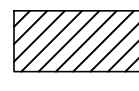
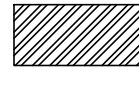
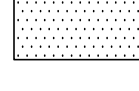
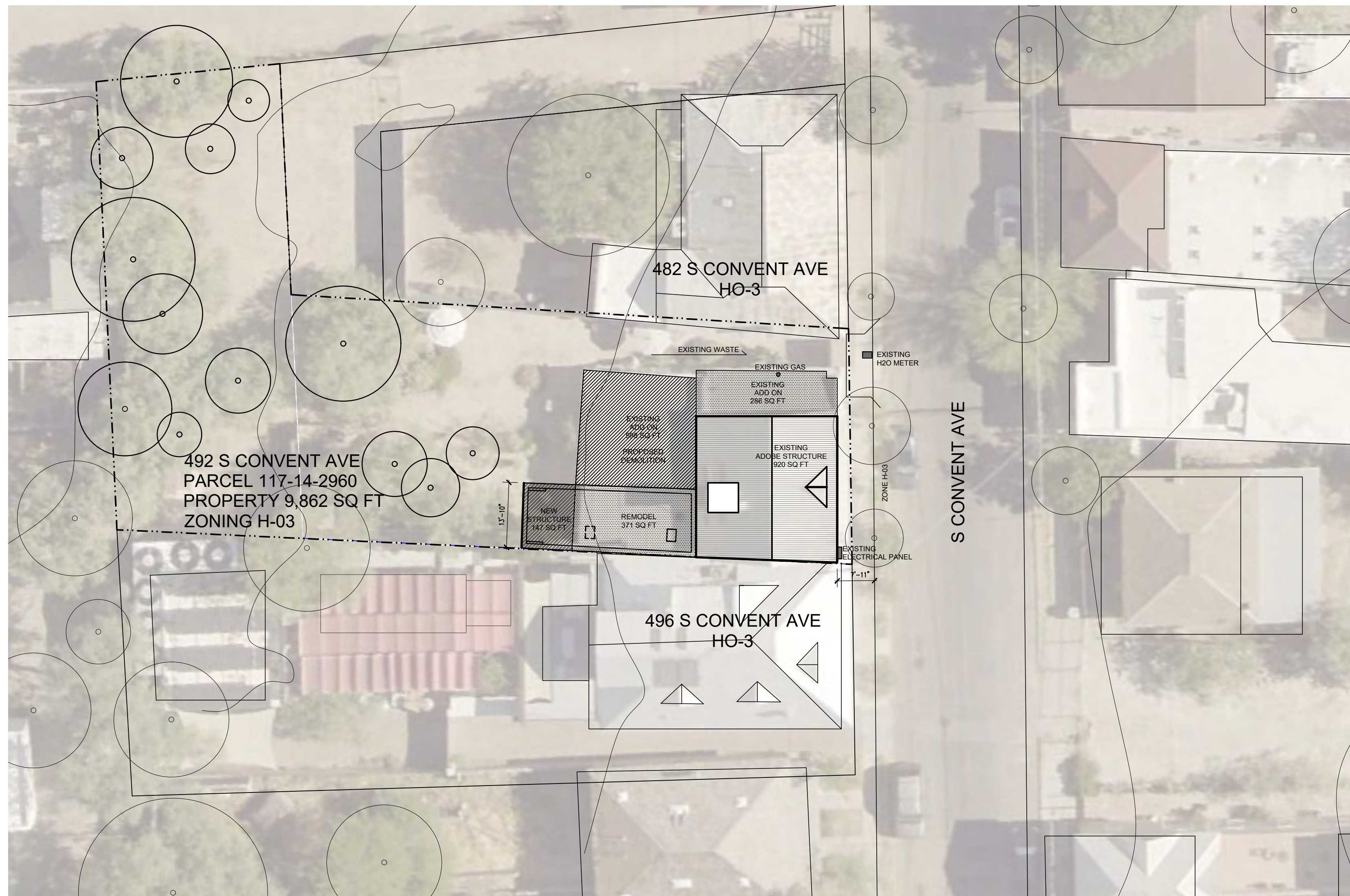


Keynotes:

Consultants:
Schneider Structural Engineers Structural
435 E 9TH Street
Tucson, AZ 85705
520-429-7080

**SITE PLAN
SCALE 1:200**

TOTAL EXISTING SQ FT: 2322 SQ FT	
PROPOSED DEMOLITION OF EXISTING FRAME CONSTRUCTION ADDITION	598 SQ FT
TOTAL REMAINING EXISTING: 1724 SQ FT	
ADD TOTAL OF NEW ADDITION	147 SQ FT
NEW TOTAL SQ FT: 1871 SQ FT	
LEGEND:	
 PROPOSED DEMOLITION OF EXISTING FRAME CONSTRUCTION ADDITION	598 SQ FT
 PROPOSED NEW STRUCTURE	147 SQ FT
 PROPOSED TOTAL REMODEL OF EXISTING ADOBE STRUCTURES NEW KITCHEN=286 SQ FT NEW BATHROOM=147 SQ FT	651 SQ FT
TOTAL SQ FT OF REMODEL PLUS ADDITION= 804 SQ FT	
REMODEL OF EXISTING ADOBE- BED	371 SQ FT
RELOCATE KITCHEN	286 SQ FT
NEW CMU BATHROOM	147 SQ FT



baylor residence

492 S Convent Ave, Tucson, AZ 85701

GENERAL CONDITIONS:

- ALL CONSTRUCTION SHALL CONFORM TO I.R.C. 2018 AND APPLICABLE LOCAL CODES AND REGULATIONS AND 2018 I.B.C. FOR ENGINEERED STRUCTURAL DESIGN
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- OMMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS, OR WHERE NO DIMENSION IS PROVIDED, CONSULT WITH THE ARCHITECT FOR CLARIFICATION.
- DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL FOR LOCATION AND SIZE OF BLOCK-OUTS, INSERTS AND OPENINGS, CURBS, BASES AND PADS AND DIMENSIONS NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR/PLUMBING SUBCONTRACTOR TO PROVIDE A COMPLETELY OPERATIONAL PLUMBING SYSTEM WHETHER OR NOT ALL COMPONENTS ARE NOTED IN THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR HAVING SEWER SYSTEM, EJECTION PUMP DESIGNED AND PLANNED TO CONNECT TO EXISTING SEWER SYSTEM AND THUS TO CITY LINES AND OBTAINING ALL REQUIRED APPROVALS AND PERMITS.

PIMA COUNTY CODE

- INTERNATIONAL BUILDING CODE 2018
- INTERNATIONAL RESIDENTIAL CODE 2018
- INTERNATIONAL FIRE CODE 2018
- INTERNATIONAL MECHANICAL CODE 2018
- INTERNATIONAL PLUMBING CODE 2018
- FUEL AND GAS CODE 2018
- NATIONAL ELECTRIC CODE 2018

PROJECT DATA:

PROJECT DESCRIPTION:	RESIDENTIAL
OWNER:	BOLEYN BAYLOR & CLAIRE ELISABETH MC LANE 492 S CONVENT AVE TUCSON, AZ 85705-2205
JURISDICTION:	CITY OF TUCSON, PIMA COUNTY, ARIZONA
ZONING:	HO-3
PARCEL:	117-14-2960
LEGAL DESCRIPTION:	TUCSON S & W PT OF LOT 4 BLK 241 HISTORIC PROPERTY(POTENTIAL ADDITIONAL TAX) PER ARS 42-12104(A)
LOT SIZE:	APPROX. 0.23 ACRES (9,862 SQ FT)
PROPOSED DEMO AREA:	598 GROSS SQ FT CONDITIONED
BUILDING CONSTRUCTION TYPE:	V-PER CODE
PROPOSED BUILDING AREA:	NEW 147 GROSS SQ FT CONDITIONED
LOT COVERAGE:	IS MAX 75% OF 9862 SQ FT=7396.5 SQ FT EXISTING LOT COVERAGE=2322 SQ FT PROPOSED AND EXISTING LOT COVERAGE =1724 SQ FT


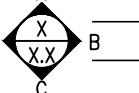
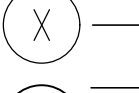
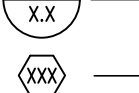
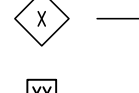
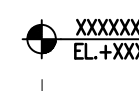

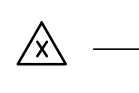
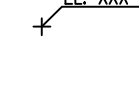




PROJECT TEAM:

ARCHITECT:	DUST ARCHITECTS, PLC. CADE HAYES TUCSON, ARIZONA 520.270.4205
STRUCTURAL ENGINEER:	SCHNEIDER STRUCTURAL ENGINEERS 435 E 9TH ST TUCSON, ARIZONA 85705 DAVE GIBBENS.DGIBBENS@SASTRUCTURAL.COM 520.360.6809

DRAWING LIST:

- A0.00 COVER SHEET
- A1.00 SITE PLAN
- A2.00 DEMO PLAN & PROPOSED PLAN
- A3.00 BUILDING ELEVATIONS
- A4.00 BUILDING SECTIONS
- A6.00 DOOR AND WINDOW SCHEDULE
- S1.00 FRAMING AND FOUNDATION PLAN/DETAILS
- S0.01 STRUCTURAL DETAILS
- E1.00 ELECTRICAL NOTES
- E1.01 ELECTRICAL & LIGHTING PLAN
- P1.00 PLUMBING PLAN
- M1.00 MECHANICAL PLAN

SYMBOLS LEGEND

SECTION/ELEVATION		DRAWING NUMBER
INTERIOR ELEVATION		DRAWING NUMBER
GRID LINE		GRID NUMBER
DETAIL		DRAWING NUMBER
DOOR		DOOR NUMBER
WINDOW		WINDOW TYPE
PARTITION TYPE		PARTITION TYPE
DATUM		XXXXXXXX EL+XXXX
CENTERLINE		
ALIGN		
MATCHLINE		
REVISION		REVISION NUMBER
ELEVATION TAG		EL XXX



ISSUED FOR PERMIT

Project Name:
Baylor Residence
492 S Convent Ave, Tucson, AZ 85701

Date: JANUARY 07 2022

Issued For: PERMIT

Drawn By: DUST

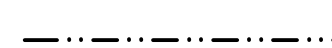
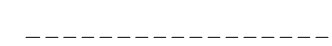

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Drawing Title:
COVER SHEET

Sheet No.:
A0.00

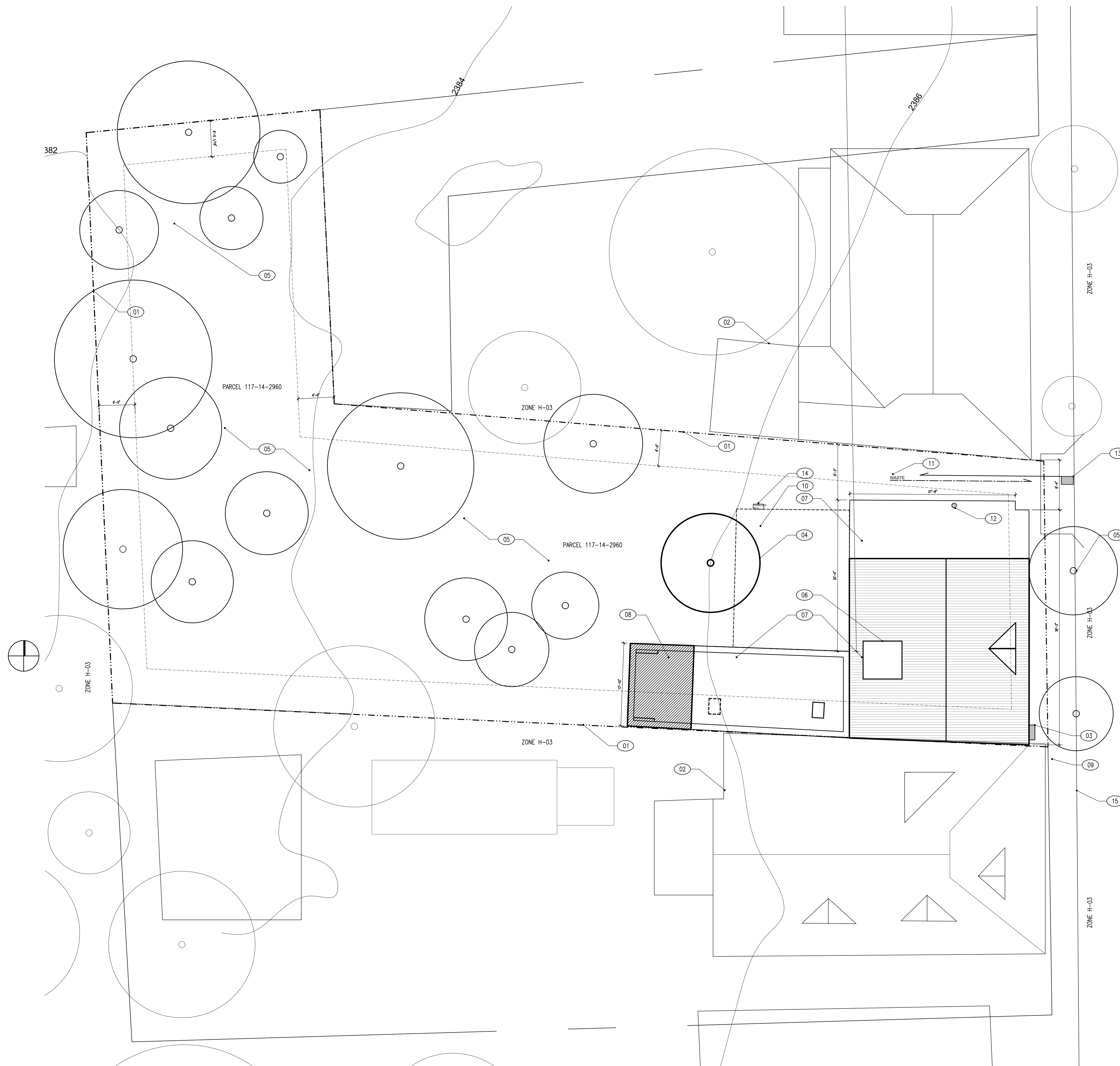
1. site plan

LEGEND:

-  PROPERTY LINE
-  SETBACK
-  LINE OF NEIGHBORS FENCE

GENERAL SITE NOTES

1. SITE INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM TOPOGRAPHIC INFORMATION FROM PIMA COUNTY DEVELOPMENT SERVICE AND GIS.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UTILITY STUBS PRIOR TO CONSTRUCTION, TO ASSURE AVAILABILITY OF UTILITY SERVICES. CALL BLUE STAKE PRIOR TO EXCAVATION.
3. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ADDITION AT SITE WITH OWNER ARCHITECT.
4. EXCESS SOIL GENERATED FROM THE EARTHWORK OPERATIONS SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED OF OR OTHERWISE PLACED SO AS TO BECOME AN INTEGRAL PART OF THE SITE DEVELOPMENT.
5. EXISTING F.F.E. WILL BE LOCAL BENCH MARK.
6. PROVIDE MIN DRAINAGE SLOPE OF 5% AT WALKWAYS, DRIVEWAYS, PORCHES AND PATIOS (SOLID SURFACES).
7. SSD FOR SLAB ON GRADE AND FOOTING EXCAVATION REQUIREMENTS.



S CONVENT AVE

DUST®

1046 S Euclid Ave, Tucson, AZ 85719
studio@dustsb.com www.dustsb.com

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Revision: _____ Date: _____

Keynotes:

- 01 PROPERTY BOUNDARY LINE
- 02 NEIGHBORS RESIDENCE
- 03 EXISTING ELECTRIC METER
- 04 NEW TREE
- 05 EXISTING TREES
- 06 EXISTING A.C. UNIT
- 07 EXISTING HOUSE
- 08 PROPOSED ADDITION-147 SQ FT
- 09 SIDE WALK
- 10 FOOTPRINT OF DEMOLISHED FRAME ADDITION-598 SQ FT
- 11 EXISTING WASTE LINT IN YAR
- 12 EXISTING GAS LINE
- 13 EXISTING WATER SUPPLY
- 14 EXISTING HOT WATER HEATER
- 15 LINE OF CURB

Consultants:

Schneider Structural Engineers Structural
435 E. 9th Street
Tucson, AZ 85705
520-429-7080



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Project Name:

Baylor Residence

492 S Convent Ave, Tucson, AZ 85701

Date: JANUARY 07 2022

Issued For: PERMIT

Drawn By: DUST

Scale: 1/8"=1'

Drawing Title:

SITE PLAN

Sheet No.:

A1.00

Keynotes:

- 01 EXISTING WALLS TO BE REMOVED.
- 02 EXISTING WALL TO REMAIN. PATCH AND REPAIR AS NEEDED.
- 03 EXISTING COUNTER TO BE DEMOLISHED.
- 04 EXISTING KITCHEN/BATHROOMS TO BE DEMOLISHED. FIXTURES TO BE SALVAGED AT OWNERS DISCRETION.
- 05 ALL EXISTING WALLS AND ROOF TO BE DEMOLISHED. ALL FIXTURES TO BE REMOVED.
- 06 EXISTING WINDOW TO BE CONVERTED INTO DOOR.
- 07 ALL WATER HEATERS TO BE CONSOLIDATED TO ONE. SEE PLUMBING PLAN.
- 08 OPENINGS TO BE SECURED DURING CONSTRUCTION FROM DUST/DEBRIS & WEATHER
- 09 EXISTING ROOF & STRUCTURE TO BE DEMOLISHED/REMOVED
- 10 DEMO EXISTING FLOOR TO GRADE
- 11 NEW FIREPLACE. 30" FireRock RUMFORD KIT.
- 12 LINE OF 3'-10"x20" NONCOMBUSTIBLE HEARTH
- 13 NEW DOOR MODIFIED FROM EXISTING WINDOW.
- 14 EXISTING ADOBE WALL. PLASTER/STUCCO TO PATCH TO MATCH EXISTING.
- 15 NEW 14" SOLAR TUBE

Consultants:

Schneider Structural Engineers
432 E. 29th Street
Tucson, AZ 85705
520-429-7080



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Project Name:

Baylor Residence

482 S Convent Ave, Tucson, AZ 85701

Date: JANUARY 07 2022

Issued For: PERMIT

Drawn By: DUST

Scale: 1/4"=1'

Drawing Title:
DEMO PLAN & PROPOSED PLAN

Sheet No.:

A2.00

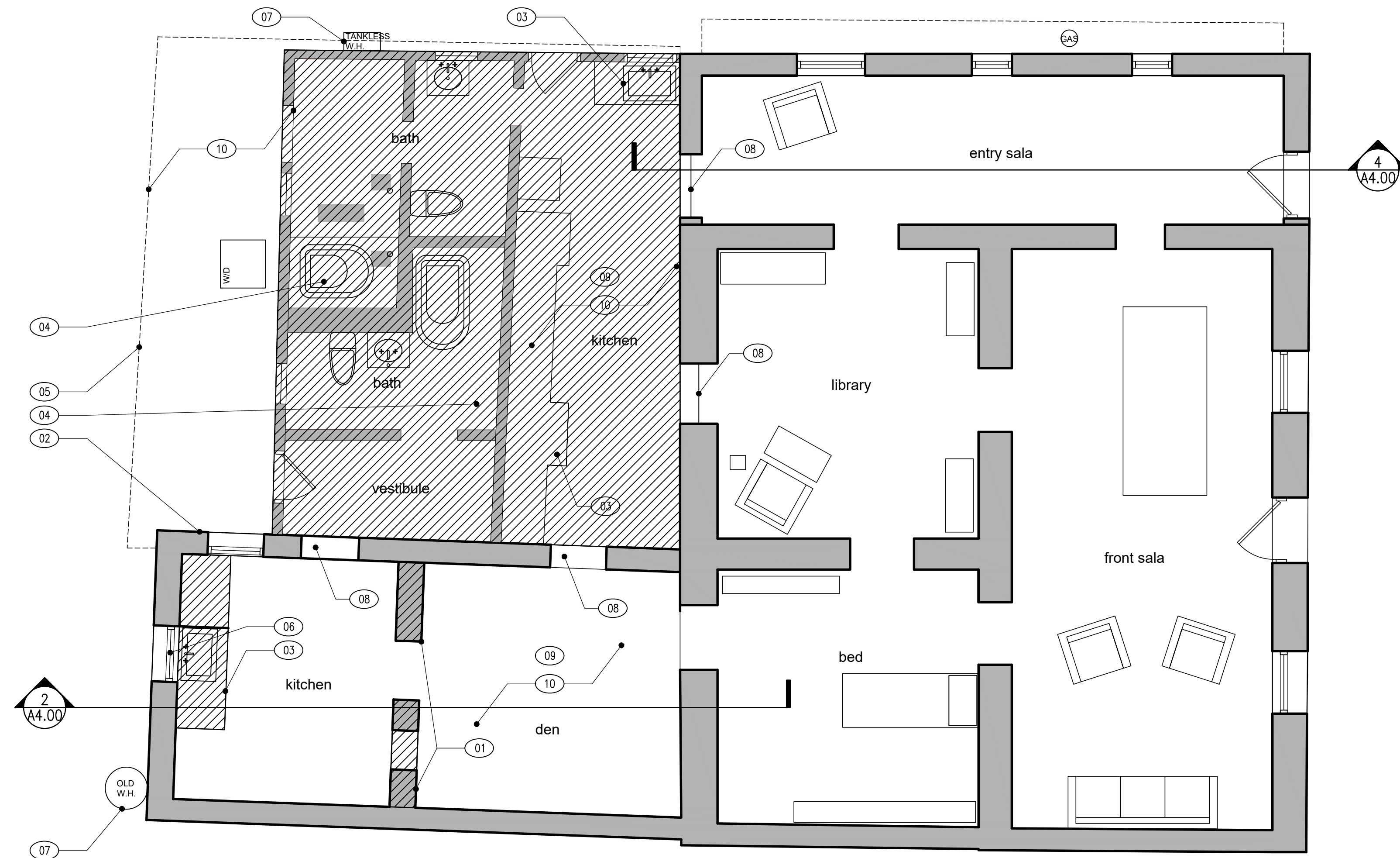
LEGEND:

STRUCTURES TO BE DEMOLISHED / REMOVED

NOTES:

1. SITE TO BE REVIEWED FOR ACCESS/PARKING AND ANY PERMITS NECESSARY DURING DEMO/CONSTRUCTION PRIOR TO ANY BID/WORK TO BE COMPLETED.
 2. ANY RESIDUAL PLUMBING, ELECTRICAL, WASTE, GAS LINES TO BE SECURED AND MADE SAFE I.E. TERMINATED, CAPPED, REMOVED, AND/OR DISCARDED.
- EXISTING: 1936 GROSS SF UNCONDITIONED:164 GROSS SF
PROPOSED: 1483 SF UNCONDITIONED:0 SF

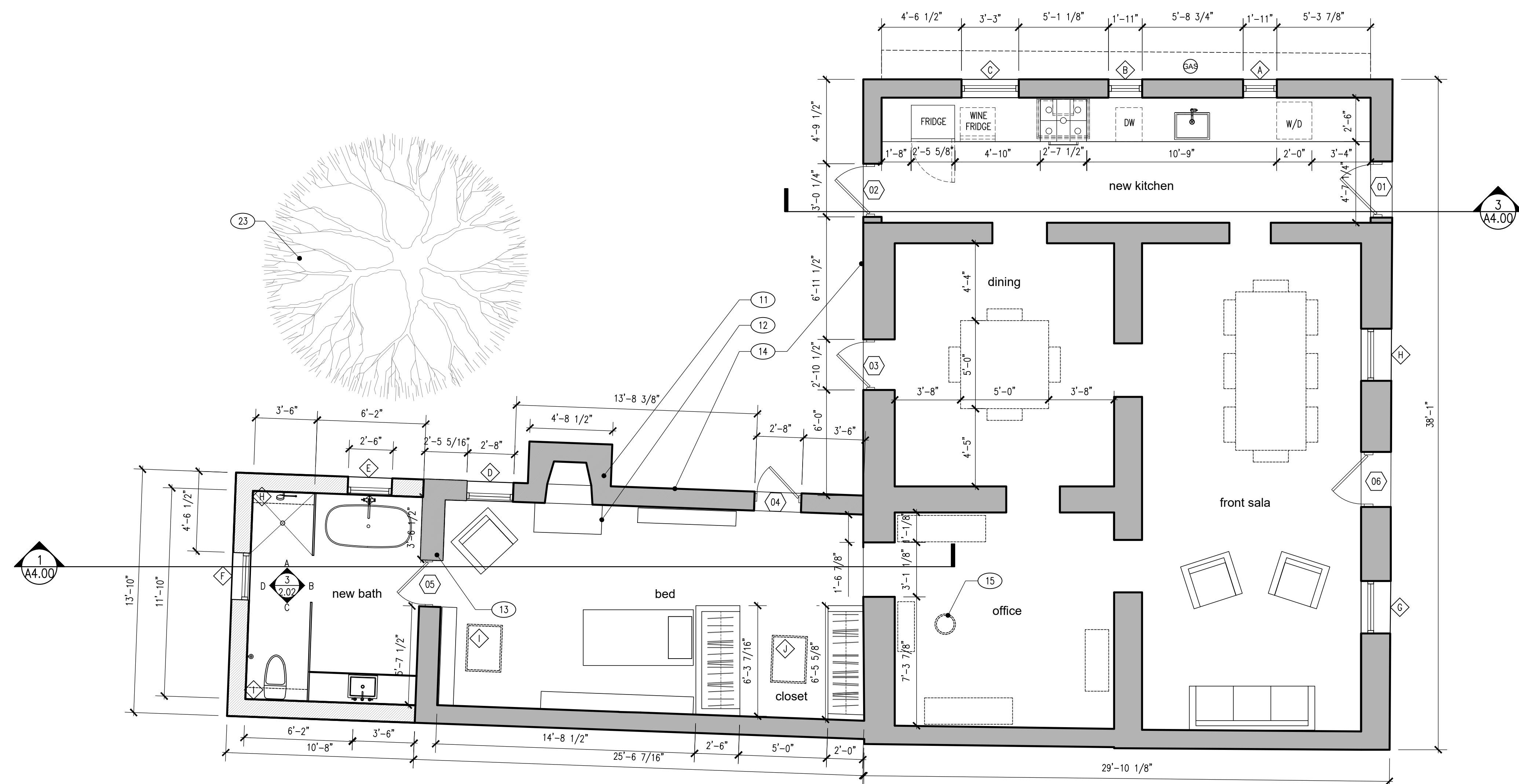
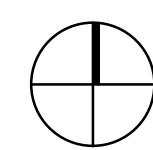
1. DEMO PLAN



NOTES:

1. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD

2. PROPOSED PLAN



- Keynotes:
- 01 EXISTING A.C. UNIT
 - 02 PROPOSED DEMO ZONE
 - 03 EXISTING LOCATION OF WATER HEATER, TO BE MOVED
 - 04 COVERED PORCH TO BE DEMOLISHED
 - 05 EXISTING ADOBE STRUCTURE TO BE PRESERVED AND REMODELED. SEE A2.00
 - 06 EXISTING DOOR TO BE SALVAGED/RE PURPOSED. COORDINATE WITH OWNER NEW LIME STUCCO SMOOTH TO MATCH EXISTING
 - 07 LINE OF NEW BATHROOM
 - 08 NEW FIREPLACE. 30" FireRock RUMFORD KIT.
 - 09 EXISTING CORRUGATED SLOPED ROOF
 - 10 LINE OF OLD OPENING, TO BE FRAMED IN AND STUCCO'D TO MATCH EXISTING
 - 11 EXISTING OPENING, NEW FRAMED DOOR AND WINDOW.
 - 12 LINE OF EXISTING ADOBE W/ NEW CMU ABOVE. SEE STRUCTURAL.
 - 13 APPROX. LINE OF SLOPPING GRADE
 - 14 EXISTING SIDEWALK

Consultants:
 Schneider Structural Engineers Structural
 435 E. 9th Street
 Tucson, AZ 85705
 520-429-7080



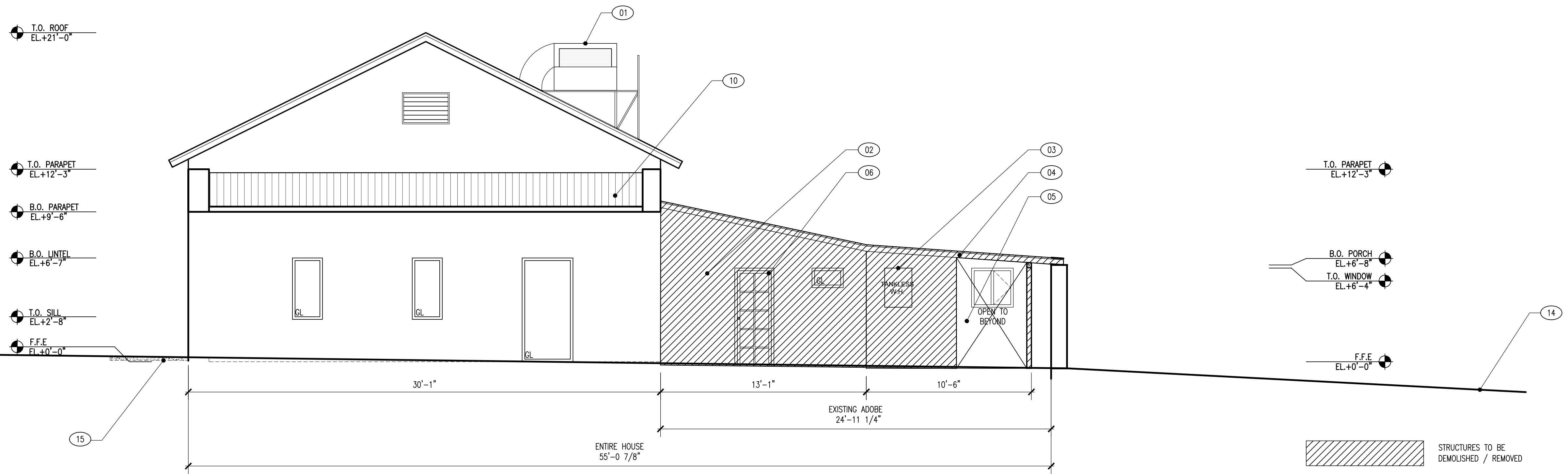
ISSUED FOR PERMIT

Project Name: **Baylor Residence**
 492 S Convent Ave, Tucson, AZ 85701
 Date: JANUARY 07 2022
 Issued For: PERMIT
 Drawn By: DUST
 Scale: 1/4"=1'

Drawing Title: **BUILDING ELEVATIONS**

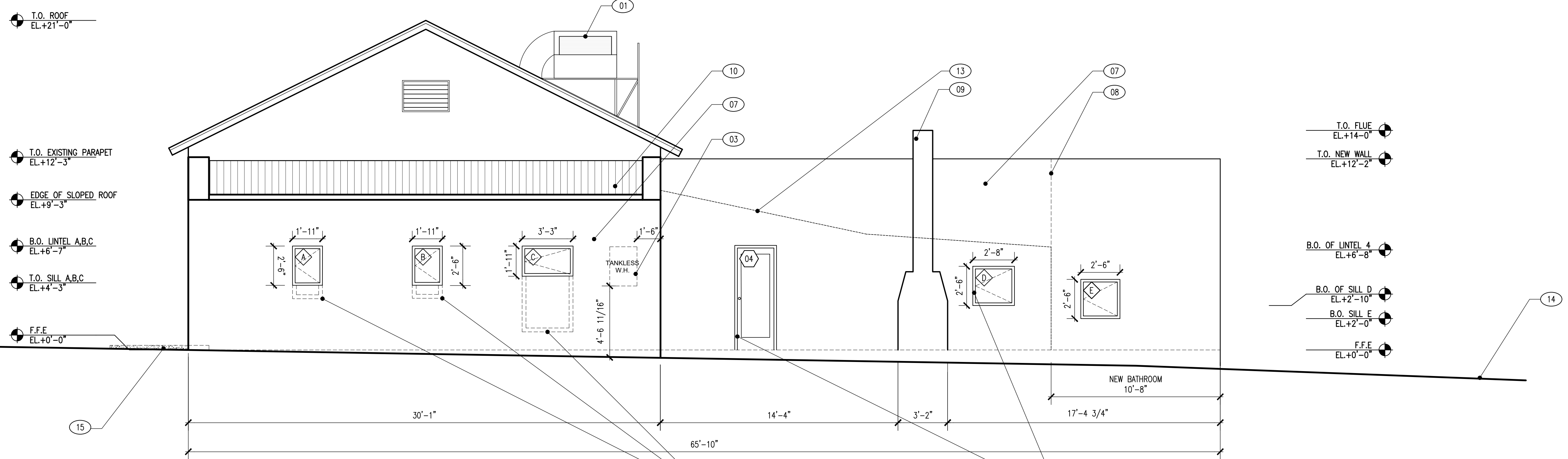
Sheet No.: **A3.00**

REVISOR PER 03/03/2022 PERMIT REVIEW COMMENTS



1. EXISTING NORTH ELEVATION

REVISOR PER 03/03/2022 PERMIT REVIEW COMMENTS



2. NEW NORTH ELEVATION

Keynotes:

- 01 NEW WINDOW UNIT IN EXISTING OPENING.
- 02 LINE OF OLD DOOR, FILLED IN AND FINISHED TO MATCH.
- 03 LINE OF NEW FIREPLACE, 30" SHROUD.
- 04 EXISTING CEILING LINE FOR REFERENCE ONLY.
- 05 EXISTING WALL/FOUNDATION.
- 06 NEW 4" CONCRETE FLOOR SLAB. SEE STRUCTURAL.
- 07 EXISTING ROOF STRUCTURE TO BE DEMOLISHED.
- 08 EXISTING FLOOR TO BE DEMOLISHED.
- 09 EXISTING WALL UNDER WINDOW TO BE DEMOLISHED INTO DOOR.
- 10 EXISTING STRUCTURAL CAVITY.
- 11 NEW BATHTUB, VETRALLA 58 3/4" x 29 3/8"
- 12 EARTHEN WALL PLASTER
- 13 EXISTING ADOBE WALL TO BE DEMOLISHED
- 14 EXISTING CABINETS TO BE DEMOLISHED
- 15 REMOVE ALL TRIM, PATCH AND PLASTER FOR NEW WINDOW SIZE/OPENING
- 16 EXISTING WALL
- 17 EXISTING ARCH. NEW CUSTOM EXTERIOR DOOR.
- 18 EXISTING EXTERIOR DOOR TO REMAIN
- 19 SOLID SURFACE COUNTERTOP
- 20 IKEA CABINETS W/REFORM SURFACE FRONT OR COMPARABLE
- 21 NEW BOND BEAM/LINTEL. SEE STRUCTURAL.
- 22 NEW 10" STRUCTURAL CAVITY. SEE STRUCTURAL. R-39 BATT INSULATION W. TPO ROOFING OVER SUBSTRATE.

- NOTES:
1. 20'-7" LINEAR FT OF CABINETS
 2. 18'-11" LINEAR FT OF COUNTER SPACE
 3. 11'-1" LINEAR FT OF UPPER SHELVES

Consultants:
 Schneider Structural Engineers Structural
 435 E 9th Street
 Tucson, AZ 85705
 520-429-7080



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Baylor Residence

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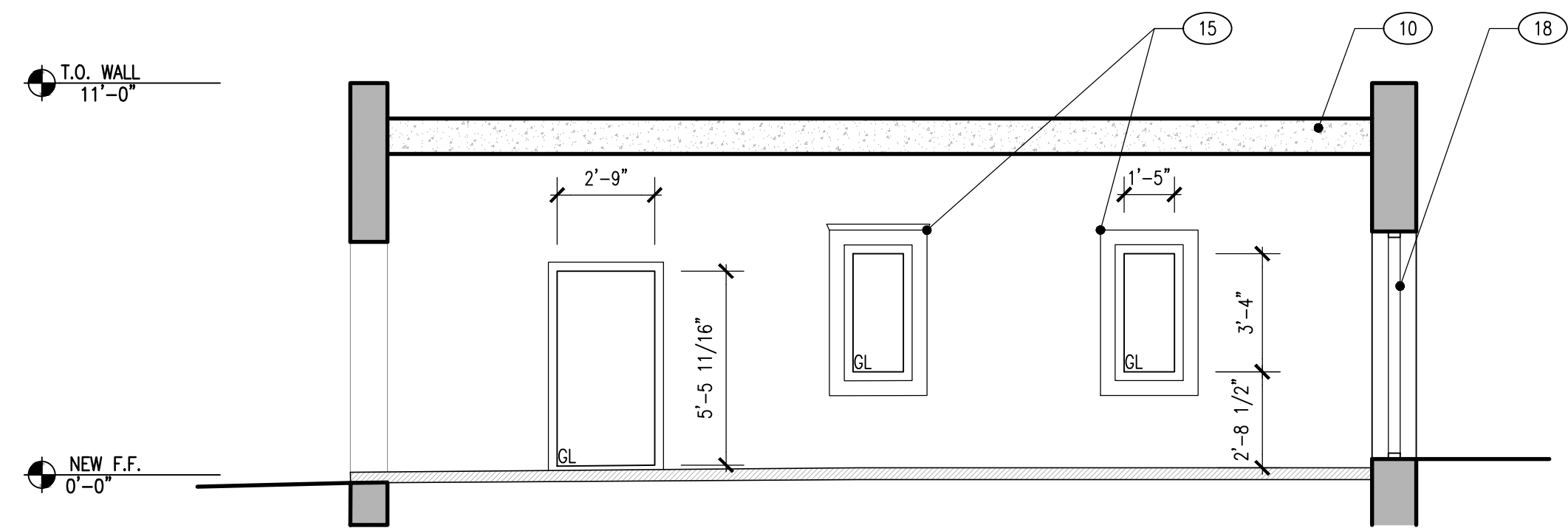
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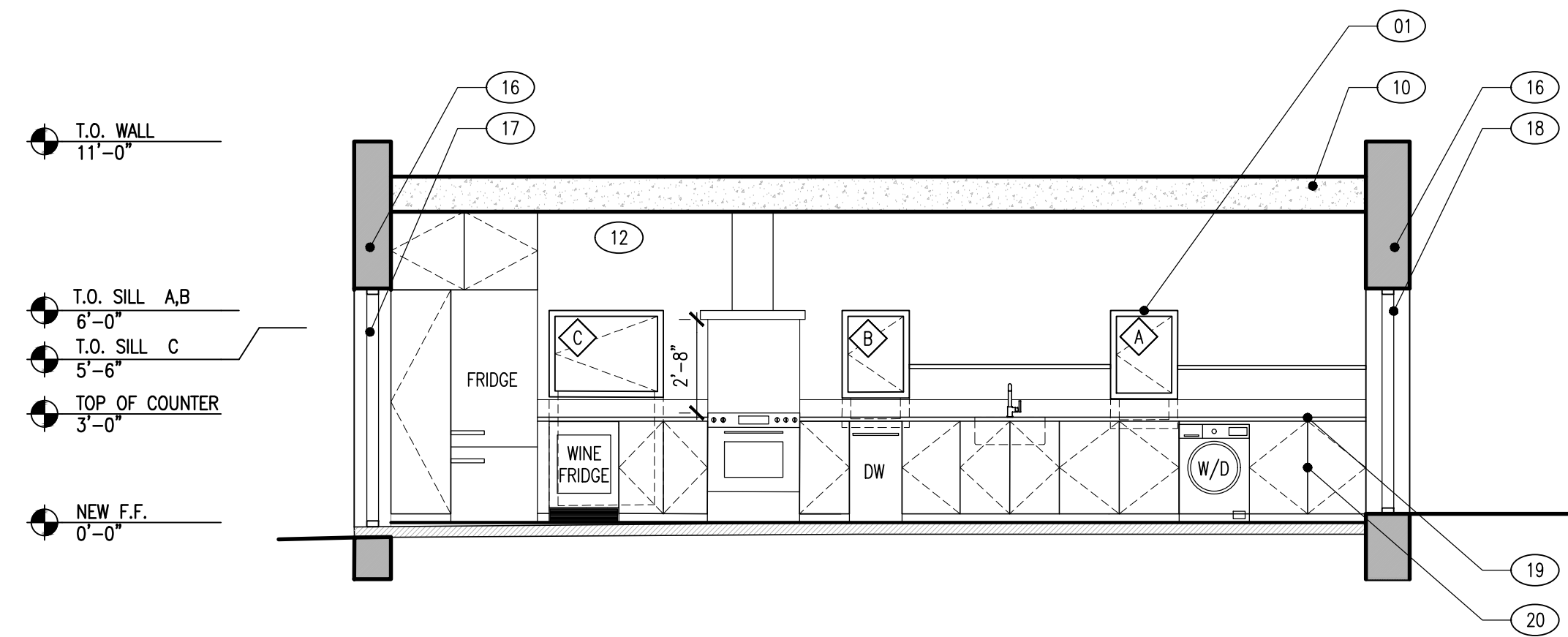
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BUILDING SECTIONS

Sheet No.:

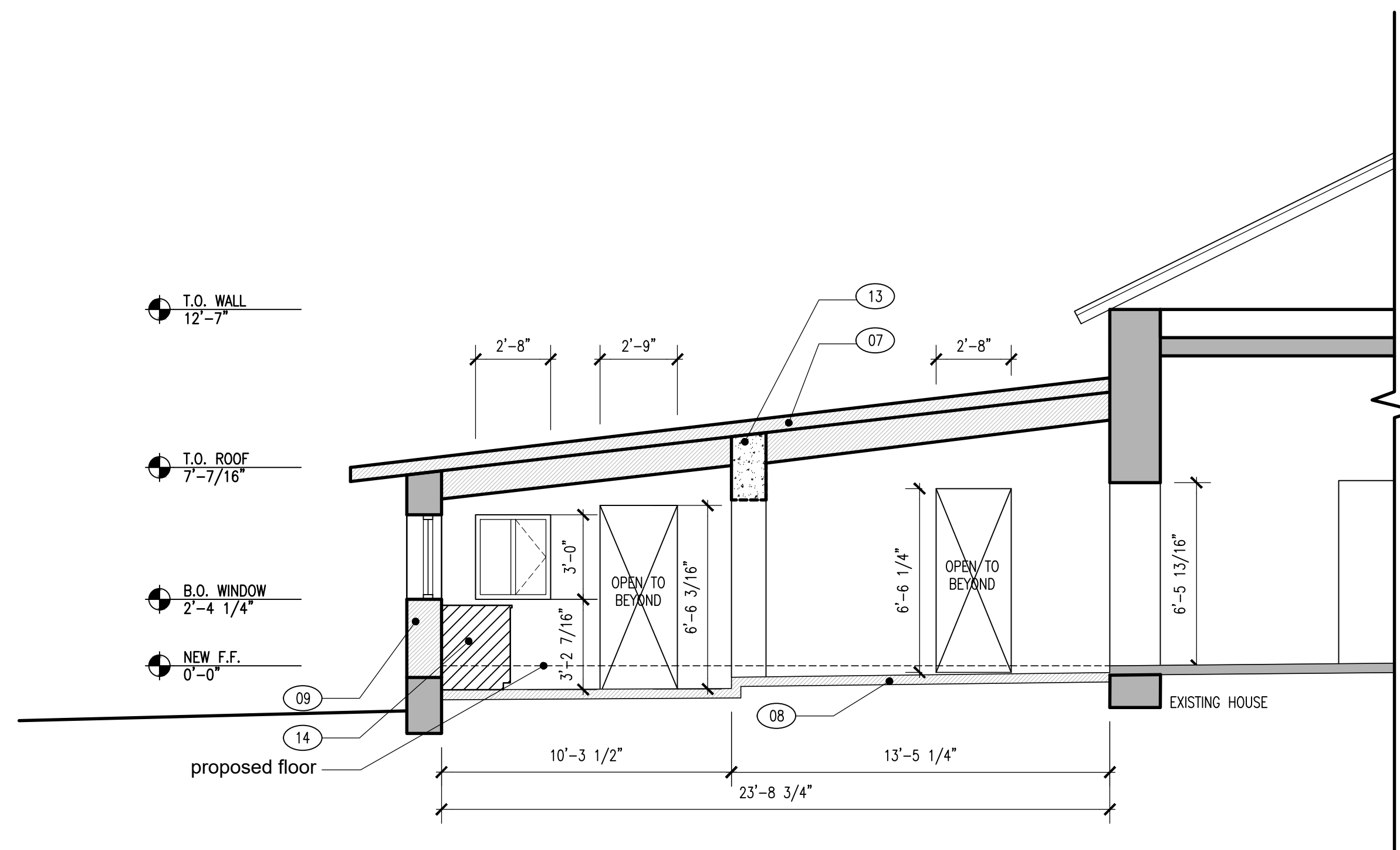
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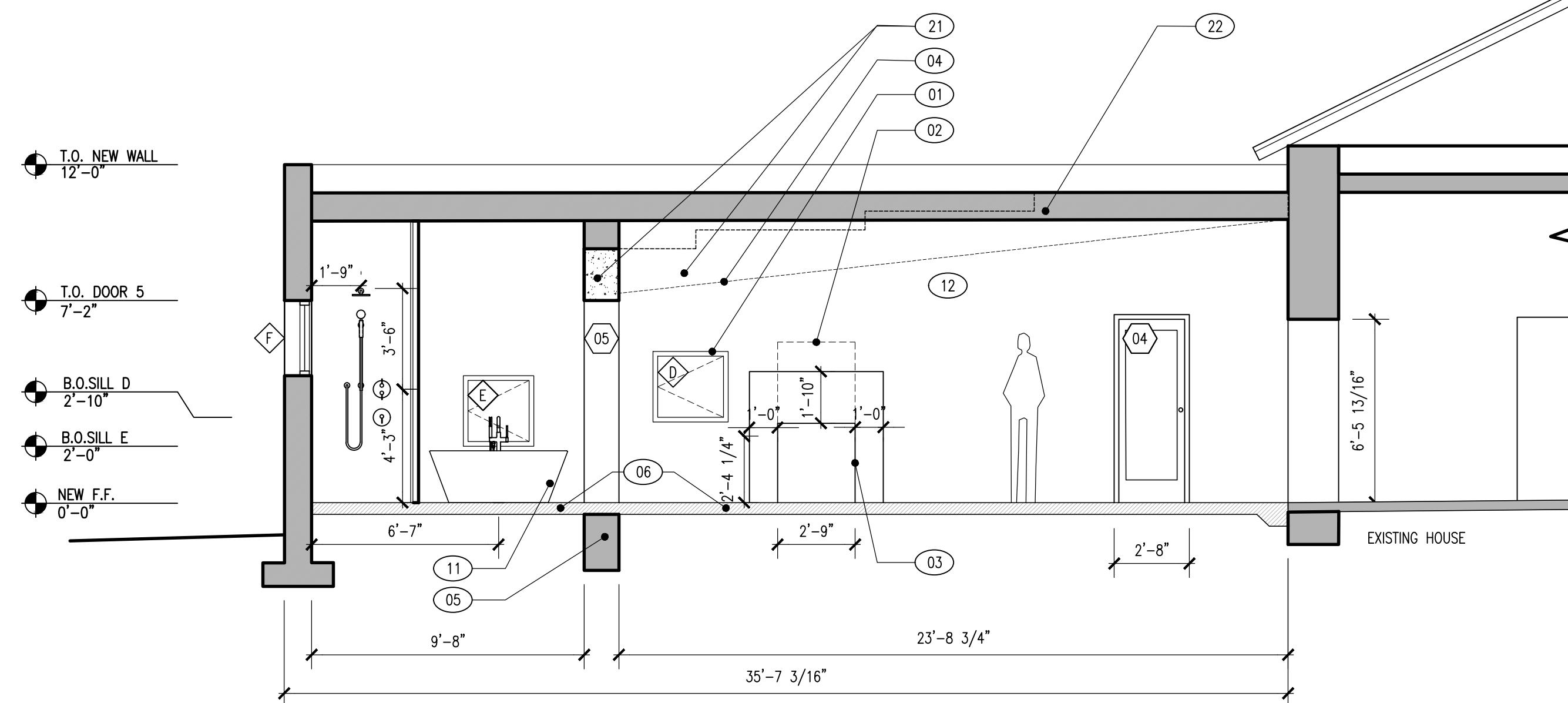
4. EXISTING SECTION- KITCHEN



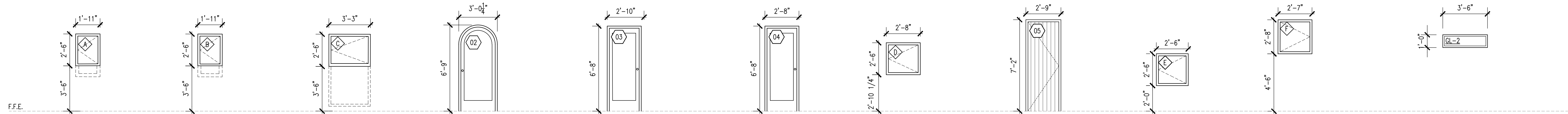
3. PROPOSED KITCHEN SECTION



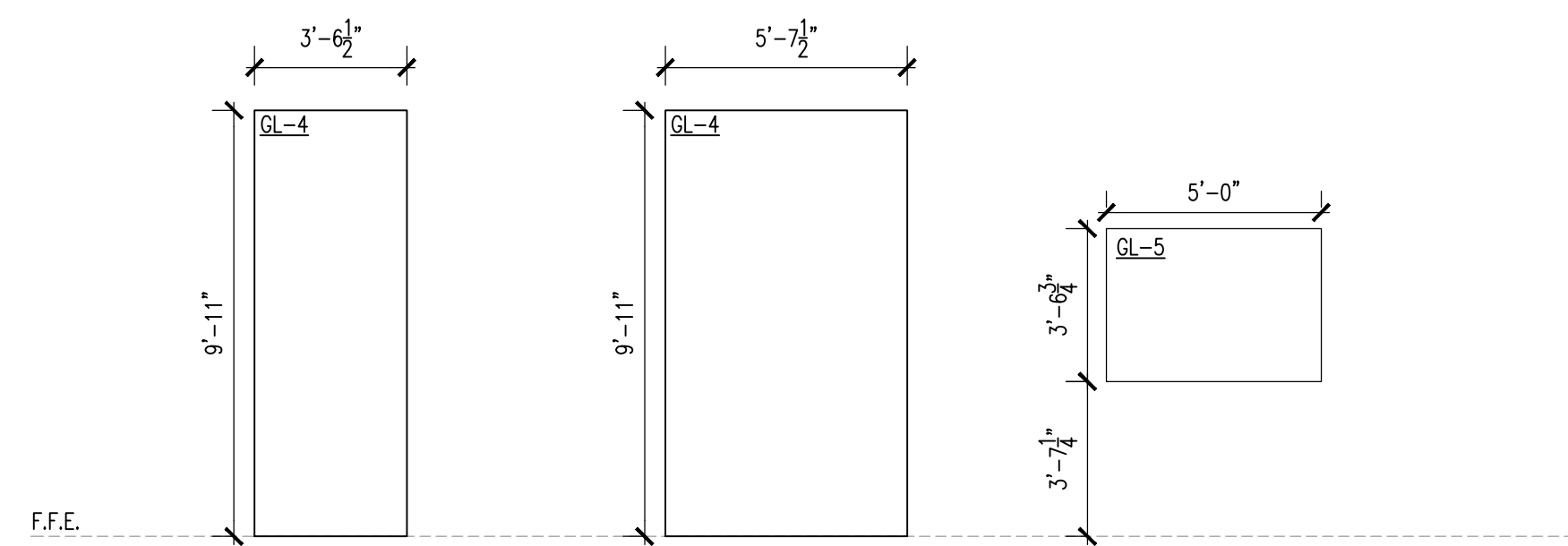
2. EXISTING SECTION-BEDROOM AND BATHROOM



1. PROPOSED SECTION-BEDROOM AND BATHROOM



- A** KITCHEN WINDOW
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 DETAIL REF:
 NOTES: OPERABLE W/ INSECT SCREENS, TILT AND TURN OPTION IF AVAILABLE
 NOTES: NEW WINDOW UNIT, OLD OPENING TO BE FRAMED IN.
- B** KITCHEN WINDOW
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 DETAIL REF:
 NOTES: OPERABLE W/ INSECT SCREENS, TILT AND TURN OPTION IF AVAILABLE
 NOTES: NEW WINDOW UNIT, OLD OPENING TO BE FRAMED IN.
- C** KITCHEN WINDOW
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 DETAIL REF:
 NOTES: OPERABLE W/ INSECT SCREENS, TILT AND TURN OPTION IF AVAILABLE
 NOTES: NEW WINDOW UNIT, OLD OPENING TO BE FRAMED IN.
- 02** KITCHEN
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 FINISH:
 FRAME: MATCH DOORS
 HARDWARE: STANDARD BUTT HINGE
 SCHLAGE LATITUDE FLAT BLACK
 APPLICATION: EXTERIOR
 DETAIL REF:
 NOTES: CUSTOM DOOR TO MATCH EXISTING ARCH
- 03** DINNING
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 FINISH:
 FRAME: MATCH DOORS
 HARDWARE: STANDARD BUTT HINGE
 SCHLAGE LATITUDE FLAT BLACK
 APPLICATION: EXTERIOR
 DETAIL REF:
 NOTES: CUSTOM DOOR TO MATCH ARCH
 NOTE: TO MATCH MARVIN DOOR AND WINDOW PACKAGE
- 04** BEDROOM
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 FINISH:
 FRAME: MATCH DOORS
 HARDWARE: STANDARD BUTT HINGE
 SCHLAGE LATITUDE FLAT BLACK
 APPLICATION: EXTERIOR
 DETAIL REF:
 NOTES: TO MATCH MARVIN DOOR AND WINDOW PACKAGE
- D** BEDROOM WINDOW
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 DETAIL REF:
 NOTES: OPERABLE W/ INSECT SCREENS, TILT AND TURN OPTION IF AVAILABLE
 NOTES: NEW WINDOW UNIT, OLD OPENING TO BE FRAMED IN.
- 05** BATHROOM DOOR
 MATERIAL: TO MATCH CABINETRY
 FINISH: TO MATCH CABINETRY
 FRAME: MATCH DOORS
 HARDWARE: CENTER PIVOT OR CONCEALED
 APPLICATION: INTERIOR
 DETAIL REF:
 NOTES: FLUSH, TRIMLESS TOWARDS BEDROOM
- E** BATHROOM WINDOW
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 DETAIL REF:
 NOTES: OPERABLE W/ INSECT SCREENS, TILT AND TURN OPTION IF AVAILABLE
 NOTES: NEW WINDOW UNIT IN CMU CONSTRUCTION.
- F** BATHROOM WINDOW
 MATERIAL: WOOD CLAD W/ LOW E INSULATED GLAZING UNITS
 DETAIL REF:
 NOTES: OPERABLE W/ INSECT SCREENS, TILT AND TURN OPTION IF AVAILABLE
 NOTES: NEW WINDOW UNIT IN CMU CONSTRUCTION.
- I** BATHROOM SKYLIGHT
 SKYLIGHT (VCE) – CURB MOUNT
 MATERIAL: ALUMINUM TOP HUNG CURB MOUNT SKYLIGHT
 W/ INSULATED LOW E GLASS
 DETAIL REF:
 NOTES:
- J**



- BATH SHOWER GLASS
 MATERIAL: 3/8" ACID ETCHED GLASS, POLISHED EDGES, BEVELED
 DETAIL REF:
 NOTES: SILICONED TO PONYH WALL AND STOP IN CEILING
- BATH SHOWER GLASS
 MATERIAL: 3/8" ACID ETCHED GLASS, POLISHED EDGES, BEVELED
 DETAIL REF:
 NOTES: SILICONED TO PONYH WALL AND STOP IN CEILING
- WEST BATH MIRROR
 INTERIOR ELEVATIONS
 MATERIAL: 3/8" MIRROR, SANDED EDGES
 DETAIL REF:
 NOTES: NO BEVEL, SANDED EDGES

GENERAL NOTES:

1. WINDOWS, DOORS, FRAMES, STILES, RAILS, SASHES, ETC. ARE SHOWN INDICATIVELY ONLY. DO NOT SCALE FROM DRAWING. ALL DIMENSIONS ARE INDICATED ON THESE ELEVATIONS. WORK TO ANNOTATED DIMENSIONS ONLY.
2. MANUFACTURER TO REVIEW SECTION SIZES AND GLASS THICKNESS INDICATED WITH REGARD TO WIND CAPACITY, ALONG WITH FRAME AND SASH STIFFNESS, PARTICULARLY AT OPENING ELEMENTS.
3. DIMENSIONS INDICATED IN DRAWINGS ARE ROUGH OPENINGS UNLESS NOTED OTHERWISE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS IN THE FIELD AND ORDER/INSTALL PROPER UNIT SIZES.
4. FABRICATE ALL GLAZING WITHOUT MANUFACTURER'S IDENTIFICATION, ETCHINGS, AND ETCHED SAFETY LABELING.
5. DOOR HARDWARE: BALDWIN 5166 ESTATE LEVER; OIL-RUBBED BRONZE (102) FINISH OR SCHLAGE LATITUDE FLAT BLACK
6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ASSOCIATED 'ARCHITECTURAL' AND 'STRUCTURAL' DRAWINGS.
7. CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES WHICH HE MAY FIND ON THIS DRAWING AND/OR ASSOCIATED DOCUMENTS PRIOR TO COMMENCEMENT OF MANUFACTURER
8. OVERALL DOOR AND WINDOW DIMENSIONS INDICATED ARE EXTERIOR FINISHED OPENING DIMENSIONS AS MEASURED FROM THE FACE OF FINISH MATERIAL. CONTRACTOR TO CHECK ALL SUCH OPENING DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF MANUFACTURER, AND ALLOW FOR SUITABLE TOLERANCES.
9. ALL MATERIALS TO BE USED STRICTLY IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.
10. ALL WINDOWS TO OPEN INWARD UNLESS INDICATED OTHERWISE ON THIS SCHEDULE
11. ALL WINDOW AND DOOR SECTIONS TO BE THERMALLY BROKEN.
12. MANUFACTURER TO INSTALL HEAVY STAYS, HANDLES, LOCKS, AND ANY OTHER APPROVED STANDARD HARDWARE AND DOOR HARDWARE TO ALL UNITS.
13. ALL OPERABLE WINDOWS, TRANSOMS, AND SLIDING DOORS, SHALL HAVE INSECT SCREENS, CONTRACTOR SHALL INSTALL SCREENS PROVIDED BY MANUFACTURER.
14. MANUFACTURER TO PREPARE SHOP DRAWINGS FOR ALL TYPES OF DOORS AND WINDOWS FOR ARCHITECTS APPROVAL PRIOR TO COMMENCEMENT OF MANUFACTURE.
15. ALL ALUMINUM DOORS AND WINDOWS TO BE DARK ANODIZED FINISH. PER MANUFACTURER UNLESS OTHERWISE NOTED.
16. ALL CUSTOM DOORS TO BE WEATHER TIGHT
17. WINDOW AND DOOR CAULKING: EXTERIOR WINDOW AND DOOR SEALANT TO MATCH SCORIA WALL TEXTURE AND COLOR. SANDED GROUT CAULK TO BE REVIEWED AND APPROVED WITH ARCHITECT PRIOR TO INSTALLATION.
18. FOR WOOD DOORS AND WINDOWS COMPLY WITH AWI'S "ARCHITECTURAL WOODWORK QUALITY STANDARDS ILLUSTRATED"; LATEST EDITION PREMIUM GRADE

GLASS NOTES AND SPECIFICATIONS:

1. VERIFY ALL DIMENSIONS IN FIELD – DIMENSIONS INDICATED ARE FOR REFERENCE ONLY

- NOMINAL OPENINGS.
2. ALL GLASS SHALL BE HERMETICALLY SEALED DOUBLE GLAZED UNITS TO EXTERIOR WINDOWS, SKYLIGHTS, AND DOORS WITH GLAZING UNITS SHALL CONSIST OF THE FOLLOWING PROPERTIES PER 2018 IRC ZONE 3 TABLE 1102.1.2 (R402.1.1). HERS RATING CERTIFICATION DATA TO OVERRIDE ANY GENERAL NOTES REGARDING GLAZING VALUES:
 - U-VALUE .32 MAX
 - SKYLIGHT U-VALUE .55 MAX
 - SOLAR HEAT GAIN COEFFICIENT .25 MAX
 3. MANUFACTURER TO PROVIDE TEMPERED GLAZING AS REQUIRED BY LOCAL AND STATE CODE.
 4. PROVIDE OBSCURED GLASS AS NOTED.
 5. ALL INTERIOR GLASS TO BE FRAMELESS SINGLE GLAZING
 6. ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS.
 7. INSULATED GLASS TRIM TO BE BLACK, BLACK SILICONE.
 8. OBSCURED GLASS SHOWN TONED FOR CLARITY
 9. ALL WINDOWS TO HAVE VISIBLE LIGHT TRANSMITTANCE OF MIN 60%
 10. EXIT WINDOWS FOR BEDROOMS MUST PROVIDE A MINIMUM OF 5.7 SQ. FT.

- GL-1** 1" INSULATED GLAZING UNIT
- GL-2** 1" INSULATED GLAZING UNIT W/ TEMPERED PANES
- GL-3** 1" ACID ETCHED INSULATED GLAZING UNIT W/ TEMPERED PANES
- GL-4** 1/2" ACID ETCHED FRAMELESS GLASS, TEMPERED
- GL-5** 1/4" MIRROR

Consultants:
 Schneider Structural Engineers Structural
 435 E. 9th Street
 Tucson, AZ 85705
 520-429-7080



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Project Name:
Baylor Residence

492 S Convent Ave, Tucson, AZ 85701

Date: JANUARY 07 2022

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Drawn By: DUST

Scale: 1/4"=1'

Drawing Title:
DOOR AND WINDOW SCHEDULE

Sheet No.:
A6.00

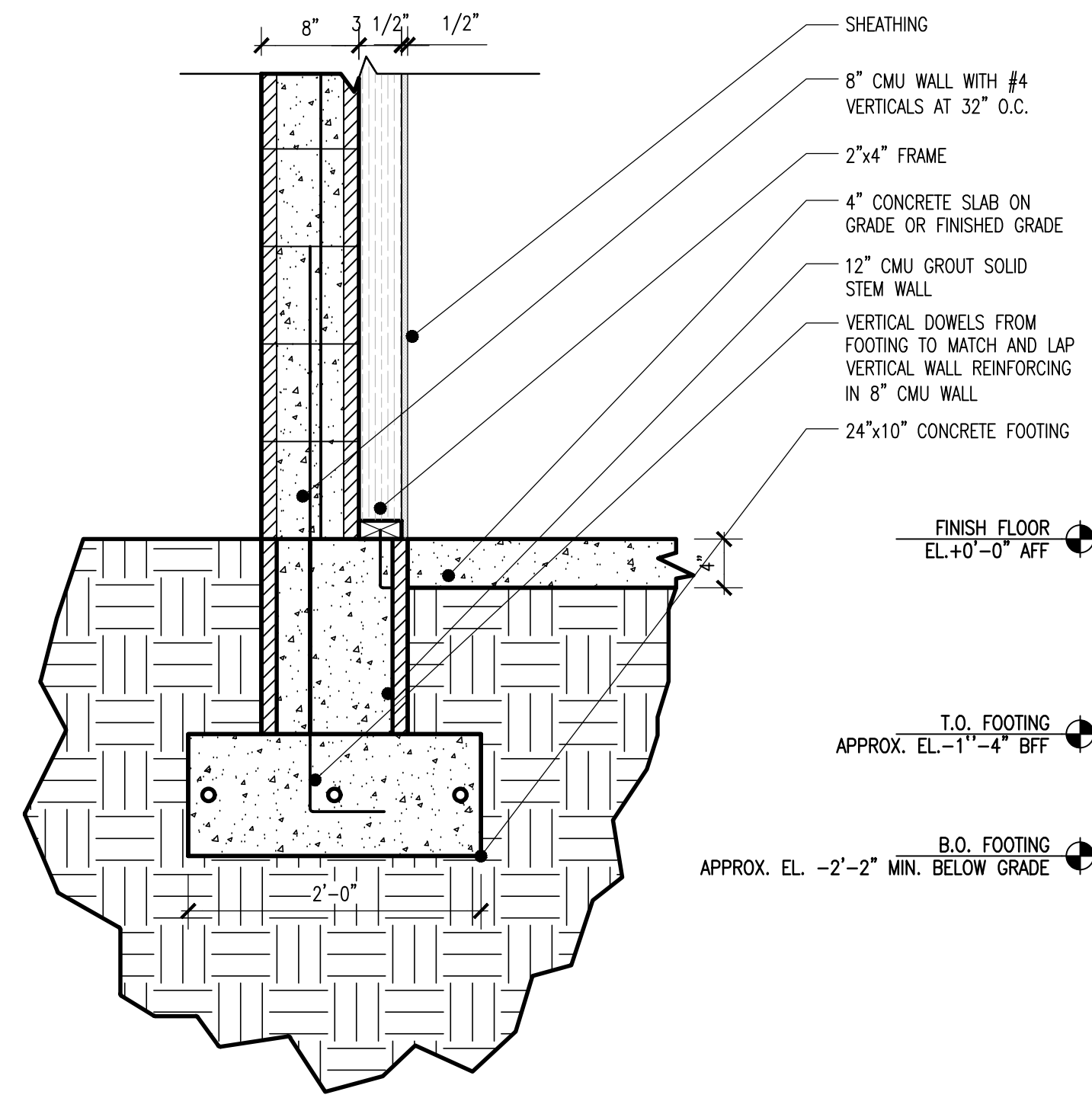
Structural Notes

- ALL WORK SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION - RESOLVE ANY DISCREPANCY WITH ARCHITECT. DO NOT SCALE DRAWINGS.
- FOR CLARITY, ALL ROOF, FLOOR, AND WALL OPENINGS MAY NOT BE SHOWN ON STRUCTURAL DRAWINGS. FOR EXACT SIZE, NUMBER, AND LOCATION OF OPENINGS, SEE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. FOR FRAMING AT OPENINGS, SEE TYPICAL STRUCTURAL DETAILS. VERIFY ALL SIZES, WEIGHTS, AND LOCATIONS OF MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTS, WITH MECHANICAL AND ELECTRICAL ENGINEERS THROUGH THE ARCHITECT.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, BRACING, SHORING, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SCAFFOLDING, BRACING, AND SHORING. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS THE STRUCTURAL ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION. NOR WILL THE STRUCTURAL ENGINEER BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO.
- THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
- ALL SLABS AND FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED NATIVE SOIL. ALL SOIL BELOW FOOTINGS AND SLABS SHALL BE COMPACTED TO 95% MINIMUM IN ACCORDANCE TO ASTM D698. DESIGN SOIL BEARING PRESSURE = 1500 PSF. THE STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. FOOTING DESIGN IS BASED UPON MINIMUM INTERNATIONAL BUILDING CODE SOIL BEARING VALUES AS REQUIRED BY THE BUILDING CODE DEPARTMENT IN THE ABSENCE OF A SOIL REPORT. IT SHALL BE THE OWNER'S RESPONSIBILITY TO VERIFY THE SOIL BEARING PRESSURE AND TO DETERMINE WHETHER UNSUITABLE SOIL CONDITIONS (I.E. EXPANSIVE OR COLLAPSIBLE SOILS, LOOSE FILLS, ETC.) EXIST.
- LAP SPLICES FOR REINFORCING IN CONCRETE SHALL BE 30 BAR DIAMETERS MINIMUM.
- LAP SPLICES FOR REINFORCING IN CMU SHALL BE 48 BAR DIAMETERS FOR GRADE 60 REINFORCING U.N.O.
- PROVIDE BENT CORNER BARS TO MATCH AND LAP HORIZONTAL REINFORCING AT CORNERS AND INTERSECTIONS IN CONCRETE FOOTINGS AND WALLS AND MASONRY WALL BOND BEAMS.
- CMU WALLS SHALL BE REINFORCED WITH #4 VERTICAL REINFORCING AT 32" O.C. MAXIMUM, AND AT ALL CORNERS, INTERSECTIONS, WALL ENDS, BEAM BEARINGS, JAMBS, AND EACH SIDE OF CONTROL JOINTS. PROVIDE #9 GAGE WIRE HORIZONTAL JOINT REINFORCING AT 16" O.C.
- ALL NAIL SPACING NOT NOTED SHALL BE ACCORDING TO TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE. SIZE AND NUMBER OF NAILS IN JOIST HANGERS AND MISCELLANEOUS FRAMING ANCHORS SHALL BE ACCORDING TO THE MANUFACTURER'S LATEST CATALOG.
- DESIGN LOADS:
ROOF LIVE LOAD = 20 PSF (REDUCIBLE)
ROOF DEAD LOAD = 15 PSF
ROOF UPLIFT WIND LOAD = 5 PSF (NET)

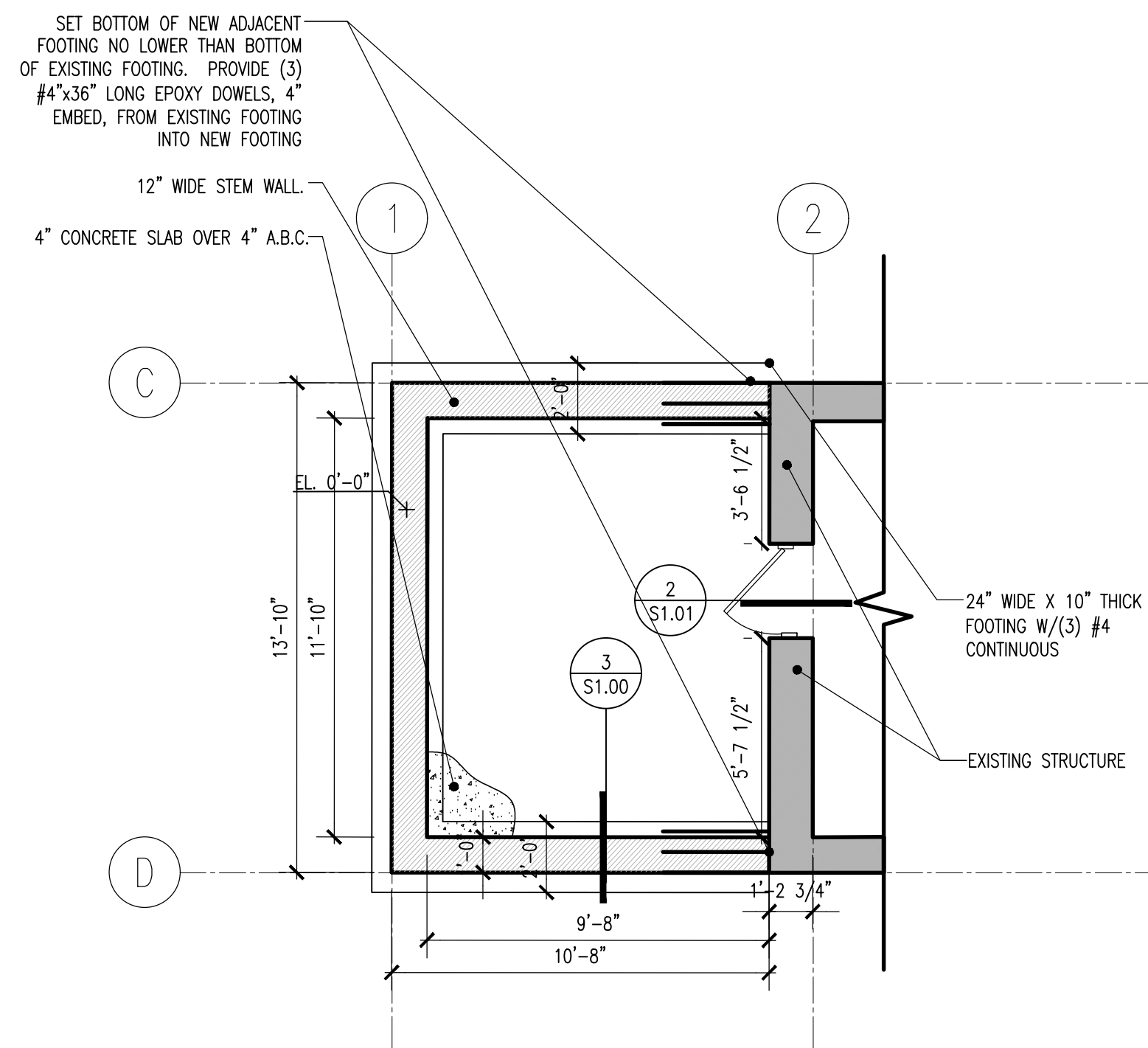
SUPERIMPOSED DEAD LOADS DO NOT INCLUDE THE SELF-WEIGHT OF SUPPORTING FRAMING TO BE DESIGNED BY OTHERS.

WIND: BASIC WIND SPEED = 105 MPH, EXPOSURE "C", I = 1.00
SEISMIC: DESIGN CATEGORY B
- MATERIALS OF CONSTRUCTION:
CONCRETE - ASTM C94, F_c = 3000 PSI AT 28 DAYS
REINFORCING - ASTM A615 GRADE 60
CMU - ASTM C90 WITH A NET COMPRESSIVE STRENGTH OF 2000 PSI. F_m = 2000 PSI
GROUT - ASTM C476, 2000 PSI AT 28 DAYS
MORTAR - ASTM C270, TYPE S, PORTLAND CEMENT, 2000 PSI AT 28 DAYS
ANCHOR BOLTS - ASTM A36 OR ASTM A307, GRADE A
FRAMING LUMBER - WMPA OR WCLB STAMPED, 19% MAXIMUM MOISTURE CONTENT, DOUGLAR-FIR LARCH OF THE FOLLOWING GRADES:
TYPICAL U.N.O. - #2
6X POSTS AND BEAMS - #1
2X4 STUDS - STUD GRADE

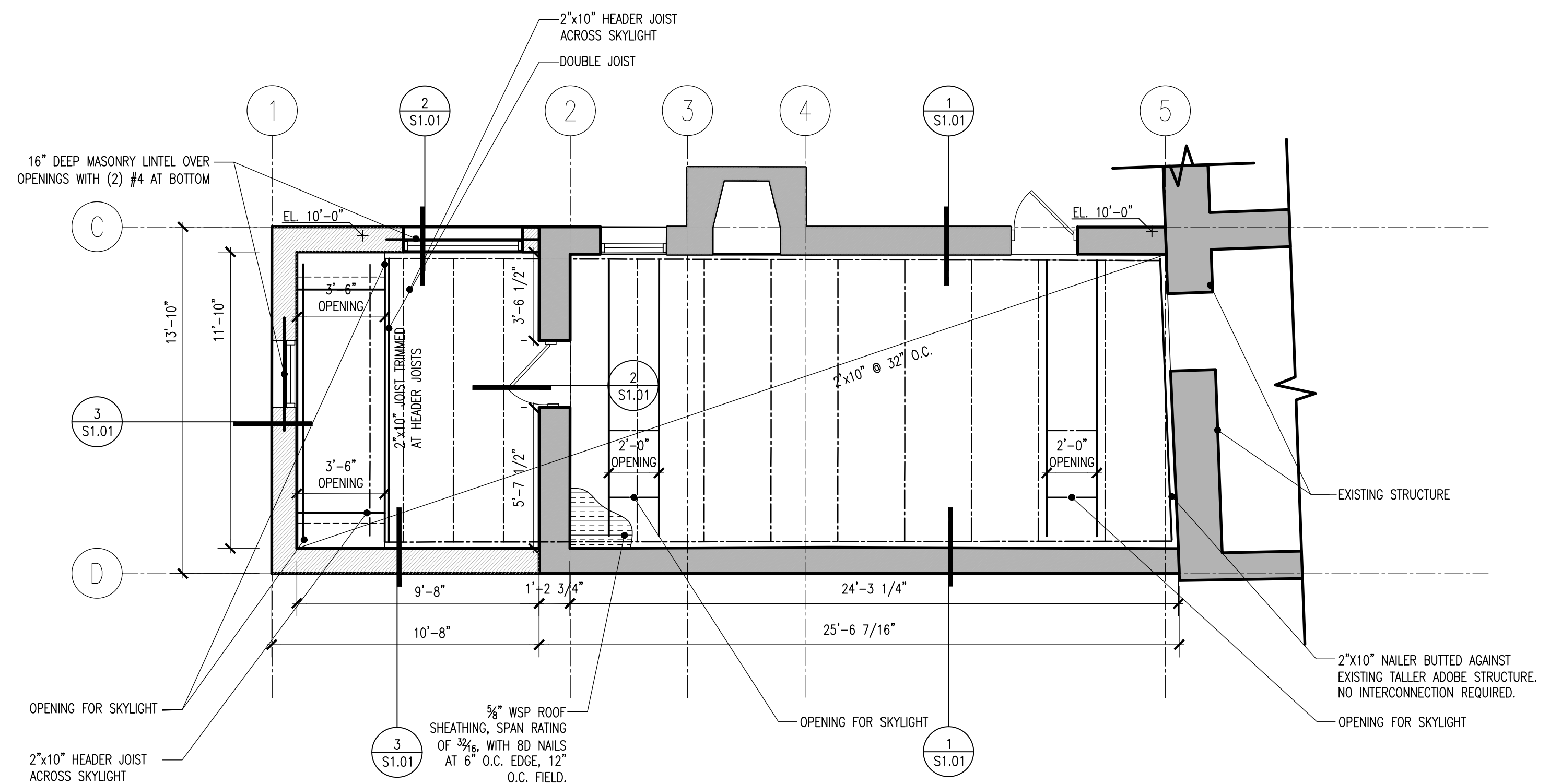
PLYWOOD - APA STAMPED WITH AN EXTERIOR OR EXPOSURE 1 DURABILITY CLASSIFICATION NAILED WITH COMMON NAILS
APA RATED SHEATHING (I.E. WAFFERBOARD AND ORIENTED STRAND BOARD) CONFORMING TO NER-108 AND WITH THE EQUIVALENT EXPOSURE DURABILITY CLASSIFICATION. THICKNESS AND SPAN INDEX RATIO MAY BE SUBSTITUTED FOR PLYWOOD IF APPROVED IN WRITING BY THE ARCHITECT.
LAY-UP PLYWOOD WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS. BLOCK ALL UNSUPPORTED EDGES AT WALLS.
- USE THICKNESS SPAN INDEX EDGE NAILING INTERMEDIATE NAILING
ROOF 5/8" 32/16 8d AT 6" O.C. 8d AT 12" O.C.
- SPECIAL INSPECTIONS. THIS IS A MINOR STRUCTURE. NO SPECIAL INSPECTIONS REQUIRED.



3. STEM WALL DETAIL
SCALE 1"=1'



2. FOUNDATION PLAN AT BATH ONLY
SCALE 1/4"=1'



1. NEW FRAMING PLAN
SCALE 1/4"=1'

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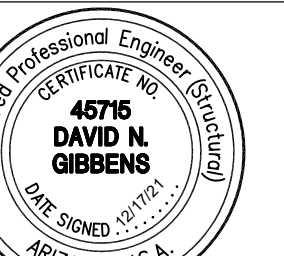
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Revision: _____ Date: _____

Keynotes:

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David N. Gibbens
This Electronic Signature
Has Been Authenticated By Me

THIS DRAWING HAS BEEN PREPARED BY OTHERS AND REVIEWED FOR COMPLIANCE WITH THE STRUCTURAL CALCULATIONS PREPARED BY SCHNEIDER STRUCTURAL ENGINEERS, INC.

Project Name:
Baylor Residence

482 S Convent Ave, Tucson, AZ 85701

Date: NOVEMBER 30 2021

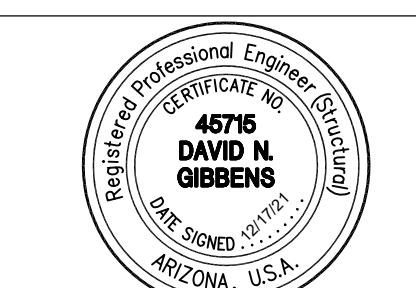
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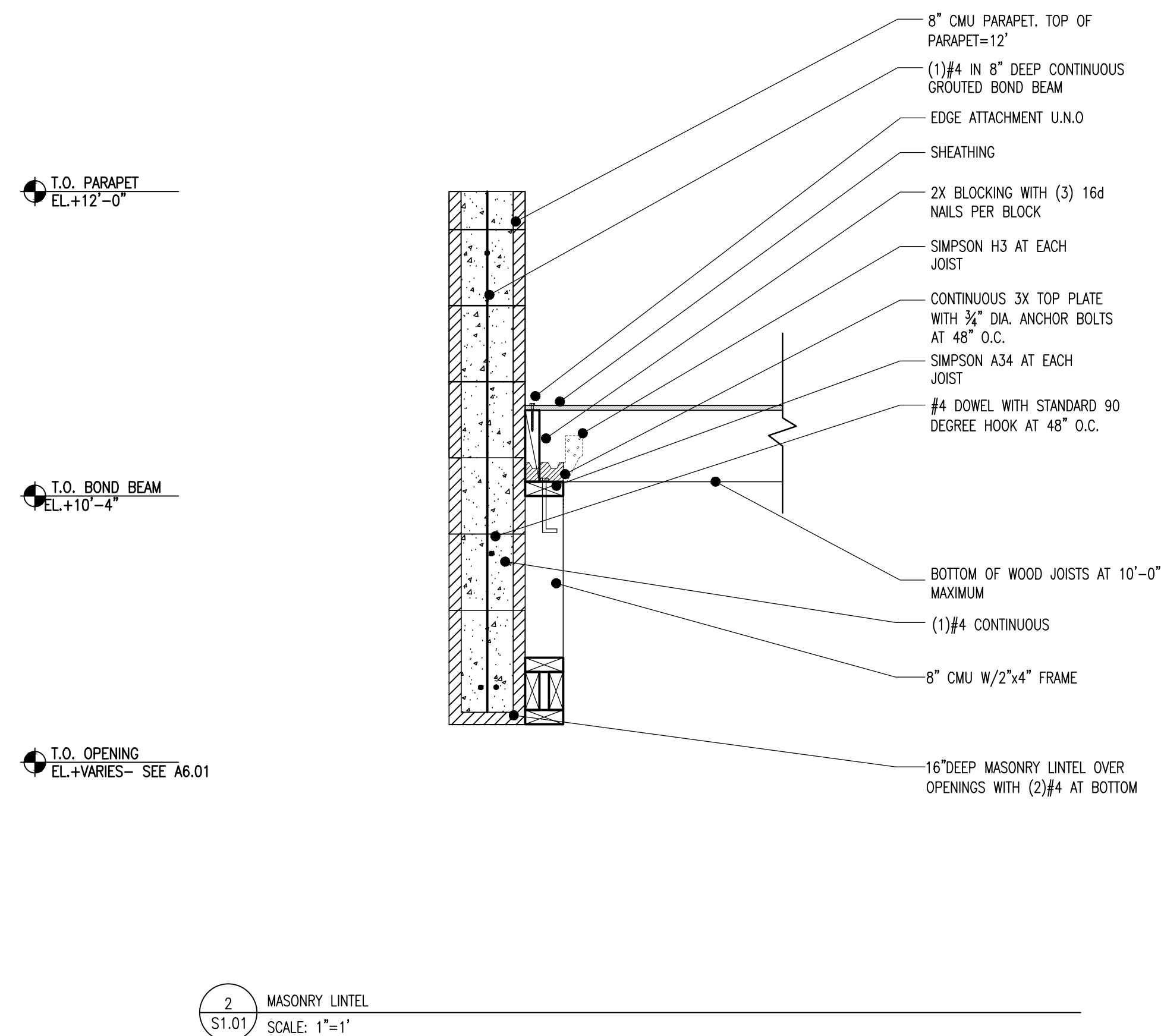
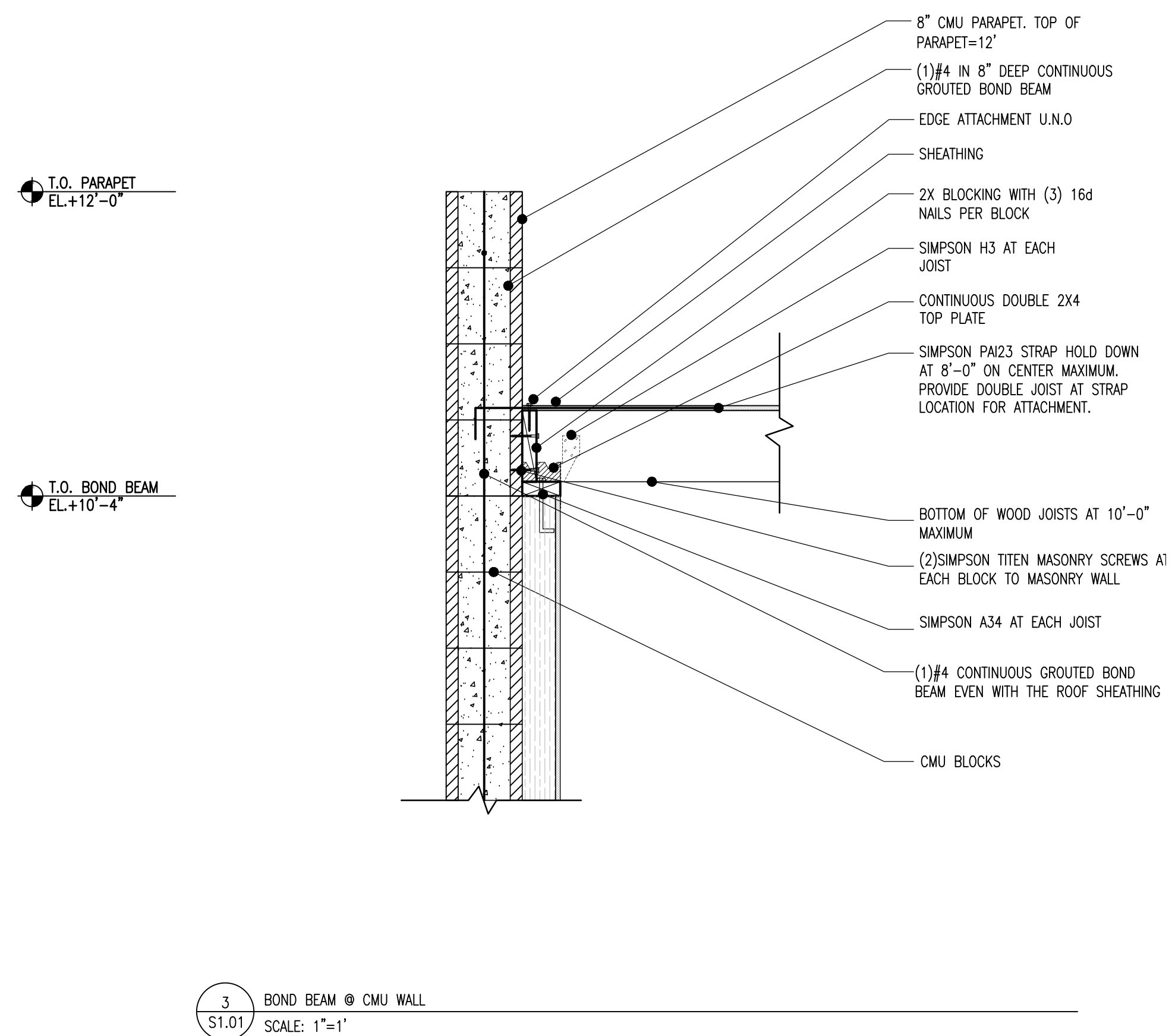
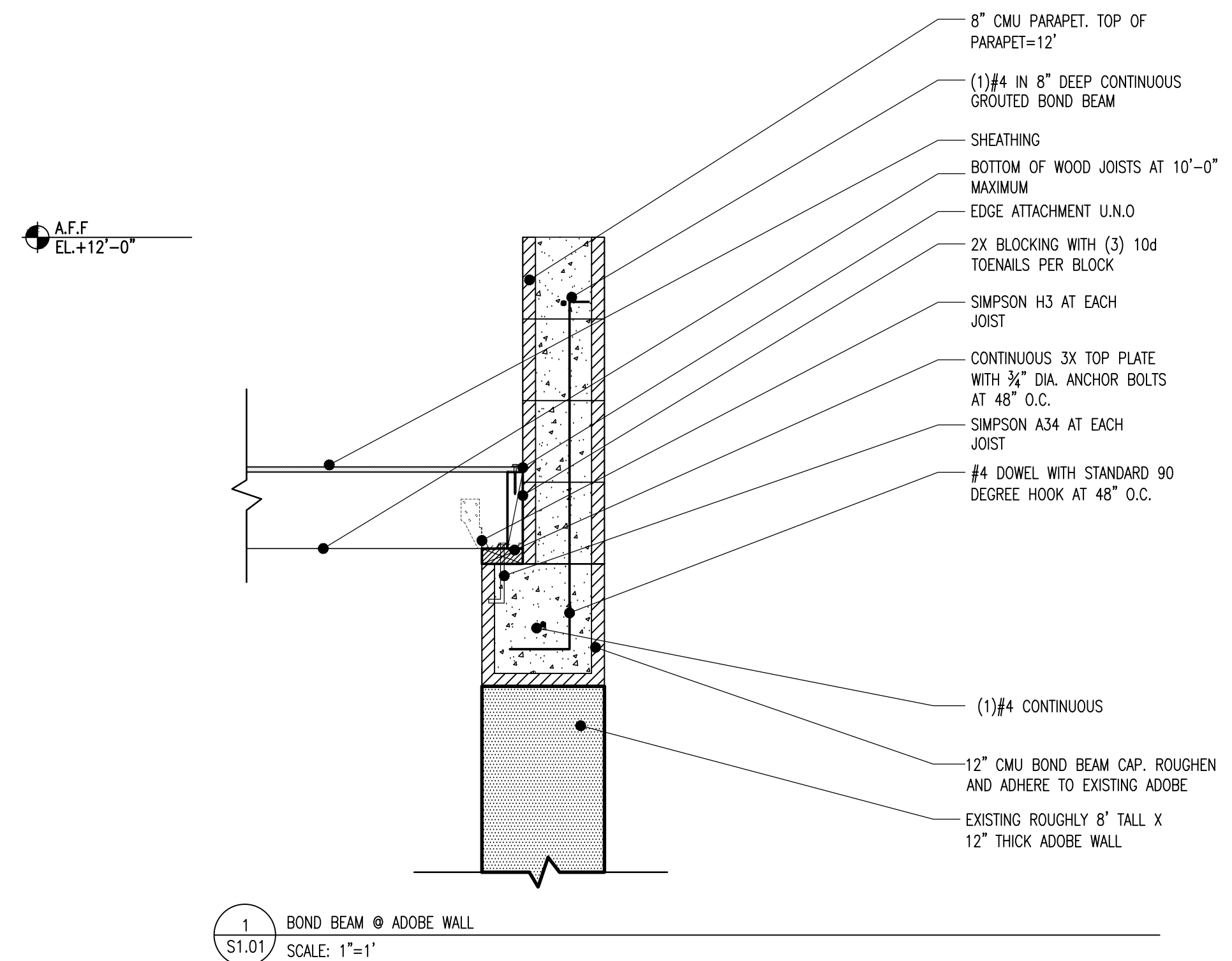
Scale: 1/4"=1'

Drawing Title:
FRAMING & FOUNDATION PLAN/DETAIL

Sheet No.:
S1.00



David N. Gibbens
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 This Document Is: 2021
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Electrical Notes

- ALL WORK SHALL COMPLY AND SHALL BE PERFORMED WITH THE CURRENT N.E.C., 2018 I.R.C. AND ALL APPLICABLE LOCAL CODES AND ORDINANCES
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR, ETC. NECESSARY FOR A COMPLETE AND OPERABLE ELECTRICAL SYSTEM WHETHER OR NOT ALL ITEMS ARE SPECIFICALLY NOTED IN THESE DRAWINGS.
- ALL WORK SHALL BE INSTALLED USING THE LATEST AND BEST INDUSTRY STANDARDS.
- IT IS THE ELECTRICAL CONTRACTORS' RESPONSIBILITY TO REVIEW THE DRAWINGS, PANEL SCHEDULES & LOAD CALCULATIONS AND COORDINATE THE INSTALLATION OF ALL ELECTRICAL WORK WITH THE GENERAL CONTRACTOR AND ALL OTHER TRADES. ANY OMISSIONS OR DISCREPANCIES IN THE DRAWINGS OR EXISTING CONDITIONS AT THE SITE OR SERVICE SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO SUBMISSION OF BID OR COMMENCEMENT OF WORK.
- ALL WIRING SHALL BE RUN CONCEALED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- 120 VOLT, SINGLE PHASE 15 AMP AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN BATHROOMS, AND WITHIN 4" OF SINKS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTION.
- EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH ANY LOCAL OUTDOOR LIGHTING REQUIREMENTS.
- OPENINGS IN WALLS, CEILINGS, AND FLOORS FOR ELECTRICAL BOXES, LINES, ETC., SHALL BE CALKED OR OTHERWISE SEALED AGAINST AIR, WATER, AND/OR INSECT INFILTRATION. VERIFY MATERIALS AND METHODS WITH ARCHITECT PRIOR TO SEALING. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ELECTRICAL OUTLET COVER PLATE GASKETS AT ALL EXTERIOR WALLS AND AS REQUIRED.
- HEIGHTS INDICATED ON ELECTRICAL DRAWINGS INDICATE HEIGHTS ABOVE ADJACENT FINISH FLOOR ELEVATION.
- ALL LIGHT CONTROLS SHALL BE PLACED NO HIGHER THAN 48" O.C. ABOVE THE FLOOR
- ALL THERMOSTATS SHALL BE PLACED NO HIGHER THAN 54", O.C., ABOVE THE FLOOR.
- THE EXCEPTIONS TO THESE PROVISIONS ARE AS FOLLOWS:
 - ELECTRICAL RECEPTACLES SERVING A DEDICATED USE
 - APPLIANCE MOUNTED CONTROLS OR SWITCHES
 - SINGLE OUTLET WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - THE OUTLET IS ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE AND
 - AT LEAST ON RECEPTACLE IS PROVIDED FOR THAT LENGTH OF COUNTERTOP
 - ALL OTHER RECEPTACLES PROVIDED FOR THAT LENGTH OF COUNTERTOP SET NO HIGHER THAN 48"
 - FLOOR ELECTRICAL RECEPTACLES
 - PLUMBING FIXTURE CONTROLS
 - HVAC DIFFUSERS
 - CEILING MOUNTED CONTROLS
- MATERIALS AND EQUIPMENT SHALL BE INDEPENDENT LABORATORY LISTED (SUCH AS U.L.) AND THE INSTALLATION SHALL COMPLY WITH THE LISTING INSTRUCTIONS.
- COMPLY WITH ELECTRICAL, TELEPHONE AND CABLE TELEVISION UTILITY COMPANY'S SERVICE REQUIREMENTS.
- VERIFY EXACT LOCATIONS OF RADIANT HEATING AND PLUMBING EQUIPMENT, THERMOSTATS, CONTROLS, ETC. PRIOR TO ROUGH-IN AND COMPLY AS REQUIRED TO ACHIEVE A FULLY FUNCTIONAL AND AESTHETICALLY PLEASING INSTALLATION. VERIFY EQUIPMENT RATINGS (VOLTAGE, AMPERES, WATTAGE, MAXIMUM OVERCURRENT DEVICE SIZE, ETC.) AND COORDINATE FUSE OR CIRCUIT BREAKER SIZES, WIRE SIZES, ETC. AS REQUIRED FOR A FULLY FUNCTIONAL INSTALLATION.
- COORDINATE WITH RADIANT HEAT, PLUMBING AND SPECIAL SYSTEMS CONTRACTORS TO PROVIDE ALL ELECTRICAL AND CONTROL CONNECTIONS FOR A FULLY FUNCTIONAL INSTALLATION.
- ALL WIRING SHALL BE COPPER UNLESS NOTED OTHERWISE.
- ELECTRICAL PANELS SHALL BE SQUARE "D" HOMELINE OR EQUAL GE, SIEMENS OR CUTLER HAMMER, CIRCUIT BREAKERS SHALL BE FULL SIZE (1" HIGH POLES), WHEN SHORT CIRCUIT RATINGS IN EXCESS OF 10,000A SYMMETRICAL ARE INDICATED UL LISTED SERIES TESTED EQUIPMENT MAY BE UTILIZED TO MEET THE REQUIRED SHORT CIRCUIT DUTY.
- DISCONNECTS AND SWITCHES FOR MOTORS SHALL BE HORSEPOWER RATED, MOTORS SHALL BE PROTECTED BY PROPERLY SIZED FUSETRONS OR OTHER APPROVED MOTOR OVERLOAD PROTECTOR.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) RECEPTACLES AT LOCATIONS WHERE INDICATED, DO NOT USE FEED THROUGH TYPE GFCI DEVICES EXCEPT WHERE INDICATED.
- WALL BOX DIMMERS SHALL BE LUTRON, LEVITON OR APPROVED EQUAL WITH WATTAGE RATING AT LEAST 125% OF CONNECTED LIGHTING LOAD. WHEN 3-WAY DIMMERS ARE INDICATED USE DIMMERS CAPABLE OF DIMMING LIGHTS FROM EITHER DIMMER LOCATION. WHEN LOW VOLTAGE LIGHTING FIXTURES ARE CONTROLLED BY DIMMER USE DIMMER DESIGNED FOR USE WITH LOW VOLTAGE TRANSFORMERS.
- LIGHTING FIXTURES SHALL BE AS SELECTED BY ARCHITECT AND OWNER, COMPLETE WITH LAMPS, GLASSWARE, ETC. FOR A COMPLETE AND FINISHED INSTALLATION.
 - CEILING FIXTURES SHALL BE COMPATIBLE WITH THE CEILING CONSTRUCTION.
 - RECESSED FIXTURES SHALL BE LISTED FOR DIRECT CONTACT WITH CEILING INSULATION.
 - IN CLOSETS, FIXTURES SHALL BE RECESSED TYPE WITH FLAT LENS.
 - WHEN MOUNTED OVER BATHTUBS OR IN SHOWERS FIXTURES SHALL BE LISTED FOR WET LOCATIONS.
- ELECTRICAL CONTRACTOR TO REVIEW ELECTRICAL FIXTURE LAYOUT WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN HOUSE SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS PER 2018 IRC E3902.12.
- SMOKE DETECTORS SHALL BE 120VAC TYPE WITH INTEGRAL BATTERY BACK-UP AND ALARM SIGNAL. SMOKE DETECTORS SHALL BE INTERCONNECTED SO ALL UNITS SOUND ALARM WHEN ANY DETECTOR IS IN ALARM.
- PROVIDE COMPLETE PRE-WIRE OF TELEPHONE, CABLE TV, SOUND, INTERCOM, ETC. AS REQUIRED TO ALL HABITABLE ROOMS. COORDINATE EXACT REQUIREMENTS AND OUTLET LOCATIONS WITH ARCHITECT.

LIGHTING LEGEND	
SYMBOL	DESCRIPTION
○	RECESSED (4")
○ EX	EXTERIOR RECESSED (4")
—	UNDERCABINET LIGHT

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
⊕	DUPLEX RECEPTACLE
⊕	QUADRUPLEX RECEPTACLE
⊕ GFCI	GROUND FAULT CIRCUIT INTERRUPTER
⊕ WP	WEATHER PROOF RECEPTACLE
⊕ SW	SWITCHED RECEPTACLE
⊕ SW	1/2 SWITCHED RECEPTACLE
⊙	FLOOR RECEPTACLE
⊙	220V RECEPTACLE
⊕	SWITCH
⊕	3 WAY DIMMER SWITCH
⊕	DIMMER SWITCH
⊕	EXHAUST FAN
⊕	SMOKE & CARBON MONOXIDE DETECTOR
⊕	JUNCTION BOX
▽	DATA
⊕	FUSED DISCONNECT
□	DISCONNECT

NOTE: UNLESS OTHERWISE INDICATED, MOUNT CENTER OF

- RECEPTACLES: +8" HORIZONTAL, TYP.
- SWITCHES: +42" AND STARTING 8" FROM EDGE OF WALL/OPENING, TYP.
- RECEPTACLES @ BATHROOM COUNTERS: GANG WITH SWITCHES +42"
- THERMOSTATS: +45"

LOAD CALCULATION PANEL "A"			
EXISTING LOAD		NEW LOAD	
GENERAL LOAD = 1,605 SQ FT x 3	4,815 WATTS	GENERAL LOAD = 1168 SQ FT x 3	3,504 WATTS
2-SMALL APPLIANCE CIRCUITS	3,000	2 SMALL APPLIANCE CIRCUITS	3,000
LAUNDRY	1,500	LAUNDRY	1,500
BATHROOM CIRCUIT	1,500	BATHROOM CIRCUIT	1,500
TOTAL	10,815	TOTAL	9,504
1ST 10K AT 100%	10,000	1ST 10K AT 100%	9,504
REMAINDER AT 40%	326		
AC LOAD AT 100%	9,500	AC LOAD AT 100%	9,500
TOTAL LOAD	19,826/ 240V=83 AMPS	TOTAL LOAD	19,004/ 240V=79.18 AMPS< 100A PANEL OK

PANEL "A" SCHEDULE						
EXISTING 100 AMP W/ METER SERVICE						
#	C	DESCRIPTION		#	C	DESCRIPTION
1	20	NEW FRIDE	2P 50	9A	20	EXISTING ENTRY LIGHTS
2	20	EXISTING AC	2P 50	9B	20	NEW KITCHEN LIGHTS
3	20	EXISTING AC	1P 20	9C	20	NEW PATIO LIGHT
4A	20	NEW KITCHEN (COUNTER)	1P 20	-	-	-
4B	20	NEW KITCHEN (WINEFRIDGE)	1P 20	-	-	-
5A	20	WASHER / DRYER	1P 20	-	-	-
6	20	NEW DISHWASHER DISPOSAL	1P 20	-	-	-
7	20	MAIN HOUSE	2P 100	-	-	-
8	20	MAIN HOUSE	2P 100	-	-	-
9	20	LIGHTING	1P 20	-	-	-
10	20	FRONT ROOM RECEPTS	1P 20	-	-	-
11	30	DINING ROOM RECEPTS	1P 20	-	-	-
12	20	NEW RANGE HOOD	1P 100	-	-	-

LOAD CALCULATION PANEL "B"			
EXISTING LOAD		NEW LOAD	
GENERAL LOAD = 768X3	2,304 WATTS	GENERAL LOAD = 915 x 3	2,745 WATTS
2-SMALL APPLIANCE KIT	3,000	BATHROOM CIRCUIT	1,500
TOTAL	5,304	TOTAL NEW LOAD	4245/240< 17.68 AMPS 100 AMP PANEL OK
TOTAL LOAD	5,304/ 240=22.1 AMPS		

PANEL "B" SCHEDULE			
EXISTING 100 AMP W/ METER SERVICE			
#	C	DESCRIPTION	
1	20	NEW CASEMENT LIGHTS	2P 100
2	20	NEW CLOSET LIGHTS	2P 100
3	20	NEW BEDROOM LIGHTS	2P 100
4	20	NEW BATHROOM LIGHTS	2P 100
5	20	NEW PATIO LIGHT	-
6	20	NOT USED	-
7	20	MAIN	2P 100
8	20	MAIN	2P 100
9	20	LIGHTING	-
10	20	BATH GFCI	-
11	20	STUDY RECEPTS	-
12	30	BEDROOM RECEPTS	-
13	20	NOT USED	-
14	20	NOT USED	-

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Keynotes:

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REGISTERED ARCHITECT
CERTIFICATE NO.
46229
CADE HAYES
Professional
ARCHITECT
ARIZONA U.S.A.

ISSUED FOR PERMIT

Project Name:
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492 S Convent Ave, Tucson, AZ 85701

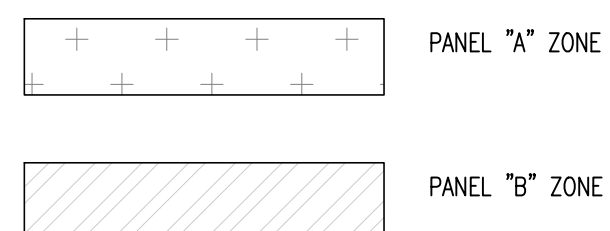
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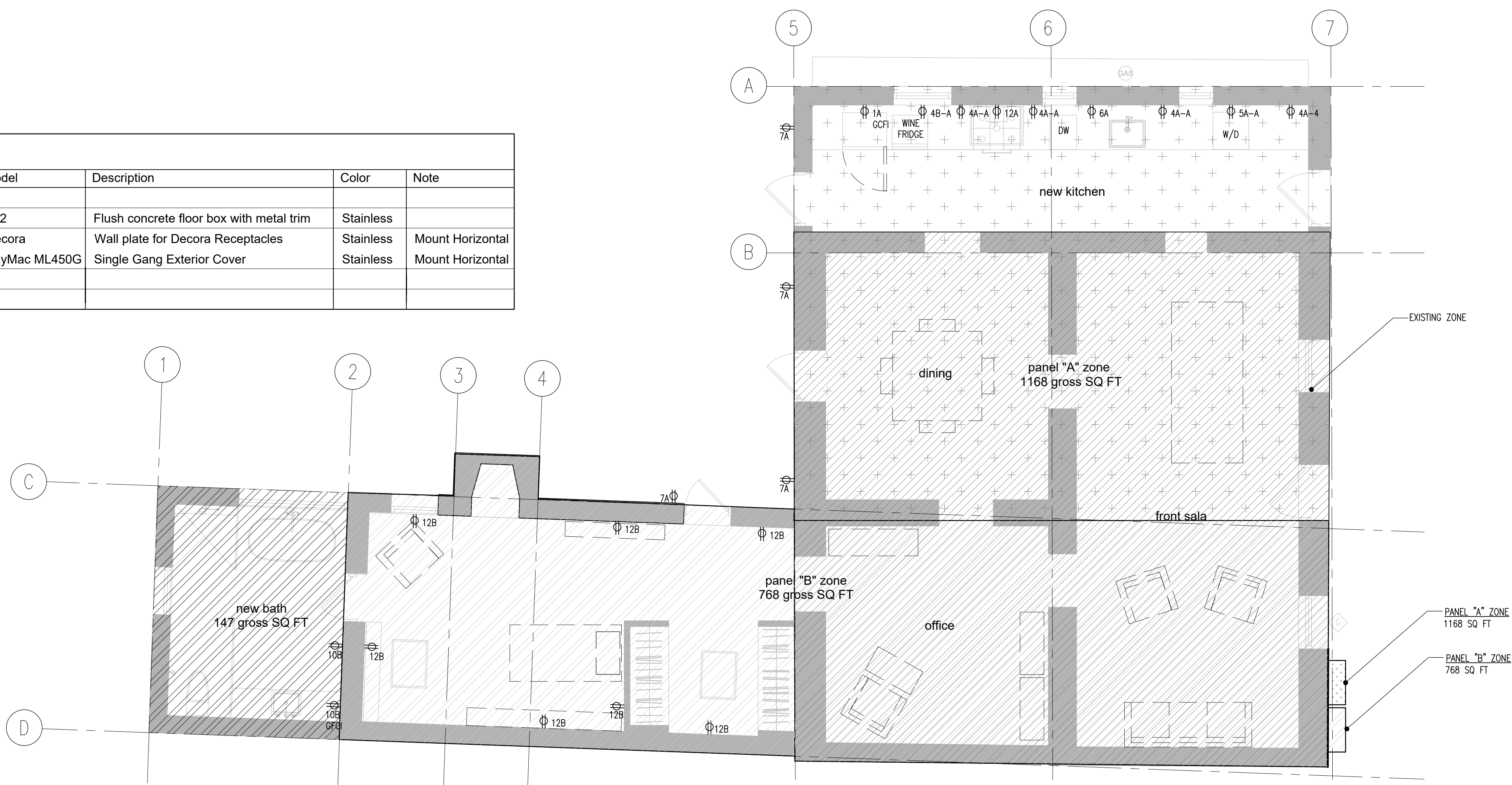
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ELECTRICAL NOTES

Sheet No.:
E1.00

ELECTRICAL TRIM SCHEDULE						
Comments	Count	Manufacturer	Model	Description	Color	Note
Floor Receptacle	11	Wiremold	862	Flush concrete floor box with metal trim	Stainless	
Wall/Cabinet Recept.	8	Leviton	Decora	Wall plate for Decora Receptacles	Stainless	Mount Horizontal
Exterior Receptacle	3	Hubbell	TayMac ML450G	Single Gang Exterior Cover	Stainless	Mount Horizontal

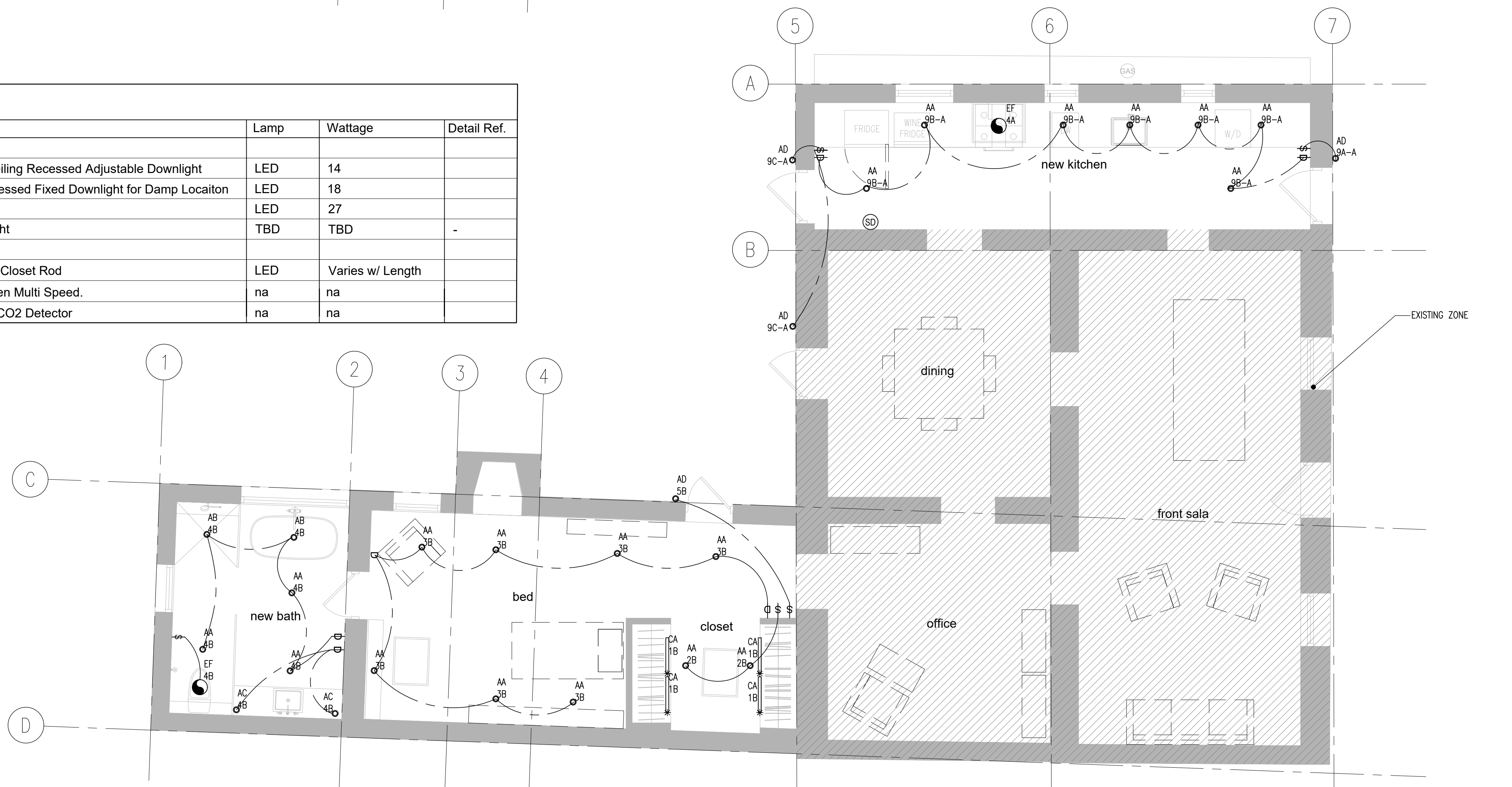
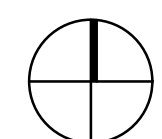


1. power plan



LIGHTING FIXTURE SCHEDULE								
Comments	Tag	Count	Manufacturer	Model	Description	Lamp	Wattage	Detail Ref.
Architectural	AA	21	NORA	NIO-4RTL	Trimless Recessed Adjustable Downlight	LED	14	
Architectural	AB	2	EST	DL2	Ceiling Recessed Fixed Downlight for Damp Location	LED	18	
Architectural	AC	2	Sonneman	2541	Vanity light	LED	27	
Architectural	AD	4	TBD	TBD	Outdoor Light	TBD	TBD	-
Casework	CA	4	io lighting	1.5	Wardrobe - Closet Rod	LED	Varies w/ Length	
	EF	2	Panasonic	FV-0511VKS2	WhisperGreen Multi Speed.	na	na	
	SD	1	Bosch	FCP-500-C	Smoke and CO2 Detector	na	na	

2. lighting plan



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Revision: _____ Date: _____

Keynotes:

Consultants:
 Schneider Structural Engineers Structural
 435 E. 9th Street
 Tucson, AZ 85705
 520-429-7080

REGISTERED ARCHITECT
 46225
 CADE
 HAYES
 ARIZONA U.S.A.

ISSUED FOR PERMIT

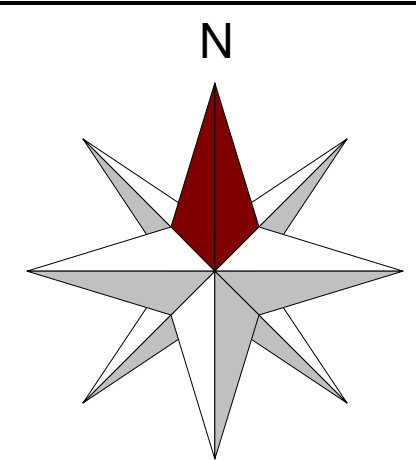
Project Name: **Baylor Residence**
 492 S Convent Ave, Tucson, AZ 85701

Date: JANUARY 07 2022
 Issued For: PERMIT

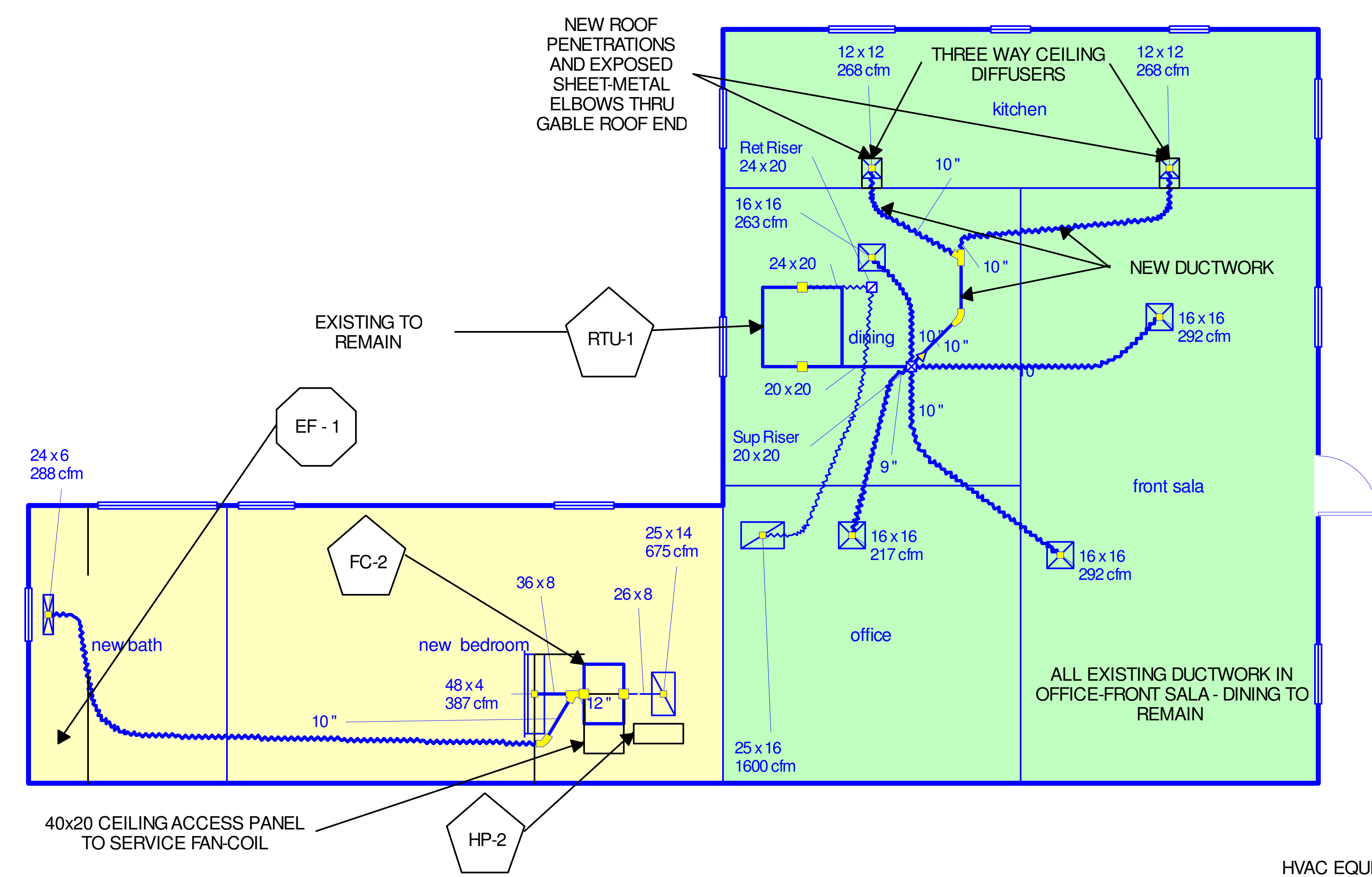
Drawn By: DUST
 Scale: 1/4"=1"

Drawing Title: **ELECTRICAL & LIGHTING PLAN**

Sheet No.: **E1.01**



Sheet 1



EF - 1 CONTINUOUS OPERATION FAN TO MEET FRESH AIR REQUIREMENTS PER 2018 IRC TABLE M1505.4.3 ASHRAE 62.2

MAIN HOUSE FAN SET TO 60 CFM EACH

PANASONIC FV-0511VK2 50-80-110 CFM, 0.3 SONES, 120 VOLT, 0.1 AMPS, 6-INCH DUCTING
DIMENSIONS: 11" X 11" X 7.5" HIGH
FV-VS15VK1 MODULE: MULTI-SPEED RELAY REQUIRES TWO SWITCHES SPECIAL WIRING

HVAC EQUIPMENT SCHEDULE:
ZONE NAME = HP-2 / FC-2 (NEW)
DAIKIN CEILING-MOUNTED DUCTED MINI-SPLIT FAN-COIL
18,000 BTU / 18.5 SEER / 12.70 EER

HP-1 = DAIKIN RX18RMVJU (ROOFTOP MOUNTED ON REDWOODS)

FC-1 = DAIKIN FDMQ18RMVJU (HANG FROM ROOF STRUCTURE)

COOLING / HEATING CAPACITY:
11,500 BTU SENSIBLE COOLING @ DESIGN
18,700 BTU HEATING OUTPUT @ DESIGN

INDOOR FAN AIRFLOW PERFORMANCE:
675 CFM @ 0.4" AVSP

ELECTRICAL CIRCUIT REQUIREMENTS:
HP = 208-230/1PH/60HZ - 13 MCA - 15 AMP FUSES
FC = 208-230/1PH/60HZ 1.0 MCA - 15 AMP FUSES

PHYSICAL DIMENSIONS (IN INCHES):
32.50 (W) X 12.00 (D) X 29.00 (H) - CONDENSER
42.0 (W) X 32.0 (D) X 10.0 (H) - FAN COIL
MUST INCLUDE BRC1E73 WALL MOUNTED CONTROLLER

HVAC EQUIPMENT SCHEDULE:
ZONE NAME = RTU-1 (EXISTING)

RTU-1 = AMERICAN STANDARD 4WCZ6048B1000A PACKAGED HEAT PUMP UNIT (ALL ELECTRIC) WITH 5KW HEAT STRIP MODEL BAYHTRV105F

4.0 TON / 16.00 SEER / 12.00 EER / AHRI = 7180052

COOLING / HEATING CAPACITY:
31,100 BTU SENSIBLE COOLING @ DESIGN
29,400 BTU HEATING CAPACITY @ DESIGN

INDOOR FAN AIRFLOW PERFORMANCE:
1,600CFM @ 0.50" AVSP

ELECTRICAL CIRCUIT REQUIREMENTS:
UNIT = 208-230/1PH/60HZ - 34.2 MCA - 50 AMP FUSES
5KW = 208-230/1PH/60HZ - 26.0 MCA - 30 AMP FUSES

PHYSICAL DIMENSIONS (IN INCHES):
60.50 (W) X 46.25 (D) X 41.50 (H)
REQUIRED CLEARANCES PER SUBMITTAL

Job #:
Performed for:
BOLEYN BAYLOR
492 S CONVENT AVE
Tucson, AZ 85701

Hamstra Heating & Cooling Inc
4389 N Highway Dr
Tucson, AZ 85705
Phone: 520-629-9833

Scale: 1/4" = 1'0"
Page 1
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GENERAL PLUMBING NOTES

- ALL WORK WILL MEET CURRENT 2018 I.R.C., LOCAL CODES AND UTILITY COMPANY REQUIREMENTS. IF A CONFLICT EXISTS BETWEEN THE PLAN AND APPLICABLE REGULATION, CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- PLUMBING & GAS PLAN IS DIAGRAMMATIC FOR THE PURPOSE OF SIZING SYSTEMS ONLY. PLUMBING CONTRACTOR TO BE RESPONSIBLE FOR FINAL DESIGN AND LAYOUT PER CODE REQUIREMENTS.
- CONTRACTOR TO PROVIDE A COMPLETELY OPERATIONAL SYSTEM WHETHER OR NOT ALL COMPONENTS ARE SHOWN ON PLAN
- VERIFY LOCATION AND CONDITION OF EXISTING WATER, GAS AND SEWER LINES.
- COORDINATE ALL WORK WITH ALL OTHER TRADES; EXACT ROUTING SHALL BE COORDINATED WITH ALL STRUCTURAL CONDITIONS.
- V.T.R.s SHALL BE GANGED TOGETHER WHERE APPROPRIATE TO MINIMIZE ROOF PENETRATIONS.
- ALL PLUMBING FIXTURES TO CONFORM TO CURRENT WATER CONSERVATION CODES.
- OFFSET ALL PLUMBING VENTS AS REQUIRED TO ENSURE 10'-0" MIN. CLEARANCE FROM ALL OUTSIDE AIR INTAKES.
- ALL GAS PIPES THROUGH CONCRETE TO BE SLEEVED AND VENTED PER IRC G2415.6 & G2445.8
- WATER HEATER(S) TO HAVE TEMPERATURE AND PRESSURE RELIEF VALVE WITH VENT LINE TO EXTERIOR DAYLIGHT @ 6"-24" ABOVE FINISH GRADE, FACING DOWN.
- WATERPROOF MATERIALS A MINIMUM OF 72" ABOVE THE SHOWER DRAIN.
- SHOWER ENCLOSURES SHALL HAVE A MINIMUM FINISHED INTERIOR OF 30" EACH WAY.
- WATER HAMMER ARRESTORS TO BE INSTALLED IN ACCORDANCE WITH ASSE 1010-2004 ON WATER LINES SERVING APPLIANCES EQUIPPED WITH QUICK-CLOSING VALVES. TO INCLUDE BUT NOT LIMITED TO: CLOTHES WASHERS, DISHWASHERS AND REFRIGERATORS.
- VERIFY HOSE BIBB LOCATIONS WITH ARCHITECT AND/OR CONSTRUCTION MANAGER AND PROVIDE BACKFLOW PREVENTERS.
- FLASH AND COUNTER-FLASH ALL PENETRATIONS THROUGH ROOF FOR WATERTIGHT INSTALLATION.
- ALL PIPE, CONDUIT AND DUCT RUNS SHALL BE PLACED UNDER ROOF. NO LINES SHALL RUN OVER WITHOUT WRITTEN APPROVAL OF THE OWNER.
- TEST PLUMBING SYSTEMS AS RECOMMENDED BY GOVERNING CODE PRIOR TO CLOSING IN OF EACH SYSTEM.
- FURNISH AND INSTALL ANY MISCELLANEOUS ITEMS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM. THE DRAWINGS ARE SCHEMATIC IN NATURE AND DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED FOR A COMPLETE AND WORKING SYSTEM.
- EXACT LOCATION OF PLUMBING FIXTURES DETERMINED FROM ARCHITECTURAL DRAWINGS. COORDINATE WITH OTHER TRADES.
- VENTS AND EXHAUST AIR THROUGH ROOF LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY MAKE-UP AIR OR SUPPLY DEVICES.
- FURNISH 2 COPIES OF SHOP DRAWINGS AND MAINTENANCE AND WARRANTY DATA.
- WATER PIPING TYPE "L" COPPER UNDER SLAB, NO JOINTS. TYPE "M" ABOVE PVC SCHEDULE 40 OUTSIDE BUILDINGS. COPPER FITTINGS SHALL BE SOLDERED WITH A LEAD FREE 95/5 SOLDER.
- PROVIDE WATER SHUT OFF 1/4 TURN ANGLE STOPS AT EACH FIXTURE.
- SOIL PIPE SCHEDULE 40 ABS. VENT PIPING SCHEDULE 40 ABS.
- PROVIDE CHROME COVERS FOR WALL CLEANOUTS. COORDINATE LOCATION OF WALL CLEANOUTS WITH ARCHITECT.
- PROVIDE MECHANICAL GAS SHUTOFF VALVES ON ALL GAS SERVICES.
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE TYPE.
- ALL HOT AND COLD WATER LINES 1/2" U.O.N.
- HOT WATER PIPING SHALL BE INSULATED WITH 1" R-4 INSULATION MINIMUM.
- SEAL ALL PENETRATIONS THROUGH EXTERIOR WALLS. BELOW AND ABOVE GRADE
- PROVIDE WATER SHUTOFF VALVES AT ALL LAV'S, SINKS AND WC'S
- WATER SYSTEM TO BE UPONOR OR WATTS PEX. INSTALLED ACCORDING TO INSTRUCTIONS. WATER PIPING TO BE ABOVE GROUND EXCEPT WHERE REQUIRED TO BE UNDERGROUND.
- HOSE BIBBS TO BE FREEZEPROOF FREE HYDRANTS, WATTS HY500VB WITH VACUUM BREAKER MOUNT IN 12X12 SLAB ON GRADE. INSTALL PER MANUF. WITH 2" DEPTH OF BURIAL. PROVIDE KEY IN EACH HB BOX.
- GROUND DRAIN PIPING TO BE ABS
- WC'S TO BE 1.6 GPF MAX AND TO BE DUAL FLUSH
- P&T RELIEF LINE TO BE HARD DRAWN COPPER TUBING EXTENDING OUTSIDE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN 2 FEET NOR LESS THAN 6" ABOVE GRADE
- CONTRACTOR TO MAINTAIN A SET OF REDLINED AS BUILTS FOR REVIEW AND TO PROVIDE A COPY TO OWNER COMPLETION OF THE PROJECT

EXISTING WATER SUPPLY & DRAINAGE FIXTURE UNIT CALCULATIONS							
FIXTURE	QTY	WATER-SUPPLY FIXTURE UNIT VALUE (W.S.F.U)			TOTAL W.S.F.U	D.F.U./FIXTURE	TOTAL D.F.U.
		HOT	COLD	COMBINED			
WATER CLOSET (1.6 GPF)	2	-	2.2	2.2	6.6	3	9
LAVATORY	2	0.5	0.5	.7	2.1	1	3
SHOWER/TUB	2	1.0	1.0	1.4	2.8	2	4
KITCHEN SINK	2	1.0	1.0	1.4	1.4	2	2
WASHER	1	1.0	1.0	1.4	1.4	2	2
HOSE BIBB	APP. 4		2.5	2.5	12.5		22
EXISTING FIXTURE UNITS FOR DWELLING							13
TOTAL FIXTURE UNITS FOR DWELLING							13

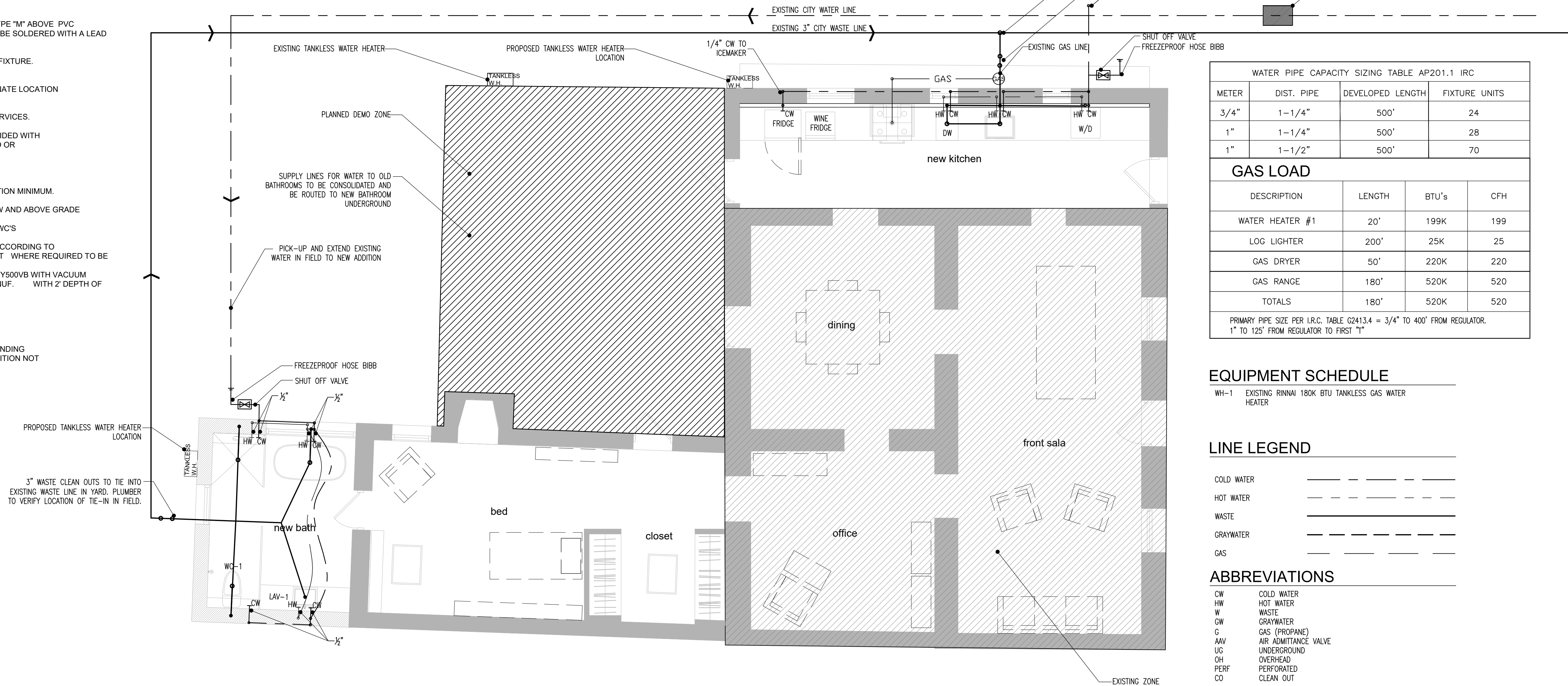
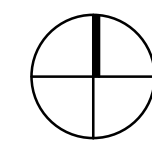
PRESSURE = 55 PSI STATIC ASSUMED.
METER SIZE - 1". PLUMBING SUBCONTRACTOR TO VERIFY IN FIELD AND SIZE DISTRIBUTION SYSTEM ACCORDING TO CURRENT CODES AND STANDARDS.
ESTIMATED DEVELOPED PIPE LENGTH FROM MAIN HOUSE TO SERVICE ENTRY= 490'x1.2 = 588'
ESTIMATED DEVELOPED INTERIOR PIPE LENGTH FROM SERVICE ENTRY = 160'
TOTAL ESTIMATED DEVELOPED PIPE LENGTH = 748'
1/2" PIPE TO ALL FIXTURES U.O.N. OR SPECIFIED BY MANUFACTURER

NEW WATER SUPPLY & DRAINAGE FIXTURE UNIT CALCULATIONS							
FIXTURE	QTY	WATER-SUPPLY FIXTURE UNIT VALUE (W.S.F.U)			TOTAL W.S.F.U	D.F.U./FIXTURE	TOTAL D.F.U.
		HOT	COLD	COMBINED			
WATER CLOSET (1.6 GPF)	1		2.2	2.2			9
LAVATORY	1	0.5	0.5	.7	6.6	3	3
SHOWER/TUB	2	1.0	1.0	1.4	2.1	1	4
KITCHEN SINK	1	1.0	1.0	1.4	2.8	2	2
WASHER	1	1.0	1.0	1.4	1.4	2	2
HOSE BIBB	TBD		2.5	2.5	1.4		2
NEW FIXTURE UNITS FOR DWELLING							6
TOTAL FIXTURE UNITS FOR DWELLING							6

PRESSURE = 55 PSI STATIC ASSUMED.
METER SIZE - 1". PLUMBING SUBCONTRACTOR TO VERIFY IN FIELD AND SIZE DISTRIBUTION SYSTEM ACCORDING TO CURRENT CODES AND STANDARDS.
ESTIMATED DEVELOPED PIPE LENGTH FROM MAIN HOUSE TO SERVICE ENTRY= 490'x1.2 = 588'
ESTIMATED DEVELOPED INTERIOR PIPE LENGTH FROM SERVICE ENTRY = 160'
TOTAL ESTIMATED DEVELOPED PIPE LENGTH = 748'
1/2" PIPE TO ALL FIXTURES U.O.N. OR SPECIFIED BY MANUFACTURER

PLUMBING FIXTURES				
LOCATION	MANUF.	UNITS	PRODUCT NUMBER	NOTE
SHOWER	KOHLER	1	K-22181-G	WALL MOUNT
LAV SINKS	KOHLER	1	K-2882	UNDERMOUNT
LAV FAUCET	KOHLER	1	K-14406-4	DECK MNT
SHOWER DRAIN	INFINITY	1	SAS-6536 SS	FLUSH
KITCHEN SINK	KOHLER	1	K-5286	UNDERMOUNT
DISPOSAL	INSINKERATOR	1	PRO1000LP	1 HP
KITCHEN FAUCET	HANSGRÖHE	1	10821801	PULL DOWN
TOILET	TOTO	1	CST416M#11	DUAL FLUSH
TOILET SEAT	TOTO	1	SS114#01	SOFT CLOSE
TUB	VICTORIA + ALBERT	1	VETRALLA 1500	FLOOR MOUNT
TUB FAUCET	BRIZO	1	T704	WALL MOUNT

1. plumbing plan



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Revision: _____ Date: _____

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520-429-7080

REGISTERED ARCHITECT
CERTIFICATE NO. 46229
CADE HAYES
Professional
ARIZONA U.S.A.

ISSUED FOR PERMIT

Project Name: **Baylor Residence**
482 S Convent Ave, Tucson, AZ 85701

Date: JANUARY 07 2022
Issued For: PERMIT

Drawn By: DUST
Scale: 1/4"=1"

Drawing Title: **PLUMBING PLAN**

Sheet No.: **P1.00**