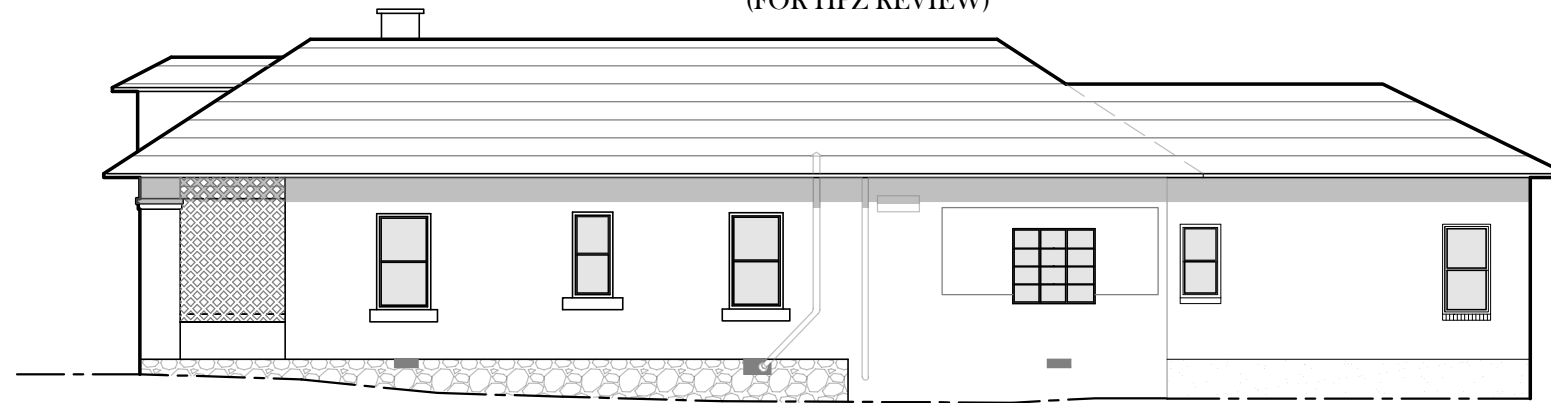


LOPEZ RESIDENCE PROPOSED ADDITION

WEST UNIVERSITY HISTORIC DISTRICT TUCSON, AZ

(FOR HPZ REVIEW)



PIMA COUNTY'S INCLUSIVE HOME DESIGN

ACCESSIBLE FLOOR

This is any occupiable floor which is less than one story above or below grade, with direct access to grade.

EXTERIOR ACCESSIBLE ROUTE

There shall be at least one exterior accessible route to the accessible entrance. This route may originate from the carport, driveway, or public street or sidewalk. The slope of this accessible route to the accessible entrance shall not exceed one foot vertical rise per twenty feet horizontal distance (1:20), unless a ramp is constructed complying with the 2000 International Residential Code; (ramps may have a grade of 1:12).

ACCESSIBLE ENTRANCE

There shall be at least one no-step, accessible entrance to the home. This entrance may be at the front, back, side, garage or carport of the home, but may not be through a bedroom. The door of this entrance shall be 32" wide minimum and shall meet the door hardware requirements described in this pamphlet.

INTERIOR ACCESSIBLE ROUTE

At least one accessible route shall connect all spaces and elements which are a part of the accessible floor of the home. Exceptions to the interior accessible route provision include a raised or sunken portion of a living, dining or sleeping room. This route shall not pass through bathrooms, closets, or similar spaces. As per existing code, this route is required to be 36" wide minimum.

THRESHOLDS

Thresholds at the accessible entrance and along accessible routes may be 1/2 inch high maximum. Changes in level which exceed 1/4 inch high, shall be beveled, with a slope not steeper than one inch rise to 2 inch run (1:2).

INTERIOR DOORS

Doorways on the accessible route shall have a clear opening of 30 inches wide minimum. A 32" (2' 8") wide door satisfies these requirements. This door must contain hardware meeting the door hardware requirements.

DOOR HARDWARE

Handles, pulls, latches, locks, and other operable parts on accessible doors shall have a shape that is easy to grasp with one hand and that does not require tight grasping, pinching, or twisting of the wrist to operate. Lever hardware satisfies the requirements of this provision.

BATHROOM WALL REINFORCEMENT

In bathrooms on the accessible route, reinforcement shall be installed to allow the future installation of grab bars on walls adjacent to the tub and toilet. In addition, reinforcement shall be installed in shower compartments for future installation of grab bars. This reinforcement shall be installed flush with the studs and at the following locations:

Toilet: 33"-36" above the floor on all adjacent walls. Horizontal length of reinforcement shall be sufficient to allow a 42" grab bar and 24" rear grab bar. Note: Nothing in the ordinance requires that the toilet be placed by a side wall.

Tub: Horizontal length reinforcement shall be sufficient to allow for Back Wall: Two backing reinforcements, one backing reinforcement horizontal position 33" minimum and 36" maximum above the floor, and one backing reinforcement 9" above the rim of the bathtub. Each backing reinforcement shall be 24" long minimum and shall be 24" maximum from the head end wall and 12" maximum from the foot end wall.

- Foot End Wall: One backing reinforcement 24" long minimum on the foot end wall at the front edge of the bathtub.
- Head End Wall: One backing reinforcement 12" long minimum on the head end wall at the front edge of the bathtub.
- Shower walls to have backing on a min. of two walls not to include control valve wall mounted at 33" - 36" above shower floor

All wall reinforcement shall be capable of resisting shear and bending forces of a minimum of 250 pounds. Reinforcement is not required at the location of vanities, linen closets, and pre-molded shower/tub surrounds, or in a room containing only a sink and a toilet, provided that the room does not contain the only sink or toilet on the accessible floor of the home.

ELECTRICAL

- All light controls shall be placed no higher than 48", on center, above the floor.
- Where practical, all electrical receptacles shall be placed no lower than 15", on center, above the floor.
- All thermostats shall be placed no higher than 54", on center, above the floor.

The exceptions to these provisions are as follows:

- Electrical receptacles serving a dedicated use.
- Appliance mounted controls or switches.
- A single outlet where all of the following conditions are met:
 - The outlet is above a length of countertop that is uninterrupted by a sink or appliance; and
 - At least one receptacle is provided for that length of countertop; and
 - All other receptacles provided for that length of countertop set no higher than 48".
- Floor electrical receptacles.
- Plumbing fixture controls.
- HVAC diffusers.
- Ceiling fan mounted controls.

PROJECT TEAM

OWNER

DALE D LOPEZ
616 E. 5TH STREET
TUCSON, AZ 85705

ARCHITECT

VINT & ASSOCIATES ARCHITECTS, INC.
ROBERT W. VINT, ARCHITECT
312 E 6TH STREET
TUCSON, AZ 85705
(520) 882-5232

AREAS

NET CONDITIONED INTERIOR: 1098 SQ.FT.
PROPOSED ADDITION: 490 SQ.FT.

CODE REVIEW PER IRC 2018

ADDRESS: 616 E 5th STREET, TUCSON AZ 85705
PARCEL #: 117043260
ZONING: HR-2
REVIEWING AGENCY: PIMA COUNTY

ZONING REVIEW PER IRC 2018

LOT AREA: 8817 SQ.FT.

SETBACKS:	REQUIRED	PROPOSED
FRONT(NORTH)	30	-
REAR (SOUTH)	40	48'
SIDE(EAST)	10	22'
SIDE(WEST)	10	11' 6"

CURRENT EFFECTIVE EDITIONS OF:

International Residential Code + Pima County Amendments
National Electrical Code
International Energy Conservation Code
International Mechanical Code
Pima County Inclusive Home Design Ordinance
Outdoor Lighting Code
International Fuel Gas Code Without amendments
Arizona state Plumbing Code

DRAWING INDEX

ARCHITECTURAL

- A0.1 COVER SHEET
- A0.2 DEVELOPMENT ZONE
- A0.3 STREET ELEVATIONS
- A0.4 EXISTING ELEVATIONS
- A1 SITE PLAN
- A 2.1 EXTERIOR ELEVATIONS
- A 2.2 EXTERIOR ELEVATIONS
- A 3 PROPOSED FENCE

21.28 | LOPEZ RESIDENCE | 616 EAST 5TH STREET, TUCSON AZ 85705

VINT & ASSOCIATES ARCHITECTS

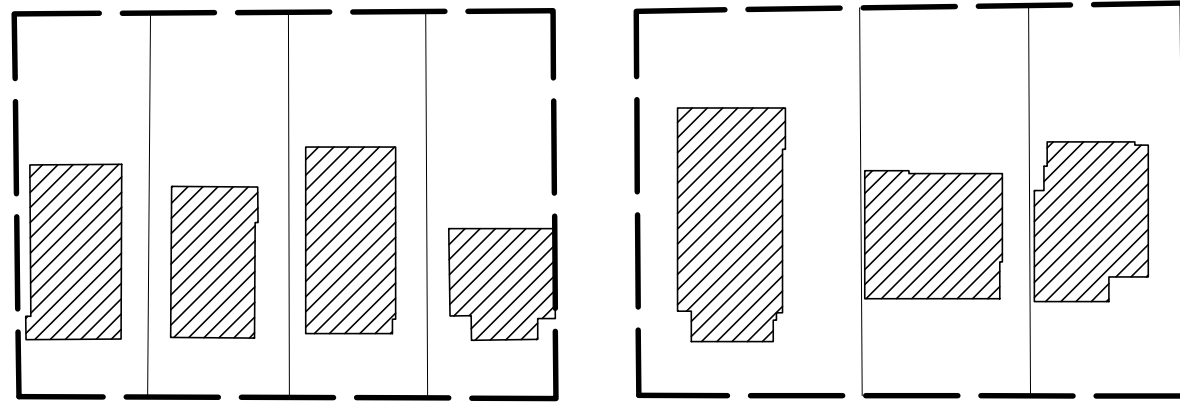
312 E. 6th St. Tucson AZ 85705 P.O. Box 648 Tucson, AZ 85702

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Drawn by: NM,BHB

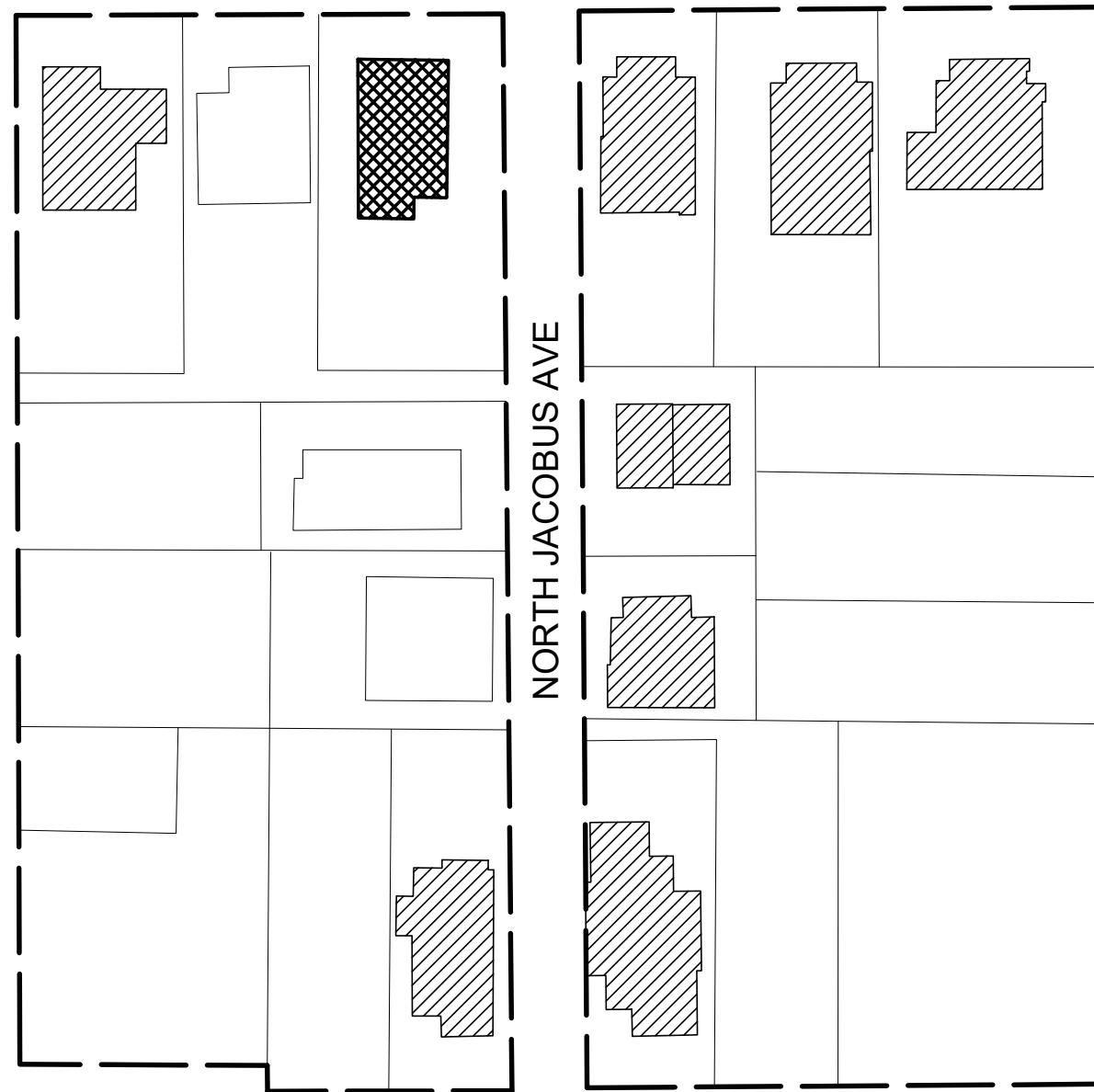
Revisions:

By Date:

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




EAST 5TH STREET



EAST 6TH STREET

DRAWING LEGEND:

-  DEVELOPMENT ZONE
-  CONTRIBUTING PROPERTY
-  NON-CONTRIBUTING PROPERTY
-  616 E. 5TH STREET (CONTRIBUTING PROPERTY)

DEVELOPMENT ZONE MAP

N.T.S





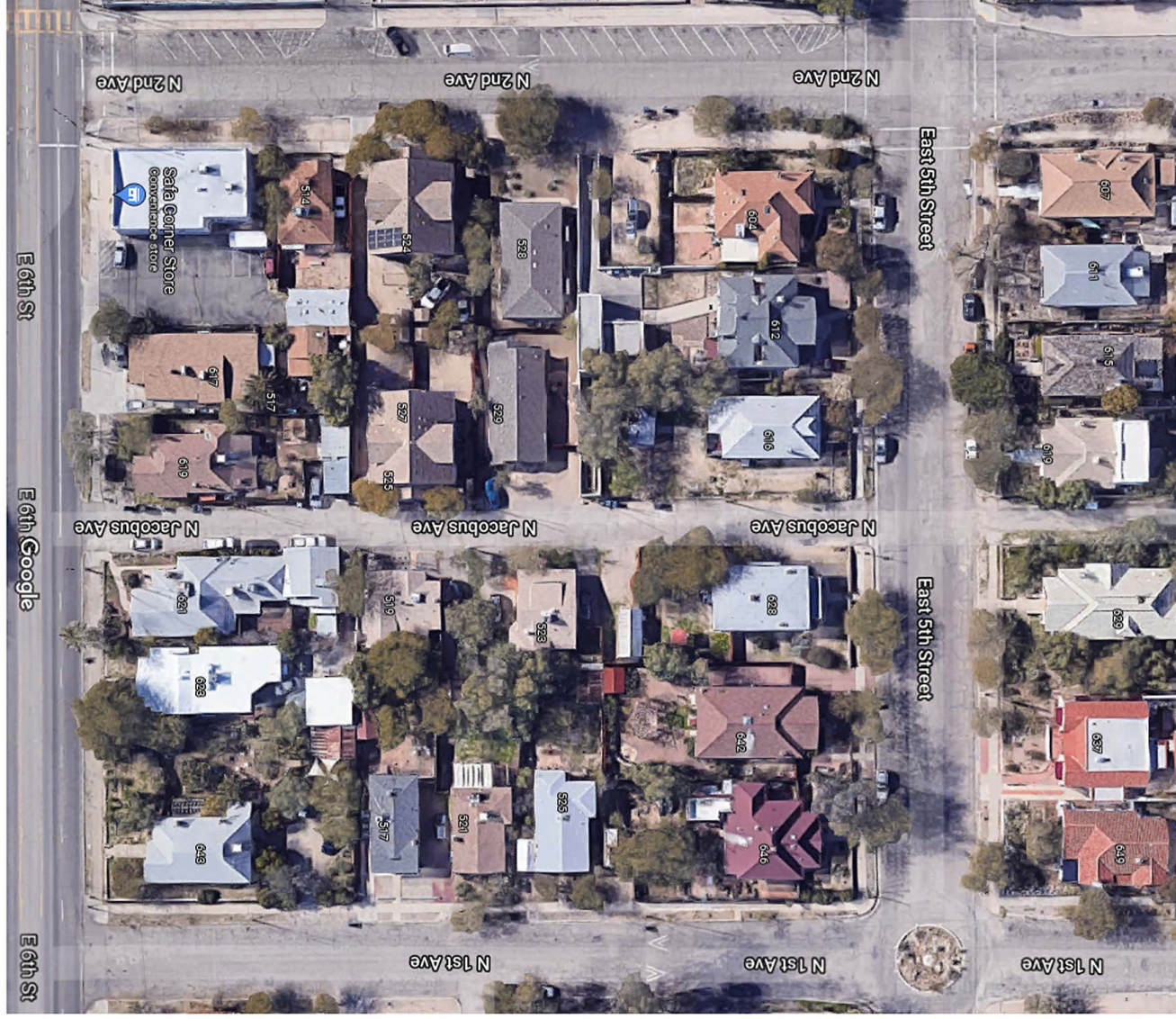
N. 2ND AVE.

E 6TH ST.



E 5TH ST.

N. 2ND AVE.



AREAL VIEW

N. JACOBUS AVE.

E 6TH ST.



E 5TH ST.

N. JACOBUS AVE.

21.28 | LOPEZ RESIDENCE | 616 EAST 5TH STREET, TUCSON AZ 85705

Date: 02/22/2022
 Scale:
 Drawn by: NM.BHB

Revisions:

By	Date:

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312 E. 6th St. Tucson AZ 85705 P.O. Box 648 Tucson, AZ 85702





NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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VINT & ASSOCIATES ARCHITECTS

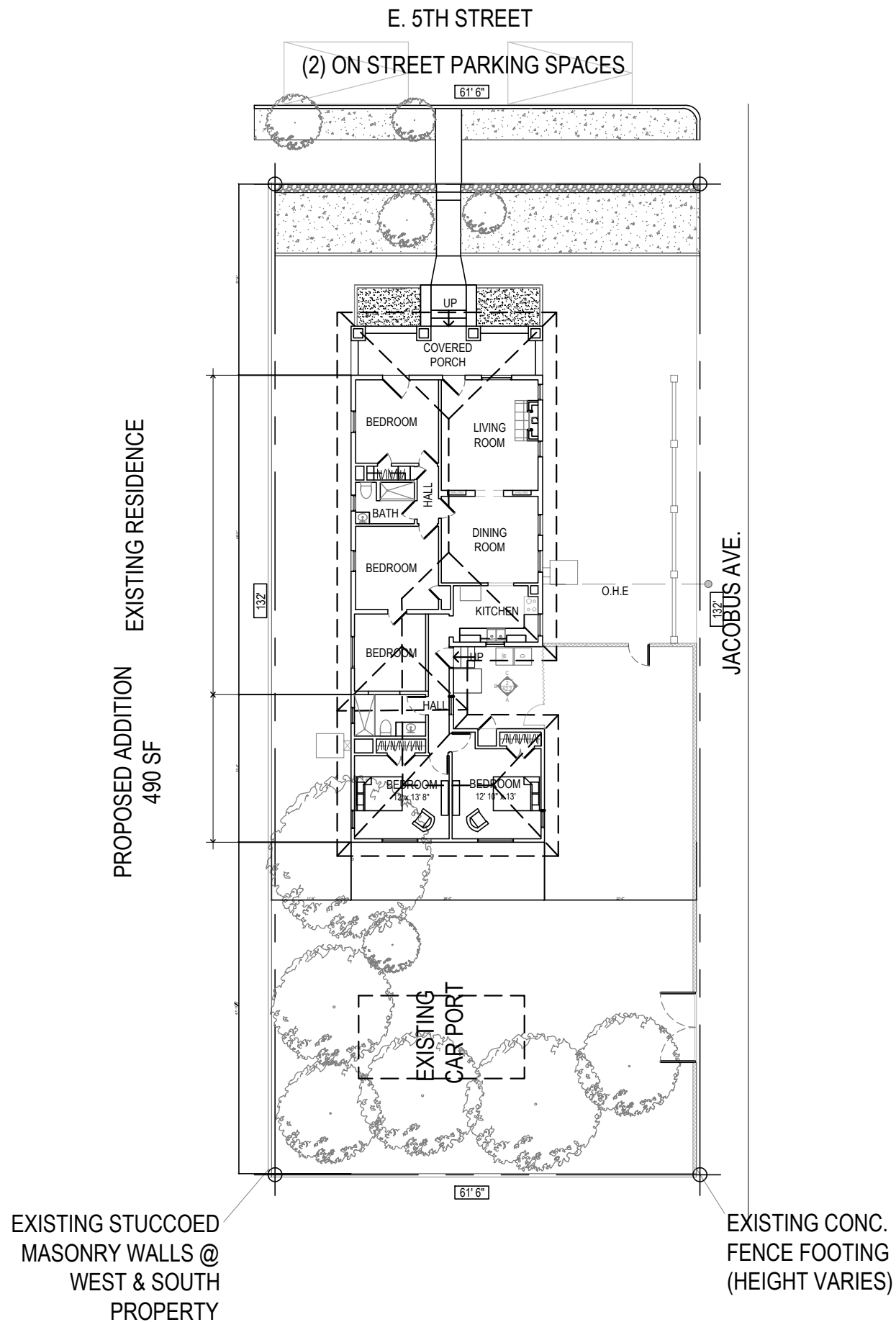
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Date: 02/22/2022
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Revisions:
By Date:

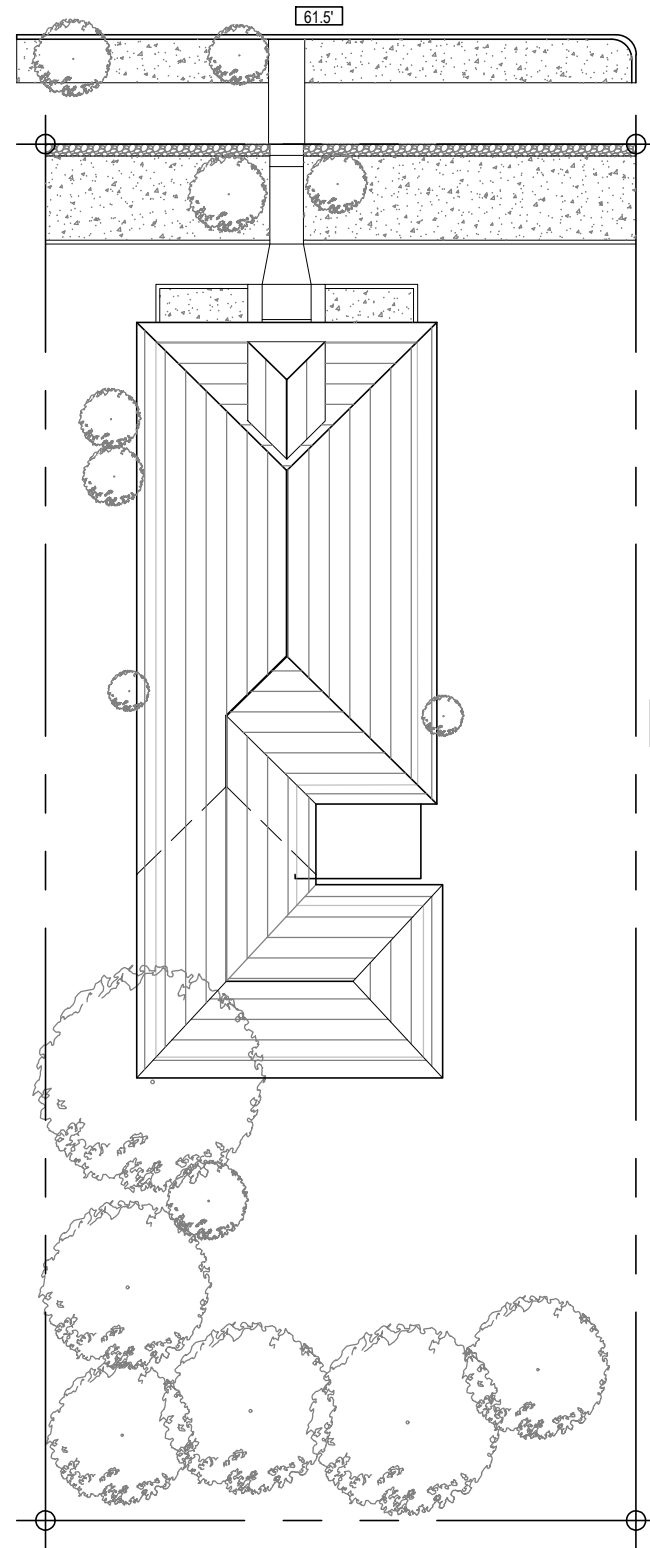
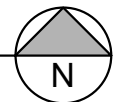
EXISTING
ELEVATIONS

A 0.4



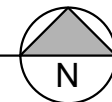
SITE PLAN

SCALE: 1" = 20'



ROOF PLAN

SCALE: 1" = 20'



SITE LOCATION
NTS

ZONING: CITY OF TUCSON HR-2
WEST UNIVERSITY HISTORIC DISTRICT
LOT AREA: 8818 SF
DWELLINGS ALLOWED: 1:5000 SF
- 1 PERMITTED

Date: 05/23/2022
Scale:
Drawn by: NM,BHB

Revisions:
By Date:

SITE PLAN
ROOF PLAN
SITE LOCATION



21.28 | LOPEZ RESIDENCE | 616 EAST 5TH STREET, TUCSON AZ 85705

VINT & ASSOCIATES ARCHITECTS

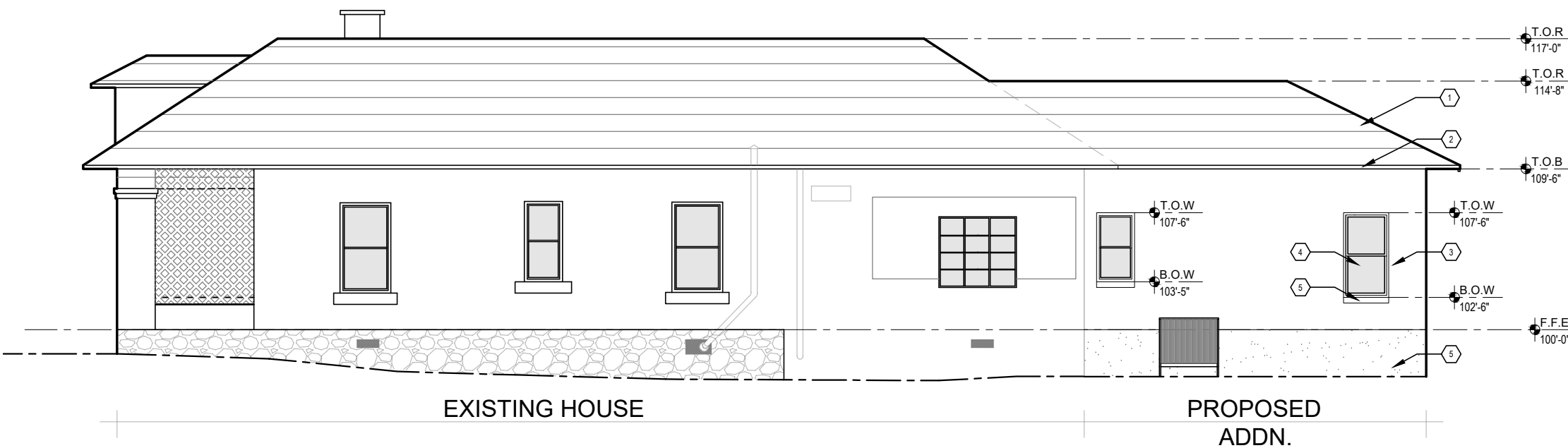
312 E. 6th St. Tucson AZ 85705 P.O. Box 648 Tucson, AZ 85702

Date: 05/23/2022
Scale:
Drawn by: NM,BHB

Revisions:
By Date:

ELEVATIONS

A 2.1



EXISTING HOUSE

PROPOSED ADDN.

WEST ELEVATION

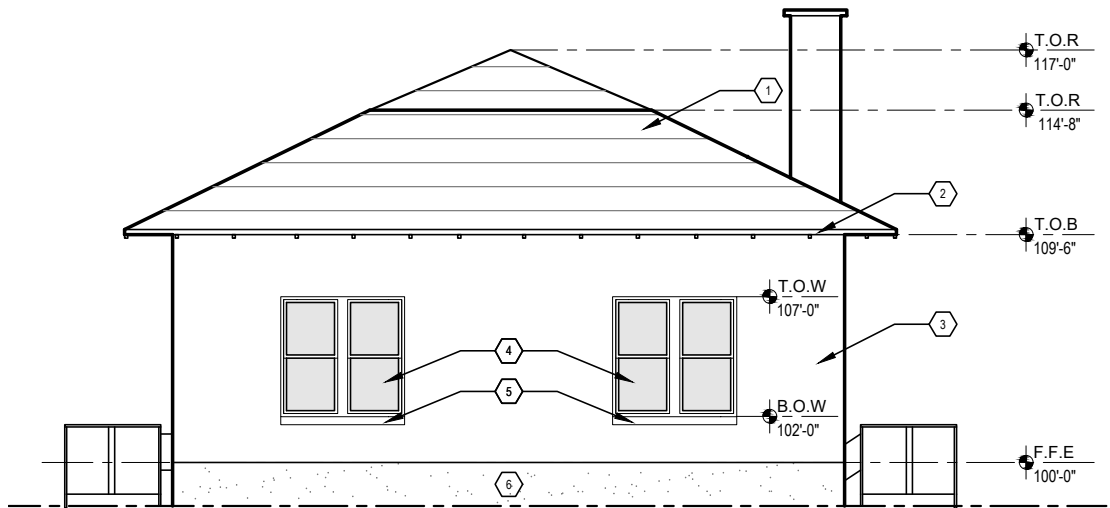
SCALE: 1'-0" = 1/8"



EXISTING HOUSE

NORTH ELEVATION

SCALE: 1'-0" = 1/8"



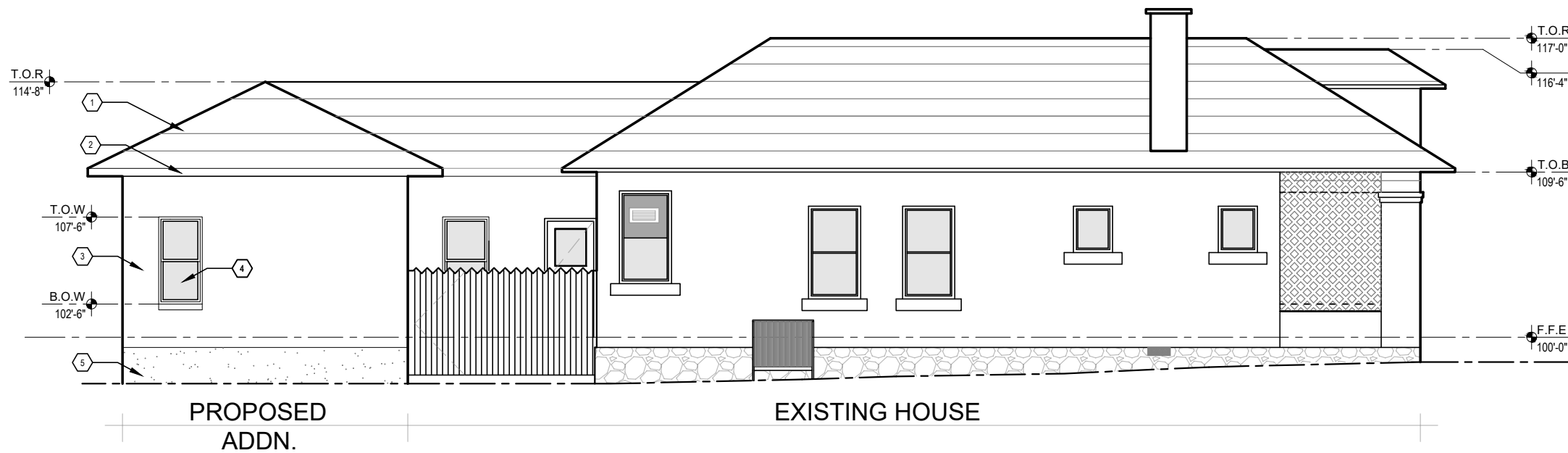
PROPOSED ADDN.

SOUTH ELEVATION

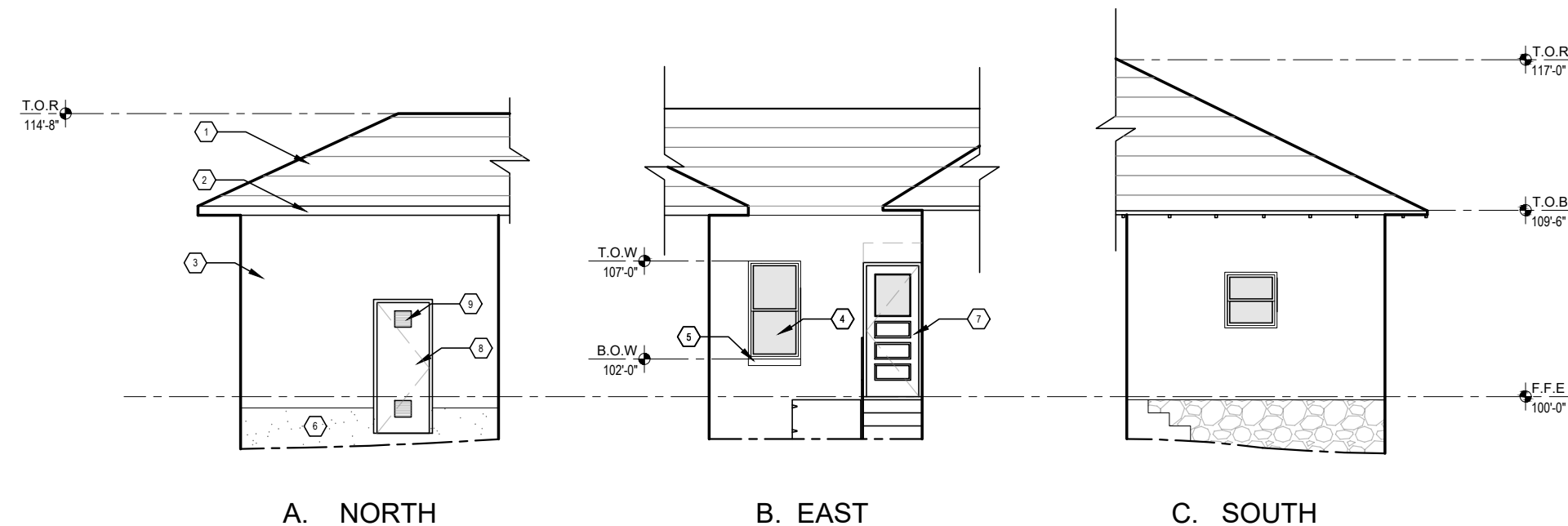
SCALE: 1'-0" = 1/8"

KEYNOTES:

- ① RE-ROOF EXISTING HOUSE WHEN ADDN. IS BUILT
OPTION 1: ROLL ROOFING TO MATCH
OPTION 2: ASPHALT SHINGLES
- ② 2X FASCIA TO MATCH EXISTING
- ③ STUCCO SAND FINISH TO CONTRAST WITH EXISTING DASH-FINISH
- ④ WOOD DOUBLE HUNG WINDOWS
- ⑤ 4" DEEP STUCCOED SILL TO CONTRAST WITH 8" DEEP EXISTING
- ⑥ CONCRETE STEM WALL TO CONTRAST WITH EXISTING STONE STEM WALL
- ⑦ PAINTED WOOD PANEL DOOR W/ TEMPERED GLASS LIGHT
- ⑧ FLUSH HOLLOW METAL DOOR & FRAME PAINT TO MATCH WALL
- ⑨ 10"x10" SHEET METAL LOUVERS HIGH & LOW (PAINT)



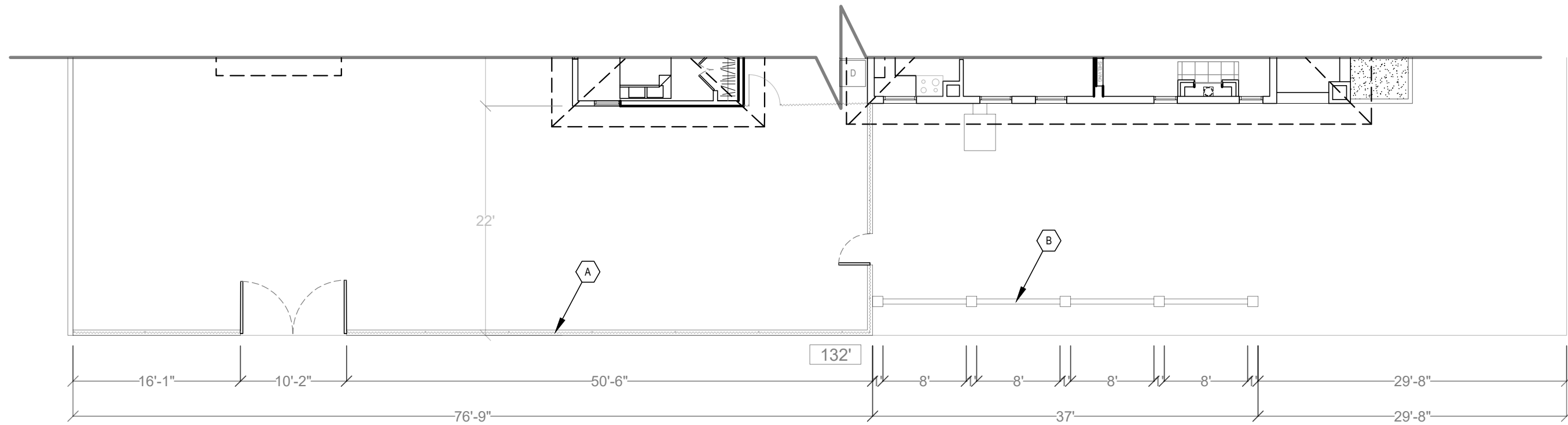
1 EAST ELEVATION
SCALE: 1'-0" = 1/8"



2 SERVICE YARD
SCALE: 1'-0" = 1/8"

KEYNOTES:

- 1 RE-ROOF EXISTING HOUSE WHEN ADDN. IS BUILT
OPTION 1: ROLL ROOFING TO MATCH
OPTION 2: ASPHALT SHINGLES
- 2 2X FASCIA TO MATCH EXISTING
- 3 STUCCO SAND FINISH TO CONTRAST WITH EXISTING DASH-FINISH
- 4 WOOD DOUBLE HUNG WINDOWS
- 5 4" DEEP STUCCOED SILL TO CONTRAST WITH 8" DEEP EXISTING
- 6 CONCRETE STEM WALL TO CONTRAST WITH EXISTING STONE STEM WALL
- 7 PAINTED WOOD PANEL DOOR W/ TEMPERED GLASS LIGHT
- 8 FLUSH HOLLOW METAL DOOR & FRAME PAINT TO MATCH WALL
- 9 10"x10" SHEET METAL LOUVERS HIGH & LOW (PAINT)

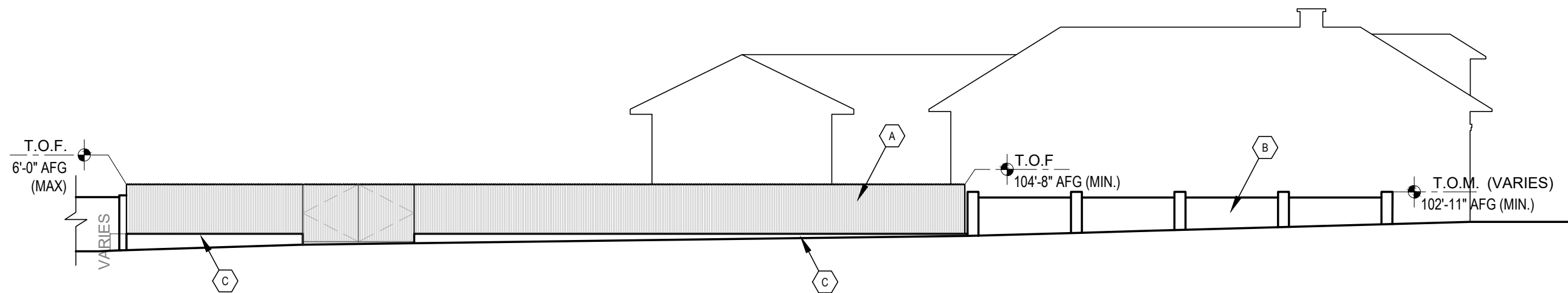


PROPOSED FENCE PLAN

SCALE: 3/32"=1'-0"

KEYNOTES:

- Ⓐ UNGALVANIZED CORRUGATED METAL
- Ⓑ CMU SITE WALL WITH 16"x12" PIERS @ 8' O.C. SMOOTH CEMENT PLASTER FINISH/ PAINT
- Ⓒ EXISTING CONCRETE STEM WALL



PROPOSED FENCE ELEVATION

SCALE: 3/32"=1'-0"