

# MEDICAL SQUARE

## Planned Area Development

REZONING  
Preliminary Development Plan  
C9- 21-21      Date 9/15/21  
Planning & Development Services

*Submitted to:*

City of Tucson  
Planning & Development Services Department  
201 North Stone Avenue  
Tucson, Arizona 85701

*Prepared for:*

Medical Square Owners' Association  
1601 N. Tucson Boulevard  
Tucson, Arizona 85716

*Prepared by:*

Lazarus & Silvyn, P.C.  
5983 E. Grant Road, Suite 290  
Tucson, Arizona 85712

*With assistance from:*

J Studio  
8197 N. White Stallion Place  
Tucson, Arizona 85743

Engineering and Environmental Consultants, Inc.  
555 E. River Road, Suite 301  
Tucson, Arizona 85704

August 2021



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## I. INTRODUCTION & POLICY

Medical Square, located at 1601 N. Tucson Boulevard (the “Property”) between E. Elm Street and E. Adams Street, is a 5.84-acre office condominium development encompassing 36 parcels and featuring a combination of medical and professional office uses. (See *Exhibit I: Location Map*.) The Property, which was originally constructed in the early 1950s, is centrally located in the City of Tucson (the “City”) in the Blenman Elm Neighborhood and is a contributing property to the Blenman Elm National Register Historic District.

### A. Purpose

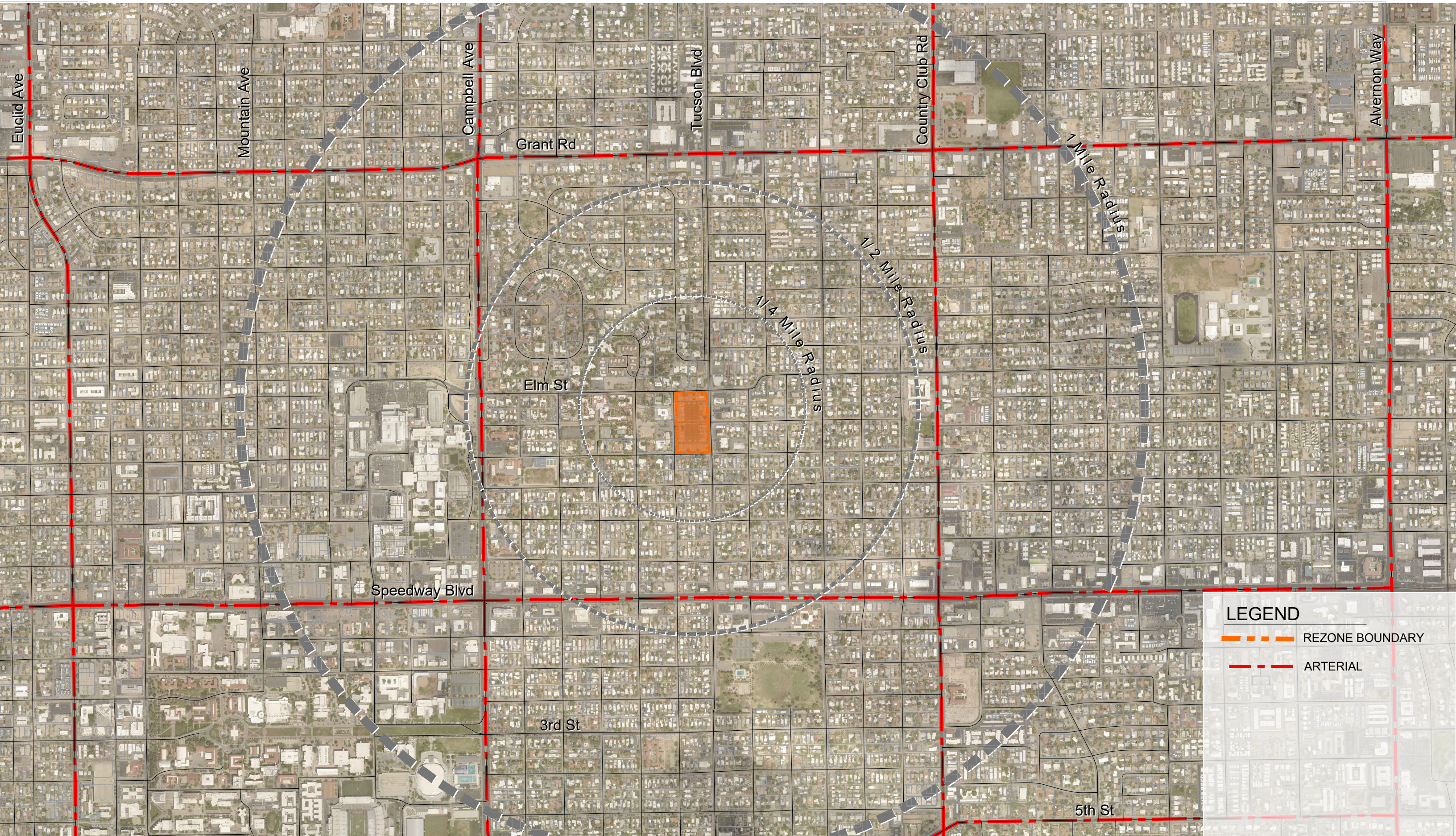
When the Property was originally constructed, it was developed in conformance with the zoning regulations in place at that time. Over the years, the City’s zoning regulations and medical office uses have evolved such that today the Property’s R-2 zoning, under the Unified Development Code (“UDC”), no longer permits some of the existing uses and/or the uses do not meet the site development standards. The Property’s uses and structures are legal nonconforming (or “grandfathered”) pursuant to the UDC. This nonconforming status has caused financing issues for existing owners.

The primary use on the property is medial office with some administrative and professional offices and educational uses. Over the years, the medical uses have expanded to include holistic medicine. The UDC does not characterize some of the holistic therapies—such as massage therapy—as an office use permitted in R-2. Therefore, the Medical Square Owners Association (the “Association” or “Owners”) is seeking a rezoning to Planned Area Development (“PAD”) to support the continued productive use of the Property as a medical plaza by:

- Memorializing the Property’s existing uses.
- Expanding the permitted uses on the Property to include uses that are similar and complementary to existing uses.
- Establishing site development standards that reflect the existing conditions on the Property.
- Affirming the Property’s historic status and the Owners’ commitment to its preservation.
- Bringing the Property into conformance with zoning regulations, thereby decreasing challenges related to financing when there is a change in ownership or use on an individual parcel within the Property.

The PAD is the appropriate zoning for the Property because it provides the flexibility to establish appropriate uses and site development standards that permit the existing uses. The Blenman Vista Neighborhood Plan (“BVNP”) identifies the property as appropriate for office uses, and this PAD conforms with BVNP. The PAD zoning also establishes the site development standards appropriate for the existing site characteristics and historic structures, which will ensure the Property continues to be compatible with the Blenman Elm Neighborhood.





**LEGEND**

- REZONE BOUNDARY
- ARTERIAL



## B. Plan Conformance

The Property is located within the Existing Neighborhoods Building Block on Plan Tucson's Future Growth Scenario Map and is subject to the policies within the University Area Plan ("UAP") and the BVNP. The following general, area and neighborhood policies support this PAD.

### 1. Plan Tucson

#### a. Historic Preservation (HP1)

Implement incentives for private property owners to maintain, retrofit, rehabilitate and adaptively reuse historic buildings.

#### b. Redevelopment & Revitalization (RR1)

Redevelop and revitalize in areas with the greatest potential for long-term economic development by focusing public resources, tools and incentives to catalyze private investment.

#### c. Business Climate (BC1)

Continue to develop and implement local strategies, services and incentives to enhance Tucson's business climate.

#### d. Land Use, Transportation & Urban Design

- LT28.1.7: Preserve and strengthen the distinctive physical character and identity of individual neighborhoods and commercial districts in the community.
- LT28.1.9: Support strategically located mixed-use activity centers and activity nodes in order to increase transit use, reduce air pollution, improve delivery of public and private services, and create inviting places to live, work and play.
- LT28.1.10: Consider special zoning districts, such as Planned Area Developments (PAD) or overlay districts, as a way to promote the reuse of historic structures, foster mixed-use activity nodes, pedestrian and transit-oriented development areas, and pedestrian-oriented districts in areas suitable for redevelopment or enhancement.
- LT28.1.11: Support the retention and expansion of existing business.
- LT28.1.15: Protect historic and archaeological resources.
- LT28.1.16: Preserve Tucson's historic architecture in keeping with applicable rehabilitation standards.
- LT28.2.10: Support the location of residentially scaled office uses as a possible alternative to residential uses along major streets when:
  - a. The project stabilizes and enhances the transition edge when adjacent to existing and future residential uses;

- b. Safe and appropriate access generally can be provided from a major street;
- c. Required parking, loading and maneuvering can be accommodated on site;
- d. Consideration is given to the consolidation of design elements, such as access points, parking, landscaping and screening; and
- e. Consideration is given to accommodating current or future cross access between adjacent parcels and uses.

## 2. University Area Plan

The Property is located within the UAP and is identified as appropriate for office/commercial uses on its General Land Use Map. The overall goals of the UAP are to recognize the distinct character of each neighborhood within the UAP area and ensure land uses support, protect and enhance the identity, historic character and residential quality of life in the neighborhoods. The following policies support the establishment of this PAD.

### a. Section 3: Land Use and Development

- 3A (General): The UAP encourages the retention of historic buildings by including them as integral components of development.
- 3C (Office/Commercial Development): Office and commercial development that complements the scale and character of the neighborhood is supported.
- 3D (Mixed use Development):
  - 1: Mixed use development (i.e., integration of housing, employment, shopping, etc. in a relatively compact area) is promoted when vehicular access is provided to an arterial or collector street, and vehicular traffic is directed away from the interior of residential neighborhoods.
  - 3: The tenant mix of services should be oriented to local residents and compatible with the neighborhood.

### b. Section 8: General Design Guidelines

The UAP offers design guidelines for new development. Development should

- 8.1: Complement surrounding development (similar setbacks, height, architectural style, etc.),
- 8.2: Reflect neighborhood character (neighborhood identity, historic development patterns, etc.),
- 8.3: Buffer adjacent uses (screening techniques), and
- 8.4: Respect historic development.

## 3. Blenman Vista Neighborhood Plan

The primary goal of the BVNP is to protect the integrity of its neighborhoods. The PAD allows the Property to be in conformance with the Blenman Elm Neighborhood Plan.

a. Land Use (Non-Residential)

- Policy I.D: The integration of shared access, onsite refuse collection areas and common parking/maneuvering areas is encouraged in non-residential development.
- Policy I.E: The Property is identified as appropriate for office uses and encourages development of nonresidential uses to retain the low-density residential scale of the surrounding neighborhood.

b. Compatible Design

The BVNP emphasizes compatible design of new development with the existing neighborhood character, including:

- Policy I.G: Screening of parking areas,
- Policy I.K: Encourage siting of buildings for privacy, noise attenuation, and
- Policy I.J: Residentially scaled architecture.

c. Plan Administration

The BVNP encourages citizen input in the plan implementation process (Policy I.A.2).

d. Historic Preservation

Recognize historic quality and preserve sites with historic value (Policy I).



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## II. SITE ANALYSIS

### A. Physical Constraints

The Property is developed with 8 buildings on 36 separate parcels and is located within an existing neighborhood. The buildings were originally constructed between 1951 and 1953. All buildings are designated Contributing Properties to the Blenman Elm National Register Historic District.

No new construction is proposed. The existing conditions—both land use and site development—are legal nonconforming.

### B. Transportation & Circulation Elements

East Elm Street is adjacent to the northern Property boundary. It is designated a collector roadway on the City's Major Streets and Routes Plan ("MS&R") with an existing and proposed right-of-way of 50 feet. North Tucson Boulevard is adjacent to the Property's eastern boundary. It is designated a collector on the City's MS&R with a proposed right-of-way of 76 feet. The existing right-of-way adjacent to the Property varies between 65 feet and 76 feet with its widest measurement at its intersection with E. Elm Street. (See *Exhibit II.B: Circulation.*)

### C. Existing Zoning & Land Use

#### 1. Onsite

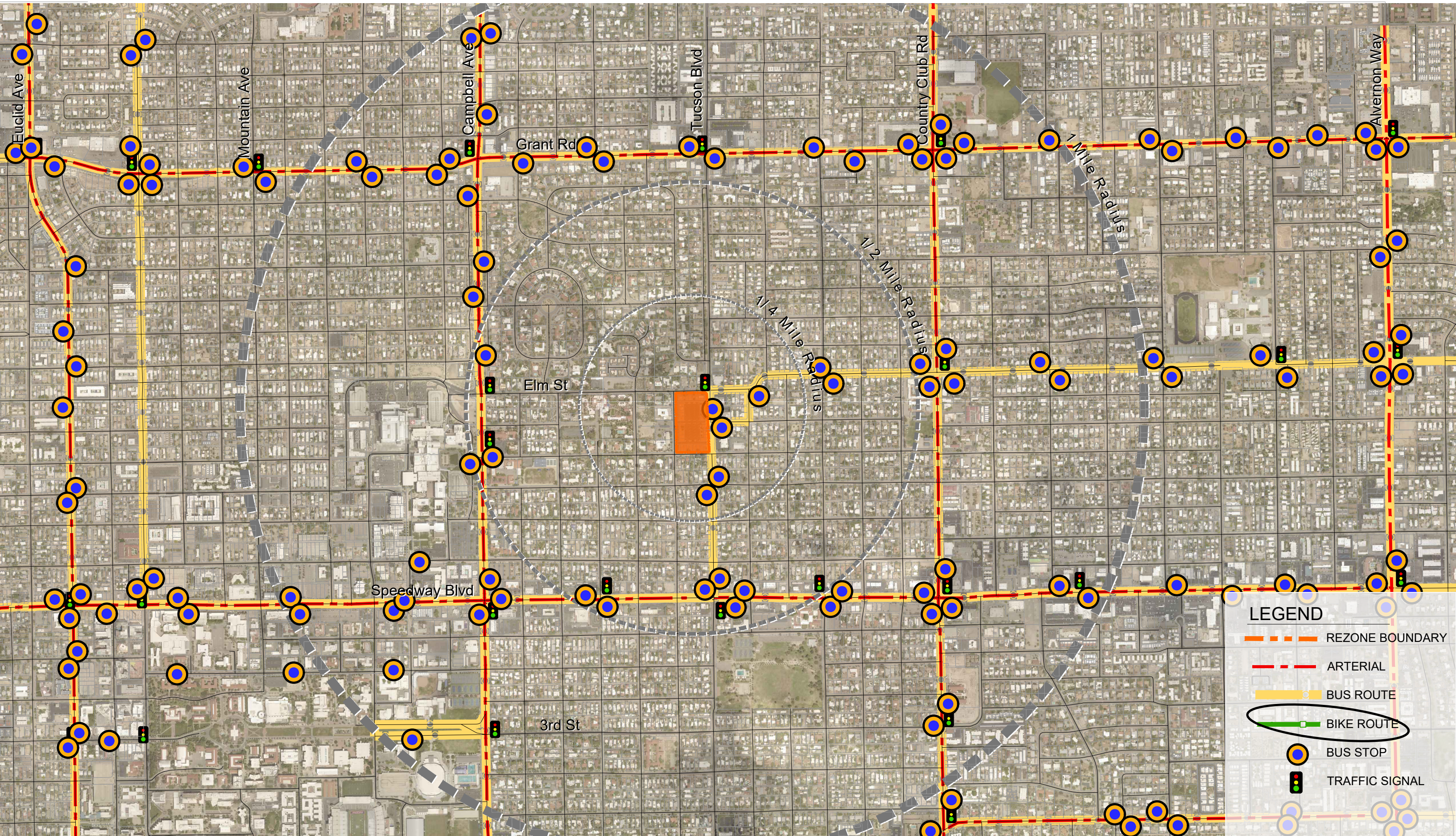
The Property includes 8 existing buildings and 36 separate parcels owned and operated under a condominium regime. The common area, which includes access and parking areas, is 2.67 acres in size. The remaining 35 parcels are under individual ownership.

The Property's existing zoning is R-2. The Property is within the Davis-Monthan Air Force Base Vicinity; no other Airport Environs Zone designations apply. The City's MS&R Overlay Zone applies to both N. Tucson Boulevard and E. Elm Street, as indicated in Subsection II.B., above. (See *Exhibit II.C: Existing Zoning & Land Use.*)

The primary existing land use on the Property is medical office. There are also research/educational offices and administrative/professional office uses on the Property.

Ryden Architects inventoried the Property for historic significance in 2000/2001. Its significance is associated with Historic Events/Trends with the context of Community Planning and Development under the theme of health care – medical offices. Per the Historic Property Inventory Forms (provided as Appendix A), the 8 buildings were constructed between 1951 and 1953. The approximate square footage for each building is indicated in *Table II.C.1: Onsite Buildings.*





**LEGEND**

- REZONE BOUNDARY
- ARTERIAL
- BUS ROUTE
- BIKE ROUTE
- BUS STOP
- TRAFFIC SIGNAL

# MEDICAL SQUARE

NORTH  
SCALE: 1"=1,000'-0"  
0' 500' 1,000' 2,000'



Table II.C.1: Onsite Buildings

Bldg. No.	Construction Date	Approximate Area of Building Footprint
1	1951	7,115 sq. ft.
2	1953	6,216 sq. ft.
3	1951	6,039 sq. ft.
4	1953	10,288 sq. ft.
5	1951	6,544 sq. ft.
6	1953	8,745 sq. ft.
7	1952	4,901 sq. ft.
8	1951	6,123 sq. ft.
<b>TOTAL BUILDING AREA</b>		<b>55,971 sq. ft.</b>

2. Offsite

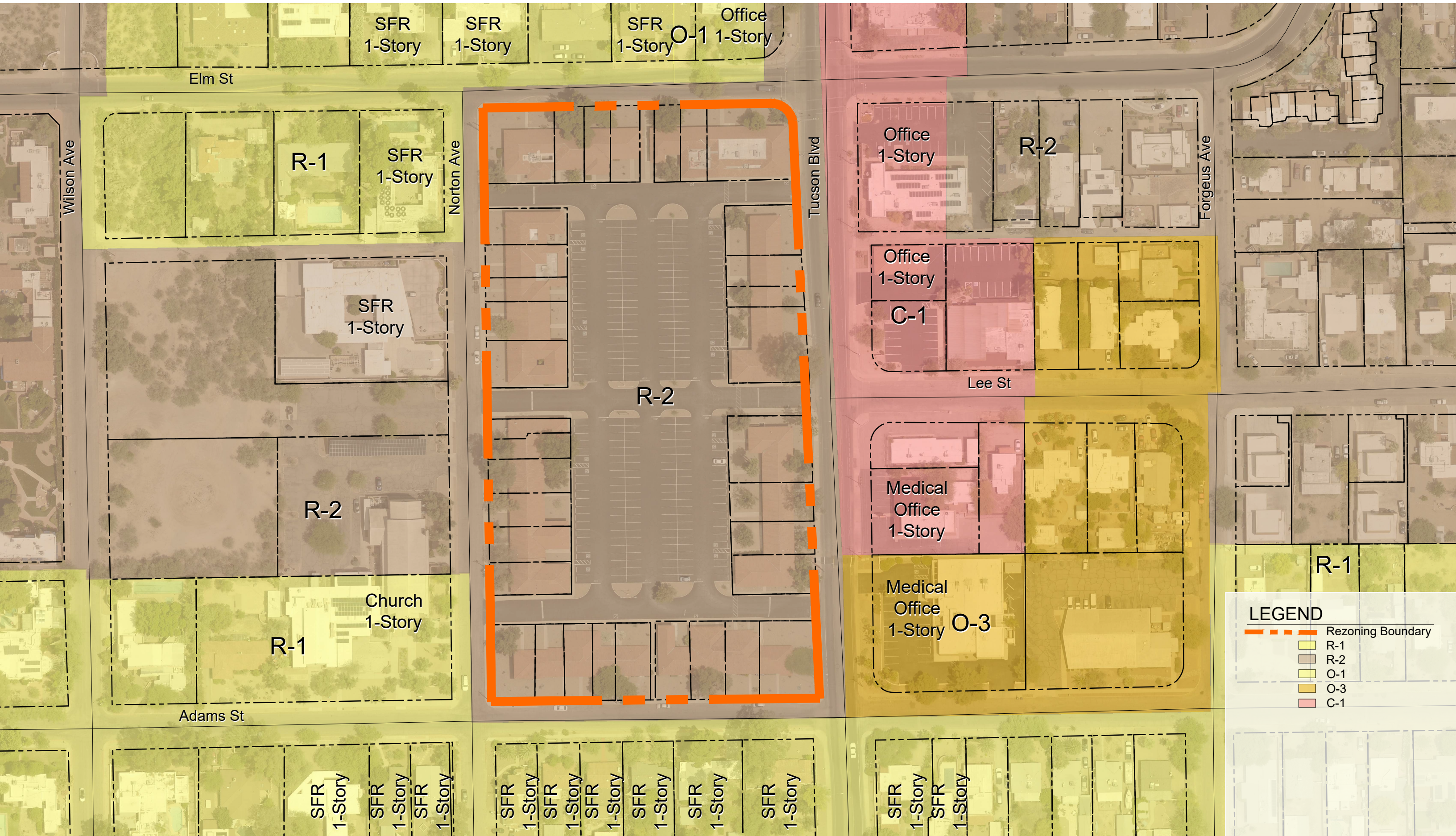
Table II.C.2, below, lists the zoning and land uses of surrounding development. Surrounding development is also shown in *Exhibit II.C: Existing Zoning & Land Use*.

Table II.C.2: Surrounding Development

	Zoning	Land Use	Approximate Distance to Nearest Building
North	R-1 & O-1	E. Elm St.; single-family residential; office	75 feet
South	R-1	E. Adams St.; single-family residential	75 feet
East	C-1 & O-3	N. Tucson Blvd., office & commercial	80 feet
West	R-1 & R-2	N. Norton Ave., single- & multi-family residential (1- and 2-stories); religious use; Arizona Inn	60 feet



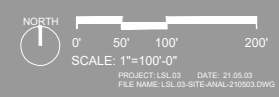
# EXHIBIT II.C: EXISTING ZONING & LAND USE



**LEGEND**

- Orange dashed line: Rezoning Boundary
- Light green square: R-1
- Light brown square: R-2
- Light yellow square: O-1
- Yellow square: O-3
- Pink square: C-1

## MEDICAL SQUARE





**D. Open Space, Recreational Facilities, Parks & Trails**

The Property is centrally located in the City and is surrounded by development. There is no natural open space existing on or surrounding the Property. There are sidewalks on all sides of the Property, and there are bicycle paths located along both N. Tucson Boulevard and E. Elm Street.

**E. Public, Educational, Community & Cultural Facilities**

There are no adjacent parks or schools. The nearest parks and schools are identified on *Exhibit II.E* and listed in Table II.E, below.

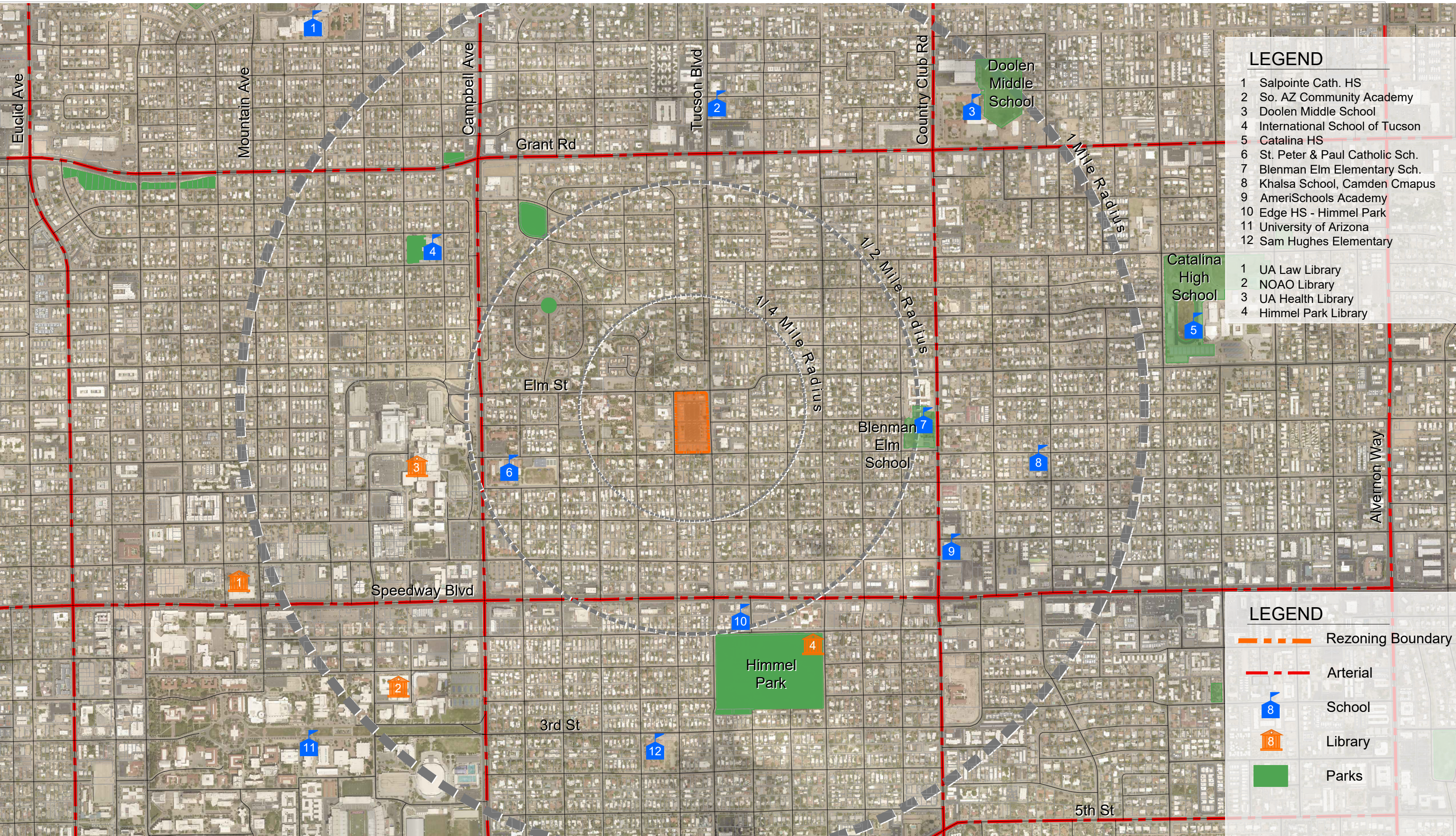
The Arizona Inn, an individually listed historic property, is located approximately 500 feet west of the Property. Both Banner University Medical Center and the University of Arizona are located approximately one-half mile west of the Property.

**Table II.E: Parks & Schools**

Parks	Schools
Tahoe Park (2400 feet NW)	Saints Peter & Paul Catholic School (1400 feet west)
Waverly Park (1700 feet NW)	Edge Charter School (2000 feet south)
Blenman Park/Elementary School (2300 feet east)	Blenman Park/Elementary School (2300 feet east)
Himmel Park & Library (2100 feet south)	University of Arizona (2600 feet west)



# EXHIBIT II.E: SCHOOLS, RECREATIONAL & CULTURAL FACILITIES



- ### LEGEND
- 1 Salpointe Cath. HS
  - 2 So. AZ Community Academy
  - 3 Doolen Middle School
  - 4 International School of Tucson
  - 5 Catalina HS
  - 6 St. Peter & Paul Catholic Sch.
  - 7 Blenman Elm Elementary Sch.
  - 8 Khalsa School, Camden Cmapus
  - 9 AmeriSchools Academy
  - 10 Edge HS - Himmel Park
  - 11 University of Arizona
  - 12 Sam Hughes Elementary
- 
- 1 UA Law Library
  - 2 NOAO Library
  - 3 UA Health Library
  - 4 Himmel Park Library

- ### LEGEND
- Rezoning Boundary
  - Arterial
  - School
  - Library
  - Parks



## F. Drainage, Hydrology & Water Resources

Stormwater is carried around the Property through the adjacent City streets. The Wilson Wash captures stormwater flows within N. Tucson Boulevard. Stormwater also flows on E. Elm Street and N. Norton Avenue surrounding the Property. (See *Exhibit II.F: Hydrology & Drainage.*) Future drainage conditions will match existing conditions, as no new development is proposed onsite.

## G. Topography & Slope

The Property is generally flat with an elevation of 2440 feet at its north end and an elevation of 2446 feet on the south. Adjacent properties are at roughly the same elevation as this Property, as shown on *Exhibit II.F: Hydrology & Drainage.*

## H. Utilities

### 1. Sewer

The Property is served by Pima County Regional Wastewater Reclamation Department. There are existing sewer lines/structures on all sides of the Property within the public right-of-way. There is also a sewer line that traverses the Property east/west coinciding with the E. Lee Street alignment.

### 2. Stormwater Drainage

Stormwater is carried around the Property through the adjacent City streets. The Wilson Avenue Wash is a constructed watercourse that captures stormwater flows within N. Tucson Boulevard.

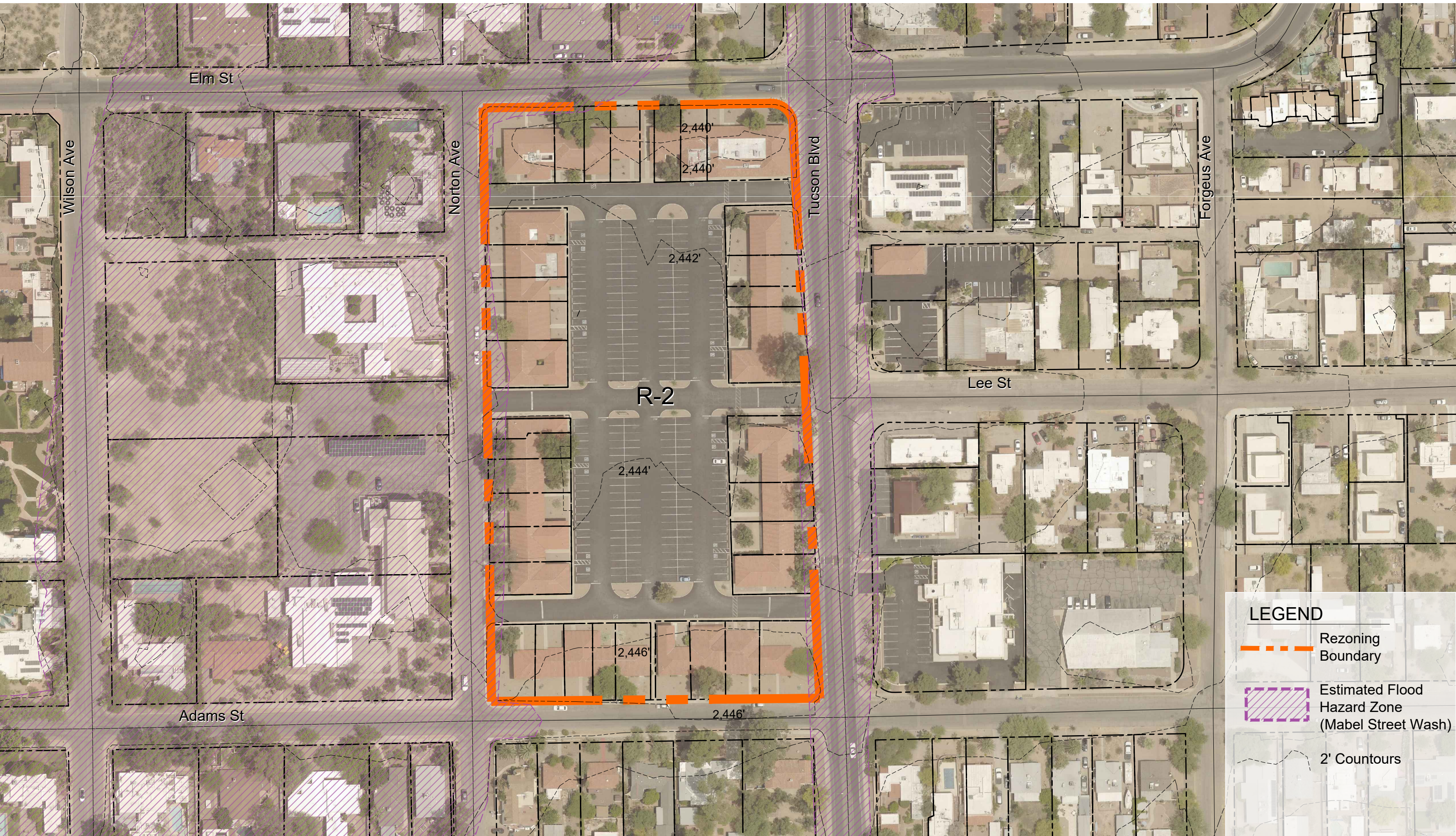
### 3. Water Service

The Property is currently (and will continue to be) served by Tucson Water.




### 4. Other Utility Service

The Property is currently (and will continue to be) served by Tucson Electric Power Company, Southwest Gas and Cox Cable Company.





**LEGEND**

-  Rezoning Boundary
-  Estimated Flood Hazard Zone (Mabel Street Wash)
-  2' Countours



## I. Viewsheds & Visual Analysis

The Property is completely developed and will remain, and no new development is proposed. Therefore, there will be no changes in views to or from the Property.

### 1. Photographs of the Property

#### a. Exterior Boundaries

The following photographs were taken of the Property's exterior boundaries, as noted.



Photo 1: Looking west along Elm St. from NE corner of Property.



Photo 2: Looking southeast at Property from sidewalk along Elm St.



Photo 3: Looking southeast at Property from sidewalk along Norton Ave.



Photo 4: Looking east at central access drive through Property from its intersection on Norton Ave.





Photo 5: Looking south along Norton Ave. from western edge of Property.



Photo 6: Looking southeast from Norton Ave. at Property's northernmost access drive.



Photo 7: Looking south at pedestrian access into Property from Adams St.



Photo 8: Looking east along Adams St. from southern edge of Property.



Photo 9: Looking north along Tucson Blvd. from Property's southernmost access drive.



Photo 10: Looking north along Tucson Blvd. from eastern edge of Property.





Photo 11: Looking north along Tucson Blvd. at bus stop adjacent to Property's eastern boundary.



Photo 12: Looking south along Tucson Blvd. from its intersection with Elm St. The Property's existing perimeter yard and landscape border are narrowest at this location.



Photo 13: Looking south at Property's eastern edge along Tucson Blvd. from its intersection with the Property's northernmost access drive.

b. Property Interior

The following photographs were taken of the interior of the Property, as noted.



Photo 14: Looking southeast from north end of parking lot at buildings along the east side of Property.



Photo 15: Looking east at building near southeast corner of Property.



Photo 16: Looking southeast at building near central access at Tucson Blvd. from parking lot.



Photo 17: Looking east toward Tucson Blvd. at southern access from parking lot.



Photo 18: Looking west across parking lot toward Norton Ave. from central access drive.



Photo 19: Looking north from southwest corner of Property.





Photo 20: Bicycle racks located near building (and adjacent to parking) on western edge of Property.



Photo 21: Looking northeast across parking lot from southwest corner of Property.



Photo 22: Looking northwest at building in southwest corner of Property.



Photo 23: Looking north at Project directory located in center of Property.



Photo 24: Looking east at building in northeast corner of Property from central west side of parking lot.



Photo 25: Looking southeast from northwest corner of parking lot.



2. Views from the Property

The following photographs were taken of offsite conditions and uses from the Property, as noted.



Photo 26: Looking north at office use across Elm St.



Photo 27: Looking northwest at residential uses across Elm St.



Photo 28: Looking northeast at residential uses across Elm St.



Photo 29: Looking west at residential use at corner of Elm St. and Norton Ave.



Photo 30: Looking west at residential uses across Norton Ave.



Photo 31: Looking southwest at church across Norton Ave.





Photo 32: Looking south at residential use across Adams St.



Photo 33: Looking south at residential use across Adams St.



Photo 34: Looking east at office use on corner of Adams St. and Tucson Blvd.



Photo 35: Looking east at office use across Tucson Blvd.



Photo 36: Looking northeast at office use across Tucson Blvd.



Photo 37: Looking east at office use across Tucson Blvd.

#### J. Paleontological & Cultural Resources

The eight (8) buildings on the Property are listed as a Contributing Properties to the Blenman Elm National Register Historic District. All buildings will remain, and no new development is proposed.

#### K. Proximity to Tucson International Airport

According to the Federal Aviation Administration (FAA) Notice Criteria Tool, this project area is located in proximity to a navigation facility and could impact navigation signal reception. As the project site develops every project applicant shall file FAA Form 7460 with the FAA at least 45 days before construction activities begin for every proposed project unless FAA staff, with the Obstruction Evaluation/Airport Airspace Analysis (OE/AAA), provides the project applicant with written communication that filing FAA Form 7460 is not required. It is highly recommended that the applicant file earlier than 45 days to provide the applicant with sufficient time to respond to any concerns which are identified by the FAA. Any cranes which are used must also be identified with Form 7460. Please file Form 7460 at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>.



### III. PAD PROPOSAL

As described in Section I, Introduction and Policy, the primary purpose of this PAD is to codify existing conditions on the Property and allow for a limited expansion of permitted uses that are complementary with the existing uses within Medical Square. No new development is proposed. The existing conditions on the Property are depicted in *Exhibit III: PAD Plan*, and photographic documentation is included in Section II.I of this PAD.

The primary use on the Property is medical office, although there are also administrative and professional offices, and educational uses within Medical Square. Over the years, the spectrum of uses on the Property has expanded to include practices that focus on a holistic medicine philosophy. Holistic medicine practice treats the whole person—body, mind and spirit. It also places great importance on how all systems of the body influence physical and emotional health. Many of the Medical Square tenants practice integrative medicine, which combines conventional medicine with functional, alternative, and naturopathic medicine to achieve holistic health.

Examples of functional, alternative and naturopathic medicine treatments include:

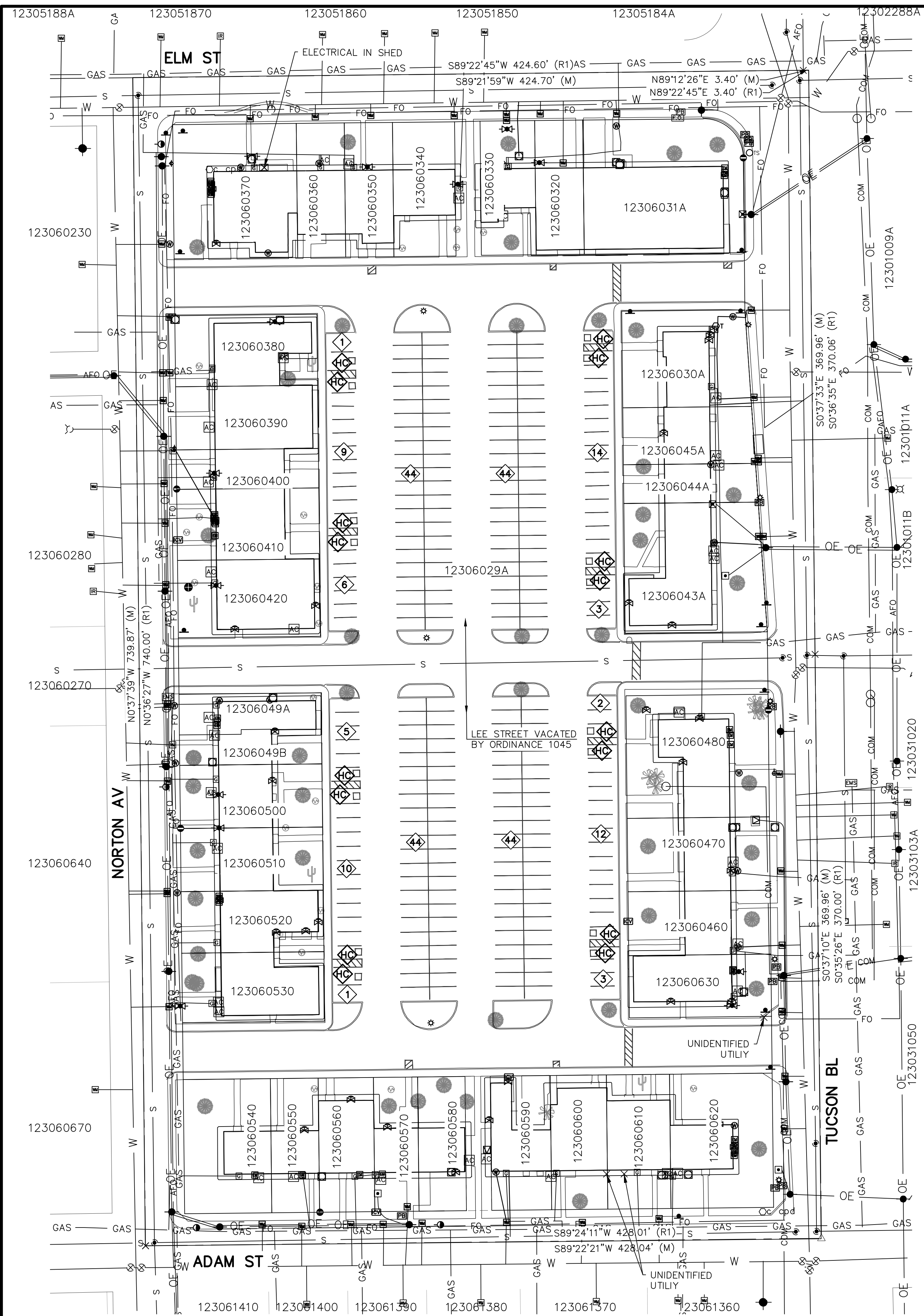
- Stress reduction
- Homeopathy, or the use of minute natural substances to trigger the body's natural defenses
- Herbs
- Massage
- Acupuncture
- Exercise Therapy
- Nutritional Counseling
- Detoxification
- Psychotherapy & Counseling

The Association embraces this holistic wellness approach and wants to encourage tenants who share this vision. The City's Unified Development Code ("UDC") does not categorize some of the therapies listed above as medical uses. For example, Massage Therapy, which has long been recognized as part of integrated medicine, is listed as a Personal Service Use under the Commercial Services Use Group and is not permitted except in commercial (or more intense) zoning categories. The UDC also does not account for therapies that may become accepted medical practice in the future. The establishment of this PAD allows for a full range of conventional and alternative medical practices to be located on the Property.

The PAD also acknowledges the historic value of the Property to the Blenman Elm National Register Historic District and the community and a whole. The Association commits to maintaining the Property and its existing structures as Contributing Property to the Historic District, and no new development is proposed.

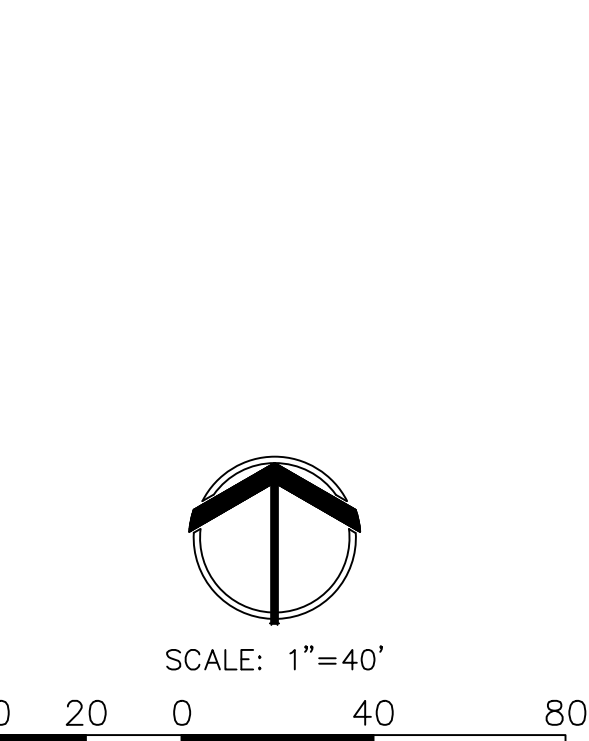
The PAD's base zone shall be Office Zone 2 ("O-2") with restrictions, as described in the subsections below.





**LEGEND**

- EXISTING RIGHT-OF-WAY
- EXISTING SECTION LINE
- EXISTING CENTERLINE
- EXISTING WALL
- EXISTING EDGE OF PAVEMENT/CONCRETE
- EXISTING TOP BACK OF CURB
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING BACKFLOW PREVENTOR
- EXISTING UNIDENTIFIED WATER
- EXISTING WATER SPIGOT
- EXISTING IRRIGATION VALVE
- EXISTING IRRIGATION CONTROL BOX
- EXISTING POWER POLE
- EXISTING GUY POLE
- EXISTING ELECTRIC LIGHT POLE
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC PULL BOX
- ELECTRIC TRANSFORMER PER UTILITY BASE MAPS
- EXISTING UNIDENTIFIED ELECTRIC
- EXISTING TRAFFIC SIGNAL POLE
- EXISTING AIR CONDITIONING UNIT
- EXISTING COMMUNICATION PULL BOX
- EXISTING COMMUNICATION PEDESTAL
- EXISTING FIBER OPTIC MARKER
- EXISTING SEWER CLEANOUT
- EXISTING STORM DRAIN MANHOLE
- EXISTING GAS METER
- EXISTING TELEPHONE PEDESTAL
- EXISTING MAILBOX
- EXISTING SIGN
- WATER PER UTILITY BASE MAPS
- ELECTRIC PER UTILITY BASE MAPS
- OVERHEAD ELECTRIC PER UTILITY BASE MAPS
- CENTURY LINK UNDERGROUND FIBER OPTIC PER UTILITY BASE MAPS
- CENTURY LINK AERIAL FIBER OPTIC PER UTILITY BASE MAPS
- FIRST DIGITAL COMMUNICATION PER UTILITY BASE MAPS
- SEWER PER UTILITY BASE MAPS
- GAS PER UTILITY BASE MAPS
- IRRIGATION SERVICE PER UTILITY BASE MAPS
- WATER FIRE SERVICE PER UTILITY BASE MAPS
- WATER VALVE PER UTILITY BASE MAPS
- WATER METER PER UTILITY BASE MAPS
- FIRE HYDRANT PER UTILITY BASE MAPS
- WATER CRITICAL CUSTOMER PER UTILITY BASE MAPS
- ELECTRIC POLE PER UTILITY BASE MAPS
- DUSK TO DAWN LIGHT PER UTILITY BASE MAPS
- ELECTRIC PEDESTAL PER UTILITY BASE MAPS
- FIRST DIGITAL COMMUNICATION STRUCTURE PER UTILITY BASE MAPS
- SEWER MANHOLE PER UTILITY BASE MAPS
- GAS ELECTRONIC MARKER SYMBOL PER UTILITY BASE MAPS
- EXISTING TREE
- EXISTING PALO VERDE
- EXISTING PALM TREE
- EXISTING SAGUARO
- EXISTING BARREL CACTUS
- 224330010 PIMA COUNTY TAX IDENTIFICATION NUMBER
- FOUND SURVEY MONUMENT AS DESCRIBED
- FOUND REBAR, AS DESCRIBED
- SET PK NAIL RLS 60468
- MEASURED DIMENSION THIS SURVEY
- RECORD MEASUREMENT PER DOCKET 9903, PAGE 270
- RECORD MEASUREMENT PER BOOK 10, PAGE 21 RECORD OF SURVEY
- NUMBER OF PARKING SPACES MEASURED THIS SURVEY
- HANDICAP PARKING SPACE MEASURED THIS SURVEY



**NOTES**

1. BASIS OF BEARING IS BETWEEN POINT 15 (EC07), A STEEL PIN IN HANDHOLE AND POINT 20, A 2 INCH BRASS CAPPED SURVEY MONUMENT STAMPED "RLS 25086", ARIZONA STATE PLANE CENTRAL ZONE, SAID BEARING BEING S 00°53'09" E.
2. BASIS OF ELEVATION IS POINT 15 (EC07), A STEEL PIN IN HANDHOLE, ELEVATION = 2437.45 FEET NAVD 88.
3. BASIS OF COORDINATES IS POINT POINT 15 (EC07), A STEEL PIN: N=453,596.449, E=1,003,392.017 ARIZONA STATE PLANE CENTRAL ZONE COORDINATES; N=453,596.390, E=1,003,392.018 PROJECT COORDINATES.
4. ALL DISTANCES ARE GROUND DISTANCES.
5. TO CONVERT PROJECT COORDINATES TO ARIZONA STATE PLANE CENTRAL ZONE SCALE ABOUT POINT 200: N=453,596.449, E=1,003,392.017 USING COMBINED SCALE FACTOR OF 0.9998909.
6. COMBINED AREA OF LOTS 1-35 AND APN 12306029A IS APPROXIMATELY 5.843 ACRES.

**ADDITIONAL PAD PLAN NOTES**

- TOTAL PROJECT AREA: 5.84 ACRES/36 PARCELS
- EXISTING ZONING: R-2
- PROPOSED ZONING: PLANNED AREA DEVELOPMENT (PAD)
- EXISTING/MAXIMUM BUILDING HEIGHT: 18 FEET
- MAXIMUM LOT COVERAGE: N/A
- MAXIMUM FLOOR AREA RATIO: N/A
- PERIMETER YARDS:
  - o INTERIOR: 0 FEET/PER BUILDING CODE
  - o STREET PERIMETER YARDS: EXISTING YARDS SHALL REMAIN, AS SHOWN ON EXHIBIT III.C.5
- PARKING:
  - o EXISTING PARKING CONFIGURATION & DIMENSION SHALL REMAIN
  - o REQUIRED NUMBER OF SPACES: 1 PER 300 SF OF GFA (OR AS AMENDED IN UDC § 7.4.4 FOR GENERAL COMMERCIAL SERVICES USE GROUP)

**SHEET INDEX**

SHEET 1	SITE CULTURE, PARKING SPACE COUNTS, AND UTILITIES LEGEND GENERAL NOTES
SHEET 2	SITE BOUNDARY EASEMENTS
SHEET 3	BUILDING DIMENSIONS AND BASIS OF BEARING LEGAL DESCRIPTION SCHEDULE B EXCEPTIONS

**REZONING**  
Preliminary Development Plan  
C9- 21-21 Date 9/15/21  
Planning & Development Services

**SITE CULTURE & UTILITIES  
LEGEND, GENERAL NOTES**

SCALES	Horiz.	1"=40'	Sheet 1 of 3
	Vert.	N/A	

CK BY		DESCRIPTION		REV. DATE	
<p style="font-size: 24px; margin: 0;">ASBULT SURVEY</p> <p style="font-size: 24px; margin: 0;">MEDICAL SQUARE</p>					
<p style="font-size: 12px; margin: 0;">Engineering and Environmental Consultants, Inc. 555 E. RIVER ROAD, SUITE 301 TUCSON, ARIZONA 85704 520-321-4625</p>					
<p style="font-size: 18px; margin: 0;">A PORTION OF SECTION 5, T. 14 S., R. 14 E. G.&amp;S.R.M., PIMA COUNTY, ARIZONA</p>					



## A. Land Uses

### 1. Permitted Land Uses

In addition to the uses permitted under the City's O-2 zone, all uses related to the provision of medical care, health and wellness, including, but not limited to, Naturopathic Medicine, Complementary and Alternative Medicine ("CAM"), and Integrative Medicine practice shall also be allowed within this PAD.

The Planning & Development Services Department ("PDSD") Director may approve additional uses that comply with the goals and intent of this PAD.

### 2. Prohibited Land Uses

The following uses are expressly prohibited within this PAD:

- All uses in the Residential Use Group
- All uses in the Retail Use Group, except as permitted in O-2 or when accessory to a Permitted Land Use.

## B. Definitions

### 1. Complementary & Alternative Medicine

CAM is a diagnosis, treatment and/or prevention that complements mainstream medicine by contributing to a common whole, satisfying a demand not met by orthodox, or diversifying the conceptual framework of medicine. Generally, CAM modalities may be divided into five categories:

- Alternative medical systems: an entire system of theory and practice that developed separately from conventional medicine. Examples of these systems include traditional Chinese medicine, ayurvedic medicine, homeopathy and naturopathy.
- Mind-body interventions: includes practices that are based on the human mind, but that have an effect on the human body and physical health, such as meditation, prayer and mental healing.
- Biologically based treatments: includes specialized diets, herbal products, and other natural products such as minerals, hormones and biologicals.
- Manipulative and body-based methods: includes therapies that involve movement or manipulation of the body, such as chiropractic and massage therapy.
- Energy therapies: includes the manipulation and application of energy fields to the body, such as qi gong, Reiki and therapeutic touch.

### 2. Integrative Medicine

Integrative Medicine is the practice of medicine that reaffirms the importance of the relationship between practitioner and patient, focuses on the whole person, is informed by evidence, and makes use of all appropriate therapeutic approaches, healthcare professionals and disciplines to achieve optimal health and healing.

### 3. Naturopathic Medicine

Naturopathic medicine emphasizes prevention, treatment, and optimal health through the use of therapeutic methods and substances that encourage individuals' inherent self-healing process. The practice of naturopathic medicine includes modern and traditional, scientific and empirical methods, including, but not limited to:

- clinical and laboratory diagnostic testing,
- nutritional medicine,
- botanical medicine,
- naturopathic physical medicine (including manipulative therapy, such as chiropractic and massage therapy),
- public health measures,
- counseling,
- homeopathy,
- acupuncture,
- compounding pharmacy, and
- naturopathic obstetrics (natural childbirth).

### 4. Massage Therapy

The scientific manipulation of the soft tissues of the body for the purpose of normalizing those tissues and consists of a group of manual techniques that include applying fixed or movable pressure, holding, and/or causing movement to parts of the body. Massage therapy is considered part of CAM, Naturopathic and Integrative Medicine.

## C. Development & Design Standards

No new development is proposed on the Property. The applicable development and design standards, listed below, reflect the Property's existing conditions.

### 1. Building Height

Maximum 18 feet.

### 2. Floor Area

N/A

### 3. Lot Coverage

N/A

### 4. Interior Perimeter Yards

- Minimum 0 feet/zero lot line
- Minimum building separation per building code

## 5. Street Perimeter Yards

Existing Street Perimeter Yards (measured from the Property line) shall remain, as shown on *Exhibit III.C.5: Street Perimeter Yards*.

*See Photos 1-13 in Subsection II.I.1.a (Exterior Boundaries) documenting the existing street perimeter yard conditions.*

## 6. Landscaping

No changes are proposed to the Property's existing landscaping. Although no new development is proposed, if more than the equivalent of 25 percent of the Property is redeveloped, then the City's landscape requirements shall apply. A catastrophic or unusual event that results in loss of one or more structures or a portion of a structure(s) and requires reconstruction, does not qualify as "redevelopment" for purposes of triggering landscape requirements.

### a. Street Landscape Borders

Existing landscape border locations and minimum dimensions and plant/tree quantities as of the effective date of this PAD shall be maintained. All landscape enhancements and/or vegetation replacements shall consist of drought-tolerant plant materials. All landscaping shall be irrigated as needed to ensure viability.

*See Photos 1-13 in Subsection II.I.1.a (Exterior Boundaries) documenting the existing landscape border conditions.*

### b. Landscaping within Interior of Project

Existing landscaping locations and minimum plant/tree quantities within the interior of the Project, adjacent to buildings and within the parking area shall be maintained. All landscape enhancements and/or vegetation replacements shall consist of drought-tolerant plant materials. All landscaping shall be irrigated as needed to ensure viability.

*See Photos 14-25 in Subsection II.I.1.b (Property Interior) documenting the existing landscape conditions on the interior of the Property.*

## 7. Parking

Existing motor vehicle use area configuration and dimensions shall remain.

The required number of parking spaces shall be 1 space per 300 square feet of Gross Floor Area of the Property, or as amended in the UDC § 7.4.4 for the general Commercial Services Use Group category if that amendment results in a reduced parking requirement.

The number of required parking spaces may be reduced pursuant to UDC § 7.4.5, Reductions and Exceptions, or as amended.

## 8. Signage

The PAD's base zone is O-2, which is included in the City Sign Code's General Business Category for signage. This category allows for additional building signage and low-profile or monument signage. Existing signage within the PAD is permitted and may remain. Any additional signage shall comply with UDC § 7A: Sign Standards, as amended.

To maintain compatibility with surrounding residential area, signs should face Tucson Boulevard or the interior of the PAD area, except for access point signs, which may be 4 feet tall and 12 square feet.

Illuminated signage may be permitted as long as signage faces Tucson Boulevard or the interior of the PAD area. Timers are required to shut off signage lighting at or before midnight.

## 9. Architecture & Historic Contributing Status

The existing buildings are identified as contributors to the Blenman Elm National Register Historic District. No new development is proposed on the Property. All exterior modifications to the structures shall be completed in a manner that ensures the Property and its structures maintain their Contributing Property status. To accomplish this, exterior renovations to the Property shall be subject to the following process, pursuant to the PDSO Director Approval Procedure, UDC § 3.3.3, and as amended below:

### a. Pre-Application Conference

A pre-application conference is recommended, but not required, with the City's Historic Preservation Officer ("CHPO") to evaluate the proposed exterior renovations. The CHPO will provide feedback to the applicant as to whether the proposed renovations will impact the Property's Contributing Property status.

### b. Application Review and Decision

The applicant shall submit to the CHPO an application for the proposed exterior renovations. The CHPO shall provide a decision regarding the proposed renovations within 30 days of the application submittal. The CHPO may consult the Arizona State Historic Preservation Office regarding this decision.

Photo documentation of the existing building façades is provided as *Appendix B* and shall serve as the basis for this historic review. Owners shall not be required to restore elements of the Property modified before the effective date of this PAD.

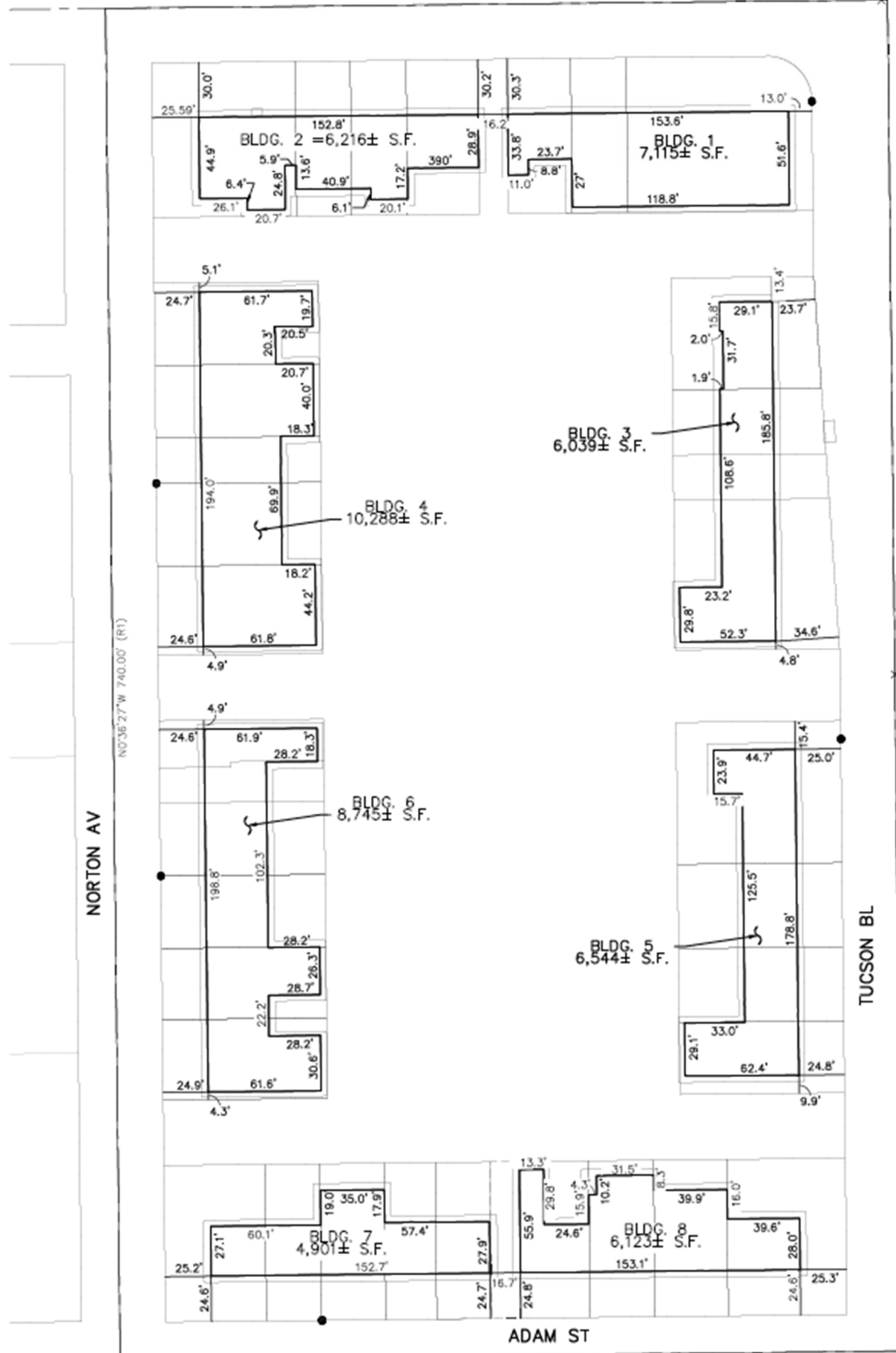
### c. Appeal

Within 30 days of the CHPO's decision, the applicant may appeal that decision to the Director .

# EXHIBIT III.C.5: STREET PERIMETER YARDS

ELM ST

S89°22'45"W 424.60' (R1)



#### D. Drainage Plan

No changes are proposed to the Property's existing drainage system. Although no new development is proposed, if more than the equivalent of 25 percent of the Property is redeveloped, then the City's retention/detention requirements shall apply. A catastrophic or unusual event that results in loss of one or more structures or a portion of a structure(s) and requires reconstruction, does not qualify as "redevelopment" for purposes of triggering retention/detention requirements.

#### E. Circulation Plan

No changes are proposed to the Property's existing access and circulation system.

#### F. Phasing

This is an existing Project, and no new development is proposed.

#### G. PAD Administration

This PAD codifies the existing physical conditions on the Property, and no new development is proposed.

##### 1. Administration

The PAD shall be administered and enforced by the Planning & Development Services Department ("PDSD") Director. The PDSD Director may approve a submittal that complies with the standards in this PAD.

If any portion of the Property is rebuilt due to a catastrophic loss or unusual event (e.g., fire, flood, etc.) the reconstruction will be performed in accordance with this PAD and will not qualify as a redevelopment triggering the application of UDC regulations for retention/detention and other site engineering improvements, provided the situation poses no health/safety threat.

##### 2. Interpretation

Any proposed use not specifically listed as permitted within this PAD shall be reviewed by the City's Zoning Administrator. The Zoning Administrator will determine if the proposed use is similar in intensity and complementary to the existing uses within this PAD based on the stated goals and vision for this Property.

##### 3. Amendments

Amendments to this PAD may be necessary over time to respond to the unanticipated needs of new owners or users.

###### a. Minor Amendments

The PDSD Director may allow minor changes to the provisions set forth in the PAD, provided such changes are not in conflict with the goals as expressed in the PAD document. The following shall be considered minor changes:



- Addition of new information to the PAD, maps, or text that does not change the intent of a regulation, development standard, or guideline.
- Modifications to the permitted uses that may not be specifically listed in this document, but which are determined to be sufficiently similar in type and nature to those listed as permitted and do not change the overall intent of the PAD.
- Modifications to tax code parcel boundaries, including changes to interior boundaries or combining parcels. Changes to the exterior boundary of the PAD shall not be considered a minor amendment or non-substantial change to the PAD.
- Modifications to the development standards that are in the interest of the community and do not affect health or safety issues.
- Any other items not expressly defined as substantial based on UDC § 3.5.5.I.

**b. Major Amendments**

Major amendments to the PAD shall be those changes or modifications that materially alter the guiding goals and objectives as presented in the PAD. The PDSO Director will determine if a proposed amendment would result in a major change per the criteria established in UDC § 3.5.5.J.2.c. Major amendments shall be processed in accordance with UDC § 3.5.3, Zoning Examiner Legislative Procedure.

## References

*Homeopathy and Integrative Medicine: Keeping an Open Mind.* Bellavite P., 2015. *Journal of Medicine and the Person*, 13(1), 1–6. <https://doi.org/10.1007/s12682-014-0198-x>

*Institute of Medicine (US) Committee on the Use of Complementary and Alternative Medicine by the American Public.* *Complementary and Alternative Medicine in the United States.* Washington (DC): National Academies Press (US); 2005. 1, Introduction. <https://www.ncbi.nlm.nih.gov/books/NBK83804/>

*Major Streets and Routes Plan.* City of Tucson Department of Transportation. Originally adopted by the City of Tucson Mayor and Council, November 15, 1982. Last amended January 2016.

*Plan Tucson; City of Tucson General & Sustainability Plan 2013.* Adopted by the City of Tucson Mayor and Council, June 2013. Voter ratified on November 5, 2013, by way of Proposition 402.

*Unified Development Code, City of Tucson.* Chapter 23B of the Tucson Code. Adopted October 9, 2012. Subsequently amended and current through September 2020.

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01e Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #33,34,35,36

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-060-610

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506060 Northing: 3567140

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1952 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 12/17/2001

View Direction: SW

Negative No: TA19-03





SIGNIFICANCE

Site No: BE33-01e

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history in which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Add'l. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

B. PERSON List and describe persons with an important association with the building.

This commercial property is not associated with any particular person.

C. ARCHITECTURE. Style: Ranch

no style

Stories: 1  Basement Roof form: Low-pitch intersecting gables

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION  Original Site  Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Brick Walls (sheathing): Painted brick

Windows: Steel CMT

Roof: Red Clay tile Foundation: Concrete

SETTING Describe the natural and/or built environment around the property.

Manicured shrubs surround buildings; the lawn and concrete walkways up to each suite entrance give this commercial building a very residential character; this building is one of many buildings arranged around a central paved parking lot.

How has the environment changed since the property was constructed?

unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

The spanish tile roofing on this Ranch style building is found on many buildings in Tucson.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed  Contributor  Noncontributor to Historic District

Date listed:  Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property  is  is not eligible individually.

Property  is  is not eligible as a contributor to a listed or potential historic district.  More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01b Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #5,7,8

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-060-45a

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506060 Northing: 3567310

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1953 known estimated Source: CountyAssessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 9/9/2000

View Direction: NE

Negative No: KD06-34



**SIGNIFICANCE**

Site No: BE33-01b

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history in which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Add'l. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS *Describe any historic event/trends associated with the property.* This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

B. PERSON *List and describe persons with an important association with the building.* This commercial property is not associated with any particular person.

C. ARCHITECTURE. Style: Ranch  no style

Stories 1  Basement Roof form: Low-pitch intersecting gables

*Describe other character-defining features of its massing, size, and scale.:*  
The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

**INTEGRITY**

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION  Original Site  Moved: date: 0 original site: \_\_\_\_\_

DESIGN *Describe alterations from the original design, including dates.*  
\_\_\_\_\_

MATERIALS *Describe the materials used in the following elements of the property.*

Walls (structure): Brick Walls (sheathing): Painted brick

Windows: Steel CMT

Roof: Red Clay tile Foundation: Concrete

SETTING *Describe the natural and/or built environment around the property.*

Manicured shrubs surround buildings; this building is one of many buildings arranged around a central paved parking lot.

How has the environment changed since the property was constructed?  
unknown

WORKMANSHIP. *Describe the distinctive elements, if any, of craftsmanship or method of construction.:*

The spanish tile roofing on this Ranch style building is found on many buildings in Tucson.

**NATIONAL REGISTER STATUS (if listed, check the appropriate box)**

Individually listed  Contributor  Noncontributor to \_\_\_\_\_ Historic District

Date listed: \_\_\_\_\_  Determined eligible by Keeper of National Register (date): \_\_\_\_\_

**RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)**

Property  is  is not eligible individually.

Property  is  is not eligible as a contributor to a listed or potential historic district.  More info is needed to evaluate.

If not considered eligible, state reason:  
\_\_\_\_\_  Reversible

**FORM COMPLETED BY**

Name and Affiliation: Ryden Architects Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007 Phone#: (602)253-5381



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01c Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #01,02,03,04

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-060-43a

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 606060 Northing: 3567260

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1951 known estimated Source: CountyAssessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 9/9/2000

View Direction: W

Negative No: KD06-35



SIGNIFICANCE

Site No: BE33-01c

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history in which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Add'l. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

B. PERSON List and describe persons with an important association with the building.

This commercial property is not associated with any particular person.

C. ARCHITECTURE. Style: Ranch

no style

Stories: 1  Basement Roof form: Low-pitch intersecting hips

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

INTEGRITY

To be eligible for the National Register, a property must have integrity, i.e., it must be able to visually convey its importance. The outline below lists some important aspects of integrity. Fill in the blanks with as detailed a description of the property as possible.

LOCATION  Original Site  Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Brick Walls (sheathing): Painted brick

Windows: Steel CMT

Roof: Red Clay tile Foundation: Concrete

SETTING Describe the natural and/or built environment around the property.

Manicured shrubs surround buildings; the lawn and concrete walkways up to each suite entrance give this commercial building a very residential character; this building is one of many buildings arranged around a central paved parking lot.

How has the environment changed since the property was constructed?

unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

The spanish tile roofing on this Ranch style building is found on many buildings in Tucson.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed  Contributor  Noncontributor to Historic District

Date listed:  Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property  is  is not eligible individually.

Property  is  is not eligible as a contributor to a listed or potential historic district.  More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01d Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #37,38,39,40

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-030-470

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506060 Northing: 3567190

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1951 known estimated Source: CountyAssessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 9/9/2000

View Direction: W

Negative No: KD06-36





SIGNIFICANCE

Site No: BE33-01d

To be eligible for the National Register, a property must represent an important part of the history or architecture of an area. The significance of a property is evaluated within its historic context, which are those patterns, themes, or trends in history in which a property occurred or gained importance. Describe the historic and architectural contexts of the property that may make it worthy of preservation. Add'l. sheets should be attached where necessary.

A. HISTORIC EVENTS/TRENDS

Describe any historic event/trends associated with the property.

This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

B. PERSON List and describe persons with an important association with the building.

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no style

Stories: 1  Basement Roof form: Low-pitch intersecting hip

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

INTEGRITY

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LOCATION  Original Site  Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Brick Walls (sheathing): Painted brick

Windows: Steel CMT

Roof: Red Clay tile Foundation: Concrete

SETTING Describe the natural and/or built environment around the property.

Manicured shrubs surround buildings; the lawn and concrete walkways up to each suite entrance give this commercial building a very residential character; this building is one of many buildings arranged around a central paved parking lot.

How has the environment changed since the property was constructed?

unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

The spanish tile roofing on this Ranch style building is found on many buildings in Tucson.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed  Contributor  Noncontributor to Historic District

Date listed:  Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

Property  is  is not eligible individually.

Property  is  is not eligible as a contributor to a listed or potential historic district.  More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

FORM COMPLETED BY

Name and Affiliation: Ryden Architects

Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007

Phone#: (602)253-5381

STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01f Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #27,28,29,30,31

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-060-580

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506000 Northing: 3567140

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1953 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent) Describe:

Poor (major problems; imminent threat) Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 12/19/2001

View Direction: SE

Negative No: TA19-02



**SIGNIFICANCE**

Site No: BE33-01f

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**A. HISTORIC EVENTS/TRENDS**

Describe any historic event/trends associated with the property.

This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

**B. PERSON** List and describe persons with an important association with the building.

This commercial property is not associated with any particular person.

**C. ARCHITECTURE. Style:** Ranch

no style

Stories: 1  Basement Roof form: Low-pitch intersecting hips

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

**INTEGRITY**

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LOCATION  Original Site  Moved: date: 0 original site:

DESIGN Describe alterations from the original design, including dates.

MATERIALS Describe the materials used in the following elements of the property.

Walls (structure): Brick Walls (sheathing): Painted brick

Windows: Steel CMT

Roof: Red Clay tile Foundation: Concrete

SETTING Describe the natural and/or built environment around the property.

Manicured shrubs surround buildings; the lawn and concrete walkways up to each suite entrance give this commercial building a very residential character; this building is one of many buildings arranged around a central paved parking lot.

How has the environment changed since the property was constructed?

unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

The spanish tile roofing on this Ranch style building is found on many buildings in Tucson.

**NATIONAL REGISTER STATUS (if listed, check the appropriate box)**

Individually listed  Contributor  Noncontributor to Historic District

Date listed:  Determined eligible by Keeper of National Register (date):

**RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)**

Property  is  is not eligible individually.

Property  is  is not eligible as a contributor to a listed or potential historic district.  More info is needed to evaluate.

If not considered eligible, state reason:

Reversible

**FORM COMPLETED BY**

Name and Affiliation: Ryden Architects

Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007

Phone#: (602)253-5381



STATE OF ARIZONA

HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01g Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #19,20,21,22,23,24

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-060-29a

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506000 Northing: 3567190

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1951 known estimated Source: County Assessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 12/17/2001

View Direction: SW

Negative No: TA19-01



SIGNIFICANCE

Site No: BE33-01g

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**A. HISTORIC EVENTS/TRENDS**

Describe any historic event/trends associated with the property.

This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

**B. PERSON** List and describe persons with an important association with the building.

This commercial property is not associated with any particular person.

**C. ARCHITECTURE.** Style: Ranch  no style

Stories: 1  Basement Roof form: Low-pitch intersecting hip

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

INTEGRITY

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How has the environment changed since the property was constructed?

unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

The spanish tile roofing on this Ranch style building is found on many buildings in Tucson.

NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed  Contributor  Noncontributor to Historic District

Date listed:  Determined eligible by Keeper of National Register (date):

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FORM COMPLETED BY

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Date: 10/15/2000

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Phone#: (602)253-5381

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Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property. Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington, Phoenix, AZ 85007

PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01h Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #14,15,16,17,18

City or Town Tucson vicinity County: Pima Tax Parcel No: 123-060-420

Township: Range: Section: Quarter Section: Acreage: <1

Block: 0 Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506000 Northing: 3567260

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT not determined known Source:

BUILDER not determined known Source:

CONSTRUCTION DATE: 1953 known estimated Source: CountyAssessor

STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe:

Poor (major problems; imminent threat)

Describe:

Ruin/Uninhabitable

USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

Sources

PHOTO INFORMATION

Date of Photo: 12/17/2001

View Direction: NW

Negative No: TA19-00





**SIGNIFICANCE**

Site No: BE33-01h

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A. HISTORIC EVENTS/TRENDS Describe any historic event/trends associated with the property. This property is associated with the context of Community Planning and Development. It falls under the theme of health care - medical offices.

B. PERSON List and describe persons with an important association with the building. This commercial property is not associated with any particular person.

C. ARCHITECTURE. Style: Ranch no style

Stories 1 Basement Roof form: Low-pitch intersecting hip

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

**INTEGRITY**

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Manicured shrubs surround buildings; the lawn and concrete walkways up to each suite entrance give this commercial building a very residential character; this building is one of many buildings arranged around a central paved parking lot.

How has the environment changed since the property was constructed?

unknown

WORKMANSHIP. Describe the distinctive elements, if any, of craftsmanship or method of construction.:

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NATIONAL REGISTER STATUS (if listed, check the appropriate box)

Individually listed Contributor Noncontributor to Historic District

Date listed: Determined eligible by Keeper of National Register (date):

RECOMMENDATIONS ON NATIONAL REGISTER ELIGIBILITY (opinion of SHPO staff or survey consultant)

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If not considered eligible, state reason:

Reversible

**FORM COMPLETED BY**

Name and Affiliation: Ryden Architects Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007 Phone#: (602)253-5381

# STATE OF ARIZONA

# HISTORIC PROPERTY INVENTORY FORM

Please type or print clearly. Fill out each applicable space accurately and with as much information as is known about the property.  
Continuation sheets may be attached if necessary. Send completed form to: State Historic Preservation Office, 1300 W. Washington,  
Phoenix, AZ 85007

## PROPERTY IDENTIFICATION

For Properties identified through survey: Site No: BE33-01a Survey Area: Blenman-Elm

Historic Name (s) Medical Square

(Enter the name(s), if any, that best reflects the property's historic importance.)

Address: 1601 N. Tucson Blvd. #9,10,12,13

City or Town Tucson  vicinity County: Pima Tax Parcel No: 123-060-370

Township: \_\_\_\_\_ Range: \_\_\_\_\_ Section: \_\_\_\_\_ Quarter Section: \_\_\_\_\_ Acreage: <1

Block: \_\_\_\_\_ Lot(s): 0 Plat (Addition): Olsen's Addition Year of Plat (Addition) 1903

UTM reference: Zone: 12 Easting: 506000 Northing: 3567310

USGS 7.5' Quadrangle Map: Tucson

ARCHITECT \_\_\_\_\_  not determined  known Source: \_\_\_\_\_

BUILDER \_\_\_\_\_  not determined  known Source: \_\_\_\_\_

CONSTRUCTION DATE: 1951  known  estimated Source: County Assessor

## STRUCTURAL CONDITION

Good (well maintained; no serious problems apparent)

Fair (some problems apparent)

Describe: \_\_\_\_\_

Poor (major problems; imminent threat)

Describe: \_\_\_\_\_

Ruin/Uninhabitable

## USES/FUNCTION

Describe how the property has been used over time, beginning with the original use.

\_\_\_\_\_

Sources \_\_\_\_\_

## PHOTO INFORMATION

Date of Photo: 9/9/2000

View Direction: NW

Negative No: KD06-33



**SIGNIFICANCE**

Site No: BE33-01a

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Describe any historic event/trends associated with the property.

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**B. PERSON** List and describe persons with an important association with the building.

This commercial property is not associated with any particular person.

**C. ARCHITECTURE. Style:** Ranch

no style

Stories: 1  Basement Roof form: low-pitch intersecting hip gables

Describe other character-defining features of its massing, size, and scale.:

The scale of this collection of buildings reflects its location within a residential area. The buildings are single-story with very horizontal massing.

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**FORM COMPLETED BY**

Name and Affiliation: Ryden Architects

Date: 10/15/2000

Mailing Address: 902 W. McDowell Rd., Phoenix, AZ 85007

Phone#: (602)253-5381



### Building Layout

Medical Square was originally constructed in the early 1950s and currently contains a mix of original and new fixtures. This photo key shows all 8 buildings and the location of new windows and doors documented during a visit to the Property on July 29th, 2021. All other windows and doors are assumed to be original or refurbished to resemble the originals.

This appendix also includes photographs of each of the 8 buildings' facades taken that same day. New windows and doors can be identified in these photographs and cross-referenced with this photo key.

Buildings 3, 4 and 6 have been altered the most and buildings 7 and 8 have been altered the least.

Examples:



Original Plate-Glass Windows



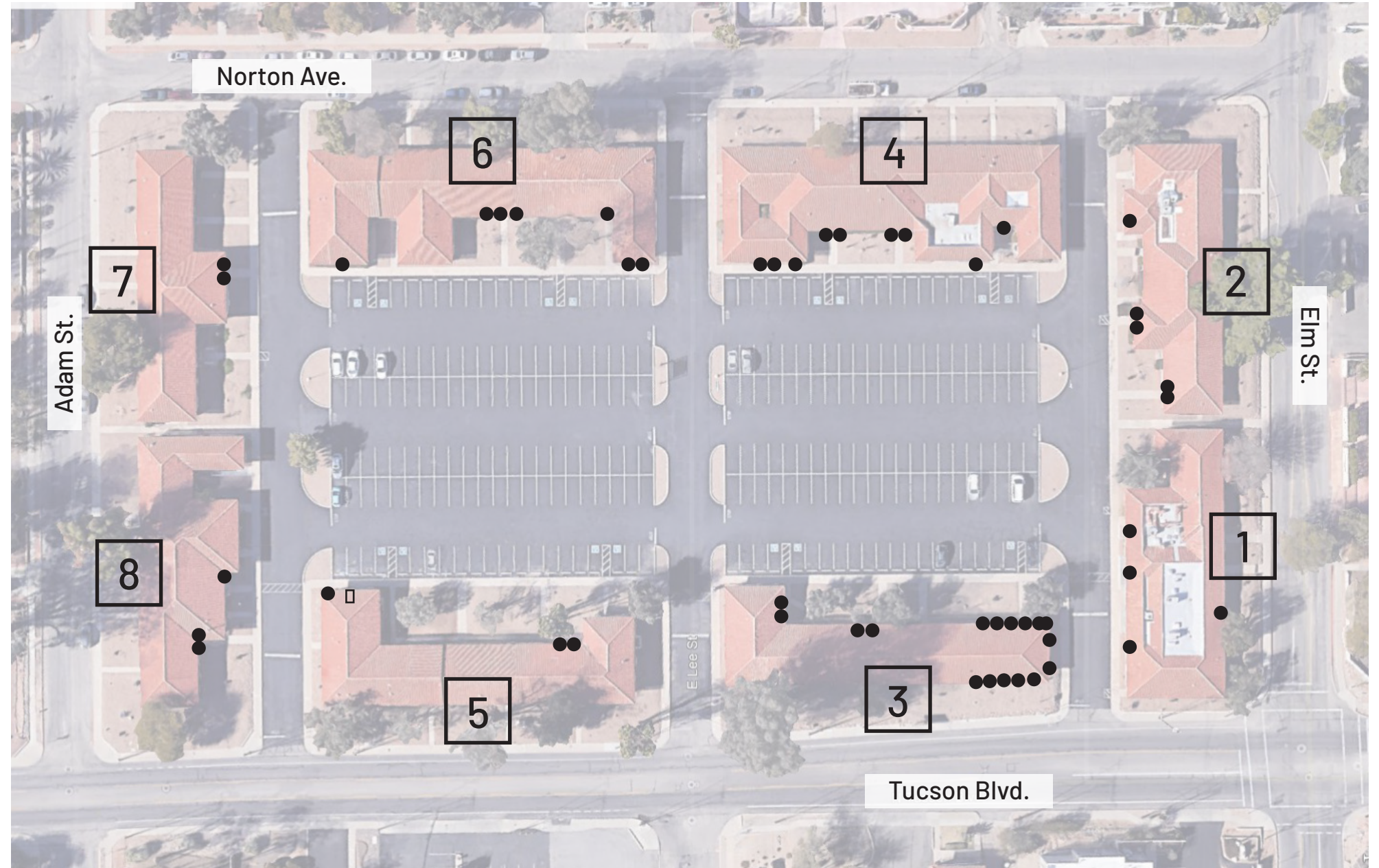
New Single-Pane Windows



Original Door



New Door



Medical Square Photo Key  
N.T.S.

● New Window  
□ New Door



South Elevation



North Elevation



West Elevation



East Elevation





South Elevation



North Elevation



East Elevation



West Elevation





West Elevation



East Elevation



North Elevation



South Elevation





East Elevation



West Elevation





South Elevation



North Elevation





West Elevation



East Elevation





North Elevation



South Elevation





East Elevation



West Elevation





South Elevation



North Elevation





North Elevation



South Elevation





East Elevation



West Elevation





North Elevation



South Elevation





East Elevation



West Elevation

