

FORT LOWELL MUSEUM REHABILITATION

Plan Number: C-22-004
Job Number: P21007

PROJECT TEAM

ELECTRICAL ENGINEER
HY-LITE DESIGN
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ARCHITECT
POSTER MIRTO McDONALD
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OWNER
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PROJECT ADDRESS

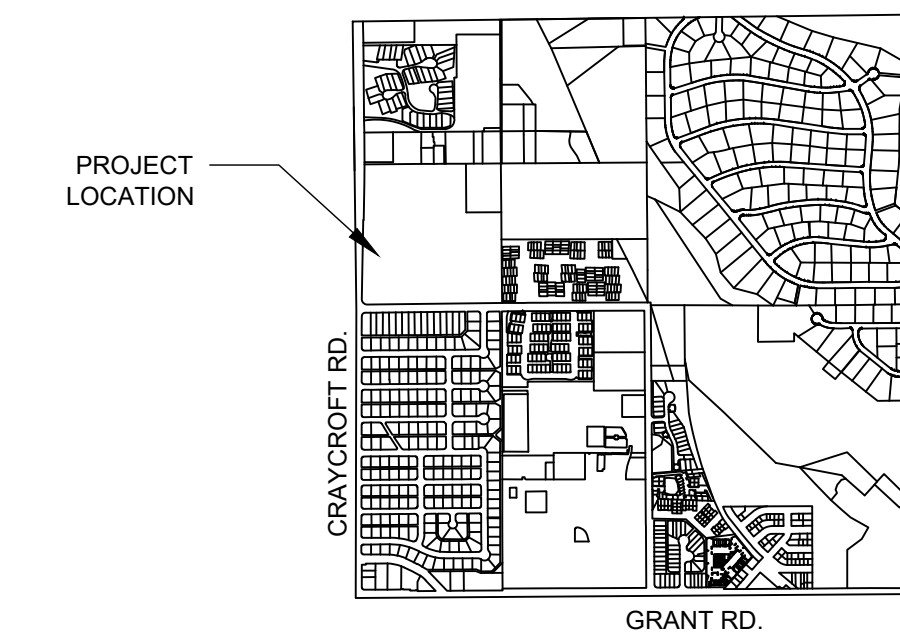
2900 N. CRAYCROFT
TUCSON, AZ 85712

SW4 OF NW4 EXC E 300' OF N 436' THEREOF & EXC
ROADS 34/73 AC SEC 36-13-14

PROJECT MAP

SCALE: 3" = 1 MILE

SECTION: 36 TOWNSHIP: 13S RANGE:14E



1 FORT LOWELL MUSEUM SITE PLAN
SCALE: 1" = 132'

Architecture and Engineering

Environmental and General Services
Department

City of Tucson

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FORT LOWELL
MUSEUM REHABILITATION
2900 N. CRAYCROFT RD,
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Architect:



Seal:



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Date:

MARCH 02, 2022

FR&E Plan No.:

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Sheet Title:

SITE PLAN

Sheet:

G1.0

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Architecture and Engineering

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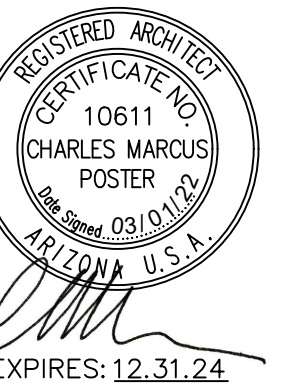
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SYMBOLS, NOTES, & ABBREVIATIONS

Sheet:

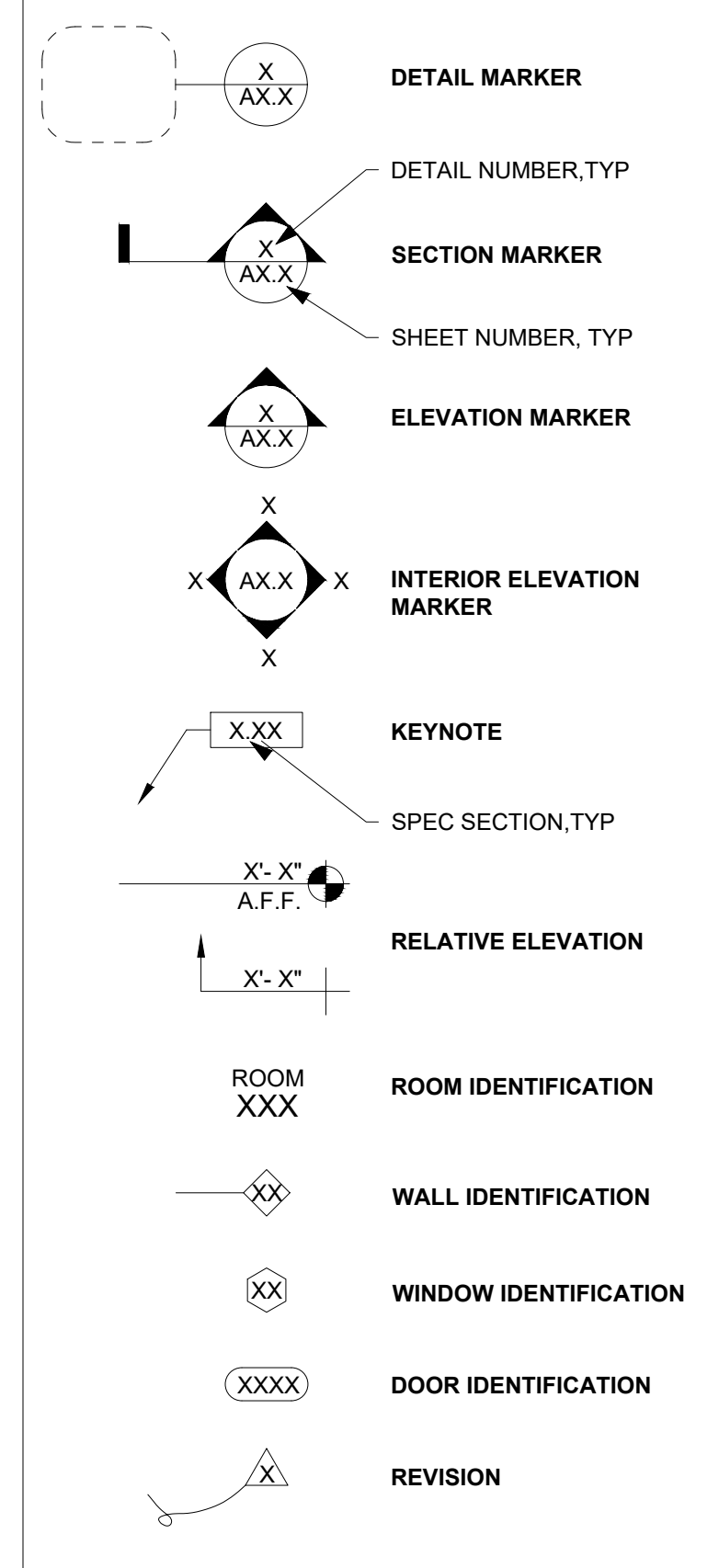
COMMON ABBREVIATIONS

AB	ANCHOR BOLT	HORZ	HORIZONTAL
ABV	ABOVE	HT	HEIGHT
ACT	ACOUSTICAL CEILING TILE	ID	INSIDE DIAMETER
ADJ	ADJUSTABLE	INCL	INCLUDE(D), INCLUDING
AFF	ABOVE FINISHED FLOOR	INT	INTERIOR
AHU	AIR HANDLING UNIT	JAN	JANITOR'S CLOSET
ALT	ALTERNATE	KIT	KITCHEN
ALUM	ALUMINUM	LAV	LAVATORY
APPROX	APPROXIMATE	L	LENGTH
ARCH	ARCHITECT(URAL)	LF	LINEAR FOOT
BD	BOARD	LT	LIGHT
BEL	BELOW	LVP	LUXURY VINYL PLANK
BLDG	BUILDING	MAS	MASONRY
BLK	BLOCK	MFR	MANUFACTURER
BLKG	BLOCKING	MFD	MANUFACTURED
BM	BEAM	MAX	MAXIMUM
BR	BEDROOM	MECH	MECHANICAL
BOT	BOTTOM	MTL	METAL
BRG	BEARING	MIN	MINIMUM
BTWN	BETWEEN	MT	MOUNT
BUR	BUILT UP ROOF	N	NORTH
CAB	CABINET	NC	NOT IN CONTRACT
CFL	COUNTER FLASHING	NOM	NOMINAL
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CLG	CEILING	ON CEN	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
COL	COLUMN	OH	OVERHEAD
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION	PROP	PROPERTY
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
CONTR	CONTRACTOR	PLBS	PLUMBING
CP	CONTROL PANEL	PLF	POUNDS PER LIN FOOT
COORD	COORDINATION	PL	PLATE
CORR	CORRIDOR	PR	PAIR
CPT	CARPET	PSF	POUNDS PER SQ FOOT
CT	CERAMIC TILE	PSI	POUNDS PER SQUARE INCH
DG	DECOMPOSED GRANITE	PT	POINT
DTL(S)	DETAIL(S)	PVC	POLYVINYL CHLORIDE
DP	DEVELOPMENT PACKAGE	PVMT	PAVEMENT
DF	DRINKING FOUNTAIN	RA	RETURN AIR
DIAM	DIAMETER	RAD	RADIUS
DIM	DIMENSION	RB	RUBBER BASE
DN	DOWN	RD	ROOF DRAIN
DWG	DRAWING	REF	REFERENCE
EA	EACH	REQD	REQUIRED
EJ	EXPANSION JOINT	RM	ROOM
ELEV	ELEVATION	RO	ROUGH OPENING
ELEC	ELECTRICAL	ROW	RIGHT OF WAY
EMER	EMERGENCY	RWL	RAINWATER LEADER
ENCL	ENCLOSURE	SC	SOLID CORE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FOOT
EXIST	EXISTING	SHT	SHEET
EXH	EXHAUST	SIM	SIMILAR
EXP	EXPANSION	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
FBO	FURNISHED BY OTHER	SIS	STAINLESS STEEL
FD	FLOOR DRAIN	STAND	STANDARD
FEC	FIRE EXTINGUISHER CAB	STL	STEEL
FFE	FINISHED FLOOR ELEVATION	STOR	STORAGE
FIN	FINISHED	STRL	STRUCTURAL
FIX	FIXTURE	T&G	TONGUE AND GROOVE
FLR	FLOOR	TB	TOWEL BAR
FNDR	FOUNDATION	TEL	TELEPHONE
FOC	FACE OF CONCRETE	TEMP	TEMPORARY
FOM	FACE OF MASONRY	THK	THICKNESS
FOS	FACE OF STUDS	TOC	TOP OF CONCRETE
FTS	FOOTING	TOM	TOP OF MASONRY
FURR	FURRED, FURRING	TOS	TOP OF STEEL
FUT	FUTURE	TPL	TOP OF PLATE
GA	GUAGE	TV	TELEVISION
GALV	GALVANIZED	TYP	TYPICAL
GB	GRAB BAR	UG	UNDERGROUND
GC	GENERAL CONTRACTOR	VB	VAPOR BARRIER
GL	GLASS, GLAZING	VCT	VINYL COMPOSITION TILE
GRD	GRADE, GRADING	VERT	VERTICAL
GWB	GYPSPUM WALLBOARD	W	WITH
GYP	GYPSPUM	WO	WITHOUT
HB	HOSE BIBB	WC	WATER CLOSET
HC	HOLLOW CORE	WD	WOOD
HW	HARDWARE	WWF	WELDED WIRE FABRIC
HM	HOLLOW METAL		

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF THE CODES AND ALL APPLICABLE LOCAL ORDINANCES. WHERE CONTRACT DOCUMENTS EXCEED SUCH REQUIREMENTS, WITHOUT VIOLATING SUCH CODES, REGULATIONS AND ORDINANCES, CONTRACT DOCUMENTS TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT SHALL APPLY.
- DURING THE CONSTRUCTION PERIOD, IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN CONDITIONS AT THE PROJECT SITE AND TO MEET THE REQUIREMENTS OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). THIS PROVISION SHALL COVER THE CONTRACTOR'S EMPLOYEES AND ALL OTHER PERSONS WORKING UPON OR VISITING THE SITE. THE CONTRACTOR SHALL BECOME FULLY INFORMED OF ALL APPLICABLE STANDARDS AND REGULATIONS AND INFORM ALL PERSONS AND REPRESENTATIVES RESPONSIBLE FOR WORK UNDER THIS CONTRACT.
- CONFIRM ALL NEW AND EXISTING CONDITIONS WITH THE CONTRACT DOCUMENTS. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ALL DISCREPANCIES OR CONFLICTS. DO NOT PROCEED WITH WORK IN THE AREA OF DISCREPANCY OR CONFLICT UNTIL DIRECTION IS GIVEN BY ARCHITECT. IF THE CONTRACTOR PROCEEDS WITHOUT DIRECTION FROM ARCHITECT, IT SHALL BE AT CONTRACTOR'S RISK, AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CORRECTIVE ACTION.
- REVIEW THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF SYSTEMS SHOWN ON CONSULTING ENGINEERS DOCUMENTS. DISCREPANCIES BETWEEN THE ARCHITECTURAL AND CONSULTING ENGINEER'S DOCUMENTS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION FOR DIRECTION.
- DO NOT SCALE THE CONSTRUCTION DOCUMENTS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED GRAPHICS. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ALL ADDITIONAL REQUIRED DIMENSIONS. DO NOT PROCEED WITH WORK IN THE AREA OF DISCREPANCY OR CONFLICT UNTIL DIRECTION IS GIVEN BY ARCHITECT. IF THE CONTRACTOR PROCEEDS WITHOUT DIRECTION FROM ARCHITECT, IT SHALL BE AT CONTRACTOR'S RISK, AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CORRECTIVE ACTION.
- CORRECT ALL WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS BY CONTRACTOR AS DIRECTED BY ARCHITECT AND AT NO ADDITIONAL EXPENSE TO THE OWNER.
- VISIT JOB SITE PRIOR TO BEGINNING WORK AND VERIFY ALL DIMENSIONS.
- CITY OF TUCSON WILL OBTAIN AND PAY FOR PERMITS. CITY WILL PAY FOR INSPECTIONS. CONTRACTOR IS RESPONSIBLE FOR ARRANGING INSPECTIONS. SEE SPECS AND/OR CONTRACTS FOR OWNER'S RESPONSIBILITY.
- WHERE WORK OR EQUIPMENT IS INDICATED "N.I.C." (NOT IN CONTRACT) ON THE DRAWINGS, SUCH WORK AND/OR EQUIPMENT SHALL BE PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION.
- ALL PLAN DIMENSIONS SHOWN AT CENTER OF WALL REPRESENT CENTER LINE OF STUD OR STRUCTURAL ELEMENT UNLESS NOTED OTHERWISE.
- ALL PLAN DIMENSIONS FOR MASONRY AND CONCRETE REPRESENT FACE OF MATERIAL AND OPENING UNLESS NOTED OTHERWISE.
- ALL PLAN DIMENSIONS FOR STUD WALLS REPRESENT FACE OF STUD UNLESS NOTED OTHERWISE.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT THE REVIEW OF ARCHITECT UNLESS NOTED (+) OR "VERIFY". DIMENSIONS NOTED "HOLD" SHALL BE CONSIDERED AS ABSOLUTE AND USED FOR LAY-OUT CONTROL UNLESS OTHERWISE DIRECTED BY ARCHITECT.
- ALL HEIGHTS ARE DIMENSIONED FROM TOP OF SLAB UNLESS NOTED "AFF" (ABOVE FINISH FLOOR).
- "TYPICAL" MEANS COMPARABLE CHARACTERISTICS FOR THE ELEVATION OR DETAIL NOTED. WHEN A DETAIL OR NOTE IS IDENTIFIED AS "TYPICAL", CONTRACTOR SHALL APPLY THIS DETAIL OR NOTE TO EVERY LIKE CONDITION, WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE. VERIFY DIMENSIONS AND ORIENTATION ON PLANS.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ELEVATION OR DETAIL NOTED - VERIFY DIMENSIONS AND ORIENTATION ON PLANS.
- ABBREVIATIONS THROUGHOUT THE DOCUMENTS COMPLY WITH DOCUMENT ABBREVIATION LIST OR ARE THOSE IN COMMON USE. ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION.
- REFER TO THE PROJECT MANUAL AND/OR CONTRACT BETWEEN OWNER AND CONTRACTOR FOR GENERAL CONDITIONS, SUPPLEMENTARY AND SPECIAL CONDITIONS, AND OTHER REQUIREMENTS.
- PROVIDE BARRICADES AND PROTECTIVE DEVICES SEPARATING CONSTRUCTION AREAS. PROVIDE TEMPORARY PASSAGES AS REQUIRED. PRIOR TO DELIVERY OF MATERIALS TO CONSTRUCTION ZONE AND REMOVAL OF WASTE FROM SITE, CHECK WITH OWNER FOR ACCEPTABLE ACCESS ROUTE AND TIME. UNDER NO CIRCUMSTANCES USE AREA OUTSIDE THE CONSTRUCTION ZONE WITHOUT PRIOR CLEARANCE FROM THE OWNER. COMPLY WITH REQUIREMENTS AS SPECIFIED IN PROJECT MANUAL.
- PROVIDE FOR THE PROPER SEQUENCE OF CONSTRUCTION, LOCATION AND SIZE OF OPENINGS. COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS, INCLUDING SHOP DRAWINGS REVIEWED BY ARCHITECT.
- VERIFY POINTS OF CONNECTION, INCLUDING SIZES AND LOCATIONS, AND ALL OTHER REQUIRED OPERATING CRITERIA WITH EQUIPMENT MANUFACTURER.
- COORDINATE THE LOCATION AND TYPE OF ALL ACCESS PANELS REQUIRED FOR ACCESSING MECHANICAL, PLUMBING, ELECTRICAL AND OTHER BUILDING SYSTEMS WITH ARCHITECT.
- CONTRACTOR SHALL STIPULATE THAT ALL PROPOSED SUBSTITUTIONS ARE EQUAL IN PERFORMANCE AND COMPLY WITH APPLICABLE CODES AND REGULATIONS. CONTRACTOR'S SUBSTITUTION OF ALTERNATE MATERIALS OR SYSTEMS SHALL BE AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL ENSURE ALL CONSTRUCTION SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION PURPOSES UNTIL APPROVED BY THE INSPECTOR OF RECORD. FOR CONTINUOUS INSPECTION, TESTING, AND OBSERVATION REQUIREMENTS, REFER TO THE TESTING AND OBSERVATION PROGRAM.

DRAWING SYMBOLS LEGEND



Project:

FORT LOWELL
 MUSEUM REHABILITATION
 2900 N. CRAYCROFT RD,
 TUCSON, AZ. 85712

Architect:

Seal:



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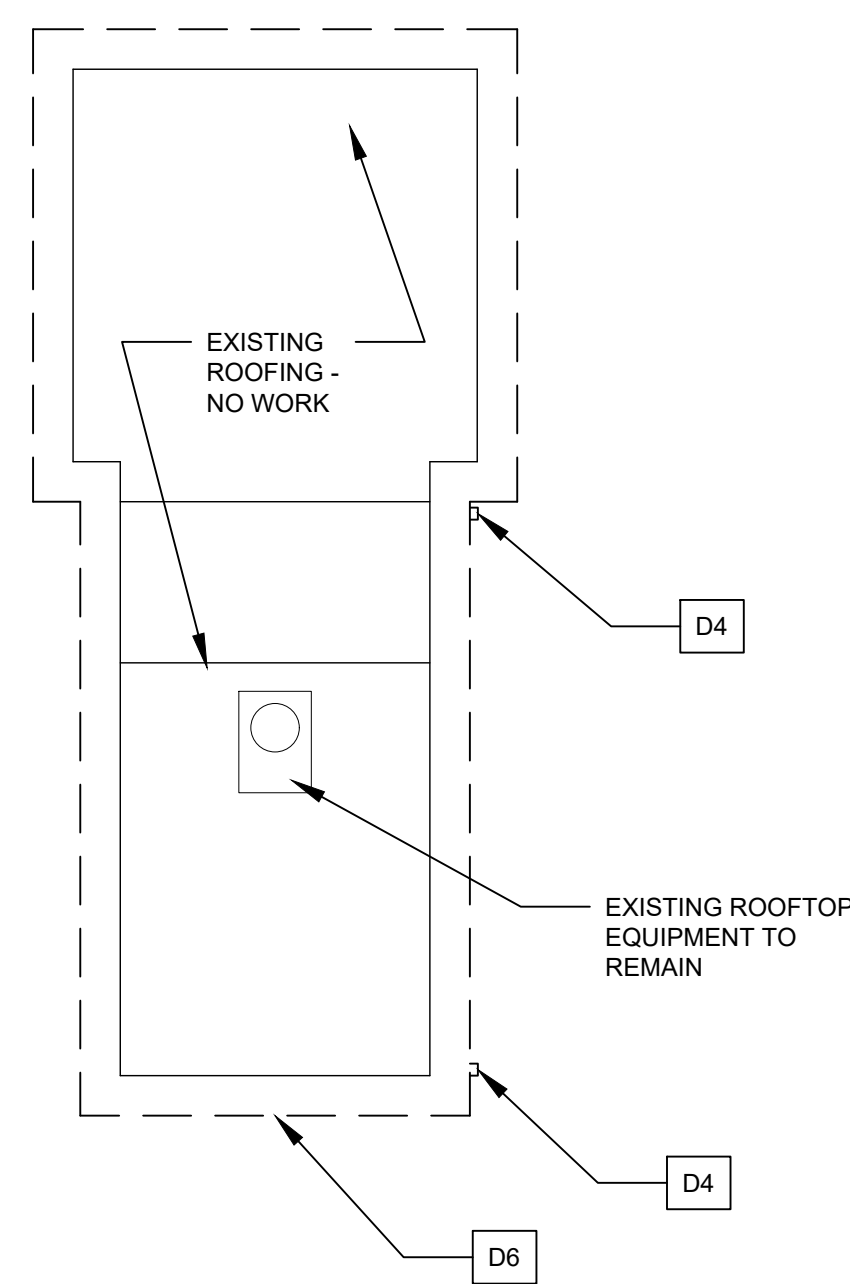
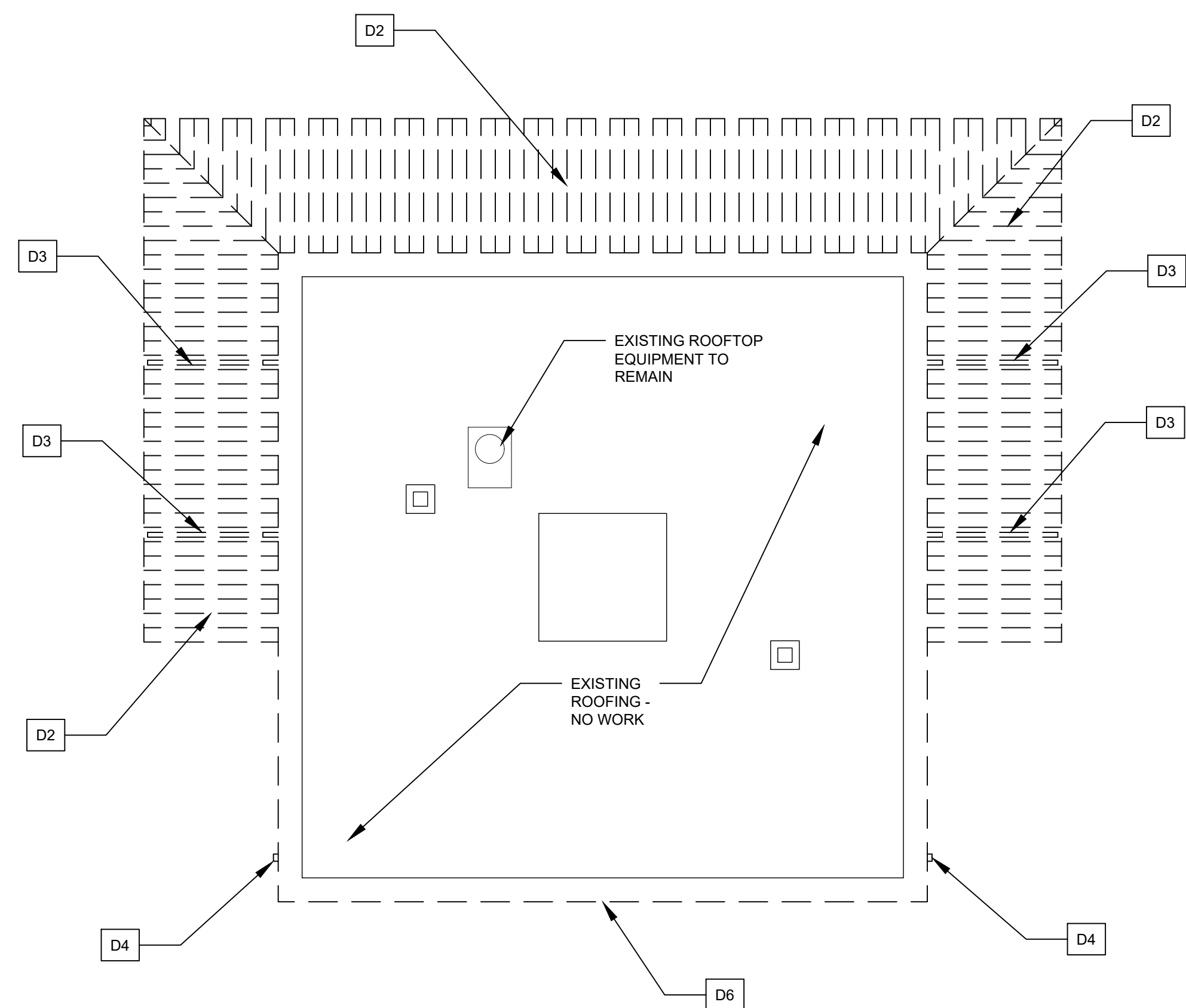
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DEMO PLANS

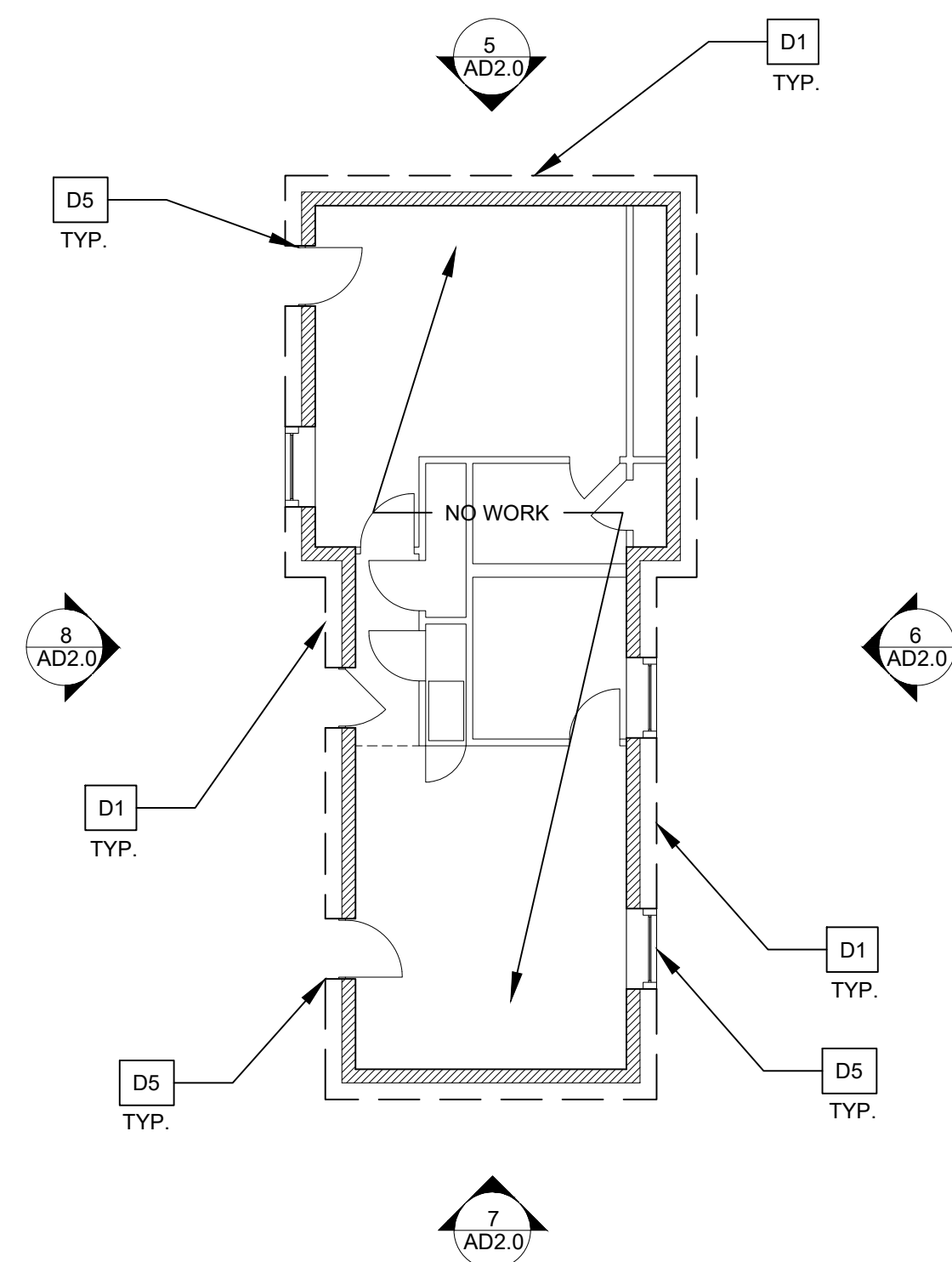
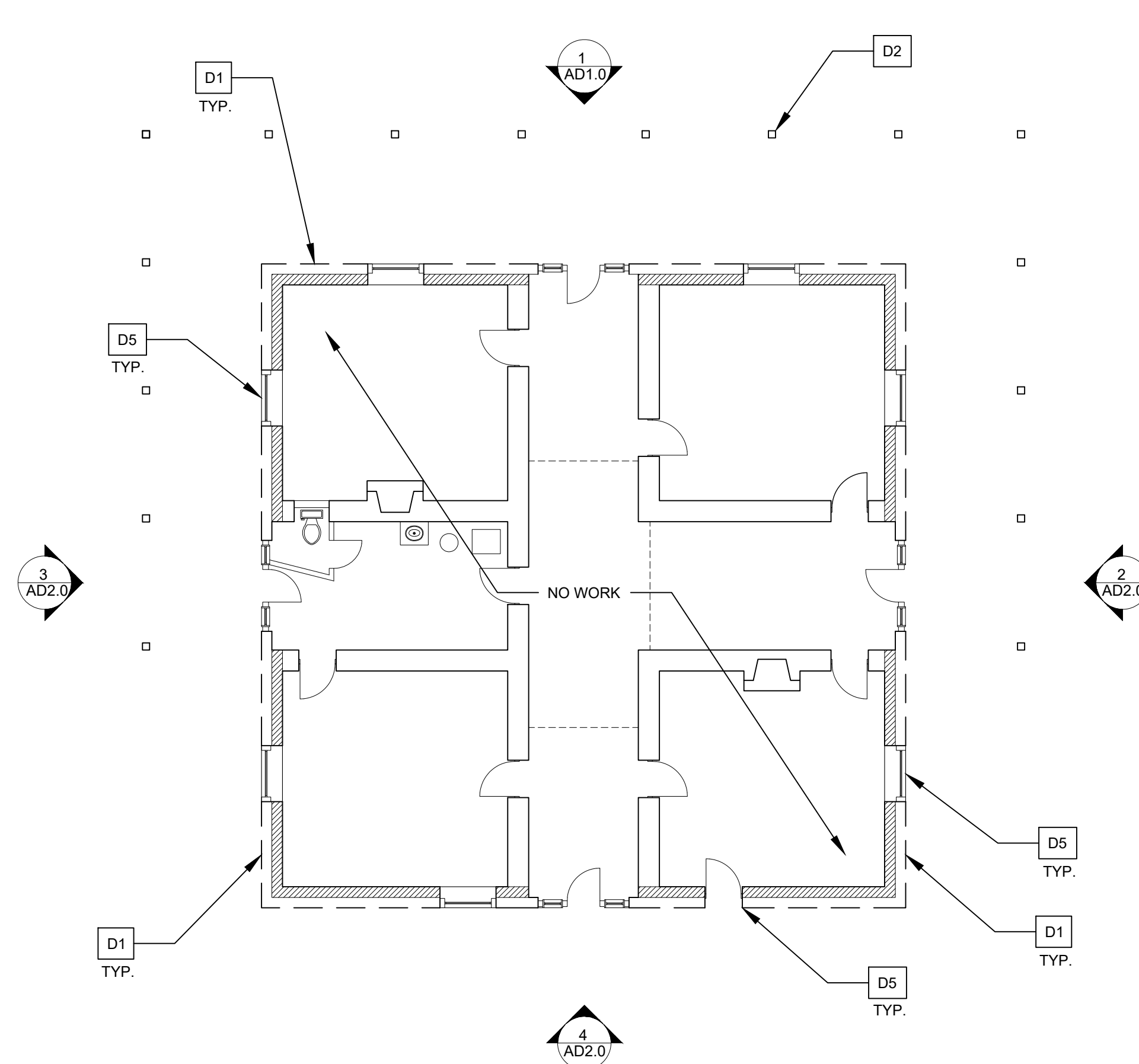
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KEYNOTES

- D1 REMOVE EXISTING ADOBE VENEER FROM FACE OF STRUCTURAL CMU WALL ENTIRELY - ALL EXISTING CLIPS, WIRES, AND FASTENERS SHALL REMAIN. REMOVE ALL SPILLED MORTAR OR OTHER FOREIGN MATERIAL WHICH WOULD COMPLICATE REINSTALLATION OF ADOBE VENEER. REMOVE ALL SURFACE MOUNTED CONDUIT AND PIPING. COORDINATE WITH OWNER REGARDING SALVAGE OF ANY LIGHT FIXTURES.
- D2 REMOVE STANDING SEAM METAL PORCH ROOFING ENTIRELY - SALVAGE AND RE USE IF POSSIBLE, INCLUDING ALL FLASHINGS AND REGLETS. REMOVE FASCIA, LEDGER AT FACE OF BUILDING AND ALL EXISTING WOOD JOISTS. WOOD POSTS AND BEAMS ARE TO REMAIN AND BE PROTECTED IN PLACE, SHORE AS NEEDED DURING CONSTRUCTION.
- D3 REMOVE AND SALVAGE CANALES FOR REINSTALLATION. EXISTING ROOFING AND OTHER ELEMENTS OF THE THROUGH WALL SCUPPER ARE TO REMAIN - PROTECT IN PLACE.
- D4 REMOVE AND SALVAGE METAL DOWN SPOUTS FOR REINSTALLATION. EXISTING ROOFING AND OTHER ELEMENTS OF THE THROUGH WALL SCUPPER ARE TO REMAIN - PROTECT IN PLACE.
- D5 CAREFULLY REMOVE ADOBE VENEER AROUND EXISTING WOOD DOOR OR WINDOW TO REMAIN. PROTECT FROM HARM DURING DEMOLITION. PRESERVE WOOD TRIM IN PLACE IF FEASIBLE - REMOVE AND SALVAGE TRIM IF IN PLACE PRESERVATION IS NOT FEASIBLE. CATALOG AND MARK LOCATIONS OF EACH PIECE OF TRIM IN GOOD CONDITION FOR REINSTALLATION.
- D6 REMOVE LARGE FORMAT FIRED MASONRY PARAPET CAP - SALVAGE IF POSSIBLE



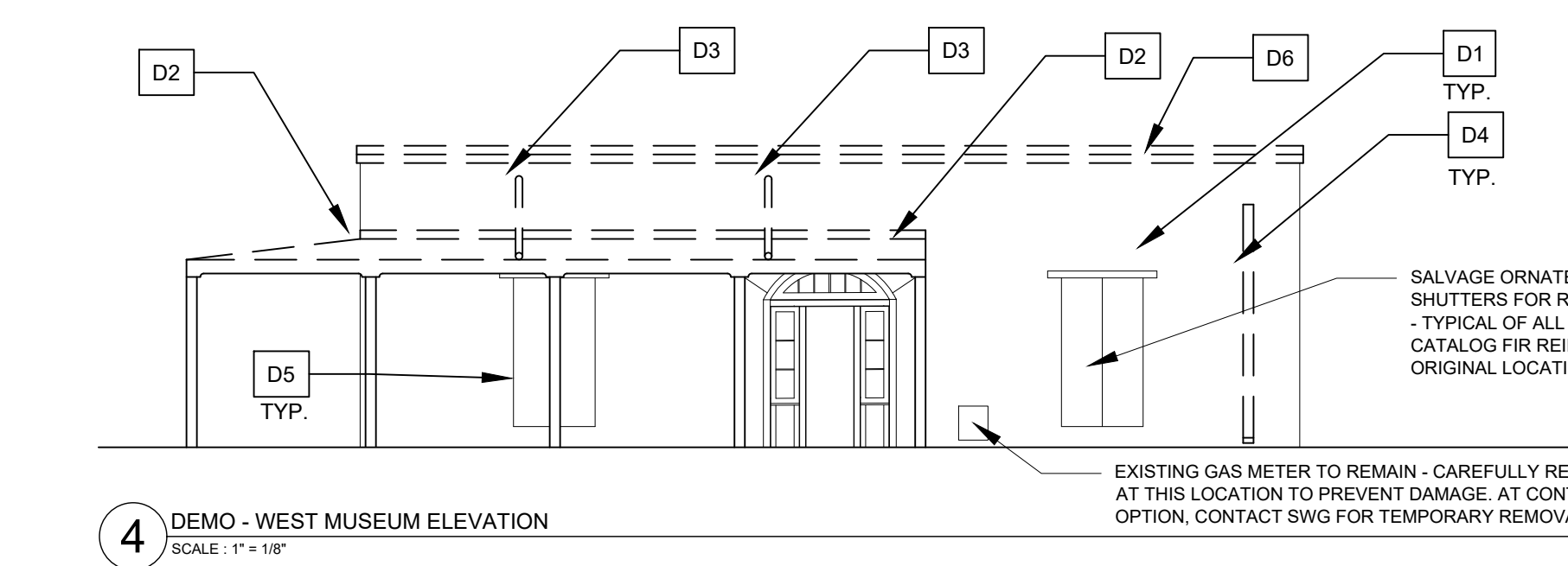
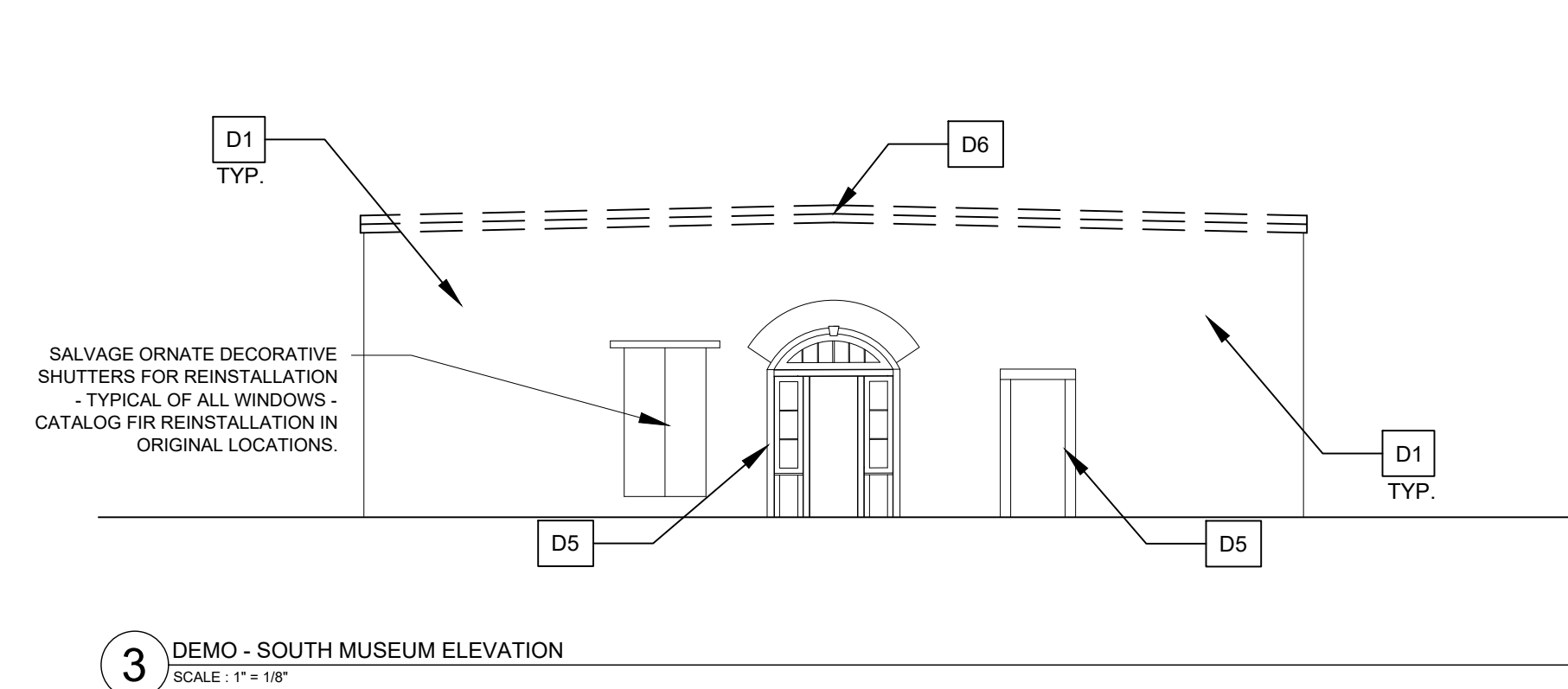
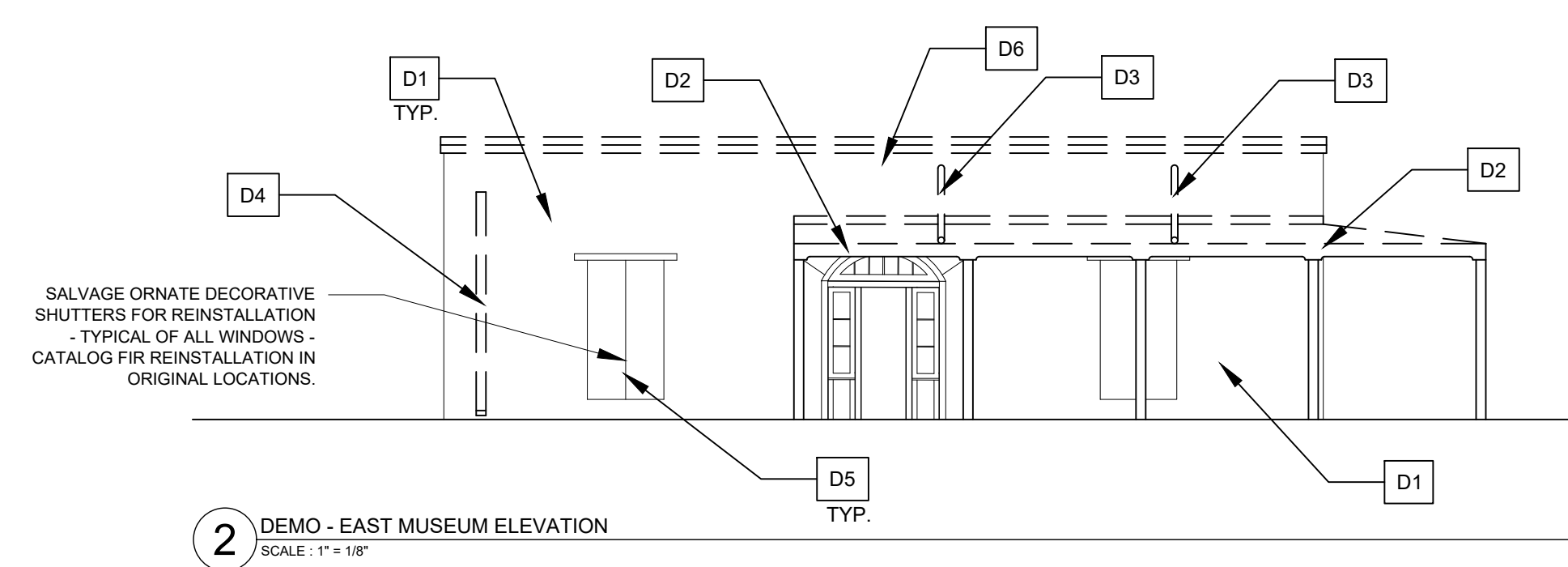
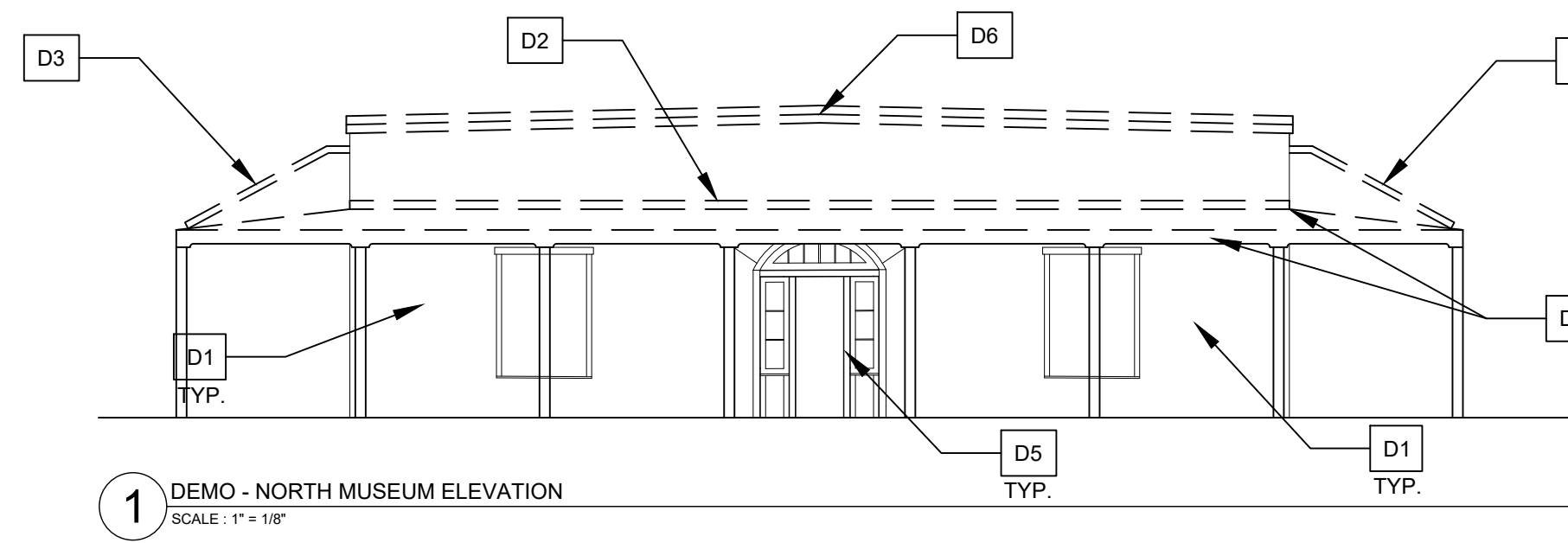
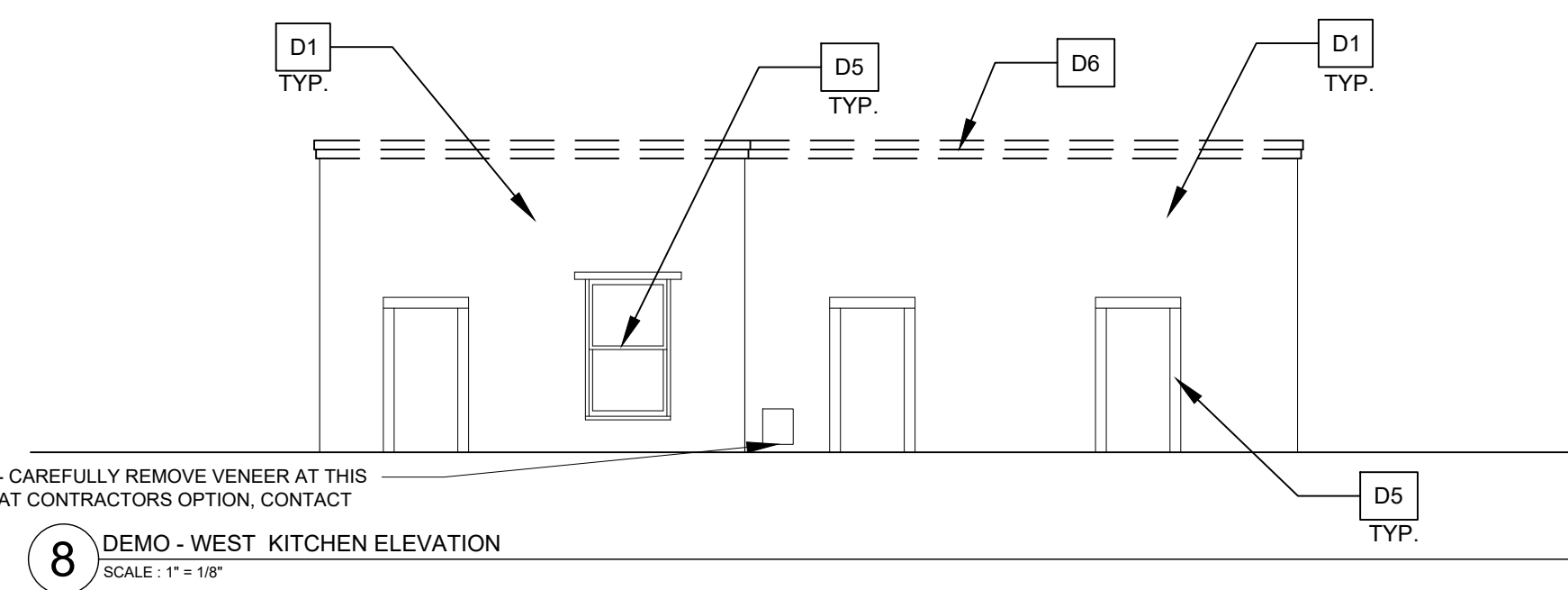
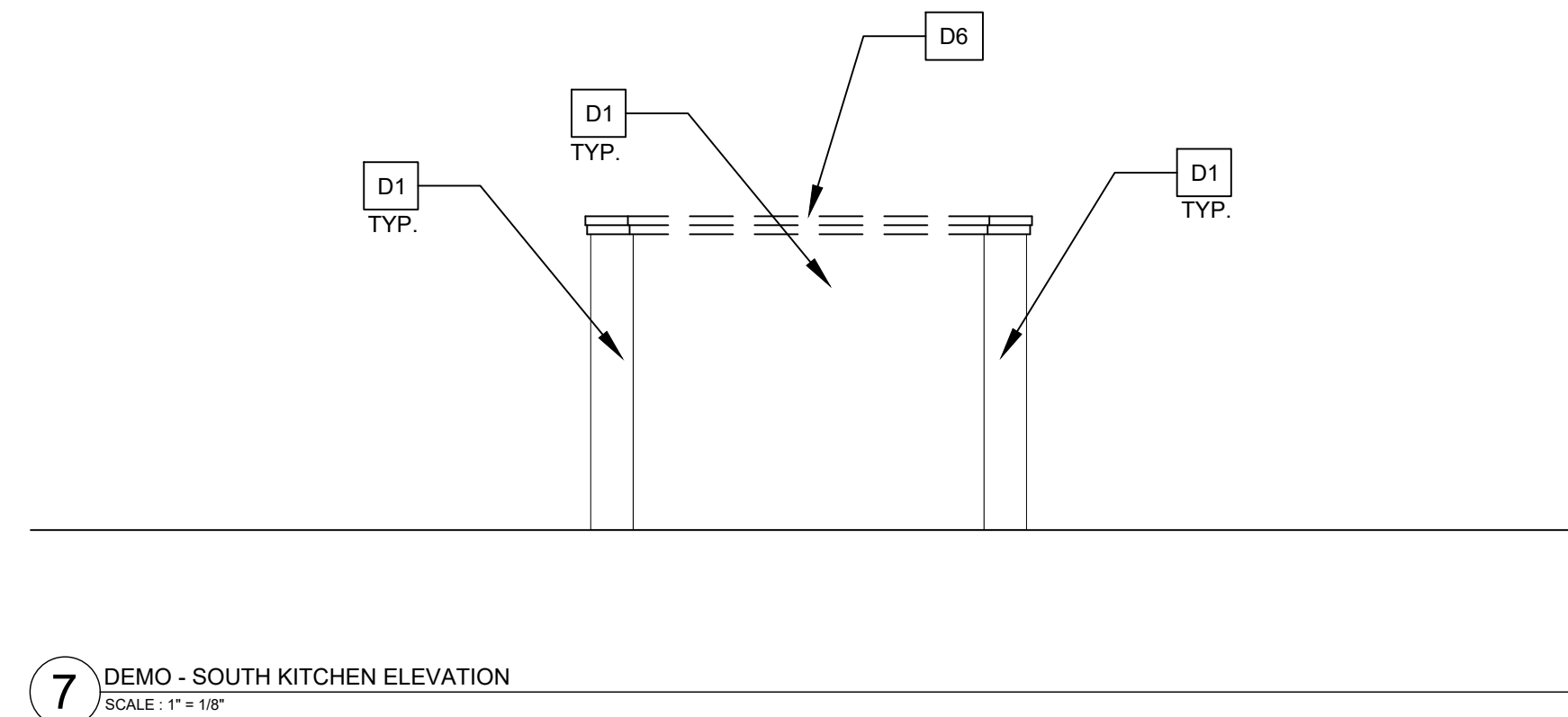
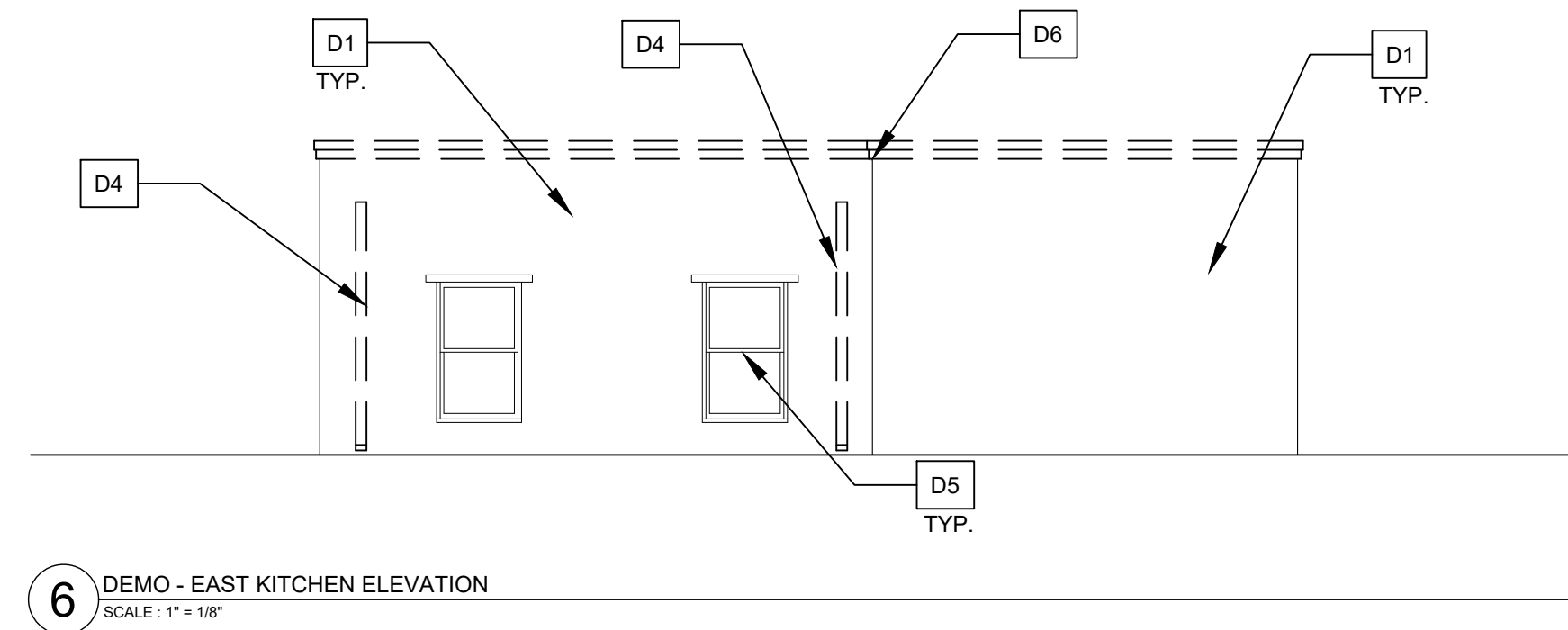
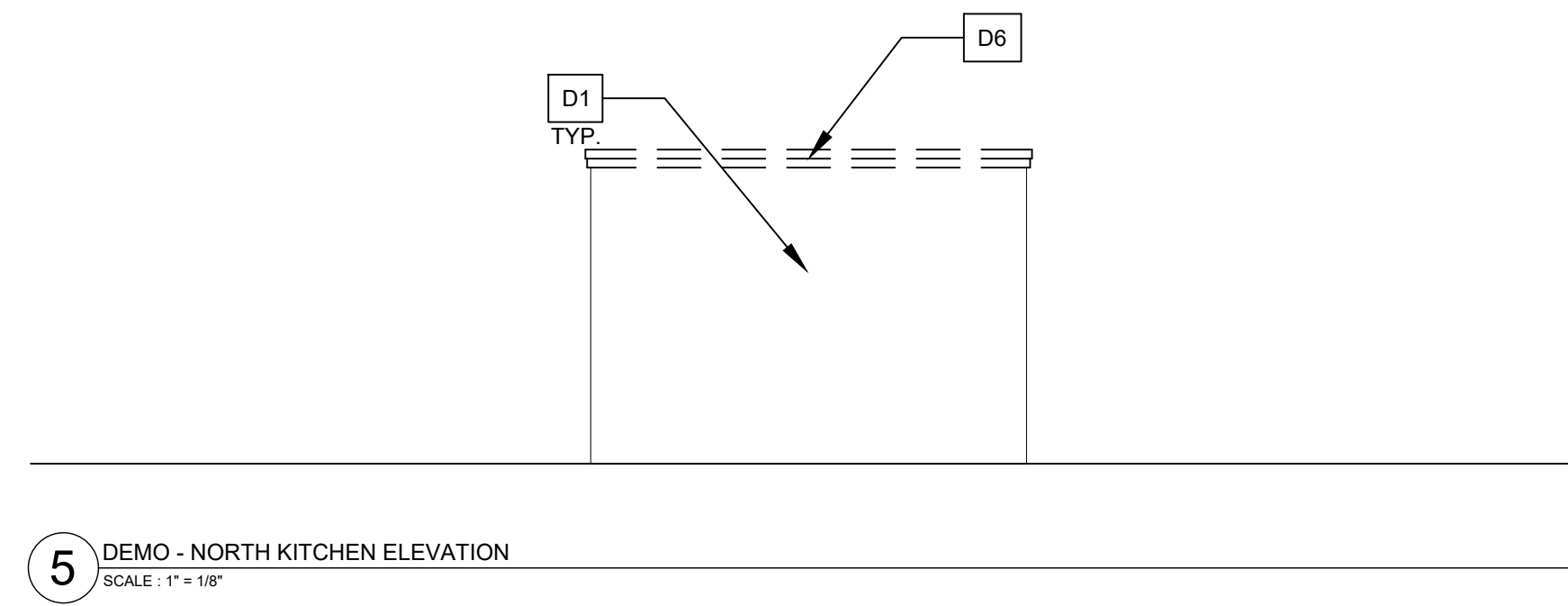
2 DEMO - MUSEUM & KITCHEN ROOF PLAN
SCALE: 1" = 16"



1 DEMO - MUSEUM & KITCHEN PLAN
SCALE: 1" = 16"

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- D2 REMOVE STANDING SEAM METAL PORCH ROOFING ENTIRELY INCLUDING ALL FLASHINGS AND REGLETS. REMOVE FASCIA, LEDGER AT FACE OF BUILDING AND ALL EXISTING WOOD JOISTS. WOOD POSTS AND BEAMS ARE TO REMAIN AND BE PROTECTED IN PLACE, SHORE AS NEEDED DURING CONSTRUCTION.
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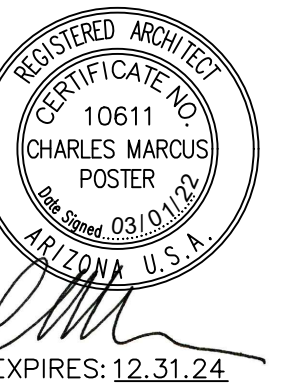


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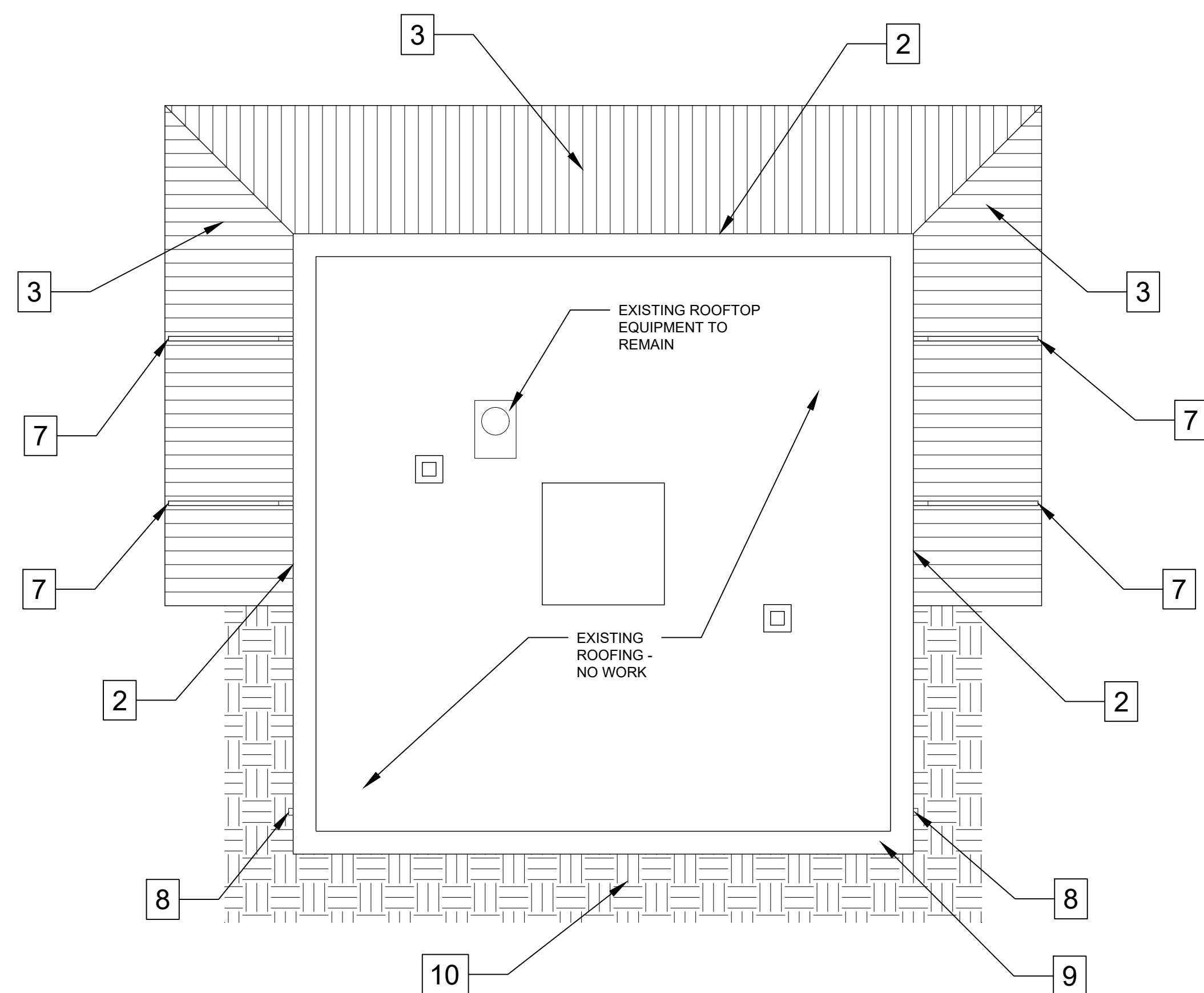
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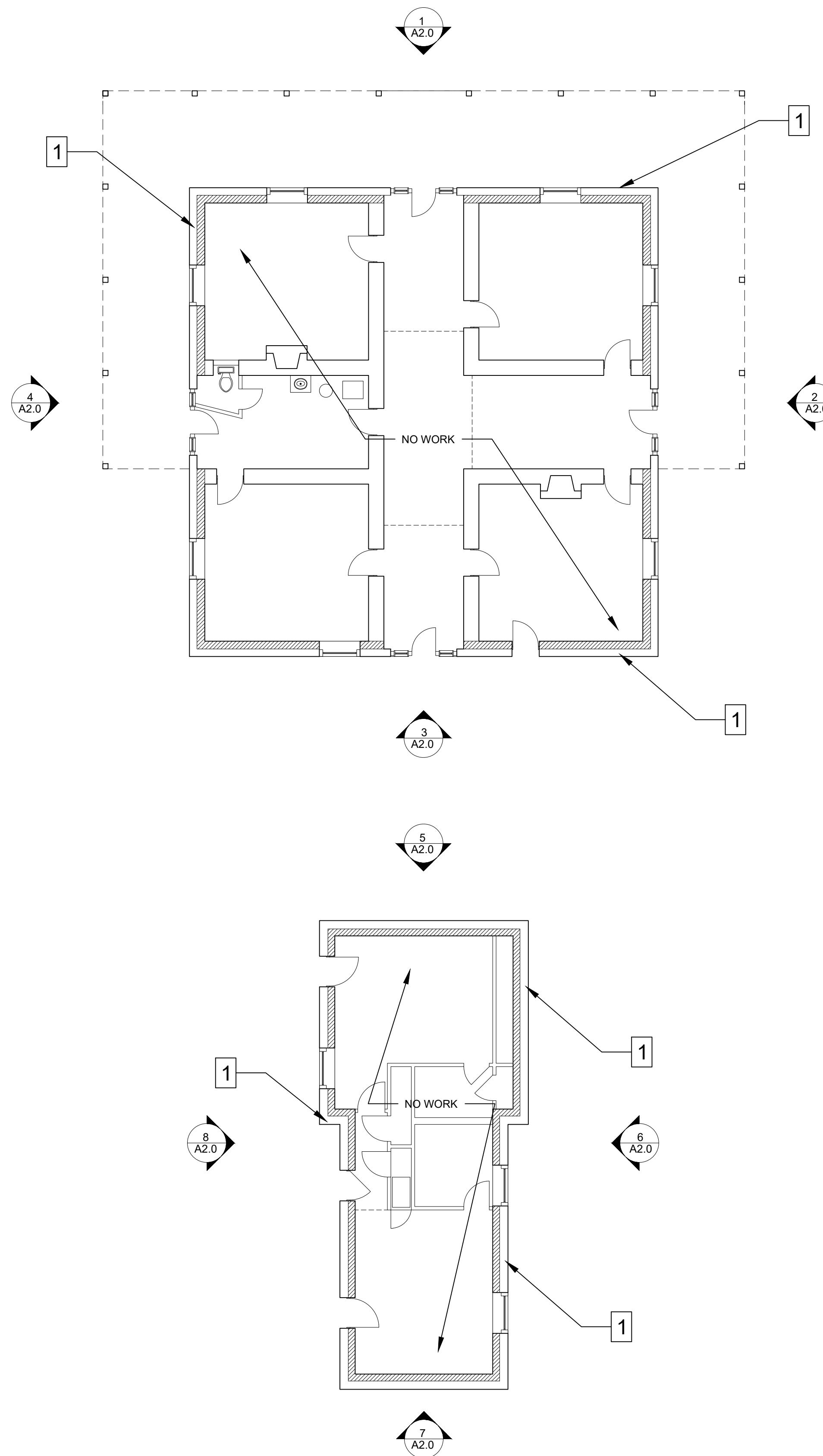
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KEYNOTES

- 1 NEW CEMENT STABILIZED ADOBE VENEER TO WRAP CMU - SEE STRUCTURAL. MATCH BLOCK SIZE, BOND, AND MORTAR JOINT SIZE OF ORIGINAL VENEER. PROVIDE 10 SF IN-PLACE MOCKUP OF ADOBE MASONRY FOR ARCHITECT AND OWNER REVIEW.
- 2 NEW WOOD LEDGER ANCHORED TO CMU PER STRUCTURAL - IMBEDDED IN STABILIZED ADOBE - PAINT.
- 3 NEW STANDING SEAM METAL ROOFING WITH KYNAR FINISH - COLOR AS SELECTED BY OWNER.
- 3B NEW 2X6 WOOD PORCH FRAMING - SPACING AND ATTACHMENT PER STRUCTURAL. PAINT WOOD AND ALL ASSOCIATED HANGERS.
- 4 EXISTING PORCH FRAMING - REMOVE DEBRIS, CLEAN, PREP AND PAINT- COLOR AND PAINT MATERIAL SELECTION PER OWNER.
- 5 EXISTING WINDOW TO REMAIN. REINSTALL ANY SALVAGED TRIM - REPLACE ALL WOOD TRIM WHICH WAS NOT SALVAGABLE IN KIND. REPAIR ANY DAMAGE TO WOOD WINDOW FRAMES RELATED TO DEMOLITION, SALVAGE, OR RECONSTRUCTION OF VENEER. SAND AND REPAINT ALL WOOD ELEMENTS - COORDINATE WITH OWNER TO DETERMINE ANTICIPATED STANDARDS FOR APPEARANCE, OPERATION, AND PAINT COLOR FOR ALL WINDOWS.
- 6 EXISTING DOOR AND FRAME TO REMAIN. REINSTALL ANY SALVAGED TRIM - REPLACE ALL WOOD TRIM WHICH WAS NOT SALVAGABLE IN KIND. REPAIR ANY DAMAGE TO WOOD DOOR FRAMES RELATED TO DEMOLITION, SALVAGE, OR RECONSTRUCTION OF VENEER. SAND AND REPAINT ALL WOOD ELEMENTS - COORDINATE WITH OWNER TO DETERMINE ANTICIPATED STANDARDS FOR APPEARANCE, OPERATION, AND PAINT COLOR FOR ALL DOORS.
- 7 INSTALL SALVAGED CANALES TO MATCH EXISTING CONDITION.
- 8 INSTALL SALVAGED METAL DOWN SPOUTS TO MATCH EXISTING CONDITION.
9. REINSTALL SALVAGED OR INSTALL NEW MATCHING LARGE FORMAT FIRED MASONRY PARAPET CAP TO MATCH ORIGINAL CONDITION - PROVIDE WATER PROOFING
10. SLOPE SOIL BELOW CEMENT FOUNDATION 5'-0" AWAY FROM BUILDING. FILL IN HOLES AND LOW SPOTS.



2 MUSEUM & KITCHEN ROOF PLAN
SCALE: 1" = 10'



1 MUSEUM & KITCHEN PLAN
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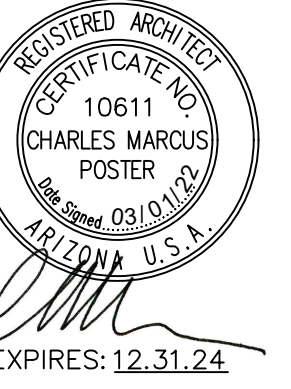
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C-22-004

FR&E Job No.:

P21007

Sheet Title:

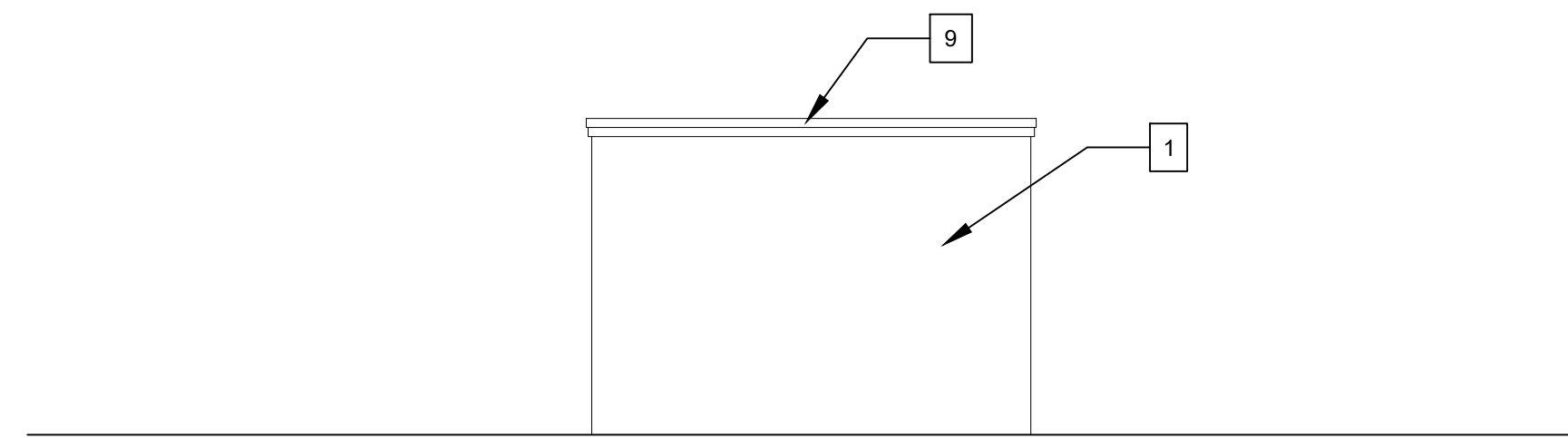
ELEVATIONS

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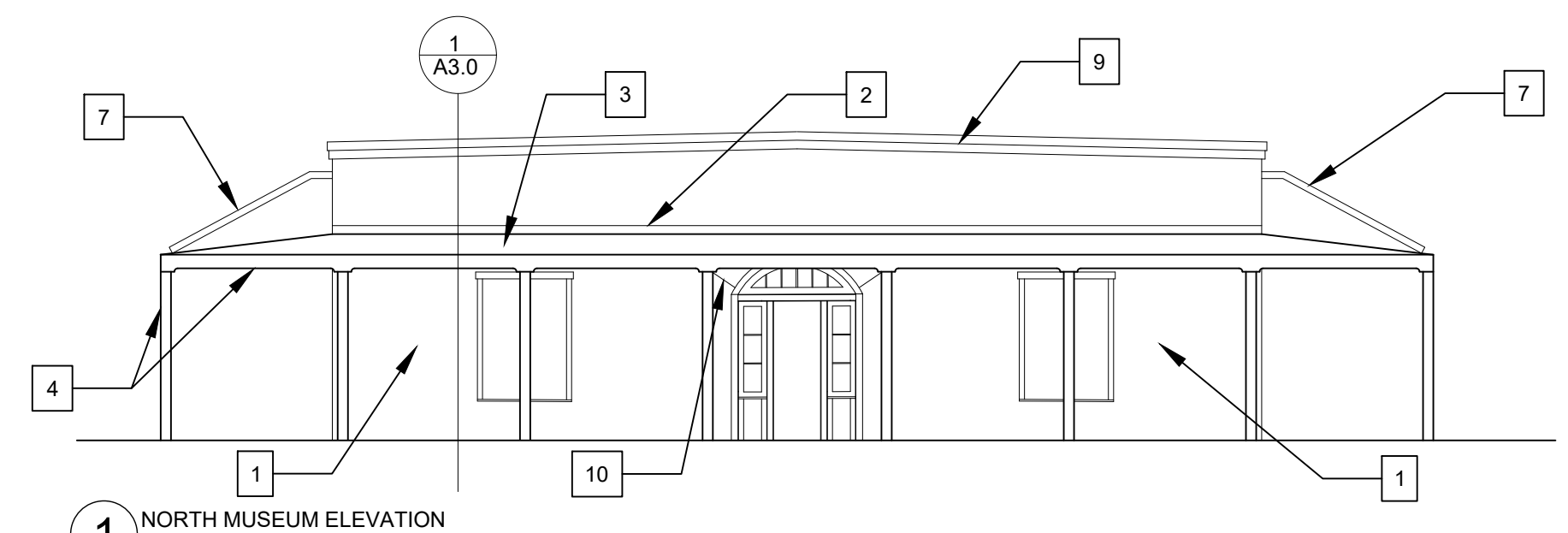
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6 of 9

KEYNOTES

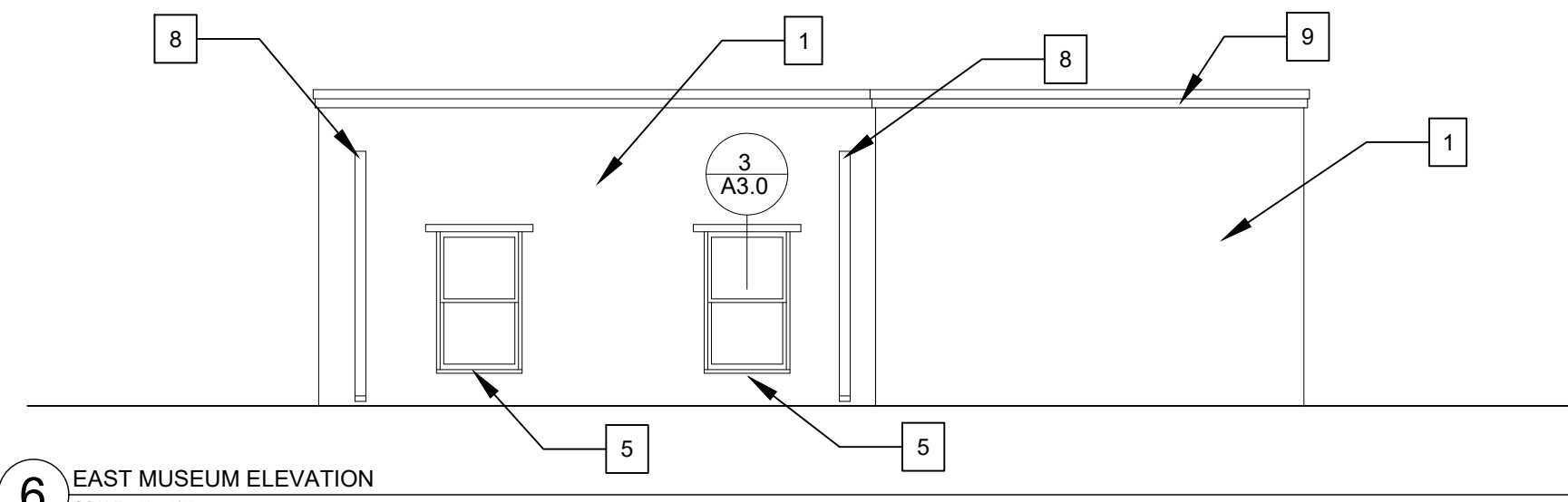
- 1 NEW STABILIZED ADOBE VENEER TO WRAP CMU. MATCH BLOCK SIZE, BOND, AND MORTAR JOINT SIZE OF ORIGINAL VENEER. PROVIDE 10 SF IN-PLACE MOCKUP OF ADOBE MASONRY FOR ARCHITECT AND OWNER REVIEW.
- 2 NEW WOOD LEDGER ANCHORED TO CMU PER STRUCTURAL - IMBEDDED IN STABILIZED ADOBE - PAINT.
- 3 NEW STANDING SEAM METAL ROOFING WITH KYNAR FINISH - COLOR AS SELECTED BY OWNER.
- 3B NEW 2X6 WOOD PORCH FRAMING - SPACING AND ATTACHMENT PER STRUCTURAL. PAINT WOOD AND ALL ASSOCIATED HANGERS.
- 4 EXISTING PORCH FRAMING - REMOVE DEBRIS, CLEAN, PREP AND PAINT- COLOR AND PAINT MATERIAL SELECTION PER OWNER.
- 5 EXISTING WINDOW TO REMAIN. REINSTALL ANY SALVAGED TRIM - REPLACE ALL WOOD TRIM WHICH WAS NOT SALVAGABLE IN KIND. REPAIR ANY DAMAGE TO WOOD WINDOW FRAMES RELATED TO DEMOLITION, SALVAGE, OR RECONSTRUCTION OF VENEER. SAND AND REPAINT ALL WOOD ELEMENTS - COORDINATE WITH OWNER TO DETERMINE ANTICIPATED STANDARDS FOR APPEARANCE, OPERATION, AND PAINT COLOR FOR ALL WINDOWS.
- 6 EXISTING DOOR AND FRAME TO REMAIN. REINSTALL ANY SALVAGED TRIM - REPLACE ALL WOOD TRIM WHICH WAS NOT SALVAGABLE IN KIND. REPAIR ANY DAMAGE TO WOOD DOOR FRAMES RELATED TO DEMOLITION, SALVAGE, OR RECONSTRUCTION OF VENEER. SAND AND REPAINT ALL WOOD ELEMENTS - COORDINATE WITH OWNER TO DETERMINE ANTICIPATED STANDARDS FOR APPEARANCE, OPERATION, AND PAINT COLOR FOR ALL DOORS.
- 7 INSTALL SALVAGED CANALES TO MATCH EXISTING CONDITION.
- 8 INSTALL SALVAGED METAL DOWN SPOUTS TO MATCH EXISTING CONDITION.
- 9 REINSTALL SALVAGED OR INSTALL NEW MATCHING LARGE FORMAT FIRED MASONRY PARAPET CAP TO MATCH ORIGINAL CONDITION
- 10 BRICK ARCH MASONRY DETAIL - MATCH ORIGINAL



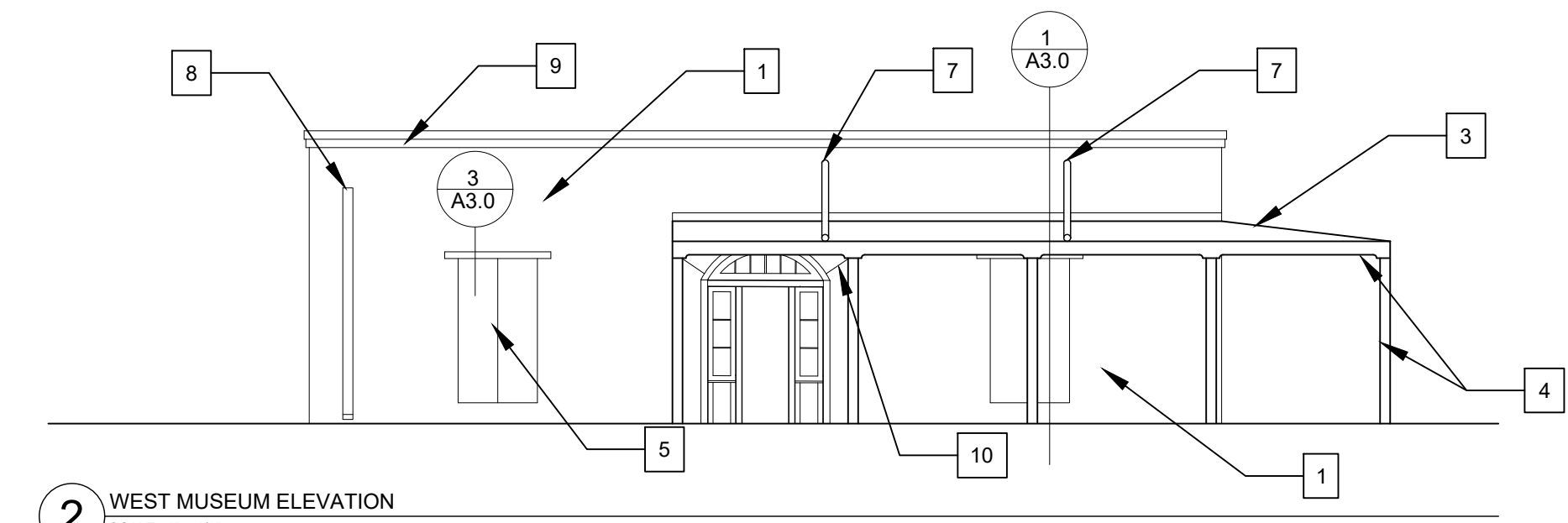
5 NORTH MUSEUM ELEVATION
SCALE: 1" = 18"



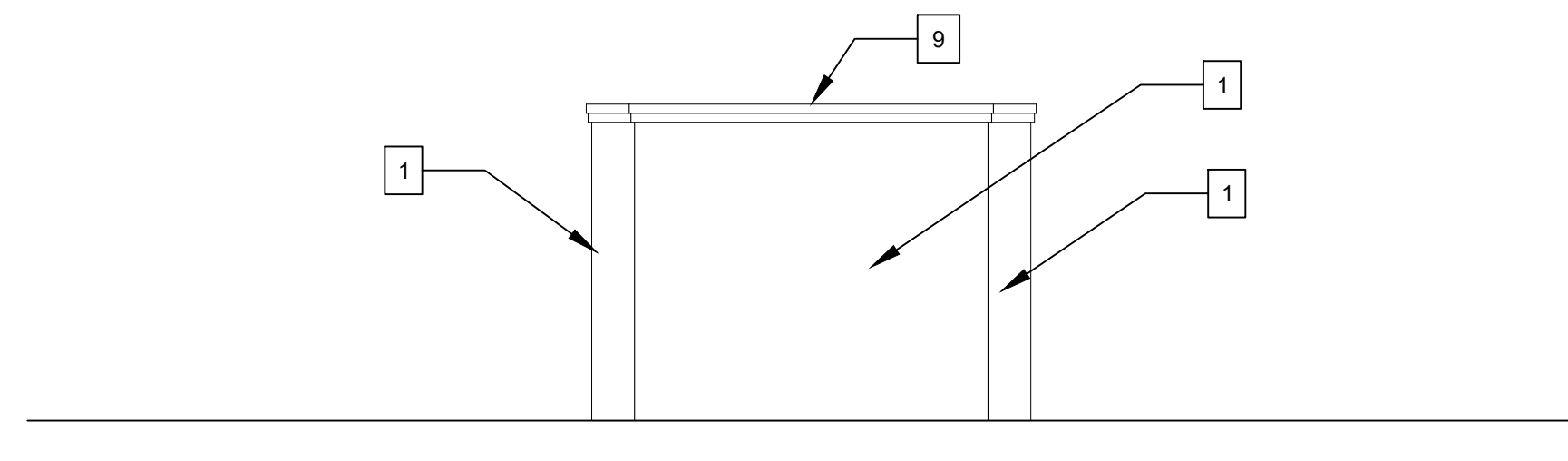
1 NORTH MUSEUM ELEVATION
SCALE: 1" = 18"



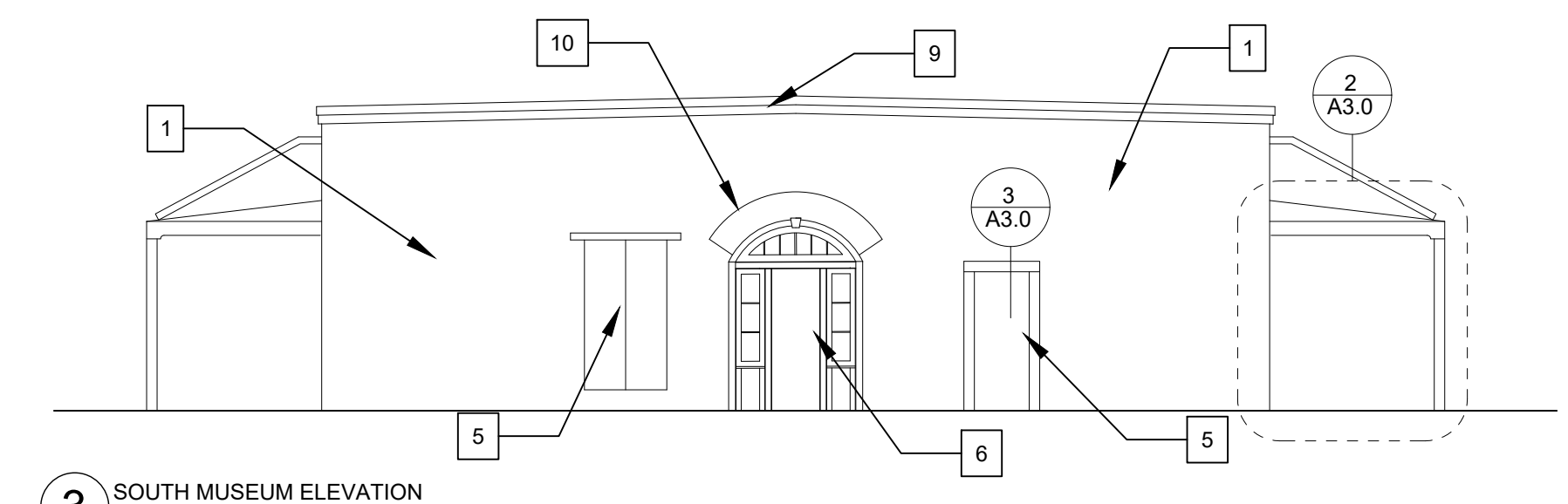
6 EAST MUSEUM ELEVATION
SCALE: 1" = 18"



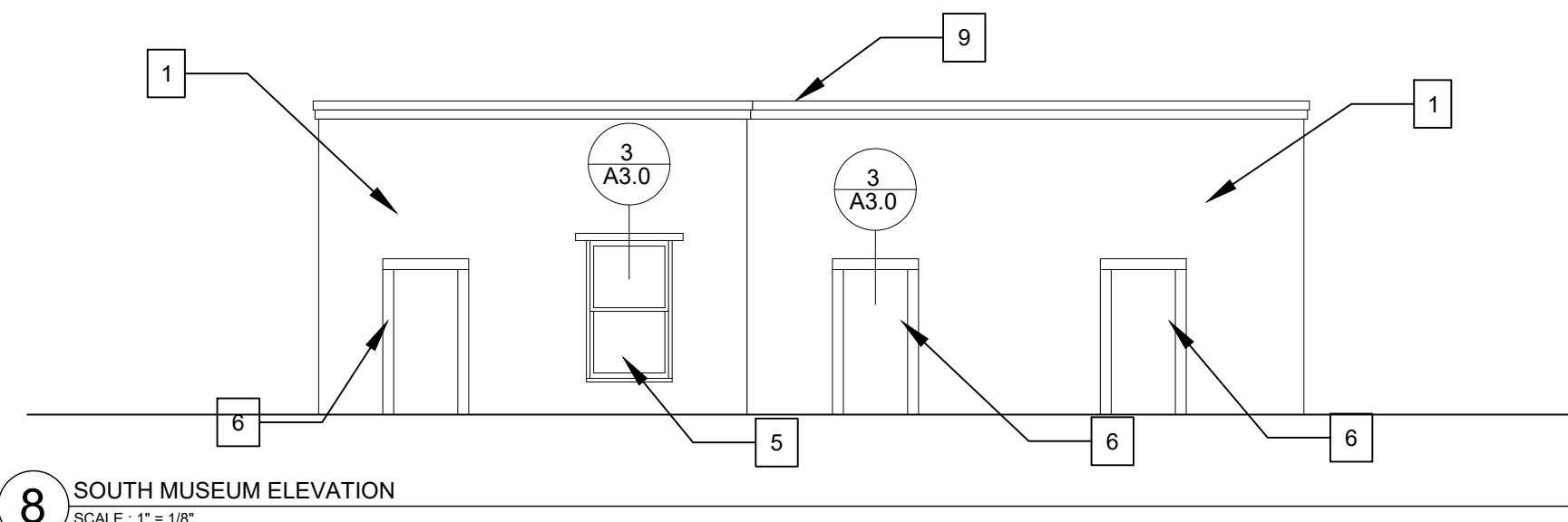
2 WEST MUSEUM ELEVATION
SCALE: 1" = 18"



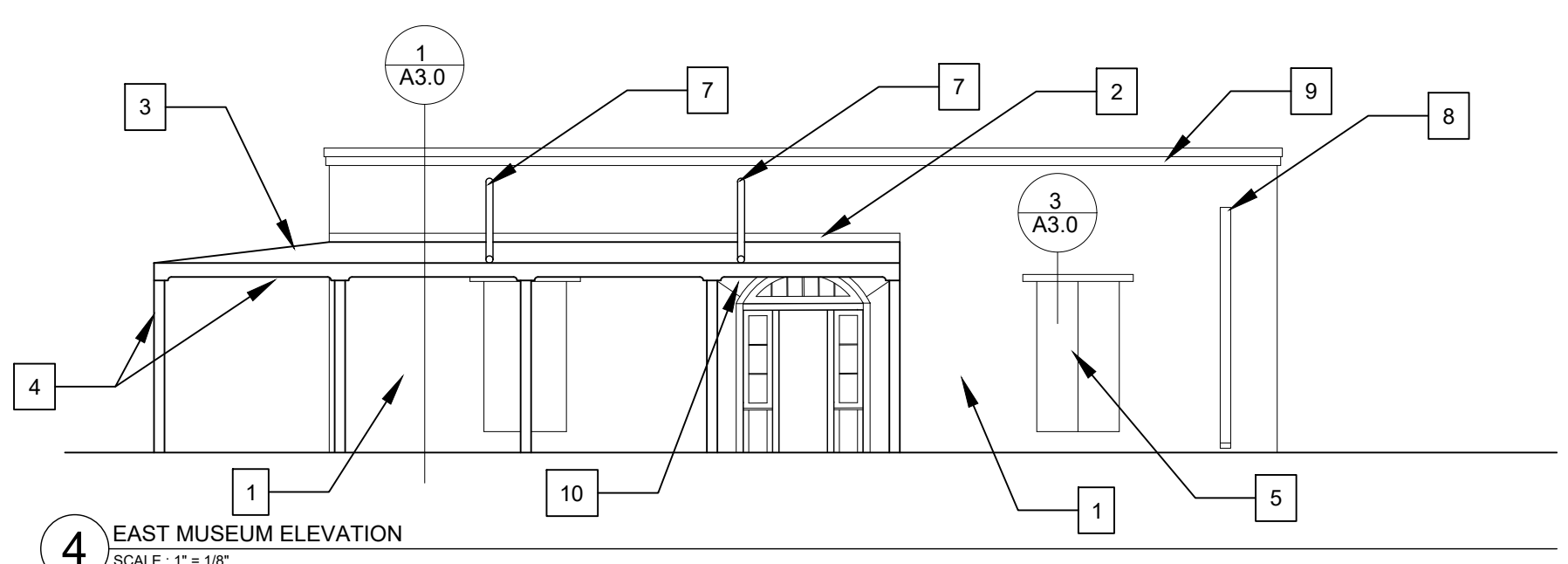
7 WEST MUSEUM ELEVATION
SCALE: 1" = 18"



3 SOUTH MUSEUM ELEVATION
SCALE: 1" = 18"



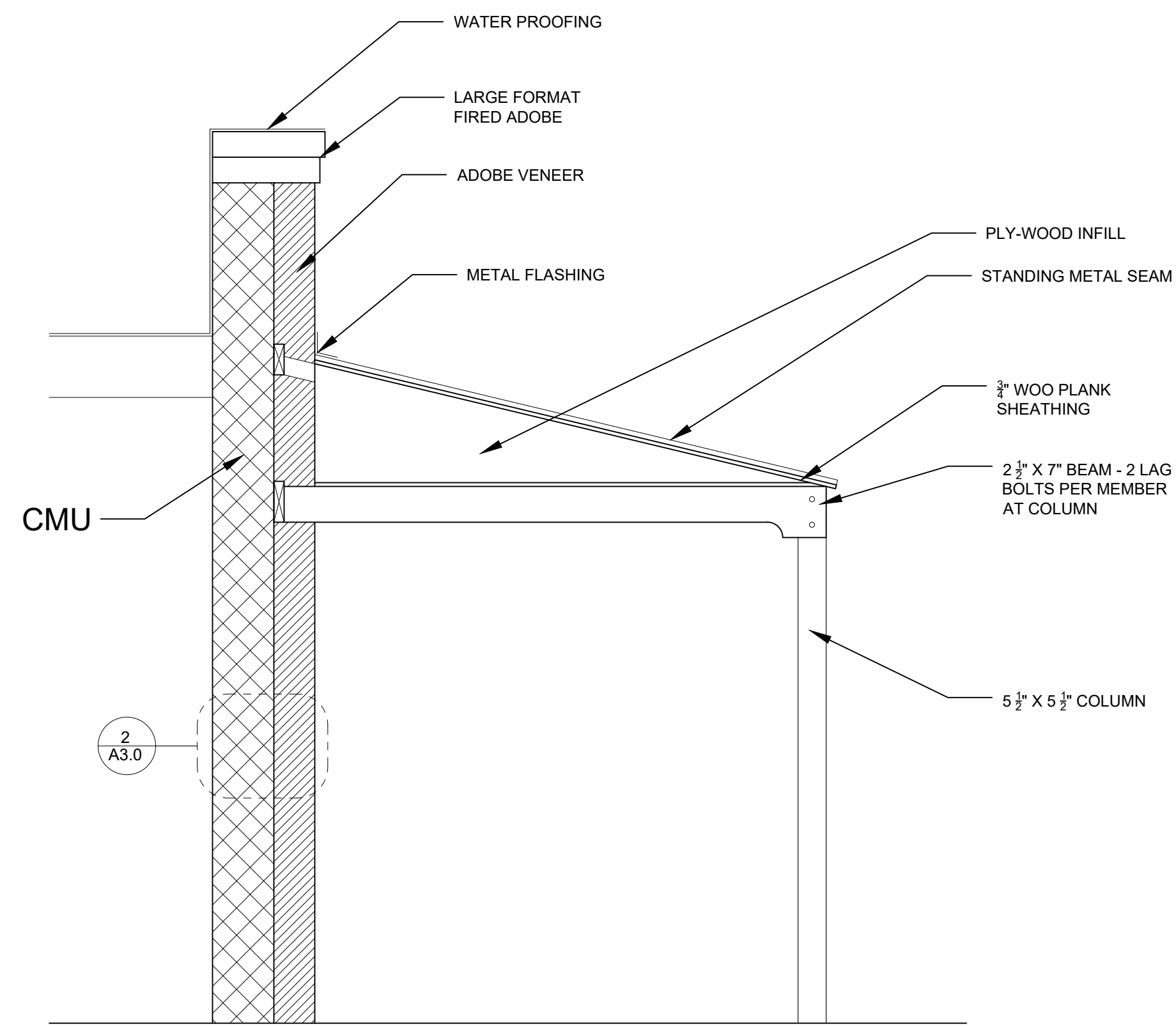
8 SOUTH MUSEUM ELEVATION
SCALE: 1" = 18"



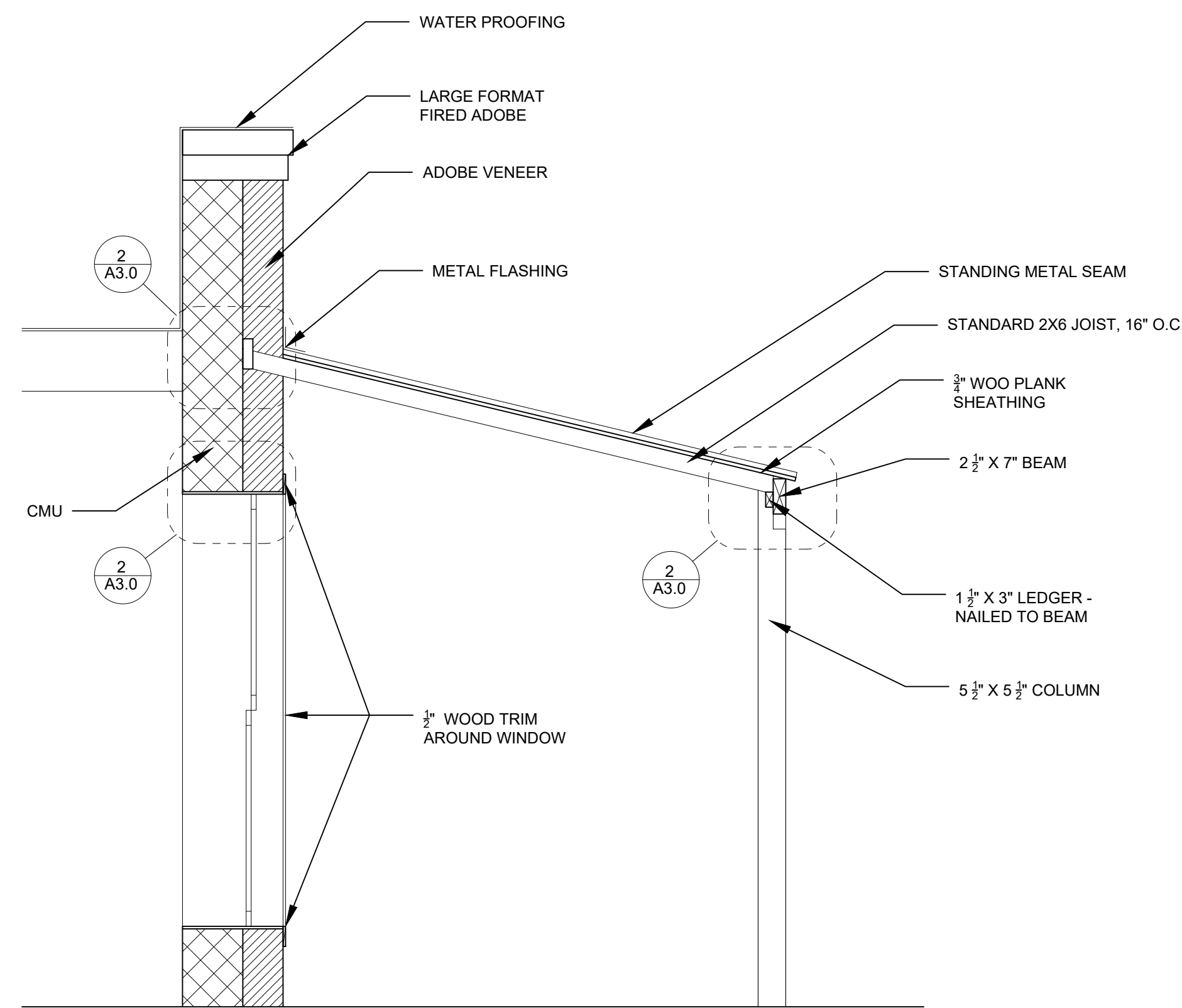
4 EAST MUSEUM ELEVATION
SCALE: 1" = 18"

Project:

FORT LOWELL
MUSEUM REHABILITATION
2900 N, CRAYCROFT RD,
TUCSON, AZ. 85712



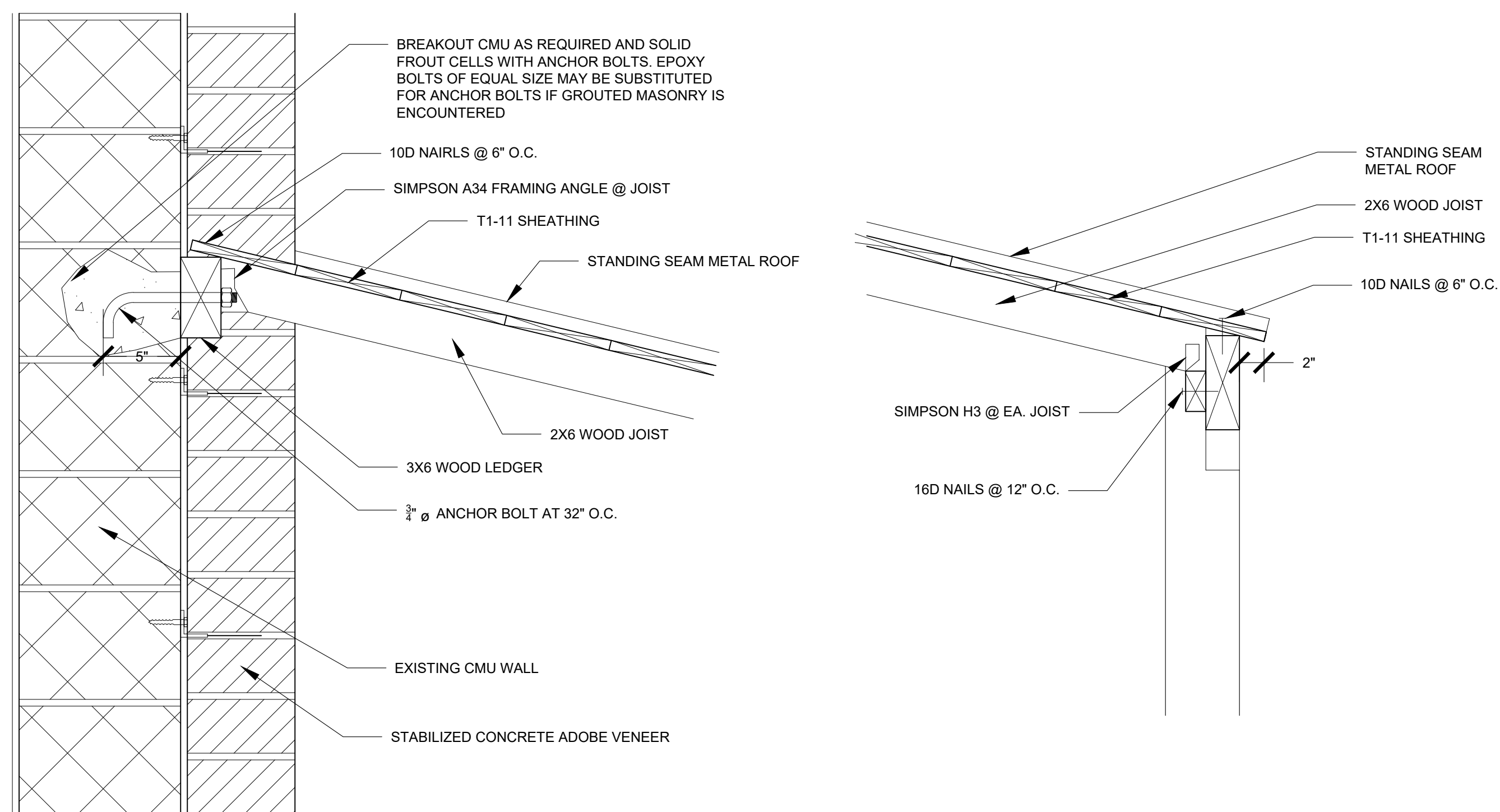
2 PORCH SECTION @ END
SCALE: 1/4" = 1'-0"



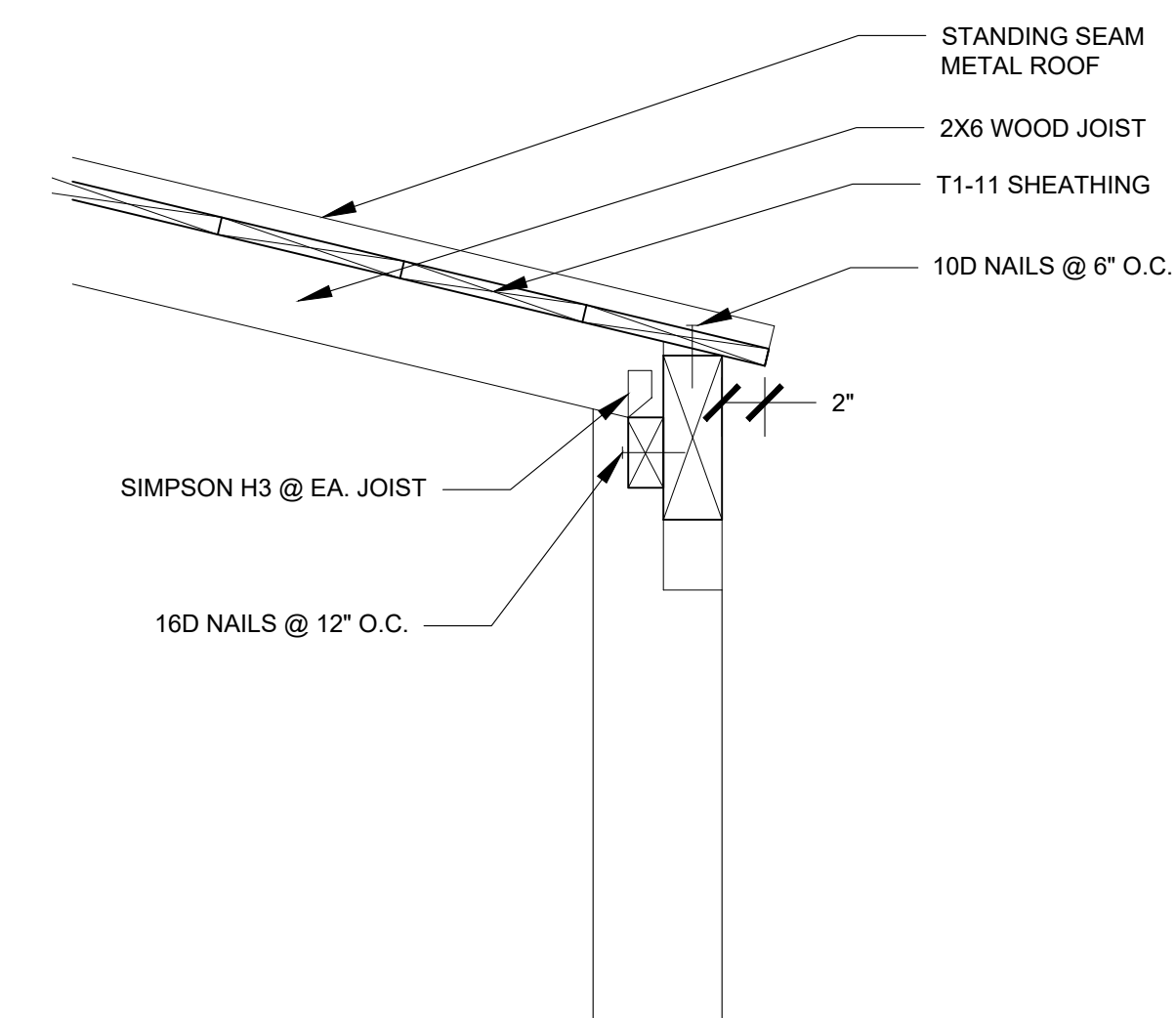
1 PORCH SECTION TYP.
SCALE: 1/4" = 1'-0"

KEYNOTES

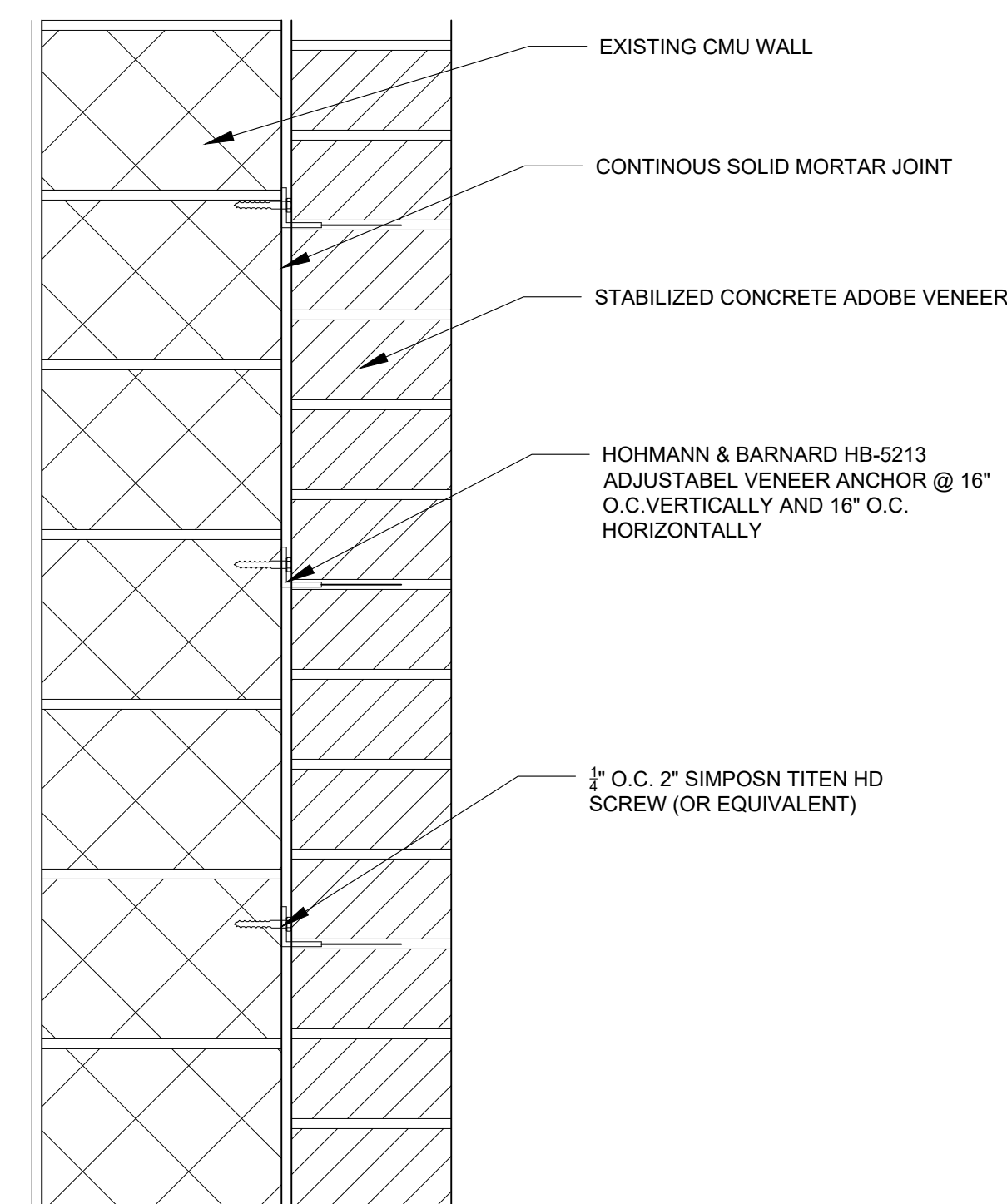
- 1 NEW STABILIZED ADOBE VENEER TO WRAP CMU - SEE STRUCTURAL
- 2 NEW LEDGER ATTACHED TO CMU, IMBEDDED IN STABILIZED ADOBE - SEE STRUCTURAL
- 3 NEW PORCH ROOF W/ 2X6 WOOD JOIST, 24" O.C., SIMPSON HANGER, PAINT PER OWNERS RECORDATION - SEE STRUCTURAL
- 4 REMOVE DEBRIS AND CLEAN ALL BEAMS AND POST- PAINT PER OWNERS RECOMMENDATION
- 5 REPAIR OR REPLACE DAMAGED WOOD TRIM AND WINDOWS - SAND AND PAINT PER OWNERS RECOMMENDATION
- 6 REPAIR OR REPLACE WOOD TRIM AROUND DOORS, SAND PAINT PER OWNERS RECOMMENDATION
- 7 INSTALL SALVAGED CANALES TO BE
- 8 INSTALL SALVAGED METAL DOWN SPOUTS



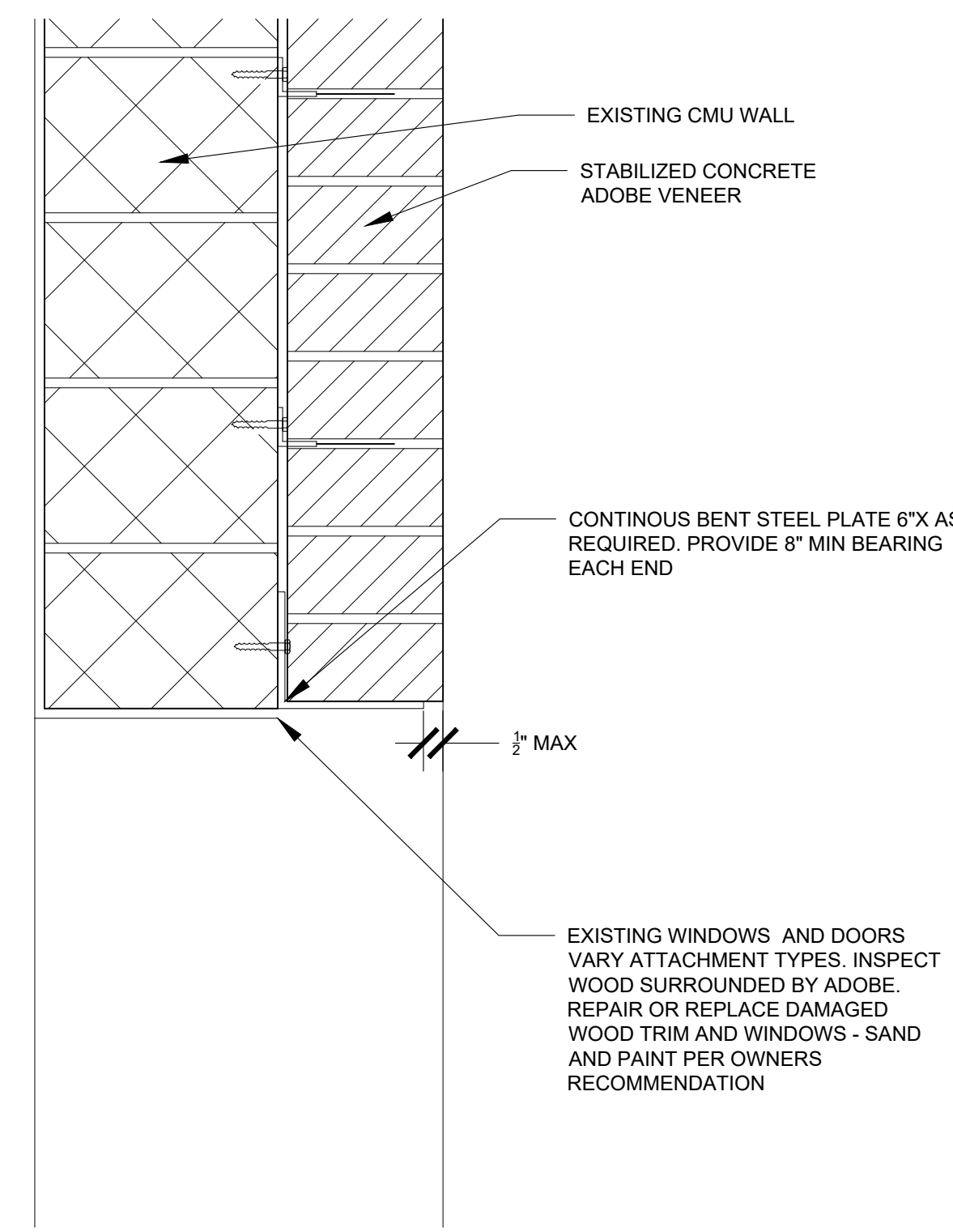
6 WOOD JOIST AT EXISTING CMU WALL
SCALE: 1/4" = 1'-0"



5 PORCH JOIST ATTACHMENT AT EXISTING WOOD BEAM
SCALE: 1/4" = 1'-0"



4 TYP. ATTACHMENT OF STABILIZED ADOBE VENEER TO EXISTING CMU WALL
SCALE: 1/4" = 1'-0"



3 STABILIZED ADOBE VENEER AT EXISTING CMU LINTEL
SCALE: 1/4" = 1'-0"

Architect:

**POSTER
MIRTO
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PH 520.882.6310 | WWW.PMM.DESIGN

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Date:

MARCH 02, 2022

FR&E Plan No.:

C-22-004

FR&E Job No.:

P21007

Sheet Title:

SECTIONS & DETAILS

Sheet:

SPECIFICATIONS

SECTION 1. INTENT AND PURPOSE

THE WORK PERFORMED AND MATERIALS USED IN THIS PROJECT SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE ALL APPLICABLE CONSTRUCTION STANDARDS OF THE CITY OF TUCSON PARKS & RECREATION AS IF HEREIN WRITTEN AND THE CODES AND ORDINANCES OF THE CITY OF TUCSON, AZ.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIREMENTS OF THE SPECIFIC CODES AND STANDARDS, AND TO PRODUCE ITEMS THAT MEET OR EXCEED THE SPECIFIED REQUIREMENTS. IT IS NOT THE INTENT OF THESE SPECIFICATIONS AND/OR CONSTRUCTION DRAWINGS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE OPERATING SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER, TESTED AND READY FOR OPERATION.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETE THE WORK SPECIFIED HERE WITHIN AND SUPPLY ANY INCIDENTAL SERVICES OR ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND PERFECT IN ALL RESPECTS AND READY FOR OPERATION. ANY APPARATUS, APPLIANCE, MATERIAL, OR WORK NOW SHOWN ON THE DRAWINGS OR MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, OR ANY INCIDENTAL APPURTENANCES NECESSARY FOR THE SYSTEM TO OPERATE AS TO THE INTENT OF THIS SPECIFICATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE INCLUDED IN THE BID PRICE AND FURNISHED, DELIVERED, AND INSTALLED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSES TO THE OWNER.

SEE PROJECT GENERAL CONDITIONS FOR PERIOD WHEN WORK MAY BE SCHEDULED IN THE DIFFERENT AREAS OF THE BUILDING AND INCLUDE ALL PREMIUM TIME NECESSARY TO ADHERE TO THE TIME SCHEDULES.

SECTION 2. SCOPE OF WORK

THE PROJECT SHALL CONSIST OF FURNISHING AND INSTALLING OF COMPLETE ELECTRICAL MATERIALS AND SYSTEMS FOR THE ELECTRICAL WORK IN THE EXISTING BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS.

SECTION 3. EXPLANATION AND MODIFICATIONS

THE WORK SHALL ALSO CONFORM TO SUCH CONSTRUCTION DRAWING IN EXPLANATION OF DETAILS OR MINOR MODIFICATIONS AS MAY BE FURNISHED FROM TIME TO TIME DURING CONSTRUCTION, INCLUDING, SUCH MINOR MODIFICATIONS AS THE ARCHITECT AND USER'S REPRESENTATIVE MAY CONSIDER NECESSARY BECAUSE OF CONDITIONS FOUND DURING THE PROSECUTION OF THE WORK. SCALED DIMENSIONS SHALL NOT BE USED IN THE CONSTRUCTION OF THE WORK.

THE WRITTEN DIMENSIONS ON THE CONSTRUCTION DRAWINGS ARE PRESUMED TO BE CORRECT, BUT THE CONTRACTOR IS REQUIRED TO CHECK CAREFULLY ALL DIMENSIONS AND QUANTITIES BEFORE BEGINNING WORK THEREON. SHOULD ANY ERRORS OR OMISSIONS BE DISCOVERED, THE ARCHITECT AND USER'S REPRESENTATIVE SHALL BE SO ADVISED AND PROPER CONNECTIONS MAKE. ANY SUCH ADJUSTMENTS MADE BY THE CONTRACTOR, WITHOUT PRIOR APPROVAL SHALL BE AT HIS OWN RISK, AND THE CONTRACTOR AT HIS OWN EXPENSES SHALL MAKE THE SETTLEMENT OF ANY COMPLICATIONS ARISING FROM SUCH ADJUSTMENTS. ALL NOTES ON THE CONSTRUCTION DRAWINGS SHALL BE CAREFULLY OBSERVED BY THE CONTRACTOR AND ARE A PART OF THE CONTRACT.

SECTION 4. STANDARDS

WORK PERFORMED SHALL BE BY A LICENSED CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER AND ALL SYSTEMS SHALL BE TESTED IN THE PRESENCE OF THE ARCHITECT AND USER'S REPRESENTATIVE TO DEMONSTRATE THAT EQUIPMENT IS WORKING PROPERLY. DEFECTS SHALL BE RECTIFIED AT NO COST.

ALL DEFECTIVE WORK OR MATERIALS SHALL BE REMOVED FROM THE PREMISES BY THE CONTRACTOR, WHETHER IN PLACE OR NOT, AND SHALL BE REPLACED OR RENEWED AT NO COST TO AND IN SUCH A MANNER AS THE USER'S REPRESENTATIVE MAY DIRECT. ALL MATERIAL AND WORKMANSHIP OF WHATEVER DESCRIPTION SHALL BE SUBJECT TO THE INSPECTION OF THE CITY OF TUCSON, ARCHITECT AND THE USER'S REPRESENTATIVE. WORK SHALL BE REJECTED IF FOUND TO BE IN NONCONFORMANCE TO THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.

ON ALL QUESTIONS CONCERNING THE ACCEPTABILITY OF MATERIALS, MACHINERY AND CLASSIFICATION OF MATERIAL, EXECUTION OF THE WORK, CONFLICTING INTEREST OF CONTRACTORS PERFORMING RELATED WORK, AND THE DETERMINATION OF COSTS, THE DECISION OF THE USER'S REPRESENTATIVE SHALL BE FINAL AND BINDING UPON ALL PARTIES.

SECTION 5. VERIFICATION OF EXISTING CONDITIONS

PRIOR TO STARTING WORK, THE EXISTING CONDITIONS SHALL BE REVIEWED BY THE CONTRACTOR. THE CONTRACTOR SHALL REVIEW THE PROJECT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS. A BID SHALL CONSTITUTE ACCEPTANCE OF ALL EXISTING CONDITIONS.

ANY ALTERATIONS OR DAMAGE TO THE EXISTING CONDITIONS NOT SPECIFICALLY SHOWN OF THE DRAWINGS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE USER'S REPRESENTATIVE AT NO COST.

SECTION 6. SUBMITTALS

1. THE CONTRACTOR SHALL FURNISH AT LEAST 6 COPIES OF THE MANUFACTURER'S LITERATURE AND DRAWINGS DESCRIBING ALL PROPOSED EQUIPMENT AND MATERIALS INDICATED ON THE CONSTRUCTION DOCUMENTS. THE PROPOSED USE OF THE EXACT EQUIPMENT AND MATERIALS SPECIFIED SHALL NOT CHANGE THIS REQUIREMENT OF INCLUDING LITERATURE DESCRIBING THE PROPOSED EQUIPMENT. THE FRONT SHEET OR BROCHURE SHALL HAVE JOB NAME, ENGINEER, CONTRACTOR AND SUPPLIERS IDENTIFIED.
2. THE DESCRIPTIVE MATERIALS SHALL BE ARRANGED IN THE BROCHURE IN THE CONSTRUCTION DOCUMENTS. WHERE SUBMITTAL SHEETS COVER SEVERAL SIZES OR TYPES OF EQUIPMENT, THEY SHALL CLEARLY INDICATE, BY THE USE OF A DIFFERENT COLOR INK, THE TYPE OR SIZE TO BE USED ON THE PROJECT AND THE USE INTENDED. PRODUCTS SUBMITTED AS SUBSTITUTIONS SHALL BE IDENTIFIED IN THE INDEX AS A SUBSTITUTION.
3. BROCHURES SHALL CONTAIN A CERTIFICATION THAT THE EQUIPMENT AND MATERIALS ARE SUITABLE FOR CONDITIONS SHOWN AND SPECIFIED, AND THAT THE EQUIPMENT AND MATERIALS ARE BELIEVED TO BE IN CONFORMITY WITH THE DRAWINGS AND SPECIFICATIONS, EXCEPT AS MAY BE SPECIFICALLY DESCRIBED, AND THAT APPROVAL IS RECOMMENDED. THE CERTIFICATION SHALL BE SIGNED BY THE CONTRACTOR. BROCHURES RECEIVED NOT IN CONFORMITY WITH THESE REQUIREMENTS SHALL BE RETURNED FOR REQUIRED ACTION.
4. ACCEPTANCE OF THE SUBMITTALS OR ANY PART OF THE CONTENTS THEREIN, SHALL NOT ELIMINATE THE RESPONSIBILITY FOR COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOR SHALL IT ELIMINATE THE REQUIREMENTS OR THE RESPONSIBILITY FOR FREEDOM FROM ERRORS OF ANY SORT IN THE DATA SUBMITTED.

SECTION 7. WORK

1. PERFORM WORK IN ACCORDANCE WITH THE STATE AND LOCAL REGULATIONS, AND OTHER ORDINANCES HAVING JURISDICTION AND THE BUILDING USER'S STANDARDS.
2. PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE WORK AS SHOWN AND SPECIFIED.
3. THE LAYOUT OF THE CONTRACT DRAWINGS IS DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE PLANS AND/OR SPECIFICATIONS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
4. CONTRACTOR SHALL VISIT THE JOB SITE, AND PRIOR TO SUBMITTING BID VERIFY ALL EXISTING CONDITIONS, LOCATIONS, DIMENSIONS AND COUNTS AS SHOWN AND/OR SPECIFIED.
5. ELECTRICAL EQUIPMENT, DEVICES, AND MATERIAL SHALL BE NEW, UL LISTED FOR THE INTENDED USES AND SHALL MEET APPLICABLE NEMA, ANSI, AND ASTM STANDARDS.
6. PROVIDE IDENTIFICATION NAMEPLATES FOR ALL CONTROL SWITCHES AND ON PANELS, DISCONNECTS, STARTERS, TIME SWITCHES, ETC. NAMEPLATES SHALL BE ENGRAVED LAMINATED PLASTIC, SCREW OR RIVETED TO EQUIPMENT. STAMPED METAL NAMEPLATES OR TAPES ARE NOT ACCEPTABLE. LABELING SHALL BE IN A MANNER AND MATERIAL TO MATCH EXISTING STANDARD LABELING.
7. VERIFY THE EXACT ELECTRICAL REQUIREMENT AND CONNECTION INFORMATION FOR ALL EQUIPMENT FURNISHED BY OWNER OR OTHER TRADES AND ADJUST SIZES OR CONNECTIONS AS NECESSARY AT NO ADDITIONAL COST TO OWNER.
8. WIRING DEVICES SHALL BE SPECIFICATION GRADE, TYPE AND COLOR AS SELECTED BY THE ARCHITECT.
9. USE CONDUCTORS SHALL BE COPPER WIRE ONLY. USE STRANDED FOR #10 AWG AND LARGER. USE THHW OR EQUAL FOR ALL CONDUCTORS # 8 AND SMALLER AND XHHW-2 FOR CONDUCTOR LARGER THAN #8 AND WHERE RUN EXPOSED TO SUN LIGHT.
10. EQUIPMENT LUGS, CONNECTORS, AND TERMINATIONS, INCLUDED IN PANELS, SWITCHES, STARTERS, CONTACTORS, AND CIRCUIT BREAKERS SHALL BE SUITABLE FOR USE WITH CONDUCTORS OPERATING AT 75 DEGREE C.
11. CONDUITS, FITTINGS, BOXES, AND SUPPORTS SHALL BE PROVIDED AS REQUIRED TO PROVIDE A COMPLETE SYSTEM, WITH APPROPRIATE INDOOR AND OUTDOOR RATING.
12. PROVIDE EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS. SIZE GROUND WIRES PER NEC TABLE 250-122.

END

ELECTRICAL NOTES

1. FAULT CURRENT CALCULATIONS

AT SERVICE PEDESTAL (PER T.E.P.TABLE SR-510)

$I (SC) = 22,000 \text{ AMPS}$

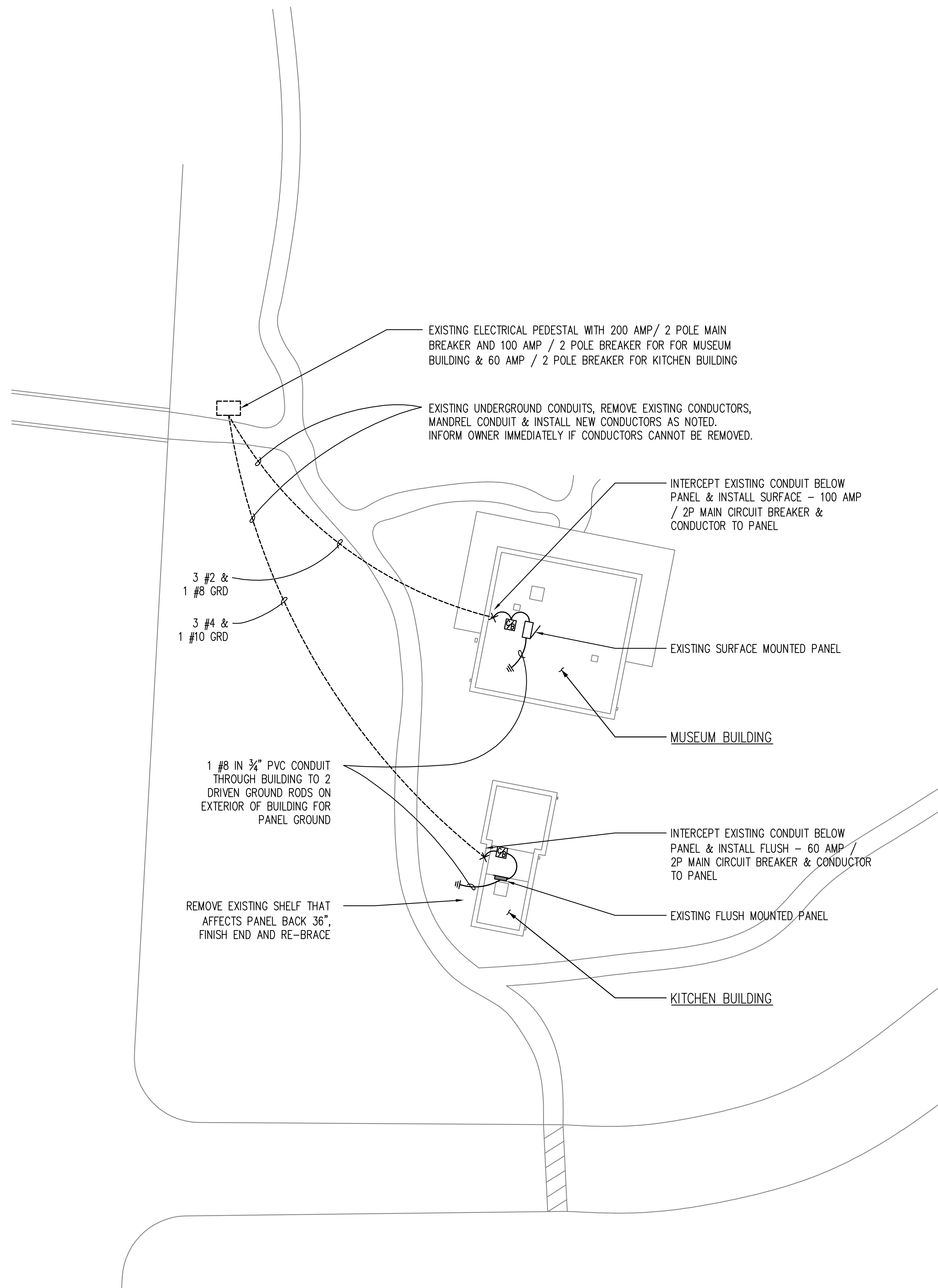
FEEDER TO MUSEUM BUILDING (WORST CASE) - # 2 COPPER, 100 FEET

$F = (100) (22,000) / (6,044) (240) = 1.517$

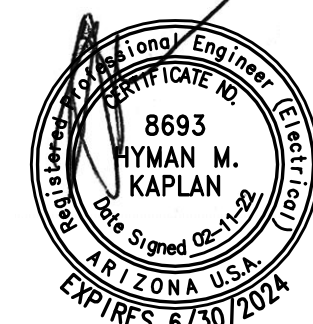
$M = 1 / (1 + 1.517) = 0.397$

$I (SC) = 22,000 (0.397) = 8,740 \text{ AMPS}$

2. THE ADDED CIRCUIT BREAKER MAIN AT EXISTING PANELS SHALL BE 10,000 A.I.C. RATED MINIMUM, NEMA 1 ENCLOSURE, SURFACE OR FLUSH MOUNTED AS NOTED.
3. FEEDERS SHALL BE COPPER ONLY, NO ALUMINUM PERMITTED, AND INSULATION TYPE XHHW-2 OR EQUIVALENT.
4. THOROUGHLY CLEAN THE INTERIOR OF THE EXISTING SERVICE PEDESTAL AND IDENTIFY THE LOADS ON ALL CIRCUIT BREAKERS.
5. THE BUILDING SERVICE GROUND SHALL BE RUN THROUGH THE BUILDING TO THE EXTERIOR IN 3/4" PVC NON-METALLIC CONDUIT FOR PROTECTION.



1 ELECTRICAL PLAN
SCALE 1" = 20'-0"



Hy-Lite Design
Hyman Kaplan, PE, IALD
Arizona EE 8693
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Phone (520) 760-9301

**Architecture
and
Engineering**

Environmental and General Services
Department

City of Tucson

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Tucson, AZ 85714
Tel: (520) 837-6375
Email: AE-Archivist@tucsonaz.gov

Project:

FORT LOWELL
MUSEUM REHABILITATION
2900 N. CRAYCROFT RD,
TUCSON, AZ. 85712



1 STABILIZED CEMENT ADOBE - EXAMPLE



2 STABILIZED CEMENT ADOBE - EXAMPLE



3 STABILIZED CEMENT ADOBE - EXAMPLE

Architect:

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Date:

MARCH 02, 2022

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MATERIALS

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