

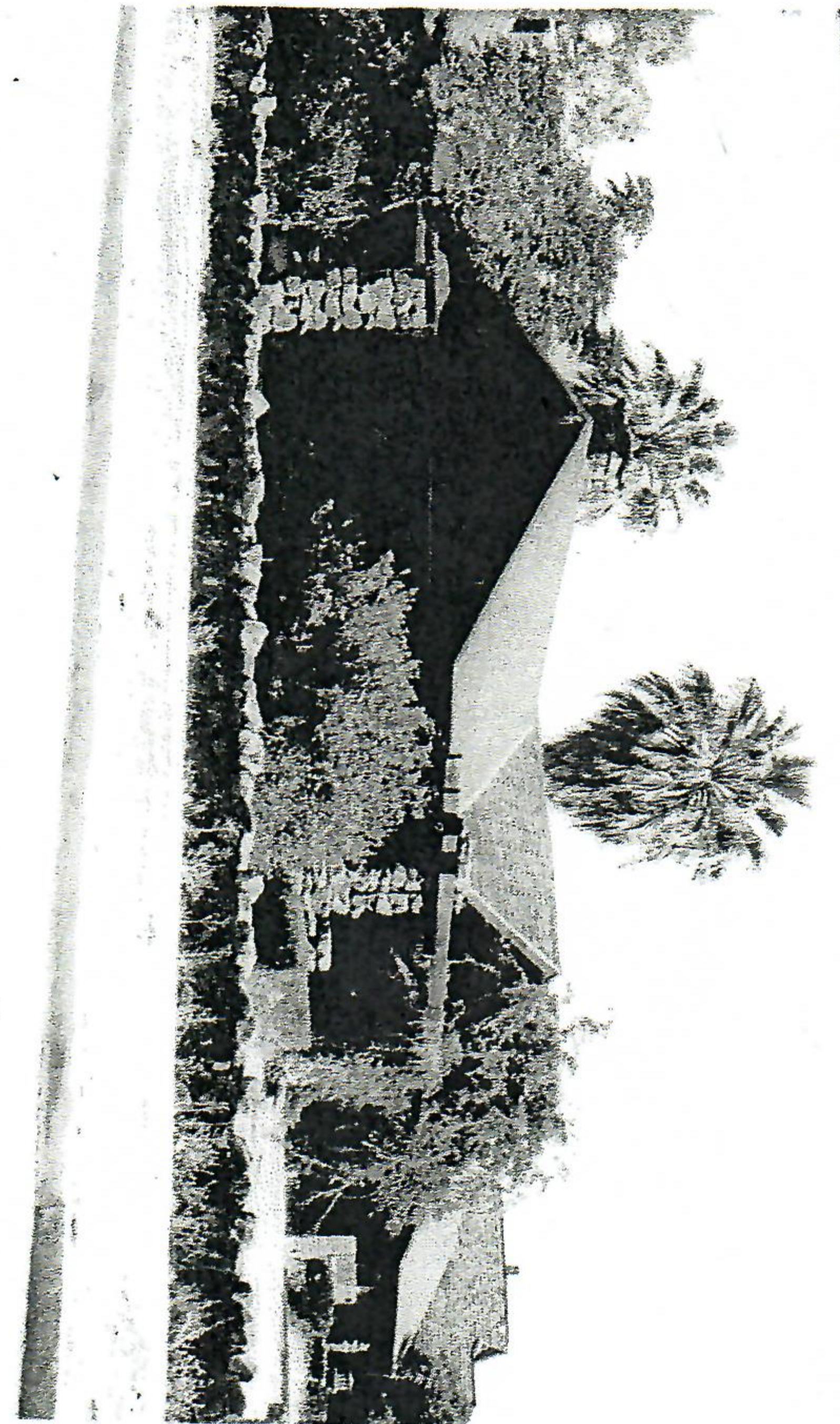
ARIZONA STATE HISTORIC PROPERTY INVENTORY

PROPERTY NAME	
LOCATION 903 N. 5th Ave.	
CITY/TOWN/VICINITY Tucson, Az.	COUNTY Pima
OWNER Arthur W. and Judith Ann Copeland	
OWNER'S ADDRESS 903 N. 5th Ave. Tucson, Az.	
FORM COMPLETED BY Ann Leviton and Art Blanch	
ADDRESS U of A College of Arch.	
PHOTO BY Bob Earl	DATE 7-79
VIEW front/side	
PRESENT USE residence	ACREAGE
STYLE OR CULTURAL PERIOD California Bungalow	
SIGNIFICANT DATES 1908	

block 18

WU-68

lot 12



PHYSICAL DESCRIPTION
 One story, partial basement, stone foundation. wood frame with dark brown wood siding. Low gable roof of gray asphalt shingles, two chimneys, little changed, fair cond. Brick and light brown stucco servants quarters and garage also on this lot little changed.

STATEMENT OF SIGNIFICANCE
 Significant because it was constructed during the territorial era.
 One of a collection of bungalows in the area.
 Built for W.T. Wheatley, California lumber mogul. Designed by Arthur Heneman of Pasadena, Ca. Craftsmen were brought from Calif. to work on this architectural gem. Heneman was a contemporary of Greene and Greene.

VERBAL BOUNDARY DESCRIPTION
 Tucson, all lot 12 and S. 34' of lot 9 block 18

117-02-241-0

WU-S-245

Brief Statement of Proposal

We have taken into consideration and have been guided by the design standards in this section and the Technical Standards Manual when evaluating our proposed development applications within the HPZ. Our Proposed development within the HPZ shall be in compliance with the following standards and the standards of the applicable HPZ.

In addition to facilitating compliance with development criteria required by the Historic Preservation Zone we have followed the guidelines that are used by individual HPZ Advisory Boards to evaluate proposed projects within those HPZs.

Our Buildings and structures designated have minimal changes made, with alterations compatible with the existing architectural style and character. Our renovation offers an opportunity to restore the historic character with alterations that are compatible with contributing buildings and structures within the development zone. Our new construction in our HPZ, is within the overall character of the HPZ, particularly with site design and architectural features within the development zone. We have ensured that our new construction projects are compatible with, and contribute to, the character of the HPZ.

This part was crucial in the following list that was a guide when considering exterior renovation or construction:

- A. Exterior alterations and changes are minimal; basically painting.
- B. Alterations are compatible with the structure's original design; we used the original material as a replacement for the siding.
- C. New construction is compatible with surrounding properties, in terms of materials and architectural style and character, as we will be using cedar for the siding!
- D. Alterations or renovations visible from the street are minimal; and have only brightened up the neighborhood.
- E. Alterations or changes to original roof form, building materials, and details are minimal; as no changes have been made.
- F. All construction materials are appropriate to the building and to the neighborhood; especially the roofing that was spot on.
- G. The size, shape, and materials of window and door openings were maintained with the original objects that were there.
- H. All historical and distinctive architectural details are there to remain.

We are properly preserving the historic and architectural characteristics that make our home unique. We are conforming to the intrinsic and unique character of our home by Changing like for like materials where needed. Specifically, we have removed the exterior cedar shake shingles that have been destroyed over time and replaced them with exact same like for like

products. While doing this we installed foam insulation, tar paper for a barrier and finally Tyvek as a vapor barrier. Shingles have been preserved with the highest quality stain by Cabot.

Our Guesthouse/Garage a Contributing Property within an HPZ shall reflect the architectural style and characteristics of the existing structure. Re-stuccoing the building is an exact like for like and conform to the design standards of Contributing Properties within the development zone of the site .

Our addition, New construction to the west side of our home within the HPZ shall reflect the architectural style of and be compatible with, the Contributing Properties located within the development zone. Height has been taken into account on the proposed new construction of, our additions and principal structures . Likewise, the height of proposed accessory structures is compared to other accessory structure heights in the development zone

We have maintained the original front setback of the existing structure or the prevailing setback existing within its development zone. The Alterations and addition to our home shall reflect the proportions of the existing structure. Our new roof is compatible in configuration, mass, and materials to that of the architectural style of the existing structure. Surface texture, our cedar shake shingles are an exact like for like and appropriate to the historic style of the existing structure and the period in which it was constructed. Surface texture of our Guest house/Garage a Contributing Property is an exact like for like and appropriate to the historic style of the existing structure.

New construction of our addition to a Noncontributing Property shall have a surface texture that is an exact like for like to the historic style of our existing structures of our home. and shall reflect the historic periods existing within the HPZ. By placing cedar shake shingles we fully preserve the integrity of our home to its original character.

The spacing between the sides of buildings shall be appropriate to the historic period in which the existing structure was built. Projections and recessions of our home , such as porches, steps, awnings, overhangs, entrances, and windows, shall be appropriate to the style of the existing structure and the historic period in which it was built including **Contributing Property** and **New Construction and** reflect the historic periods of the HPZ.

Architectural details of our home, such as cornices, lintels, arches, grill work, shutters, window and door trim, and canals, are keeping with the historic style of the existing structure and the historic period in which it was built. Size, mass, and scale of alterations or additions to a Historic Landmark shall be compatible with those of the existing structure. The proportion , pattern, and rhythm of openings of additions or alterations to a Historic Landmark shall be compatible with those of the existing structure.

We may not reflect the diverse and unique characteristics of the various HPZs. As in our color scheme is exact to its historic period. Our Color of our home, including trim, roof, and other details, is exact to the architectural style of the subject structure and its historic period unlike so many. Plantings of our fruit trees and Tacoma bushes and other ornamental features reflect the historic period of the subject structure and surroundings. Fences, walls, or other physical features used to enclose open space or provide privacy shall be compatible with the architectural style of the subject structure and with Contributing Properties within the development zone and shall reflect the historic period of the HPZ. New internet utility connections shall be installed like

everyone on the back street has done. **Permitted Signs** site with zoning that allows parking as a principal use.

N/A Parking will be on- and off-

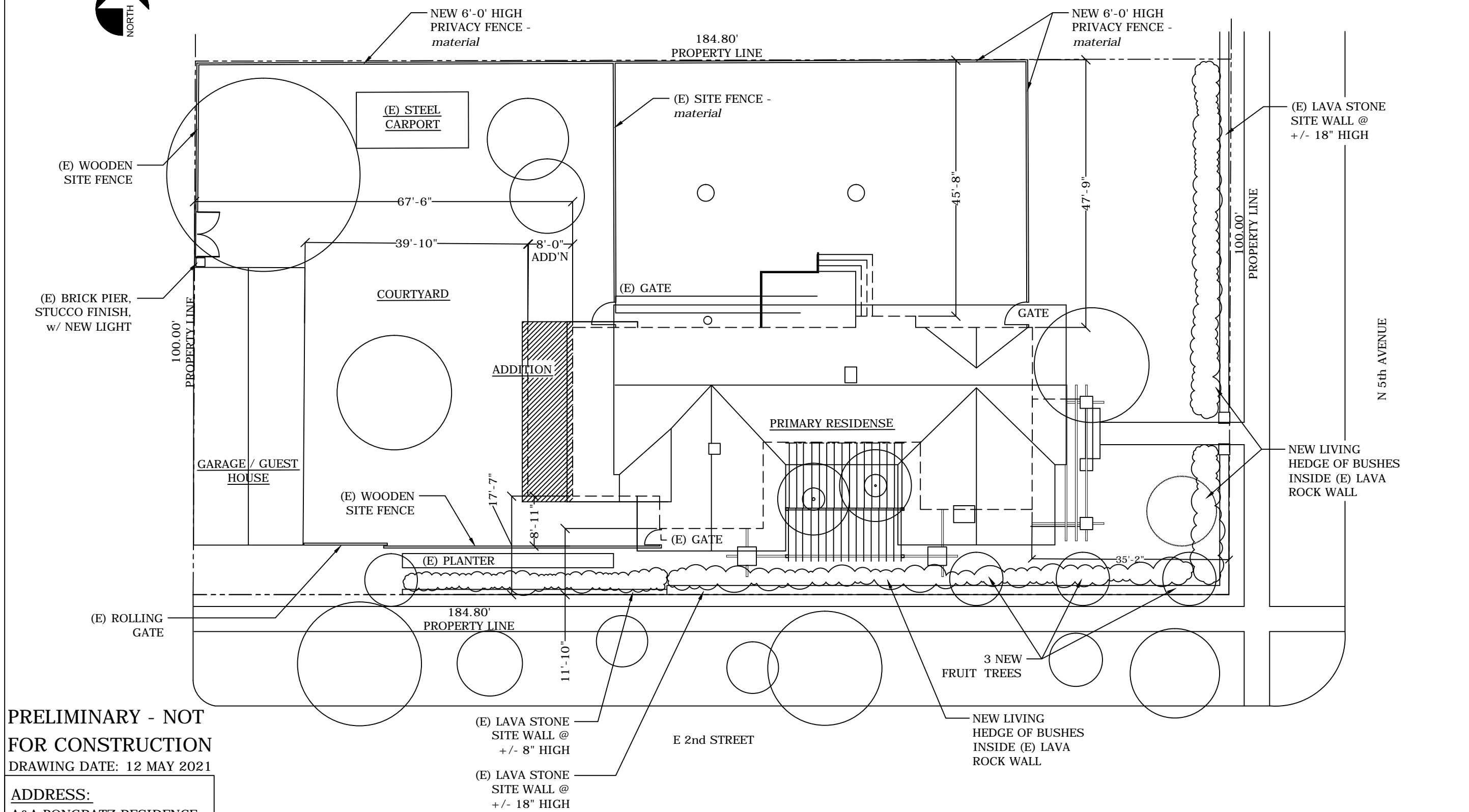
Sincerely,

Andrew and Andrea Pongratz

520-245-9949

PROJECT: PONGRATZ RENOVATON / ADDITION

[SITE PLAN]



PRELIMINARY - NOT FOR CONSTRUCTION
DRAWING DATE: 12 MAY 2021

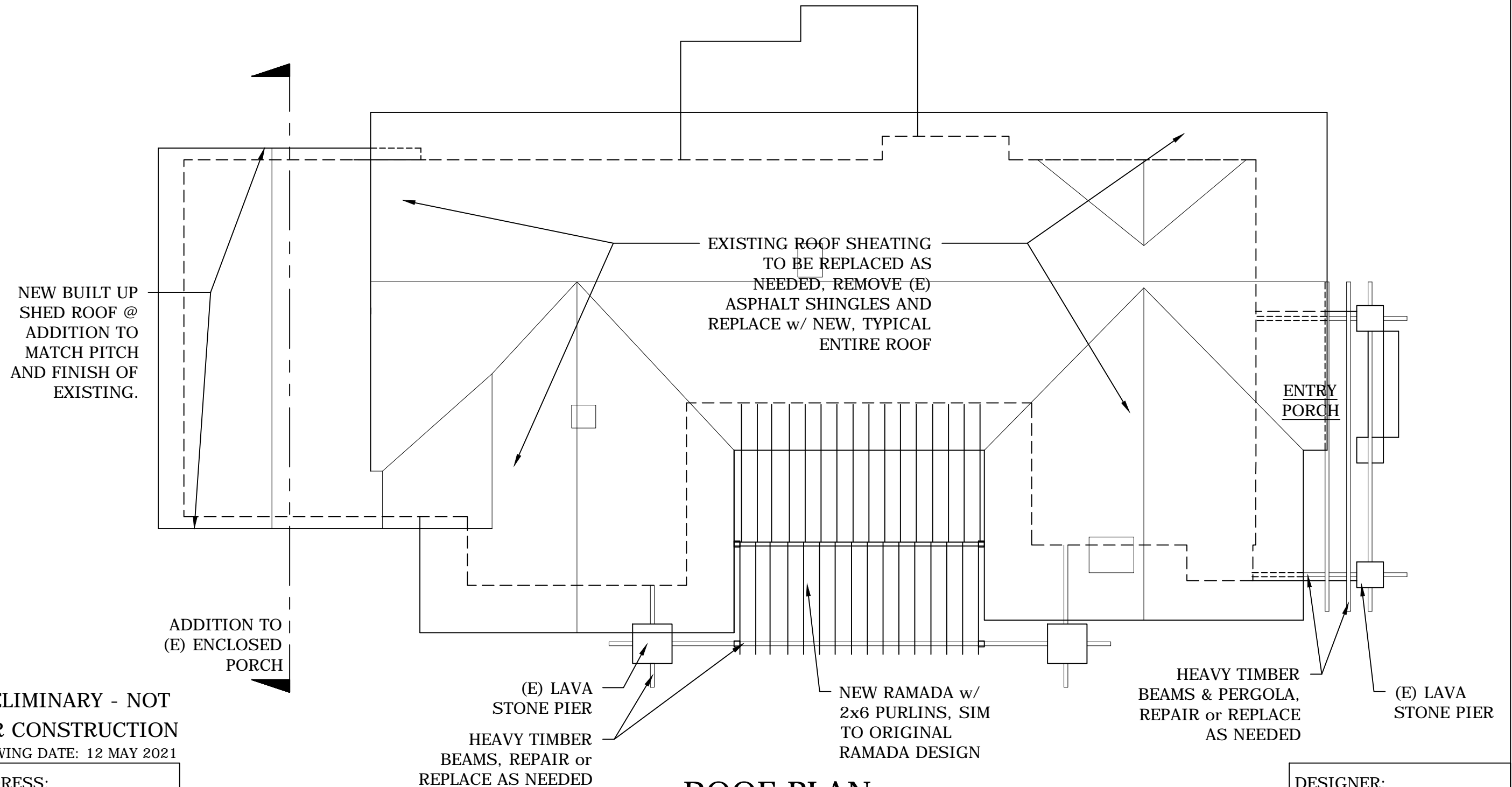
ADDRESS:
A&A PONGRATZ RESIDENCE
903 NORTH 5th AVE
TUCSON, AZ. 85705

SITE PLAN

SCALE: 1/16" = 1'-0"

PROJECT: PONGRATZ RENOVATON / ADDITION

[ROOF PLAN]



PRELIMINARY - NOT FOR CONSTRUCTION
DRAWING DATE: 12 MAY 2021

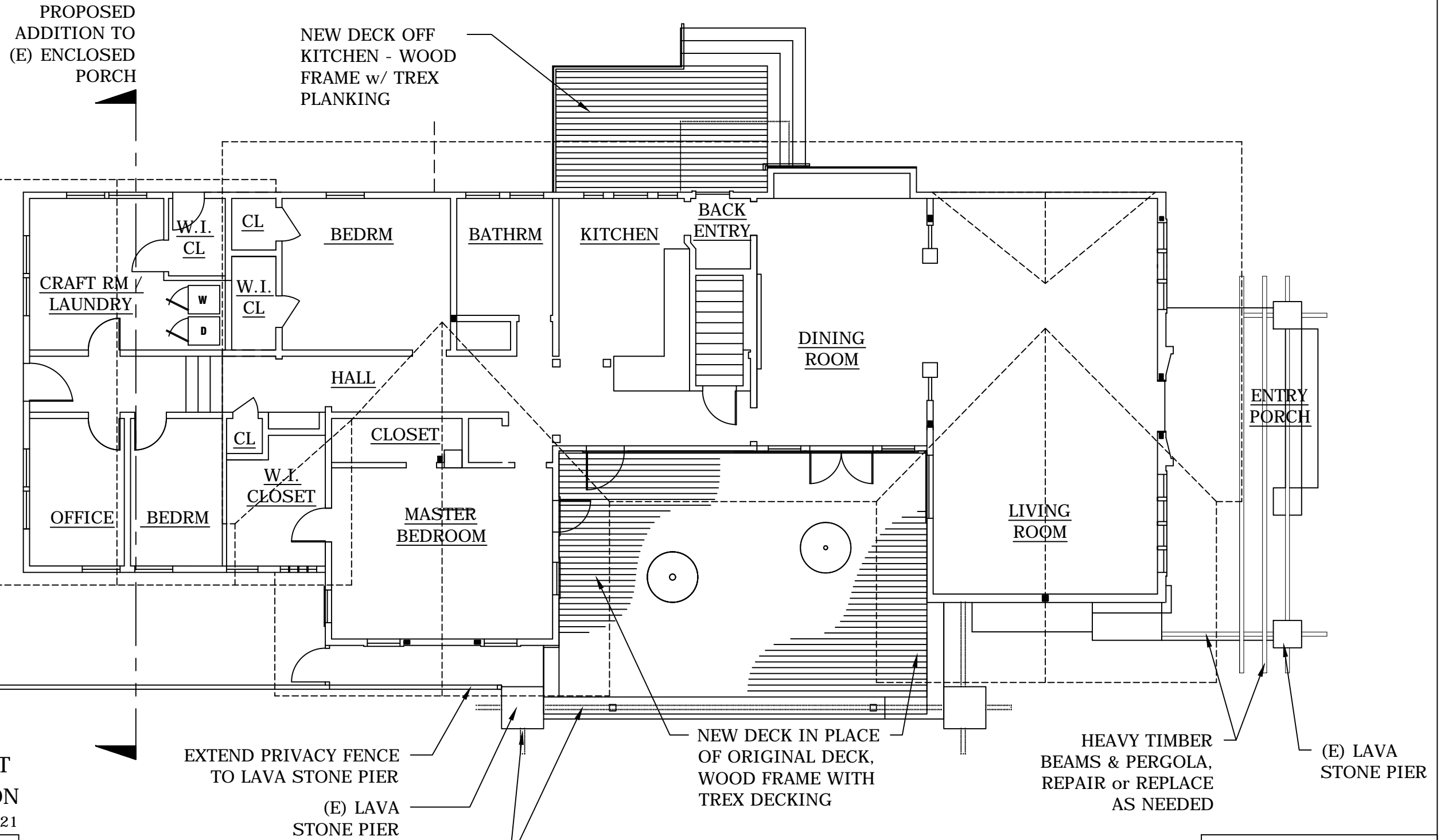
ADDRESS:
A&A PONGRATZ RESIDENCE
903 NORTH 5th AVE
TUCSON, AZ. 85705

ROOF PLAN

SCALE: 1/8" = 1'-0"

DESIGNER:
MATT CONLEY
2020 N HEATHERBRAE CL
TUCSON, AZ. 85715
mattm.conley@yahoo.com

PROJECT: PONGRATZ RENOVATON / ADDITION
 [FIRST FLOOR PLAN]



PRELIMINARY - NOT FOR CONSTRUCTION
 DRAWING DATE: 12 MAY 2021

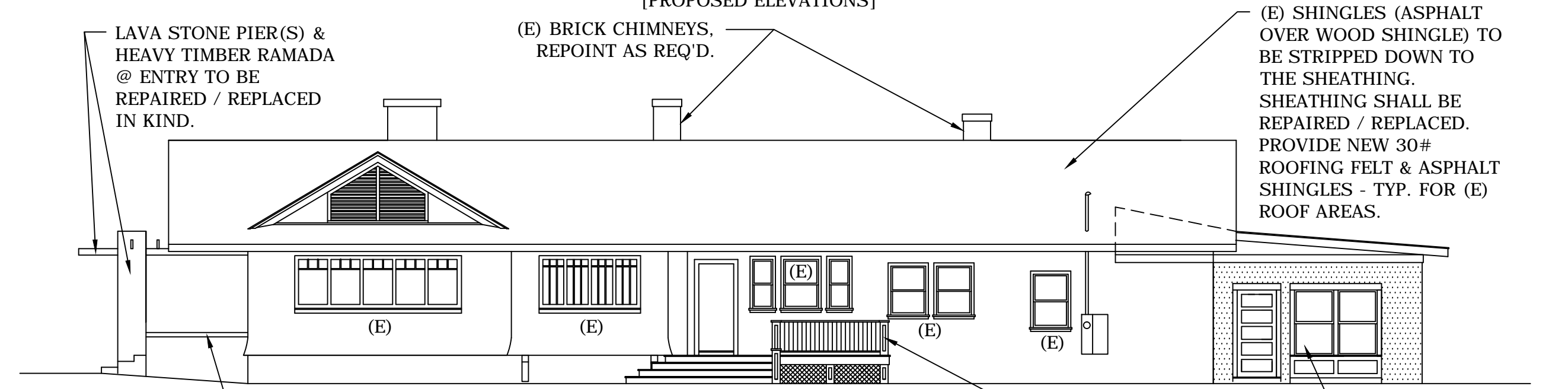
ADDRESS:
 A&A PONGRATZ RESIDENCE
 903 NORTH 5th AVE
 TUCSON, AZ. 85705

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

DESIGNER:
 MATT CONLEY
 2020 N HEATHERBRAE CL
 TUCSON, AZ. 85715
 mattm.conley@yahoo.com

PROJECT: PONGRATZ RENOVATON / ADDITION
[PROPOSED ELEVATIONS]



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

REPAIRED / REPLACE
(E) HEAVY TIMBER
RAIL @ NORTH,
SOUTH & EAST SIDES
OF FRONT PORCH.

(E) WOOD VENT AND
BRACKET DETAILING.

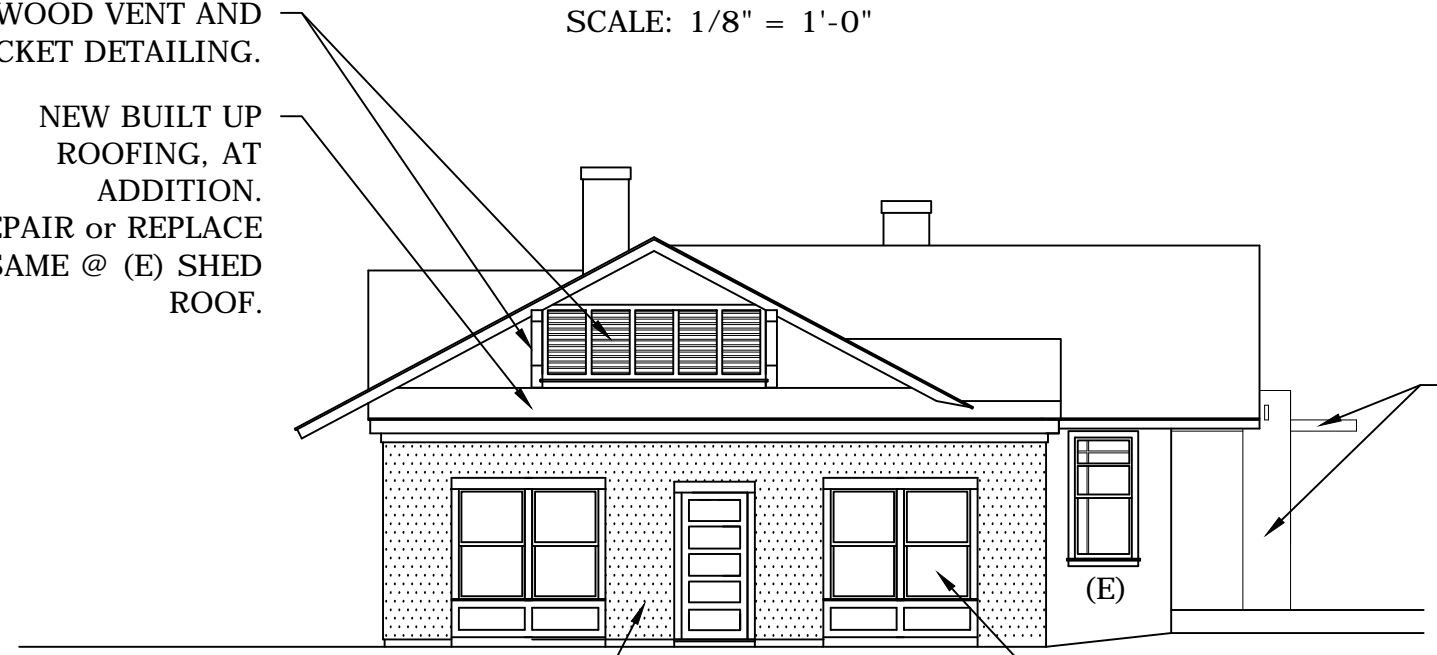
NEW BUILT UP
ROOFING, AT
ADDITION.
REPAIR or REPLACE
SAME @ (E) SHED
ROOF.

NEW WOOD DECK
OFF KITCHEN

NEW SINGLE HUNG
WINDOWS 36"Wx60"H,
SEE DETAILS FOR
CASING TRIM DETAIL &
PANEL BELOW WNDWS.

GENERAL NOTES:

1. (E) CEDAR SHINGLES TO BE CLEANED & STAINED, REPLACE IN KIND WHERE DAMAGED BEYOND REPAIR.
2. WINDOW & DOOR CASINGS and ALL TRIM WORK TO BE REPAIRED AS NEEDED & PAINTED. REPLACE IN KIND WHERE DAMAGED BEYOND REPAIR.
3. REPOINT STONE FOUNDATION AS NEEDED, USE A HIGHER LIME CONTENT MORTAR - DO NOT USE CEMENT.



WEST ELEVATION

SCALE: 1/8" = 1'-0"

ADDITION TO HAVE NEW
CEDAR SHINGLES. MATCH
EXISTING EXPOSURE, TYP.

NEW DOUBLE HUNG
WINDOWS 36"Wx60"H,
& PANELS.

LAVA STONE PIER(S) TO
BE SHORED UP AS REQ'D.
WOOD BEAMS TO BE
REPAIRED / REPLACED IN
KIND.

DRAWING DATE: 12 MAY 2021

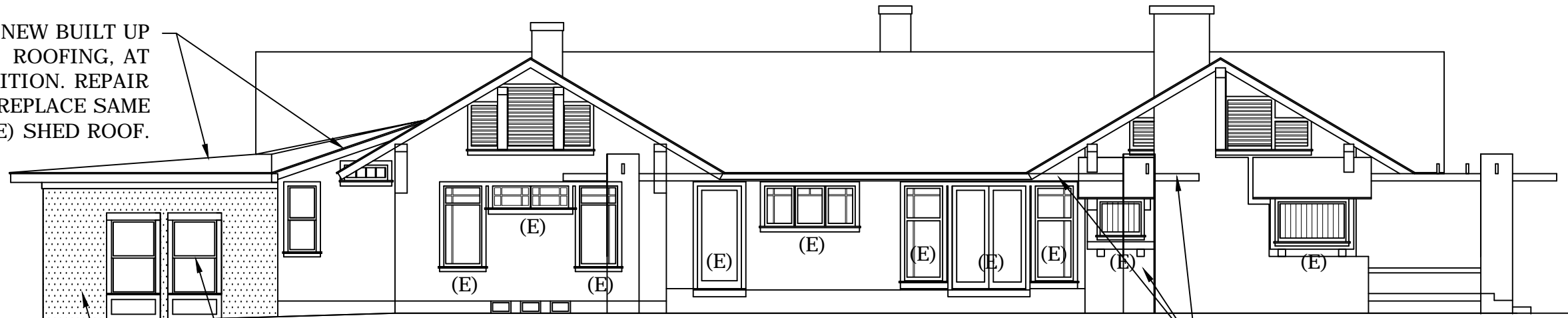
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MATT CONLEY
2020 N HEATHERBRAE CL
TUCSON, AZ. 85715
mattm.conley@yahoo.com

PROJECT: PONGRATZ RENOVATON / ADDITION
 [PROPOSED ELEVATIONS]

NEW BUILT UP ROOFING, AT ADDITION. REPAIR or REPLACE SAME @ (E) SHED ROOF.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

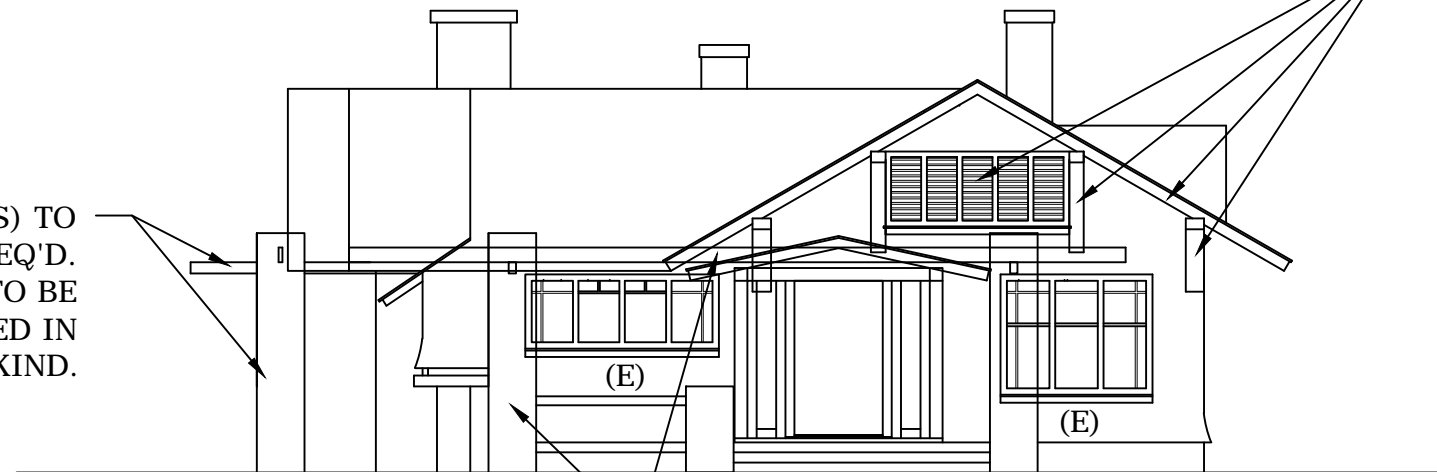
NEW DOUBLE HUNG WINDOW 36"Wx60"H, & PANELS.

ADDITION TO HAVE NEW CEDAR SHINGLES. MATCH EXISTING EXPOSURE, TYP.

LAVA STONE PIER(S) TO BE SHORED UP AS REQ'D. WOOD BEAMS TO BE REPAIRED / REPLACED IN KIND.

GABLE END VENT, BRACKET & TRIM WORK TO BE REPAIRED or REPLACED IN KIND @ ALL 5 GABLE ENDS.

LAVA STONE PIER(S) TO BE SHORED UP AS REQ'D. WOOD BEAMS TO BE REPAIRED / REPLACED IN KIND.



LAVA STONE PIER(S) & HEAVY TIMBER PERGOLA @ ENTRY TO BE REPAIRED / REPLACED IN KIND.

EAST ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. (E) CEDAR SHINGLES TO BE CLEANED & STAINED, REPLACE IN KIND WHERE DAMAGED BEYOND REPAIR.
2. WINDOW & DOOR CASINGS and ALL TRIM WORK TO BE REPAIRED AS NEEDED & PAINTED. REPLACE IN KIND WHERE DAMAGED BEYOND REPAIR.
3. REPOINT STONE FOUNDATION AS NEEDED, USE A HIGHER LIME CONTENT MORTAR - DO NOT USE CEMENT.

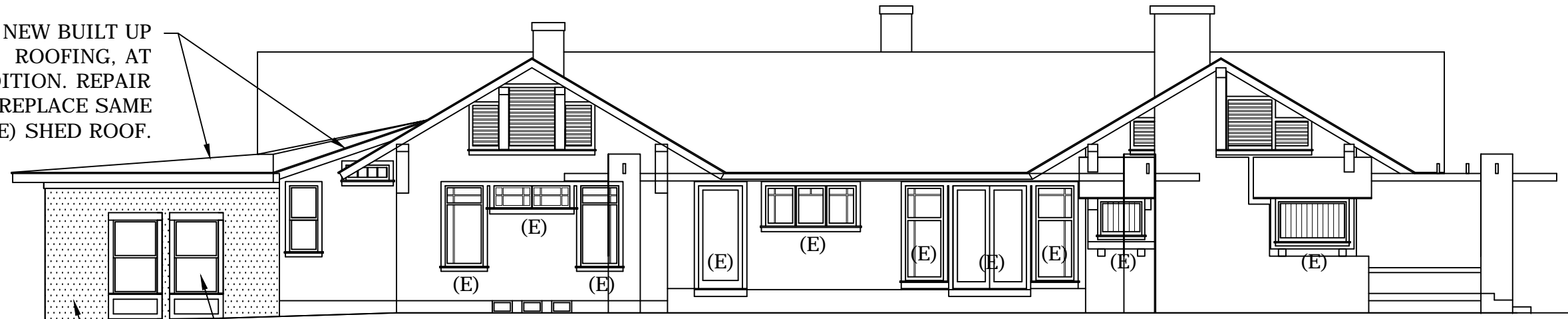
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 mattm.conley@yahoo.com

PROJECT: PONGRATZ RENOVATON / ADDITION
[PROPOSED ELEVATIONS]

NEW BUILT UP
ROOFING, AT
ADDITION. REPAIR
or REPLACE SAME
@ (E) SHED ROOF.

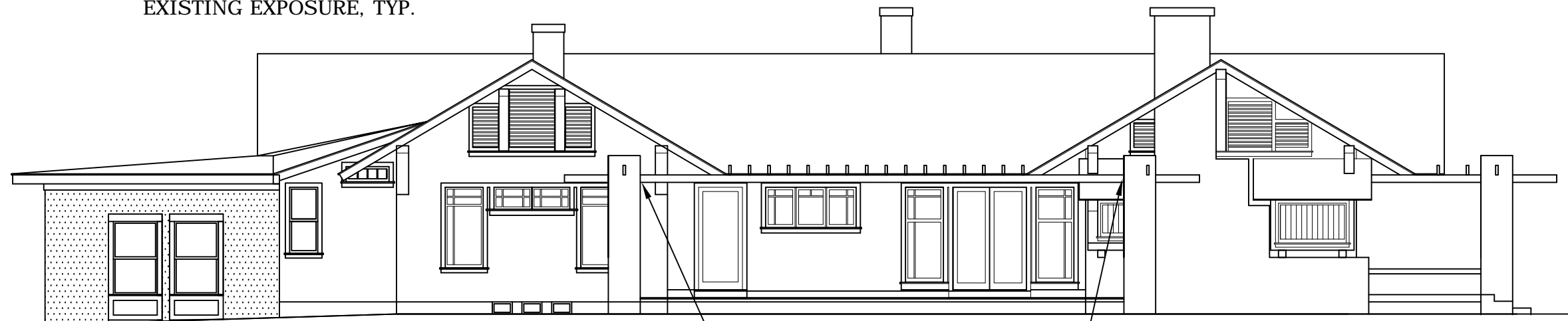


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

NEW DOUBLE HUNG
WINDOW 36"Wx60"H,
& PANELS.

ADDITION TO HAVE NEW
CEDAR SHINGLES. MATCH
EXISTING EXPOSURE, TYP.



TIMBER RAMADA RENOVATION
BETWEEN STONE PIERS & BACK
TO SOUTH WALL OF HOUSE

SOUTH ELEVATION
w/ RAMADA

SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT
FOR CONSTRUCTION

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DESIGNER:

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mattm.conley@yahoo.com

South elevation of master bedroom:

Before and after



Sample colors:



Colonial Yellow: solid body stain by Cabott for all exterior door and window trim (except front entry door)



Rocky Tundra (green): solid body stain by Cabott for all cedar shingle siding



Redwood: solid body stain by Cabott for roof brackets

Front entry door before picture:



Front entry door after picture: clear polyurethane finish by Behr



DECK / RAMADA



Example of a Craftsman's style Deck / Ramada



Original pictures of South Deck/ Ramada of 903 N 5th Ave from 1966

Example of prior placement of 2x6's of the South Ramada area



Example of deck placement



FENCE & RAMADA

We are proposing to install a security fence to the north face, east end of the house, going north to the property line.



Example of proposed fence

We are also proposing a Ramada of 12x20 to be built west of the proposed fence, following the fence line.

Examples of the proposed Ramada



Living hedge

Tacoma Bushes, Orange Jubilee and Yellow Esperanza, are planted to make a living hedge East and South of property line inside the existing stone wall.

East wall



Living Hedge on the inside of the East wall



South wall



Living Hedge on the inside of the South & East wall



GUEST HOUSE / GARAGE – STUCCO



East face north end of guest house



East face south end of guest house



The exposure to the elements started deteriorating the existing clay brick walls and stucco.



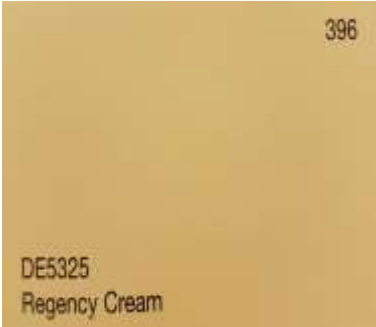
J& M Stucco contractor was called in to repair and re-stucco the whole guest house. A one inch foam board was added to smooth out failing walls and add an insulation value of R7.

The walls are ready to stucco with smooth finish, to be primed and painted with Dunn Edwards Regency Cream#DE5325 paint.

Example of stucco texture



Color sample of guest house walls



Original pillar on west face north end of guest house / garage (Arizona Ave)

We propose an increase of the original height of the above brick pier (see page 2 of the plans) to equal the existing wooden fence for security reasons.

We also propose a new light to be added on top of the brick pier.

Examples of doors and windows



Example of original door



Example of repaired door



The original garage door on the south face of guest house

The garage door was continuously broken into for decades and is damaged beyond repair.



Example of proposed replacement garage door

The garage door manufacturer is Clopay, Coachman Collection 8ft x 7ft, model# CXU13_SW_SQ24 – Timeless Carriage House Design.

Front Gutter and water catch



Original picture of front gutter and water catch from 1966



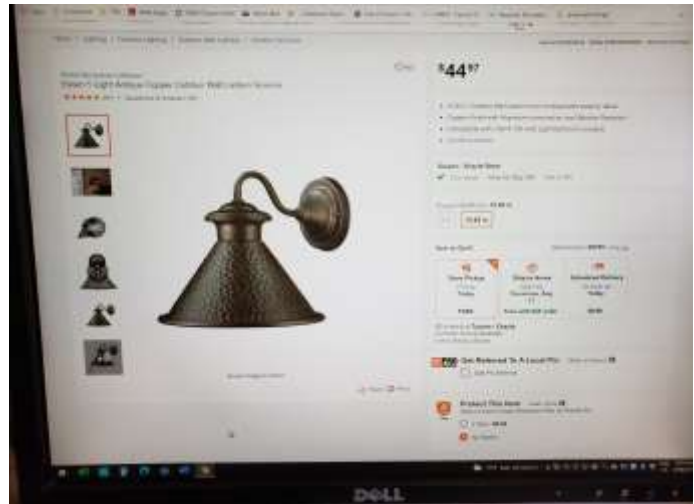
Original positioning of gutter and imprint of water catch on east face south end of house



East face south end of house

We are reinstalling the gutter and water catch to the original specifications.

LIGHTS



We propose to install by the front door, Antique Copper Outdoor Wall Lantern Sconces model #HBW19003586A. The same model of lights to be installed on North and South decks and West Door of addition.



We also propose the installation of the Craftsman Style light on the stone wall by the entrance of the Front door.

PICTURES OF SITE AND SURROUNDING AREAS

East view



South East view



North East view



South elevation Master Bedroom



North Elevation Kitchen



South West Elevation Guest House / Garage



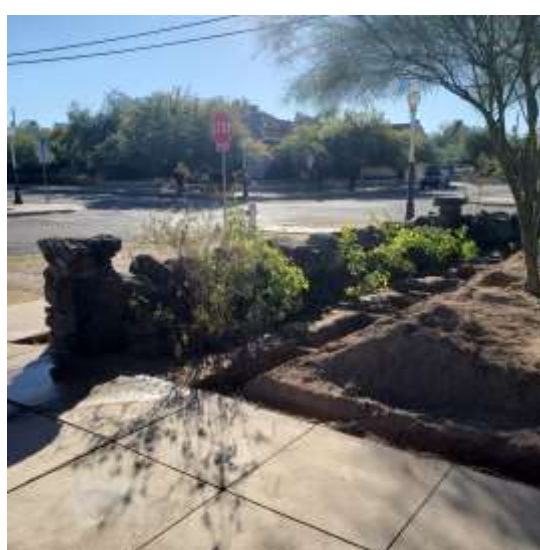
Inner court yard Guest House / Garage East Elevation



North East view from the house



South East view from the house



Security Doors

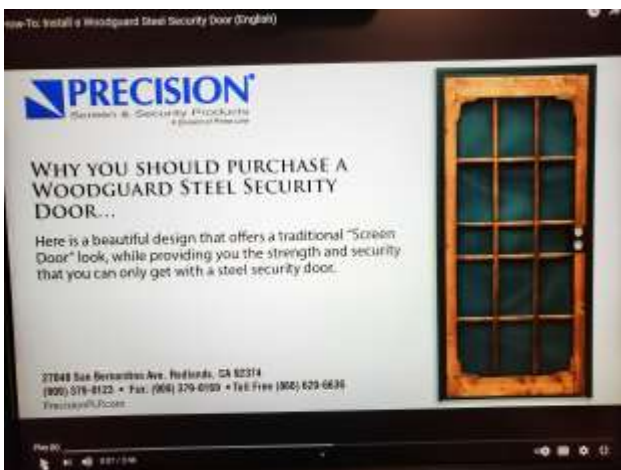


Example of a trailer door being vandalized located behind locked gates in our private court yard.

The building is located in a high crime area therefore safeguards need to be placed on the property. We are proposing security doors to be installed on the Master Bedroom and Hallway doors located on the south Ramada and also the pocket door off the kitchen on the north side.



Example of security door made by Precision Screen and Security Products



Series 3809 – I Woodguard Style

Shingles

Before picture



North face east side of building

After pictures



The cedar shingles were all removed and insulated with foam hard board insulation 2inch R13, and covered in tar paper and Tyvek vapor barrier. The new cedar shingles, Wolf Creek Cedar Oregon, were installed and stained with Cabott solid wood stain.



Example of roof above the stained glass windows – south face of building, left and right of chimney.

Shingles were removed, repaired and repainted above the stained glass windows.