

**ZONING INFO**

ZONING: HR-1 (C.O.T.)  
 LEGAL DESCRIPTION: BOSQUE RANCH ESTATES LOT 12  
 BOOK-MAP-PARCEL: 110-09-339C  
 SECTION: TWN 13.0, RNG 14.0E  
 OWNER: DEBRA LAZAR, 5440 E. PRESIDIO RD, TUCSON, AZ

**BUILDING CALCS**

DESCRIPTION	S.F.
LIVEABLE AREA	
PROPOSED GH ADDITION	510
EXISTING HOME	2,429
<b>TOTAL LIVEABLE AREA:</b>	<b>2,939 SF</b>
AREA UNDER ROOF: 2,654 (EX'G MAIN HOUSE) 628 (NEW DETACHED G.H.)	
<b>SITE COVERAGE AREA CALCS</b>	
<b>BUILDINGS</b>	<b>S.F.</b>
MAIN HOUSE/GH	2,939
DRIVEWAY	1,800
COVERED NEW/EXISTING	
PORCHES	327
GARAGE (EXISTING)	410
<b>TOTAL:</b>	<b>5,476</b>
<b>TOTAL SITE COVERAGE:</b>	<b>5,476</b>

**LOT AREA:** 13,203 SF OR .3031 ACRES > 10,000 SF GH IS ALL W/ED  
 5,476 / 13,203 = .41 = 41% < 70% OK

**SETBACKS: ALL ARE EXISTING AND THERE ARE NO PROPOSED ENCROACHMENTS**

WEST & EAST SETBACKS:  
 -TOP OF PARAPET: 12'-4" FOR F.GRADE 12.33' X .66' 8'-2" MIN 8'-3" PROVIDED ✓  
 -PERGOLA: 10'-8" A.F.O. 10.66' X .66' 7'-0" MIN 7'-1" PROVIDED ✓

**PROJECT SCOPE STATEMENT:**

- REMODEL PORTIONS OF EXISTING HOME, RELOCATE ENTRY TO FRONT.
- REMODEL SOUTH ENTRY
- ADD NEW DETACHED GUESTHOUSE WITH SMALL PORCH

- GENERAL SITE AND GRADING NOTES:**
- ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE 2018 IRC AND ADOPTED AMENDMENTS.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM NEW AND EXISTING BUILDINGS AND PORCH AREAS. ARROWS ON SITE GRADING PLAN INDICATE DIRECTION OF SLOPE. VERIFY EXISTING SLOPE STILL DRAINS AFTER CONSTRUCTION. COVER ANY EXPOSED FOUNDATIONS OR FOOTING WITH FILL/GROUND COVER, TAPER/SLOPE GENTLY AS REQUIRED.
  - VERIFY POSITIVE DRAINAGE AWAY FROM HOUSE W/ ROOF SCUPPERS, DOWNSPOUTS AND OVERHANGS.
  - ASSUME MINIMUM SOIL BEARING PRESSURE OF 1500 PSF.
  - ALL EXISTING CONSTRUCTION DAMAGED OR ALTERED BY NEW CONSTRUCTION SHALL BE REPAIRED AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER UNLESS AGREED UPON.
  - EXISTING / NEW DRIVES AND APPROACH TO NEW GUESTHOUSE SHALL BE MATCHING 2" DECOMPOSED GRANITE. SMOOTH OUT AND RE-GRADE EXISTING / NEW DRIVE AS REQUIRED, INFILL LOW DRAINAGE AREAS AND COMPACT PROPERLY TO PROVIDE SOLID BASE.
  - REVIEW EXISTING VEGETATION WITH OWNER PRIOR TO EXCAVATION TO CONFIRM VEGETATION TO REMAIN AND/OR TO BE REMOVED.
  - PROVIDE CAUTION TAPE AND METAL POSTS 5' BEYOND NEW CONSTRUCTION PAD AREA TO ESTABLISH PROTECTED BOUNDARY AREA. TAKE CARE NOT TO DAMAGE VEGETATION BEYOND THAT LINE; REPLACE/ REPLANT ANY DAMAGED VEGETATION BEYOND THE BOUNDARY LINE.
  - IF EXISTING CONDITIONS OCCUR DIFFERENTLY THAN SHOWN ON THE PLANS NOTIFY THE ARCHITECT IMMEDIATELY.
  - VERIFY CONDITION OF ANY EXISTING IRRIGATION WITH OWNER PRIOR TO CONSTRUCTION. RECONNECT AND REROUTE AS REQUIRED SO OPERATION IS NORMAL AFTER CONSTRUCTION.
  - VERIFY STAGING AREA / MATERIALS STORAGE LOCATION WITH OWNER PRIOR TO STARTING CONSTRUCTION.

**SHEET INDEX**

1	SITE AND GRADING PLANS, GENERAL NOTES
1.1	PARTIAL SURVEY (GH AREA)
2	DEMOLITION PLAN AND PERGOLA PLAN
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4	GUEST HOUSE FLOOR AND STRUCTURAL PLANS
5	MAIN HOUSE STRUCTURAL PLANS
6	ELEVATIONS, SECTIONS
7	DETAILS, SPECIFICATIONS
MP-1	MAIN HOUSE MECHANICAL/PLUMBING PLAN
MP-2	GUEST HOUSE MECHANICAL/PLUMBING PLAN
E-1	MAIN HOUSE ELECTRICAL PLAN
E-2	GUEST HOUSE ELECTRICAL PLAN

PROJECT NO: 2102  
 DATE: 9/17/21

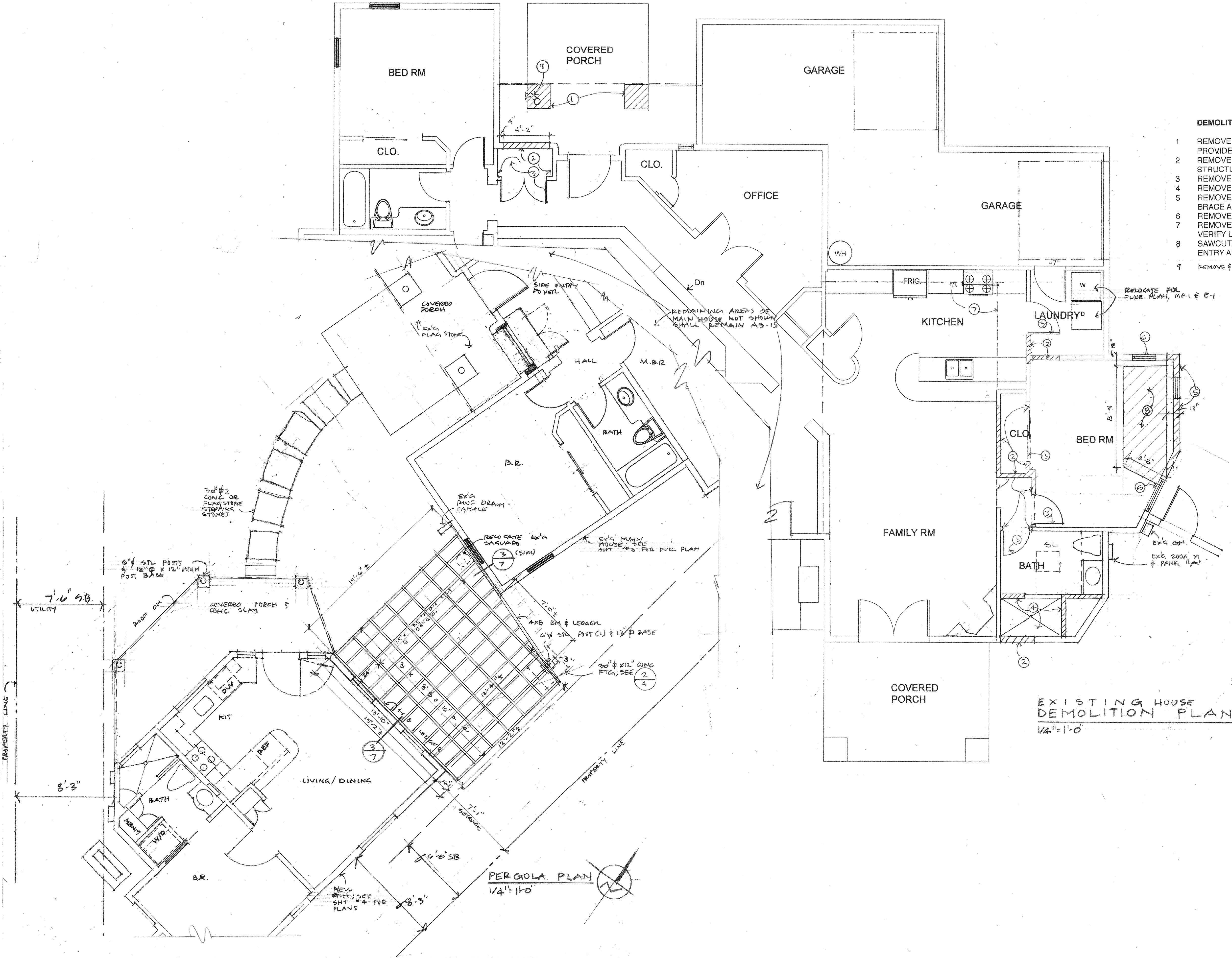
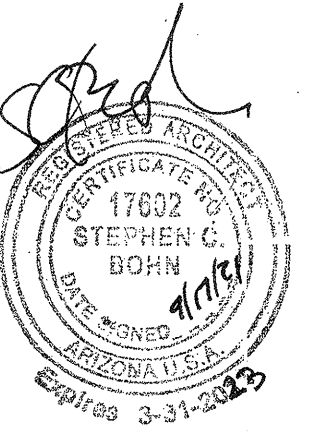
REVISIONS

1	REMOVE SHADE SAIL, ADD PERGOLA 2/19/22
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SHEET NO. 1 OF 12

**LAZAR RESIDENCE REMODEL & GUEST HOUSE ADDITION**  
 5440 E. PRESIDIO RD., TUCSON, AZ





**DEMOLITION KEYNOTES**

- 1 REMOVE EXISTING 2X/STUCCO PIERS APPROX. 20" ABOVE FINISH FLOOR, PROVIDE ROOF STRUCTURE SUPPORT PRIOR TO DEMO (SEE DETAIL 1/7)
- 2 REMOVE EXISTING BEARING AND NON-BEARING WALLS/PARTITIONS; SUPPORT STRUCTURE AS REQUIRED
- 3 REMOVE EXISTING DOORS AND WINDOWS
- 4 REMOVE SHOWER WALLS AND TILE; CAP PLUMBING AS REQUIRED.
- 5 REMOVE EXISTING FRONT WALL, FOOTING AND PORTION OF ROOF STRUCTURE, BRACE AS REQUIRED.
- 6 REMOVE EXISTING WINDOW.
- 7 REMOVE EXISTING 2X/DRYWALL SOFFIT AND DUCTWORK IN KITCHEN AREA. VERIFY LOCATIONS OF WOOD BEAMS/BEARING POSITIONS, IF ANY.
- 8 SAWCUT/REMOVE PORTION OF EXISTING CONCRETE SLAB AND FOOTINGS IN NEW ENTRY AREA; SEE FOUNDATION PLAN SHEET 5.
- 9 REMOVE & RE-ROUTE EX. RWL

**EXISTING HOUSE DEMOLITION PLAN**  
 1/4" = 1'-0"

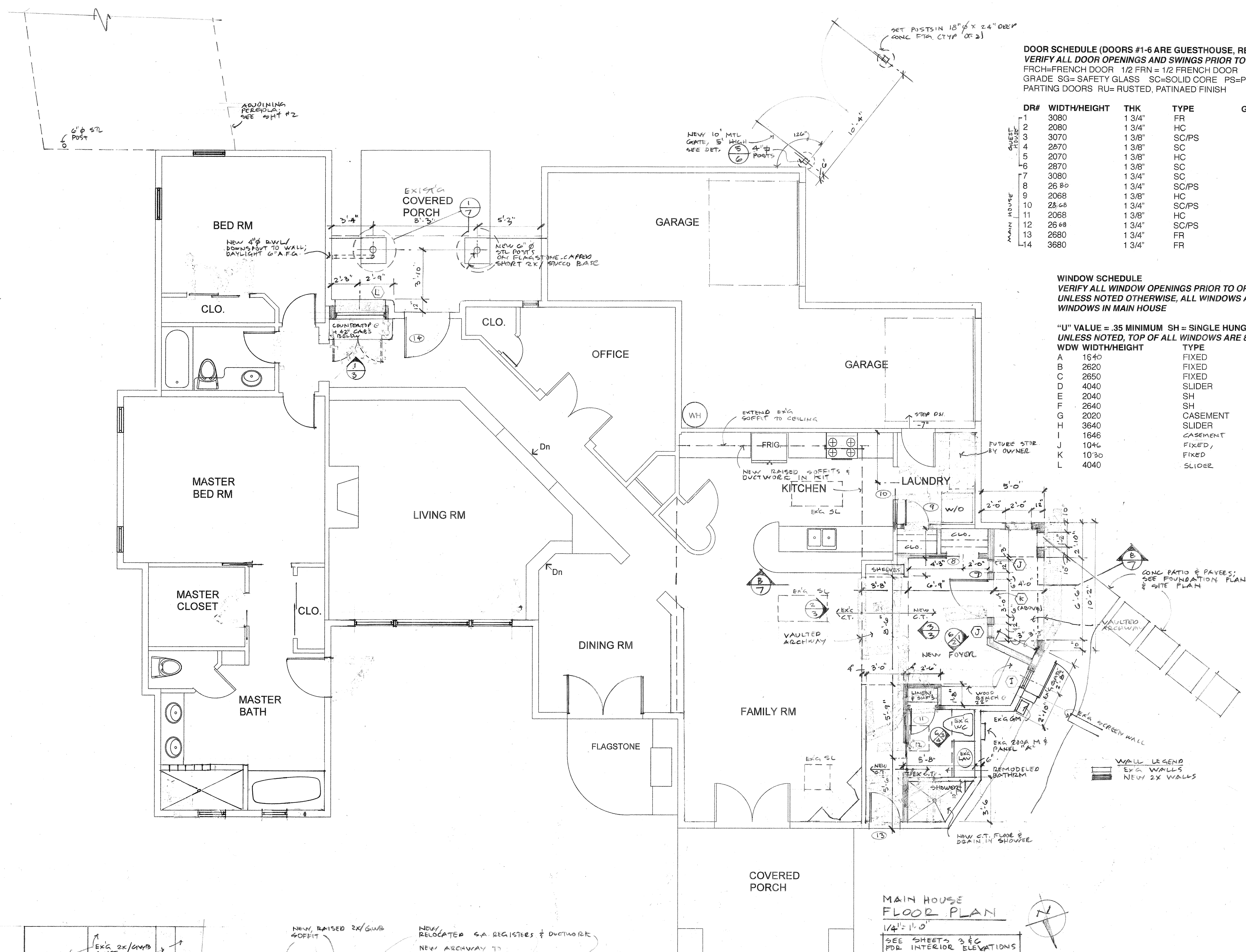
**PERGOLA PLAN**  
 1/4" = 1'-0"

**LAZAR RESIDENCE REMODEL & GUEST HOUSE ADDITION**  
 5440 E. PRESIDIO RD., TUCSON, AZ

PROJECT NO. 2102  
 DATE: 9/17/21  
 REVISIONS:  
 ADDED PERGOLA PLAN 9/15/22

SHEET NO.





**DOOR SCHEDULE (DOORS #1-6 ARE GUESTHOUSE, REMAINDER ARE FOR MAIN HOUSE)**  
**VERIFY ALL DOOR OPENINGS AND SWINGS PRIOR TO ORDERING**  
 FRCH=FRENCH DOOR 1/2 FRN=1/2 FRENCH DOOR HC=HOLLOW CORE PG=PAINT GRADE STN= STAIN GRADE SG=SAFETY GLASS SC=SOLID CORE PS=POCKET SLIDING DOOR GT= METAL GATE BP=BI PARTING DOORS RU=RUSTED, PATINAED FINISH

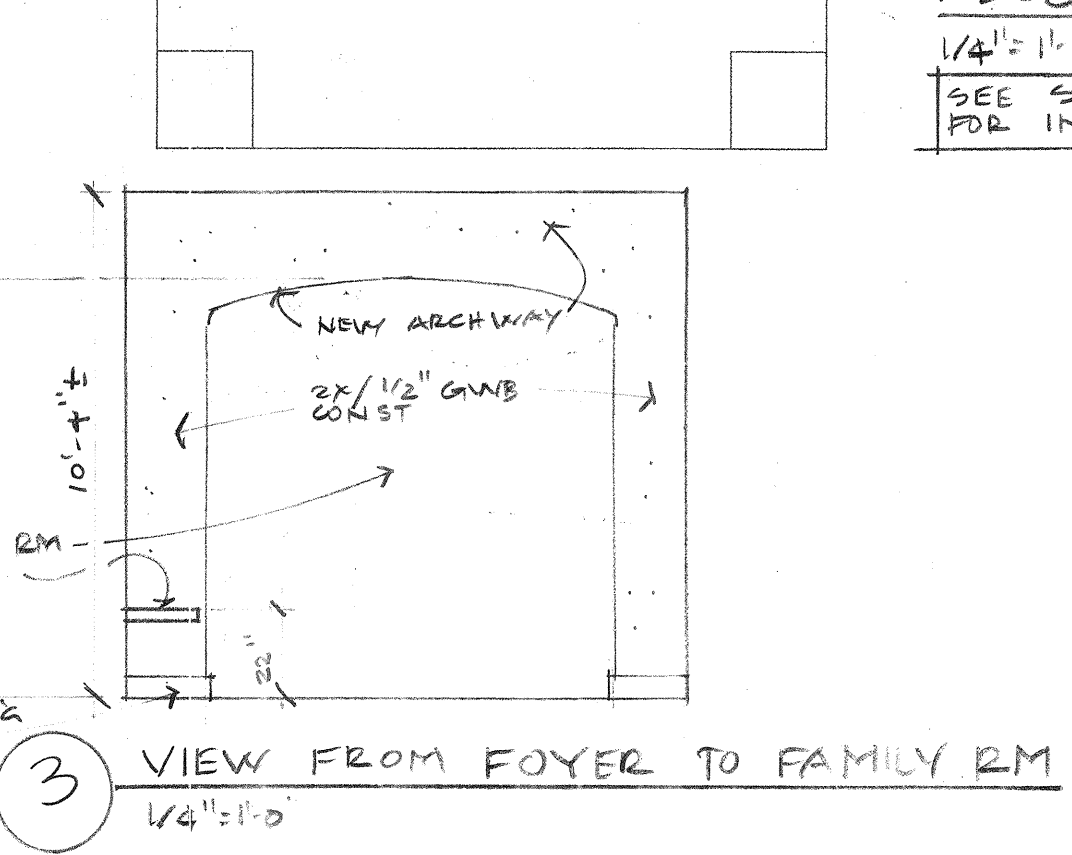
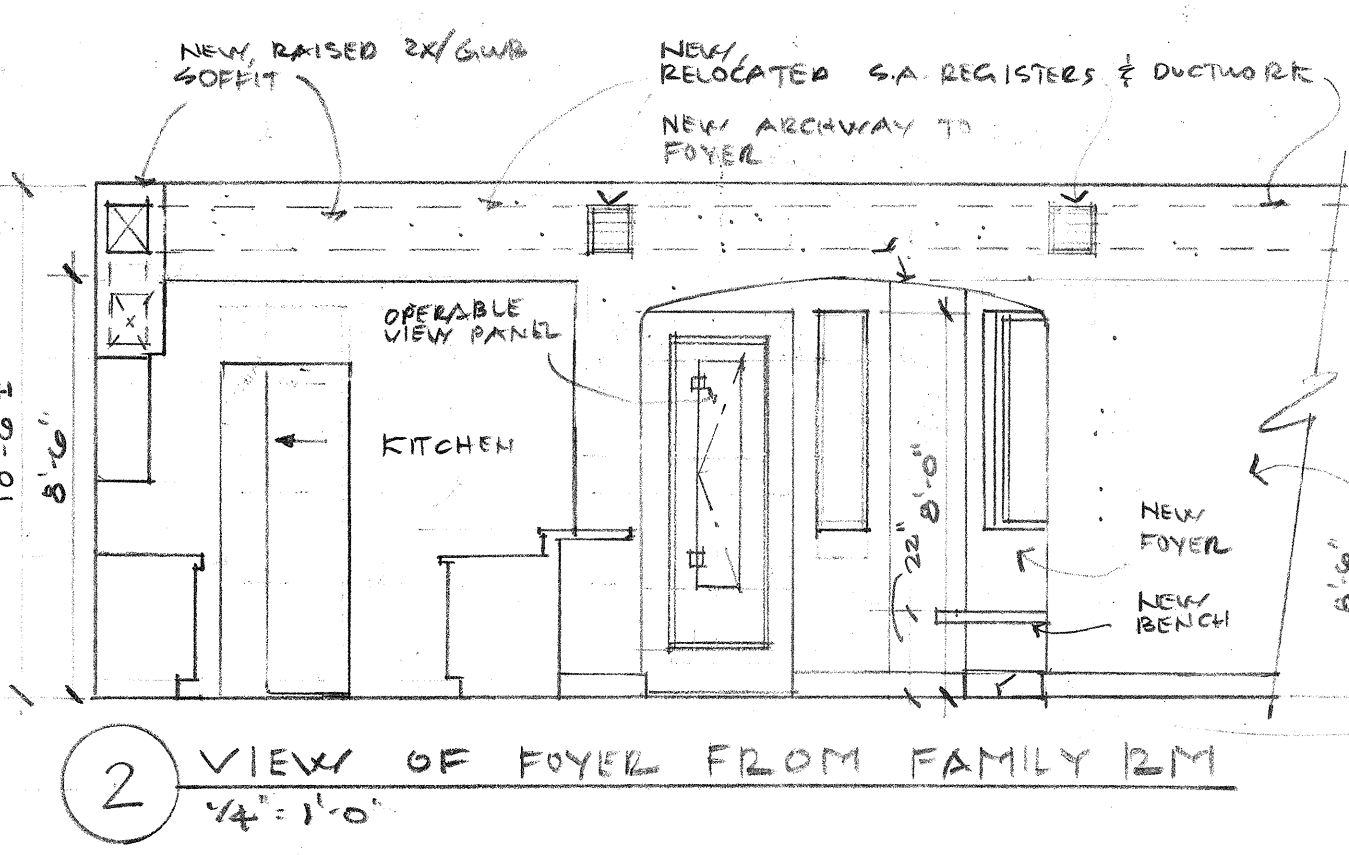
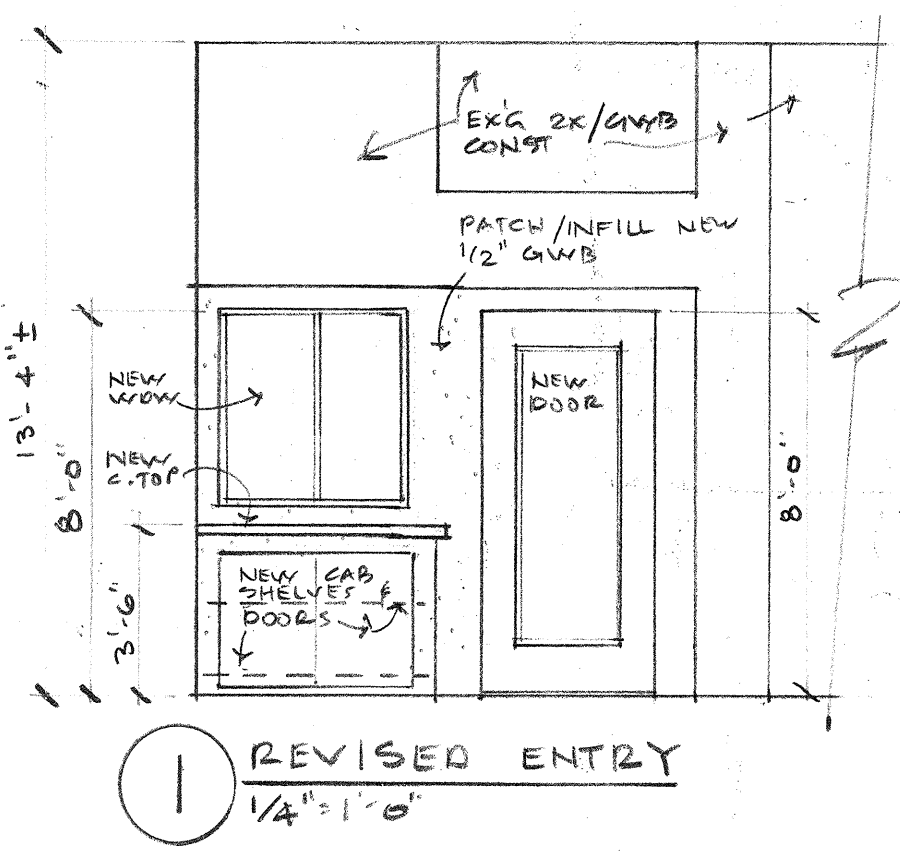
DR#	WIDTH/HEIGHT	THK	TYPE	GRADE	HARDWARE	NOTES
1	3080	1 3/4"	FR	PG	ACCESSIBLE LEVER HANDLES	
2	2080	1 3/4"	HC	PG	"	PAIR 1'-0" DOORS
3	3070	1 3/8"	SC/PS	PG	"	"
4	2870	1 3/8"	SC	PG	"	"
5	2070	1 3/8"	HC	PG	"	2'-8" CLEAR OPENING
6	2870	1 3/8"	SC	PG	"	"
7	3080	1 3/4"	SC	STN	"	ENTRY DOOR SELECTED BY OWNER
8	2680	1 3/4"	SC/PS	PG	"	MATCH EXISTING
9	2068	1 3/8"	HC	PG	"	"
10	2868	1 3/4"	SC/PS	PG	"	"
11	2068	1 3/8"	HC	PG	"	PAIR 1'-0" DOORS
12	2688	1 3/4"	SC/PS	PG	"	"
13	2680	1 3/4"	FR	PG/SG	"	"
14	3680	1 3/4"	FR	STN/SG	"	"

**WINDOW SCHEDULE**  
**VERIFY ALL WINDOW OPENINGS PRIOR TO ORDERING (1636 = 1'-6" X 3'-6")**  
**UNLESS NOTED OTHERWISE, ALL WINDOWS ARE DOUBLE GLAZED VINYL TO MATCH EXISTING WINDOWS IN MAIN HOUSE**

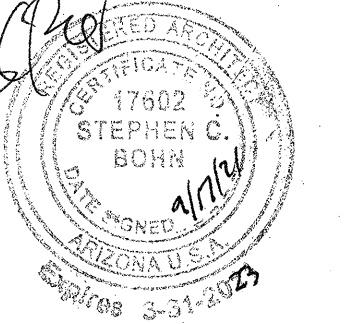
"U" VALUE = .35 MINIMUM SH = SINGLE HUNG  
 UNLESS NOTED, TOP OF ALL WINDOWS ARE 8'-0" ABOVE FF

WDW	WIDTH/HEIGHT	TYPE	NOTES
A	1640	FIXED	SAFETY GLASS
B	2620	FIXED	T.O.W. @ 8' AFF
C	2650	FIXED	T.O.W. @ 8' AFF
D	4040	SLIDER	T.O.W. @ 8' AFF
E	2040	SH	T.O.W. @ 7' AFF
F	2640	SH	T.O.W. @ 7' AFF/EGRESS
G	2020	CASEMENT	T.O.W. @ 7' AFF/EGRESS
H	3640	SLIDER	"
I	1646	CASEMENT	"
J	1046	FIXED	SAFETY GLASS
K	1036	FIXED	ABOVE DOOR, SAFETY GLASS
L	4040	SLIDER	"

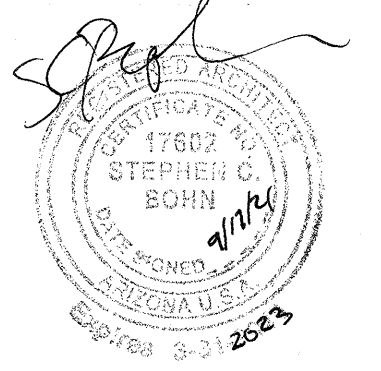
**MAIN HOUSE FLOOR PLAN**  
 1/4" = 1'-0"  
 SEE SHEETS 3 & 4 FOR INTERIOR ELEVATIONS



- GENERAL NOTES:**
- ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF THE 2018 IRC, INCLUDING ALL LOCAL, APPLICABLE AMENDMENTS.
  - OWNER SHALL SPECIFY ALL COLORS, FINISHES, ETC. NOT SHOWN ON THESE PLANS.
  - PATCH AND REPAIR ALL EXISTING CONSTRUCTION DAMAGED BY NEW CONSTRUCTION OR RETROFITTING. REPAIR NEW CONST. AS REQUIRED. MATCH EXISTING TEXTURES AND COLORS UNO.
  - NOTIFY ARCHITECT IMMEDIATELY IF EXISTING CONDITIONS VARY FROM THESE DOCUMENTS.
  - ANY VARIATIONS FROM THESE DOCUMENTS MUST RECEIVE PRIOR APPROVAL OF THE ARCHITECT. THE OWNER AND GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND LIABILITY FOR ANY REVISIONS AND THEIR RESIDUAL EFFECTS TO THE BUILDING (INCLUDING STRUCTURAL) MADE DURING CONSTRUCTION WITHOUT THE ARCHITECT'S PRIOR APPROVAL.
  - VERIFY ALL UTILITY LOCATIONS ON SITE PRIOR TO ANY EXCAVATION



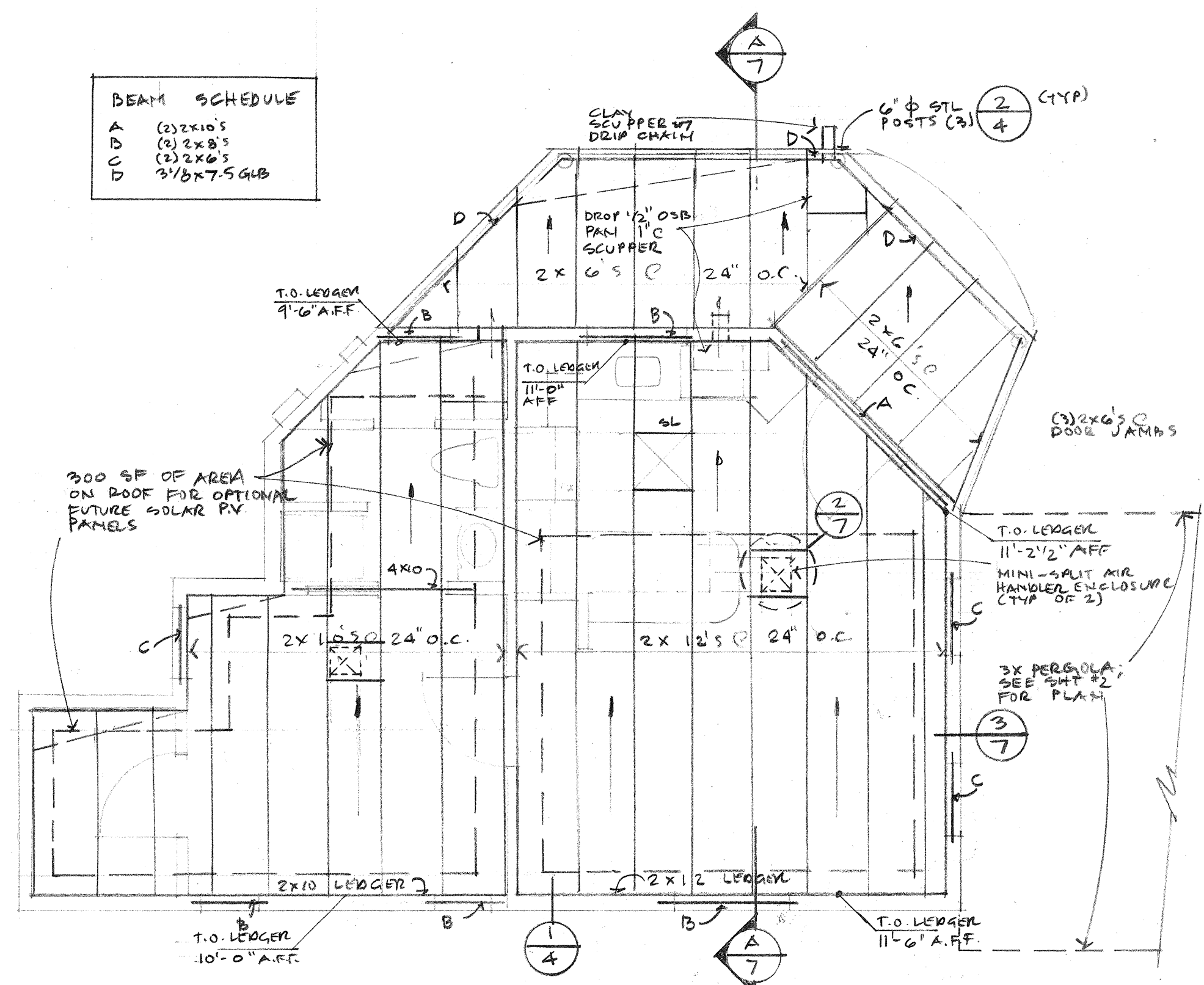




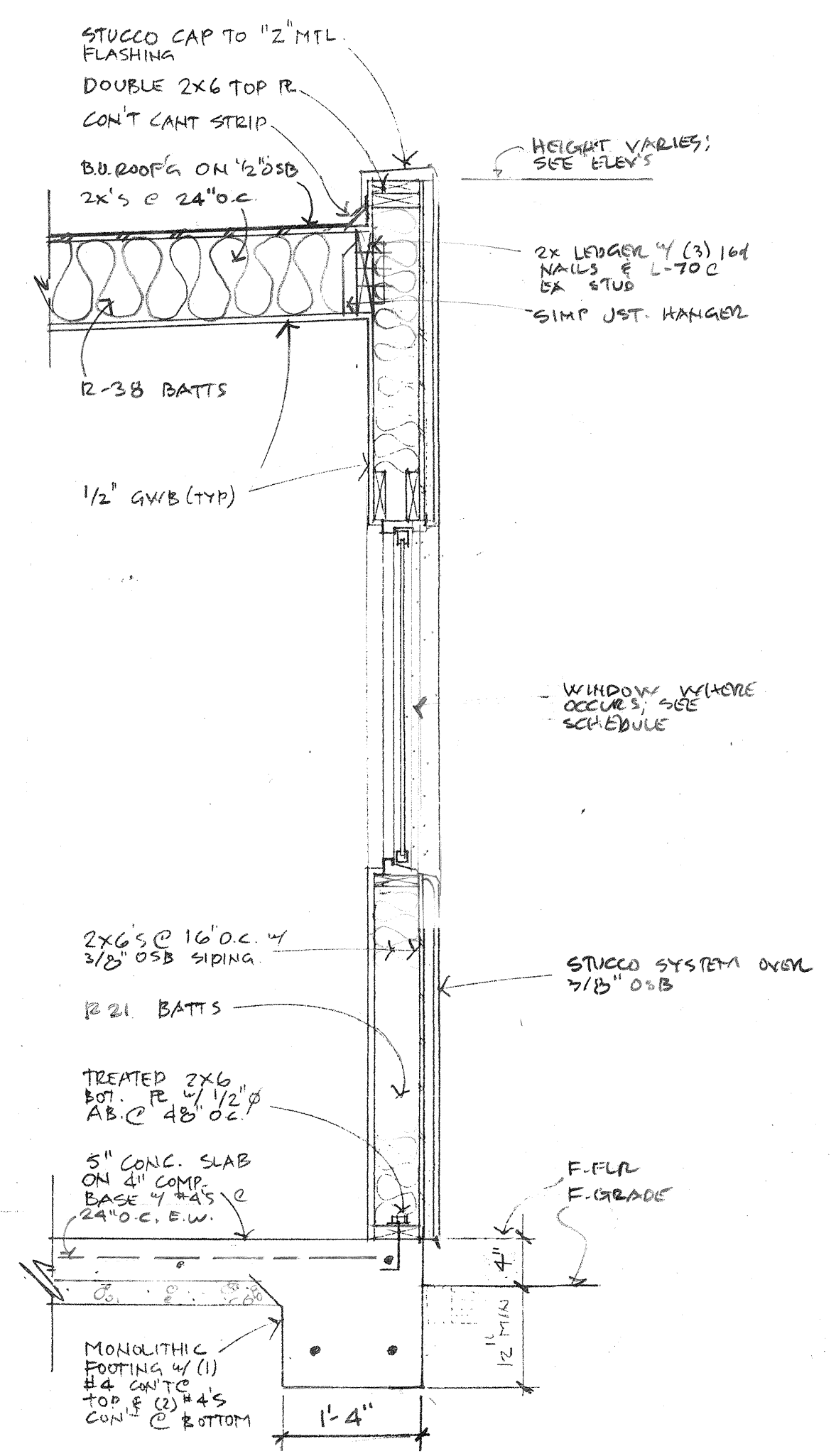
**LAZAR RESIDENCE REMODEL & GUEST HOUSE ADDITION**  
 5440 E. PRESIDIO RD., TUCSON, AZ

**BEAM SCHEDULE**

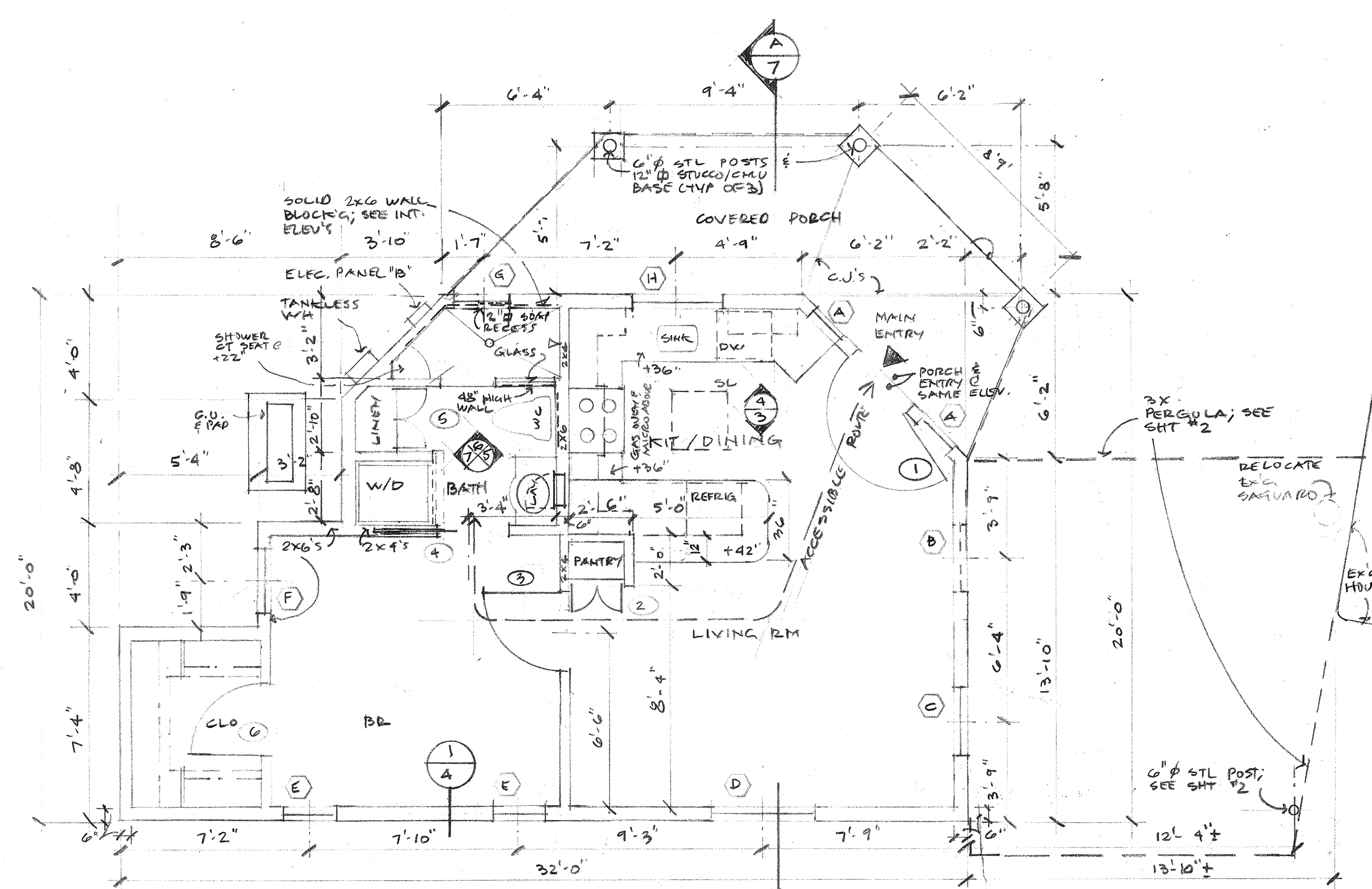
A	(2) 2x10's
B	(3) 2x8's
C	(3) 2x6's
D	(3) 1/2" x 7.5" GUB



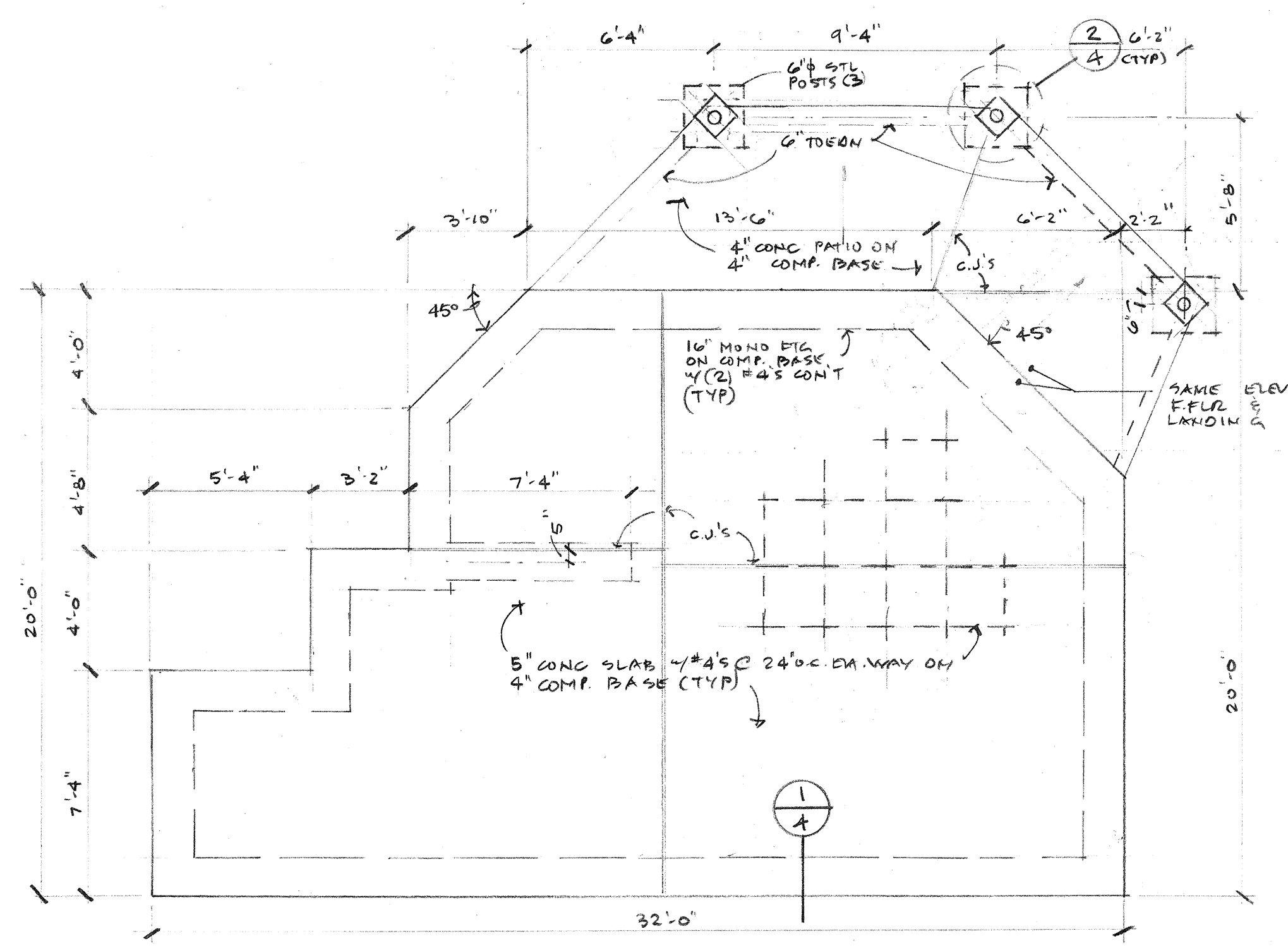
**GUEST HOUSE ROOF FRAMING PLAN**  
 1/4" = 1'-0"



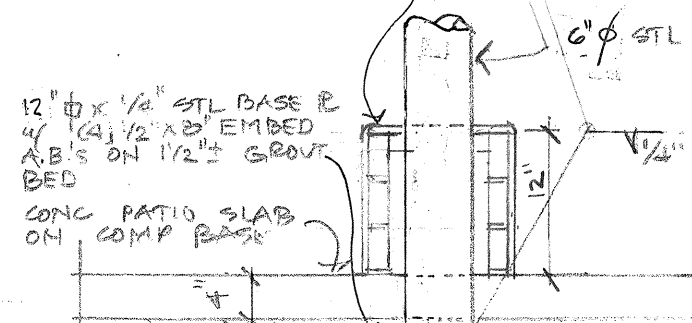
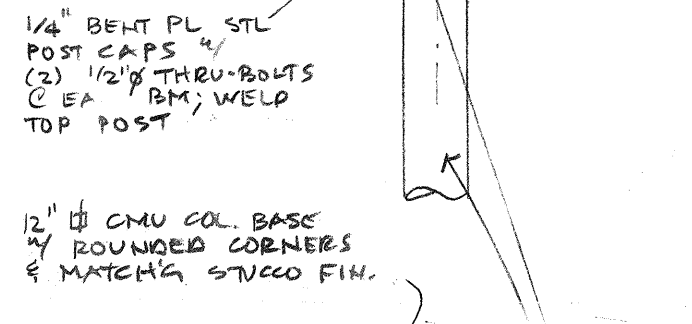
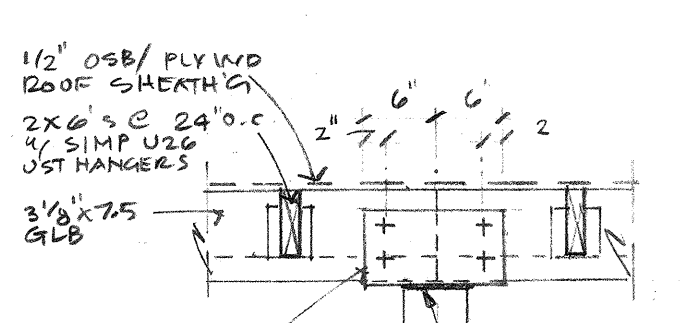
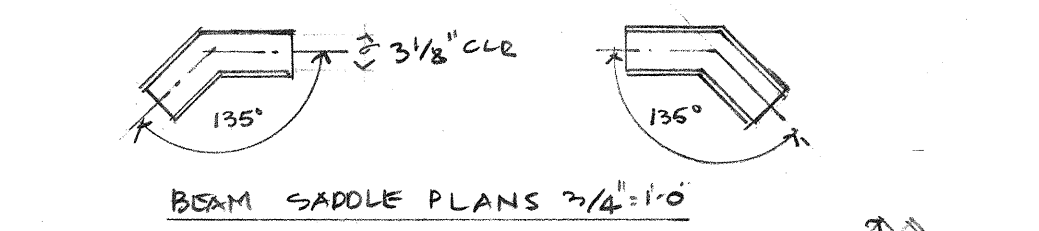
**TYP. WALL SECTION**  
 3/4" = 1'-0"



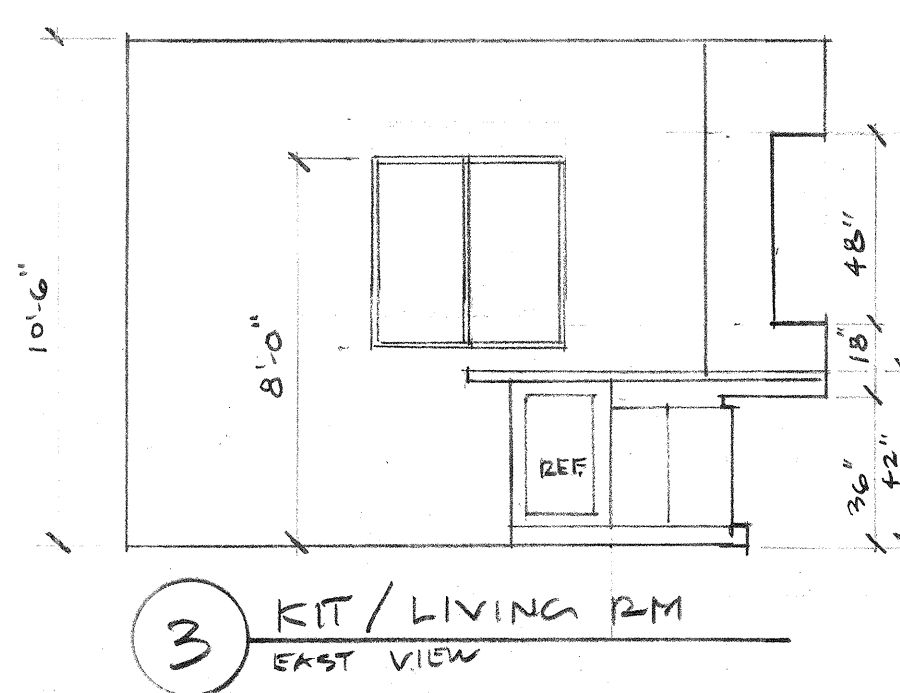
**GUEST HOUSE FLOOR PLAN**  
 1/4" = 1'-0"  
 SEE THIS SHEET BELOW FOR INTERIOR ELEVATIONS



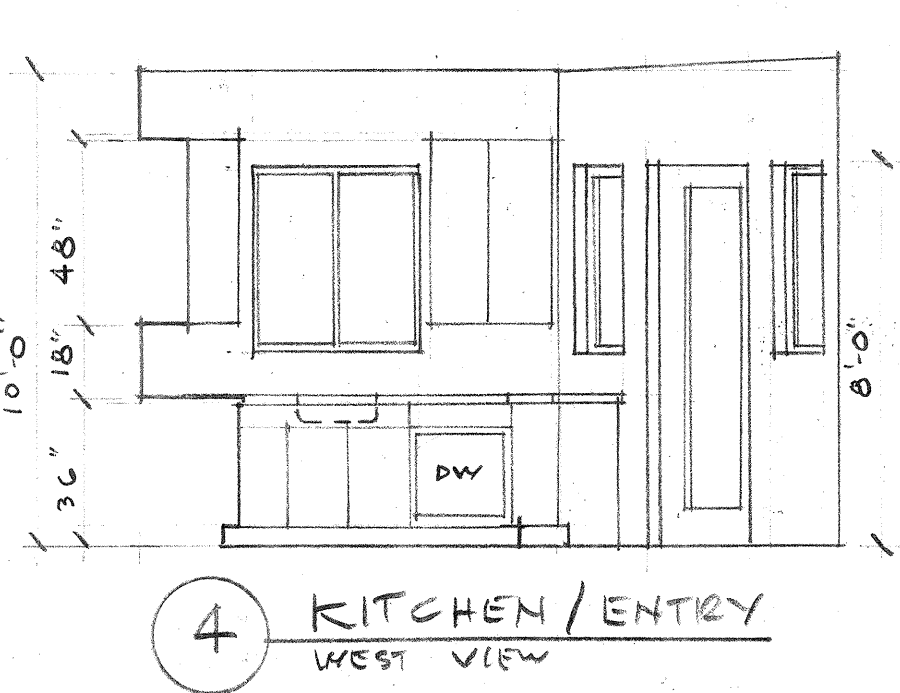
**GUEST HOUSE FOUNDATION PLAN**  
 1/4" = 1'-0"



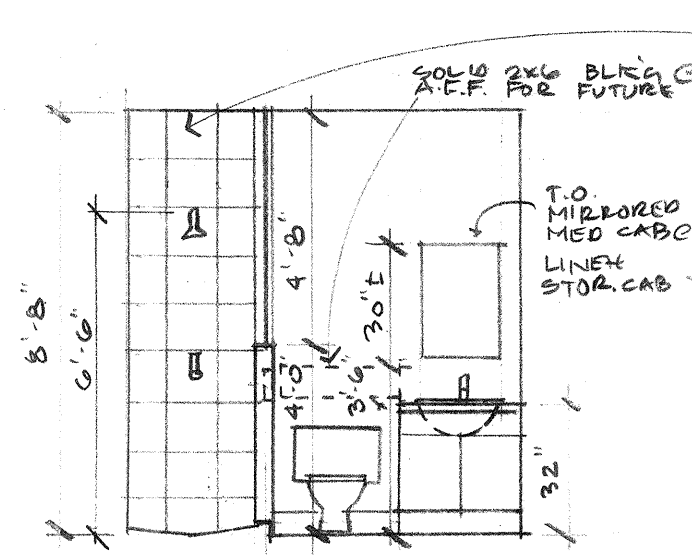
**STL POST & FTG**  
 3/4" = 1'-0"



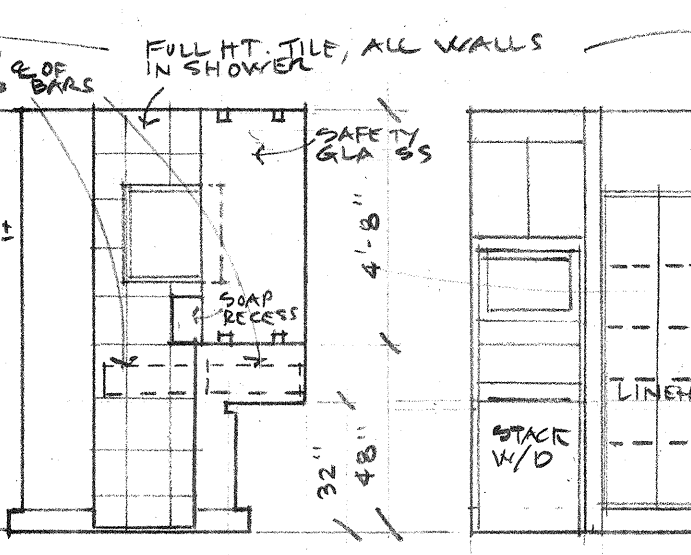
**3 KIT/LIVING RM EAST VIEW**



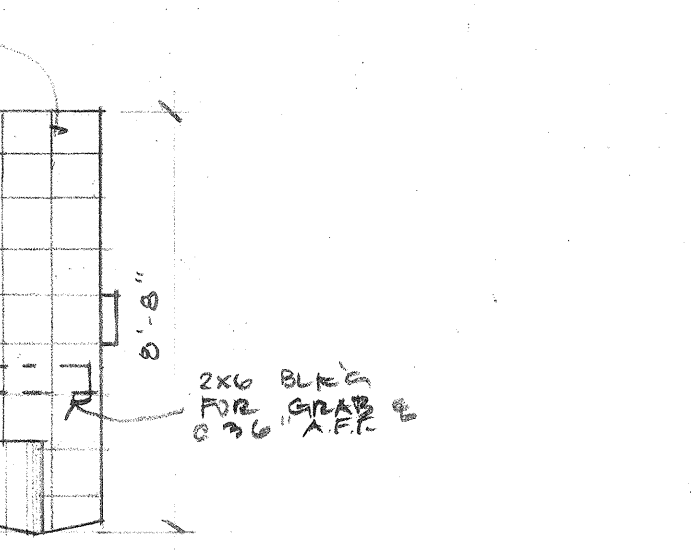
**4 KITCHEN/ENTRY WEST VIEW**



**5 BATH NORTH VIEW**



**6 BATH WEST VIEW**



**7 BATH SOUTH VIEW**

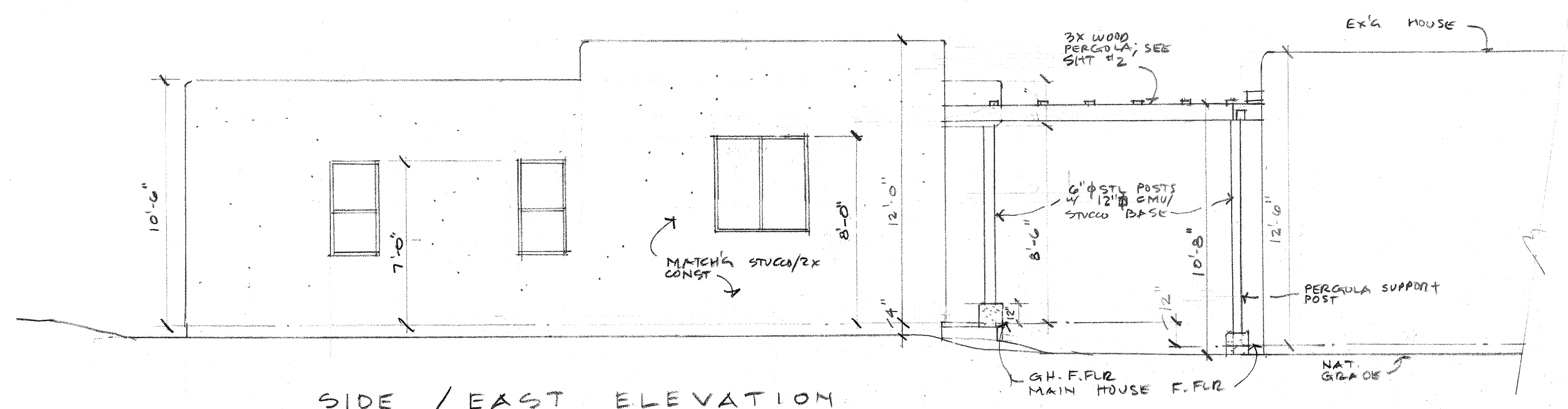
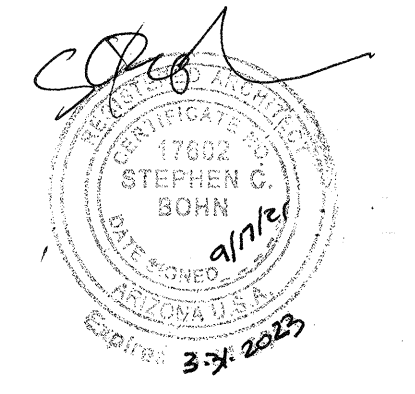
PROJECT NO: 2102  
 DATE: 9/17/21

REVISIONS  
 ADDED ADA ITEMS & POST BASE TO SH. POSTS 7/15/22

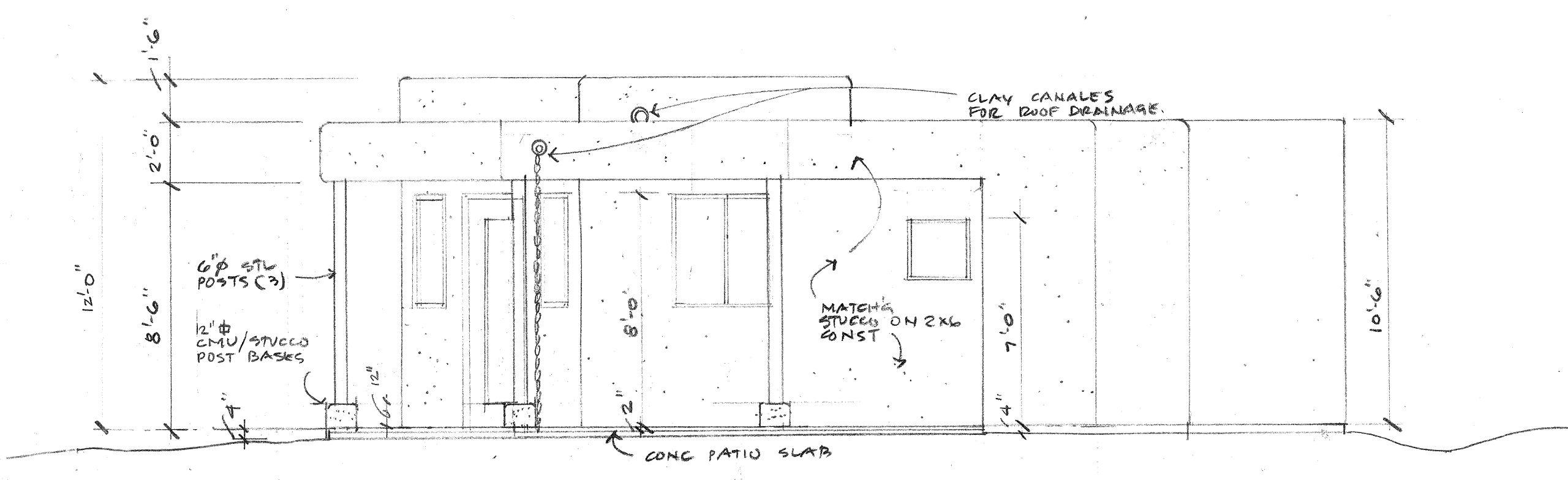
SHEET NO. **4**

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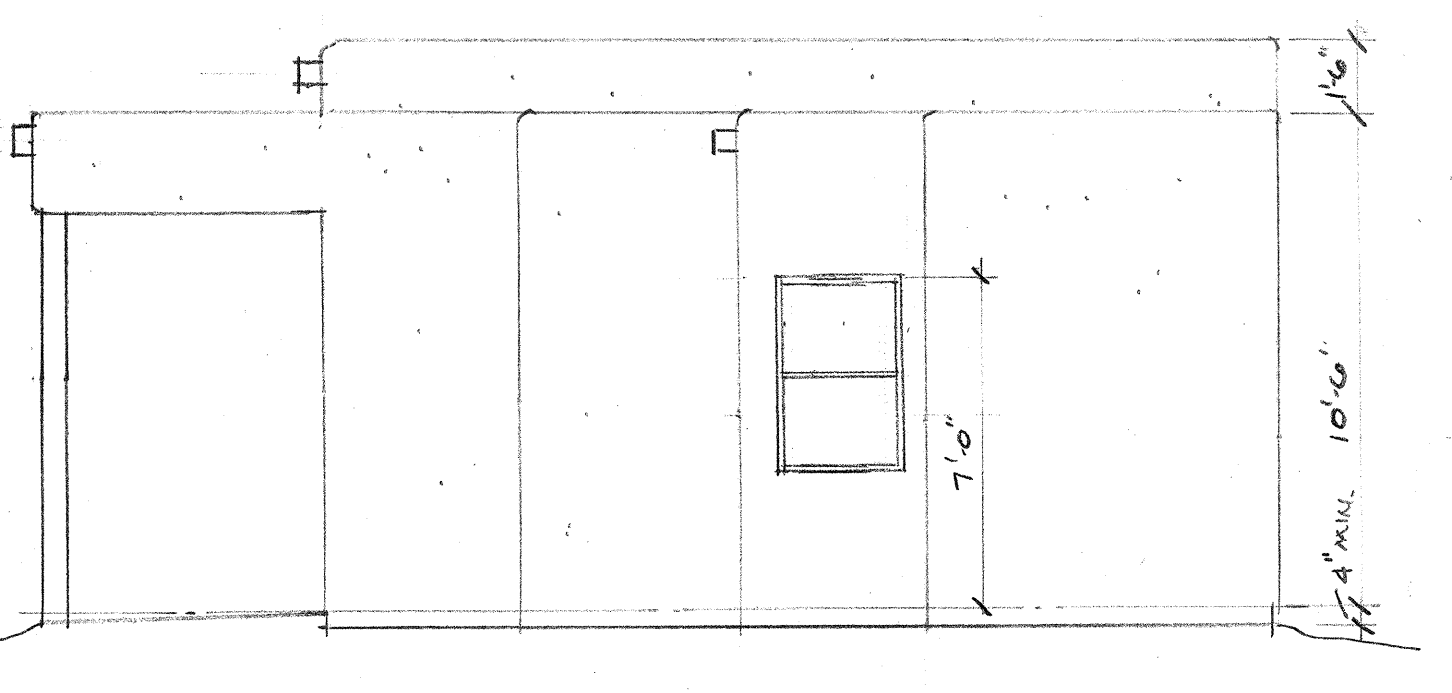




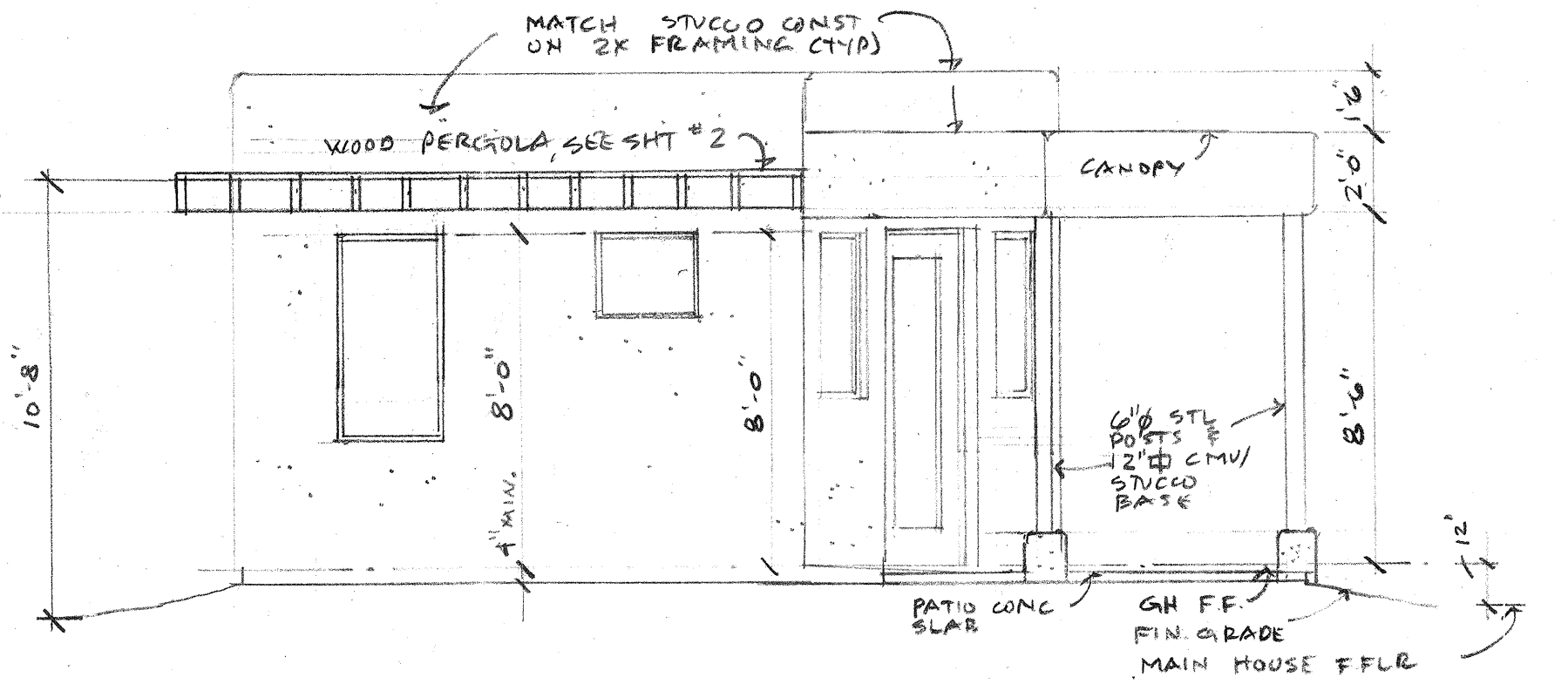
**SIDE / EAST ELEVATION**  
1/4" = 1'-0"



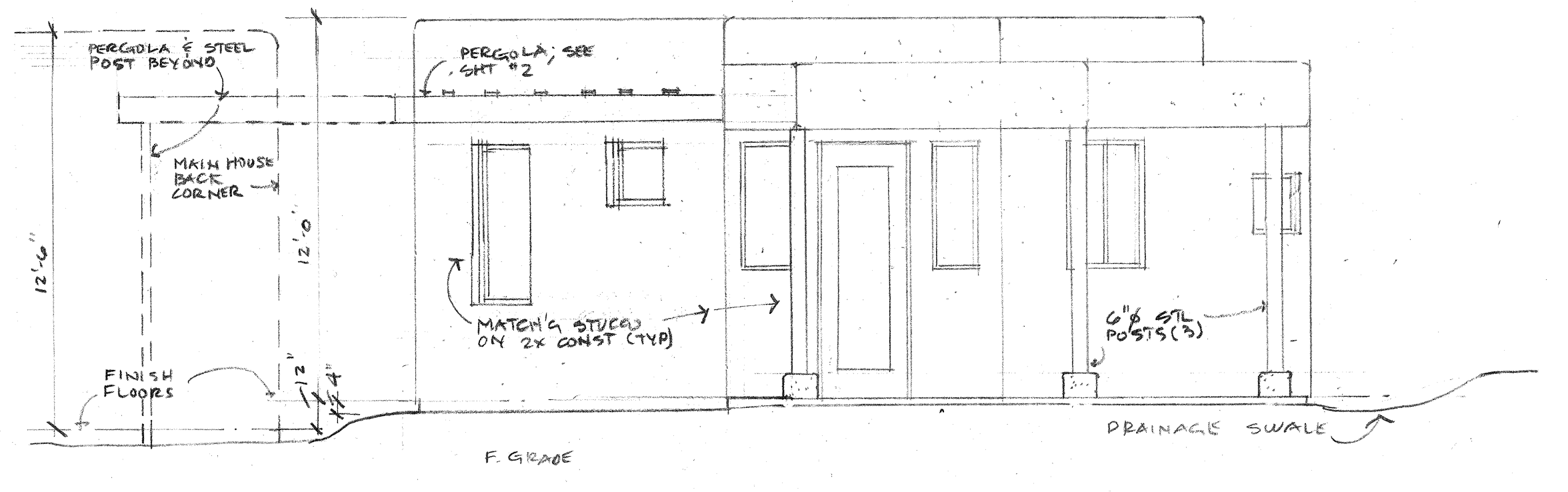
**SIDE / WEST ELEVATION**  
1/4" = 1'-0"



**REAR / SOUTH ELEVATION**  
1/4" = 1'-0"

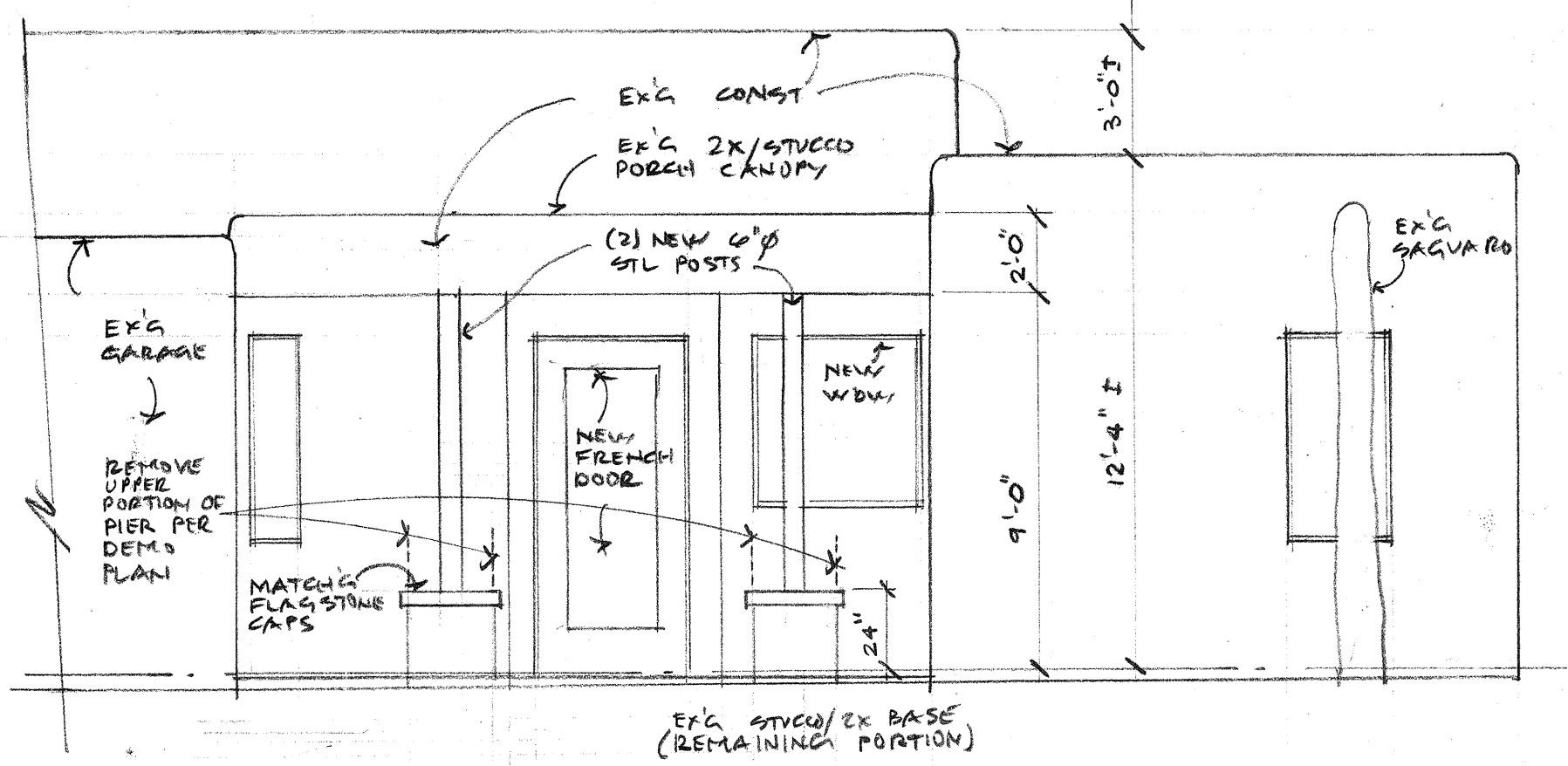


**FRONT / NORTH ELEVATION**  
1/4" = 1'-0"

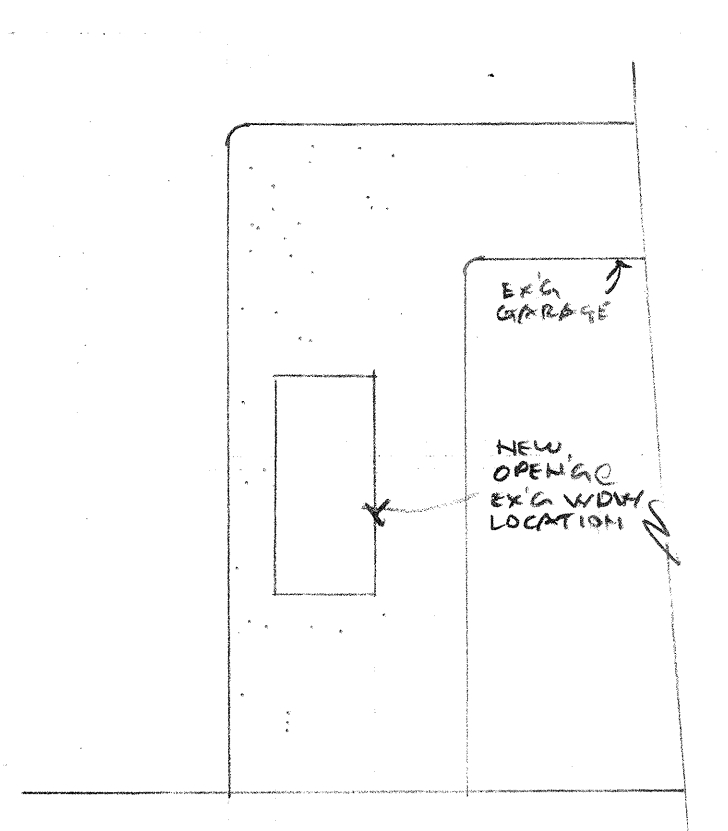


**FRONT / N WEST ENTRY ELEVATION**  
1/4" = 1'-0"

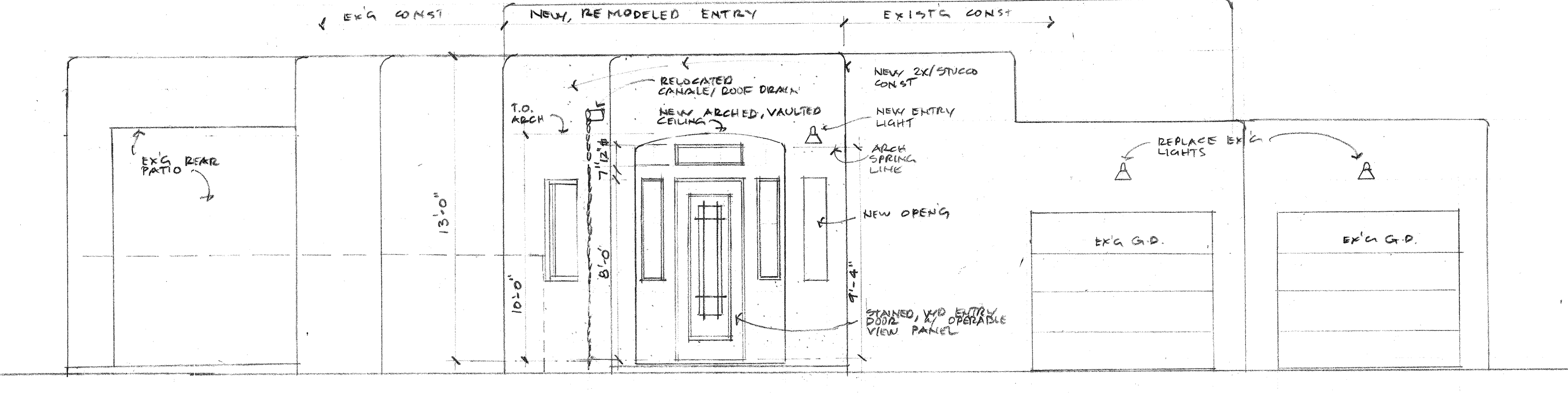
**GUEST HOUSE ELEVATIONS**



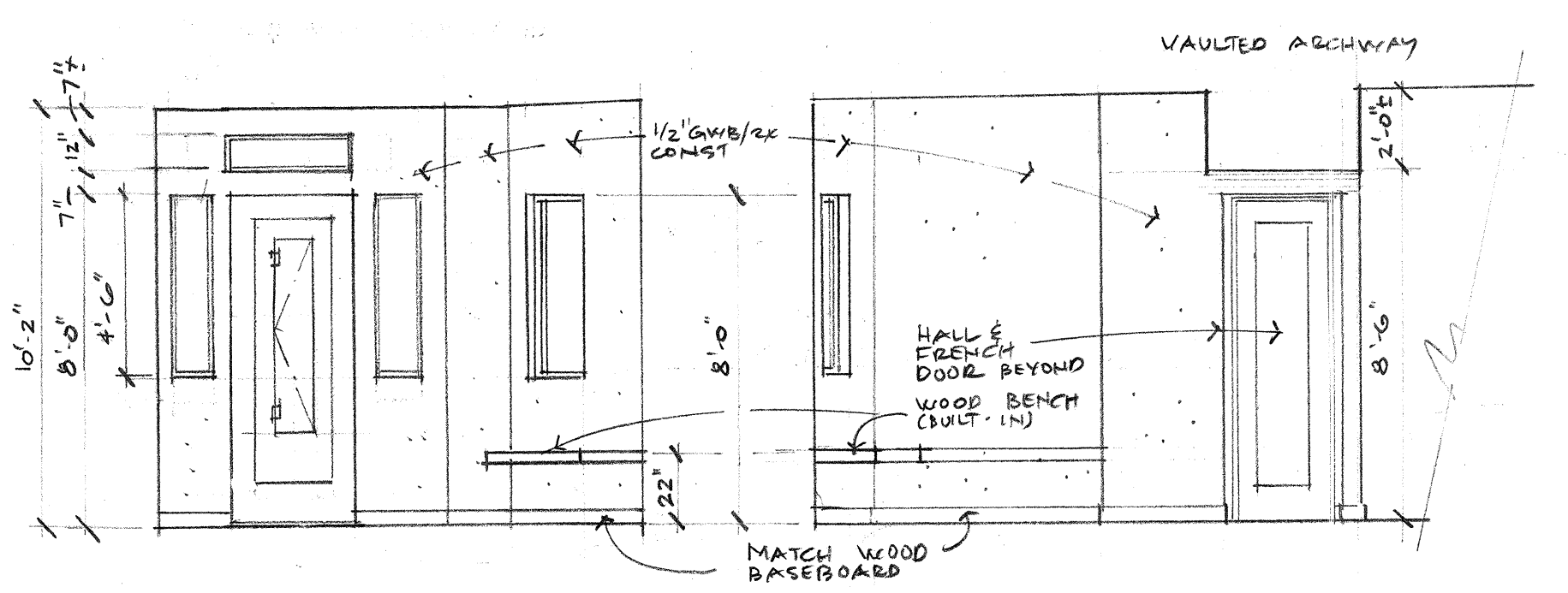
**REMODELED SIDE / SOUTH ENTRY**  
1/4" = 1'-0"



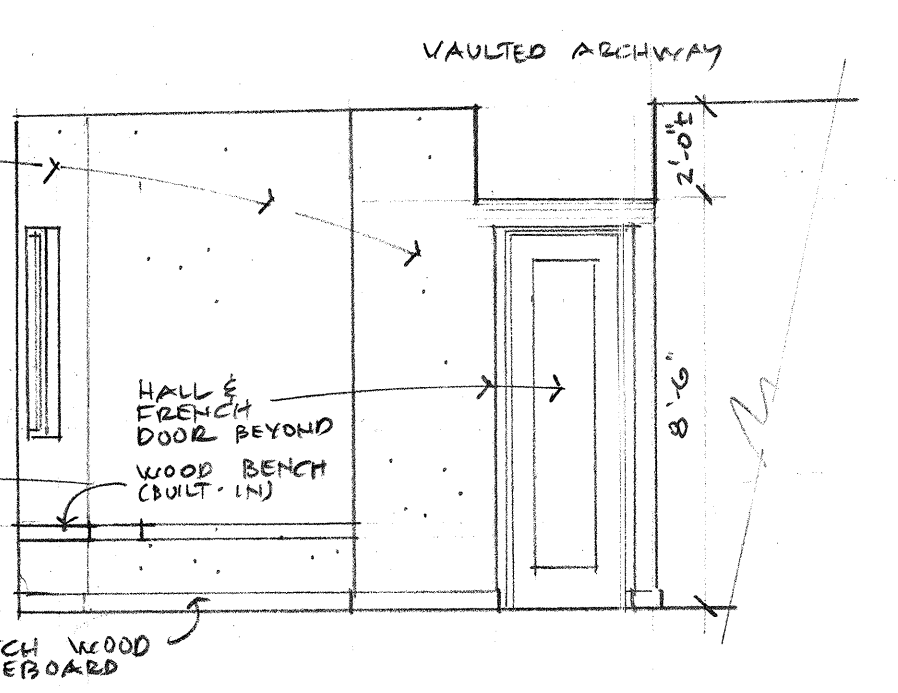
**NEW ENTRY / PARTIAL SOUTH**  
1/4" = 1'-0"



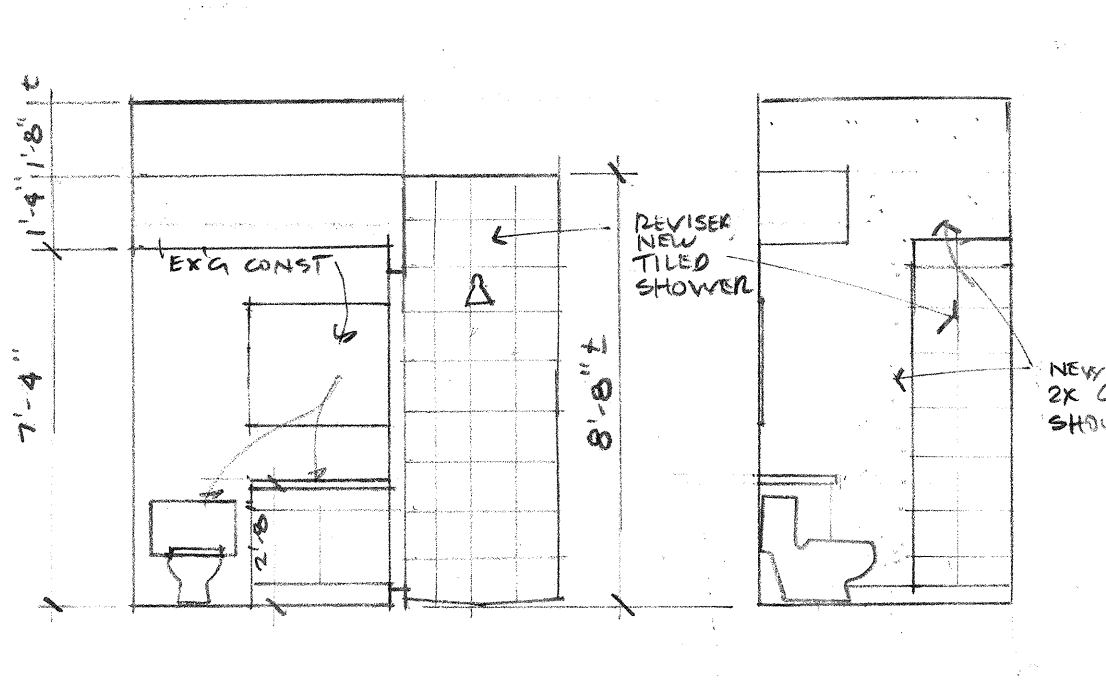
**NEW ENTRY AREA / WEST ELEVATION**  
1/4" = 1'-0"



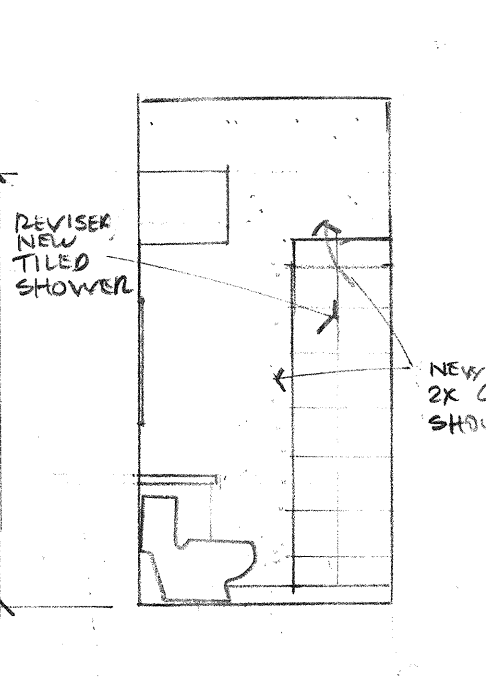
**1 Foyer - WEST VIEW**  
1/4" = 1'-0"



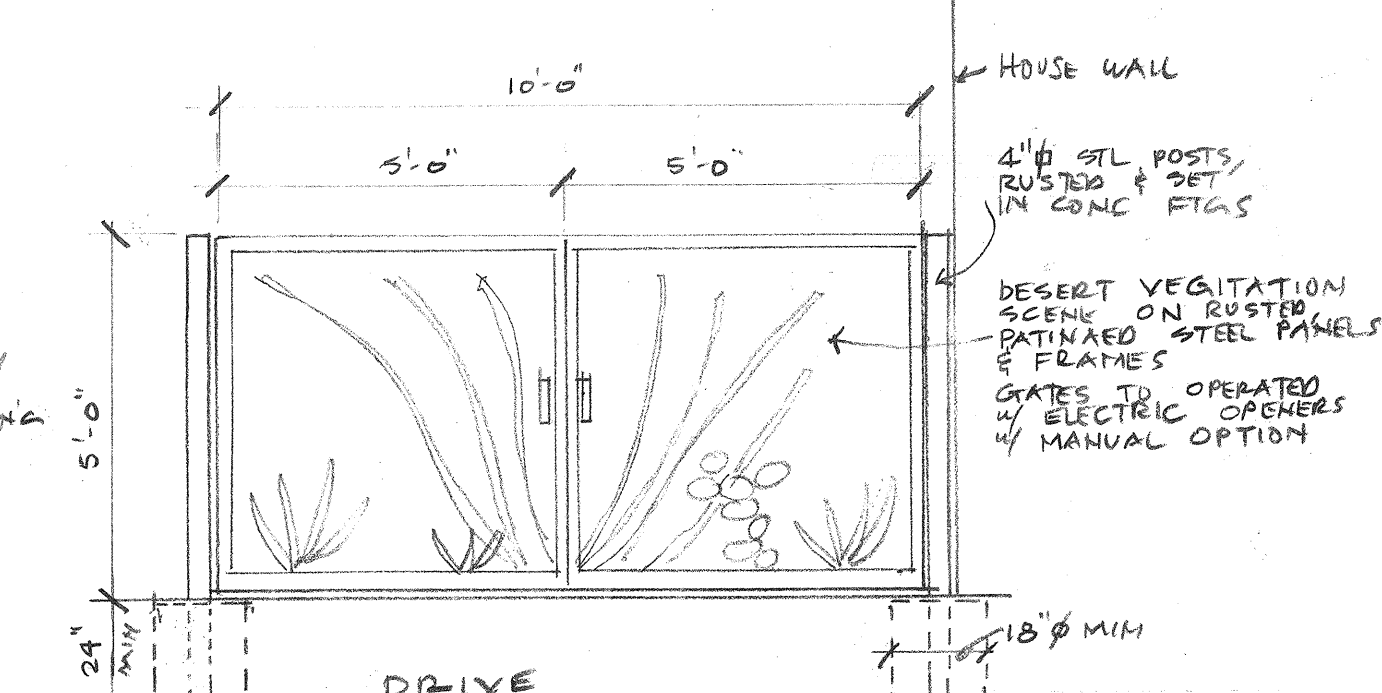
**2 Foyer - NORTH VIEW**  
1/4" = 1'-0"



**3 BATH - WEST**  
1/4" = 1'-0"



**4 BATH - NORTH**  
1/4" = 1'-0"



**5 DRIVE ENTRY GATES**  
3/8" = 1'-0"

**LAZAR RESIDENCE REMODEL & GUEST HOUSE ADDITION**  
 5440 E. PRESIDIO RD., TUCSON, AZ

PROJECT NO: 2102  
 DATE: 9/17/21

REVISIONS  
 ADDED PERGOLA BASES & 2" STL POSTS 2/19/22

SHEET NO.  
**6**  
 7 OF 12