

03.25.2022

Michael Taku, Historic Preservation Officer
Jodie Brown, Historic Preservation Officer
City of Tucson, Planning and Development Services
201 N. Stone Avenue, Tucson, AZ 85701

Re: Statement for Historic Review Application, 136 W. Simpson St.

Dear Mr. Taku,

We are applying for Historic Preservation Zone Review per UDC requirements for this project, which is zoned HO-3. The address of the existing residence is 136 W. Simpson St., which is located within the Barrio Historico Historic District. The project consists of some interior remodeling, a bathroom addition, and a free-standing shade structure at an existing single family residence, which is a contributing property. Based on the scope of work, we are subject to a Full HPZ Review under UDC Section 5.8.5.B.

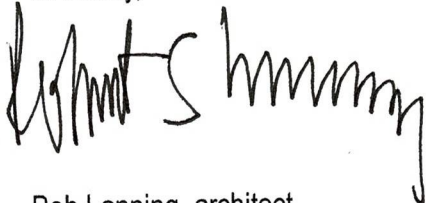
The intent is for the proposed project to conform to the Design Guidelines, under UDC Section 5.8.6 Design Standards. The bathroom addition and the proposed shade structure will be visible on the exterior of the existing residence. Below is a brief statement explaining how these two items (the proposed bathroom addition and the proposed shade structure) shall meet the specific design standards:

- 1) Generally: (Per UDC Section 5.8.6.A.2) The proposed addition will be compatible with the existing residence and the other contributing properties within our development zone. The detached shade structure will be compatible with other accessory structures in the Barrio Historico Historic Zone. See the attached development zone map and images of contributing properties within the development zone.
- 2) Height: (Per UDC Section 5.8.6.B.2) The proposed addition height will be below the height of the existing residence. The height of the existing hip-roofed ridge is approximately 20' above natural grade. The existing structure is single-story, and the addition is single-story. The height of the proposed shade structure will be 13' above grade, which is compatible with other accessory buildings in the Barrio Historico Historic Zone.
- 3) Setbacks: (Per UDC Section 5.8.6.C.2) Setbacks will conform to the prevailing setbacks within the development zone. The front (north) setback will remain the same. The side (east) setback will remain the same. The side (west) setback will be reduced from 19' to 9' with the proposed bathroom addition. The rear (south) setback will be reduced from 23'-6" to 6'-6" with the proposed new shade structure. Also, there will be a new outdoor masonry fireplace adjacent to the shade structure, and it will be right on the south property line, so the setback will be zero feet for that element. These new setbacks are consistent with other building setbacks in the development zone.
- 4) Proportion: (Per UDC Section 5.8.6.D.2) The proportions of the new bathroom addition are consistent with the proportions of the existing residence. The proportions of the shade structure are consistent

- with the proportions of other accessory structures in the Barrio Historico Historic Zone.
- 5) Roof Types: (Per UDC Section 5.8.6.E.2) The proposed roof type on the bathroom addition is a hip-roofed extension that extends out from the hip roof on the existing residence. The new roof will be an asphalt shingle roof to match the existing asphalt shingle roof. The new shade structure will have a "ramada" type roof form which is similar to other roof forms in the Barrio Historico Historic Zone.
 - 6) Surface Texture: (Per UDC Section 5.8.6.F.2) The surface texture on the new bathroom addition will be a light sand-floated stucco texture. This will distinguish it slightly from the exposed brick wall surfaces of the existing residence. The surface texture of the proposed masonry columns of the new shade structure will also be light sand-floated stucco.
 - 7) Site Utilization: (Per UDC Section 5.8.6.G.2) The existing structure was originally a single-family residence and with this project it will be a single-family residence.
 - 8) Projections & Recessions: (Per UDC Section 5.8.6.H.2) The bathroom addition will have two single-hung wood windows which will be similar in proportion to the windows on the existing residence. The bathroom addition will have overhangs which will match the overhangs of the existing residence. The proposed shade structure will not really have any projections or recessions as identified as examples in the UDC.
 - 9) Details: (Per UDC Section 5.8.6.I.2) The bathroom addition will have rather simple architectural details. The windows will have segmented-arch stucco lintels. The window jambs will be bull-nosed stucco, with no trim. The window sills will be stucco "pop-outs" to evoke the existing brick windowsills without imitating them. The addition will have a horizontal stucco "pop-out" at the wainscot level to align with the linear brick "pop-out" around the existing residence. The proposed shade structure will have an ornamental iron railing on the roof, and an ornamental iron exterior circular stair. These will evoke other ornamental ironwork in the Barrio Historico Historic Zone. The proposed shade structure will also have brickwork at the top of the four columns, which will be similar to the brickwork on the existing residence. Also, a free-standing outdoor masonry fireplace will be immediately adjacent to the shade structure.
 - 10) Building Form: (Per UDC Section 5.8.6.J.2) The proposed bathroom addition will have a building form which will be compatible with the building forms of the existing residence. The proposed shade structure will have a building form that is similar to other shade structures in the Barrio Historico Historic Zone.
 - 11) Rhythm: (Per UDC Section 5.8.6.K.2) The proposed bathroom addition will have window openings and fenestration which matches the existing structure and the rhythm of contributing properties within the development zone. The shade structure is to be located at the rear of the parcel and has no windows and doors, so it has no "rhythm" as such.

See the attached application, photo exhibit package and drawings to accommodate the HPZ requirements. Thank you for your consideration on this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Bob Lanning". The signature is fluid and cursive, with a large initial "B" and "L".

Bob Lanning, architect

Permit Review Details

Permit: T22CM01618
Parcel: 117141580

Addresses:
136 W SIMPSON ST

Review Status: Active

Review Details

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
3/8/2022	SBLOOD1	ENGINEERING	REVIEW	Passed	None
3/17/2022	IMONSHI1	ZONING	REVIEW	Reqs Change	Historic review required prior to zoning approval. please contact michael taku or jodie brown for more information. michael.taku@tucsonaz.gov jodie.brown@tucsonaz.gov
3/17/2022	IMONSHI1	NPPO	REVIEW	Passed	None
3/23/2022	KEN VAN KARSEN	BUILDING-RESIDENTIAL	REVIEW	Reqs Change	Provide a complete plan set for review.

Showing 1 to 4 of 4 entries

Previous

Next

Parcel Number: 117-14-1580

Property Address

Street Number	Street Direction	Street Name	Location
136	W	SIMPSON ST	Tucson

Contact Information

Property Owner Information:	Property Description:
BAUGH TREVOR CRAIG 136 W SIMPSON ST TUCSON AZ 85701-2244	TUCSON NW PTN LOT 1 BLK 236

Valuation Data

Property Appraiser: Phone:

Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2022	COMMERCIAL (1)	17.5	\$63,216	\$121,216	\$184,432	\$184,432	\$32,276
2023	COMMERCIAL (1)	17.0	\$63,216	\$154,066	\$217,282	\$193,654	\$32,921

Property Information

Township:	14.0	Section:	13	Range:	13.0E
Map:	3	Plat:	70	Block:	236
Tract:		Land Measure:	7,902.00F	Lot:	00001
Census Tract:	1000	File Id:	1	Group Code:	
Use Code:	1511 (OFFICE BUILDING 1 STORY)			Date of Last Change:	12/29/2021

Sales Information (3)

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20213340396	1	11/2021	Single Family	\$580,000	\$580,000	N	
20070990637	1	2/2007	Commercial/Industrial	\$570,000	\$570,000	N	X RJK
20061021174	1	5/2006	Single Family	\$317,500	\$317,500	N	W4 PD

Valuation Area

District Supervisor: MATT HEINZ District No: 2

DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	08021001	03070 DEL	30

Recording Information (4)

Sequence No.	Docket	Page	Date Recorded	Type
20213340396	0	0	11/30/2021	WTDEED
20070990637	13060	2800	5/22/2007	WTDEED
20061021174	12813	6764	5/26/2006	WTDEED
89028658	8492	153	3/13/1989	QCDEED

Commercial Characteristics

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	1,695	\$119,946	\$0	\$154,066

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1958	010/3	0000000	1,695	\$205,810	\$119,946	SINGLE FAMILY DWELLING

Permits (1)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
CSPEC6777	SPEC ~	12/05/2007	12/26/2007	ASR							
Description: ACCORDING TO THE SALES AFFIDAVIT & PERSONAL PROPERTY RECORDS THIS HOUSE IS NOW USED COMMERCIALY AS AN OFFICE - PLEASE VERIFY											

Notes (6)

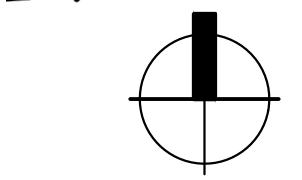
Created: 2/12/2019 Modified: 2/12/2019	Change use code from 8901 to 1511.
Created: 1/9/2009 Modified: 1/9/2009	CCS REVIEWED. CORRECTIONS AS NOTED. COMM EAGE CALC INT .192 + H/C .091 + PLUMB .064 + ELECT .105 +OTHER .015 TOTAL .467 X 2007 = 937 PLUS .533 X 1916 = 1021 TOTAL 1958. NC USE CODE, RATIOS OR CLASS. APEXED.
Created: 10/24/2008 Modified: 10/24/2008	2010 NOTICE - LIST BLDG ON CCS SEQ 001-001 - REMOVE FROM MASS.
Created: 12/7/2007 Modified: 12/7/2007	09 Notice: Entire building used as Law Office. .__(Cooper/Udall Attorneys at Law)__. Change use 0131 to 8901. Class change to 1/0 (100% Commercial Use)
Created: 11/2/2006 Modified: 11/2/2006	2007 NOE : CL 6(4) 10% RULE "B" PER NO RESPONSE TO STATUS LTR MAILED ON 8/24/06 .
Created: 8/16/2006 Modified: 8/16/2006	Senior freeze expires 2006, property sold 2006.



8
42/010

9
14
100.98'
120.00'
125.35'
89.265'
10
15
84.315'
17
80.52'
95.70'
32.037

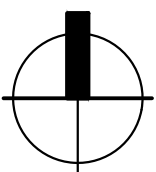
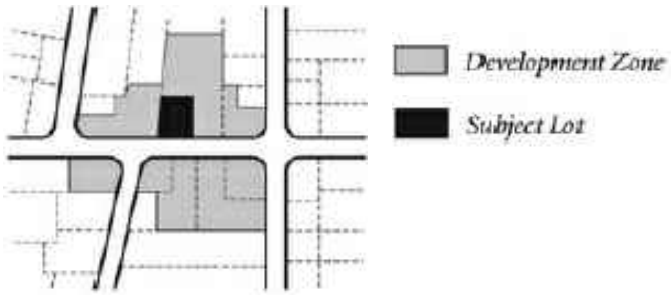
TREET
9039 35
12972'
30'
1
117-14
KENNEDY
AND MEYER
TOWNHOMES
SQ20193400795
CK 235
30'
110.88'
54
30'



ASSESSOR'S MAP

SCALE: NTS

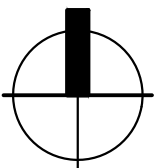
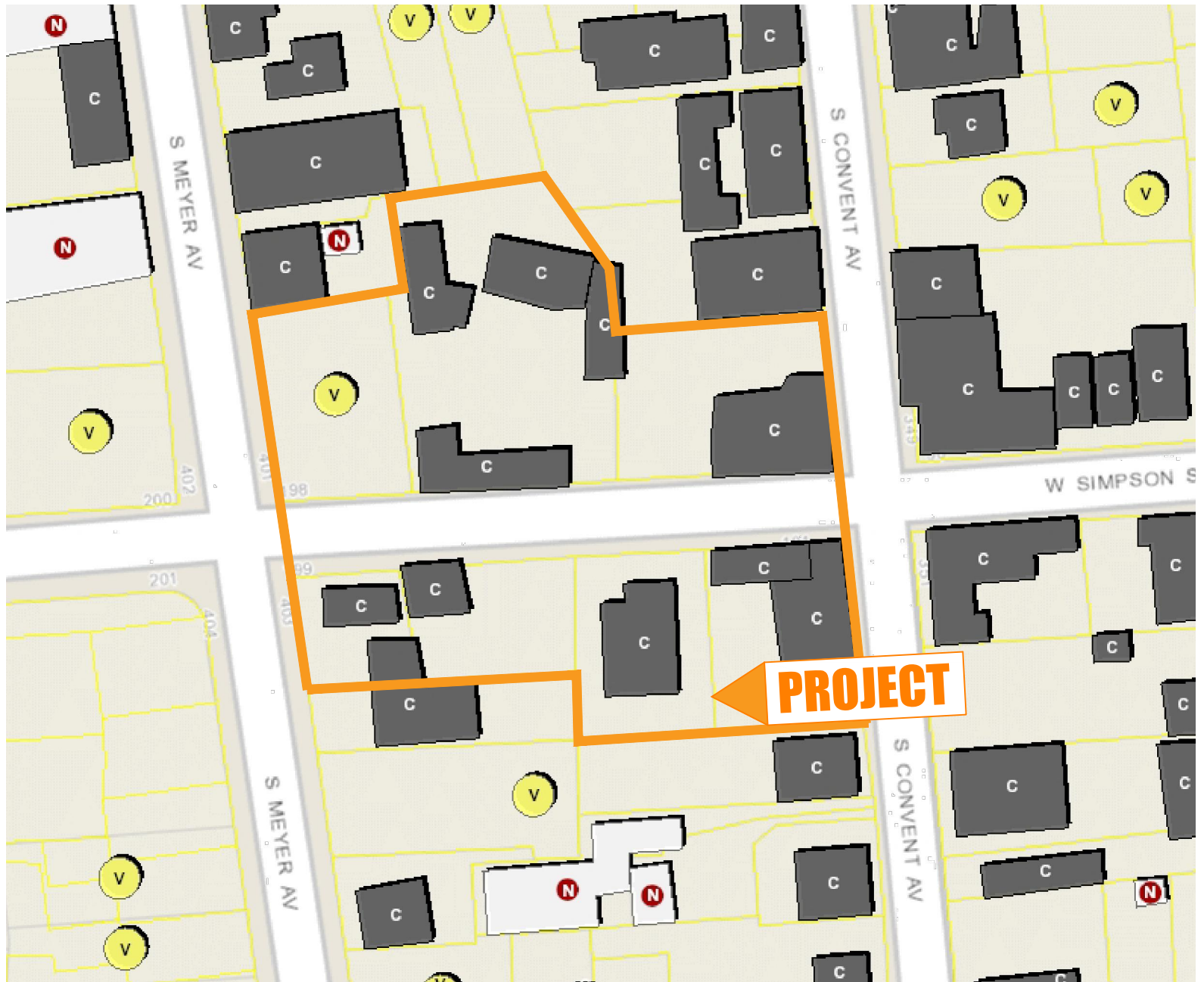
136 W. SIMPSON ST.



DEV. ZONE AERIAL

SCALE: NTS

136 W. SIMPSON ST.



DEV. ZONE (CONTRIBUTING PROPERTIES)

SCALE: NTS

CONTRIBUTING PROPERTIES



101 W. SIMPSON ST.



116 W. SIMPSON ST.



143 W. SIMPSON ST.



150 W. SIMPSON ST.



415 S. MEYER AVE.



415 S. MEYER AVE.

EXISTING SITE PHOTOS



VIEW FROM S. SIMPSON ST.



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



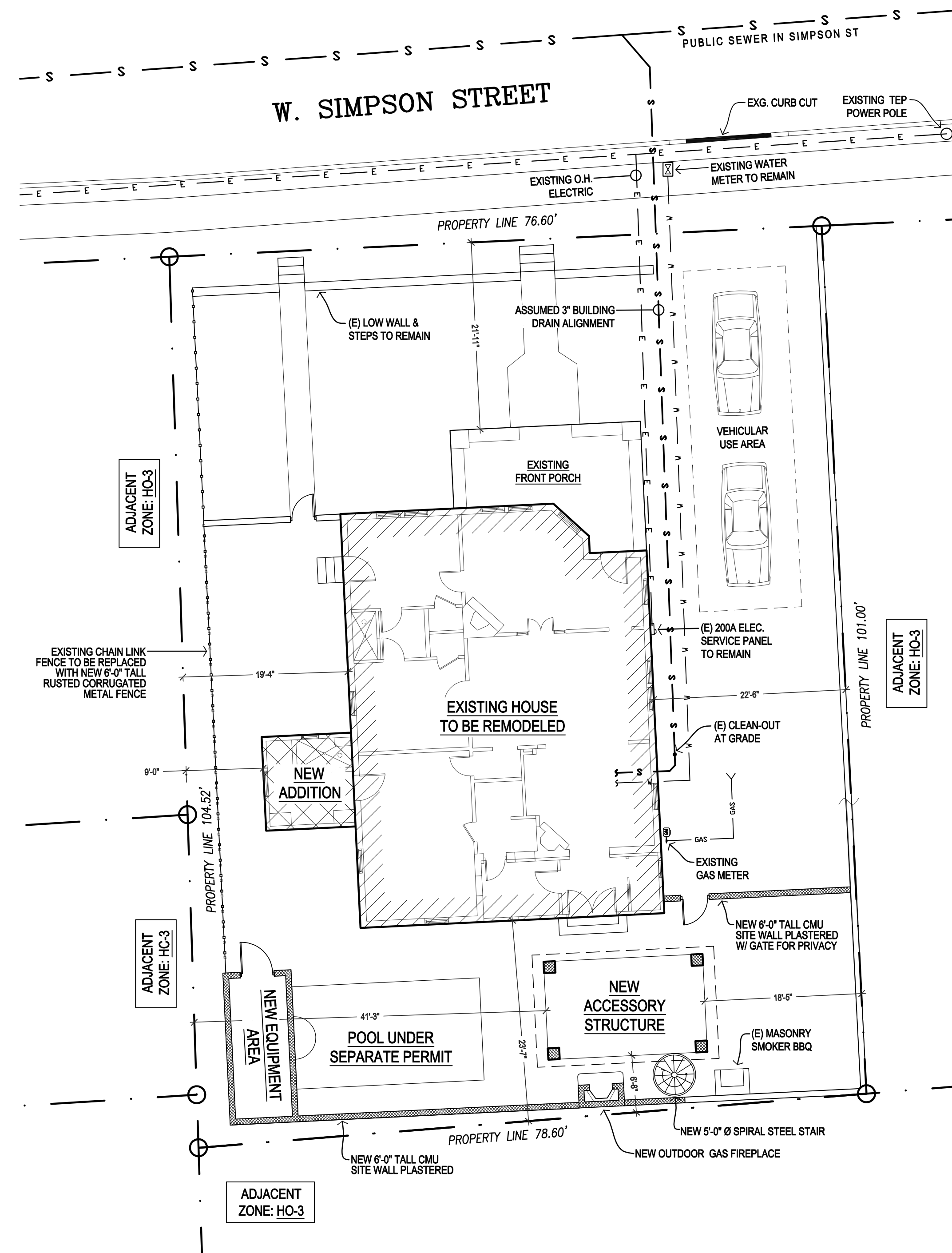
EXISTING SOUTH-WEST CORNER



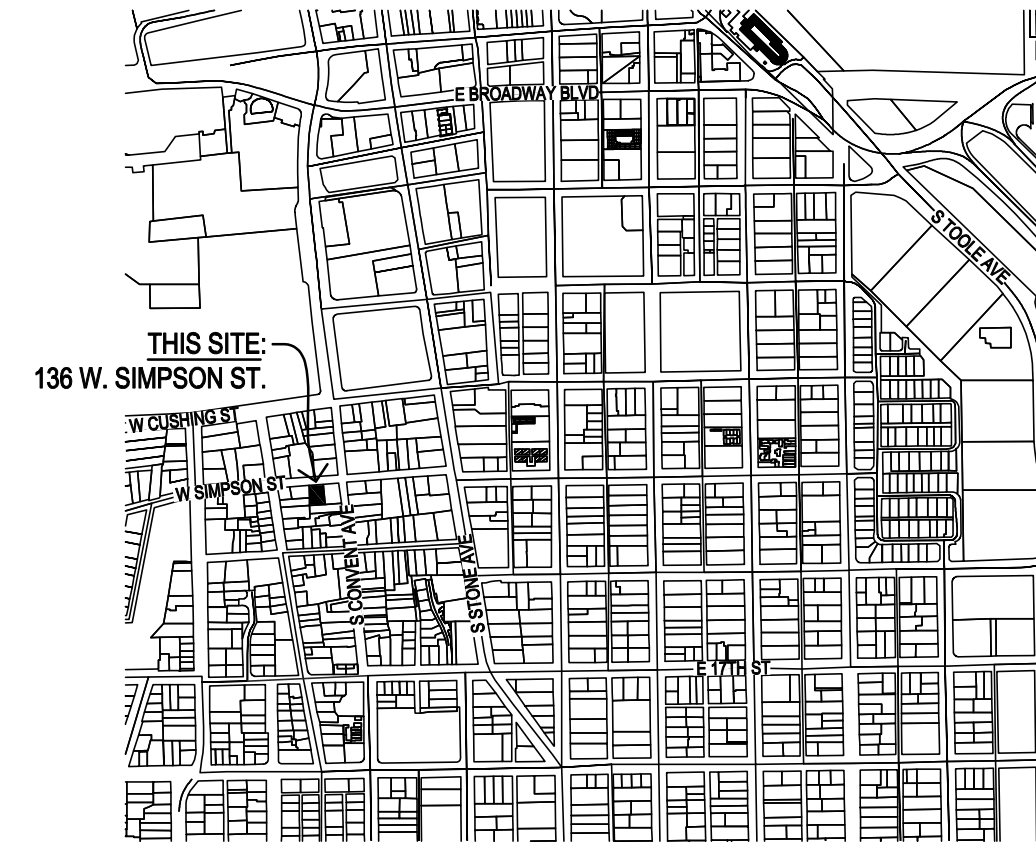
EXISTING WEST ELEVATION



EXISTING WEST ELEVATION



SITE PLAN
SCALE: 1"=10'-0"



LOCATION MAP
N.T.S.

GENERAL NOTES

ALL CONSTRUCTION TO CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE, UNIFORM PLUMBING CODE, AND ALL OTHER CODES AND ORDINANCES AS ADOPTED BY THE GOVERNING AGENCIES HAVING JURISDICTION.

THE CONSTRUCTION DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURE SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES FOR PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO (NOR SHALL OBSERVATION VISITS TO THE SITE INCLUDE INSPECTION OF THESE ITEMS).

ANY ENGINEERING DESIGN, PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF ARIZONA.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO BEGINNING CONSTRUCTION.

MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL LISTED APPLIANCES OR COMPONENTS (I.E. GAS FIREPLACE) SHALL BE AVAILABLE ON THE CONSTRUCTION SITE AT THE TIME OF INSPECTION, PER IRC SECT. R106.1.2.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.

WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF SUCH DISCREPANCIES.

CONTRACTORS SHALL VISIT THE PROJECT SITE AND FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT.

CONTRACTOR SHALL VERIFY THE ADEQUACY AND LOCATION OF EXISTING UTILITIES. VERIFY INVERTS TO ASSURE THAT PROPER SLOPES CAN BE OBTAINED.

DO NOT SCALE DRAWINGS-USE WRITTEN DIMENSIONS ONLY FOR CONSTRUCTION PURPOSES. IF A WRITTEN DIMENSION DOES NOT EXIST CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATIONS OF DRAWINGS.

2018 ISpsc (POOL CODE)

- NEW SITE WALLS & GATES TO COMPLY WITH THE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE WITH LOCAL AMENDMENTS.
1. WALLS & GATES SHALL NOT BE CLIMBABLE, AND SHALL NOT PERMIT A 4" SPHERE TO PASS THROUGH.
 2. GATES SHALL BE SELF CLOSING & SELF LATCHING. THE LATCH MUST BE MIN. 54" ABOVE GRADE & MUST BE LOCKABLE.
 3. GATES MUST SWING OUT.
 4. SERVICE GATES MUST REMAIN LOCKED WHEN NOT IN USE.

136 W. Simpson remodel & addition

addition & remodel of an existing single family residence & new accessory structure

PROJECT INFORMATION

OWNER: ISRAEL NAVARRETTE
 ADDRESS: 136 W SIMPSON ST, TUCSON, AZ, 85701
 TAX CODE: 117-14-1580
 ZONING: HO-3 (SUBJECT TO HISTORIC REVIEW)
 LEGAL: TUCSON NW PTN LOT 1 BLK 236
 LOT SIZE: 7,902 S.F. or 0.18 ACRES
 MAX. HEIGHT (PRINCIPLE & ACCESSORY STRUCTURE): 25'-0"
 EXISTING HEIGHT (PRINCIPLE STRUCTURE): 17'-0" ABOVE GRADE (MID POINT OF HIP ROOF)
 PROPOSED HEIGHT (ADDITION): 14'-4" ABOVE GRADE (MID POINT OF HIP ROOF)
 PROPOSED HEIGHT (ACCESSORY STRUCTURE): 11'-6" ABOVE GRADE

PRINCIPLE STRUCTURE BUILDING SETBACKS:

YARD	REQD	PROVIDED
FRONT STREET (NORTH)	20' OR 1/2(H)	21'-11" (EXISTING)
PERIMETER (EAST)	10' OR 3/4(H)	22'-6" (EXISTING)
PERIMETER (SOUTH)	10' OR 3/4(H)	23'-7" (EXISTING)
PERIMETER (WEST)	10' OR 3/4(H)	9'-0" (NEW) ***

*** SUBJECT TO HISTORIC REVIEW APPROVAL

ACCESSORY STRUCTURE SETBACKS (NON-RESIDENTIAL ZONE):

FRONT STREET (NORTH)	20' OR 1/2(H)	84'-8"
PERIMETER (EAST)	10' OR 3/4(H)	18'-5"
PERIMETER (SOUTH)	10' OR 3/4(H)	6'-8"***
PERIMETER (WEST)	10' OR 3/4(H)	41'-3"

*** SUBJECT TO HISTORIC REVIEW APPROVAL

BUILDING AREAS

(E) RESIDENCE:	1,695 S.F.
ADDITION (LIVABLE):	115 S.F.
NEW TOTAL RESIDENCE:	1,810 S.F.
(N) ACCESSORY STRUCTURE:	214 S.F.
(E) FRONT PORCH:	252 S.F.

LOT COVERAGE CALC:

LOT SIZE = 7,902 S.F.
 75% OF 7,902 = 5,926 S.F. MAX ALLOWABLE

TOTAL RESIDENCE (EXISTING + ADDITION):	1,810 S.F.
(N) ACCESSORY STRUCTURE:	214 S.F.
VEHICULAR USE AREA:	480 S.F.
TOTAL LOT COVERAGE:	2,504 S.F. < 5,926 S.F. THEREFORE OK.

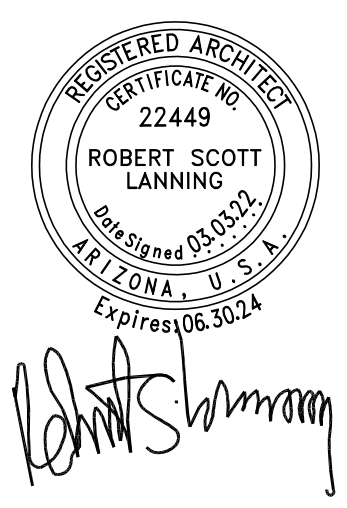
DEFERRED SUBMITTALS

_PRE-ENGINEERED TRUSSES

SHEET INDEX

- A-0 SITE PLAN
- A-1 DEMO PLAN, FLOOR PLAN
- A-2 ELEVATIONS
- A-3 ELEVATIONS

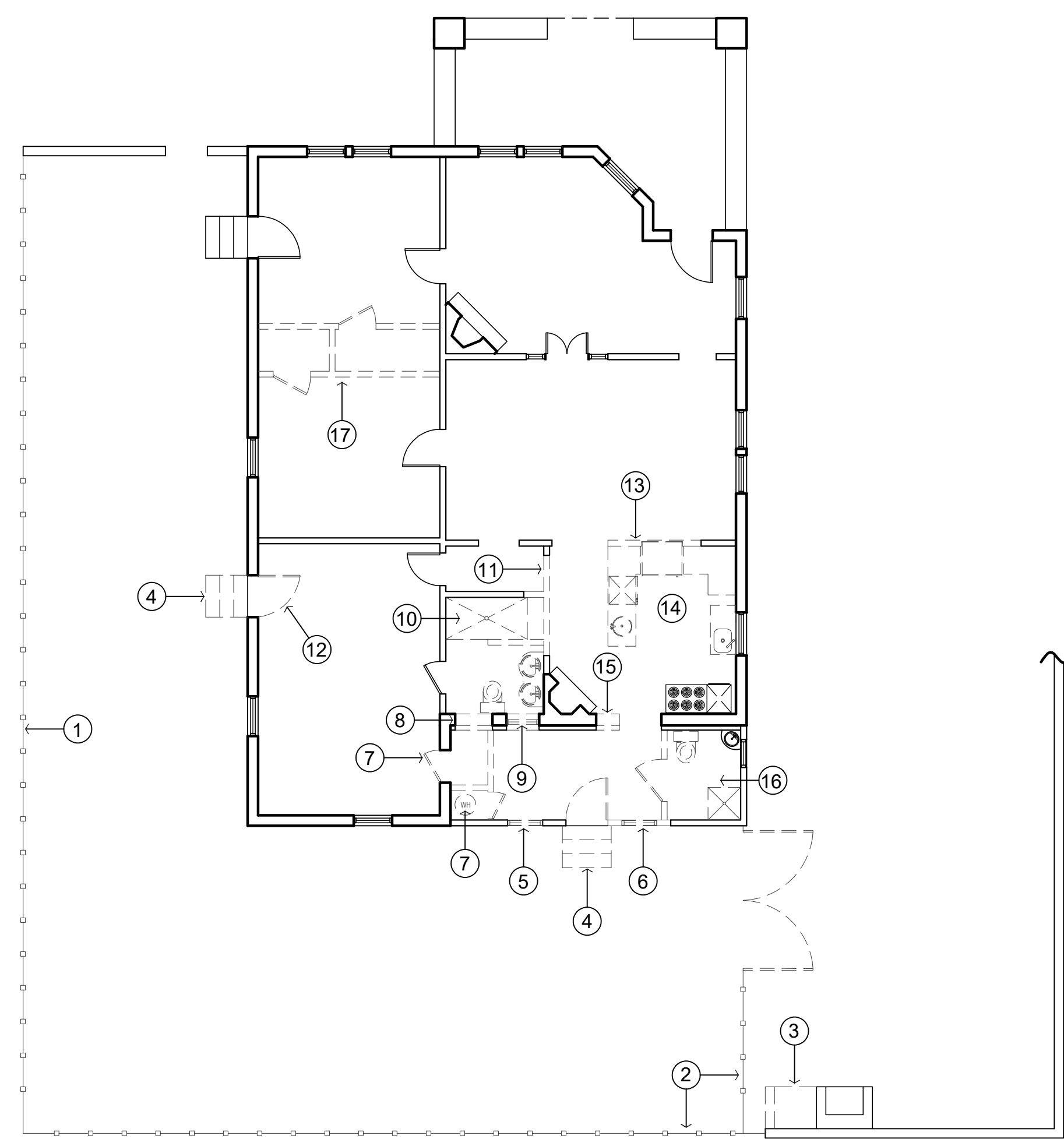
Residential Remodel and Addition
 Israel Navarette
 136 W. Simpson St.
 Tucson, AZ 85701



lanning architecture
 1202 E Broadway suite 104
 Tucson AZ 85719
 520.792.0265

03.03.22 date
 _____ revised
 _____ revised
 _____ revised

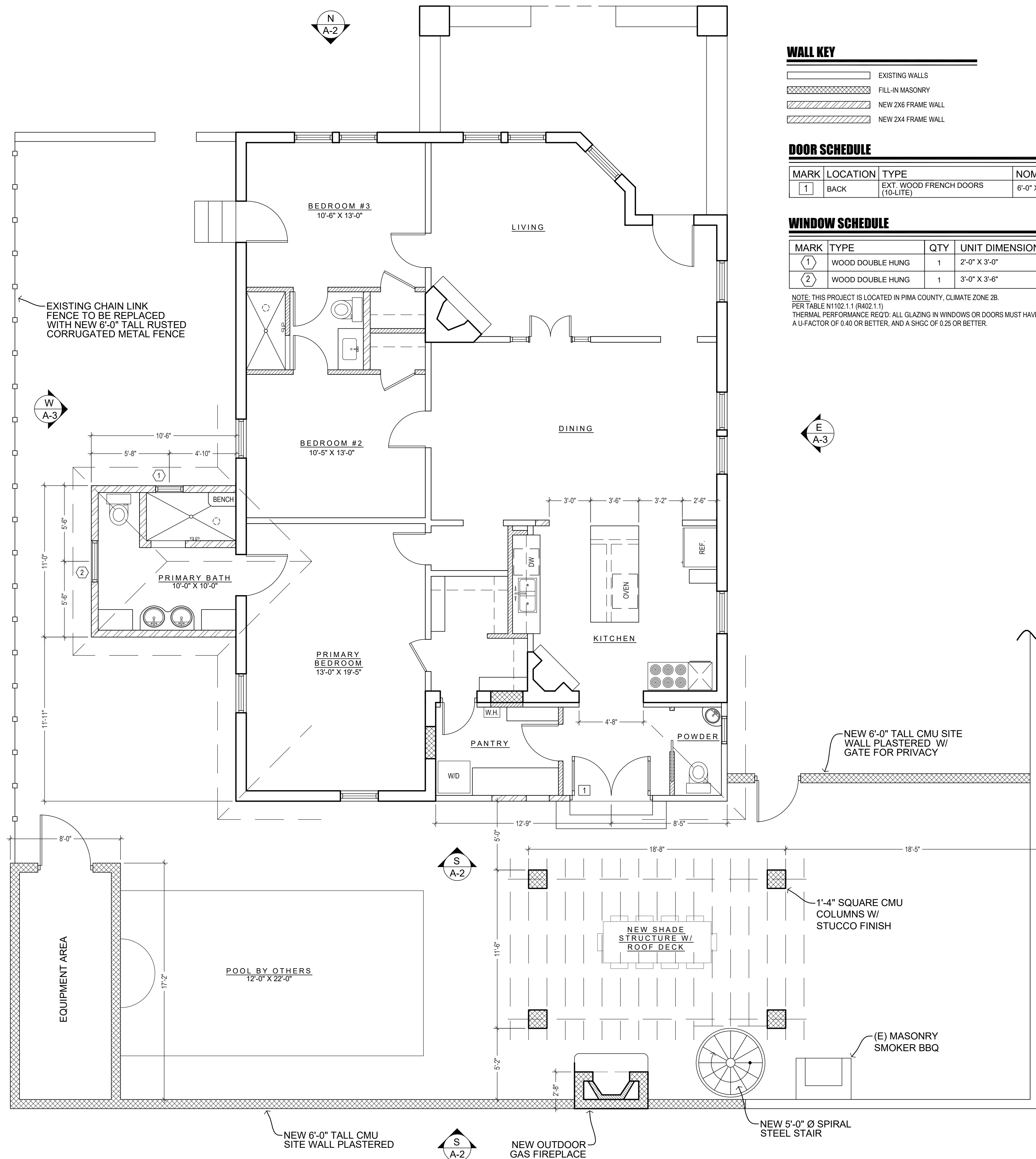
A-0
 site plan



DEMO PLAN
SCALE: 1/8" = 1'-0"

DEMO KEYNOTES

1. EXISTING CHAIN LINK FENCE TO BE REPLACED WITH NEW RUSTED CORRUGATED STEEL FENCE. RE-USE EXISTING FENCE POSTS IF POSSIBLE.
2. REMOVED EXISTING CHAIN LINK FENCE AND VEHICLE ACCESS GATE AS DEPICTED.
3. PARTIALLY DEMO EXISTING MASONRY SITE BUILT SMOKER BBQ.
4. REMOVE CONCRETE STEPS. IF PRACTICAL, STEPS CAN BE ABANDONED IN PLACE AT NEW ADDITION.
5. REMOVE EXISTING WINDOW. OPENING IN FRAME WALL TO BE FILLED-IN.
6. REMOVE EXISTING DOOR, WINDOW, AND FRAME WALL FOR NEW PAIR OF FRENCH DOORS PER PLAN. SEE FRAMING PLAN FOR NEW HEADER.
7. REMOVE EXISTING CLOSETS. EXISTING WATER HEATER TO BE REPLACED WITH NEW TANK-LESS WATER HEATER.
8. FORMER WINDOW TO BECOME NEW DOORWAY. REMOVE CABINET AND WALL BELOW.
9. EXISTING WINDOW IN MASONRY WALL TO BE REMOVED OR ABANDONED IN PLACE. OPENING TO BE FILLED-IN.
10. EXISTING BATHROOM TO BE DEMOLISHED. CAP AND LABEL ALL PLUMBING AND ELECTRICAL. EXISTING SINK TO BE RE-USED IN NEW BATHROOM ADDITION.
11. REMOVE EXISTING WALL FOR NEW KITCHEN CABINET SPACE. FIELD DETERMINE IF SHORING IS NECESSARY.
12. EXISTING EXTERIOR DOOR TO BE REPLACED WITH NEW INTERIOR DOOR.
13. WALL BETWEEN KITCHEN AND DINING ROOM TO BE PARTIALLY REMOVED. FIELD DETERMINE IF SHORING IS NECESSARY. SEE FRAMING PLAN FOR MORE INFORMATION.
14. EXISTING KITCHEN TO BE DEMOLISHED AS DEPICTED. CAP AND LABEL ALL PLUMBING AND ELECTRICAL. HISTORIC OVEN/STOVE TO REMAIN.
15. EXISTING MASONRY OPENING TO BE MADE LARGER. SEE FRAMING PLAN FOR NEW RETRO-FIT STEEL LINTEL.
16. EXISTING FULL BATH TO BE REMODELED INTO A HALF-BATH. EXISTING CORNER SINK TO REMAIN.
17. EXISTING CLOSETS TO BE DEMOLISHED. FIELD DETERMINE IF SHORING IS NECESSARY.



WALL KEY

	EXISTING WALLS
	FILL-IN MASONRY
	NEW 2X6 FRAME WALL
	NEW 2X4 FRAME WALL

DOOR SCHEDULE

MARK	LOCATION	TYPE	NOM. DIMENSIONS	NOTES
1	BACK	EXT. WOOD FRENCH DOORS (10-LITE)	6'-0" X 8'-0"	TEMPERED GLASS

WINDOW SCHEDULE

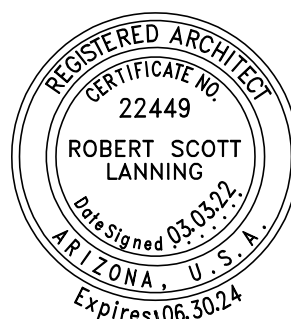
MARK	TYPE	QTY	UNIT DIMENSIONS	HEAD HT.	NOTES
1	WOOD DOUBLE HUNG	1	2'-0" X 3'-0"	± 7'-3" A.F.F.	TEMPERED GLASS
2	WOOD DOUBLE HUNG	1	3'-0" X 3'-6"	± 7'-3" A.F.F.	TEMPERED GLASS

NOTE: THIS PROJECT IS LOCATED IN PIMA COUNTY, CLIMATE ZONE 2B. PER TABLE N1102.1.1 (R402.1.1) THERMAL PERFORMANCE REQ'D: ALL GLAZING IN WINDOWS OR DOORS MUST HAVE A U-FACTOR OF 0.40 OR BETTER, AND A SHGC OF 0.25 OR BETTER.

FLOOR PLAN
SCALE: 1/4" = 1'-0"

Residential Remodel and Addition
Israel Navarette

136 W. Simpson St.
Tucson, AZ 85701

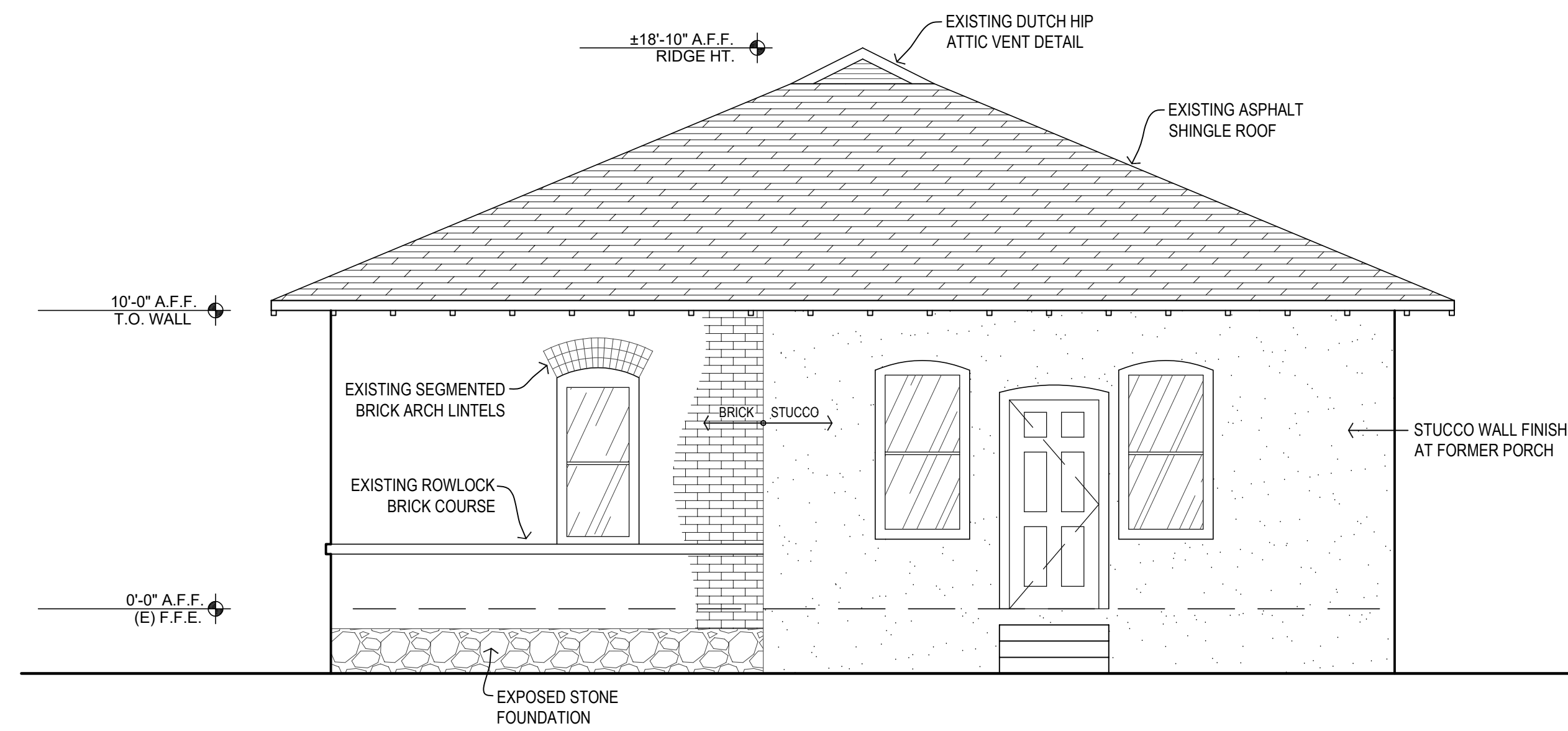


lanning architecture

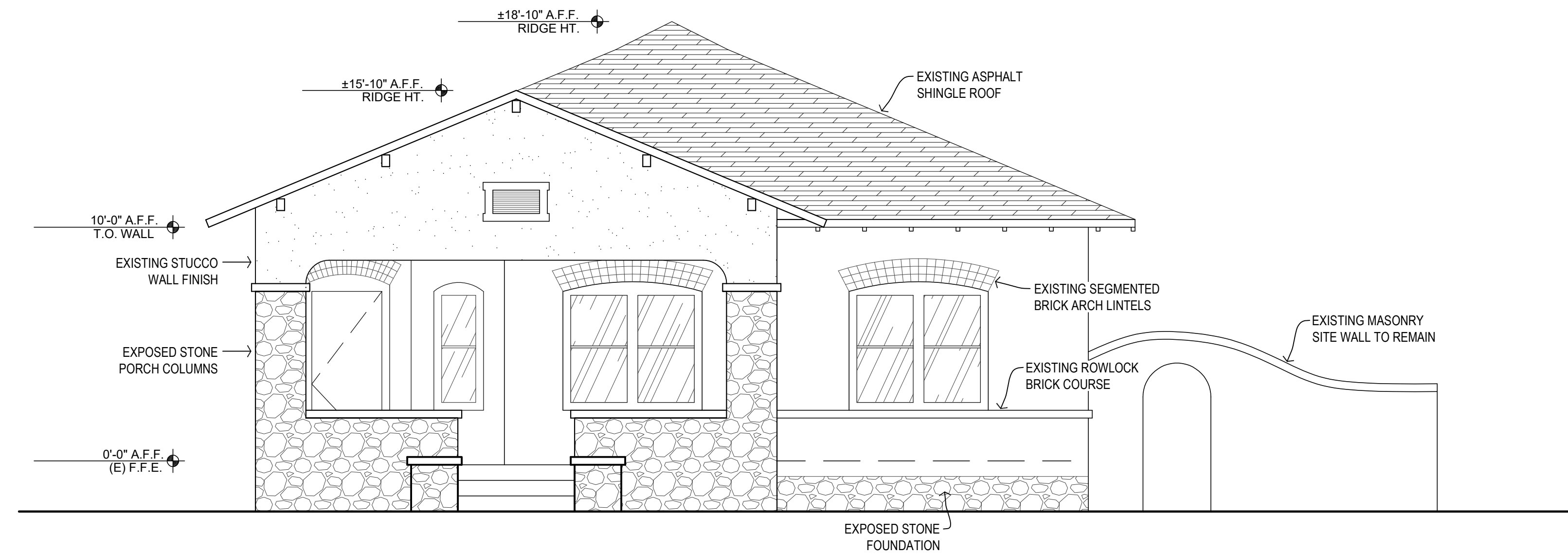
1202 E Broadway suite 104
Tucson AZ 85719
520.792.0265

03.03.22 date
revised
revised
revised

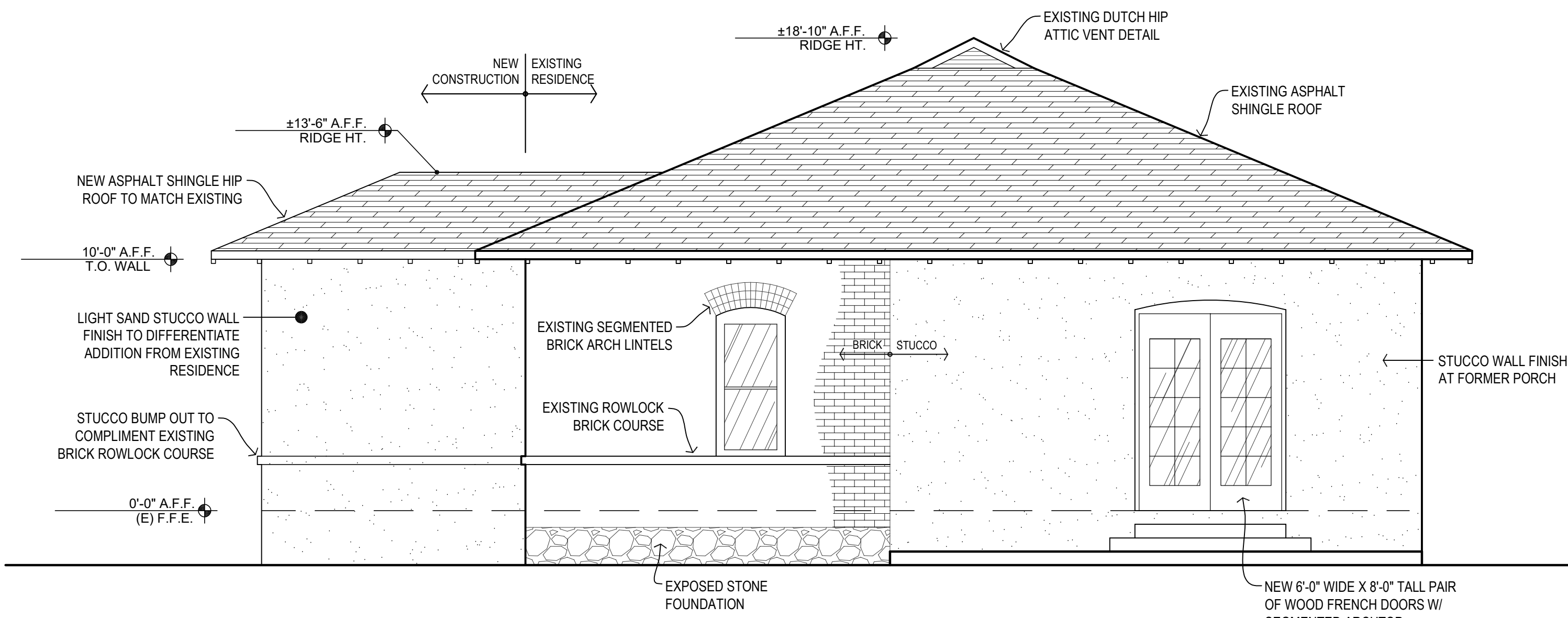
A-1
demo fplan



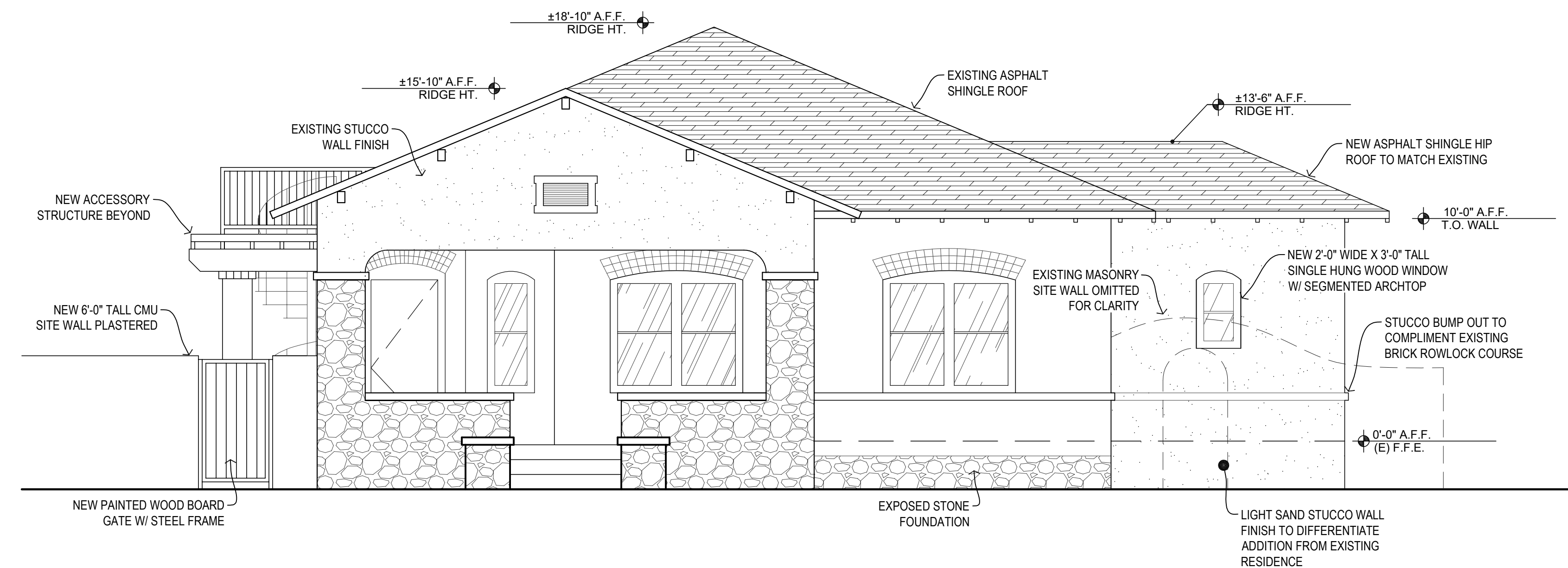
S EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



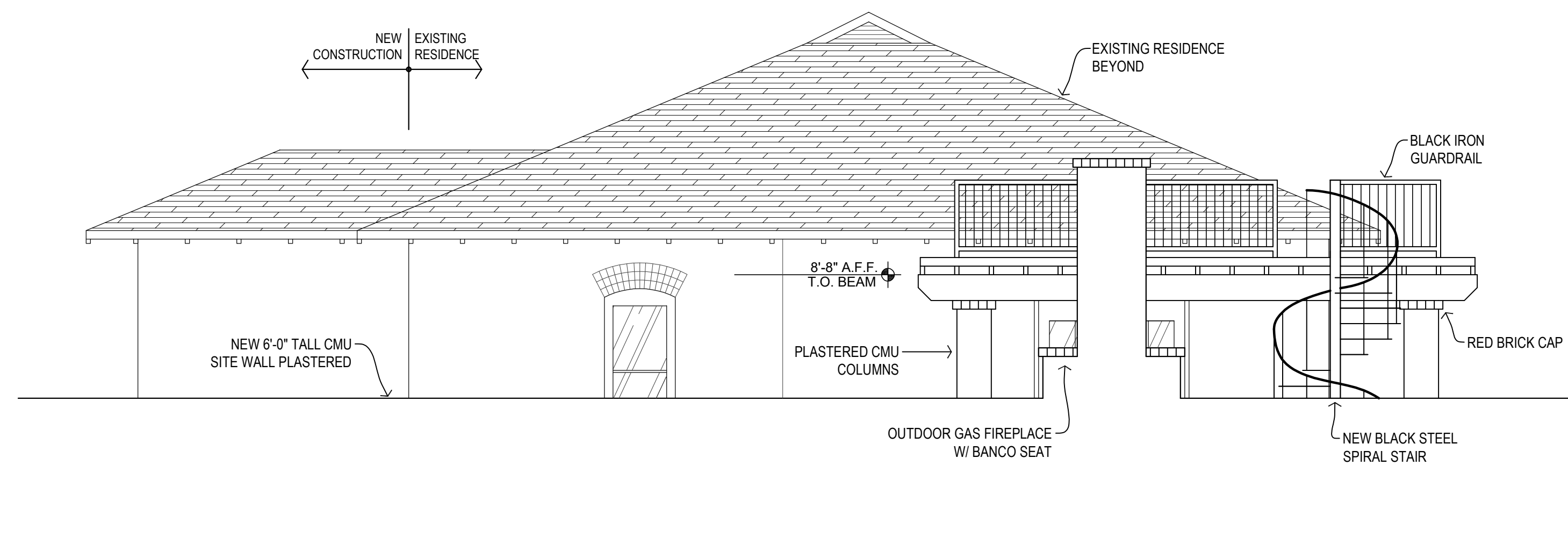
N EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



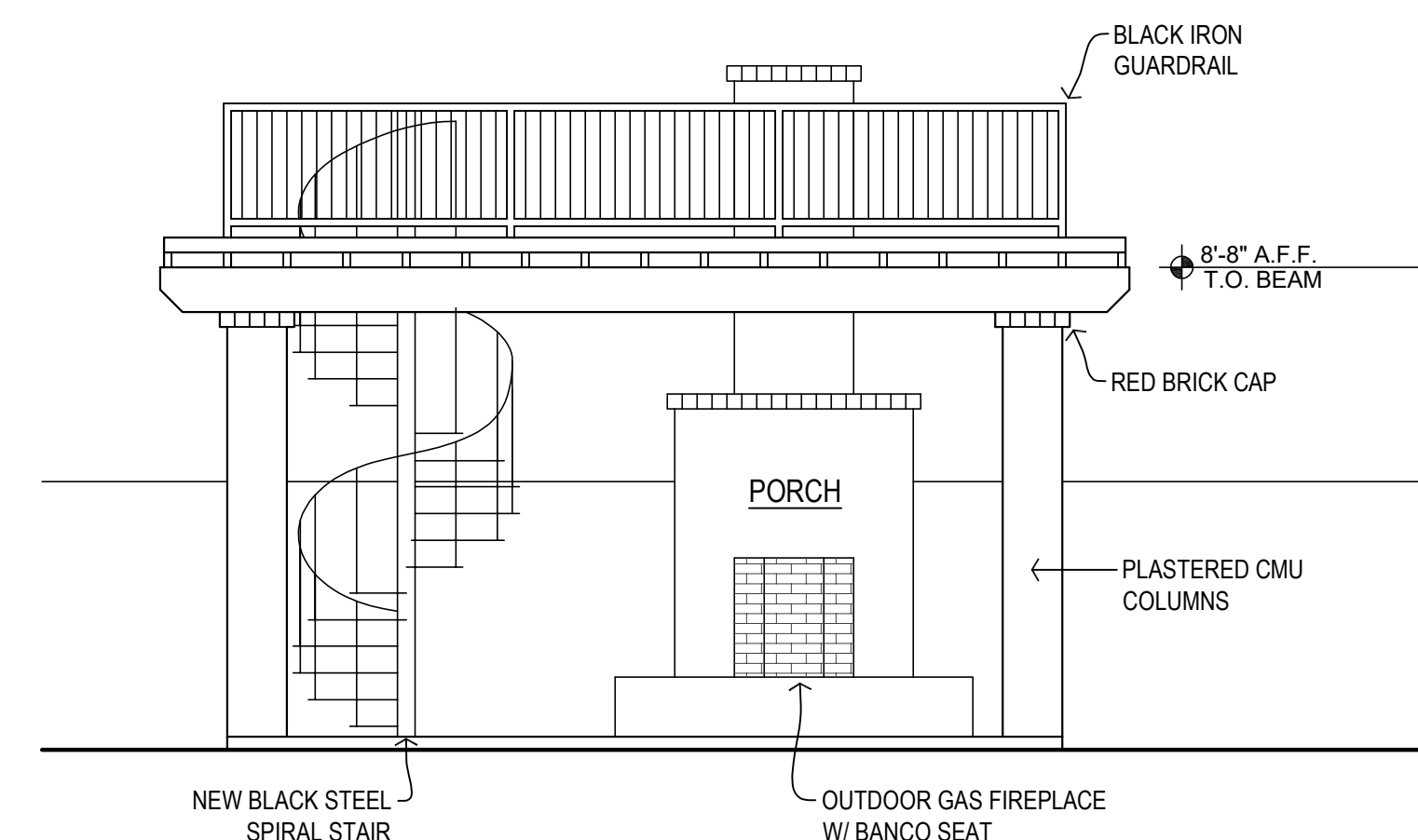
S PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



N PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



S SOUTH ELEVATION accessory structure
SCALE: 1/4" = 1'-0"



N NORTH ELEVATION accessory structure
SCALE: 1/4" = 1'-0"

Residential Remodel and Addition
Israel Navarette

136 W. Simpson St.
Tucson, AZ 85701

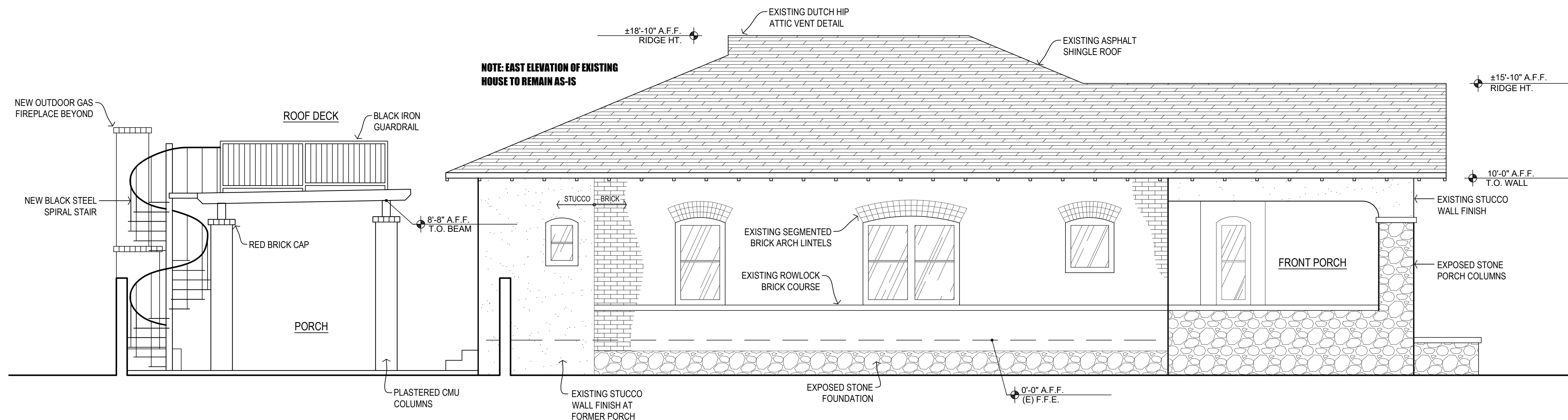


Robert Scott Lanning

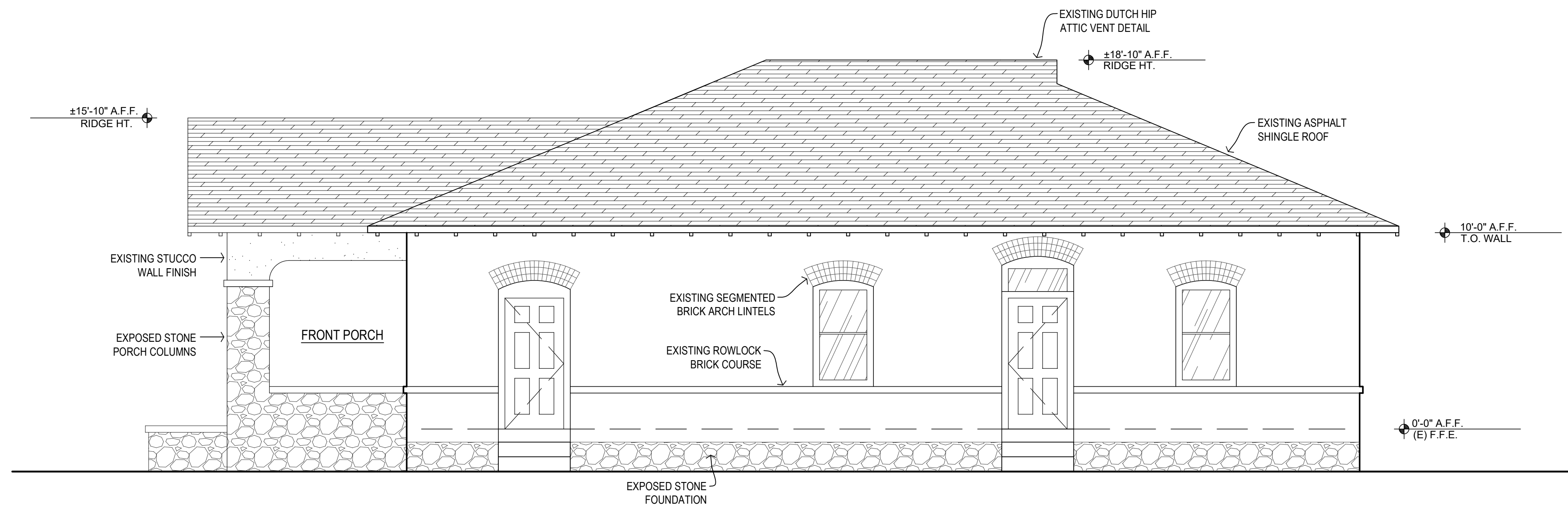
lanning architecture
1202 E Broadway suite 104
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03.03.22 date
revised
revised
revised

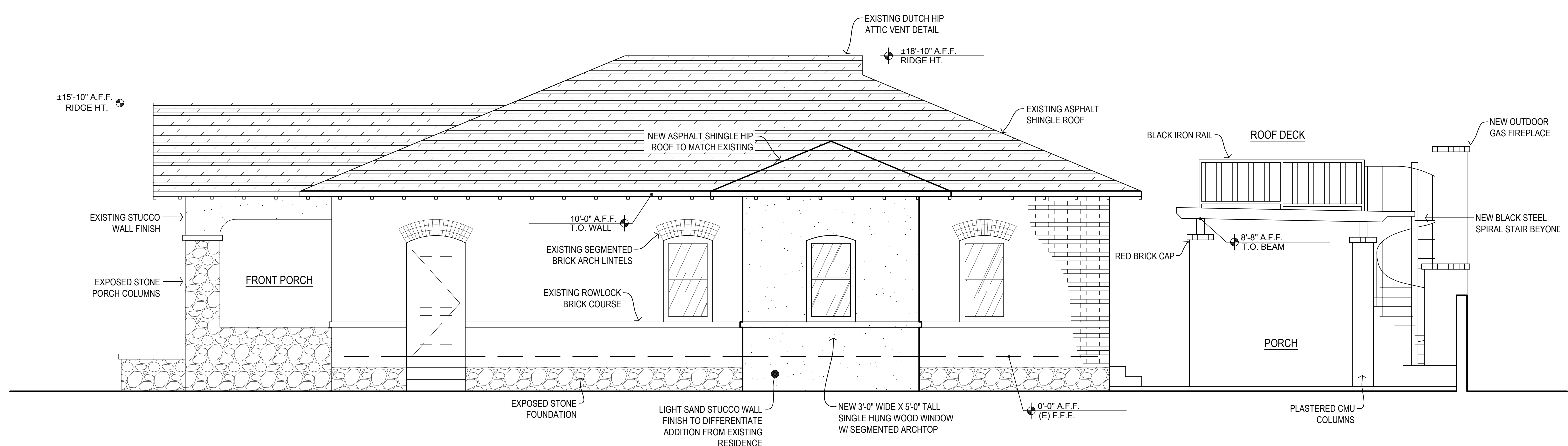
A-2
ELEVATIONS



E EAST ELEVATION HOUSE TO REMAIN AS-IS
SCALE: 1/4" = 1'-0"

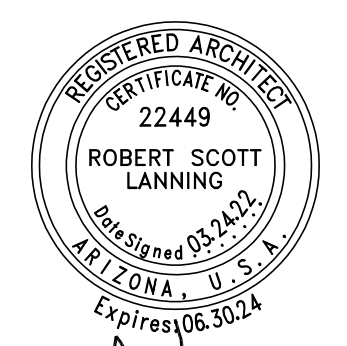


W EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



W PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

Residential Remodel and Addition
Israel Navarette
136 W. Simpson St.
Tucson, AZ 85701



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A-3
ELEVATIONS