



# HISTORIC PRESERVATION REVIEW APPLICATION

Date Submitted: \_\_\_\_\_ PDS Activity Number: \_\_\_\_\_

HPZ Case Number: \_\_\_\_\_

Property Development Name: 844 S 4th Ave

Property Address: 844 S 4th Ave

Pima County Assessor Parcel Number(s): 117-08-0890

HPZ:  Armory Park  Barrio Historico  El Presidio  Fort Lowell  West University

Applicant Name: Bill Macken  Owner  Architect/Designer  Other

Applicant Address: 825 N NORTON AVE

City/State/Zip: TUCSON AZ 85719

Phone: 520 664 4847 Email: bill@workerincorporated.com

Property Owner Name: MIKE + CHRISTINE WILKE

Property Owner Phone: 520-369-9663

Property Owner Email: CV.Wilke@gmail.com

Description of Use (if Resident Artisan): \_\_\_\_\_

Signature of Owner: \_\_\_\_\_

Signature of Applicant (if not owner): *Bill Macken*

PROPOSED NEW CONSTRUCTION or ALTERATION  
BUILDING ADDITION + ACCESSORY STRUCTURE

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



## HISTORIC PRESERVATION REVIEW APPLICATION

### Site Plan and Elevations

- Plans must be dated.
- Include the proposed layout of all structures and other improvements including: driveway, pedestrian ways, existing landscape features, proposed landscape areas, walls and fences, off-street parking and loading areas.
- Indicate the location of property lines, public right-of-ways, property entrances and exits, direction of traffic flow in and out of the off-street parking and loading areas, location of each parking space, each loading berth, and areas for turning and maneuvering vehicles.
- Plans and elevations must be drawn or sketched to scale with relevant dimensions labeled.
- Include specifications as to type, color and texture of exterior of proposed structures.
- Interior floor plans are not required for historic design review unless they show features that will be visible from the exterior.

### Development Zone

- On aerial photograph, label subject parcel and all outline all parcels within development zone.

### Signs

- Include a sign plan, drawn to scale showing the location, size design, materials, color, lettering and methods of attachment and illumination.

All projects must **FIRST** be submitted for site review at the PDSD, 1<sup>st</sup> floor Zoning Review counter, 201 North Stone Avenue (791-5550). PDSD staff will review the application and identify all portions of the UDC with which compliance is required. The applicant will be provided with a written report identifying any additional requirements.

If historic design review is required, contact Lead Planner Michael Taku (520-837-4963) to initiate the process.

.....  
I HAVE RECEIVED ALL RELATED DOCUMENTATION TO THIS "HISTORIC PRESERVATION ZONE" APPLICATION, SEC 5.8 OF THE CITY OF TUCSON UNIFIED DEVELOPMENT CODE, TECHNICAL STANDARD 9-02 0.0 AND DESIGN REVIEW GUIDELINES FOR THE HPZ TO WHICH THIS APPLICATION APPLIES.

Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

4.17.2019

# HPZ Application Cover Sheet and Checklist

Planning & Development Services Department, City of Tucson

HPZ Case No. \_\_\_\_\_ Date Accepted: \_\_\_\_\_

Activity No. \_\_\_\_\_ Site Address: 844 S 5th Ave

HPZ:  Armory Park     Barrio Historico     El Presidio     Fort Lowell     West University

Historic Status:  Contributing     Non-Contributing     Vacant

Applicant Name: BILL MACKESY     Owner     Architect/Designer     Other:

Owner (if different): MIKE + CHRISTINE WILKE

Brief Description of Proposed Work: BUILDING ADDITION + ACCESSORY STRUCTURE

Type of Review:  Full     Minor     Rio Nuevo Area     Infill Incentive District

Development Zone:  Interior Lot     Corner Lot     Historic District Boundary Lot

HZAB and/or PRS courtesy review(s) conducted prior to application submission?  Yes     No

HZAB Review Date(s): COURTESY IN FEB 2019

PRS Review Date(s): THIS PROJECT WAS REVIEWED AND APPROVED IN 2019: HPZ-19-41. THE APPROVAL HAS EXPIRED AND THE CONSTRUCTION MATERIALS OF THE PROPOSED GARAGE ARE DIFFERENT FROM PREVIOUS APPROVAL.

Minor	Major	Required Materials
<input type="checkbox"/>	<input type="checkbox"/>	Fee
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed and signed HPZ Application form
<input type="checkbox"/>	<input type="checkbox"/>	Final UDC Compliance Review Zoning comments as issued by PDSD staff
<input type="checkbox"/>	<input type="checkbox"/>	Description and photographs* of type, color and texture of proposed materials
<input type="checkbox"/>	<input type="checkbox"/>	Brief statement of proposal on separate 8½" x 11" pages, outlining scope of work subject to design guidelines in UDC 5.8.9 <u>ON SITE PLAN</u> .
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dated site plan and elevations, large size, drawn to scale and folded to city standard*
<input type="checkbox"/> 3 hard copies & 1 PDF	<input checked="" type="checkbox"/> 10 hard copies & 1 PDF	Dated site plan and elevations (same as above) at 11" x 17"
<input type="checkbox"/> 1 hard copy & 1 PDF	<input checked="" type="checkbox"/> 10 hard copies & 1 PDF	Aerial photograph* of property with development zone drawn and labeled, printed on 8½" x 11" page. All buildings footprints within the development zone must be shown and labeled to indicate contributing/non-contributing historic status.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Arizona Historic Property Inventory Form (if available)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Photographs* of the project site and surrounding area
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Photographs* of building elevations (north, south, east, west) <input type="checkbox"/> Not applicable

\*All photographs must be in color and at least 4" x 6" in size with the address and captions explaining relevance to project.

**Artisan HPZ Review**  
 50' Notice Procedure  
 Fee for Notice Procedure

*Incomplete or illegible applications will not be accepted.*



CITY OF  
TUCSON

Historic  
Preservation  
Office (HPO)

Planning &  
Development  
Services  
Department  
(PDSD)

July 5, 2019

Bill Mackey  
Worker, Inc.  
825 N Norton Avenue  
Tucson, AZ 85719

**Subject: HPZ 19-41 Wilke Residence- Rehabilitation of historic house. Remove rear porch. Construction of rear detached addition and rear detached two car garages- 844 S.5<sup>th</sup> Avenue- (Armory Park Historic Preservation Zone)**

Dear Mr. Mackey:

The proposed scope of work was reviewed by the Armory Park Historic Zone Advisory Board (APHZAB) on May 21, 2019. The Tucson-Pima County Historical Commission, Plans Review Subcommittee (TPCHC, PRS) conducted their review on June 20, 2019. Both the Advisory Board and the Subcommittee made recommendations to the Planning and Development Services Department Director.

Pursuant to provisions of Section 5.8 of the City of Tucson Unified Development Code, the application has been:

**APPROVED** as shown on the submitted plan and drawings subject to the following conditions:

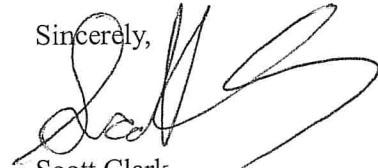
- 1) The contributing rear porch shall be demolished due to its condition and its demolition will not adversely affect the historical character of the property;
- 2) The two restored windows openings on the principal contributing structure shall conform to their original size and proportions and match other existing openings, details and configurations, and these windows shall be wood, double hung to match existing;
- 3) The gable roof material shall be standing seam metal and the translucent panels shall not be recommended as it is not a compliant material in the HPZ;
- 4) The detached carport shall not be taller than twelve (12') feet;
- 5) Building setbacks and height for the detached accessory garage shall be waived as being compatible and consistent with other accessory structures in the development zone;
- 6) All windows and doors details shall be shown on revised plans;
- 7) A minor review on the west elevation shall be scheduled by staff to review proposed details for window openings, doors, gable treatment and other proposed changes to the project;
- 8) All windows and doors shall be wood as shown on submitted elevations and in compliance with Armory Park Historic District Design Guidelines;
- 9) Provide three (3) copies of working drawings to the Historic Preservation Office at the time of permit sign-off, and
- 10) Obtain the appropriate permits within one (1) year of the Director's decision.

July 5, 2019

The decision of the Planning & Development Services Department (PDSD) Director may be appealed by a party of record to the Mayor and Council by filing the appeal with the City Clerk's Office within **Fourteen (14) days** of the effective date of the decision (the date of this decision letter) and paying the appeal fee at the PDSD on the same day the appeal is filed. Complete appeal materials must be filed with the City Clerk within thirty (30) days of the effective date of the decision. No building permit will be issued prior to the expiration of the appeal period on **July 19, 2019**. The issuance of a building permit by Planning & Development Services will be based on compliance with all applicable Zoning, Building Code, and Fire Code requirements.

Changes to the approved plans may require additional Historic Preservation Zone Development review. Contact Michael Taku at 837-4963 to determine the extent of review needed for changes

Sincerely,



Scott Clark  
PDSD Director

SC: MT/ HPZ 19-41

c: Teresita Majewski, Tucson-Pima County Historical Commission, Chair  
Martha McClements, Armory Park Historic Zone Advisory Board, Chair

\*\*\*\*\* **PLEASE NOTE** \*\*\*\*\*  
*Plans MUST be approved by the Zoning Administration PRIOR to submitting for a permit at the Development Services Center. Plans are approved on the 3<sup>rd</sup> floor of Public Works Building, 201 North Stone Avenue. Please call for an appointment with the staff member who has processed your case.*

THIS PROJECT  
844 SOUTH 5TH AVE

18TH ST

19TH ST



6TH AVENUE

ARIZONA AVENUE

5TH AVENUE

SITE AERIAL  
1:100



844 SOUTH 5TH AVENUE  
HPZ PACKAGE  
**G1** SITE AERIAL

THIS PROJECT  
844 SOUTH 5TH AVENUE



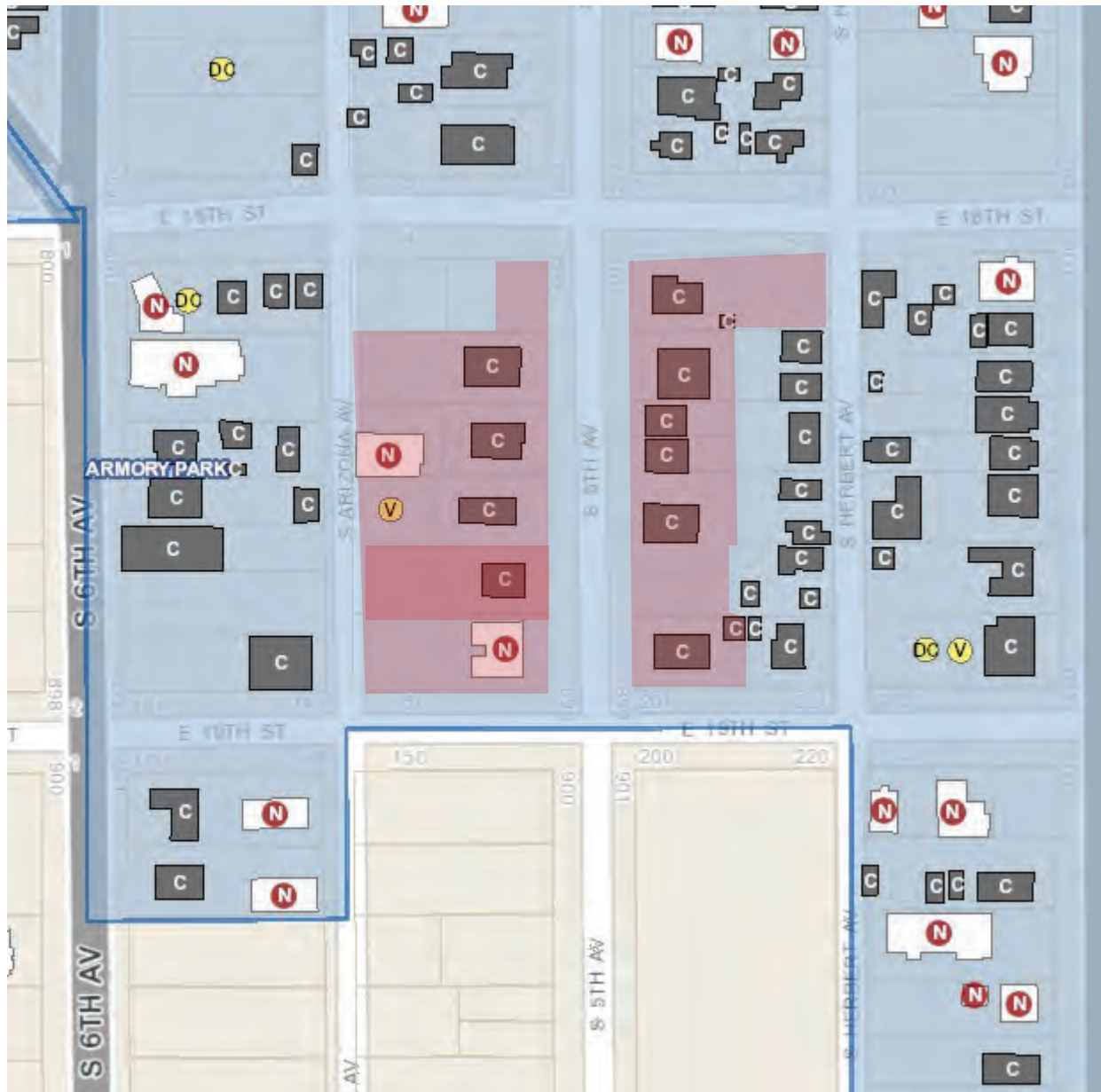
19TH STREET

ARIZONA AVENUE

5TH AVENUE

SITE AERIAL  
1:50





DEVELOPMENT ZONE  
NATIONAL DISTRICT BOUNDARY



DEVELOPMENT ZONE  
LOCAL DISTRICT BOUNDARY





WORKER

WORKER, INC.  
 WORKER ARCHITECTURE PLLC  
 workerincorporated.com  
 520-664-4847  
 BILL MACKEY

14 FEB 2019

expires 9.30.20



844 SOUTH 5TH AVENUE  
 HPZ PACKAGE  
 SITE PHOTOS - EXISTING

**G4**



1 - 803 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



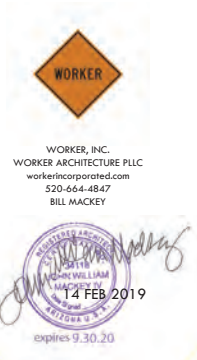
2 - 802 S 5TH AVE  
NON-CONTRIBUTING TO LOCAL DISTRICT



3 - 813 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



4 - 812 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT





5 - 815 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



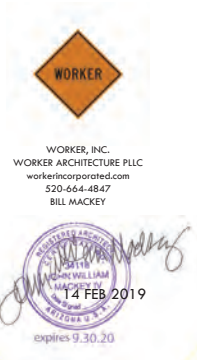
6 - 822 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



7 - 819 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



8 - 828 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT

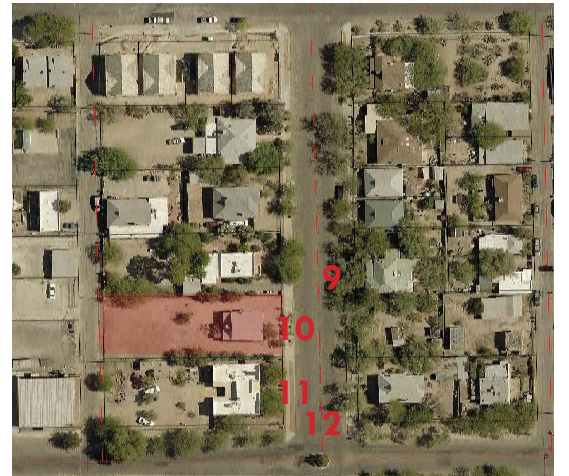




9 - 821 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



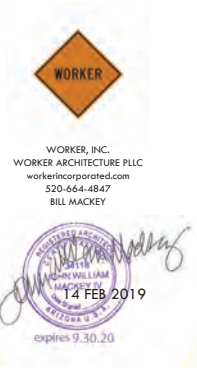
10 - 844 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



11 - 850 S 5TH AVE  
NON-CONTRIBUTING TO LOCAL DISTRICT



12 - 847 S 5TH AVE  
CONTRIBUTING TO LOCAL DISTRICT



844 SOUTH 5TH AVENUE  
HPZ PACKAGE

SITE PHOTOS - EXISTING





13



14



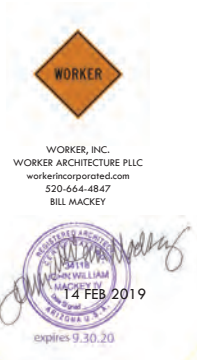
13



15 - 829 S 6TH AVE  
CONTRIBUTING TO NATIONAL DISTRICT



16 - 844 S 5TH AVE BACKYARD  
CONTRIBUTING TO LOCAL DISTRICT



17 - 828 S 5TH AVE BACKYARD  
CONTRIBUTING TO LOCAL DISTRICT



18 - 827 S 6TH AVE  
CONTRIBUTING TO NATIONAL DISTRICT



19 - 820 S ARIZONA AVE  
CONTRIBUTING TO NATIONAL DISTRICT



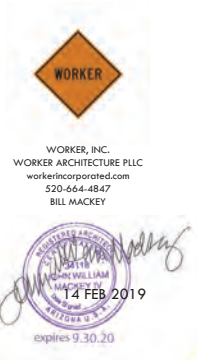
20 - 823 S ARIZONA AVE  
NON-CONTRIBUTING TO NATIONAL DISTRICT



21 - 811 S 6TH AVE  
NON-CONTRIBUTING TO NATIONAL DISTRICT



22 - 812 S 5TH AVE BACKYARD  
CONTRIBUTING TO LOCAL DISTRICT



ARIZONA STATE HISTORIC PROPERTY INVENTORY

SURVEY SITE: ARMORY PARK INVENTORY #: 131-0089-A
CITY: PIMA TOWNSHIP: BLK 14 RANGE: LOT 13 SECTION: 13 BK/DCKT: 5262
PAGE: 320 BLOCK: 131 LEGAL DESCRIPTION: TUC LOT 9

IDENTIFICATION

SURVEY AREA NAME: ARMORY PARK
HISTORIC NAME:
ADDRESS/LOCATION: 844 S 5TH AVE
CITY: TUCSON
TAX PARCEL #: 117-08-089-0
OWNER: RONQUILLO, FERNANDO M. & ISAURA JTRS
OWNER ADDRESS: 844 S 5TH AVE
CITY/ZIP: TUCSON, AZ, 85701
HISTORIC USE: RESIDENCE
PRESENT USE: RESIDENCE
BUILDING TYPE: HOUSE
STYLE: ENGLISH COLONIAL REVIVAL
CONSTRUCTION DATE: 1915 (TAX RECORDS)
ARCHITECT/BLDR: UNKNOWN
INTEGRITY: GOOD
CONDITION: GOOD

SKETCH

DESCRIPTION

STORIES: 1 DIMENSIONS LxW:
STRUCTURAL MATRL: BRICK
FOUNDATION MATRL: STONE & BRICK
WALL SHEATHING: PAINT
APP. ORNA.: SEE NEXT PAGE
ROOF TYPE: MEDIUM GABLE,
ROOF SHEATHING: COMPOSITION SHINGLE,
EAVES TREATMENT: SEE NEXT PAGE
WINDOWS: SEE NEXT PAGE
ENTRY: SEE NEXT PAGE

PORCHES: SEE NEXT PAGE
STOREFRONTS: NO
NOTABLE INTERIOR: UNKNOWN
ALTER. DATES: N/A
DESCRIPTION: SEE NEXT PAGE
OUTBUILDING DATES: N/A
OUTBUILDING DESCRIPTION: NEXT PAGE

NATNL REGIS STAT: CONTRIBUTING
CONTEXT: RESIDENTIAL STREET
SIGNIFICANCE: ARCHITECTURE
HIST. ASSOCS.:
OTHER SURVEYS: X

PHOTO



PHOTO

PHOTO: MAIN STRUCTURE
PHOTOGRAPHER: ZUCKERMAN
DATE: 5/93
VIEW: FULL, LOOKING WEST
NEG. #: ROLL #5, SHOT #8A

ADDITIONAL DESCRIPTION/ANALYSIS: CONTINUED FROM FIRST PAGE...
APPLIED ORNAMENTATION: CHIMNEY(S): SIDE RIGHT, BRICK, SINGLE STACK.
DECORATIVE FISHSCALE SHINGLE IN FRONT GABLE PEDIMENT. WOOD PANEL IN PORCH.
DENTIL TRIM.

EAVES TREATMENT: EAVES: EXPOSED RAFTERS, WOOD, VERGES: PROJECTING,
PEDIMENT, WOOD,

WINDOWS: SEGMENTAL STRUCTURAL OPENING, VOUSSOIRS HEAD TRIM OUTSIDE STRUCTURAL
OPENING, NO SIDE TRIM OUTSIDE STRUCTURAL OPENING, NO WINDOW SILL, PLAIN HEAD
TRIM WITHIN STRUCTURAL OPENING, PLAIN SIDE TRIM WITHIN STRUCTURAL OPENING, TWO
SASHES, WOOD DOUBLE HUNG, 1/1

ENTRY: LOCATED ON CENTER OF FACADE, ENTRY NOT ON FACADE, SEGMENTAL STRUCTURAL
SHAPE, VOUSSOIRS HEAD TRIM OUTSIDE STRUCTURAL OPENING, NO SIDE TRIM OUTSIDE
STRUCTURAL OPENING, WITH FLAT, SINGLE LITE TRANSOM, PLAIN SIDE TRIM INSIDE
STRUCTURAL OPENING, 1-LEAF, 2-PANEL DOOR,

PORCHES: RECESSED PORCH, WITH BRICK? PIERS, FLOOR IS CONCRETE,
REAR ENCLOSED PORCH, W/ VERTICAL T&G V-GROOVE WOOD

ALTERATIONS: FRONT GABLE VENT PLYWOODED. ADDITION. PORCH CLOSED RAILING.

OUTBUILDINGS: VERY LOW SHED STRUCTURE IN REAR: WOOD FRAME & SIDING.
COMMENTS/DEVELOPMENT PLANS/THREATS:

BIBLIOGRAPHY/SOURCES: APNA FILES, ASSESSOR RECORDS

SURVEYOR: N. RUND, K. HARRIS SURVEY DATE: 1/94 DATE FORM COMPLETED: 5/18/94



WORKER, INC.
WORKER ARCHITECTURE PLLC
workerincorporated.com
520-664-4847
BILL MACKEY



expires 9.30.20

844 SOUTH 5TH AVENUE
HPZ PACKAGE

PROPERTY INVENTORY FORM

G11





EAST ELEVATION



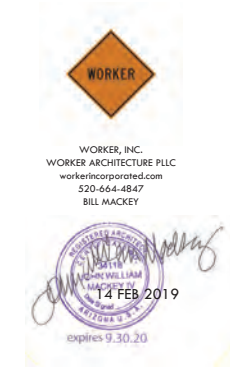
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION





WEST ELEVATION



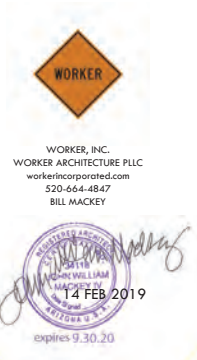
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION





PORCH SUPPORT, NORTHWEST SUPPORT



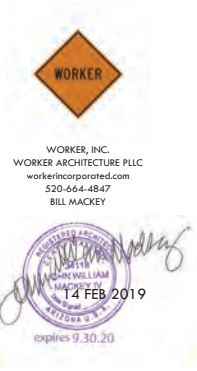
PORCH SUPPORT, SOUTHWEST CORNER



SOUTH ELEVATION, WEST WINDOW



SOUTH ELEVATION, MIDDLE WINDOW



18TH STREET

19TH STREET






NATIONAL BOUNDARY

NATIONAL BOUNDARY  
ARIZONA AVENUE

LOCAL  
BOUNDARY

5TH AVENUE

LOCAL BOUNDARY

-  SUBJECT PARCEL
-  NON-CONTRIBUTING
-  CONTRIBUTING



844 SOUTH 5TH AVENUE  
HPZ PACKAGE

FIGURE GROUND

**G15**

18TH STREET

19TH STREET






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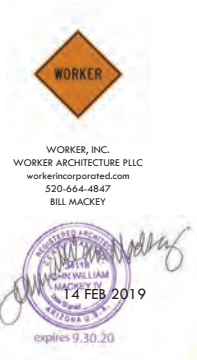
NATIONAL BOUNDARY  
ARIZONA AVENUE

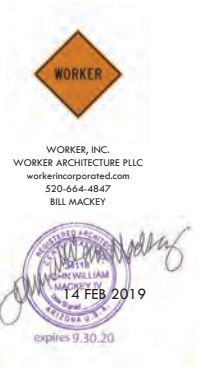
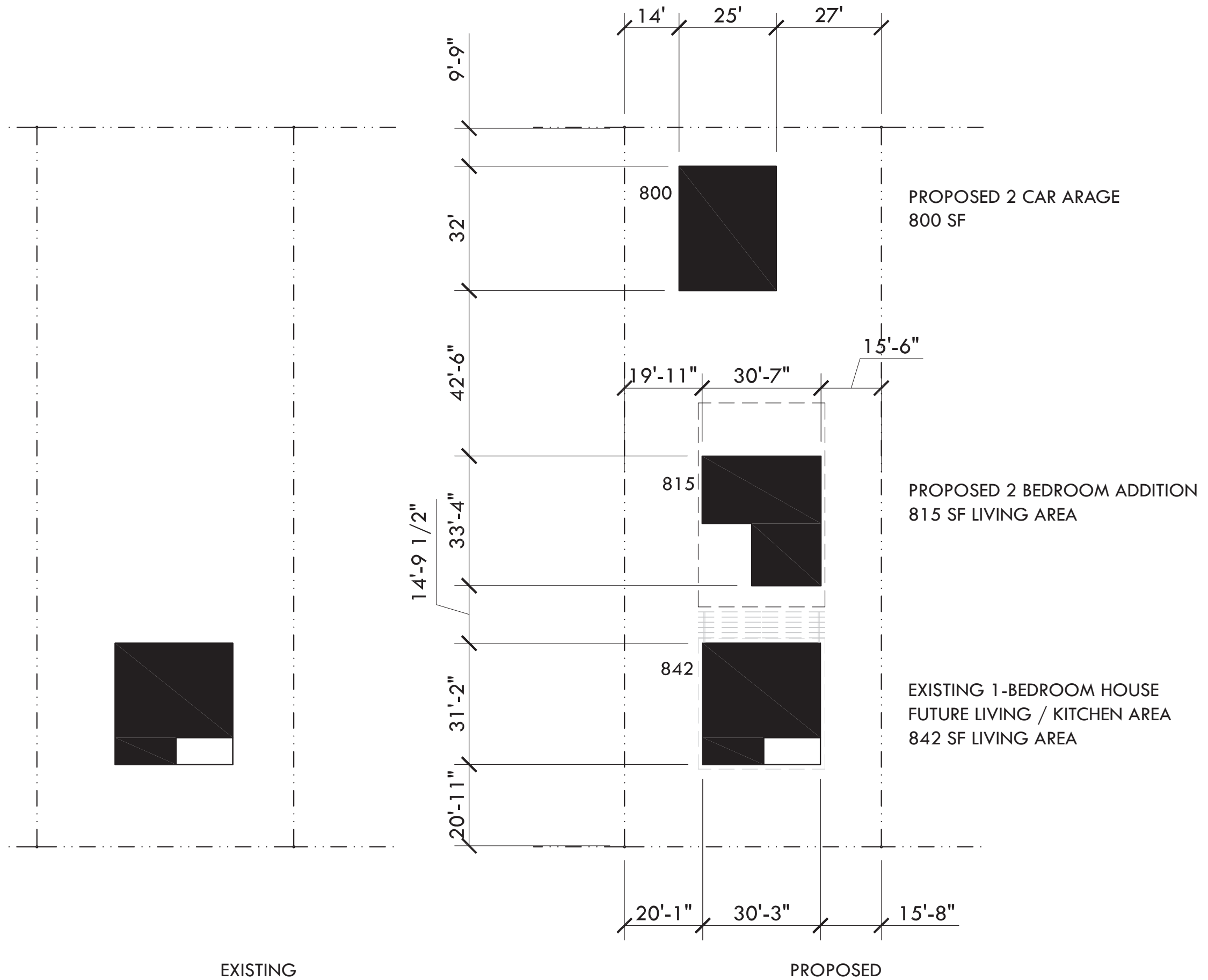
LOCAL  
BOUNDARY

5TH AVENUE

LOCAL AND NATIONAL BOUNDARY

-  SUBJECT PARCEL
-  NON-CONTRIBUTING
-  CONTRIBUTING







736 SOUTH HERBERT - NEW CONSTRUCTION  
RUSTED CORRUGATED FENCE



821 S 5TH AVE - CONTRIBUTING  
STANDING SEAM ROOF



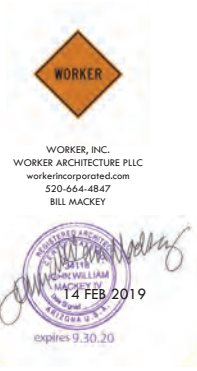
803 S 5TH AVE - CONTRIBUTING  
GALVANIZED CORRUGATED METAL SIDING



827 S HERBERT - CONTRIBUTING  
GALVANIZED CORRUGATED METAL SIDING

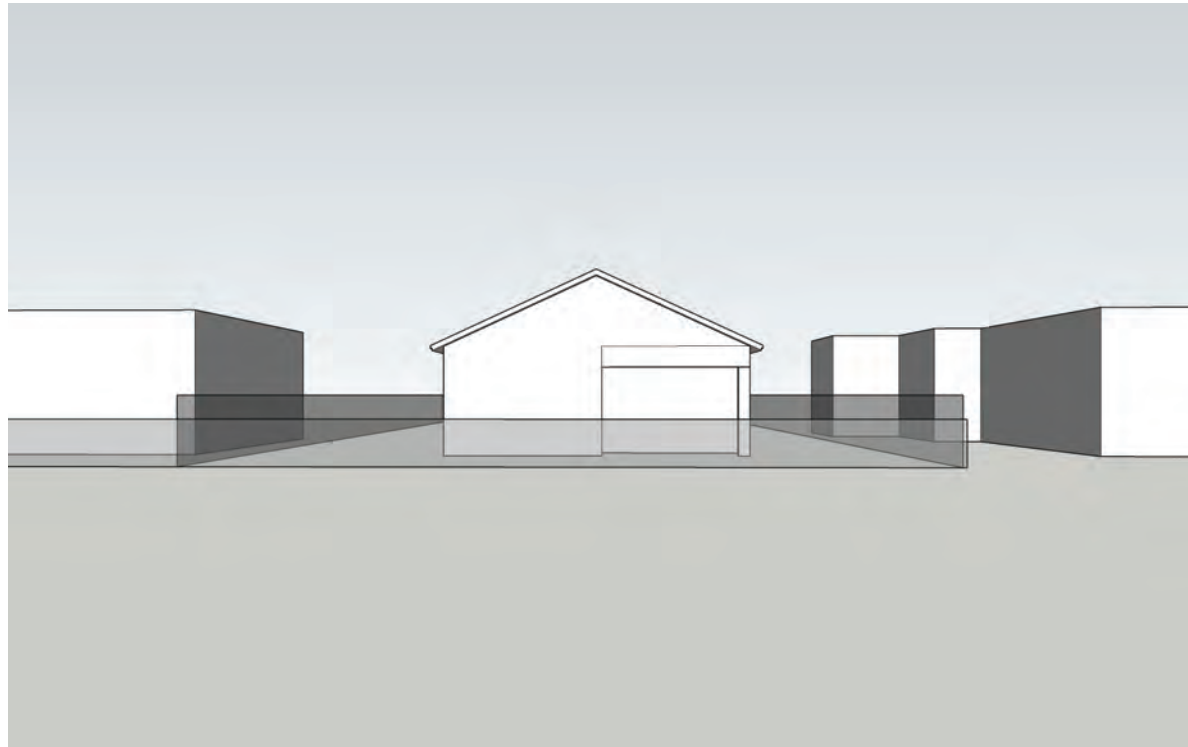
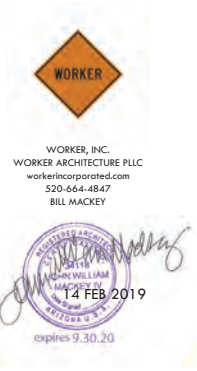


847 S 5TH AVE- CONTRIBUTING  
GALVANIZED CORRUGATED METAL SIDING



844 SOUTH 5TH AVENUE  
HPZ PACKAGE  
MATERIAL

**G18**



VIEW FROM 5TH AVENUE LOOKING WEST - BEFORE



VIEW FROM 5TH AVENUE LOOKING WEST - AFTER



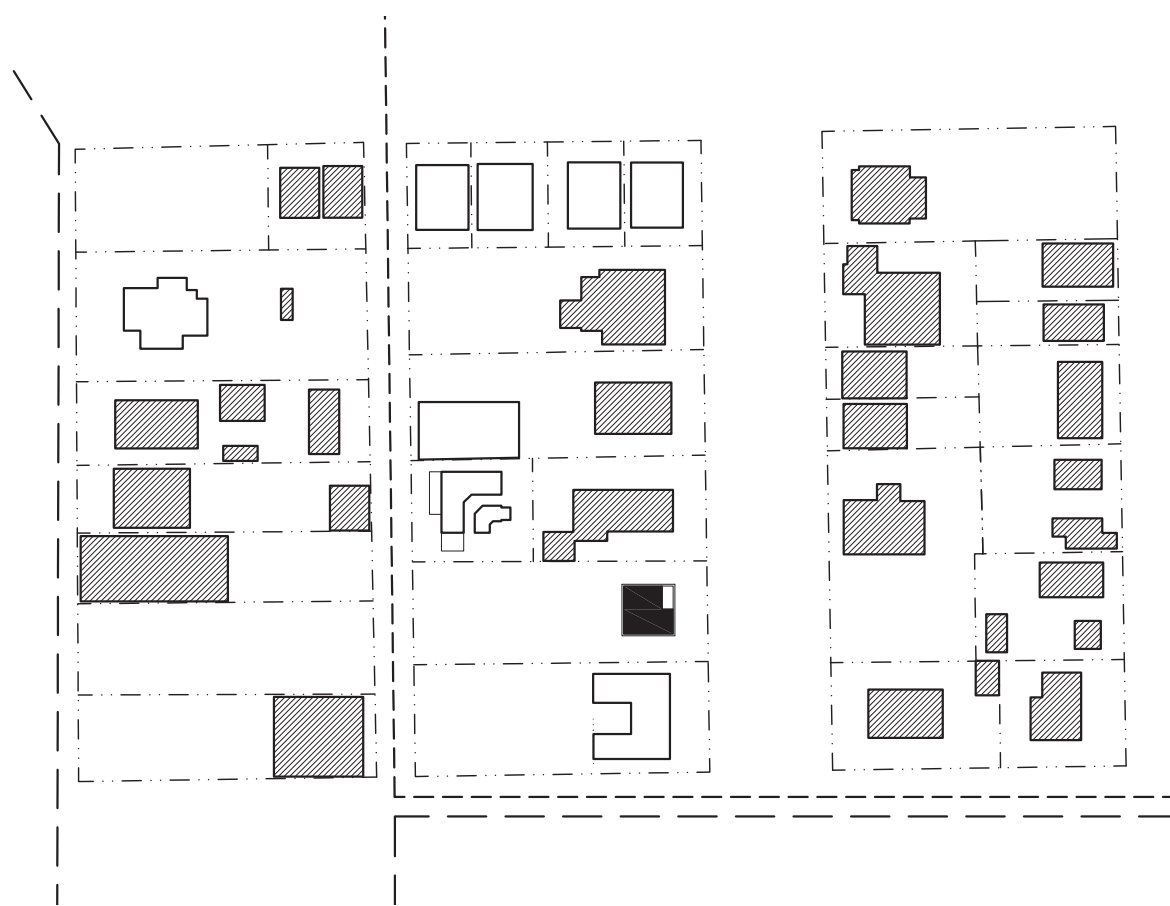
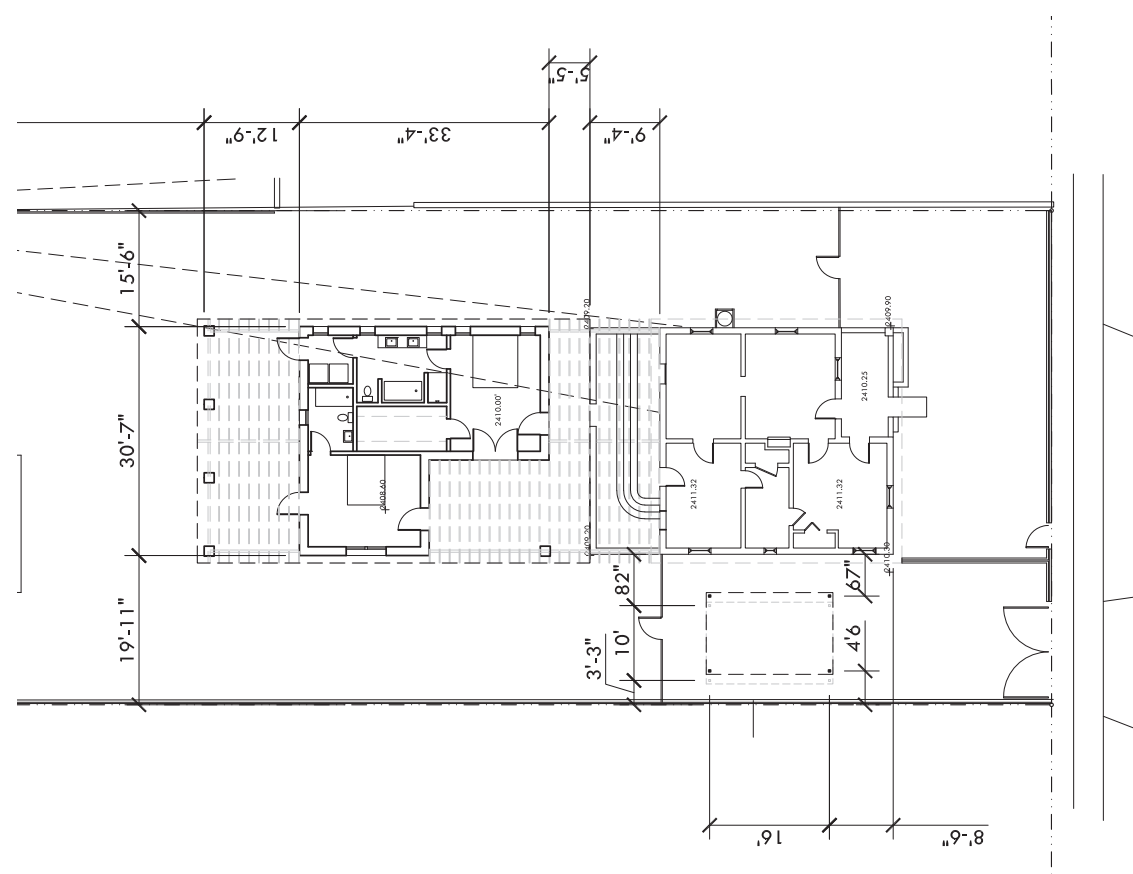


FIGURE GROUND EXISTING - REVISION IS ADDING 827 S ARIZONA AVENUE  
(PROPERTY JUST TO NORTH OF SUBJECT PROPERTY)



SITE PLAN - REVISION IS MOVING CARPORT 15" TO NORTH  
(FROM DISCUSSIONS WITH NEIGHBORS TO SOUTH)

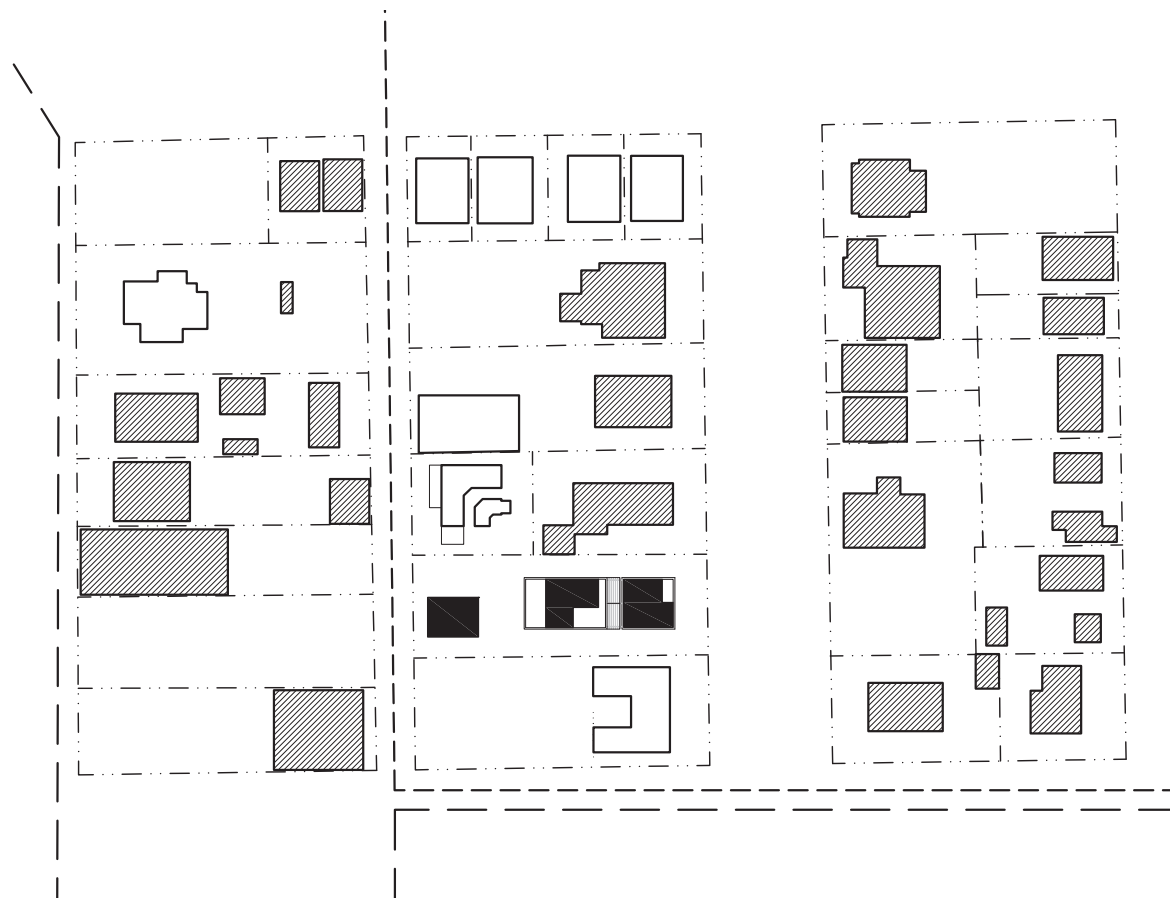


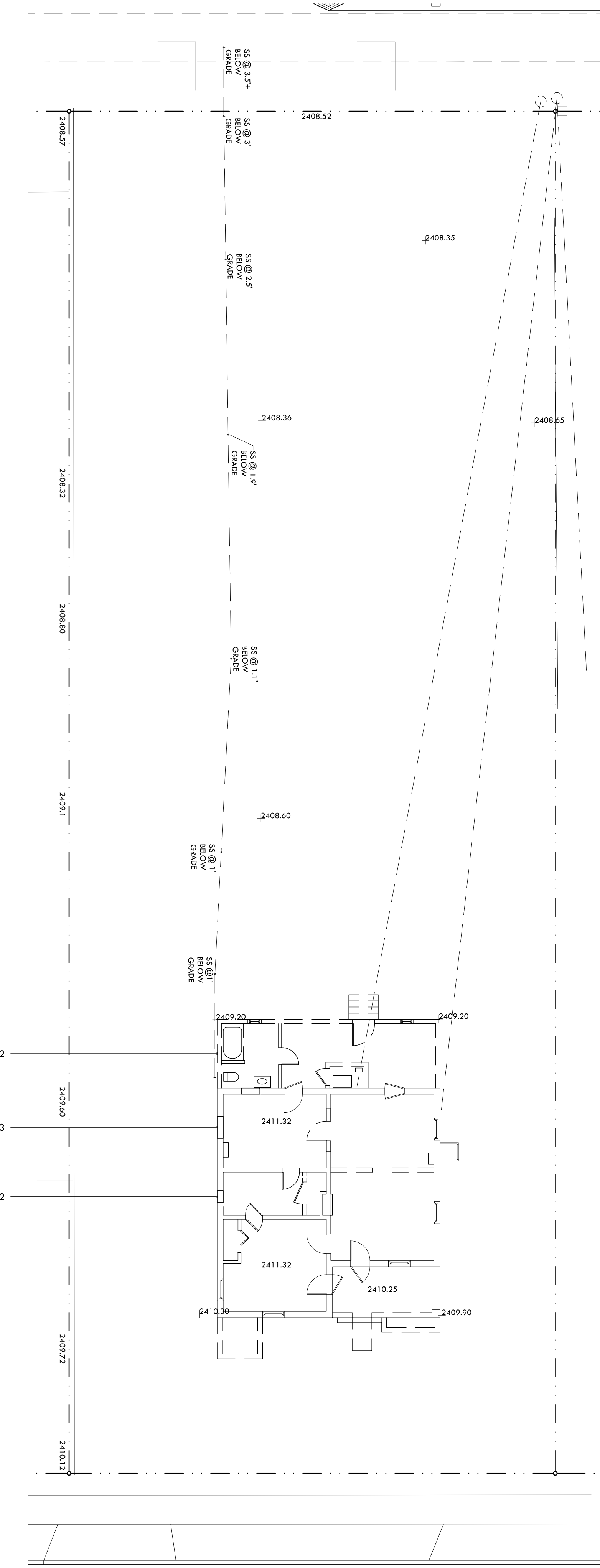
FIGURE GROUND PROPOSED - REVISION IS ADDING 827 S ARIZONA AVENUE  
(PROPERTY JUST TO NORTH OF SUBJECT PROPERTY)



844 SOUTH 5TH AVENUE  
HPZ PACKAGE

FIGURE GROUND / CARPORT REVISION

**G20**



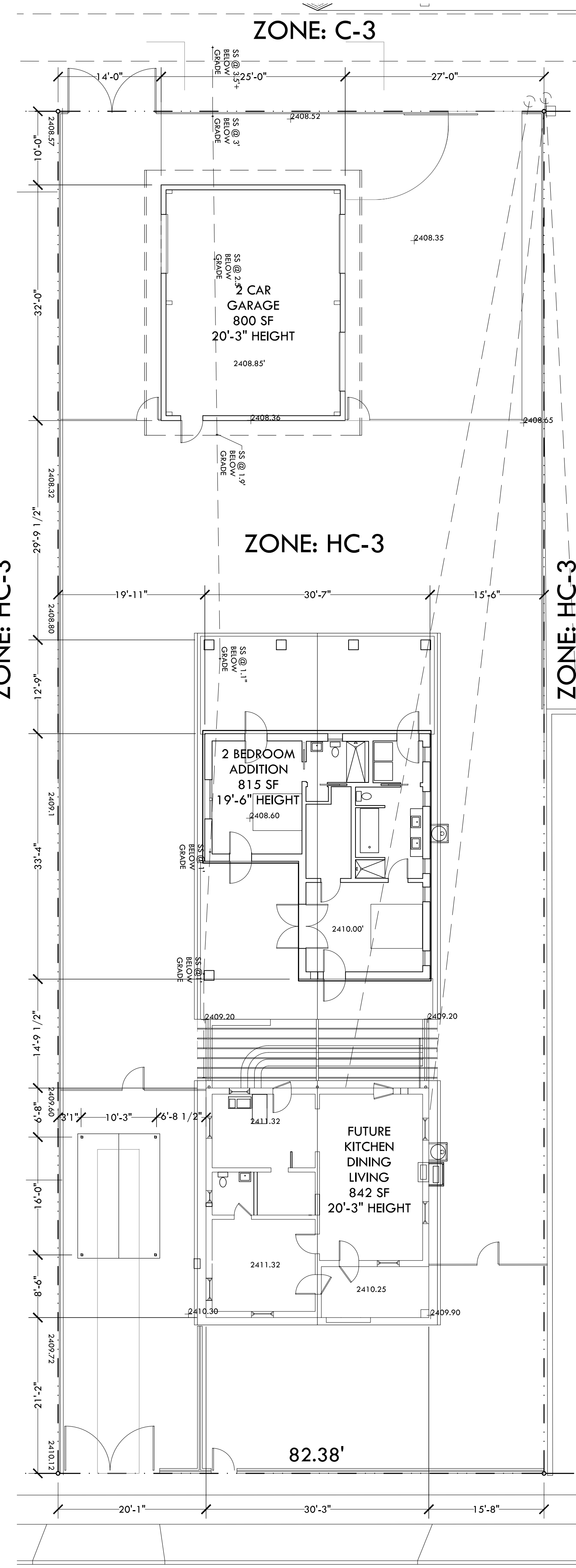
SITE PLAN - EXISTING  
1 : 10

### SITE INFORMATION

- project BEDROOM ADDITION
- ACCESSORY BUILDING - GARAGE
- address 844 SOUTH 5TH AVENUE
- property owner WILKE MICHAEL & CHRISTINE JT/RS
- parcel 117-08-0890
- S/T/R 141313E
- legal TUCSON LOT 9 BLK 131
- zoning HC-3
- use RESIDENTIAL
- overlay HISTORIC PRESERVATION ZONE
- design review required FULL REVIEW
- design standards generally BUILDING ADDITIONS HAVE SIMILAR FORM, SCALE, STYLE, AND CHARACTERISTICS TO EXISTING STRUCTURE. ROOF FORM IS SIMILAR SLOPE. SCALE OF WALL HEIGHT AND EAVE IS SIMILAR. PRESENCE OF ADDITION TO HISTORIC STRUCTURE IS NOT VISIBLE FROM THE STREET. THE MOST SIGNIFICANT COMPONENT TO THE PROJECT IS THE REMOVAL OF THE EXISTING WEST PORCH. THE WOOD PORCH IS IN VERY POOR CONDITION WITH SEVERE DAMAGE DUE TO EXPOSURE TO THE SUN AND WIND. THE INTENT IS TO BUILD A LOW WALL THE SAME HEIGHT AT THE EXISTING RESIDENCE'S FOUNDATION WALL OUTLINING THE LOCATION OF THE WOOD PORCH. WE WILL ALSO FRAME THE NEW ROOF TO THE EXISTING, BUT AT THE LOCATION OF THE PORCH USE A TRANSLUCENT SHEATHING MATERIAL.
- height ADDITION AND ACCESSORY STRUCTURE ARE LOWER OR EQUAL TO EXISTING BUILDING.
- setbacks ADDITION HAS IDENTICAL SIDE YARD SETBACKS TO EXISTING STRUCTURE. ACCESSORY STRUCTURE HAS SIMILAR REAR SETBACKS AS BUILDINGS ALONG ARIZONA AVENUE.
- proportion BUILDING PROPORTIONS OF ADDITION AND ACCESSORY STRUCTURE ARE BASED ON EXISTING STRUCTURE.
- roof types EXISTING ROOF IS GABLE, NEW ROOFS ARE GABLE. ALL ROOF AT ADDITION WILL BE FINISHED IN STANDING SEAM. THIS MATERIAL IS PRESENT IN THE DEVELOPMENT ZONE. ROOF OF GARAGE WILL BE PBR METAL PANEL.
- surface texture THE EXISTING BUILDING IS PAINTED BRICK. THE ADDITION WILL BE STUCCO AND THE ACCESSORY BUILDING WILL BE METAL. ALL FINISHES ARE FOUND WITHIN THE ARMORY PARK HISTORIC ZONE AND WITHIN THE DEVELOPMENT ZONE.
- site utilization THE ACCESSORY STRUCTURE IS PLACED FURTHER AWAY FROM THE MAIN LIVING BUILDINGS AND CLOSER TO THE LOT LINES - SIMILAR TO OTHER ACCESSORY STRUCTURES IN THE DEVELOPMENT ZONE. THE ADDITION MIMICS THE SPACING ON THE NORTH AND SOUTH SIDES AND IS PLACED AWAY FROM THE EXISTING HOUSE TO PRESERVE THE SPACE ONCE OCCUPIED BY THE WEST PORCH.
- projections and recessions THE ONLY PROJECTIONS - THE ROOF EAVES - MATCH EXISTING.
- details THE EXISTING STRUCTURE HAS VERY MINIMAL DETAILING. WINDOWS ARE PLACED IN OPENINGS WITHOUT DETAIL TO THE HEAD, JAMB, OR SILL. THE EAVES ARE SIMPLE EXPOSED RAFTERS WITH NO GUTTER. THE ADDITION WILL FOLLOW SUIT. THE GARAGE WILL HAVE GUTTERS.
- building form THE FORM OF THE ADDITION AND THE ACCESSORY BUILDING IS BASED ON THE FORM OF THE EXISTING STRUCTURE. WIDTH TO HEIGHT RATIOS ARE SIMILAR AND THE ROOF FORM IS SIMILAR.
- rhythm IN GENERAL, THERE IS A MORE SOLID TO VOID RATIO IN THE EXISTING STRUCTURE AND THE ADDITION AND ACCESSORY STRUCTURE ARE CONSISTENT WITH THAT RATIO.
- color REPAINT EXISTING BRICK - COLOR STUCCO AT ADDITION - COLOR METAL AT ACCESSORY STRUCTURE - GREY WALLS, BLUE ROOF
- landscaping SEE SITE PLAN FOR LANDSCAPING
- enclosures 48" HIGH WROUGHT IRON FENCE AT 5TH AVE  
72" HIGH RUSTED CORRUGATED METAL FENCE AT N, S, W  
ALL UTILITIES WILL BE OUT OF VIEW FROM STREET
- utilities NO SIGNS
- signs CARPORT SOUTH OF EXISTING BUILDING, SETBACK FROM FRONT; ACCESSORY BUILDING FOR OTHER VEHICLES AND BICYCLES.
- motor vehicle and bicycle

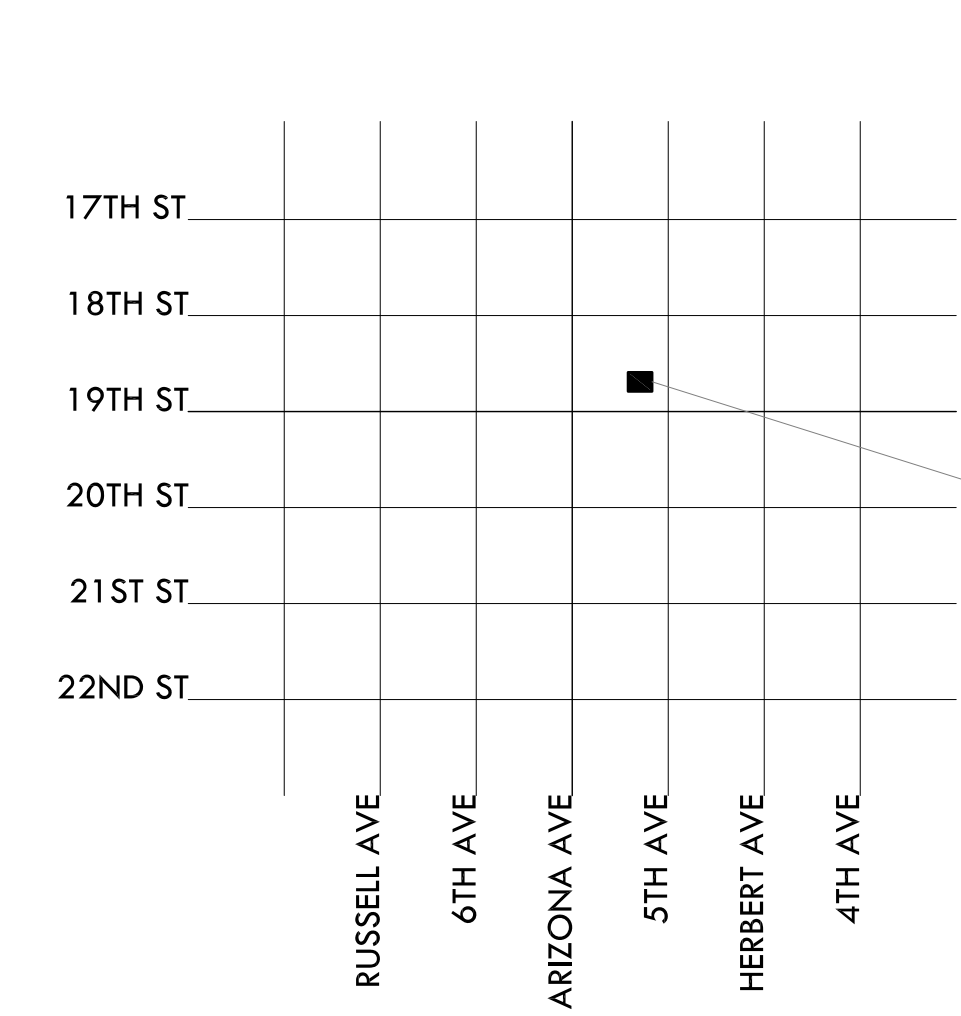
### AREA SUMMARY

total existing lot area	12,197 sf
existing residence	842 sf
proposed bedroom addition, attached	815 sf
proposed accessory structure	800 sf (48% of TOTAL SF)
vehicular use area	1006 sf



ZONE: HC-3

SITE PLAN - PROPOSED  
1 : 10



THIS PROJECT - 844 SOUTH 5TH AVENUE  
PROJECT LOCATION  
3" = 1 MILE



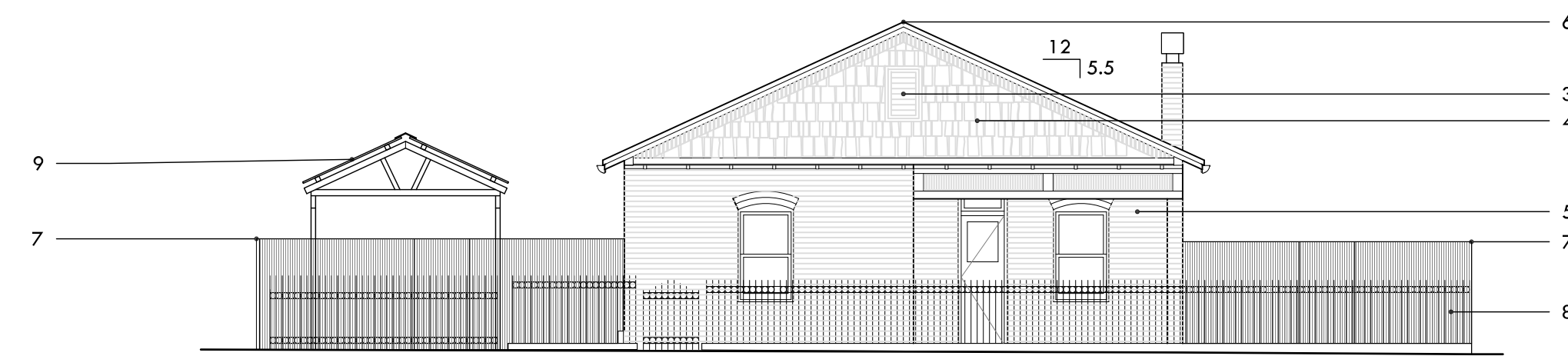
worker, inc.  
bill@workerincorporated.com  
www.workerincorporated.com  
520.664.4847  
bill mooney



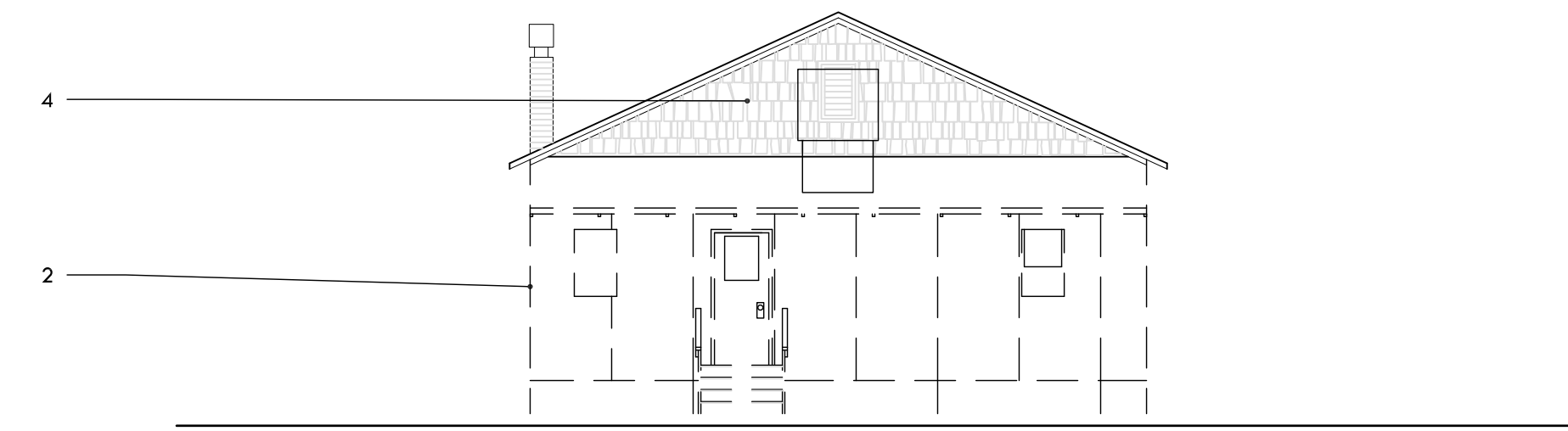
844 SOUTH  
5TH AVENUE  
SITE PLAN



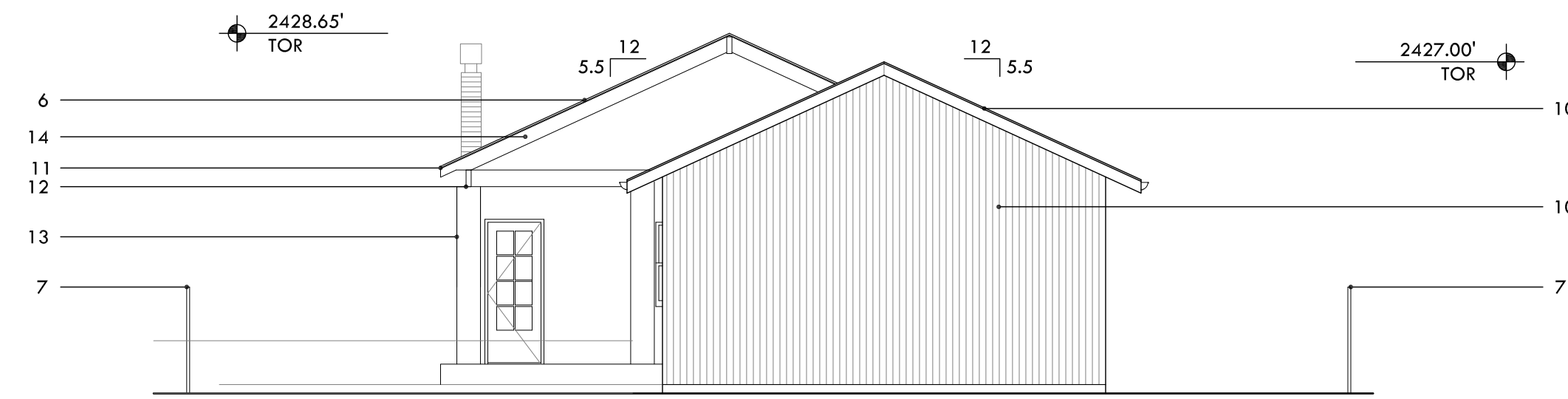
**EAST ELEVATION - EXISTING**  
1 : 8



**EAST ELEVATION - PROPOSED**  
1 : 8



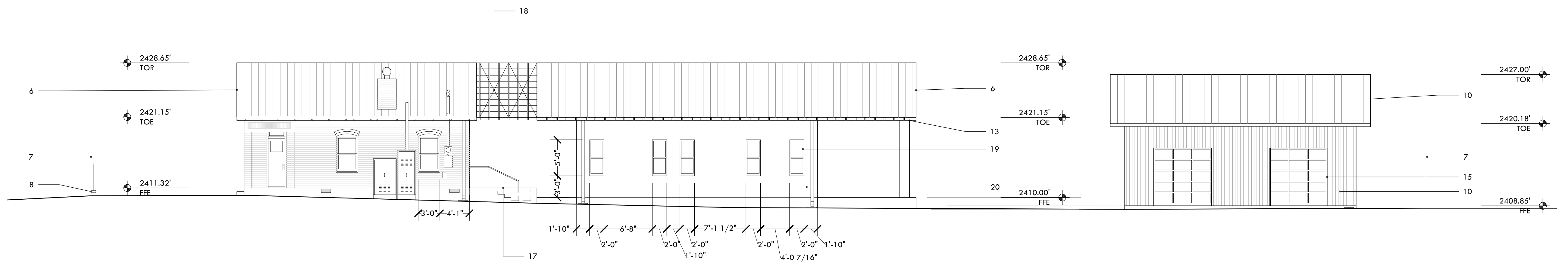
**WEST ELEVATION - EXISTING**  
1 : 8



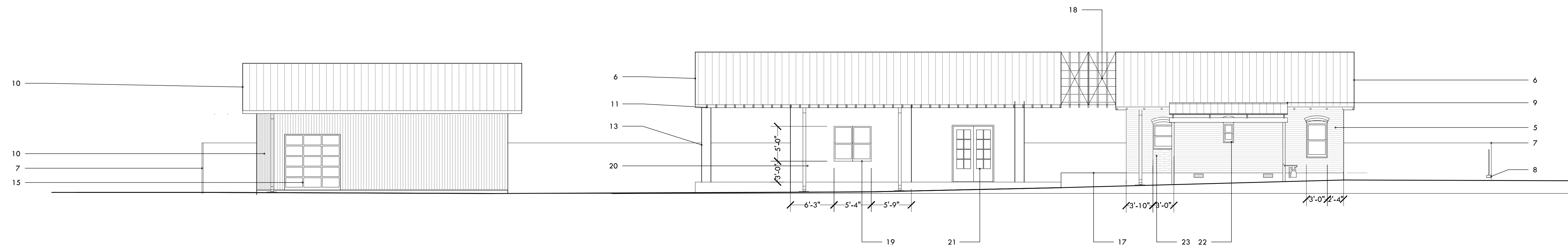
**WEST ELEVATION - PROPOSED**  
1 : 8

**KEY TO DRAWINGS**

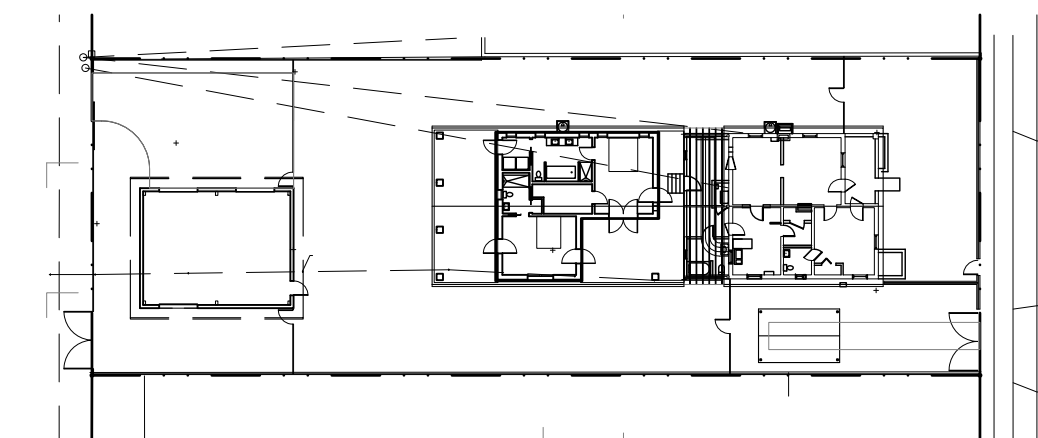
- 1 REMOVE EXISTING CMU LOW WALL AT PORCH
- 2 REMOVE EXISTING WOOD PORCH
- 3 REHABILITATE EXISTING VENT
- 4 PATCH AND REPAIR EXISTING WOOD SHINGLES
- 5 RE-PAIN EXISTING MASONRY WALLS
- 6 NEW STANDING SEAM METAL ROOF - GRAY
- 7 NEW RUSTED CORRUGATED METAL FENCE - 72" HIGH
- 8 NEW WROUGHT IRON FENCE - 48" HIGH
- 9 NEW STEEL FRAME CARPORT
- 10 STANDING SEAM ROOF TO MATCH OTHERS
- 11 METAL SIDING
- 12 EXPOSED RAFTER TAILS, PAINTED
- 13 EXPOSED WOOD BEAM, PAINTED
- 14 COLUMN, STUCCO FINISH
- 15 EXPOSED RAFTER, PAINTED
- 16 METAL FRAME, GLASS OVERHEAD DOOR
- 17 GALVANIZED CORRUGATED METAL SIDING
- 18 LOW WALL - STUCCO OR BRICK TO MATCH EXISTING
- 19 TRANSLUCENT GLASS PANEL OVER WOOD FRAMING
- 20 WOOD SINGLE HUNG WINDOW
- 21 STUCCO FINISH, PAINTED
- 22 WOOD FRENCH DOOR WITH DIVIDED LITES
- 23 RECONSTRUCT EXISTING OPENING TO ORIGINAL SIZE AND PLACE NEW WOOD SINGLE HUNG WINDOW
- 24 RECONSTRUCT EXISTING OPENING TO ORIGINAL SIZE AND PLACE NEW WOOD SINGLE HUNG WINDOW



**SOUTH ELEVATION**  
1 : 8



**NORTH ELEVATION**  
1 : 8



**SITE KEY**  
1 : 40



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**H2**  
844 SOUTH  
5TH AVENUE  
BUILDING ELEVATIONS

Parcel Number: 117-08-0890

### Property Address

Street Number	Street Direction	Street Name	Location
844	S	5TH AV	Tucson

### Contact Information

Property Owner Information:	Property Description:
WILKE MICHAEL & CHRISTINE JT/RS 844 S 5TH AVE TUCSON AZ  85701-2706	TUCSON LOT 9 BLK 131

### Valuation Data

Valuation Year	Property Class	Assessment Ratio	Total FCV	Limited Value	Limited Assessed
2019	HISTORIC/ENTPRS (6)	5.0	\$171,338	\$129,515	\$6,476
2020	HISTORIC/ENTPRS (6)	5.0	\$224,761	\$135,991	\$6,800

### Property Information

Township:	14.0	Section:	13	Range:	13.0E
Map:	2	Plat:	4	Block:	131
Tract:		Land Measure:	12,197.00F	Lot:	00009
Census Tract:	900	File Id:	1	Group Code:	
Use Code:	0131 (SFR GRADE 010-3 URBAN SUBDIVIDED )			Date of Last Change:	10/19/2018

### Sales Information (1)

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20182840286	1	8/2018	Single Family	\$258,000	\$258,000	N	X Aut

### Valuation Area

District Supervisor: RAMON VALADEZ District No: 2

DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	02004 DEL	30

### Recording Information (3)

Sequence No.	Docket	Page	Date Recorded	Type
20182840286	0	0	10/11/2018	WTDEED
20022260693	11932	2538	11/22/2002	QCDEED
94135307	9829	2043	7/7/1994	

## Residential Characteristics

Property Appraiser: Rachel Valenzuela Phone: (520) 724-7427

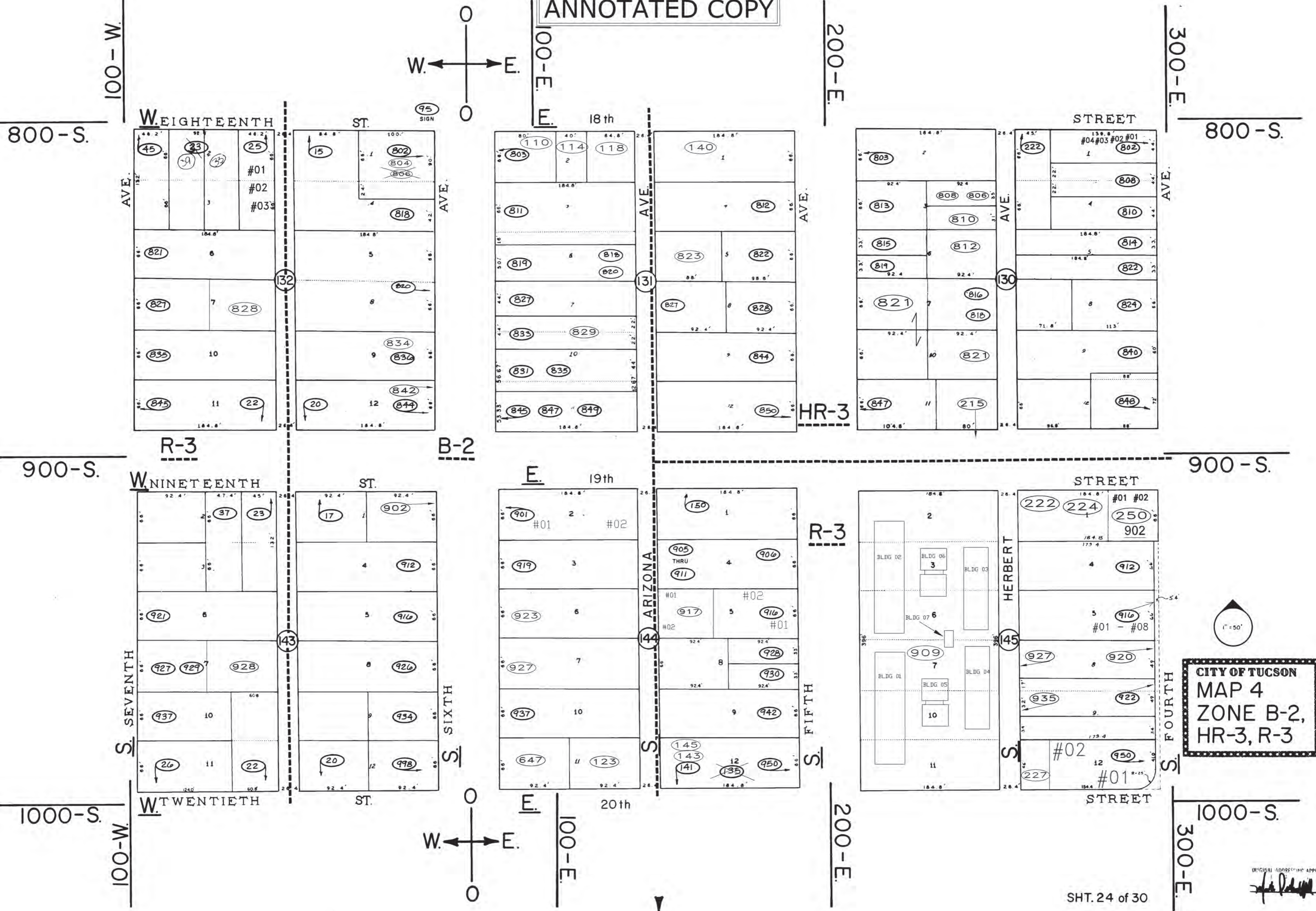
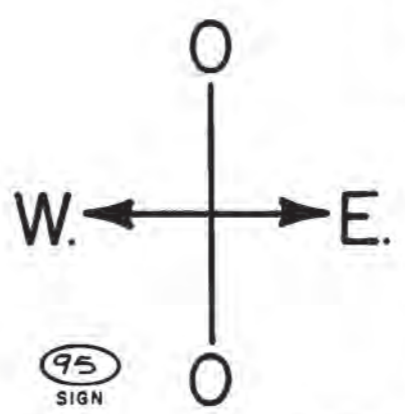
### Main Structure:

Appraisal Date:	11/28/2018	Property Type:	Single Family Residence	Area ID:	Ed 30-010202-01-3
Processed:	12/31/1969	Building Class:	3	Physical Condition:	Minimum
Total Living Area:	1,099	Garage Type:	None	Effective Construction Year:	1915
Garage Capacity:	0	Stories:	1	Patio Type:	Covered
Rooms:	6	Patio Number:	1	Quality:	Fair
Pool Area:	0	Exterior Walls:	Brick	Valuation Type:	00
Roof Type:	Prepared Roll	Total Main:	\$239,107	Heating:	Forced
Total Control:	\$239,107	Cooling:	Evaporative	Total Actual:	\$224,761
Bath Fixtures:	3	FCV Adjustment Factor:	1.000	Enhancement:	\$0
Last Calc:	0125				

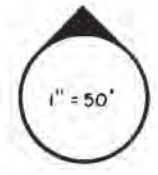
### Notes (6)

Created: 2/7/2019 Modified: 2/7/2019	2020 no change Sq20182840286 per sales affidavit remains class 3.01 primary rule a (retains class 6.0 historic)
Created: 11/28/2018 Modified: 11/28/2018	2020N. MLS 21815173 reviewed: other>frcd, wall>evap. qlty M>F
Created: 10/19/2018 Modified: 10/19/2018	SQ20182840286 Isaura Ronquillo deceased PB20180630
Created: 6/29/2012 Modified: 6/29/2012	2013 APPROVED BY SHPO (RENEWAL)PER APPLICATION DATED 6-1-12
Created: 8/29/2003 Modified: 8/29/2003	'03 ~ WIDOW EXEMPTION ALLOWED PER A.R.S. 42-11153B. \$3,000 OF ASSESSED FCV & \$2,972 OF ASSESSED LCV IS EXEMPT.
Created: 1/27/2003 Modified: 1/27/2003	R2 TO R3

ANNOTATED COPY



CITY OF TUCSON  
MAP 4  
ZONE B-2,  
HR-3, R-3



ORIGINAL ADDRESSING APPROVED  
*[Signature]*