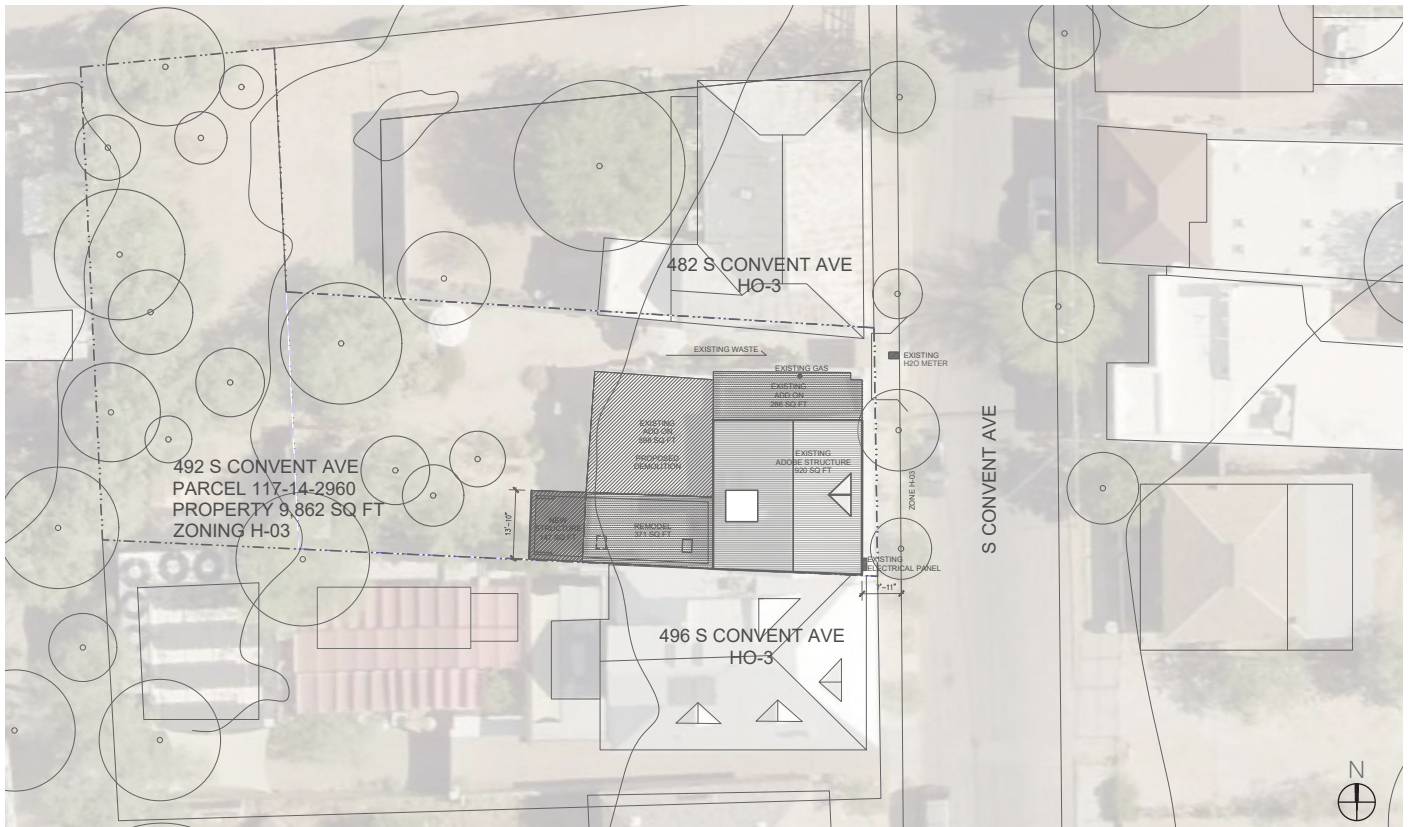


492 S Convent Ave Historic Design Review



Site Plan not to scale. See Permit Set for scaled drawings.

Narrative: Proposed renovation, improvements, and additions to Historic Building

Address: 492 S Convent Ave
Tucson AZ 85705

Parcel #: 117-14-2960
Parcel area: 9862 sq ft

Zoning: HO-3

Owners: Boleyn Baylor and
Claire Elisabeth Mc Lane

The historic adobe structure is built in the Transformed Sonoran Style. The façade is a distinct example of Sonoran Adobe flush-front architecture while, the addition in the back of the home is a stick frame construction with an enclosed porch was previously used to divide the home into a duplex. The owner, Boleyn Baylor, has lived at 492 S Convent for over 20 years and would like to pare down the home to the original adobe construction and create a primary bedroom suite addition out of CMU masonry block.

The proposed alterations and additions will maintain the prevailing interior and exterior style of the home and neighborhood. These alterations will follow UDC dimension standards with a wall height request through the Design Development Option review. Included in this document are supporting drawings and diagrams to ensure our interpretations are acceptable through Zoning, Design Development Option Review, and Historic Preservation Review Boards.

492 S Convent Ave Development Zone



All properties in the development zone are HO-3 except 504 S Convent Ave, it is designated HR-3

- HO-3
492 S Convent Ave
- HO-3
Interior lot
Development Zone
- HR-3
504 S Convent Ave

492 S Convent Ave Development Zone

The image displays an aerial view of S Convent Ave, a street running north-south. A red line indicates the street's path. Property numbers are marked with red dots and white text. On the left side of the street, the numbers are 432, 436, 440, 442, 444, 446, 484, 494, 492, 496, 500, 504, 510, and 130. On the right side, the numbers are 92, 78, 86, 441, 451, 459, 469, 479, 483, 517, 515, 519, and 531. A blue box highlights the properties at 494 and 492. Surrounding the map are photographs of the buildings at these addresses, with their respective numbers labeled next to them. A north arrow is located in the bottom right corner of the map.

Address	Photo Description
446	Brick building with a grey car parked in front.
459	White building with a red car parked in front.
484	White building with a white car parked in front.
469	White building with a white car parked in front.
492/494	White building with a paved area in front.
479	White building with a dark car parked in front.
496	White building with a paved area in front.
517	White building with a white car parked in front.
500	White building with a paved area in front.
515	Yellow building with a paved area in front.
504	White building with a paved area in front.
531	White building with a paved area in front.

492 S Convent Ave New Work Outline

- Stick Frame Demolition – We plan to demolish the non-historic stick frame additions (enclosed porches) that appear to be two separate constructions for the previous purpose of dividing the home into a duplex. This is a feature we understand as a non-character defining feature of the home. The date of construction is unknown and some of the construction is not to code. This space currently houses as two kitchens, with one serving as the main kitchen, two fully equipped bathrooms and a vestibule. The interior ceiling of the rear frame addition of the back is not to code- it is lower than 7'-6". The fixtures and will be salvaged at the owners discretion.
- Floor Demolition – We will be demolishing the foot print of the stick-frame addition. Currently there are several small level changes, we plan on having one finish floor elevation for accessibility through the home.
- Addition Interior- Our intervention seeks to sustain the sense of the original adobe. We hope to balance what Boleyn loves about the house while renovating and reinforcing the structure with the small masonry addition. We are proposing the demolition of one interior Adobe wall.
- Exterior Façade of Addition - We plan on maintaining the look and feel of the original adobe structure. In order to maintain the spirit of the home we propose to utilize similar stucco mix (Lime/Cement) and hard troweled finish, with the natural mix color as the finish color. No paint. We understand this to be contrary to the desires of the design guidelines for the neighborhood. Given the unique circumstance of structurally stabilizing the historic adobe additions with CMU blocks and reinforcement, along with a CMU addition, we are proposing that the elevation and facade of a new parapet addition and roofline will be a substantially different and defining character of the new construction. The door and window package will reflect what is already in use in the home with an emphasis on keeping the rhythm of the existing openings of the adobe. The addition is not visible from the street.
- Fireplace/Chimney Addition- A fireplace will be added to the new main suite. The height of the chimney will not be visible from the street and the profile is minimal.
- Main House Water Heater Upgrade-The re-location of existing and outdated water heater. It will be replaced with a tankless water heater.

SETBACK (UDC 5.8.9.C.3): The new CMU masonry addition will adhere to the zero lot line setback currently set forth by the existing adobe structure. This is consistent within the DZ and both neighbors to the North and South. See pg 7.

NEW CONSTRUCTION (UDC 5.8.9.A.3): The new CMU masonry addition will reflect the Sonoran Architectural Style, in that it will have a parapet roof reflecting the high ceilings of the home. This is similar to other Sonoran style adobe structures in the DZ.

HEIGHT (UDC 5.8.9.B): The new CMU masonry wall will match the datum of the existing adobe structure which stands at 12'-3", the top of the new addition wall will stand at 12'-2". It is not taller than the tallest contributing property neighboring this project which we estimate is taller than 18'. See pg 7.

ROOF TYPE (UDC 5.8.A.E.3): The parapet roof of the new CMU masonry addition will be a compatible with the Transformed Sonoran architectural style of the existing adobe structure, this will help define the difference between the addition and the existing home.

SURFACE TEXTURE (UDC 5.8.A.F.3): We would like to propose, that the surface texture and color remain the same as the existing house, not in a duplication of historic style, but leaning on the transformation of the pitched roof to parapet as the defining and distinguishing character of the new addition merging with the historic adobe walls that are connected to the original adobe structure. There is a new structural CMU bond beam and parapet over the saved Adobe walls.

DETAILS (UDC 5.8.A.I.2): All the details for the CMU masonry addition are compatible with the Sonoran architectural style common in the DZ and follow the language of the existing adobe structure, such as interior ceiling heights. We would like to propose Square windows on the new addition, wood, to differentiate from the historic adobe on the property.


RHYTHM (UDC 5.8.9.K.3): The proportion of the addition is compatible with those of existing structure and those of contributors within DZ. The openings have a similar rhythm and size ratio to existing home.

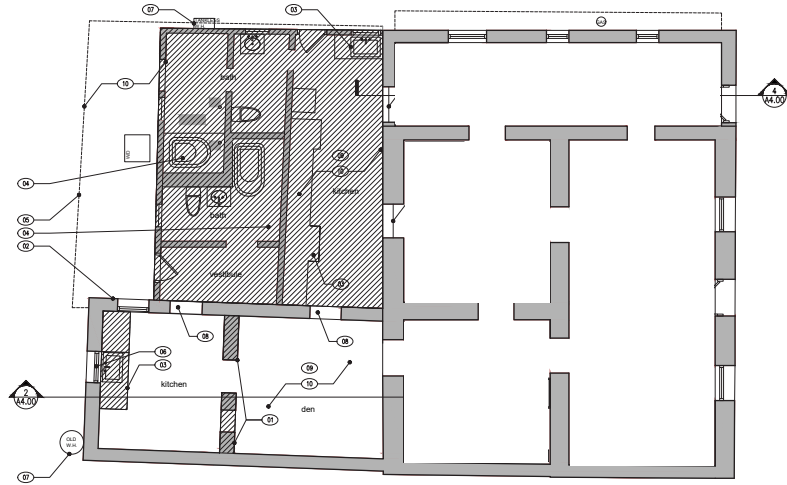
COLOR (UDC 5.8.9.L.1): The existing stucco is a lime/cement plaster, with no paint, using the natural tones of the lime. We propose the new addition to utilize the same stucco, texture, and natural color from the mix.

UTILITIES (UCC 5.8.9.L.4): We will be replacing an outdated water heater in favor of an energy efficient tankless water heater.

DEMOLITION (UDC 5.8.10.B): The noncontributing, non-historic stick-frame additions (enclosed porches) need to be reviewed for approval of demolition. It is our understanding that these porches were exterior, and added on in two different phases and enclosed along the way, perhaps constructed along with the Adobe walls to the south that we are proposing to keep, structurally fortify, and modify the existing roof line. Structurally they are not to current codes, in terms of loads, structural members, energy efficiency, and ceiling height (less than 7'-6" in the lowest portions.) Utilities are all exterior and exposed, such as drain pipes from kitchen sinks. Future porches are desired by the homeowner, but are not considered in this permit and scope of work.

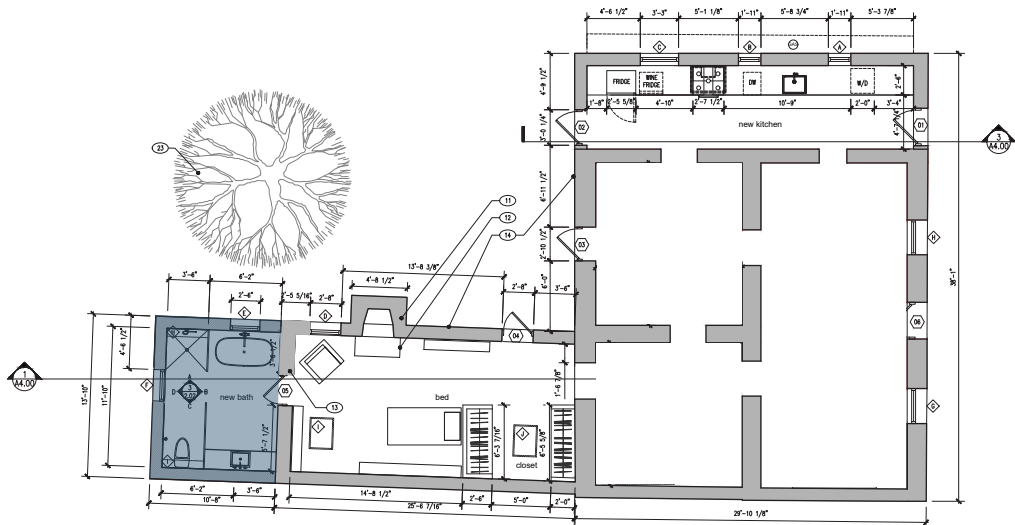
492 S Convent Ave Demo Plan and Proposed Plan

- LEGEND:**
-  STRUCTURES TO BE DEMOLISHED / REMOVED
- NOTES:**
1. SITE TO REVIEWED FOR ACCESS/PAVING AND ANY PERMITS NECESSARY DURING DEMO/CONSTRUCTION PRIOR TO ANY RE/WORK TO BE COMPLETED.
 2. ANY RESIDUAL PLUMBING, ELECTRICAL, MECH, GAS LINES TO BE SECURED AND MADE SAFE, E. TERMINATED, CAPPED, REMOVED, AND/OR DISCARDED.
- EXISTING:** 1484 GROSS SF UNCONDITIONED
- PROPOSED:** 1483 SF UNCONDITIONED



1. DEMO PLAN

- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD

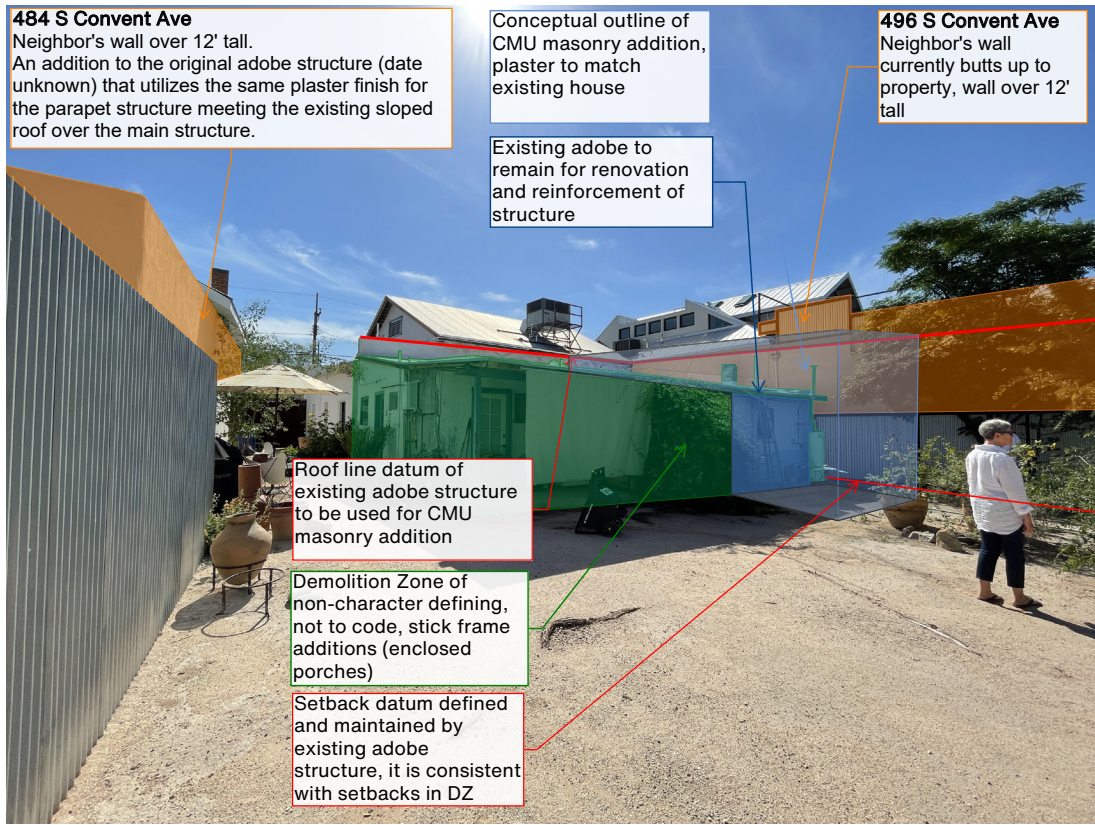


2. PROPOSED PLAN

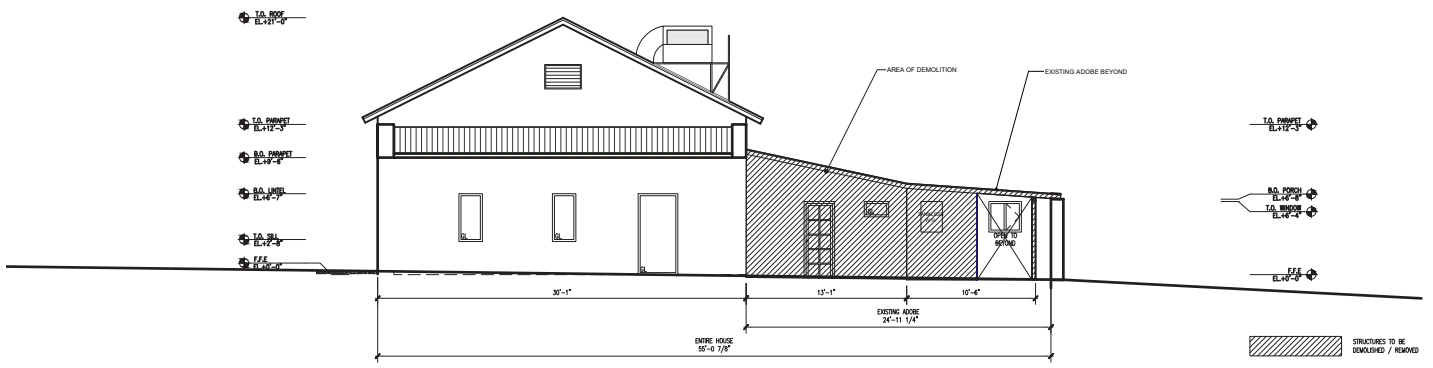
Demolition Plan and Proposed Plan not to scale. See Permit Set for scaled drawings.

■ **new cmu addition highlighted in blue

492 S Convent Ave New Work Diagram and Existing Elevation



New Work Diagram



EXISTING NORTH ELEVATION
SCALE: 1/16" = 1'

492 S Convent Ave Material Palette

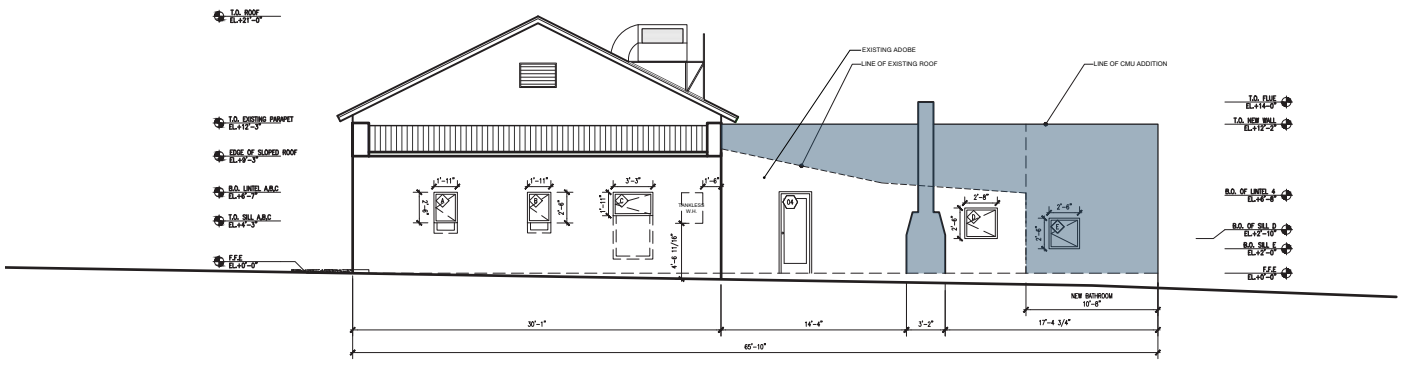


With the addition we plan to match the existing home's texture of plaster. We will also match the same wood door and window package already in place, but propose the new windows in the new CMU addition to be square, wood, to help distinguish new from old.



Neighborhood Context

Existing Conditions



NEW NORTH ELEVATION
 SCALE: 1/16" = 1'
 **new cmu addition highlighted in blue

492 S Convent Ave Building Elevations



East Side



North Side



West Side

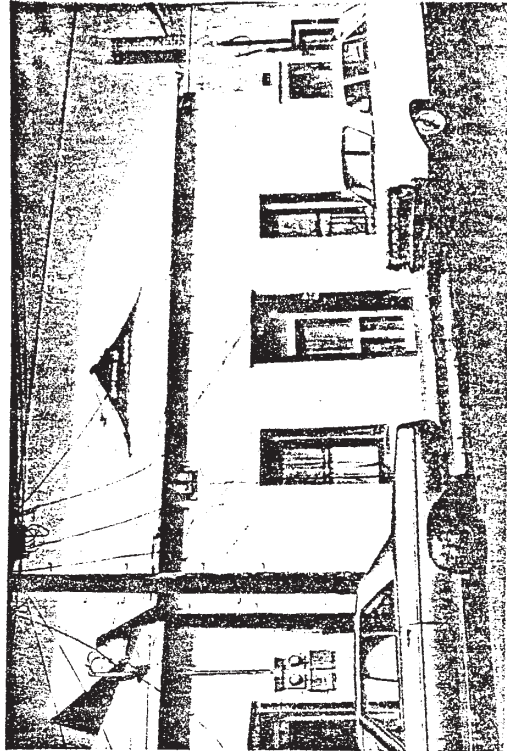
492 S Convent Ave Project Site and Context



ARIZONA STATE HISTORIC PROPERTY INVENTORY

PROPERTY NAME	
LOCATION 492-494 South Convent Avenue	
CITY/TOWN/VICINITY Tucson	COUNTY Pima
OWNER Trejo, Luisa	
OWNER'S ADDRESS 624 North Seventh Avenue Tucson, Arizona 85705	
FORM COMPLETED BY Dale Frens, Tim Fisher, Janet Stewart	
ADDRESS	
PHOTO BY Tim Fisher	DATE July 1977
VIEW Looking west	
PRESENT USE Dwelling (Duplex)	ACREAGE
STYLE OR CULTURAL PERIOD Sonoran/Transformed Sonoran	
SIGNIFICANT DATES Pre-1919	

S-53, NF10



PHYSICAL DESCRIPTION

Single story row house with front facade on property line; stuccoed adobe construction; gable roof added over original flat roof on 494 portion of building.

STATEMENT OF SIGNIFICANCE

Good example of Sonoran/Transformed Sonoran row house.

VERBAL BOUNDARY DESCRIPTION

Tucson S & W part of Lot 4 Block 241.

492 S Convent Ave Plan Set

For Site Plan A1.00 and Elevations A3.00. See Permit Set.

492 S Convent Ave Disclaimer

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