&R Map provide a general note stating “THIS PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE(S) CRITERIA, UDC ARTICLE 5.4 MAJOR STREETS AND ROUTES SETBACK ZONE (MS&R) & .UDC ARTICLE 5.5 GATEWAY CORRIFOR ZONE (GCR)”

2-06.4.9 - Information on Proposed Development

The following information on the proposed project shall be shown on the drawing or added as notes.

10. COMMENT: 2-06.4.9.F - All existing zoning classifications on and adjacent to the project (including across any adjacent right-of-way) shall be indicated on the drawing with zoning boundaries clearly defined. Show the zoning for the parcels north of Broadway and south of Jackson.

11. COMMENT: 2-06.4.9.H.5.a – The vehicle parking space calculation listed on sheet 3 is not correct. Either review UDC Articles 7.4.3 & 7.4.4 and provide a correct calculation or remove the calculation from the plan as no changes are proposed that effect the vehicle parking.

12. COMMENT: 2-06.4.9.H.5.a – Per UDC Article 7.4.6.D.2.b Minimum Width Requirement When Adjacent to Barrier, a motor vehicle off-street parking space must have a minimum width of ten feet when the side(s) of the parking space abuts a vertical barrier over six inches in height, other than a vertical support for a carport. That said demonstrate that the vehicle parking space directly south of the proposed fence meets the 10'-0" wide requirement.

13. COMMENT: 2-06.4.9.H.5.d - The bicycle parking space calculation listed on sheet 3 is not correct. Either review UDC Article 7.4.8 and provide a correct calculation or remove the calculation from the plan as no changes are proposed that effect the bicycle parking.

14. COMMENT: 2-06.4.9.O – Per UDC Article 6.4.5.C.2 and Table 6.4.5.C-1 the required street perimeter yard setback is 21' or H = The height of the proposed exterior building wall, greater of the two, as measured from the back of curb. As a setback dimension was not provided Zoning cannot verify the setback but it does not appear that the ATM Kiosk is meeting the required setback. This setback can be waived by the DCS review.

15. COMMENT: Remove all clouds and deltas from the plans.

If you have any questions about this transmittal, please contact Elisa Hamblin at Elisa.Hamblin@tucsonaz.gov.

To resubmit your plans for additional review, please visit: <https://docs.tucsonaz.gov/Forms/tucsonpermitapp>

RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package