



### Special Districts Application

Application Stage:  Pre-application  Application

Permit Activity Number(s): DP21-0086  
T22SA00261

Case Number(s): C9-19-20  
DRB-22-07

Date Accepted: 5/31/2022

#### PROPERTY LOCATION AND PROPOSED DEVELOPMENT

Project / Development Name (if applicable): Craycroft Development for Office Building

Property Address: 1834 N Craycroft Rd

Pima County Tax Parcel Number/s: 121-02-192A

Current Zoning: R-1 Proposed Zoned to O-1

Applicable Overlay Zone/Special District:

- Grant Road Investment District (GRID)       Main Gate District (MGD)       Rio Nuevo Area
- Historic Preservation Zone (HPZ)       Neighborhood Preservation Zone
- Infill Incentive District (IID)       Sunshine Mile District

Neighborhood Association (if any):

PROJECT TYPE (check all that apply):

- Change of use to existing building/site
- New building(s) on vacant land
- New addition to existing building
- New building(s) on developed land
- Other:

Description of Proposed Land Use: Office use only

Number of Buildings and Stories/Height of Proposed Structure(s): 1 story building, 8ft wall height, Avg 10ft

Total Site Area (sq ft): 13,491 st Total Gross Floor Area of Proposed Building(s) (sq ft): 1148 sf

#### HISTORIC STATUS

Site is within a:  Historic Preservation Zone Please List:  
 National Register District Please List:

Site is/includes:  Contributing structure(s)  Non-contributing structure(s)  
 Is adjacent to a contributing structure  Vacant

#### APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Talavera engineering & Construction

ROLE:  Property owner  Architect  Engineer  Attorney  Developer  
 Other: \_\_\_\_\_

EMAIL: rm@talaveraengineeri PHONE: 520-628-3654

ADDRESS: 2455 E Speedway Ste # 102, Tucson AZ 85719

PROPERTY OWNER NAME(S) (If ownership in escrow, please note): Sonia & Salim Hariri

EMAIL: hariri21@gmail.com PHONE: 520-997-7936

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT\* *Rene Martinez*

**\*\*If an authorized representative is signing on behalf of the property owner, please provide a letter of authorization**

Date: 5/19/22



# TALAVERA ENGINEERING & CONSTRUCTION

2455 E. Speedway Blvd. Suite #102 Tucson Arizona 85719

(520 628 3654)

## PERMIT SUBMITTAL FOR DRB COMMENTS RESPONSE

To: Maria Gayosso

Subject: DP21-0086 1834 N CRAYCROFT RD. – OFFICE IN O-1 ZONING

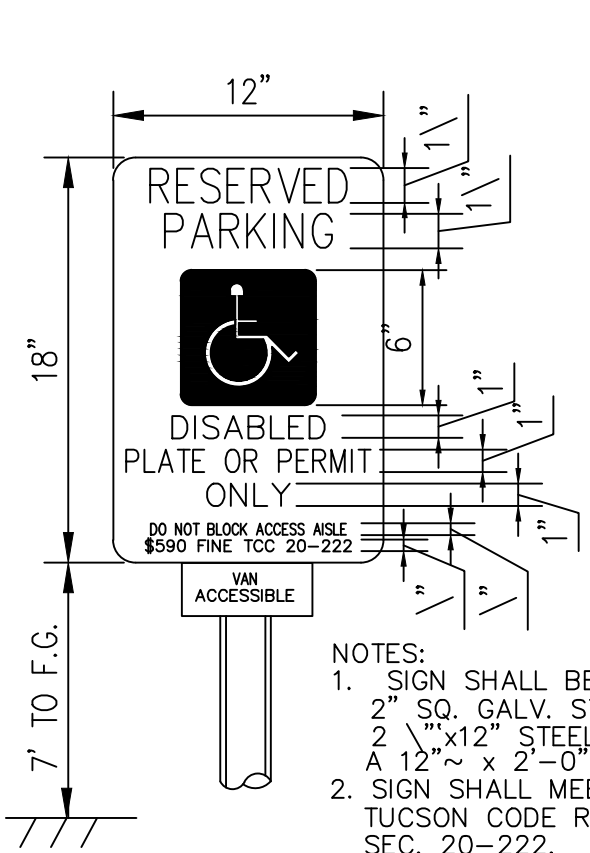
Date: 04/20/2022

## PROJECT STATEMENT

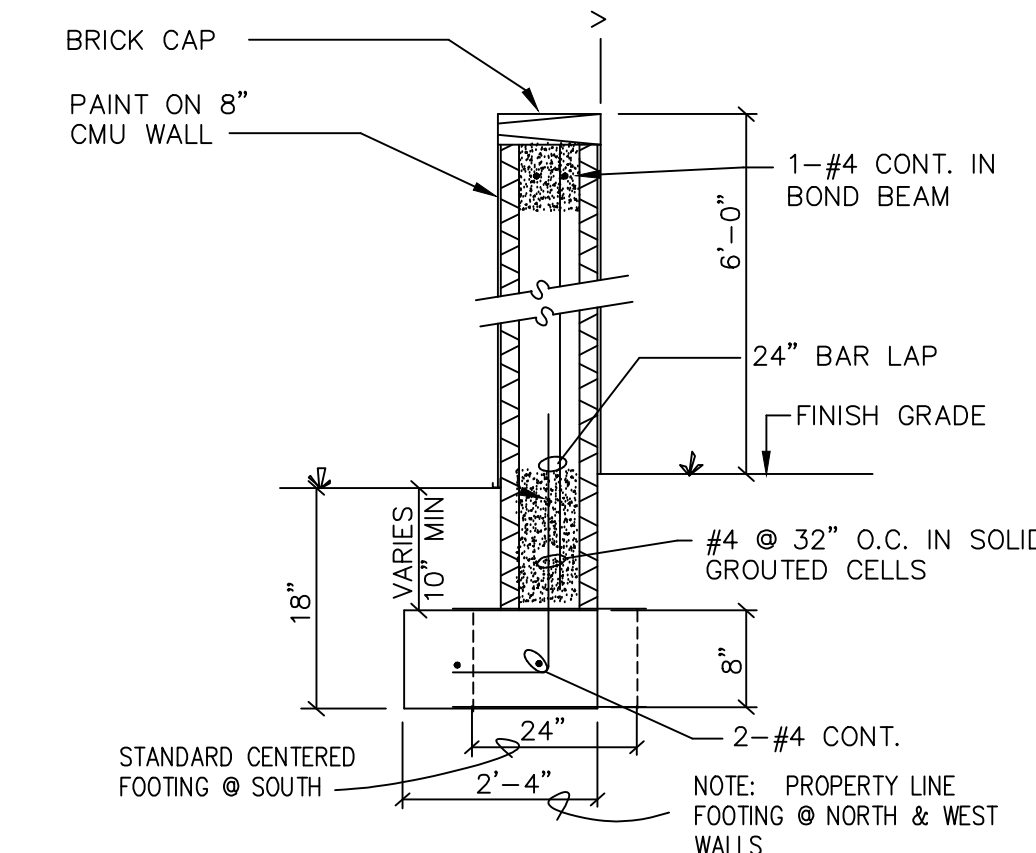
The proposed project meets the basic requirement per Section 4.9.4.R.7. Specifically, the architectural style is considered typical low slope 3:12 pitch singles roof which is noted on adjacent properties to the north and south. UDC. Walls are typical wood frame stucco finish and noted to be desert colors again similar to adjacent buildings (See attached exhibits section). Mechanical equipment is wall mounted, giving it a more discrete aspect then if it is located on the roof.

Outdoor areas have lighting fixtures per code as noted on the exhibits, as wells as exterior window treatments have metal screen for security purposes, such screens are typical for the area noted on adjacent building to the south and to the north.

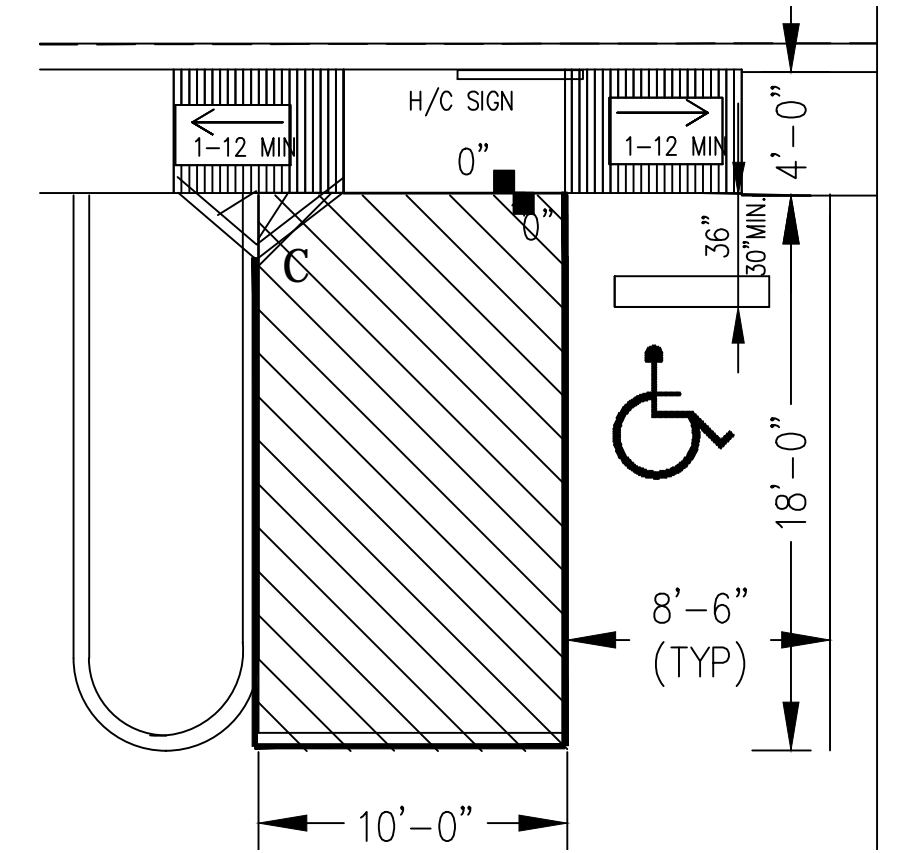
Sidewalks and proposed parking area will be updated per current code standards, as noted currently such area has only vegetation to be cleaned and designed similar per neighborhood conditions to the north and south properties.



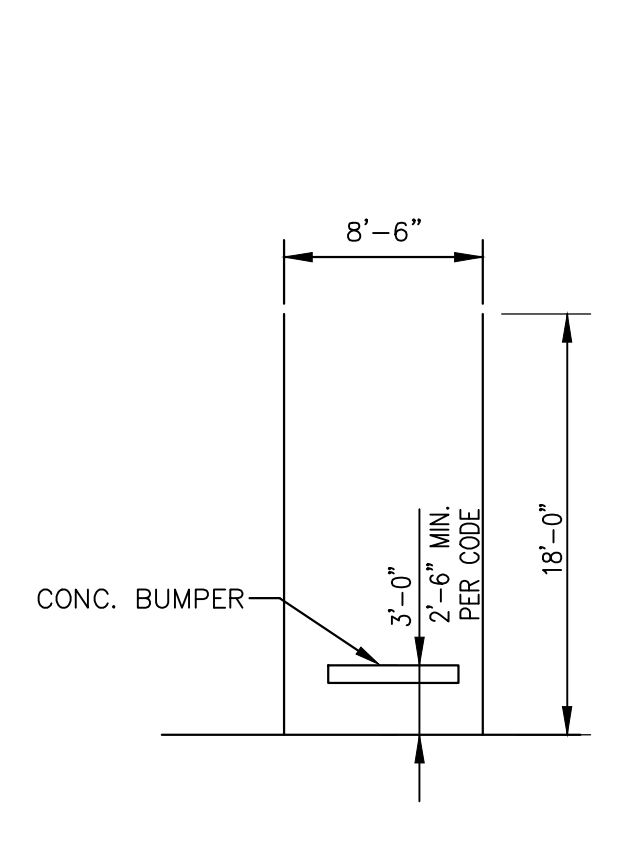
1 DISABLED PARKING SIGN NO SCALE



2 SCREEN WALL DETAIL NTS



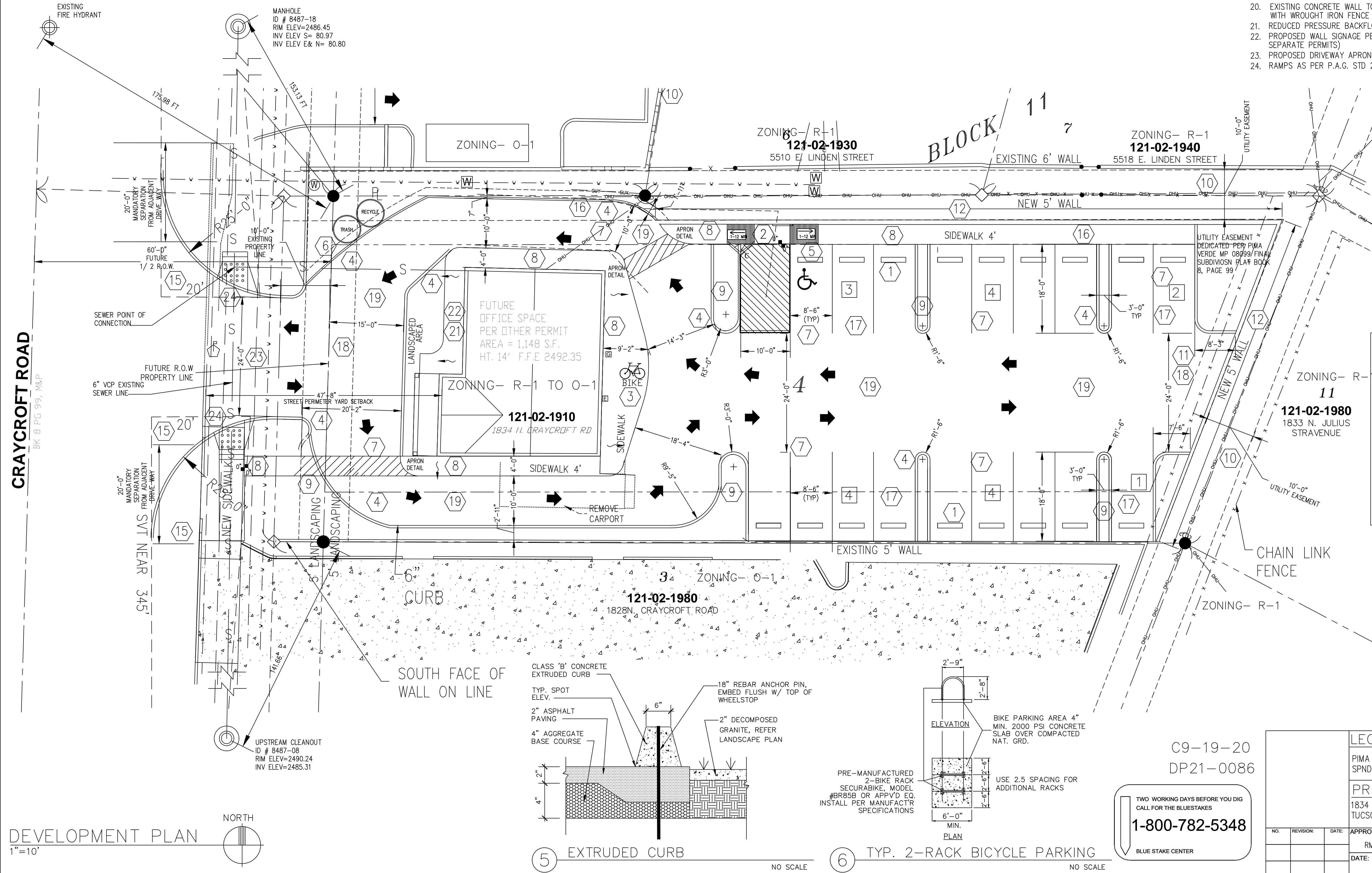
3 H/C ACCESSIBLE TYP NTS



4 STANDARD PARKING SPACES NTS

SITE PLAN KEYNOTES

1. PRECAST CONCRETE PARKING BUMPERS.
2. 6' LONG SIDEWALK RAMP. SEE DETAIL 3/C2
3. TWO BICYCLE PARKING SPACES, 2 SHORT + 2 LONG INSIDE OFFICE
4. EXTRUDED CONCRETE CURB (WITHIN PARCEL)
5. H.C. SIGN (1)
6. ROUND TRASH CONTAINERS PER ENGINEERING SPECS. 30 GALLON ROLL OUTS FOR BOTH TRASH AND RECYCLE
7. 4" WIDE PAINT STRIPES.
8. 4' WIDE RAISED CONCRETE WALK W/ 4' JOINTS, TYP.
9. TO BE LANDSCAPED WITH NATURAL VEGETATION.
10. PROPERTY LINE
11. BACK-UP SPUR
12. 5' HIGH MASONRY WALL.
13. WATER HARVESTING AREA SEE SHEET WH1 WATER HARVESTING
14. 1/2 R.O.W. 60'-0"
15. S.V.T. NEAR 20' X 345' AND FAR IS 20' X 125'
16. 5% MAX RUNNING SLOPE / 2% MAX CROSS SLOPE FOR SIDEWALKS
17. MIN 18.5' L X 8.5' W PARALLEL SPACES
18. EMERGENCY VEHICLE MANEUVERING SPACE-24' WIDE MIN. PAAL
19. ASPHALT PAVING OVER A.B.C. SEE GRADING PLAN
20. EXISTING CONCRETE WALL TO BE REMOVED AND REPLACED WITH WROUGHT IRON FENCE 5' HT.
21. REDUCED PRESSURE BACKFLOW PREVENTER
22. PROPOSED WALL SIGNAGE PER OWNER (ALL SIGNAGE REQUIRES SEPARATE PERMITS)
23. PROPOSED DRIVEWAY APRON AS PER P.A.G. STANDARD 206
24. RAMPS AS PER P.A.G. STD 207



PARKING CALCULATIONS

BUILDING 1148 S.F.

OFFICE USE 1 / 300  
1148 / 300 = 3.82

4 PARKING SPACES REQUIRED  
0 LOADING ZONE REQUIRED.  
1 H/C SPACES REQUIRED.

PROVIDED  
17 PARKING SPACES  
1 H/C SPACES

TOTAL 18 SPACES PROVIDED

WASTE STREAM CALCULATIONS

BUILDING 1148 S.F.

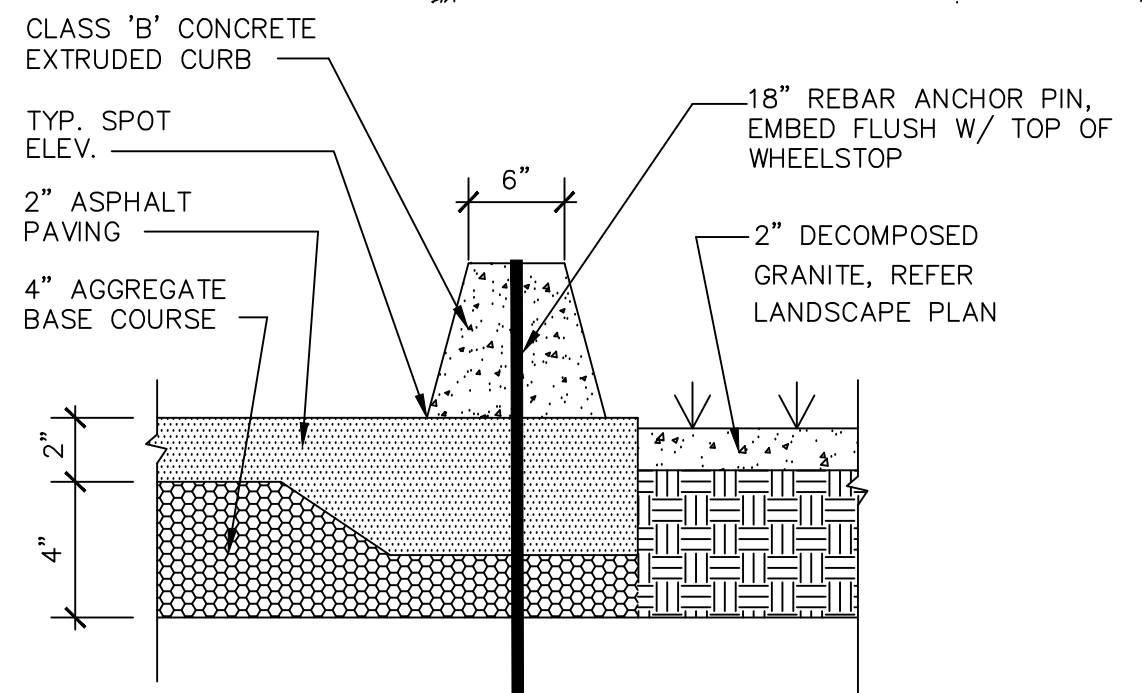
OFFICE USE 0.0013 TONS / SQ. FT.  
1148 X .0013 = 1.49 ANNUAL TONS GENERATED

1.5 TONS / 52 WEEKS = .06  
.06 X 2000 LBS/TON = 120 LBS/WK.  
95 GAL PER WEEK WILL WORK SINCE ITS NOT MORE THAN 219 GAL PER WEEK.

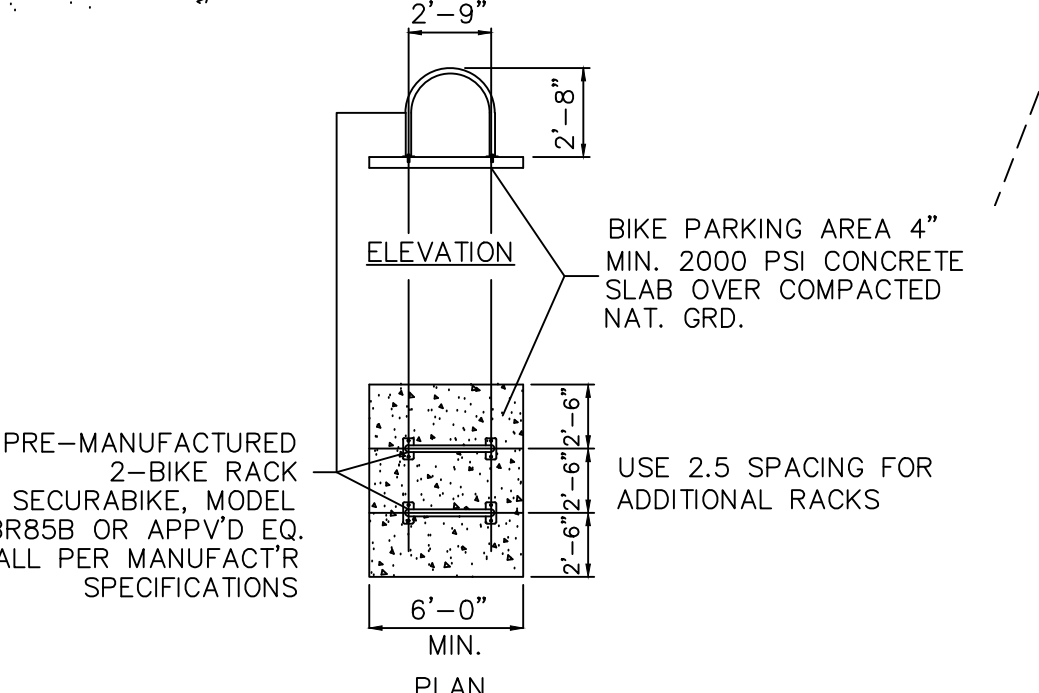
PERMISSION FROM CITY ENGINEERS ATTACHED TO THIS DOCUMENTS.

OWNER / DEVELOPER  
HARIRI SONIA & SALIM  
5211 N. ROCK CANYON RD.  
TUCSON ARIZONA 85750-6026  
EMAIL: hariri21@gmail.com  
PHONE 520-977-7936

PARCEL 121-02-192A



5 EXTRUDED CURB NO SCALE



6 TYP. 2-RACK BICYCLE PARKING NO SCALE

C9-19-20  
DP21-0086

TWO WORKING DAYS BEFORE YOU DIG CALL FOR THE BLUESTAKES  
1-800-782-5348  
BLUE STAKE CENTER

LEGAL DESCRIPTION:		PIMA VERDE LOT 5 BLK 11 EXC W10' & EXC SPNDL	
PROJECT ADDRESS		1834 N CRAYCROFT RD. TUCSON ARIZONA 85712	
NO.	REVISION	DATE	APPROVED BY:
			RM KS
			CHECKED BY:
			-
			# OF SHEETS:
			2 OF 6
			DATE:
			JOB NUMBER:
			19 HARIRI
			SCALE:
			1" = 10'
			# OF SHEETS:
			C2
			SHEET NO:
			PDP

DEVELOPMENT PLAN  
1"=10'

CRAYCROFT OFFICE  
1834 N CRAYCROFT RD  
TUCSON ARIZONA 85701  
520-

CONTRACTOR:  
TALAVERA ENGINEERING & CONSTRUCTION  
2455 E. SREEDAY BLVD. STE # 102  
TUCSON, ARIZONA 85719  
PHONE: (520) 628-3654  
FAX: (520) 882-0447  
www.talaveraing.com

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
NO. \_\_\_\_\_

PROJECT: CRAYCROFT OFFICE  
DRAWING TITLE: SITE PLAN (PDP)

DRAWN BY: KATHY STENDER  
CHECKED BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

JOB NUMBER: 19 HARIRI  
SCALE: 1" = 10'  
# OF SHEETS: C2  
SHEET NO: PDP

**C.O.T. STREET BORDER & INT. BORDER REQUIREMENTS**

(TREES = 1 (15 GAL) PER 33LF, SHRUBS = 80% (1 GAL) & 20% (5 GAL) MIN & GND COV (1 GAL). ALL TO EQUAL 50% CANOPY COVER OF THE SF OF THE STREET BORDER AREA)

**STREET BORDER 'A' IS 10'(X)70' = (700 SF)**

NO. OF TREES REQUIRED = 2  
 NO. OF TREES PROVIDED = 2  
 SHRUB & GND COVER CANOPY REQUIRED = 350 SF  
 SHRUB & GND COVER CANOPY PROVIDED = 350 SF

**INTERIOR BORDER 'B' = 199 LF (@ 1 TREE/33 LF) = 6**

NO. OF TREES REQUIRED = 6  
 NO. OF TREES PROVIDED = 6

**INTERIOR BORDER 'C' = 75' LF (@ 1 TREE/33 LF) = 2.27 = 2**

NO. OF TREES REQUIRED = 2  
 NO. OF TREES PROVIDED = 2

**INTERIOR BORDER 'D' = 184 LF (@ 1 TREE/33 LF) = 5.57 = 6**

NO. OF TREES REQUIRED = 6  
 NO. OF TREES PROVIDED = 6

**LANDSCAPE SCHEDULE**

MARK	BOTANICAL NAME	COMMON NAME	SIZE	SYM.
T-1	PROSOPIS CHILENSIS (SINGLE TRUNK ONLY)	CHILEAN MESQUITE	15 GAL.	T-3
T-2	ACACIA	CAT CLAW	15 GAL.	
S-1	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL.	
S-2	LEUCOPHYLLUM FRUTESCENS COMPACTUM	TEXAS RANGER	5 GAL.	
A-1	LANTANA MONTEVIDENSIS	LANTANA - PURPLE	1 GAL.	
A-2	LANTANA MONTEVIDENSIS	LANTANA - YELLOW	1 GAL.	
D.G.		DECOMPOSED GRANITE	NOMINAL 2" THICK	
D.R.	BOULDER-BURY +/- 50%	DECORATIVE ROCK	2'-3'	

NOTE: COLOR OF DECOMPOSED GRANITE & DECORATIVE ROCK TO BE APPROVED BY OWNER  
 \* REPLACEMENT OF EXISTING NATIVE PLANTS ON-SITE IN RIPARIAN MITIGATION ZONE.

**NATIVE PLANT PRESERVATION ORDINANCE**

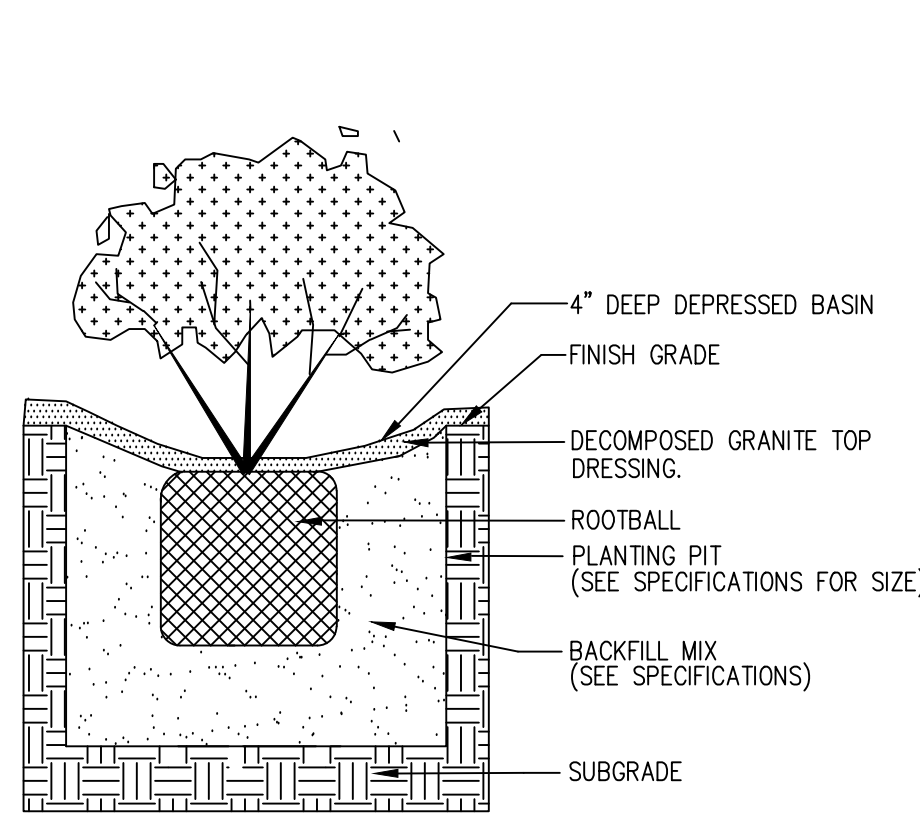
THIS SCOPE OF WORK IS EXEMPT FROM THE NATIVE PLANT PRESERVATION ORDINANCE FOR THE FOLLOWING REASONS:

- NO EXPANSION TO SITE AREA
- PAVING WAS EXISTING AND REMOVED FOR NEW DEVELOPMENT

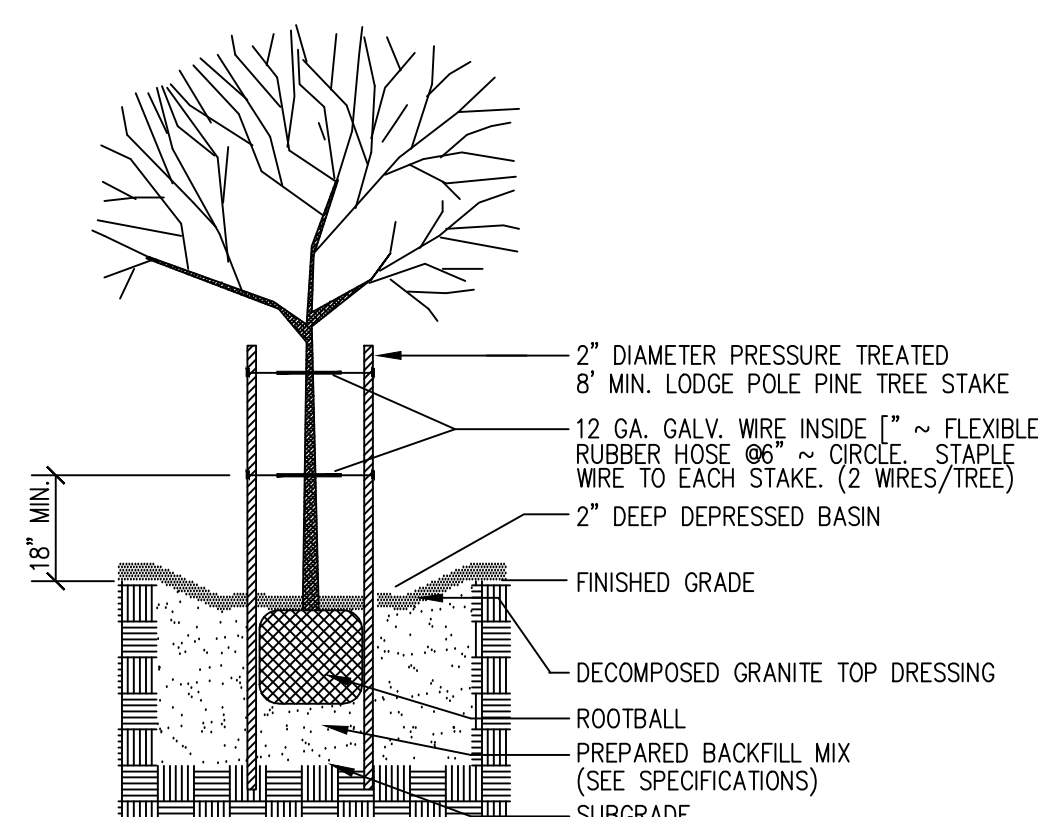
**MAINTENANCE:** ALL REQUIRED LANDSCAPING, IRRIGATION SYSTEMS, WALLS, SCREENING DEVICES, CURBING, AND DETENTION BASIN LANDSCAPE IMPROVEMENTS ON THE SITE OR WITHIN THE ABUTTING RIGHT-OF-WAY SHALL BE MAINTAINED AS SHOWN ON THE APPROVED PLANS. THE PROPERTY OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE TO ACHIEVE PERMANENT, SAFE, AND SUCCESSFUL LANDSCAPING AS REQUIRED BY THIS DIVISION. FAILURE TO MAINTAIN THE IMPROVEMENTS OR LANDSCAPING REQUIRED BY THIS DIVISION CONSTITUTES A VIOLATION OF THE LUC.

**GENERAL NOTES (LANDSCAPE)**

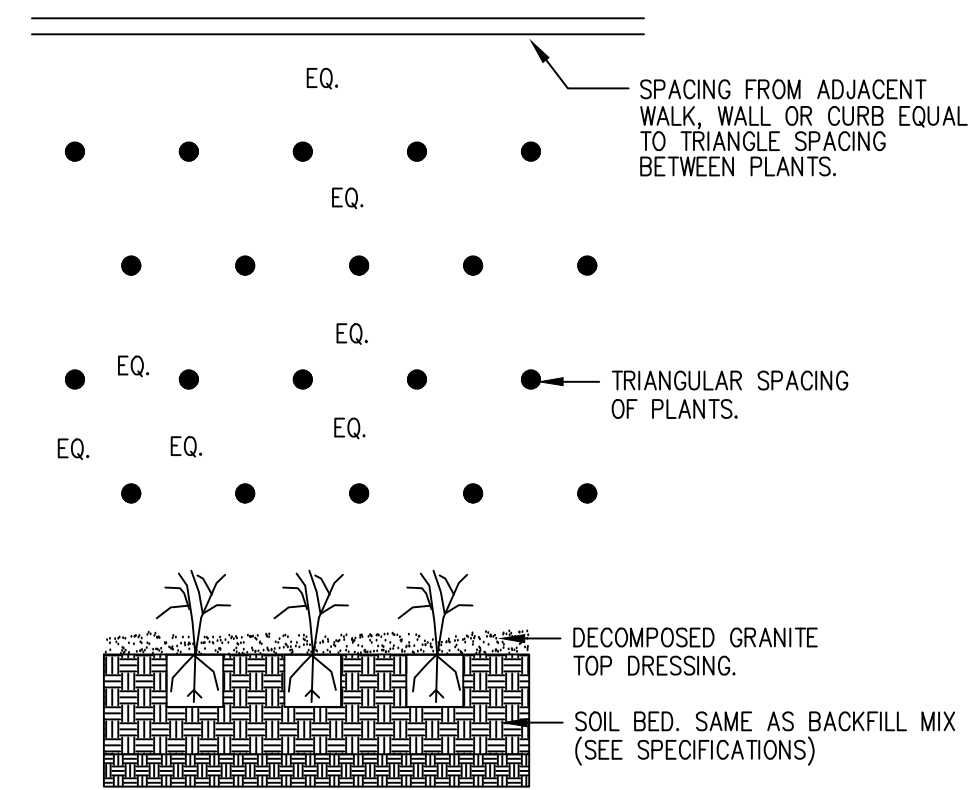
- CONTRACTOR SHALL REVIEW ALL LANDSCAPE AREAS FOR EXISTING GRADES, FOR ACCEPTANCE/REFUSAL, PRIOR TO ANY LANDSCAPE CONSTRUCTION.
- UPON THE COMPLETION OF ALL PLANTINGS, IRRIGATION AND MOUND CONSTRUCTION, PRIOR TO THE APPLICATION OF SURFLAN AND ALL GND COVERS, CONTRACTOR SHALL REVIEW ALL FIN. GRADES WITH OWNER'S REP.
- PROVIDE ONE OF EVERY PLANT SPECIFIED, FOR APPROVAL, PRIOR TO THE DELIVERY OF ALL PLANTS REQUIRED FOR THE PROJECT.
- GUARANTEE ON ALL PLANT MATERIALS SHALL BE 90 DAYS (MATERIAL AND LABOR) IRRIGATION, (1) YEAR PARTS AND LABOR.
- ALL PLANT EXCAVATION SIZES ARE SUBJECT TO APPROVAL AT ALL TIMES.
- ALL PLANT LOCATIONS SHALL BE LAYED OUT FOR APPROVAL, PRIOR TO EXCAVATION.
- PROVIDE A 2" PLANT BASIN FOR ALL PLANT MATERIALS FOR IRRIG. CONTROL.
- ALL TREES SHALL BE STAKED. SEE DETAIL.
- ALL PLANTS MUST BE IN PLACE PRIOR TO ACCEPTANCE FOR THE PLANT MAINTENANCE TO BEGIN.
- NOTIFY OWNER IF THERE ARE ANY PLANT POCKETS THAT WILL NOT DRAIN PROPERLY.
- MAINTENANCE IS NOT PART OF THIS CONTRACT, BUT SHOULD BE DISCUSSED W/ OWNER IF THIS IS A DESIRED SERVICE. IT SHALL INCLUDE WEED CONTROL (BY LICENSED CONTRACTOR), TREE STAKING, DISEASES, PESTS, INSECTS, GIRDLING, AND GENERAL PLANT REPLACEMENT AND SITE CLEAN UP; FERTILIZE AS NECESSARY.
- ALL PLANTS ARE SUBJECT TO REJECTION/REPLACEMENT.
- NO PLANTING SHALL OCCUR UNTIL RELATED IRRIG. IS IN PLACE.
- IF SITE SOIL IS NOT ACCEPTABLE FOR BACKFILL MIX, GIVE OWNER A PRICE PER CU.YD. IN PLACE.
- ALL PLANT SUBSTITUTIONS ARE TO BE EQUAL AND APPROVED PER C.O.T. OFFICIAL REGULATORY LIST OF LOW WATER USE/DROUGHT TOLERANT PLANT LIST.
- ALL LANDSCAPE AREAS SHALL RECEIVE 2" RED MULCH.
- CONTRACTOR SHALL ADHERE TO ALL SIGHT VISIBILITY TRIANGLES.
- ALL PLANTS SHALL RECEIVE A 2" BASIN TO INCOURAGE WATER HARVESTING OF SITE.
- ALL LANDSCAPE AREAS SHALL BE DEPRESSED 6" FOR WATER HARVESTING EFFORTS.
- RECLAIMED WATER IS NOT AVAILABLE FOR THIS SITE, SO THE OWNER WILL USE DOMESTIC WATER.
- ALL NEW PLANTINGS WILL BE IRRIGATED WITH AN AUTOMATED DRIP IRRIGATION SYSTEM.
- ALL PLANT MATERIALS INDICATED ON THE LANDSCAPE PLAN ARE FROM THE C.O.T. COUNTY RECOMMENDED PLANT LIST.
- ALL LANDSCAPE AREAS WITHIN THE PROJECT THAT FALL BETWEEN THE STREET CURB AND SIDEWALK WILL BE COVER W/ 2" OF 3/4" MIN. RED MULCH FOR DUST CONTROL.
- IRRIGATION SYSTEMS WILL BE MAINTAINED TO INSURE PROPER OPERATION AT ALL TIMES
- LANDSCAPED AREAS WILL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL AND WILL IN ALL RESPECTS BE MAINTAINED IN A CLEAN AND NEAT FASHION
- MAINTENANCE REQUIREMENT LANDSCAPE AREAS SHALL BE MAINTAINED AND THE CONTINUED MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, AGENT, HOMEOWNERS' ASSOC. OR OTHER LIABLE ENTITY.
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS TO NOT INTERFERE WITH VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE
- NO OASIS AREA IS PROPOSED FOR THIS PROJECT.
- NO PARKING SPACE IS TO BE GREATER THAN 40' FROM THE BASE OF A REQUIRED CANOPY TREE.



NOTE: SHRUBS IN SVT TO NOT BE TALLER THAN 36". KEEP TRIMMED



NOTE: TREES IN SVT TO BE TO CLEAR 72" AT BOTTOM OF CANOPY

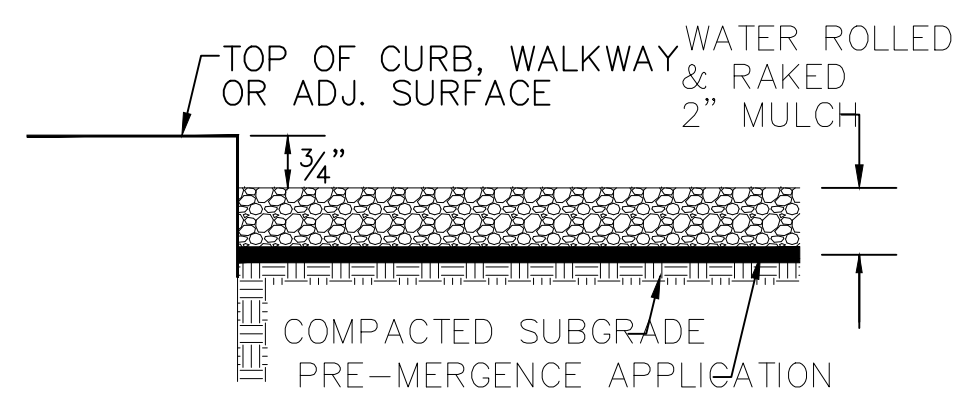


NOTE: SEE PLANTING PLAN FOR GROUNDCOVER PLANT SPACING.

**1 SHRUB PLANTING**

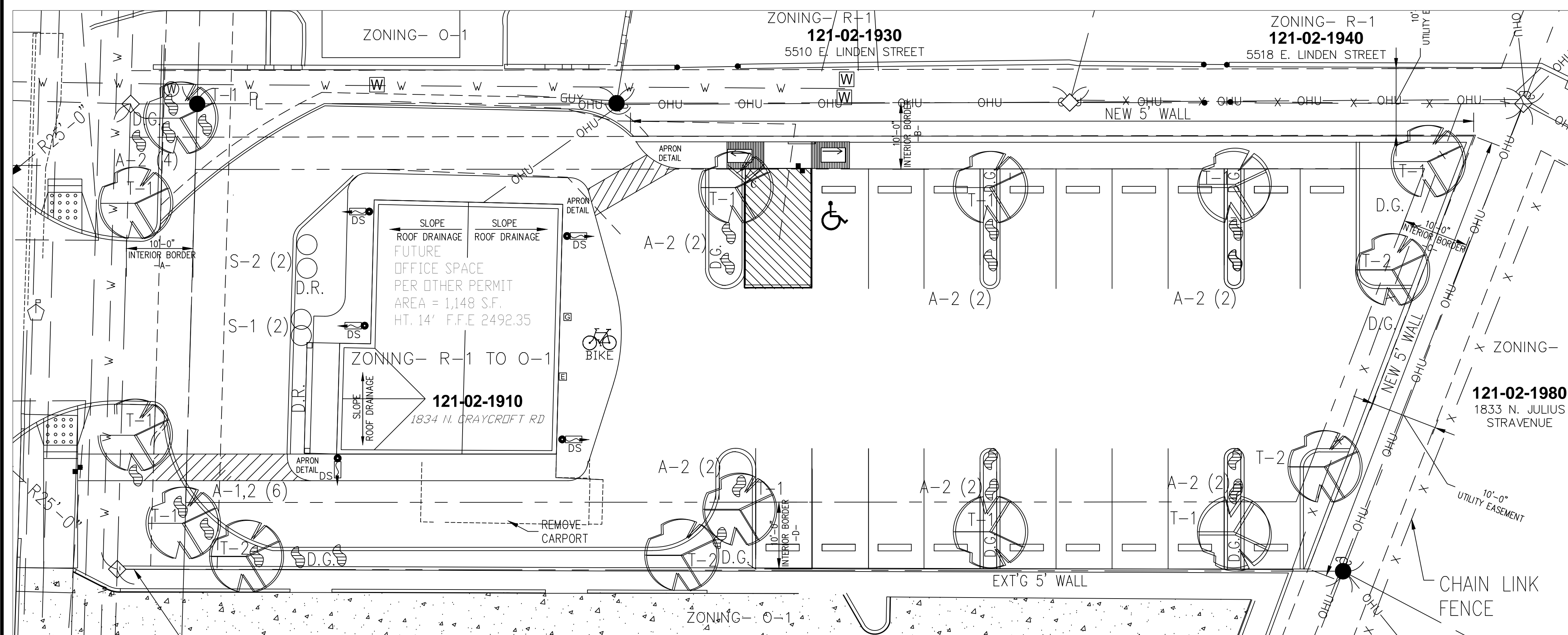
**2 SINGLE-TRUNK TREE PLANTING**

**3 GROUNDCOVER PLANTING**

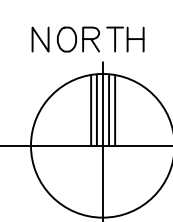


**PLANT BED PLACEMENT**

NOT TO SCALE



**LANDSCAPE PLAN**  
 1"=10'



**OWNER / DEVELOPER**

HARIRI SONIA & SALIM  
 5211 N. ROCK CANYON RD.  
 TUCSON ARIZONA 85750-6026  
 EMAIL: hariri21@gmail.com  
 PHONE 520-977-7936

PARCEL 121-02-192A

C9-19-20  
 DP21-0086

**1-800-782-5348**

BLUE STAKE CENTER

**LEGAL DESCRIPTION:**

PIMA VERDE LOT 5 BLK 11 EXC W10' & EXC SPNDL

**PROJECT ADDRESS**

1834 N CRAYCROFT RD.  
 TUCSON ARIZONA 85712

NO.	REVISION	DATE	APPROVED BY:	DRAWN BY:	CHECKED BY:	# OF SHEETS:
			RM	KS	-	3 OF 6
			DATE:	JOB NUMBER:	SCALE:	SHEET NO:
				19 HARIRI	1"=10'	C3

CRAYCROFT OFFICE  
 1840 N CRAYCROFT RD  
 TUCSON ARIZONA  
 85701

TALAYERA  
 ENGINEERING & CONSTRUCTION  
 2455 E. SPEDAY BLVD. STE # 102  
 TUCSON, ARIZONA 85719  
 PHONE: (520) 638-3244  
 FAX: (520) 882-0347  
 www.talayeraengineering.com

CRAYCROFT OFFICE  
 LANDSCAPING

DRAWN BY:  
 KATHY STENDER  
 CHECKED BY:

APPROVED BY:

DATE:  
 12-02-21  
 JOB NUMBER:  
 19 HARIRI  
 SCALE:  
 NTS

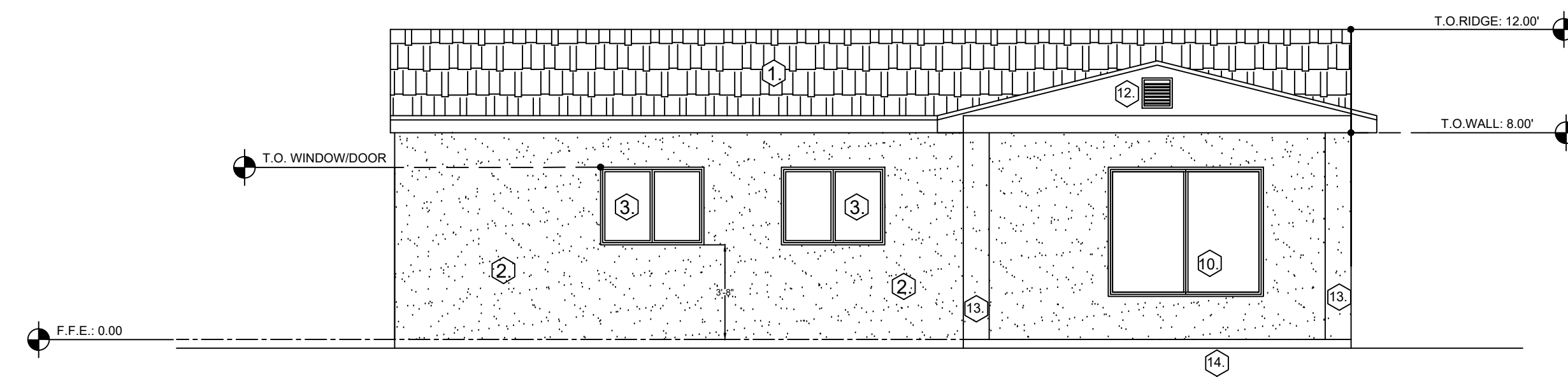
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SHEET NO:

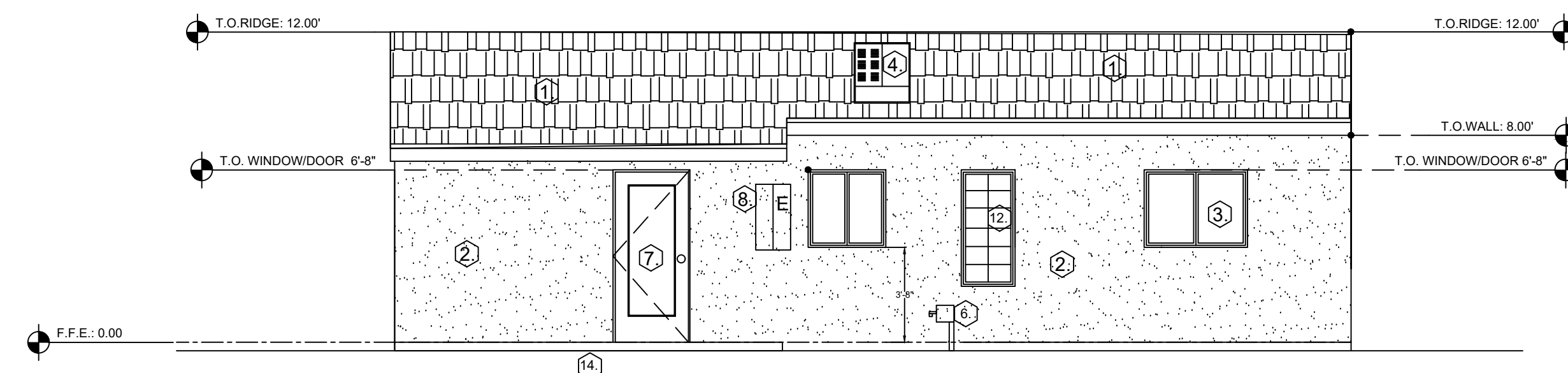
**C.3**

KEYNOTES: 

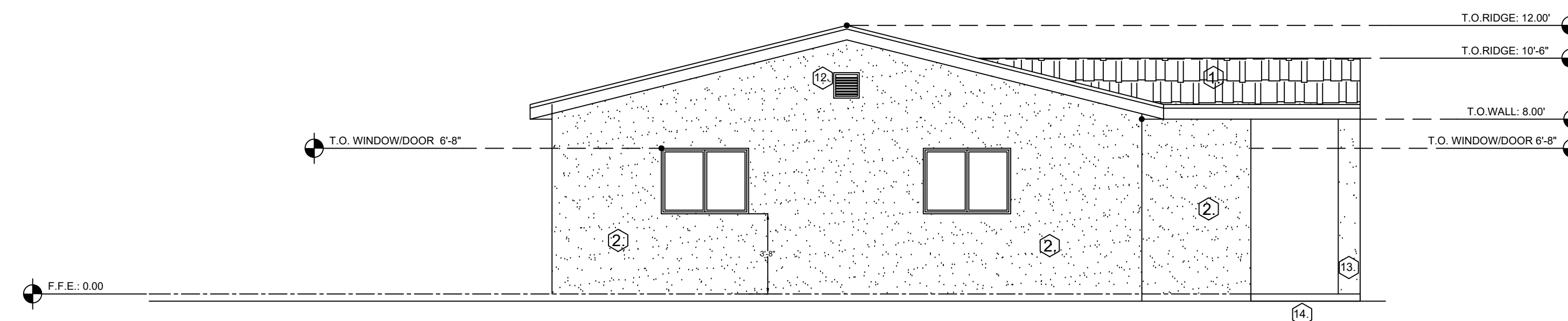
1. SHINGLES ROOF
2. STUCCO FINISH
3. 4030 XO WINDOW
4. ROOF TOP MECHANICAL UNIT
5. WALL MOUNTED MECHANICAL UNIT
6. GAS METER
7. 3068 EXTERIOR DOOR W/ WROUGHT IRON SECURITY SCREEN
8. ELECTRICAL PANEL
9. 3030 XO WINDOW
10. 6050 XO WINDOW
11. 2046 GLASS BLOCK WINDOW
12. ATTIC VENT
13. 12" x 12" PORCH BOXED STUCCO COLUMN
14. PORCH CONCRETE SLAB



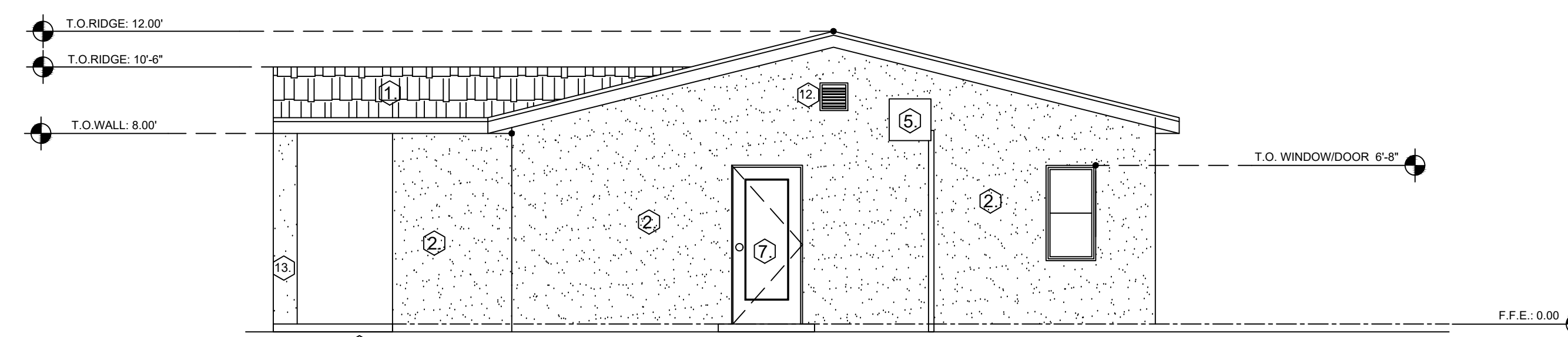
FRONT (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



REAR (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"

For writing specifications and/or  
CALL FOR THE BLUEPRINTS  
1-800-STAKE  
1-800-782-5348  
CALL COLLECT

Sheet Title:  
-PRELIMINARY ELEVATIONS

No.	Revision/Issue	Date

Firm Name

Engineer/Architect Name and Address  

**TALAVERA**  
 ENGINEERING & CONSTRUCTION  
 2455 E. SPEEDWAY BLVD. STE # 102  
 TUCSON, ARIZONA 85719  
 PHONE: (520) 628-3654  
 FAX: (520) 682-0347  
 www.talaveraengineering.com

Project Name and Address  
 CRAYCROFT OFFICE BUILDING  
 1834 N. CRAYCROFT RD  
 TUCSON, AZ

Project: \_\_\_\_\_ Sheet: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Scale: 1/4" = 1'-0" **A3.0**

**PHOTOGRAPHIC SAMPLES OF PROPOSAL MATERIALS.**

**Exterior Walls (Frame Stucco, painted with desert colors specifically Color Tan).**





**Site property line wall (Proposal to be masonry block as noted, painted light gray on the south and exposed natural block color on the north and east).**







**Typical Sidewalks (Proposed to be gray concrete similar to existing items.)**

Note: There are no sidewalks currently on the property, but as noted there is a porch slab. Sidewalks would be similar material and color



**Parking Area to be paved with typical asphalt paving over ABC or expose aggregate concrete. (See adjacent properties exhibits)**





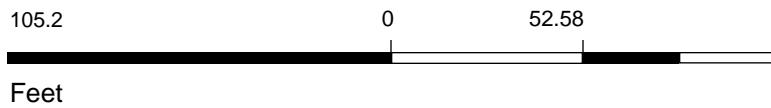
# PimaMaps Print

## Legend

Parcels



Notes:



This map is static output from an internet mapping site and no warranty is expressed or implied as to the accuracy, reliability, currency or completeness of the data, and is for reference only

◆ → LOCATION AND DIRECTION  
ON WHICH THE EXHIBIT IS SHOWN

33 → EXHIBIT NUMBER ON DOCUMENT

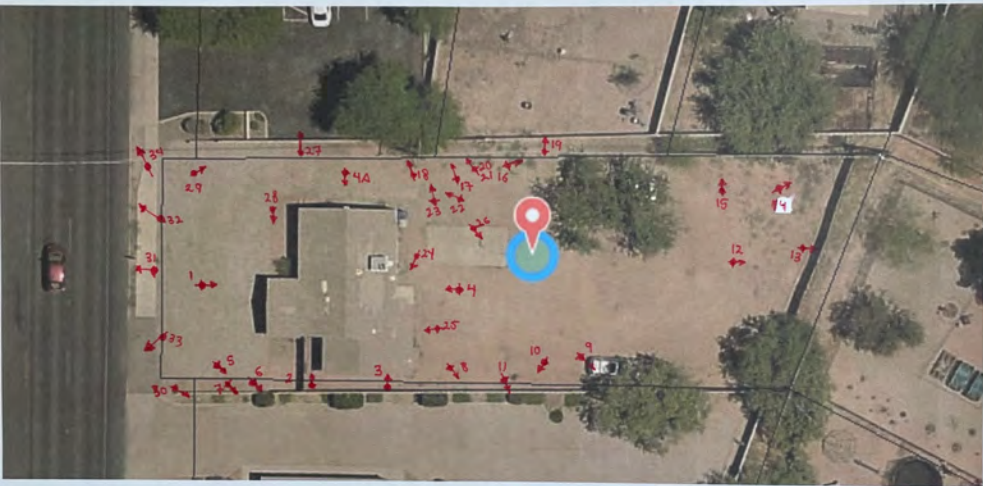


EXHIBIT KEY

# EXHIBITS



EXHIBIT #1 (Front-West Elevation)



EXHIBIT #2 (Side-South Elevation of Existing Building-West Section)



EXHIBIT #3 (Side-South Elevation of Existing Building-East Section)



EXHIBIT #4 (Rear-West Elevation of Existing Building)



EXHIBIT #4A (Side-North Elevations of existing building)



EXHIBIT #5 (Southern Site Property Wall-West Section)



EXHIBIT #6 (Southern adjacent property)



EXHIBIT #7 (Close up- Southern Site Property Wall-West Section)





EXHIBIT #8 (Southern Site Property Wall-Middle Section)



EXHIBIT #9 (Southern Site Property Wall-East Section)



EXHIBIT #10 (Southern adjacent property parking lot)



EXHIBIT #11 (Southern adjacent property parking lot)



EXHIBIT #12 (Rear existing wood fence to be replace by block wall)



EXHIBIT #13 (Adjacent property to the West)



EXHIBIT #14 (Existing North-West Corner of the property with corrugated metal fence to be replace by block wall)



EXHIBIT #15 (Existing North-Fence of the property with chain link fence to be replace by block wall)  
Wall is outlining the utility easement



EXHIBIT #16 (North Utility Easement)



EXHIBIT #17 (Northern Site Property Wall-Middle Section)



EXHIBIT #18 (Northern Site Property Wall-West Section)



EXHIBIT #19 (Adjacent property to the North)



EXHIBIT #20 (Existing Water Meter adjacent to North Site Wall with in the Easement)



EXHIBIT #21 (Existing Water Meter Closeup)



EXHIBIT #22 (Utility Power Pole at the north-east area of the property)



EXHIBIT #23 (Existing Site Wall adjacent to the Power Pole at the north-east area of the property)





EXHIBIT #24 (Existing Gas Meter)



EXHIBIT #25 (Existing Electrical Panel)



EXHIBIT #26 (Rear of the property where New parking lot is proposed)



EXHIBIT #27 (Adjacent property to the North-West end)

EXHIBIT #31



EXHIBIT #28 (Front area of existing building where the new proposed driveway will entrance)



EXHIBIT #29 (Northern Property Wall- West Section)



EXHIBIT #30 (Southern Property Wall & Adjacent Property)



EXHIBIT #31 (Western property across Craycroft Rd)



EXHIBIT #32 (North-Western Property across Craycroft Rd.)



EXHIBIT #33 (South-Western Property across Craycroft Rd)

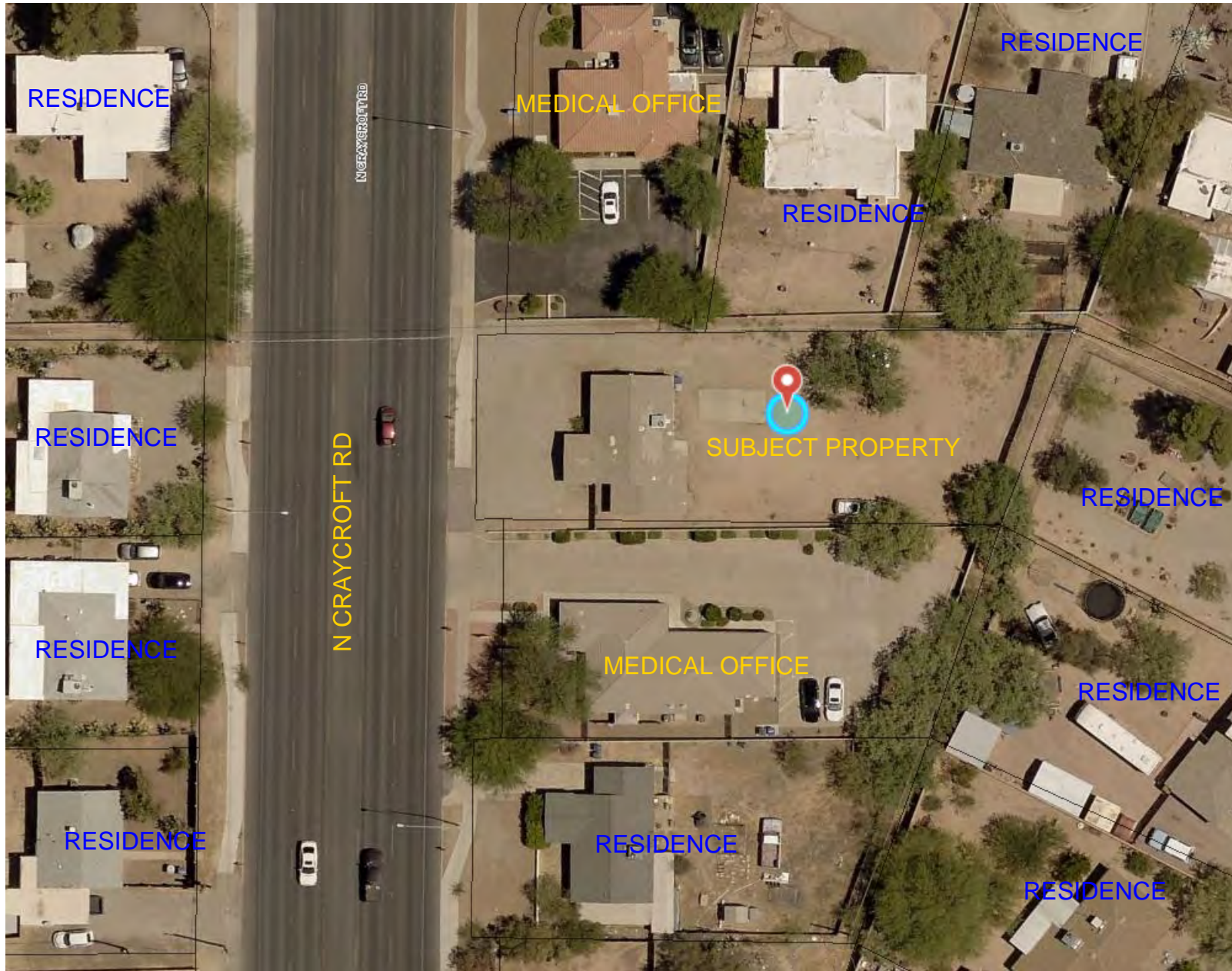


EXHIBIT #34 (Closest Fire hydrant located at the South-west corner of Craycroft and Linden St.

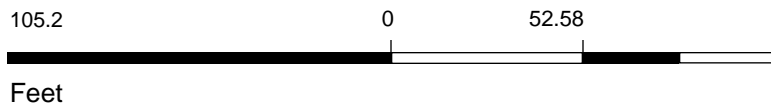
# PimaMaps Print

## Legend

Parcels



Notes:



This map is static output from an internet mapping site and no warranty is expressed or implied as to the accuracy, reliability, currency or completeness of the data, and is for reference only



## TALAVERA ENGINEERING & CONSTRUCTION

2455 E. Speedway Blvd. Suite #102 Tucson Arizona 85719

(520 628 3654)

### DEVELOPMENT PLAN SUBMITTAL COMMENTS 3<sup>rd</sup> RESPONSE

To: Steve Shields

Subject: Craycroft Office Development, DP21-0086

Date: 01/12/2022

### ZONING:

#### 2-06.3.0 FORMAT REQUIREMENTS

1. Previous comment 1 - This comment was not addressed. COMMENT: 2-06.3.12 – The drawing index shows 6 pages but only 5 were submitted, clarify the difference. **RESPONSE:**

#### CONTENT REQUIREMENTS

2. Previous comment 2 - This comment was not addressed correctly. Sheets 1 through 4 list the total number of sheets as 6 when only 5 were submitted and sheet 5 does not provide page number and the total number of pages. COMMENT: 2-06.4.2.D – The total number of sheets listed on sheets 1-4 states 4 when there were 5 sheets submitted. Sheet 5 doesn't have the page number and the total number of pages listed. **RESPONSE: Sheet numbering updated**

#### 2-06.4.7 - General Notes

The following general notes are required. Additional notes specific to each plan are required where applicable. **RESPONSE: Acknowledged**



2-06.4.7.A - Zoning and Land Use Notes **RESPONSE: Acknowledged**

3. Previous comment 5 - This comment was not fully addressed. The rezoning conditions were not provided on the plan. COMMENT: 2-06.4.7.A.3 – Add the following to Site Note 2 “PROPOSED ZONING IS O-1 PER C9-19-20”. Also list all rezoning conditions on the plan.

**RESPONSE: Zoning Conditions and notes added**

4. Previous comment 7 - This comment was not addressed. COMMENT: 2-06.4.7.A.6.a – Per Use Specific Standard 4.9.4.R.7 New construction shall be reviewed by the Design Review Board (DRB) for architectural and site design compatibility, Design Review is required. Contact Maria Gayosso for requirements at [Maria.Gayosso@tucsonaz.gov](mailto:Maria.Gayosso@tucsonaz.gov). **RESPONSE: Acknowledged**

2-06.4.9 - Information on Proposed Development

The following information on the proposed project shall be shown on the drawing or added as notes.

5. Previous comment 8 - Zoning was not able to find the future SVT's on the plan.COMMENT: 2-06.4.9.H.2 - Show future sight visibility triangles on the plan . On a designated MS&R street, the sight visibility triangles are based on the MS&R cross-section. **RESPONSE: SVT are indicated on plan based on the Future MS7R conditions**

6. Previous comment 10 - This comment was not fully addressed. Provide the radius for the back-up spur, see UDC Article 7.4.6.F.4. COMMENT: 2-06.4.9.H.5 – Dimension the back-up spur shown at the east end of the vehicle use area. **RESPONSE: Radius of back spur provided**

7. Previous comment 13 - This comment was not addressed correctly. Remove the reference to “36” on the “H/C ACCESSBLE TY” detail and the “3'-0”” on the “STANDARD PARKING SPACE” as this does not meet the requirements shown in UDC Article 7.4.6.H.3 . COMMENT: 2-06.4.9.H.5.a – Detail 3 sheet 2 the location dimension show for the wheel stop is not correct. Review UDC Article 7.4.6.H.3 and revise the detail. **RESPONSE: Detail revised and updated accordingly**

8. Previous comment 14 - This comment was not addressed correctly. The mounting height should be to the bottom of the van accessible sign. COMMENT: 2-06.4.9.H.5.a – Provide a mounting height dimension for the accessible sign on the detail. **RESPONSE: Detail revised and updated accordingly**

9. Previous comment 16 - The short-term bicycle parking does not meet the requirements listed below, review the standards and provide a short-term bicycle detail that meets the requirements. As the plan still references long-term bicycle parking provide a detail on the plan. COMMENT: 2-06.4.9.H.5.d – Provide a detail for the required short-term bicycle parking that clearly demonstrates how the requirements of UDC Articles 7.4.9.B.1, .2 & 7.4.9.C are met. If you elect of provide long-term bicycle parking provide a detail that clearly demonstrates how the requirements of UDC Articles 7.4.9.B.1, .2 & 7.4.9.D are met. **RESPONSE: Detail provided**

10. Previous comment 17 - This comment was not addressed. COMMENT: 2-06.4.9.J – Show the future curb for Craycroft on the plan. **RESPONSE: Future Curb indicated on Plan**

11. Previous comment 18 - This comment was not addressed. COMMENT: 2-06.4.9.O – Per UDC Article 11.4.6 definition of Established Area Setback and this site borders on a street designated as a major street on the COT MS&R Plan this site does not qualify for Established Area Setbacks. Therefore, the street perimeter yard setbacks for Craycroft Rd are based on UDC Article 6.4.5.C.2 and Table 6.4.5.C-1. ADT or 1,000 or greater. Provide a street perimeter yard setback form the existing building to the back of future curb. **RESPONSE: Setbacks provided**

12. Previous comment 19 - This comment was not addressed. COMMENT: 2-06.4.9.R – Clearly demonstrate that there is an accessible route from the accessible vehicle parking space to the accessible entrance of the building and from the accessible entrance to the sidewalk along Craycroft. Does not appear that there are any ramps provided. **RESPONSE: Accessible route indicated with arrows from parking area to building entrance**



## TALAVERA ENGINEERING & CONSTRUCTION

2455 E. Speedway Blvd. Suite #102 Tucson Arizona 85719

(520 628 3654)

### DEVELOPMENT PLAN SUBMITTAL COMMENTS 3<sup>rd</sup> RESPONSE

To: Anne Warner, RLA, Planner

Subject: Craycroft Office Development, DP21-0086

Date: 01/12/2022

### LANDSCAPING:

#### 1. UDC 2-10.4.1 Identification and Descriptive Data

A. All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan. **RESPONSE: Acknowledged**

2. Although on the plan set legend, no water harvesting plan was submitted. A Commercial Rainwater Harvesting plan is required UDC Technical Standards Manual – Section 4-01.0.0. and Section 5-01.0.0 Landscaping and Screening. **RESPONSE:**

3. T-2 on the plant legend is missing the species, please revise. **RESPONSE: Species Added**

4. Notes #18 and #7 are incorrect and conflict with Note #19 , please revise. Note #28 and #29 are not relevant, please remove. **RESPONSE: Notes revised and removed per your request.**

5. Please provide, label and dimension north interior landscape border, AM Section 2-10-4.2.A.2.f. & .g. It is required adjacent to residential uses. **RESPONSE: Border Labeled**

6. An existing 6' wall occurs along the northern boundary, and a 5' wall is proposed. This creates an unsafe tunnel situation, demonstrate how the new wall complies with Safe by Design guidelines, Technical Standards Manual 5-01.6.0. A Design Development Option may be pursued to delete this requirement. **RESPONSE: A 6FT wall is proposed now.**

7. The street landscape border must provide 50% vegetative cover within the border, the plants indicated are insufficient, and calculations are incorrect. **RESPONSE: Acknowledged, calculations revised and updated per current codes**

8. The street landscape border is within the right of way and must be approved by the CoT Transportation and Mobility Department. A right of way use permit is required. **RESPONSE: Acknowledged**

9. Add these notes to the plan;

#### Standard Notes for Planting in ROW

a. It is the owner's responsibility to keep the Sight Visibility Triangles (SVT), and the pedestrian access area clear of vegetation at all times, per Unified Development Code (UDC) Technical Standards Manual Section 10.

b. It is the owner responsibility to keep a 5' wide by 7' tall clear pedestrian access open across the entire property.

c. It is the owner responsible to keep vegetation from growing past the curb line clear and keep a 15' high clear zone over the travel lane.

d. Final plant locations must be in compliance with all utility setback requirements.

e. The owner understands that if the City of Tucson Transportation Department or any utility company needs to work within the ROW in the landscaped area, plants and irrigation may be destroyed without replacement or repair.

f. The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.

g. The only private irrigation equipment that is allowed within the ROW are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property. (excluding water meter)

h. Contractor to obtain a Right Of Way permit prior to construction within the right-of-way. **RESPONSE: Notes added**



## TALAVERA ENGINEERING & CONSTRUCTION

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(520 628 3654)

### DEVELOPMENT PLAN SUBMITTAL COMMENTS 3<sup>rd</sup> RESPONSE

To: David Stiffey- Program Coordinator

Subject: Craycroft Office Development, DP21-0086

Date: 01/26/2022

### TRAFFIC

1. Sheet C2- Due to the limited property frontage from Craycroft Rd. please update the entrance to P.A.G. Standard 206; Driveway Apron. (This is the modified 206 according to the "solid-circle note" on sheet 1 of 2- P.A.G. 206) **RESPONSE: Entrance Revised and Updated**
2. Sheet C2- Tie-in to existing sidewalk north of property entrance according to P.A.G. Standard 203 **RESPONSE: Standard PAG Detail 203 Added**
3. Sheet C2- Show spot grades of ADA compliance where sidewalk will meet new P.A.G. standard 206 driveway apron. **RESPONSE: Spot elevations added at ADA Ramps and Sidewalk**
4. Sheet C2, where Keynote 8 (4 Ft. wide raised concrete sidewalk) will intersect new sidewalk in the ROW, show spot grades that are in ADA compliance. **RESPONSE: Spot elevations added at ADA Ramps and Sidewalk**
5. Sheet C2- Due to Craycroft Rd. being an MS&R street, show "future" sight visibility triangle according to COT Development Standard, 3-01.5.1.B.2 **RESPONSE: Noted**



Planning & Development Services Department  
 201 N. Stone Avenue  
 PO Box 27210  
 Tucson, AZ 85726  
 (520) 791-5550

Letter of Agency/Authorization

*If the applicant is not the owner of record of the subject site, a Letter of Agency from the owner or the owner's authorized representative must be submitted which grants the applicant permission to submit an application for the requested entitlement(s).*

Date: 5-19-2022

To:

City of Tucson  
 Planning & Development Services Department  
 Zoning Administration Division  
 PO Box 27210  
 Tucson, AZ 85726

Planning & Development Services Department:

I, the undersigned legal owner of record, hereby grant permission to:

Applicant: Talavera Engineering & Construction Phone: 520-628-3654

Applicant's Address: 2455 E Speedway Ste # 102,

Tucson AZ 85719

To submit a Design Review Bard (DRB) application on my behalf.

The subject property located at:	1834 N. Craycroft Rd.
Assessor's Parcel Number:	121-02-192A
Printed Name of Owner of Record:	Sonia & Salim Hariri
Address of Owner of Record:	5211 N Rock Canyon Rd.
Phone Number of Owner of Record:	520-997-7936
Signature of Owner of Record: (must be original signature)	

Activity Number: DP21-0086

Case Number: C9-19-20 (Rezoning)

*Salim Hariri*

*Salim Hariri*

5/22/2022

*Sonia Hariri*

*Sonia Hariri*