

CYPRESS

CIVIL DEVELOPMENT

TRANSMITTAL SHEET

TO: City of Tucson Development Services Dept. **DATE:** November 30th, 2015
201 North Stone Avenue **JOB NO.** 15.087
Tucson, Arizona 85701 **RE:** Diocese Building
Attn: Frank Dillon IID 1st Submittal

We are sending you:

COPIES	DATE	DESCRIPTION
1	11/30/2015	IID Application
1	11/30/2015	Signed Owner Authorization Letter
1	11/30/2015	Assessor Record Map
1	11/30/2015	Assessor Parcel Detail
20	11/30/2015	IID Design Package
1	11/30/2015	Credit card payment in the amount of \$506.00 for review fees

THESE ARE TRANSMITTED AS CHECKED BELOW:

For approval
 As requested
 For review and comment
 For your use


REMARKS:

If you have any questions, please feel free to call.

Thank you,
Jeff

SIGNED:  Jeff Hunt, Principal

COPY TO: File 15.087

RECEIVED BY: 
 DATE: 11/30/2015



PRE-APPLICATION INFORMATION

Zoning Administration Process Overview: A project may be subject to various reviews and criteria depending on the scope of work and the Unified Development Code (UDC). Please note that your projects may not be subject to review by all review authorities used in the table below. The Zoning Administration processes at Planning and Development Services Department (PDS) include:

Review Process	Review Authorities	PDS Planning Contact
Design Development Option (DDO) [UDC Section 3.11.1]	Design Review Board (DRB)	Michael Taku – (520) 837-4963 Russlyn Wells – (520) 837-4948
Flexible Lot Development (FLD) [UDC Section 8.7.3]	Design Professional	Frank Dillon – (520) 837-6957
Historic Preservation Zone (HPZ) [UDC Section 5.8]	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission (T-PCHC) Plans Review Subcommittee (PRS)	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
Infill Incentive District (IID) [UDC Section 5.12]	1. Neighborhood Liaison 2. Design Professional 3. T-PCHC PRS 4. Design Review Committee (IID-DRC)	Frank Dillon – (520) 837-6957 Carolyn Laurie – (520) 837-4953
Individual Parking Plan (IPP) [UDC Section 7.4.5.A]		Mark Castro – (520) 837-4979
Main Gate District (MGD) Design [MGD Policy]	1. Neighborhood Historic Advisory Board 2. T-PCHC PRS 3. Main Gate District Design Review Committee (MGD-DRC)	Frank Dillon – (520) 837-6957 Jim Mazzocco – (520) 837-6964
Neighborhood Preservation Zone (NPZ) [UDC Section 5.10]	Design Professional	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
Rio Nuevo Area (RNA) (formerly RND) [UDC Section 5.12.7]	1. T-PCHC PRS 2. Design Review Board (DRB)	Frank Dillon – (520) 837-6957 Michael Taku – (520) 837-4963
Variances [UDC Section 3.10.3]	Design Review Board (DRB) Board of Adjustment (B/A)	Mark Castro – (520) 837-4979 Russlyn Wells – (520) 837-4948

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APPLICATION

Case Number IID-15-10

Date Accepted: 12/10/2015

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): Mid-rise: Diocese Office Building

Property Address: 111 S Church Avenue

Applicable Area/Neighborhood/Overlay: Downtown Core Subdistrict

Zoning: OCR-2

Legal Description: PUEBLO CENTER REDEVELOPMENT PROJECT ARIZONA R-8 BLK 507 EXC RD

Pima County Tax Parcel Number/s: 117-20-015a

Site and Building Area (sq ft): 18,700 SF and 90,000 SF

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Matt Stuart

ADDRESS: 2102 North Country Club Road # 9 Tucson, Arizona 85716

PHONE: (520) 561-4983

FAX: (520) 798-3341

EMAIL: mstuart@cypresscivil.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Saint Augustine Cathedral Roman Catholic Parish Tucson

PHONE: (520) 623-6351

FAX: ()

PROJECT TYPE (check all that apply):

() New building on vacant land

() New addition to existing building

() Change of use to existing building

New building on developed land

() Other

Related Permitted Activity Number(s): DP15-0196

DESCRIPTION OF USE: Multi-family residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

Matt Stuart

SIGNATURE OF OWNER/APPLICANT

11/24/2015

Date



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

✓	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
✓	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
✓	3. Project statement outlining scope of work.
X	4. UDC compliance review comments (obtained at the 1 st floor). In Review
✓	5. Pima county assessor's record parcel detail and record map.
✓	6. Color aerial photograph of subject property (if applicable).
✓	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
✓	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
✓	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
✓	10. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
✓	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
✓	12. PDF of all above listed items (number of hard copies may be required).
✓	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



CASE INFORMATION

(To be completed by PDSD staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01): _____

Related Permitted Activity Number(s): _____

Review Process (E.g. HPZ, DDO, IID – Major/Minor): _____

Applicable Fees: _____

Pre-Application Accepted by: _____

Date

Pre-Application Meeting scheduled for: _____

Date

Additional Notes: _____

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.): _____



CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to _____

to be mailed to everyone on the mailing list on 11/2/2015,
(date of mailing)

for the neighborhood meeting to be held on 11/16/2015.
(date of neighborhood meeting)

[Signature]
(signature of applicant/applicant's agent)

11/3/2015
(date signed)

Documentation if available (such as receipt) - See Design Package



November 3, 2015

The City of Tucson
Planning and Engineering Department
201 North Stone Avenue
Tucson, Arizona 85701

RE: Diocese Building, 111 S. Church Avenue

Dear City of Tucson:

This shall serve as an authorization letter that will allow Cypress Civil Development to act as an authorized agent and submit the Development Plan and Infill Incentive District documents for the above referenced project.

Please feel free to contact me should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'John Barraclough', is written over a horizontal line.

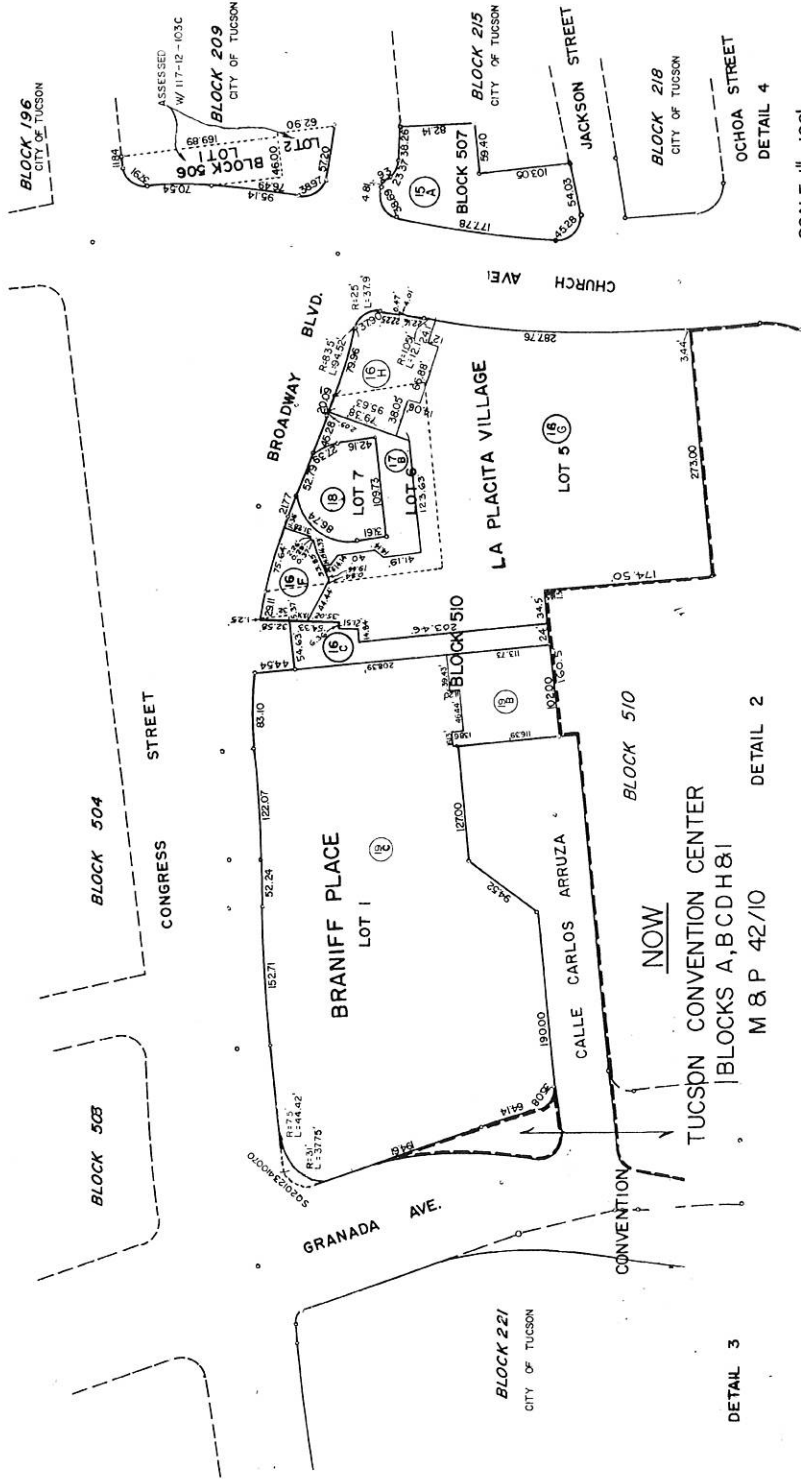
John Barraclough
Foundation for Senior Living
602-285-1800, ext. 139
jbarraclough@fsl.org

ASSESSORS RECORD MAP

117-20

PUEBLO CENTER

DETAIL No. 1



SCALE 1" = 100'

SEE BOOK 20 PAGES 83 M&P
2013-1

20083001
SCANNED

Book-Map-Parcel: 117-20-015A

Oblique Image

Tax Year:

Tax Area: 0150

Property Address:

Street No	Street Direction	Street Name	Location
111	S	CHURCH AV	Tucson

Taxpayer Information:

CATHOLIC FOUNDATION FOR THE DIOCESE
OF TUCSON
111 S CHURCH AVE
TUCSON AZ
85701-1602

Property Description:

PUEBLO CENTER REDEVELOPMENT PROJECT
ARIZONA R-8 BLK 507 EXC RD

Valuation Data:

2015				2016			
LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE	LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE
LAND FCV	COMMERCIAL (1) \$467,260	18.5	\$86,443	COMMERCIAL (1)	\$467,260	18.0	\$84,107
IMPR FCV	COMMERCIAL (1) \$1,811,345	18.5	\$335,099	COMMERCIAL (1)	\$1,811,345	18.0	\$326,042
TOTAL FCV	COMMERCIAL (1) \$2,278,605	18.5	\$421,542	COMMERCIAL (1)	\$2,278,605	18.0	\$410,149
LIMITED VALUE	COMMERCIAL (1) \$2,278,605	18.5	\$421,542	COMMERCIAL (1)	\$2,278,605	18.0	\$410,149

Property Information:

Section: 13
Town: 14.0
Range: 13.0E
Map & Plat: 20/83
Block: 507
Tract:
Rule B District: 1
Land Measure: 18668.00F
Group Code: 000
Census Tract: 100
Use Code: 1512 (OFFICE BUILDING 2 STORY)
File Id: 1
Date of Last Change: 1/5/2009

Commercial Characteristics:

Property Appraiser: Jim F. Phone: (520)724-7427

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	21,701	\$3,162,131	\$0	\$1,811,345

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	2004	151/3	0000000	21,701	\$3,395,759	\$3,162,131	BUSINESS OFFICE

Valuation Area:

Condo Market: 60
DOR Market: 31
MFR Neighborhood: CB_DOWNTOWN
SFR Neighborhood: 01020201
SFR District: 30

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20010510382	1	03/2001	Commercial/Industrial	\$1,640,000	\$1,640,000	N W5 JAC DEED: Special Warranty Deed

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20031550393	12112	2183	8/12/2003	WARRANTY DEED
20010510382	11506	1184	3/15/2001	
0	4209	51	3/16/1972	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2006	\$1,400,000		

Parcel Note: Click to see/expand 10 note(s)

Book-Map-Parcel: 117-20-015A

[Oblique Image](#)

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Tax Area: 0150

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Street No	Street Direction	Street Name	Location
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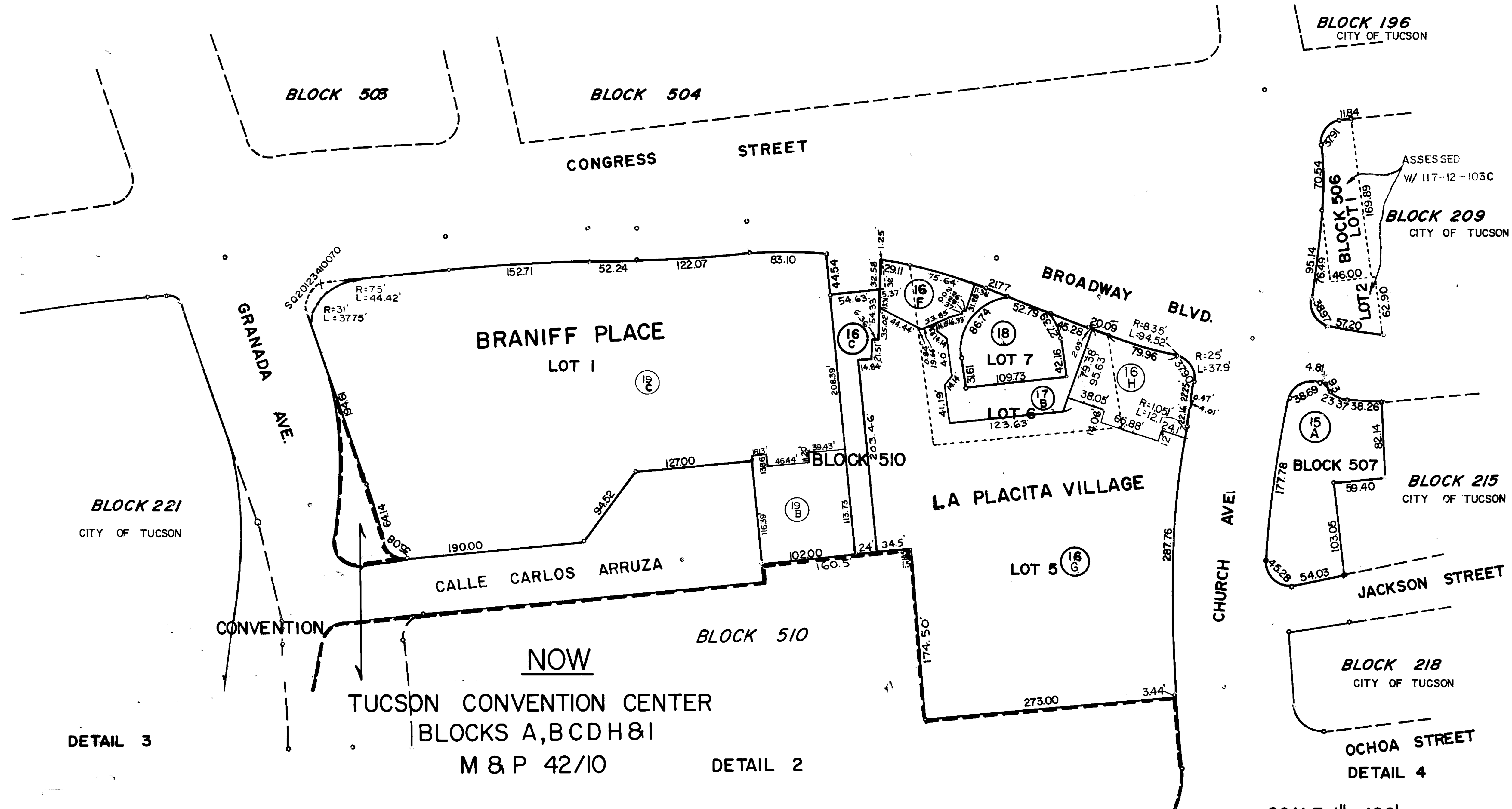
Parcel Note: Click to see/expand 10 note(s)

ASSESSORS RECORD MAP

117-20

PUEBLO CENTER

DETAIL No. 1



20083001
SCANNED

INFILL INCENTIVE DISTRICT DESIGN PACKAGE for THE MARIST ON CATHEDRAL SQUARE— DIOCESE

25 NOVEMBER 2015

OWNER

St. Augustine Cathedral Roman Catholic Parish
P.O. Box 31
Tucson, Arizona 85702
Attn: John Shaheen

PREPARED FOR

Foundation for Senior Living
1201 E Thomas Road
Phoenix, Arizona 85014
Attn: Steve Hastings



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2 - Downtown Streetscape Interim Policy - Response Letter	
3 - Development Plan 1st Submittal dated 10 November 2015	

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APPLICATION

Case Number _____

Date Accepted: _____

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Zoning: **OCR-2**

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PROJECT TYPE (check all that apply):

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New building on developed land

() Other

Related Permitted Activity Number(s): **DP15-0196**

DESCRIPTION OF USE: **Multi-family residential**

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT

11/24/2015

Date



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CASE INFORMATION

(To be completed by PDS staff at pre-application meeting)

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Applicable Fees: _____

Pre-Application Accepted by: _____

Date

Pre-Application Meeting scheduled for: _____

Date

Additional Notes: _____

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.): _____

Project Introduction

With a surge of investment in Tucson’s Downtown Core, long term housing has become important to the future fabric of the area. An increasing aging population, along with new amenities being offered in the Downtown Core are resulting in increased demand for a variety of housing options and lifestyles that provide individuals the ability to age in place. The Marist on Cathedral Square—Diocese project seeks to fulfill that demand by offering an affordable senior housing development at one of the major activity corners of Downtown Tucson—Church & Broadway.

The proposed Diocese development will offer residents a unique housing experience, while providing affordable options for those households with incomes ranging from 40-60% of the median income. The 75 senior residential units will be in the heart of Downtown Tucson, offering prospective tenants exceptional access to some of the finest establishments and opportunities Tucson has to offer. Bounded to the west by Church Avenue and Broadway Boulevard to the north, the project site is surrounded by amenities including, La Placita, Fox Tucson Theatre, the Municipal Complex, the Tucson Convention Center, and Congress Street to name a few. Conveniently located along the Sun-Link transportation system, the proposed development offers easy access to the entire Central Business District, 4th Avenue, and the University of Arizona.

Development in Tucson, especially the Downtown Core, must preserve the rich cultural history while seeking to obtain an architectural model focused on accommodating the future higher population densities within the Central Business District. This project understands the balance between progress and respect, and aims to develop in a manner that considers the sensitivity of the surrounding structures.

Being a part of the Infill Incentive District Overlay, comments and questions are welcomed as a part of the Design Review Committee process. This project is committed to bringing long-term value to Downtown Tucson, and looks forward to a positive review process. Please see the following pages representing a snapshot of the proposed Diocese development.

Sincerely,



Matt Stuart

Project Manager

Cypress Civil Development

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EXISTING PHOTO INDEX

The following pages show images taken from various locations adjacent to The Marist on Cathedral Square—Diocese development area. Please refer to this page to orient the following photos with the surrounding area.



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SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site, along Jackson Street—looking east. This photo displays the existing streetscape and architecture of the adjacent properties.



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SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site, along Jackson Street—looking west. This photo displays the existing streetscape and architecture of the adjacent properties.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, Church Avenue and Jackson Street—looking south. This photo displays the existing streetscape and architecture of the adjacent properties.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, Church Avenue and Jackson Street—looking north. This photo displays the existing streetscape and architecture of the adjacent properties of the Downtown Core.



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SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site, Church Avenue and Jackson Street—looking east. This photo displays the existing streetscape and architecture of the adjacent properties.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, Church Ave and Broadway Boulevard—looking south. This photo displays the existing streetscape and architecture of the adjacent properties.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, Church Ave and Broadway Boulevard—looking east. This photo displays the existing streetscape and architecture of the adjacent properties of the Downtown Core.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, Church Ave and Broadway Boulevard—looking north. This photo displays the existing streetscape and architecture of the adjacent properties of the Downtown Core.



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NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, Church Ave and Broadway Boulevard—looking west. This photo displays the existing streetscape and architecture of the adjacent properties of the Downtown Core.



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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Broadway Boulevard—looking east. This photo displays the existing streetscape and architecture of the adjacent historic property.



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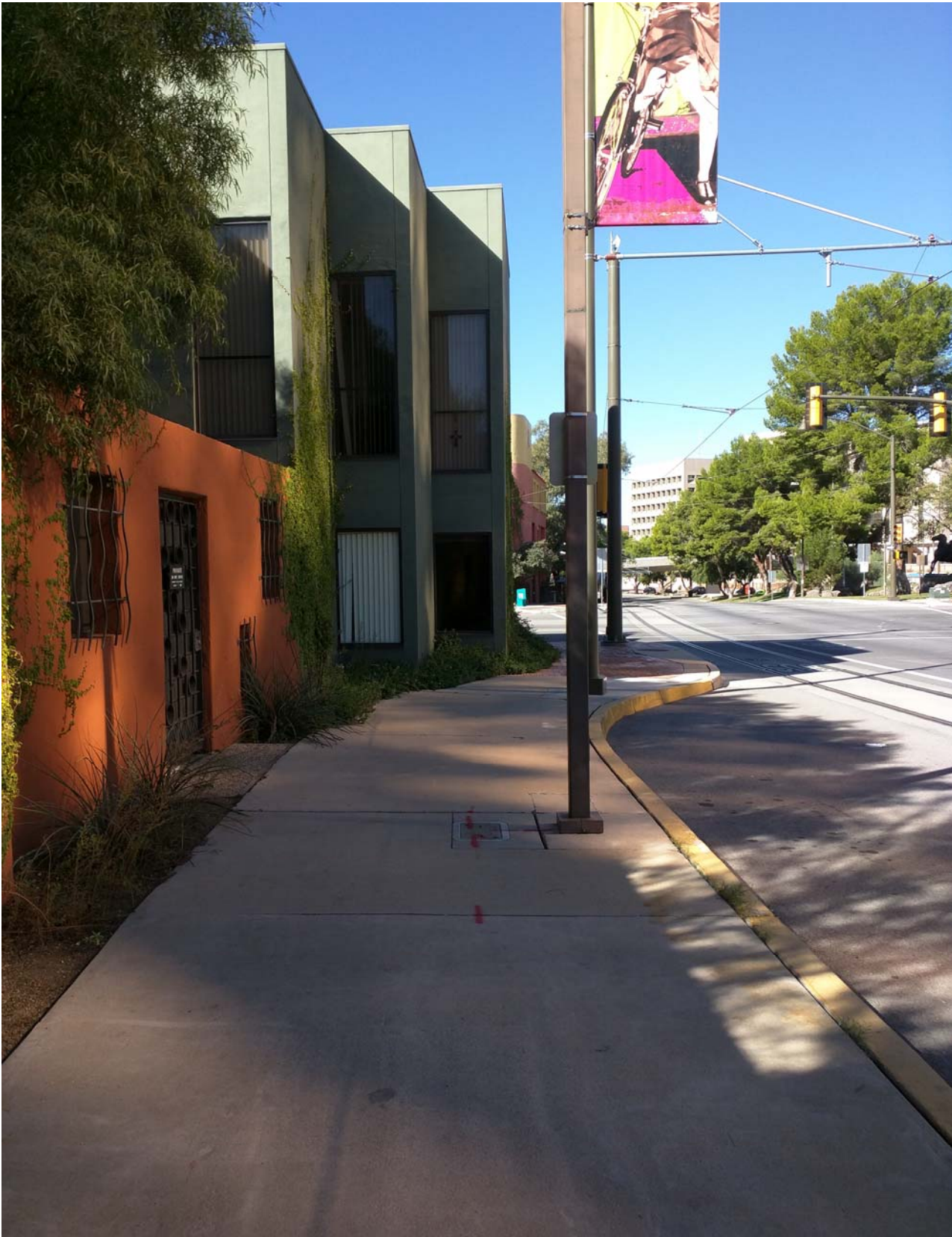
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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Broadway Boulevard—looking west. This photo displays the existing streetscape and structure.



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NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Broadway Boulevard—looking north. This photo displays the existing streetscape and architecture of the adjacent properties of the Downtown Core.



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ON CATHEDRAL SQUARE
- DIOCESE

25 November 2015

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter provides a description outlining the proposed scope of work for THE MARIST ON CATHEDRAL SQUARE - DIOCESE development as it relates to the Downtown Area Infill Incentive District (IID) overlay zone:

EXEMPTION REQUEST:

The Marist on Cathedral Square - Diocese project is located at the southeast corner of Church Avenue and Broadway Boulevard, within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the DCS, the Development will be required to comply with the following:

- 1) Permitted uses listed within Section 5.12.9.A;
Multifamily Use – Multifamily Dwelling Residential Group
- 2) Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID's Development Transition Element requires less;
Allowable height OCR-2 = 300'
- 3) Demolition and façade alteration standards and review requirements in accordance with UDC Section 5.8.10, Demolition of Historic Properties, Landmarks, and Structures of the Rio Nuevo Area and Infill Incentive District;
Existing building to be demolished in accordance with UDC Section 5.8.10. Existing Building is not Historic or a Landmark
- 4) When provided, landscaping shall be in accordance with the City's drought-tolerant plant list;
Plants have been selected from approved list
- 5) Bicycle parking shall be provided when motor vehicle parking is provided; The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan, Section 5.12.8.E;
New bike parking provided per UDC requirements
- 6) Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation;
No Native Plants to be removed

INFILL INCENTIVE DISTRICT (IID) NARRATIVE:

1. STATE THE APPLICANT'S INTENTION TO USE THE IID ZONING OPTION IN LIEU OF EXISTING UNDERLYING ZONING;

Response: It is the intent of the proposed development to use the IID zoning option in lieu of the underlying zoning in order to maximize the site's location as it pertains to creating a sustainable, transit-oriented infill development project; that offers a pedestrian friendly environment, takes advantage of the Tucson Sun-Link transportation system, and provides a much needed boost to the Downtown Core and the major Broadway/Stone activity center. The project seeks the following modifications permitted through the use of the IID overlay zone:

Maximum Lot Coverage – Per UDC Section 5.12.10.C.3 – relief from maximum lot coverage standards is allowed for projects within the DCS. Relief from the lot coverage requirements would allow this Development to maintain a buildable footprint congruent with the surrounding buildings within this development zone, and distribute the building massing evenly across the entire site.

Environmental Services – Per UDC Section 5.12.10.D.2 – modifications to the on-site refuse collection standards are allowed for projects within the DCS. Due to the site's constraints, and the building's design to create a sustainable, transit-oriented development, a modification is necessary to accommodate the recycle and waste removal. Waste and recycle containers will remain hidden from pedestrian view during normal business hours through storage options within the architectural footprint, providing easy and secure access for tenants and building management. At the time of this writing, site specifics, and the details of a management plan are still being considered by each party.

Major Streets and Routes Setback Zone – Per UDC Section 5.12.5.B.1 – relief from the MS&R setbacks is allowed for projects within the DCS. The proposed project is located within the DCS, and as such, the proposed development seeks relief from the requirements of the Major MS&R setbacks. Doing so creates a unique pedestrian friendly environment that maximizes the development footprint with setbacks and perimeter yards congruent with adjacent parcels.

Landscaping/Screening – Per UDC Section 5.12.10.C.7 – relief from landscaping and screening standards is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain a building footprint that is congruent with the surrounding buildings within this development zone. Also, in order to create a unique pedestrian friendly environment that maximizes the transit-oriented development's footprint, relief from the landscaping and screening requirement is necessary. Where available and applicable, drought tolerant trees and plants will be installed or left in place to maintain the minimum 50% shade coverage for pedestrian paths.

Minimum Perimeter Yard – Per UDC Section 5.12.10.C.2 – relief from the minimum perimeter yard standard is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain a building footprint that is congruent with the surrounding buildings within this development zone. Also, in order to create a unique pedestrian friendly environment that maximizes the transit-oriented development’s footprint, relief from the minimum perimeter yard requirement is necessary.

Sight Visibility Triangle – Due to the low intensity uses and reduced traffic volume environment of Jackson Street, a reduction in the Sight Visibility Triangle is being requested from the 20 foot short stem standard, per TSM Section 10.-01.5.3, to a 15 foot short stem at the vehicular ingress/egress point.

Motor Vehicle Parking – Per UDC Section 5.12.10.C.5 – relief from minimum vehicular and bicycle parking standards is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief from the requirements of the Motor Vehicle Parking requirement. Private parking will be made available for building tenants, while bicycle parking will continue to be provided per UDC Section 7.4 requirements. Urban environment parking alternatives are available, including metered on-street spaces along Church Avenue and Jackson Street, as well as spaces within the La Placita garage - located immediately to the south of the proposed project.

2. DESCRIBE HOW THE PROJECT IS CONSISTENT WITH THE IID PURPOSE TO CREATE SUSTAINABLE INFILL DEVELOPMENT;

Response: This project creates 75 affordable senior residential units within the Downtown Core Subdistrict. This development supports the existing commercial and retail development within the Downtown Core by providing a unique and affordable downtown housing opportunity for seniors to age in place. Ideally positioned along the Tucson Sun-Link transportation system, the proposed project is a model for transit-oriented development, and will be able to provide easy accessibility to, and from, the Tucson Central Business District, the vibrant 4th Avenue, and the University of Arizona. The project site is surrounded by amenities and employment opportunities, including 1 South Church, La Placita, Fox Tucson Theatre, St. Augustine Cathedral, the City/County Municipal Complex, the Tucson Convention Center, and Congress Street to name a few.

3. DESCRIBE THE BENEFITS THE PROJECT WILL BRING TO THE ADJACENT PROPERTIES AND THE SURROUNDING AREA;

Response: This project will increase consumer traffic within an area lush with restaurant, retail, and office employment centers, both new and old, within Tucson’s Downtown Core Subdistrict. This project replaces an outdated office building with an affordable senior housing opportunity, meeting the increasing demand of an aging population to relocate to an urban environment and experience the various amenities offered. The result is an improved

built environment that provides a pedestrian friendly streetscape, accessibility to alternative modes of transportation, and architectural features that offer more visual appeal than the existing office building.

4. *DESCRIBE ANY SIGNIFICANT ADVERSE EFFECTS, SUCH AS NOISE LEVELS, GLARE, ODORS, VIBRATION, ILLUMINATION, FUMES AND VAPORS, THE PROJECT WILL HAVE ON ADJACENT PROPERTY;*

Response: Noise levels, illumination, vibration, fumes and vapors, and odors associated with this project would be no different, if not less than, those associated with the existing surrounding businesses. The proposed use – residential, are all relatively low intensity uses, and comparable to those being implemented by adjacent properties. It is not only in the best interest of building management, but also their goal, to create a space that is considerate and appealing to the peaceful nature of the residences.

In regard to the neighboring Historic structure, we propose to undertake the following measures and precautions:

- Adjacent to the east boundary of the existing Brown House (Ben’s Bells), we will maintain a minimum four (4) foot separation distance between any structures.

5. *DESCRIBE HOW THE PROJECT WILL CREATE A PEDESTRIAN-ORIENTED STREETScape IN COMPLIANCE WITH THE STREET STANDARDS (UDC SEC. 5.12.8.A);*

Response: The base of the building will consist of a single level of parking with space for a lobby and office at the northwest corner (Church Avenue and Broadway Boulevard), and seeks to provide transparency at the pedestrian level by creating minimal structural impact and providing windows for at least 50% of the frontage. The height of the parking level will closely resemble the height of the adjacent Brown House building at 40 West Broadway, and is intended to assist in transitioning the scale between the new mid-rise building and neighboring properties.

The project will provide architectural elements and details on the first two floors levels, while ensuring any single plane of façade is no longer than 50 linear feet without being broken up by additional architectural detail. The building mass is punctuated by both recessed and projecting elements. The recesses add a degree of privacy, while the combination with projection adds both depth and shadow interplay to the façade. The building mass is then broken at the parapet line by both a change in height and in material, creating a varied silhouette at the skyline.

The streetscape will provide shaded opportunities by way of the recessed and projecting architectural elements, along with trees and various planters to assist in reducing the variable heat island effect. Varied paving along Broadway Boulevard and Church Avenue will offer an enhanced pedestrian environment, and along with the inclusion of a recessed corner plaza,

provide a safe and friendly pedestrian zone at one of Downtown Tucson’s major activity intersections.

Entrances will be visible and identifiable from both Broadway Boulevard and Church Avenue through the use of illumination, graphics, or other unique details. Parking is located within the interior of the site and will be screened accordingly through the use of the building’s architecture, ensuring the view from the street level of parked vehicles is limited.

6. *DESCRIBE HOW THE PROJECT WILL SUPPORT A SAFE STREETScape COORDINATED WITH ADJOINING PROPERTIES;*

Response: Vehicular traffic into the property will be limited to a single ingress and egress location along Jackson Street. The single entry/exit for vehicles focuses travel to a predictable location for pedestrian travelers, all but eliminating pedestrian/vehicle conflict along the 2 major arterials – Broadway Boulevard and Church Avenue. This design improves the ability for pedestrian users to anticipate vehicle movements and increases caution at the conflict point, while offering a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized.

7. *DESCRIBE HOW THE PROJECT WILL TRANSITION TO ADJACENT EXISTING RESIDENCES AND PROVIDE MITIGATION IN COMPLIANCE WITH THE DEVELOPMENT TRANSITION STANDARDS (UDC SEC. 5.12.8.B);*

Response: The Development Transition standards do not apply to this project as this development does not abut any residences lying outside of the Downtown Core Subdistrict.

8. *INDICATE WHETHER THE PROJECT WILL SIGNIFICANTLY IMPEDE SOLAR ENERGY OPTIONS TO ADJACENT PROPERTIES;*

Response: In the Downtown Core Subdistrict, future development is zoned for higher intensity developments. This project’s underlying zoning is OCR-2, which allows for construction up to 300 feet in height respectively. The project is proposing a building height of 95 feet, less than 1/3 of the maximum allowable height under the OCR-2 zoning. The property is bordered to the north by Broadway Boulevard and the One South Church building, which stands at approximately 330 feet in height. To the south the property is bordered by Jackson Street and the La Placita parking garage. Being in the northern hemisphere, it is recommended that solar panels are oriented in a southerly fashion. The proposed project will not impede the existing adjacent parcels, to the east and west (Ben’s Bells and La Placita) from exploring solar energy options in the future.

8. *DESCRIBE THE TYPES OF DROUGHT TOLERANT AND NATIVE LANDSCAPING THAT WILL BE USED IN THE PROJECT AND HOW IT WILL BE USED TO ENHANCE THE PROJECT;*

Response: This project is within the Downtown Core Subdistrict and will be proposing the use of drought tolerant trees/shrubs per the approved City of Tucson Plant List, as well as those species recommended within the Downtown Streetscape Interim Policy. As a result, the potable water demand ratio for this project per square foot of usable space will be drastically lower than the typical City of Tucson commercial retail and lodging project ratio.

THIS PROJECT REQUESTS REDUCTIONS IN PARKING AND THEREFORE MUST RESPOND TO THE FOLLOWING:

1. *DEMONSTRATE HOW THE PROPOSED REDUCED OFF-STREET MOTOR VEHICLE PARKING WILL NOT HAVE AN ADVERSE IMPACT ON ADJACENT PROPERTIES;*

Response: This project lies within the Downtown Core Subdistrict and is surrounded by arterial and collector streets. The new development will incorporate garage parking for private leasing. Also, other urban parking options are available, including metered on-street spaces and spaces within the La Placita garage.

2. *DEMONSTRATE HOW TRAFFIC GENERATED BY THE OFF-STREET MOTOR VEHICLE PARKING PROPOSED IN THE MDR APPLICATION DOES NOT BURDEN NEIGHBORING RESIDENTIAL STREETS;*

Response: (SAME AS RESPONSE #1) This project lies within the Downtown Core Subdistrict and is surrounded by arterial and collector streets. The new development will incorporate garage parking for private leasing. Also, other urban parking options are available, including metered on-street spaces and spaces within the La Placita garage.

RIO NUEVO DISTRICT (RND) NARRATIVE:

Building Design Standards – UDC section 5.11.14

1. *THE PROPOSED BUILDINGS SHALL RESPECT THE SCALE OF THOSE BUILDINGS LOCATED IN THE DEVELOPMENT ZONE AND SERVE AS AN ORDERLY TRANSITION TO A DIFFERENT SCALE. BUILDING HEIGHTS WITH VASTLY DIFFERENT SCALE THAN THOSE ON ADJACENT PROPERTIES SHOULD HAVE A TRANSITION IN SCALE TO REDUCE AND MITIGATE POTENTIAL IMPACTS. IN AREAS UNDERGOING CHANGE, LONG-RANGE PLANS SHOULD BE CONSULTED FOR GUIDANCE AS TO APPROPRIATE HEIGHTS;*

Response: The project is zoned OCR-2, allowing for a maximum height of up to 300 feet. However, to reduce the impact on the surrounding developments and to maintain an appropriate scale, the new building will be a maximum height of approximately 95 feet, less than 1/3 of the allowable and underlying zoning height. This height is of similar scale to the adjacent structures within the same block (See 1 West Broadway). The height of the parking level will closely resemble the height of the adjacent Brown House building at 40 West Broadway, and is intended to assist in transitioning the scale between the new mid-rise building and neighboring property.

2. *ALL NEW CONSTRUCTION SHALL MAINTAIN THE PREVAILING SETBACK EXISTING WITHIN ITS DEVELOPMENT ZONE;*

Response: As part of the Downtown Core Subdistrict, this project is exempt from Perimeter Yard Setback standards. The Brown House at 40 West Broadway and 1 West Broadway, adjacent properties within the same block, maintain a zero lot line setback. The new building will provide minimal setbacks, and maintain a congruent footprint within the development zone.

3. *ALL NEW CONSTRUCTION SHALL PROVIDE SCALE-DEFINING ARCHITECTURAL ELEMENTS OR DETAILS AT THE FIRST TWO FLOOR LEVELS, SUCH AS WINDOWS, SPANDRELS, AWNINGS, PORTICOS, CORNICES, PILASTERS, COLUMNS AND BALCONIES;*

Response: The base of the building will consist of a single level of parking with space for a lobby and office at the northwest corner (Church Avenue and Broadway Boulevard), and seeks to provide transparency at the pedestrian level by creating minimal structural impact and providing windows for at least 50% of the frontage. The height of the parking level will closely resemble the height of the adjacent Brown House building at 40 West Broadway, and is intended to assist in transitioning the scale between the new mid-rise building and neighboring properties. Windows along the lower level will be constructed of a natural anodized, thermally broken, aluminum storefront style system, similar to what is currently represented at 1 East Broadway. Transparency for the lower level windows is desirable, as typical solar exposure for this location is from the east and north. The façade will present scale-defining elements through the use of recessed areas, which will feature a contrasting

metal panel. A smooth sand texture, comprised of stucco/EIFS, will serve as the predominant material along the frontage, with ground face CMU and painted steel being utilized to frame the main building entrance. Paint color is anticipated to be of the same family and palette that is present at the Brown House (40 West Broadway) and recently approved 1 West Broadway building.

4. *EVERY COMMERCIAL BUILDING FRONTAGE SHALL PROVIDE WINDOWS, WINDOW DISPLAYS, OR VISIBLE ACTIVITY WITHIN THE ADJACENT BUILDING AT THE GROUND FLOOR LEVEL, WITH A MINIMUM OF 50 PERCENT OF THE BUILDING FRONTAGE PROVIDING SUCH FEATURES;*

Response: The base of the building will consist of a single level of parking with space for a lobby and office at the northwest corner (Church Avenue and Broadway Boulevard), and seeks to provide transparency at the pedestrian level by creating minimal structural impact and providing windows for at least 50% of the frontage. Windows along the lower level will be constructed of a natural anodized, thermally broken, aluminum storefront style system, similar to what is currently represented at 1 East Broadway. Transparency for the lower level windows is desirable, as typical solar exposure for this location is from the east and north.

5. *A SINGLE PLANE OF FAÇADE AT THE STREET LEVEL MAY NOT BE LONGER THAN 50 WITHOUT ARCHITECTURAL RELIEF OR ARTICULATION BY FEATURES SUCH AS WINDOWS, TRELLISES AND ARCADES;*

Response: See included elevation following this narrative. Architectural relief has been detailed on all sides of the building, ensuring any single plane of façade does not extend further than 50 feet.

6. *BUILDING FAÇADE DESIGN SHALL INCLUDE PEDESTRIAN-SCALED, DOWN-SHIELDED, GLARE CONTROLLED EXTERIOR BUILDING AND WINDOW LIGHTING;*

Response: Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture without distracting from the elements of the façade, but also be in full compliance with the Dark Sky Ordinance. Additional architectural details have been added to the exterior to ensure pedestrian scale, including recessed areas which feature a contrasting metal panel, and inviting storefront style window applications.

7. *THE FRONT DOORS OF ALL COMMERCIAL AND GOVERNMENT BUILDING SHALL BE VISIBLE FROM THE STREET AND VISUALLY HIGHLIGHTED BY GRAPHICS, LIGHTING, MARQUEES, OR CANOPIES;*

Response: The main pedestrian entry for the building will be at the corner of Broadway Boulevard and Church Avenue. It will be highlighted by a recessed plaza to provide increased visibility from either street, and to promote a pedestrian friendly environment. A large, steel number “111” will be located and lighted above the entrance canopy, announcing not only the address, but providing an inviting graphic to the building façade.

8. *MODIFICATIONS TO THE EXTERIOR OF HISTORIC BUILDINGS SHALL COMPLIMENT THE OVERALL HISTORIC CONTEXT OF THE DOWNTOWN AND RESPECT THE ARCHITECTURAL INTEGRITY OF THE HISTORIC FAÇADE;*

Response: This project consists entirely of new building construction but strives to adhere to the existing aesthetic within this development area.

9. *BUILDINGS SHALL BE DESIGNED TO SHIELD ADJACENT BUILDINGS AND PUBLIC RIGHTS-OF-WAY FROM REFLECTED HEAT AND GLARE;*

Response: Architectural details and features such as recessed windows, and other façade variations are represented throughout the design, and provide both depth and shadow interplay to the building appearance. Glazing on the upper level windows will be of a gray tint, reducing not only the infiltration, but drastically reducing the reflective glare and impact on the surrounding buildings. Currently the site is developed; future development will add landscaping elements that will reduce the heat island effect.

10. *SAFE AND ADEQUATE VEHICULAR PARKING AREAS DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIANS AND BICYCLES SHALL BE PROVIDED;*

Response: Vehicular traffic into the property will be limited to a single ingress and egress location along Jackson Street. The single entry/exit for vehicles focuses travel to a predictable location for pedestrian travelers, thus eliminating pedestrian/vehicle conflict along the 2 major arterials – Broadway Boulevard and Church Avenue. This design improves the ability for pedestrian users to anticipate vehicle movements and use increased caution at the conflict point, while offering a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized.

11. *ADEQUATE SHADE SHALL BE PROVIDED FOR SIDEWALKS AND PEDESTRIAN PATHWAYS, USING SHADE STRUCTURES OR VEGETATION, WHERE PERMITTED BY THE CITY OF TUCSON;*

Response: This project will utilize a combination of architectural building features and new canopy trees to provide adequate shading for pedestrians.

12. *COLORS MAY CONFORM TO THE OVERALL COLOR PALLETTE AND CONTEXT OF THE DOWNTOWN AREA OR SUBAREA OR MAY BE USED EXPRESSLY TO CREATE VISUAL INTEREST, VARIETY, AND STREET RYTHMS. THE RATIONALE FOR AN EXPRESSIVE OR IDIOSYNCRATIC USE OF COLOR SHALL BE DESCRIBED IN THE SITE PLAN SUBMITTAL;*

Response: The color palette for this project will adhere to the existing color scheme prevalent within the Downtown development area (see Elevation). The building will have a smooth sand texture, with contrasting horizontal color concrete boards at recessed locations. Materials to be used include, but are not limited to concrete; glass, stucco, and steel.

13. *NEW BUILDINGS SHALL USE MATERIALS, PATTERNS, AND ELEMENTS THAT RELATE TO THE TRADITIONAL CONTEXT OF THE DOWNTOWN AREA OR SUBAREA;*

Response: Concrete, glass, stucco, and steel are all materials prevalent throughout the Downtown area. This project intends to feature all of these materials as major architectural elements throughout the building façade.

14. *TWENTY-FOUR HOUR, STREET LEVEL ACTIVITY IS ENCOURAGED BY PROVIDING A MIXTURE OF RETAIL, OFFICE AND RESIDENTIAL USES WITHIN EACH BUILDING;*

Response: This project proposes a multifamily residential development, 24 hour activity will be limited to residents only.

15. *PRIMARY PUBLIC ENTRIES SHALL BE DIRECTLY ACCESSED FROM A SIDEWALK ALONG A STREET RATHER THAN FROM A PARKING LOT. PUBLIC ACCESS TO COMMERCIAL AND GOVERNMENTAL BUILDINGS SHALL BE PROVIDED AT SIDEWALK GRADE. THE PRIMARY FLOOR OR, AND ACCESS TO, RESIDENTIAL STRUCTURES MAY BE ELEVATED. SECONDARY ACCESS MAY BE PROVIDED FROM OFF-STREET PARKING AREAS;*

Response: The primary public pedestrian entry for the building will be at the corner of Broadway Boulevard and Church Avenue. It will be highlighted by a recessed plaza to provide increased visibility from either street, and to promote an at grade, pedestrian friendly environment. A large, steel number “111” will be located and lighted above the entrance canopy, announcing not only the address, but providing an inviting graphic to the building façade.

Site Design Standards – UDC section 5.11.5

1. *VEHICULAR CIRCULATION;*

Response: See Development Plan DP15-0196.

2. *PARKING;*

Response: See Development Plan DP15-0196.

3. *PLAZAS AND OPEN SPACE;*

Response: See Development Plan DP15-0196.

4. *STREETSCAPE;*

Response: See Development Plan DP15-0196, Color Building Elevation, and Downtown Streetscape Interim Policy response.

General Restrictions – UDC Section 5.12.7

1. *NEW DRIVE-IN OR DRIVE-THROUGH FACILITIES ARE NOT PERMITTED, EXCEPT FOR BUSINESSES LOCATED ADJACENT TO THE FREEWAY, OR AS APPROVED THROUGH THE DEVELOPMENT REVIEW PROCESS;*

Response: This project will not have any drive-in or drive-through facilities.

2. *USES SHALL BE ACCOMODATED WITHOUT ALTERING THE HISTORIC CHARACTER-DEFINING FEATURES OF STRUCTURES ON OR ELIGIBLE FOR DESIGNATION ON THE NATIONAL REGISTER;*

Response: This project will consist of the demolition of an existing structure – not listed nor eligible for listing, and new construction.

These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

(520) 561-4983

mstuart@cypresscivil.com

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APPENDICES

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NEIGHBORHOOD MEETING DOCUMENTATION



REQUEST FOR MAILING LABELS

Project Address 111 South Church Avenue, Tucson, AZ 85701
(Note: if this is a new address, please provide verification from Pima County Addressing)

Applicant/Agent Name Matt Stuart - Cypress Civil Development

Mailing Address 2102 N Country Club Road #9, Tucson, AZ 85716

Phone (520) 561-4983

Matt Stuart 10/19/2015
Applicant/Agent Signature Date

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

- Assessor's Property Inquiry Printout (APIQ) (one printout for each lot comprising the project site) Assessor's Block & Lot Map

THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- | | |
|---|--|
| <input type="checkbox"/> Environment Resource Zone | <input type="checkbox"/> WASH Ordinance |
| <input type="checkbox"/> Hillside Development Zone | <input type="checkbox"/> Scenic Corridor Zone |
| <input type="checkbox"/> Design Development Option | <input type="checkbox"/> Board of Adjustment |
| <input type="checkbox"/> Design Development Option (Full Notice) | <input checked="" type="checkbox"/> Other: <u>Infill Incentive District - Major Review</u> |
| <input type="checkbox"/> Rezoning/SE | |

PROCESSING FEE

- \$220.00 Check Number: _____ Cash
 Charge Account: _____

Date Received: _____ Date Due: _____

Requested By: _____ Due To: _____

Request to: JR _____ SM _____ Other _____

Comments/Special Notes: _____

ACTIVITY NUMBER: _____

Book-Map-Parcel: 117-20-015A

[Oblique Image](#)

Tax Year:

Tax Area: 0150

Property Address:

Street No	Street Direction	Street Name	Location
111	S	CHURCH AV	Tucson

Taxpayer Information:

CATHOLIC FOUNDATION FOR THE DIOCESE
OF TUCSON
111 S CHURCH AVE
TUCSON AZ

Property Description:

PUEBLO CENTER REDEVELOPMENT PROJECT
ARIZONA R-8 BLK 507 EXC RD

85701-1602

Valuation Data:

2015				2016			
LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE	LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE
LAND FCV	COMMERCIAL (1) \$467,260	18.5	\$86,443	COMMERCIAL (1)	\$467,260	18.0	\$84,107
IMPR FCV	COMMERCIAL (1) \$1,811,345	18.5	\$335,099	COMMERCIAL (1)	\$1,811,345	18.0	\$326,042
TOTAL FCV	COMMERCIAL (1) \$2,278,605	18.5	\$421,542	COMMERCIAL (1)	\$2,278,605	18.0	\$410,149
LIMITED VALUE	COMMERCIAL (1) \$2,278,605	18.5	\$421,542	COMMERCIAL (1)	\$2,278,605	18.0	\$410,149

Property Information:

Section: 13
Town: 14.0
Range: 13.0E
Map & Plat: 20/83
Block: 507
Tract:
Rule B District: 1
Land Measure: 18668.00F
Group Code: 000
Census Tract: 100
[Use Code:](#) 1512 (OFFICE BUILDING 2 STORY)
File Id: 1
Date of Last Change: 1/5/2009

Commercial Characteristics:

Property Appraiser: Jim F. Phone: (520)724-7427

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	21,701	\$3,162,131	\$0	\$1,811,345

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	2004	151/3	0000000	21,701	\$3,395,759	\$3,162,131	BUSINESS OFFICE

Valuation Area:

Condo Market: 60
DOR Market: 31
MFR Neighborhood: CB_DOWNTOWN
SFR Neighborhood: 01020201
SFR District: 30

Sales Information:

Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash Validation
20010510382	1	03/2001	Commercial/Industrial	\$1,640,000	\$1,640,000	N W5 JAC DEED: Special Warranty Deed

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20031550393	12112	2183	8/12/2003	WARRANTY DEED
20010510382	11506	1184	3/15/2001	
0	4209	51	3/16/1972	

Petition Information:

Tax Year	Owner's Estimate	Petition	SBOE
2006	\$1,400,000		

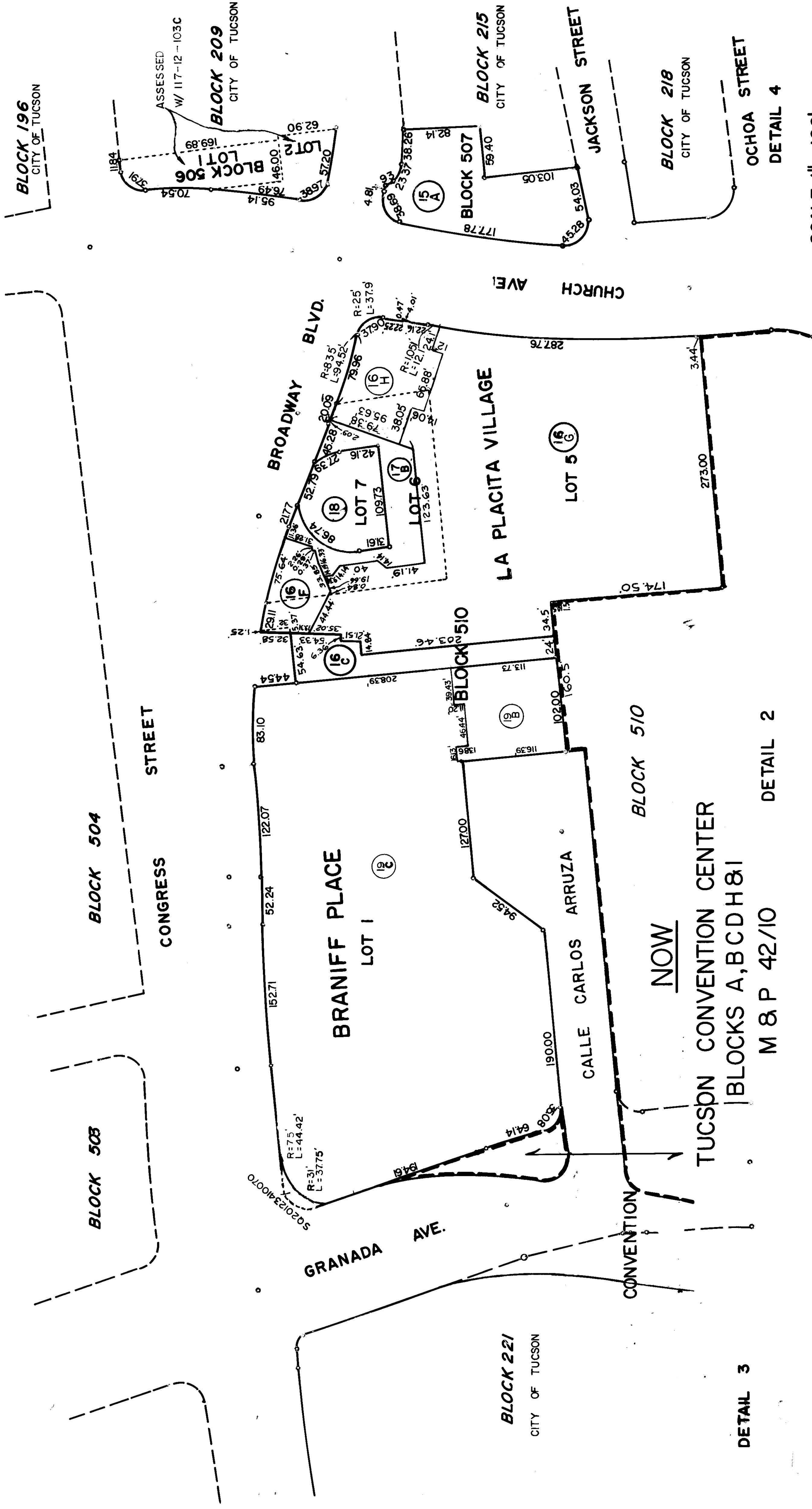
Parcel Note: Click to see/expand 10 note(s)

ASSESSORS RECORD MAP

PUEBLO CENTER

117-20

DETAIL No. 1



DETAIL 3

M & P 42/10

DETAIL 2

SCALE 1" = 100'

SEE BOOK 20 PAGE 83 M & P

2013-1

20083001
SCANNED

REQUEST FOR MAILING LABELS

Project Address 111 South Church Avenue, Tucson, AZ 85701
(Note: if this is a new address, please provide verification from Pima County Addressing)

Applicant/Agent Name Matt Stuart - Cypress Civil Development

Mailing Address 2102 N Country Club Road #9, Tucson, AZ 85716

Phone (520) 561-4983

Applicant/Agent Signature _____

10/19/2015

Date

Please attach the following. Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information will not be accepted.

- Assessor's Property Inquiry Printout (APIQ)
(one printout for each lot comprising the project site)
- Assessor's Block & Lot Map

THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:

- | | |
|--|---|
| <input type="checkbox"/> Environment Resource Zone | <input type="checkbox"/> WASH Ordinance |
| <input type="checkbox"/> Hillside Development Zone | <input type="checkbox"/> Scenic Corridor Zone |
| <input type="checkbox"/> Design Development Option | <input type="checkbox"/> Board of Adjustment |
| <input type="checkbox"/> Design Development Option (Full Notice) | <input checked="" type="checkbox"/> Other: <u>Infill Incentive District -</u>
Major Review |
| <input type="checkbox"/> Rezoning/SE | |

PROCESSING FEE

- \$220.00 Check Number: _____ Cash
- Charge Account: _____

Date Received: _____ Date Due: 10/26/2015

Requested By: _____ Due To: [Signature]

Request to: JR _____ SM _____ Other _____

Comments/Special Notes: _____

ACTIVITY NUMBER: T15PRE0089

Book-Map-Parcel: 117-20-015A

Oblique Image

Tax Year:

Tax Area: 0150

Property Address:

Street No	Street Direction	Street Name	Location
111	S	CHURCH AV	Tucson

Taxpayer Information:

CATHOLIC FOUNDATION FOR THE DIOCESE
OF TUCSON
111 S CHURCH AVE
TUCSON AZ

Property Description:

PUEBLO CENTER REDEVELOPMENT PROJECT
ARIZONA R-8 BLK 507 EXC RD

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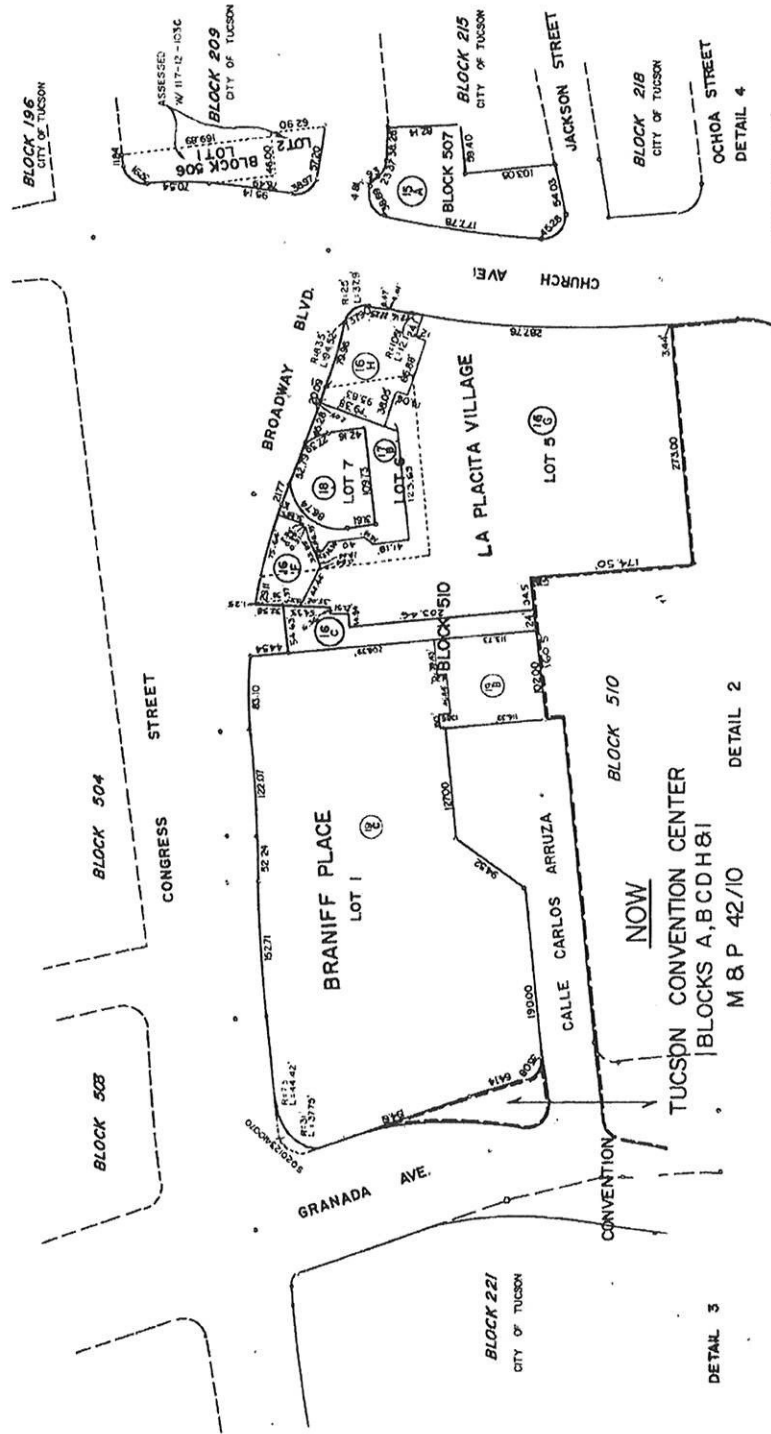
Parcel Note: Click to see/expand 10 note(s)

ASSESSORS RECORD MAP

PUEBLO CENTER

DETAIL No. 1

117-20



SCALE 1" = 100'

SEE BOOK 20 PAGES 83 M&P

2013-1

20083001
SCANNED

DETAIL 3

DETAIL 2

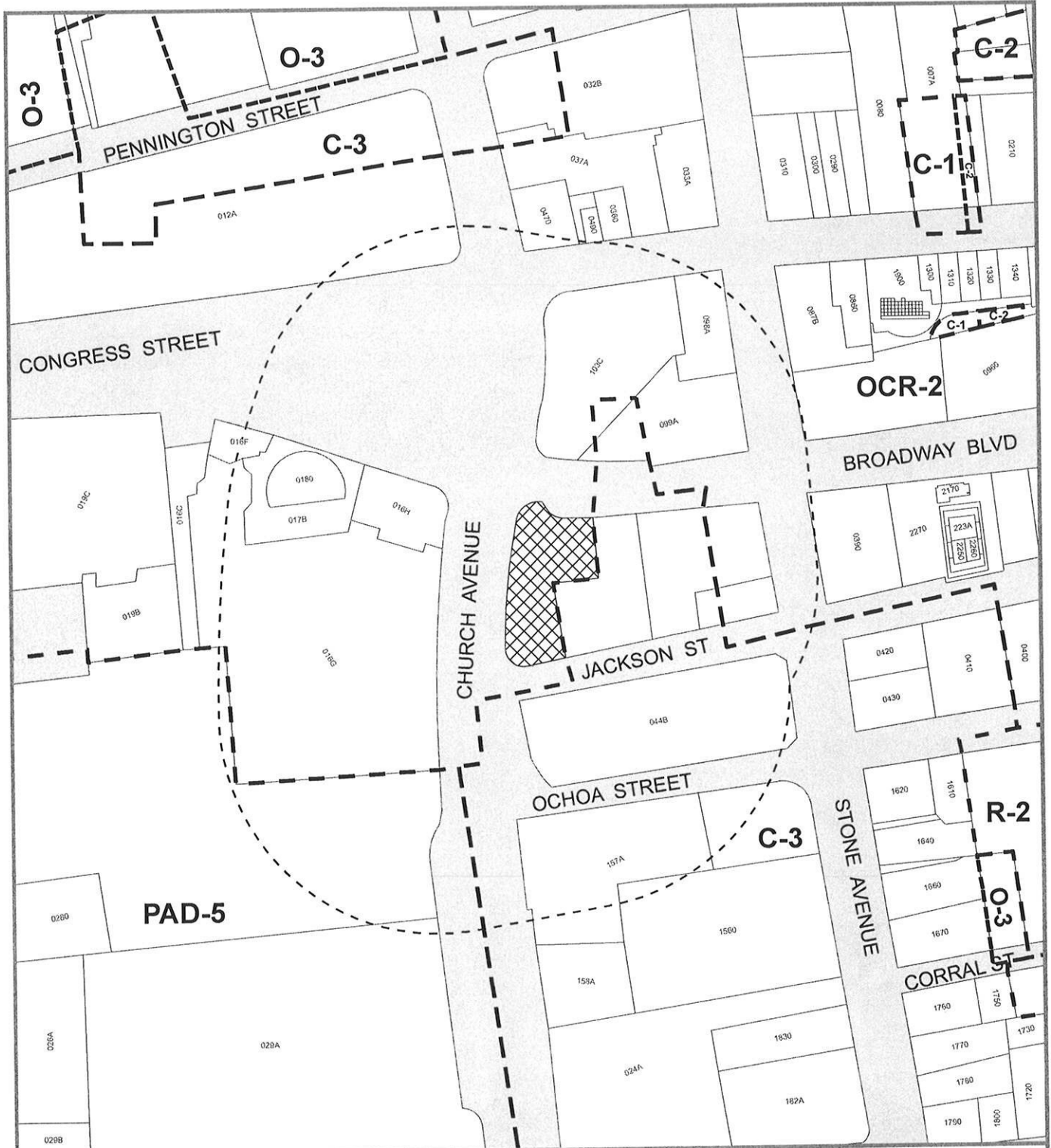
M & P 42/10




TUCSON CONVENTION CENTER
BLOCKS A, B, C, D, H & I

NOW

BLOCK 510

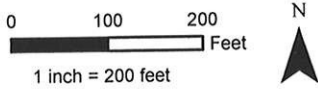
BLOCK 221
CITY OF TUCSON



-  Site
-  300' Notification Area
-  Zone Boundaries



Address: 111 S. Church Avenue
 Base Maps: Sec.13 T.14 R.13
 Ward: 6



11720012A
PIMA COUNTY

00000

11712098A
HUB PROPERTIES TR
1 S CHURCH AVE STE 1150
TUCSON AZ 85701

11720017B
CITY OF TUCSON

00000

11720015A
CATHOLIC FOUNDATION FOR THE DIOCESE
OF TUCSON
111 S CHURCH AVE
TUCSON AZ 85701

11713027A
COPE PROPERTIES LLC
82 S STONE AVE
TUCSON AZ 85701

117131560
SAINT AUGUSTINE CATHEDRAL ROMAN
CATHOLIC PARISH-TUCSON
PO BOX 31
TUCSON AZ 85702

117120470
BC LIMITED LLC
ATTN: SWAIN R CHAPMAN
33 W CONGRESS ST STE 205
TUCSON AZ 85701

11712087C
CITY OF TUCSON REAL ESTATE DIVISION
ATTN: PROPERTY MANAGEMENT
PO BOX 27210
TUCSON AZ 85726

11720016H
METROPOLITAN TUCSON CONVENTION &
VISITORS BUREAU
100 S CHURCH AVE
TUCSON AZ 85701

11713029A
7740 ORACLE & ELCARO XTRA & VISTOSO
ATTN: ROB CAYLOR
6422 E SPEEDWAY BLVD STE 130
TUCSON AZ 85710

11713044B
LA PLACITA INVESTORS LP
ATTN: BP LA PLACITA VILLAGE INVESTORS
3915 E BROADWAY BLVD STE 400
TUCSON AZ 85711

11720029A
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT
ATTN: PROPERTY MANAGEMENT
PO BOX 27210
TUCSON AZ 85726

117120490
BC LIMITED LLC
ATTN: SWAIN B CHAPMAN
33 W CONGRESS ST
TUCSON AZ 85701

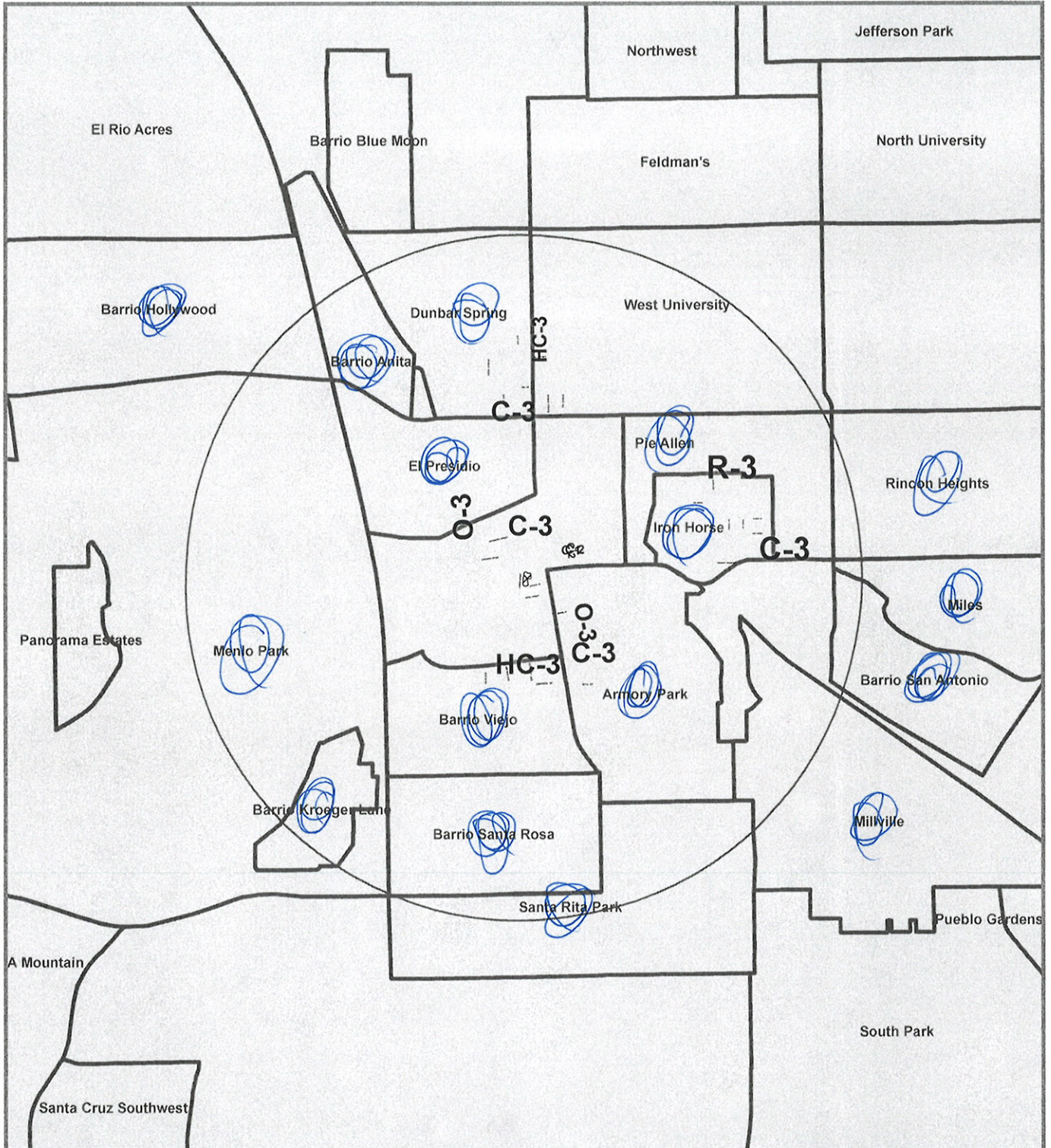
11720016F
HSL LA PLACITA LLC
ATTN: OMAR MIRELES
3901 E BROADWAY BLVD
TUCSON AZ 85711

117130390
CURRY MELINDA ELIZABETH 1/2 ET AL
ATTN: SUSAN C ONG-WESTERNER OFFICE BLDG
10 E BROADWAY BLVD STE 400
TUCSON AZ 85701

117130320
ARIZONA PIONEERS HISTORICAL SOCIETY
949 E 2ND ST
TUCSON AZ 85719

117131590
SAINT AUGUSTINE CATHEDRAL
ATTN: REAL PROPERTY DEPT
PO BOX 31
TUCSON AZ 85702

T15PRE0089 created 10/26/2015
Expires 12/26/2015



Address: 111 S. Church Avenue
 Base Maps: Sec.13 T.14 R.13
 Ward: 6



Site



0200
 Feet

1 inch = 2,333.25 feet



Jonathan Rothschild
Mayor
255 W. Alameda ST
Tucson, AZ 85701

David Bachman-Williams
N.A.-Armory Park
350 E. 15th St.
Tucson, AZ 85701

Nathan Wade
N.A.-Armory Park
514 S. 6th Ave
Tucson, AZ 85701

Feliciano Leon
N.A.-Barrio Anita
772 N. Anita Ave
Tucson, AZ 85705

Gracie N. Soto
N.A.-Barrio Anita
809 N. Anita Ave.
Tucson, AZ 85705

Tina Gonzales
N.A.-Barrio Anita
855 N. Contzen
Tucson, AZ 85705

Kacey Carleton
N.A.-Barrio Hollywood
701 N Seminole Ave
Tucson, AZ 85745

Warren McElyea
N.A.-Barrio Hollywood
905 N Grande Ave
Tucson, AZ 85745

Margaret McKenna
N.A.-Barrio Hollywood
1212 W Ontario St.
Tucson, AZ 85745

David Madril Sr.
N.A.-Barrio Kroeger Lane
945 W. Ochoa Ln
Tucson, AZ 85745

Josefina Cardenas (Chair)
N.A.-Barrio Kroeger Lane
902 W. 21st St.
Tucson, AZ 85745

Margaret Ward
N.A.-Barrio Kroeger Lane
870 W 19th St
Tucson, AZ 85745

Ted Warmbrand
N.A.-Barrio San Antonio
402 S Star Ave
Tucson, AZ 85719

Mike Mason
N.A.-Barrio San Antonio
Tucson, AZ 85719

Ana Acuna
N.A.-Barrio San Antonio
Tucson, AZ 85719

Nicole Gonzales
N.A.-Barrio Santa Rosa
323 W. 19th Street
Tucson, AZ 85701

Art Munoz
N.A.-Barrio Santa Rosa
Tucson, AZ

Yolanda Gonzales
N.A.-Barrio Santa Rosa
826 S. Rubio
Tucson, AZ 85701

Pedro M Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

Letitia A Gonzales
N.A.-Barrio Viejo
423 S Elias
Tucson, AZ 85701

Sky Jacobs
N.A.-Dunbar Spring
P.O. Box 508
Tucson, AZ 85702

Karen Greene
N.A.-Dunbar Spring
Tucson, AZ

Mike Rebro (Co-Pres)
N.A.-El Presidio
426 N Court
Tucson, AZ 85701

Thaddeus Pace (Co-Pres)
N.A.-El Presidio
425 N Main Ave
Tucson, AZ 85701

Mary Jo Curtin
N.A.-El Presidio
233 N Main Ave
Tucson, AZ 85701

John Daniel Twelker
N.A.-Iron Horse
229 N 1st Ave
Tucson, AZ 85719

Mary Lynn Miners
N.A.-Iron Horse
528 E. 8th St.
Tucson, AZ 85705

Jeff DiGregorio
N.A.-Iron Horse
-
Tucson, AZ -

Gene Einfrank
N.A.-Menlo Park
212 S. Avenida del Sembrador
Tucson, AZ 85745

Suzanne Cervantes Sheard
N.A.-Menlo Park
184 S Avenida del Sembrador
Tucson, AZ 85745

David Walker
N.A.-Menlo Park
123 N Melrose Ave
Tucson, AZ 85745

Andrew Hayes
N.A.-Miles
Tucson, AZ

Peter Norback
N.A.-Miles
1428 E Miles
Tucson, AZ 85719

Roger Becksted
N.A.-Millville
1070 E 20th St
Tucson, AZ 85719

Brett DuMont
N.A.-Millville
1015 S Park Ave
Tucson, AZ 85719

George Kalil
N.A.-Millville
931 S Highland
Tucson, AZ 85719

Pat Homan
N.A.-Pie Allen
850 E. 7th St
Tucson, AZ 85719

Nancy Robins
N.A.-Pie Allen
801 E 7th St
Tucson, AZ 85719

Evren Sonmez
N.A.-Rincon Heights
1735 E 8th St
Tucson, AZ 85719

Mark S. Homan
N.A.-Rincon Heights
1619 E 8th St
Tucson, AZ 85719

Timothy A. Olcott
N.A.-Rincon Heights
1141 E. 9th St.
Tucson, AZ 85719

Brian Flagg
N.A.-Santa Rita Park-West Ochoa
352 E 25th St
Tucson, AZ 85713

Ernie Lujan
N.A.-Santa Rita Park-West Ochoa
1445 S 4th Ave
Tucson, AZ 85713

Regina Romero
Ward 1
940 W. Alameda St
Tucson, AZ 85745

Richard Fimbres
Ward 5
4300 S. Park Av
Tucson, AZ 85714

Steve Kozachik
Ward 6
3202 E. 1st St
Tucson, AZ 85716

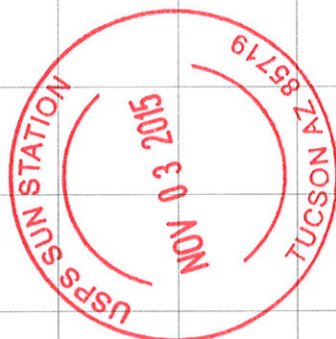
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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5766	BC Limited LLC Attn: Swain R Chapman 33 W. Congress St, Ste. 205 Tucson, AZ 85701											
2. 7015 1520 0003 2361 5773	HSL La Placita LLC Attn: Omar Mireles 3901 E. Broadway Blvd Tucson, AZ 85711											
3. 7015 1520 0003 2361 5780	Curry Melinda Elizabeth 1/2 Et Al Attn: Susan C Ong-Westerner Office Bldg 0 E. Broadway Blvd, Ste. 400 Tucson, AZ 85701											
4. 7015 1520 0003 2361 5777	Arizona Pioneers Historical Society 949 E. 2 nd St. Tucson, AZ 85719											
5. 7015 1520 0003 2361 5803	Saint Augustine Cathedral Attn: Real Property Dept. PO Box 31 Tucson, AZ 85702											
6. 7015 1520 0003 2361 5810	Jonathan Rothschild Mayor 255 W. Alameda St. Tucson, AZ 85701											
7. 7015 1520 0003 2361 5827	Feliciano Leon N.A. - Barrio Anita 772 N. Anita Ave Tucson, AZ 85705											
8. 7015 1520 0003 2361 5834	Kacey Carleton N.A. - Barrio Hollywood 701 N. Seminole Ave Tucson, AZ 85745											



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Postmaster, Per (Name of receiving employee)

[Signature]

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Adult Signature Restricted Delivery \$

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Total Postage and Fees \$

Sent To BC Limited TUCSON AZ 85719

Street and Apt. No., or PO Attn: Swain R Chapman

33 W. Congress St, Ste. 205

Tucson, AZ 85701

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To HSL La Plecta LLC TUCSON AZ 85719

Street and Apt. No., or PO Attn: Omar Mireles

3901 E. Broadway Blvd

Tucson, AZ 85711

City, State, ZIP+4®

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Curry Melinda Elizabeth 1/2 Et Al TUCSON AZ 85719

Street and Apt. No., or PO Attn: Susan C Ong-Westerner Office Bldg

10 E. Broadway Blvd, Ste. 400

Tucson, AZ 85701

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Postage \$

Total Postage and Fees \$

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Street and Apt. No., or PO Attn: 949 E. 2nd St.

Tucson, AZ 85719

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Saint Augustin TUCSON AZ 85702

Street and Apt. No., or PO Box Attn: Real Property Dept.

PO Box 31

Tucson, AZ 85702

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Jonathan Rothschild TUCSON AZ 85719

Street and Apt. No., or PO Attn: Mayor

255 W. Alameda St.

Tucson, AZ 85701

City, State, ZIP+4®

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____

Karey Sarleton

N.A. - Barrio Hollywood

701 N. Seminole Ave

Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7125 1520 2912 3921 4000 0257 5102

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____

Feliciano Leon

N.A. - Barrio Anita

772 N. Anita Ave

Tucson, AZ 85705

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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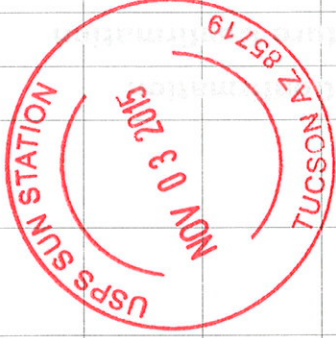
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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5841	David Madrid Sr. N.A. - Barrio Kroeger Lane 945 W. Ochoa Ln. Tucson, AZ 85745										
2. 7015 1520 0003 2361 5858	Ted Warmbrand N.A. - Barrio San Antonio 402 S. Star Ave Tucson, AZ 85719										
3. 7015 1520 0003 2361 5865	HUB Properties TR 1 S. Church Ave., Ste. 1150 Tucson, AZ 85701										
4. 7015 1520 0003 2361 5872	Metropolitan Tucson Convention & Visitors Bureau 100 S. Church Ave. Tucson, AZ 85701										
5. 7015 1520 0003 2361 5889	Catholic Foundation for the Diocese of Tucson 111 S. Church Ave Tucson, AZ 85701										
6. 7015 1520 0003 2361 5896	COPE Properties LLC 82 S. Stone Ave Tucson, AZ 85701										
7. 7015 1520 0003 2361 5902	Saint Augustine Cathedral Attn: Real Property Dept. PO Box 31 Tucson, AZ 85702										
8. 7015 1520 0003 2361 5919	David Bachman-Willimas N.A. - Armory Park 350 E. 15 th St. Tucson, AZ 85701										



Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)
		<i>[Signature]</i>

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Certified Mail Fee \$ _____

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Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____

Street and Apt. No., or PO Box _____

City, State, ZIP+4® _____

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0003 2361 5879

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

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Street and Apt. No., or PO Box _____

City, State, ZIP+4® _____

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Return Receipt (electronic) \$ _____

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

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Street and Apt. No., or PO Box _____

City, State, ZIP+4® _____

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____

Street and Apt. No., or PO Box _____

City, State, ZIP+4® _____

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____

Street and Apt. No., or PO Box _____

City, State, ZIP+4® _____

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To _____

Street and Apt. No., or PO Box _____

City, State, ZIP+4® _____

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

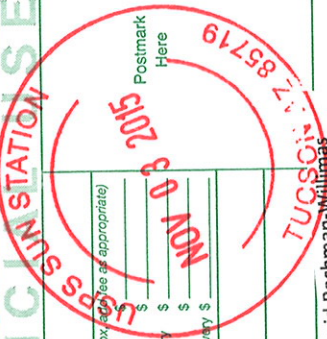
Sent To David Bachman-Williams

Street and Apt. No., or P.O. Box N.A. - Armory Park
350 E. 15th St.

City, State, ZIP+4® Tucson, AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7025 1520 000 0257 5702



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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

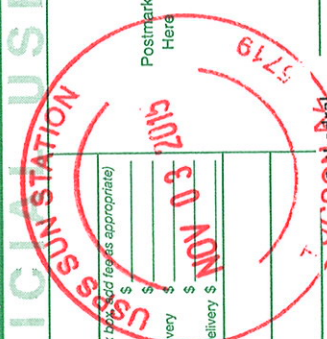
Sent To Saint Augustine Cathedral

Street and Apt. No., or P.O. Box Attn: Real Property Dept.
PO Box 31

City, State, ZIP+4® Tucson, AZ 85702

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7025 1520 000 0257 5702



Name and Address of Sender

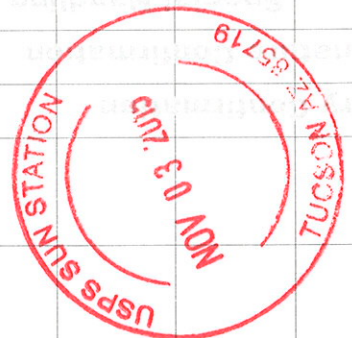
Check type of mail or service:

Certified
 COD
 Delivery Confirmation
 Express Mail
 Insured

Recorded Delivery (International)
 Registered
 Return Receipt for Merchandise
 Signature Confirmation

Affix Stamp Here
 (if issued as a certificate of mailing, or for additional copies of this bill)
 Postmark and Date of Receipt

Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5926	Gracie N. Soto N.A. - Barrio Anita 809 N. Anita Ave Tucson, AZ 85705										
2. 7015 1520 0003 2361 5933	Warren McElyea N.A. Barrio Hollywood 905 N. Grande Ave Tucson, AZ 85745										
3. 7015 1520 0003 2361 5940	Josefina Cardenas (Chair) N.A. - Barrio Kroeger Lane 902 W. 21 st St. Tucson, AZ 85745										
4. 7015 1520 0003 2361 5957	Nicole Gonzales N.A. - Barrio Santa Rosa 323 W. 19 th St Tucson, AZ 85701										
5. 7015 1520 0003 2361 5964	City of Tucson Real Estate Division Attn: Property Management PO Box 27210 Tucson, AZ 85726										
6. 7015 1520 0003 2361 5971	BC Limited LLC 33 W. Congress St. Tucson, AZ 85701										
7. 7015 1520 0003 2361 5988	7740 Oracle & El Caro Xtra & Vistoso Attn: Rob Caylor 6422 E. Speedway Blvd., Ste. 130 Tucson, AZ 85710										
8. 7015 1520 0003 2361 5995	La Placita Investors LP Attn: BP La Placita Village Investors 3915 E. Broadway Blvd, Ste. 400 Tucson, AZ 85711										



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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$

Total Postage and Fees \$

Sent To
Gracie N. Scott
N.A. - Barrio Anita
809 N. Anita Ave
Tucson, AZ 85705

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2015 1520 0003 2361 7965

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$

Total Postage and Fees \$

Sent To
Warren McHenry
N.A. Barrio Hollywood
905 N. Grande Ave
Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$

Total Postage and Fees \$

Sent To
Josefina Cardenas (Chair)
N.A. Barrio Kroeger Laqz
902 W. 21st St
Tucson, AZ 85745

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$

Total Postage and Fees \$

Sent To
Nicole Gonzales
N.A. - Barrio Santa Rosa
323 W. 19th St
Tucson, AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2015 1520 0003 2361 7965

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$

Total Postage and Fees \$

Sent To
City of Tucson - Real Estate Division
Attn: Property Management
PO Box 27210
Tucson, AZ 85726

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Certified Mail Fee \$

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$

Total Postage and Fees \$

Sent To
BC Limited LLC
33 W. Congress St
Tucson, AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2015 1520 0003 2361 7965

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To La Placita Investors LP

Street and Apt. # Attn: BP La Placita Village Investors
3915 E. Broadway Blvd., Ste. 400

City, State, Zip+4 Tucson, AZ 85711

Postmark Here **NOV 03 2015 TUCSON AZ 85719**

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7015 1520 0000 0257 5102

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To 7740 Oracle & El Carrizo Xtra & Misto

Street and Apt. # Attn: Rob Caylor
6422 E. Speedway Blvd., Ste. 130

City, State, Zip+4 Tucson, AZ 85710

Postmark Here **NOV 03 2015 TUCSON AZ 85719**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

8865 1962 0000 0257 5102

Name and Address of Sender

Check type of mail or service:

Certified Recorded Delivery (International)

COD Registered

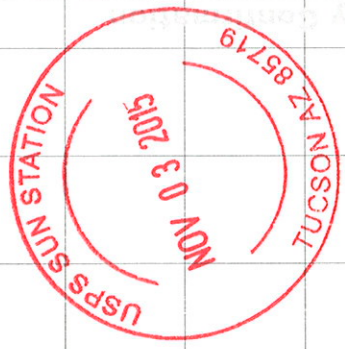
Delivery Confirmation Return Receipt for Merchandise

Express Mail Signature Confirmation

Insured

Affix Stamp Here
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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 6008	Rio Nuevo Multipurpose Facilities District Attn: Property Management PO Box 27210 Tucson, AZ 85726										
2. 7015 1520 0003 2361 6015	Nathan Wade N.A. - Armory Park 514 S. 6 th Ave Tucson, AZ 85701										
3. 7015 1520 0003 2361 6022	Tina Gonzales N.A. - Barrio Anita 855 N. Contzen Tucson, AZ 85705										
4. 7015 1520 0003 2361 6039	Margaret McKenna N.A. - Barrio Hollywood 1212 W. Ontario St. Tucson, AZ 85745										
5. 7015 1520 0003 2361 6046	Margaret Ward N.A. - Barrio Kroeger Lane 870 W. 19 th St. Tucson, AZ 85745										
6. 7015 1520 0003 2361 6053	Yolanda Gonzales N.A. - Barrio Santa Road 826 S. Rubio Tucson, AZ 85701										
7. 7015 1520 0003 2361 6060	Pedro M Gonzales N.A. - Barrio Viejo 423 S. Elias Tucson, AZ 85701										
8. 7015 1520 0003 2361 6077	Mike Rebro (Co-Pres) N.A. - El Presidio 426 N. Court Tucson, AZ 85701										



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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To \$

Rio Nuevo Multipurpose Facilities District
Attn: Property Management
PO Box 27210
Tucson, AZ 85726

City, State, ZIP+4® Tucson, AZ 85719

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Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To \$

Nathan Wade
N.A. Armory Park
514 S. 6th Avenue
Tucson, AZ 85701

City, State, ZIP+4® Tucson, AZ 85719

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To \$

Margaret McKenna
N.A. - Barrio Hollywood
1212 W. Ontario St.
Tucson, AZ 85745

City, State, ZIP+4® Tucson, AZ 85719

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To \$

Margaret Ward
N.A. - Barrio Kroeger Lane
870 W. 19th St.
Tucson, AZ 85745

City, State, ZIP+4® Tucson, AZ 85719

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To \$

Yolanda Gonzales
N.A. - Barrio San Carlos Road
826 S. Rubio
Tucson, AZ 85701

City, State, ZIP+4® Tucson, AZ 85719

Postmark Here NOV 03 2015

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To \$

Tina Gonzales
N.A. - Barrio Anita
855 N. Contzen
Tucson, AZ 85705

City, State, ZIP+4® Tucson, AZ 85719

Postmark Here NOV 03 2015

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2209 1962 E000 025T 5T0Z

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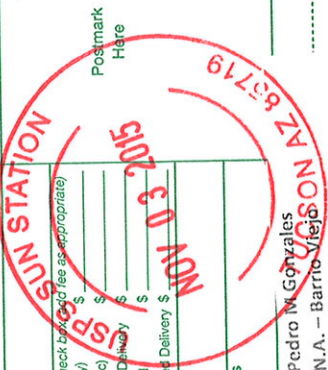
For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$	
Extra Services & Fees (check box and fee as appropriate)	\$	
<input type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Pedro M. Gonzales	
Street and Apt. No., or	N.A. - Barron Velez	
City, State, Zip+4®	423 S. Elias Tucson, AZ 85701	

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0257 5102
 2015 1520 0000 3961 5040



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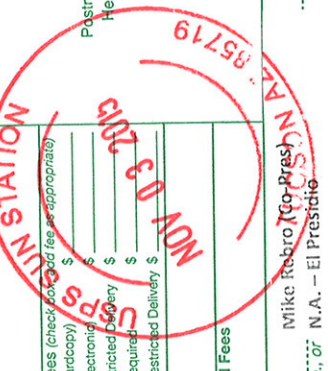
For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee	\$	
Extra Services & Fees (check box and fee as appropriate)	\$	
<input type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
Total Postage and Fees	\$	
Sent To	Mike Rebro (Co-President)	
Street and Apt. No., or	N.A. - El Prestado	
City, State, Zip+4®	426 N. Court Tucson, AZ 85701	

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0257 5102
 2015 1520 0000 3961 6272



Name and Address of Sender

Article Number

7015 1520 0003 2361 6084

7015 1520 0003 2361 6091

7015 1520 0003 2361 6107

7015 1520 0003 2361 6114

7015 1520 0003 2361 6121

7015 1520 0003 2361 6138

7015 1520 0003 2361 6145

7015 1520 0003 2361 6152

Check type of mail or service:

Certified

COD

Delivery Confirmation

Express Mail

Insured

Recorded Delivery (International)

Registered

Return Receipt for Merchandise

Signature Confirmation

Postage

Address (Name, Street, City, State, & ZIP Code)

John Daniel Twelker
N.A. - Iron Horse
229 N. 1st Ave
Tucson, AZ 85719

Suzanne Cervantes Sheard
N.A. - Menlo Park
184 S. Avenida del Sembrador
Tucson, AZ 85745

Roger Becksted
N.A. - Millville
1070 E. 20th St
Tucson, AZ 85719

Pat Homan
N.A. - Pic Allen
850 E. 7th St
Tucson, AZ 85719

Mark S. Homan
N.A. - Rincon Heights
1619 E. 8th St
Tucson, AZ 85719

Ernie Lujan
N.A. - Santa Rita Park-West Ochoa
1445 S. 4th Ave
Tucson, AZ 85713

Steve Kozachik
Ward 6
3202 E. 1st St.
Tucson, AZ 85716

Letitia A Gonzales
N.A. - Barrio Viejo
423 S. Elias
Tucson, AZ 85701

Actual Value if Registered

Insured Value

Due Sender if COD

DC Fee

SC Fee

SH Fee

RD Fee

RR Fee

Handling Charge

Fee

Postmark and Date of Receipt

Actual Value if Registered

Insured Value

Due Sender if COD

DC Fee

SC Fee

SH Fee

RD Fee

RR Fee

Actual Value if Registered

Insured Value

Due Sender if COD

DC Fee

SC Fee

SH Fee

RD Fee

RR Fee

Actual Value if Registered

Insured Value

Due Sender if COD

DC Fee

SC Fee

SH Fee

RD Fee

RR Fee

Actual Value if Registered

Insured Value

Due Sender if COD

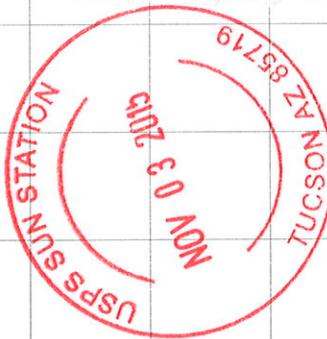
DC Fee

SC Fee

SH Fee

RD Fee

RR Fee



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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To John Daniel Twalker
Street and Apt. No., or N.A. — Iron Horse
229 N. 1st Ave
City, State, Zip+4® Tucson, AZ 85719

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4809 7962 E000 025T 5T02

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 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To Suzanne Cervantes Sheard
Street and Apt. No., or N.A. — Menlo Park
184 S. Avenida del Sembrador
City, State, Zip+4® Tucson, AZ 85745

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7609 7962 E000 025T 5T02

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To Roger Becksted
Street and Apt. No., or N.A. — Millville
1070 E. 20th St
City, State, Zip+4® Tucson, AZ 85719

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2019 7962 E000 025T 5T02

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To Pat Homan
Street and Apt. No., or N.A. — Pie Allen
850 E. 7th St
City, State, Zip+4® Tucson, AZ 85719

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

4179 7962 E000 025T 5T02

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To Mark S. Homan
Street and Apt. No., or N.A. — Rincon Heights
1619 E. 8th St
City, State, Zip+4® Tucson, AZ 85719

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

8219 7962 E000 025T 5T02

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To Ernie Nijah TUCSON West Ochoa
Street and Apt. No., or P N.A. — Santa Rita Park
1445 S. 4th Ave
City, State, Zip+4® Tucson, AZ 85713

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2019 7962 E000 025T 5T02

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Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Steve Kozachik

Ward 6

Street and Apt. No., or P.O. # 3202 E. 1st St.

City, State, Zip Tucson, AZ 85716

Postmark Here **NOV 03 2015 TUCSON AZ 85719**

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7025 1520 0000 3921 4545

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Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Letitia A Gonzalez

N.A. - Barrio Viejo

Street and Apt. No., or P.O. # 423 S. Elias

City, State, Zip Tucson, AZ 85701

Postmark Here **NOV 03 2015 TUCSON AZ 85719**

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7025 1520 0000 3921 4545

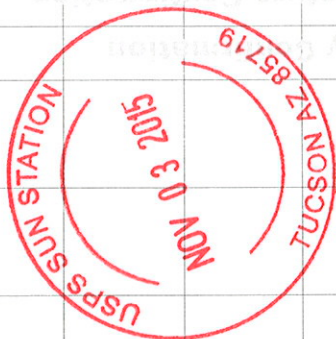
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- Signature Confirmation

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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 6169	Thaddeus Pace (Co-Pres) N.A. - El Presidio 425 N. Main Ave Tucson, AZ 85701										
2. 7015 1520 0003 2361 6176	Mary Lynn Miners N.A. - Iron Horse 528 E. 8 th St. Tucson, AZ 85705										
3. 7015 1520 0003 2361 6183	David Walker N.A. - Menlo Park 123 N. Melrose Ave. Tucson, AZ 85745										
4. 7015 1520 0003 2361 6190	Brett DuMont N.A. - Millville 1015 S. Park Ave Tucson, AZ 85719										
5. 7015 1520 0003 2361 6206	Nancy Robins N.A. - Pie Allen 801 E. 7 th St Tucson, AZ 85719										
6. 7015 1520 0003 2361 6213	Timothy Olcott N.A. - Rincon Heights 1141 E. 9 th St. Tucson, AZ 85719										
7. 7015 1520 0003 2361 6220	Regina Romero Ward 1 940 W. Alameda St Tucson, AZ 85745										
8. 7015 1520 0003 2361 6237	Sky Jacobs N.A. - Dunbar Spring PO Box 508 Tucson, AZ 85702										



Postmaster, Per (Name of receiving employee)

[Handwritten Signature]

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 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To
Thaddeus Pace (Co-Pres)
N.A. - El Prestidio
425 N. Main Ave
Tucson, AZ 85701
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6979 7962 E000 0257 5702

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 Certified Mail Restricted Delivery \$
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 Adult Signature Restricted Delivery \$
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Total Postage and Fees \$

Sent To
Mary Lynn Miners
N.A. - Iron Horse
528 E. 8th St.
Tucson, AZ 85705
City, State, Zip+4®

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9279 7962 E000 0257 5702

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 Certified Mail Restricted Delivery \$
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 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To
David Walker
TUCSON AZ 85719
N.A. - Menlo Park
123 N. Melrose Ave.
Tucson, AZ 85745
City, State, Zip+4®

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To
Brett DuMont
N.A. - Millville
1015 S. Park Ave
Tucson, AZ 85719
City, State, Zip+4®

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0679 7962 E000 0257 5702

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 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To
Nancy Robins
N.A. - Pie Alley
801 E. 7th St
Tucson, AZ 85719
City, State, Zip+4®

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9029 7962 E000 0257 5702

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 Return Receipt (hardcopy) \$
 Return Receipt (electronic) \$
 Certified Mail Restricted Delivery \$
 Adult Signature Required \$
 Adult Signature Restricted Delivery \$
Postage \$
Total Postage and Fees \$

Sent To
Timothy Olcott
N.A. - Rimco Heights
1141 E. 9th St.
Tucson, AZ 85719
City, State, Zip+4®

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6729 7962 E000 0257 5702

7015 1520 0251 5702
2029 1962 E000 0251 6237

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<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Sky Jacobs
N.A. - Dunbar Spring
Street and Apt. No., or PO Box 508
City, State, ZIP+4® Tucson, AZ 85702

Postmark Here
NOV 03 2013
USPS SUN STATION
TUCSON, AZ 85719

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0251 5702
2029 1962 E000 0251 6237

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<input type="checkbox"/> Return Receipt (hardcopy)	\$ _____
<input type="checkbox"/> Return Receipt (electronic)	\$ _____
<input type="checkbox"/> Certified Mail Restricted Delivery	\$ _____
<input type="checkbox"/> Adult Signature Required	\$ _____
<input type="checkbox"/> Adult Signature Restricted Delivery	\$ _____

Postage \$ _____

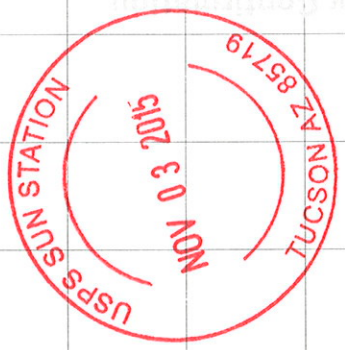
Total Postage and Fees \$ _____

Sent To Regina Brown
Ward 1
Street and Apt. No., or PO Box No. 940 W. Alameda St
City, State, ZIP+4® Tucson, AZ 85745

Postmark Here
NOV 03 2013
USPS SUN STATION
TUCSON, AZ 85719

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Name and Address of Sender	Article Number	Check type of mail or service: <input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Address (Name, Street, City, State, & ZIP Code)	Postage	Affix Stamp Here (if issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt		Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
					Handling Charge	Insured Value						
1. 7015 1520 0003 2361 6244		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Mary Jo Curtin N.A. - El Presidio 233 N. Main Ave Tucson, AZ 85701									
2. 7015 1520 0003 2361 6251		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Gene Einfrank N.A. - Menlo Park 212 S. Avenida del Sembrador Tucson, AZ 85745									
3. 7015 1520 0003 2361 6268		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Peter Norback N.A. - Miles 1428 E. Miles Tucson, AZ 85719									
4. 7015 1520 0003 2361 6275		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	George Kalil N.A. - Millville 931 S. Highland Tucson, AZ 85719									
5. 7015 1520 0003 2361 6282		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Evren Sonmez N.A. - Rincon Heights 1735 E. 8th St Tucson, AZ 85719									
6. 7015 1520 0003 2361 6299		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Brian Flagg N.A. - Santa Rita Park- West Ochoa 352 E. 25th St. Tucson, AZ 85713									
7. 7015 1520 0003 2361 6305		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured	Richard Fimbres Ward 5 4300 S. Park Ave Tucson, AZ 85714									
8.		<input type="checkbox"/> Certified <input type="checkbox"/> COD <input type="checkbox"/> Delivery Confirmation <input type="checkbox"/> Express Mail <input type="checkbox"/> Insured										



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		<i>[Signature]</i>
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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

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Sent To Mary Jo Curran

Street and Apt. No. N.A. - El Presidio

City, State, ZIP+4® Tucson, AZ 85701

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7015 1520 0003 2361 5429

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Gene Einfrank

Street and Apt. No. N.A. - Menlo Park

City, State, ZIP+4® Tucson, AZ 85745

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5102 2520 0003 2962 9229

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Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To George Kall

Street and Apt. No. N.A. - Millville

City, State, ZIP+4® 931 S. Highland Tucson, AZ 85719

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Evren Sonmez

Street and Apt. No. N.A. - Rincon Heights

City, State, ZIP+4® 1735 E. 8th St Tucson, AZ 85719

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Peter Norback

Street and Apt. No. N.A. - Miles

City, State, ZIP+4® 1428 E. Miles Tucson, AZ 85719

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5102 2520 0003 2962 9229

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Return Receipt (electronic) \$ _____

Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____

Sent To Brian Flagg

Street and Apt. No. N.A. - Santa Rita Park-West

City, State, ZIP+4® 352 E. 25th St Tucson, AZ 85713

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ _____

Return Receipt (electronic) \$ _____

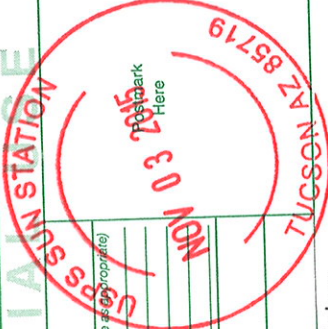
Certified Mail Restricted Delivery \$ _____

Adult Signature Required \$ _____

Adult Signature Restricted Delivery \$ _____

Postage \$ _____

Total Postage and Fees \$ _____



Sent To **Richard Fimbres**

Street and Apt. No., or **Ward 5**

4300 S. Park Ave

City, State, ZIP+4® **Tucson, AZ 85714**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 15200 0003 2612 4305



2 November 2015

RE: Use of the Downtown Area Infill Incentive District (IID) Overlay Zone – 111 S. Church Avenue & Marist College.

Dear Neighbor:

We will be holding a neighborhood meeting to discuss the requested use of the Downtown Area Infill Incentive District (IID) Overlay zone for the parcel located at 111 South Church Avenue and the Marist College - northwest corner of N Church Avenue & W Ochoa Street. The goal of the project is to develop approximately 83, 1 and 2 Bedroom units, available as senior housing, on both the site of the existing Roman Catholic Diocese Office Building and the Marist College. We would like to invite you to attend, hear our proposal, and ask any questions you may have regarding the potential project and/or the use of the IID at these locations. While the two components of the senior housing project will each have their own IID application, for everyone's convenience, and to better understand the relationship between the two components, both will be addressed together.

We will be holding the meeting at the **Roman Catholic Diocese Office Building** located at **111 South Church Avenue**, at the southeast corner of W Broadway Boulevard and N Church Avenue, in the **Conference meeting room**. The meeting will be held at **5:00 PM on Monday, November 16th**.

We encourage public participation, and in addition to questions presented in person at the meeting, you may also direct written comments to Matt Stuart at mstuart@cypresscivil.com prior to, or following the public hearing. If you have any questions about location or the scheduling of the neighborhood meeting, please feel free to contact Theresa Fanter at tfanter@cypresscivil.com or by phone at (520) 561-4983.

The purpose of this meeting will be to present the proposed development projects, explain the specific details and its use of the IID, and hear any constructive ideas that you may have relating to our proposal. Our goal is to be able to respond to your ideas as part of this overlay zone process in an effort to be a welcomed future neighbor. We look forward to meeting with you personally.

If you have any questions, please do not hesitate to contact. Additional contact information is contained directly below. Thank you for your time and consideration.

Sincerely,

Cypress Civil Development

Matt Stuart

Project Manager

(520) 561-4983

mstuart@cypresscivil.com

NOVEMBER 16, 2015
NEIGHBORHOOD MEETING

FOUNDATION FOR SENIOR LIVING
POSTER FROST MIRTO
CYPRESS CIVIL DEVELOPMENT

THE MARISTON CATHEDRAL SQUARE

FOUNDATION FOR SENIOR LIVING



Helping those you love live independently.

FOUNDATION FOR SENIOR LIVING — HIGHLAND SQUARE



FOUNDATION FOR SENIOR LIVING - FLAGSTAFF



FOUNDATION FOR SENIOR LIVING - FLAGSTAFF



FOUNDATION FOR SENIOR LIVING - YUMA



FOUNDATION FOR SENIOR LIVING - YUMA

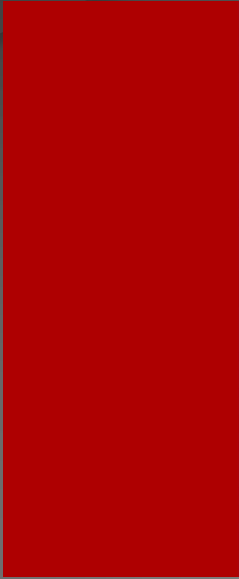


Yuma Senior Terraces
3159 DC KW

DEVELOPMENT TEAM



Helping those you love live independently.



POSTER
FOROST
MIRTO

CYPRESS
CIVIL DEVELOPMENT

PRESENTATION OUTLINE

- Introduction
 - Foundation for Senior Living
 - Development Team
- Project Overview
 - Location
 - Project Goals
 - Proposed Site Layout
 - Diocese Building
 - Marist College
- Infill Incentive District
 - IID & DCS
 - Marist – IID 15.10 Requested Modifications
- Diocese – IID 15.11 Requested Modifications
 - IID Design Package Process
- Site Renderings
 - Marist – IID 15.10
 - Diocese – IID 15.11
- Question & Answer

PROJECT OVERVIEW



You are here

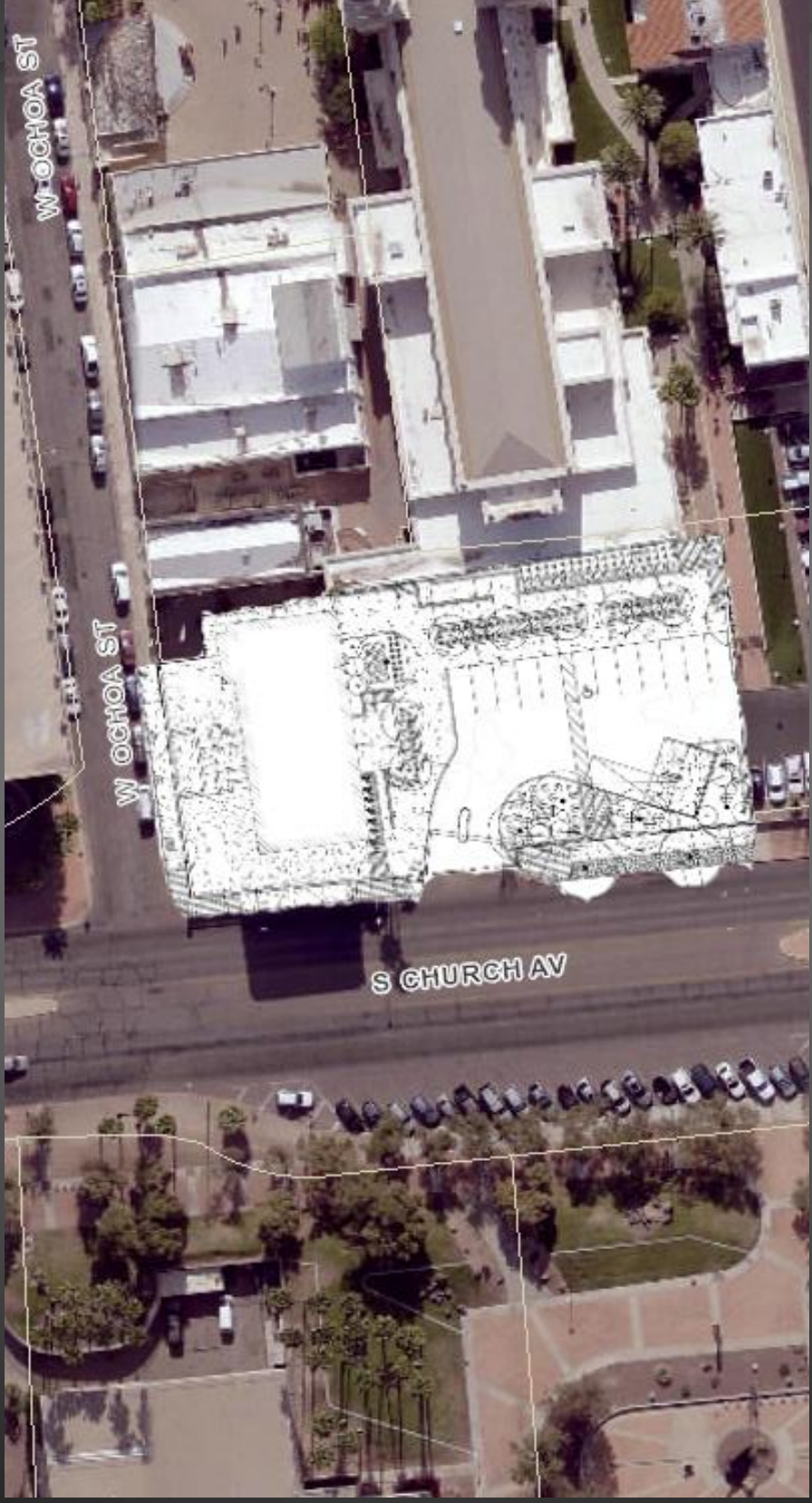
PROJECT OVERVIEW

- Goals:
 - Provide affordable senior living housing options within the Downtown Core;
 - Activate the southeast corner of Broadway & Church by adding additional residents, and;
 - Renovate and Rehabilitate the Marist College per State Historic Preservation standards.

PROJECT OVERVIEW – MID-RISE



PROJECT OVERVIEW – MARIST



INFILL INCENTIVE DISTRICT

- **INFILL INCENTIVE DISTRICT (IID)**
 - An optional overlay zone that allows certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.
- **DOWNTOWN CORE SUBDISTRICT (DCS)**
 - Development is intended to take advantage of the Modern Street Car project, and promote high-density infill transit-oriented development.
 - Development incentives for this zone include greater developable footprint and zero parking requirements.

INFILL INCENTIVE DISTRICT

- Allowable modifications:
 - Major Streets & Routes setbacks
 - Street perimeter yards
 - Maximum Lot Coverage
 - Minimum Lot Size
 - Bicycle & Vehicle parking
 - Off-street loading
 - Landscaping & Screening
 - Pedestrian Access
 - Solid waste collection

INFILL INCENTIVE DISTRICT

- Requested modifications (MARIST – IID 15.10):
 - Major Streets & Routes setbacks
 - Street perimeter yards
 - Maximum Lot Coverage
 - Minimum Lot Size
 - Bicycle & Vehicle parking
 - Off-street loading
 - Landscaping & Screening
 - Pedestrian Access
 - Solid waste collection
 - *Shade – less 50%

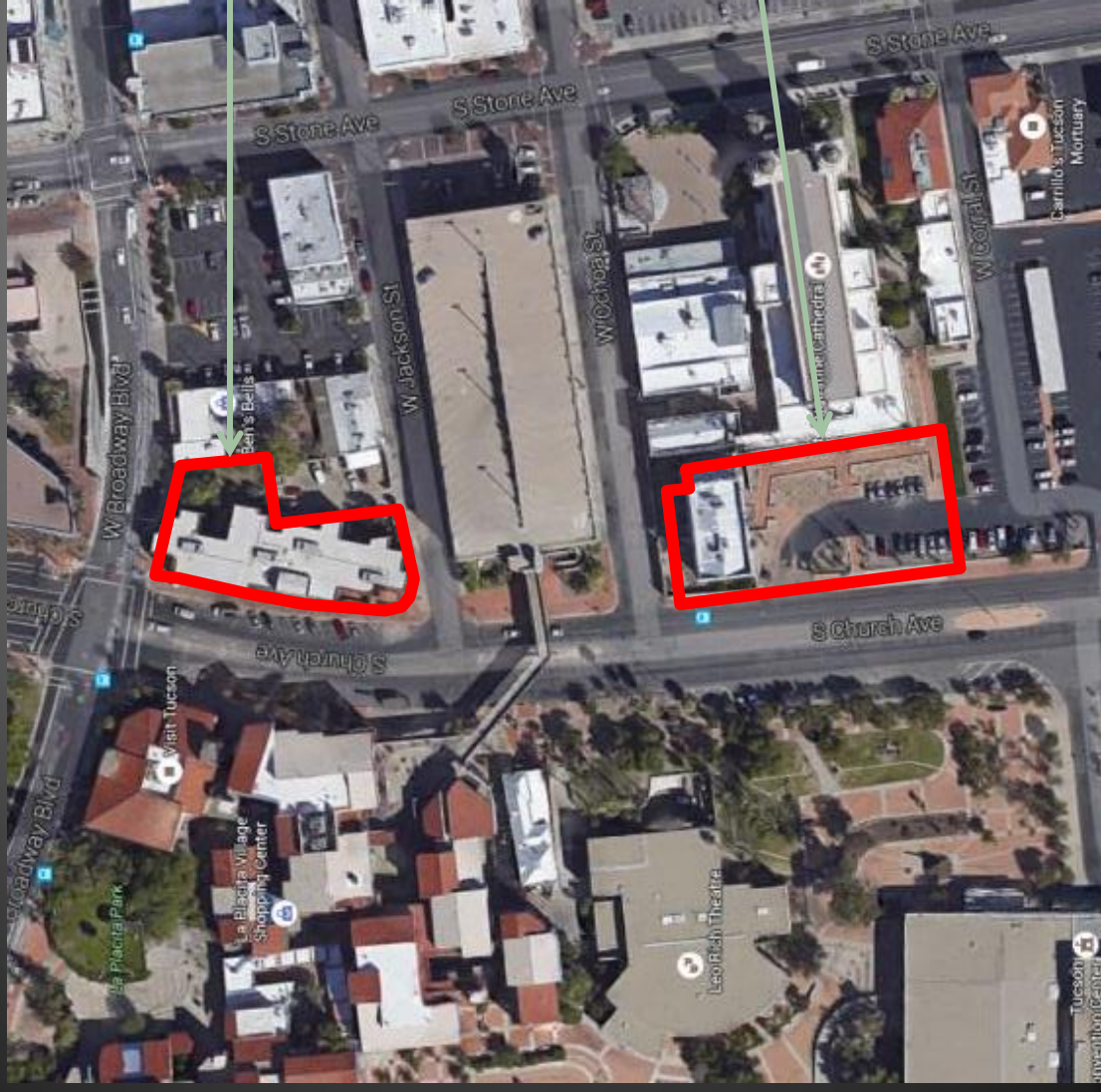
INFILL INCENTIVE DISTRICT

- Requested modifications (MID-RISE – IID 15.11):
 - Major Streets & Routes setbacks
 - Street perimeter yards
 - Maximum Lot Coverage
 - Minimum Lot Size
 - Bicycle & Vehicle parking
 - Off-street loading
 - Landscaping & Screening
 - Pedestrian Access
 - Solid waste collection
 - *Open/Plaza Space – less than 5%

INFILL INCENTIVE DISTRICT

- Process (Major Design Review)
 - Pre-application conference w/ City Staff and Design Professional
 - ★ Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile)
 - Summarize Neighborhood Meeting
 - Submit Design Package to City Staff
 - Tucson/Pima County Historical Commission Review & Recommendation
 - Meet & review Design Package with Design Professional
 - Design Review Committee Review & Recommendation
 - Planning & Development Services Director – Review findings and issues DECISION

DESIGN OVERVIEW

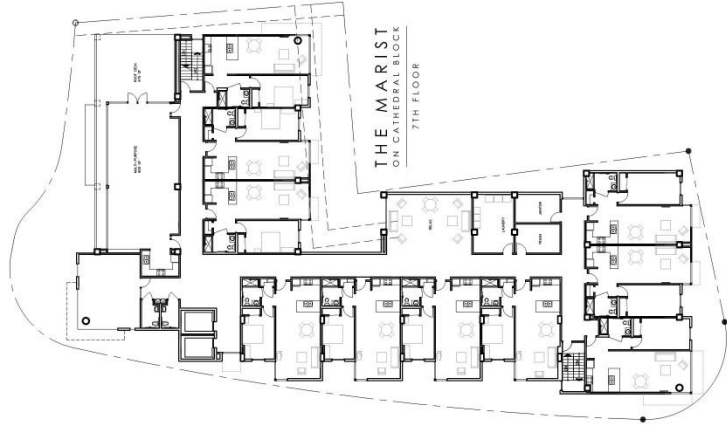
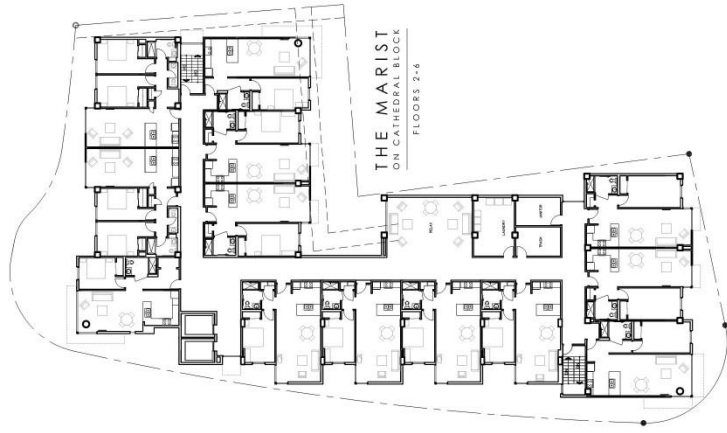
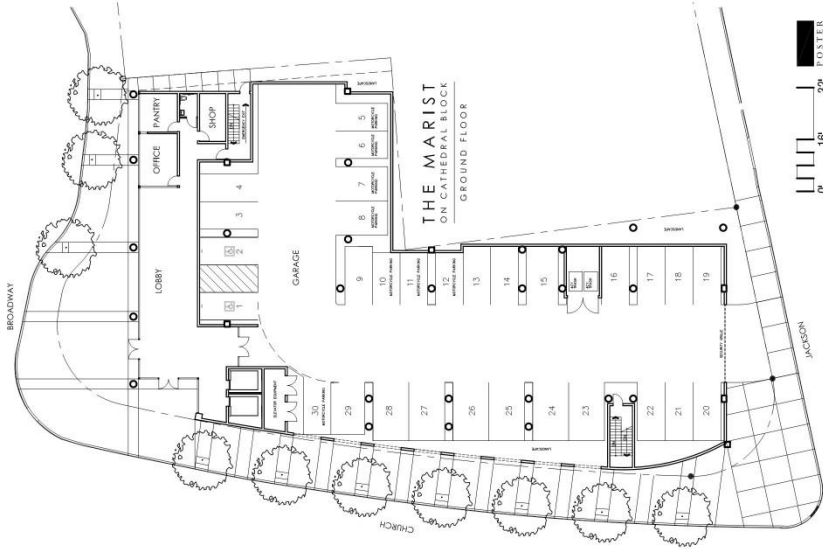


MID-RISE SITE

MARIST COLLEGE



MIDRISE (75 UNITS)



SITE AND FLOOR PLANS

MIDRISE (75 UNITS)



VIEW FROM BROADWAY AND CHURCH

MIDRISE (75 UNITS)

88'-0"



NORTH ELEVATION

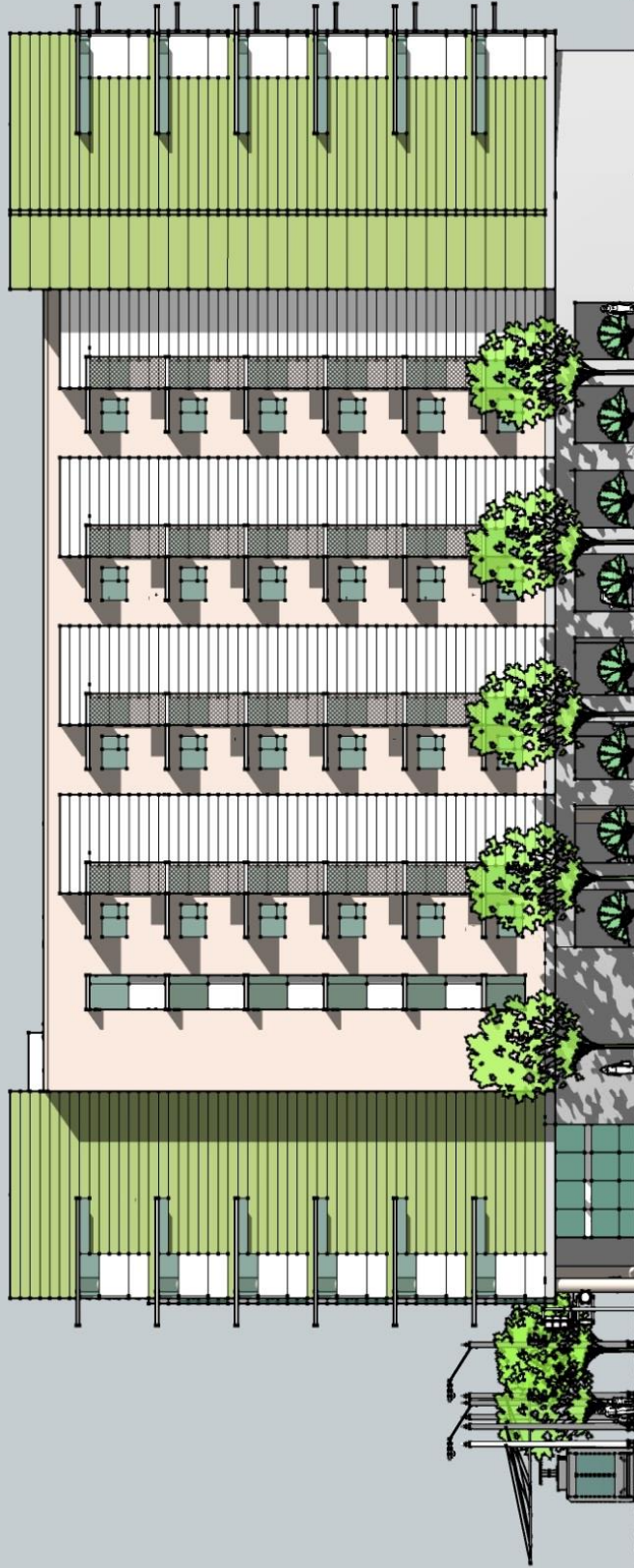
MIDRISE (75 UNITS)

88'-0"



SOUTH ELEVATION

MIDRISE (75 UNITS)



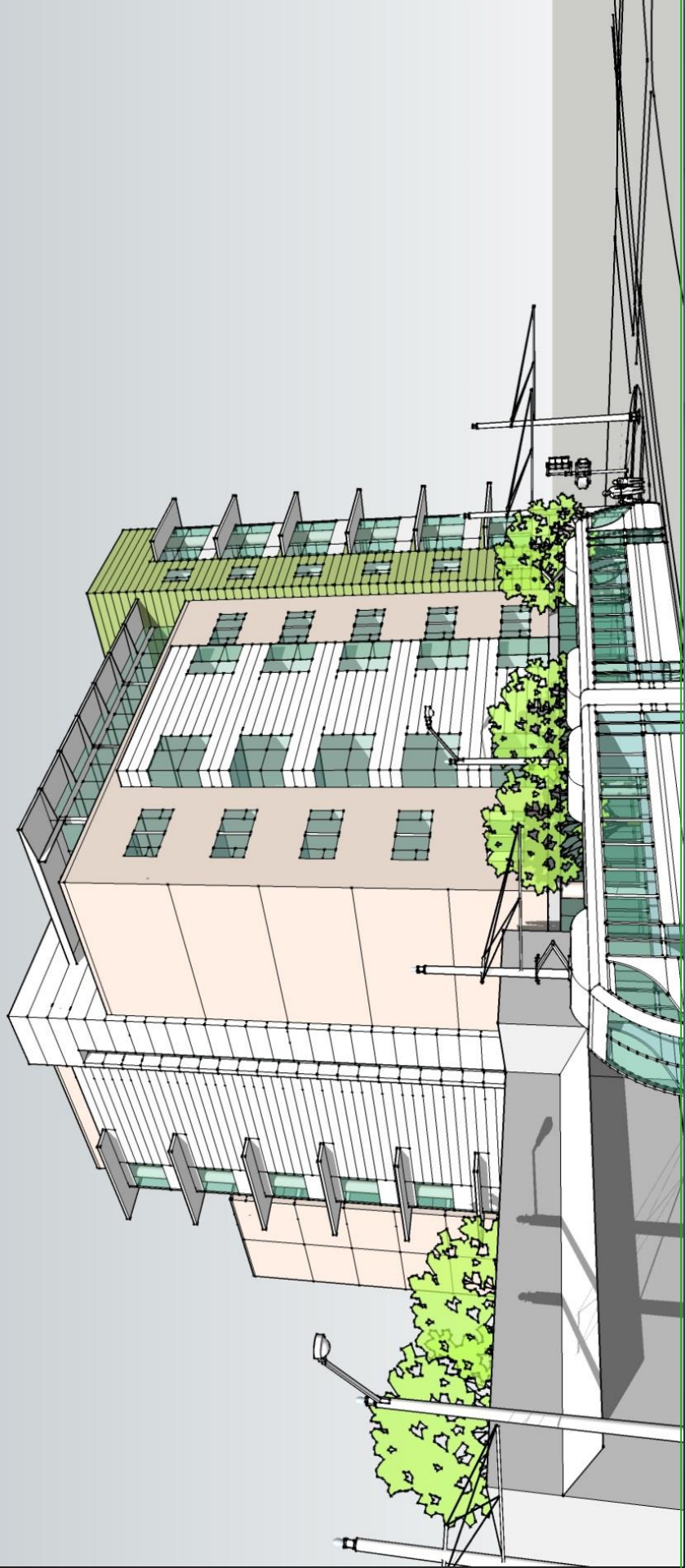
WEST ELEVATION

MIDRISE (75 UNITS)



EAST ELEVATION

MIDRISE (75 UNITS)



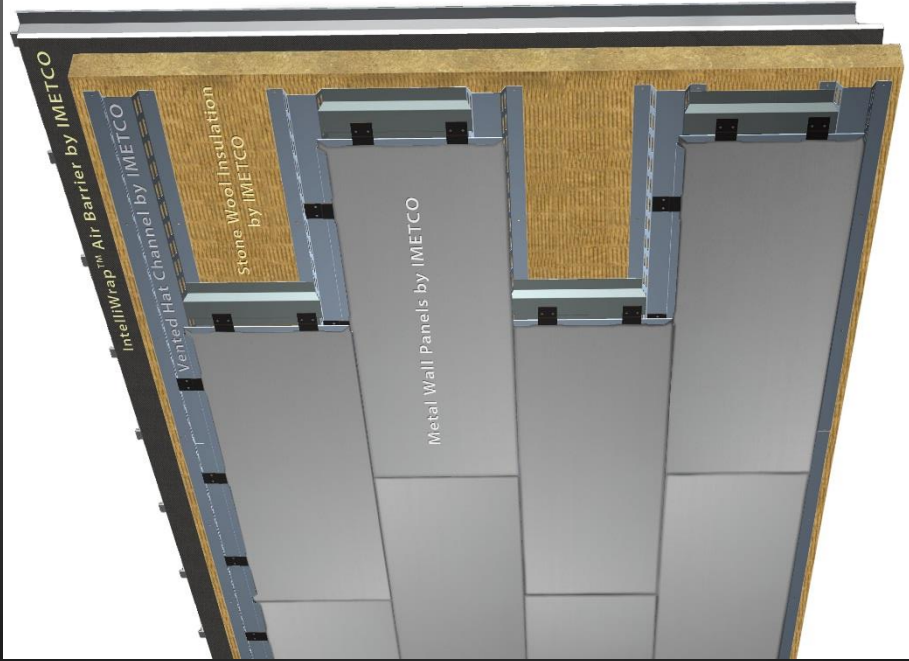
VIEW FROM BROADWAY LOOKING WEST

MIDRISE (75 UNITS)



STUCCO OR EIFS (FINE SAND FINISH)

MIDRISE (75 UNITS)



CONCEALED FASTENER METAL PANELS

MIDRISE (75 UNITS)



TUBE STEEL AND METAL DECK AWNINGS

MIDRISE (75 UNITS)



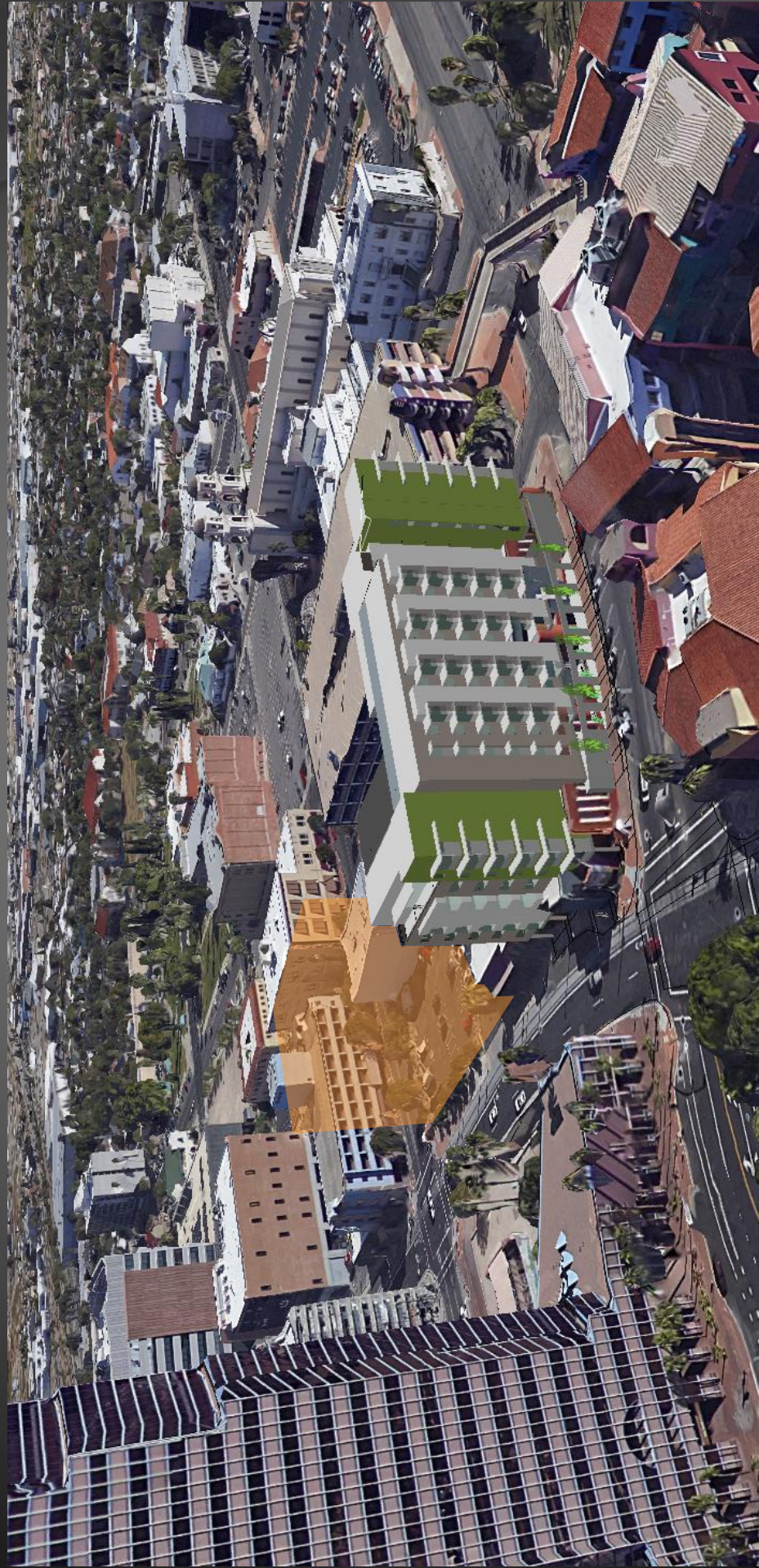
BOARD FORMED CONCRETE OR GROUND FACE CMU

MIDRISE (75 UNITS)



BIRD'S EYE VIEW

MIDRISE (75 UNITS)



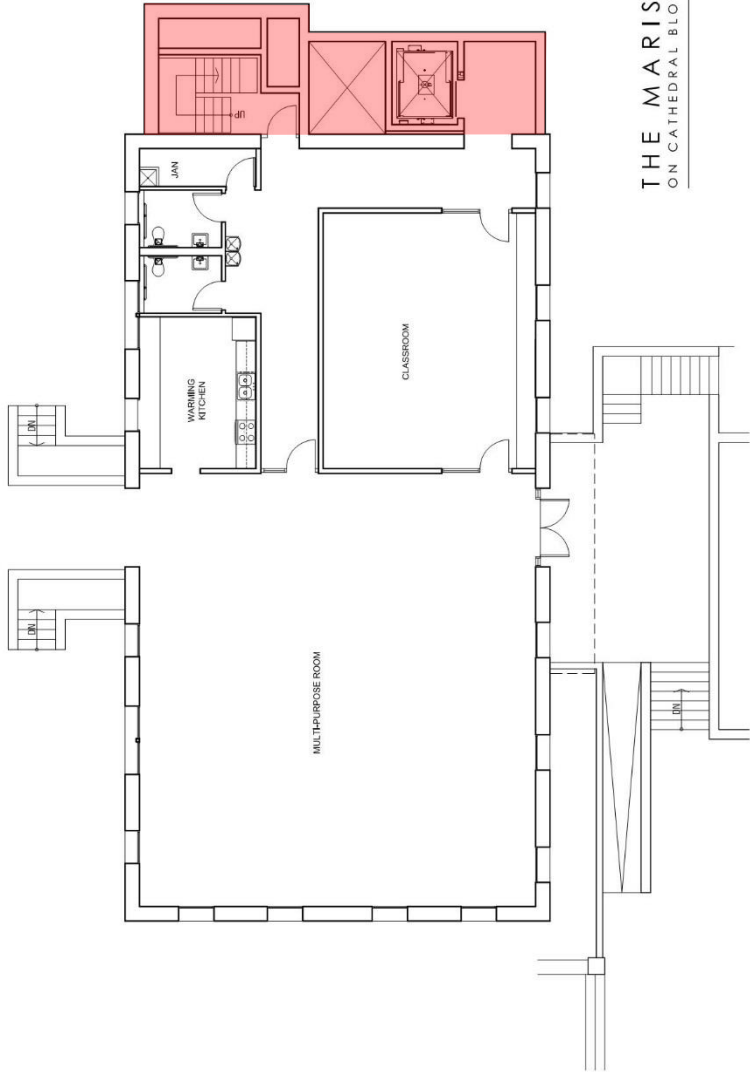
BIRD'S EYE VIEW

MARIST COLLEGE REHAB



HISTORIC ERA IMAGE

MARIST COLLEGE REHAB



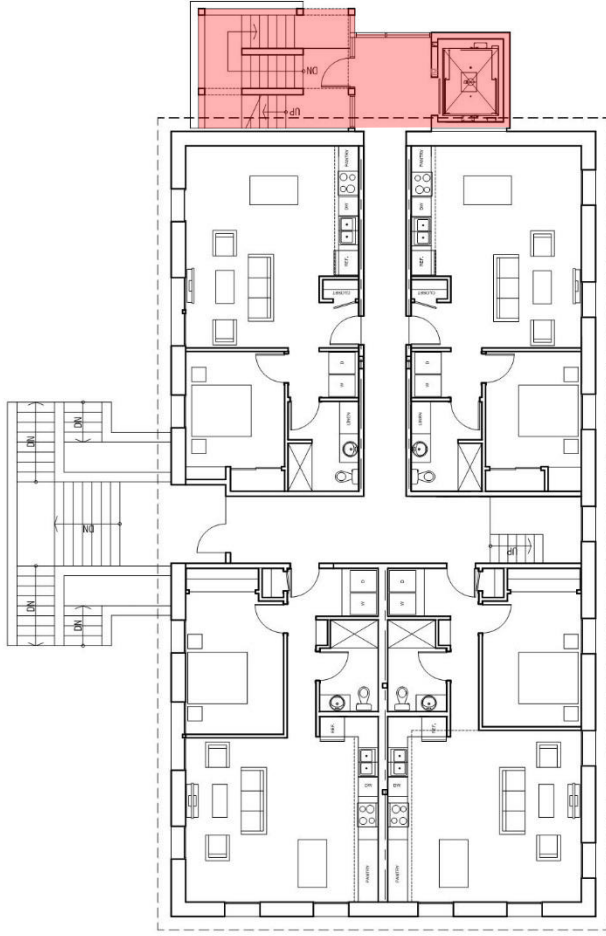
THE MARIST
ON CATHEDRAL BLOCK

BASEMENT LEVEL PLAN
0 2 4 8 16

ARCHITECTURE
PRESENTATION
POSTER
FROST
MIRTO
117 North Beach Avenue
Durham, Arizona 85701
www.posterfrostmirto.com

LOWER LEVEL

MARIST COLLEGE REHAB



FIRST FLOOR PLAN
0 2 4 8 16

THE MARIST
ON CATHEDRAL BLOCK

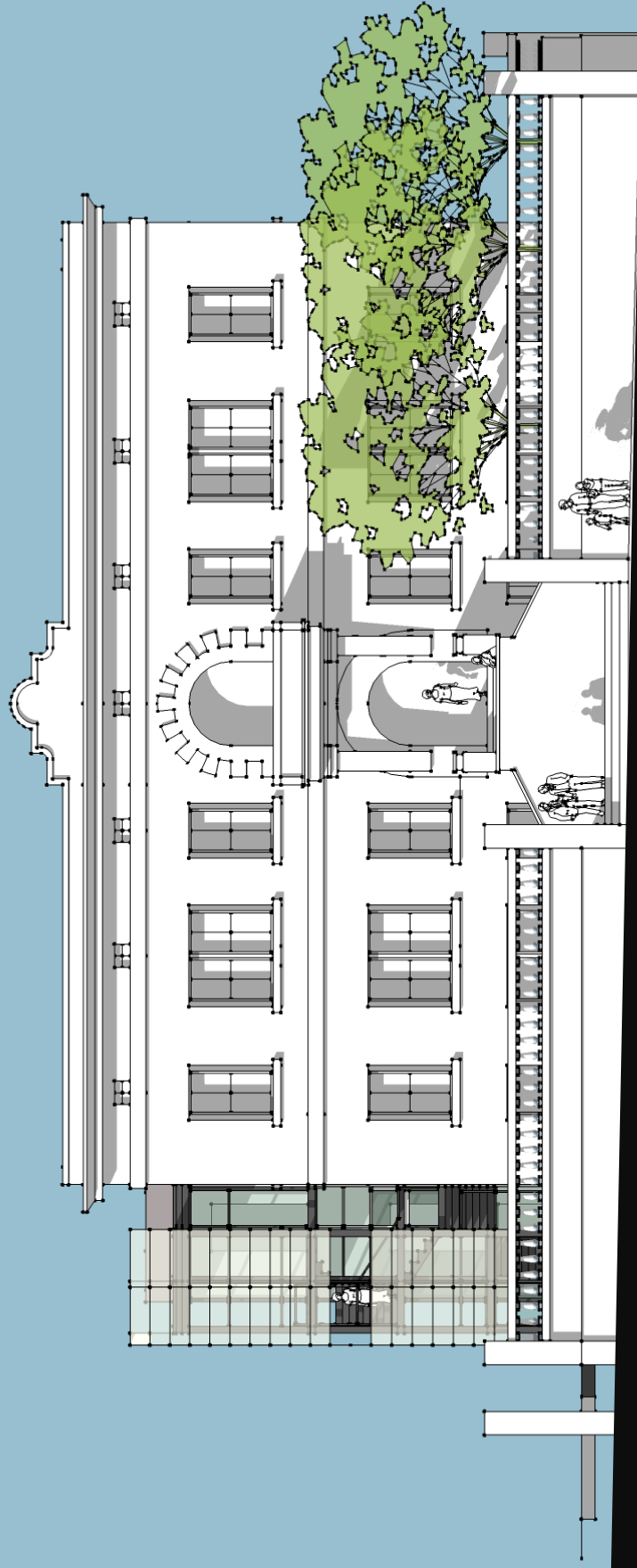
ARCHITECTURE
PLANNING
PRESERVATION
**POSTER
FROST
MIRTO**
317 North Court Avenue
SARASOTA, FL 34236
www.posterfrostmirto.com

UPPER FLOORS



POSTER
FROST
MIRTO

MARIST COLLEGE REHAB



NORTH ELEVATION

MARIST COLLEGE REHAB



EAST ELEVATION

MARIST COLLEGE REHAB



TRANSLUCENT WALL SYSTEM WITH PAINTED STEEL FRAME

POSTER
FROST
MIRTO

QUESTIONS & ANSWERS

- Questions?
- Contact information:
 - Matt Stuart – Cypress Civil Development
mstuart@cypresscivil.com

THANK YOU FOR COMING!

The Marist on Cathedral Square – IID 15.10 & 15.11

Neighborhood Meeting Notes

November 16th, 2015

Foundation for Senior Living Attendees:

Steve Hastings, Chief of Real Estate Services
Chris Fournillier, Community Development Solutions LLC

Poster Frost Mirto Attendees:

Corky Poster, Architect/Planner/Principal
Jon Mirto, Architect/Principal

Cypress Civil Development Attendees:

Matt Stuart, Project Manager

Start Time: 5:08 p.m.

Finish Time: 6:21 p.m.

1) PowerPoint Slide 1

- a) Steve Hastings opened the meeting, introducing himself and Foundation for Senior Living (FSL).
- b) Mr. Hastings proceeded to provide some background on the services both offered and provided by FSL to the community. Specifically they cater to individuals 65 and older, and the concept of aging in place.
- c) Mr. Hastings introduced Corky Poster with Poster Frost Mirto.

2) PowerPoint Slide 2

- a) Mr. Poster introduced himself and his firm to the audience, began to provide further background on the specifics of the project and the relationship between FSL as the developer and the Low Income Housing Tax Credit Application process.
- b) Mr. Poster mentioned that the approval process and subsequent planning phases would mean that ground breaking would not occur until the first quarter of 2017, at the earliest.

3) PowerPoint Slide 3, 4, 5, 6, 7

- a) Mr. Poster then highlighted some of the other recent projects in and around Arizona that FSL has developed, noting that this is FSL's first venture into the Tucson Market and

their desire to not only make a good impression but to be great neighbors to the surrounding area.

- b) Mr. Poster highlighted the Highland Square project currently under development in Cottonwood, and recent community developments in Flagstaff and Yuma.
- c) Mr. Poster showed multiple images to convey the quality FSL will bring to the two development projects.

4) **PowerPoint Slide 8**

- a) Mr. Poster introduced the remaining members and individuals of the Development Team.

5) **PowerPoint Slide 9**

- a) Mr. Poster provided an overview of the PowerPoint Presentation and the flow of the neighborhood meeting(s), explaining that although these projects will be developed together, they are in fact two separate applications to the City of Tucson.
- b) Mr. Poster stated after the presentation the floor will be open for questions.

6) **PowerPoint Slide 10**

- a) A map overview of the sites was provided, showing the specific location in relation to streets and to the Historic Brown House and St. Augustine Cathedral.

7) **PowerPoint Slide 11**

- a) Goals specific to the proposed project were provided, outlining the inspiration and desired outcome that will influence the design. This included providing affordable senior living housing options within the Downtown Core; activating the southeast corner of Broadway & Church; and rehabilitating the Marist College building.
- b) Mr. Poster then introduced Matt Stuart with Cypress Civil Development to review the IID application process.

8) **PowerPoint Slide 12, 13**

- a) Mr. Stuart provided a project overview of each site and briefly explained some of the proposed changes/alterations that were being made and how it might look in a two dimensional context.

9) **PowerPoint Slide 14**

- a) Mr. Stuart provided an explanation of the optional overlay called the Infill Incentive District (IID), and the ownerships desire to “opt-in” and develop the two projects under the provisions outlined in the Infill Incentive District ordinance language.

10) **PowerPoint Slide 15**

- a) Mr. Stuart then outlined the allowable modifications a development may consider within the Downtown Core Subdistrict (DCS) of the IID.

11) **PowerPoint Slide 16**

- a) **Mr. Stuart introduced each of the allowable modifications being utilized by the Marist College rehabilitation project, and explained why:**
- b) **Major Streets & Routes** – To maintain the existing development footprint, relief from the setback requirement is required.
- c) **Street Perimeter yards** – To maintain the existing development footprint, relief from the setback requirement is required.

- d) **Bicycle and Vehicular Parking** – Under the DCS, zero parking requirements for multi-family housing projects are permitted. This project will be taking advantage of the Street Car ridership, and both pedestrians and bicyclists that frequent Broadway and Church on a daily basis. Matt also noted that ample bicycle parking will be provided in the form of racks and long term bicycle within each of the units. Additional vehicular parking is provided on-street as well as within the private La Placita Parking Garage across the street.
- e) **Off-Street Loading** – While not required for Multi-family, the site does offer on-street loading zones that can be utilized.
- f) **Landscaping & Screening** – Due to the existing development and the need to emphasize building accessibility, we are seeking relief from the screening standards. Also due to the historic nature of the site and the desire to highlight the structure from a street view, additional landscape screenings will only inhibit.
- g) **Shade** – This project is seeking specific relief from the 50% shade requirement for all pedestrian access areas. Due to the historic nature and adobe construction, there are concerns regarding plantings and irrigation in and around the wall and building itself. The concern is additional moisture being present in the ground on a regular basis could cause damage to the adobe material, setting back the efforts made through the rehabilitation.

12) **PowerPoint Slide 17**

- a) Mr. Stuart introduced each of the allowable modifications being utilized by the Mid-rise project, and explained why:
- b) **Major Streets & Routes** – To maintain congruency with surrounding downtown development, and promote the desired streetscape, relief from the setback requirement is required.
- c) **Street Perimeter yards** – To maintain congruency with surrounding downtown development, and promote the desired streetscape, relief from the setback requirement is required.
- d) **Maximum Lot Coverage** – To maintain congruency with the building footprints representative of the downtown district, relief is sought.
- e) **Bicycle and Vehicular Parking** – Under the DCS, zero parking requirements for multi-family housing projects are permitted. This project will be taking advantage of the Street Car ridership, and both pedestrians and bicyclists that frequent Broadway and Church on a daily basis. Mr. Stuart also noted that ample bicycle parking will be provided in the form of racks and long term bicycle within each of the units. Additional vehicular parking is provided on-street as well as within the private La Placita Parking Garage across the street.
- f) **Off-Street Loading** – While not required for Multi-family, the site does offer an on-street loading zone along Broadway Boulevard that can be utilized for the development.
- g) **Landscaping & Screening** – To maintain congruency with the building footprints representative of the downtown district, relief is sought.

- h) **Solid Waste Collection** – Due to the nature of the sight and limited accessibility/maneuverability within the buildable footprint, an alternative solid waste collection system and agreement will need to be worked out with Environmental Services. This may include building management being responsible for locating the dumpsters from inside the building to the loading area for collection.
- i) **Open/Plaza Space** – To maintain congruency with the building footprints representative of the downtown district, relief is sought from the 5% of the gross floor area requirement. The site design goes to great lengths to create an active, permeable corner at Broadway & Church, and is adjacent (kitty corner) to Veinte de Agosto Park, which grants residences access to a large open space area within a very short walking distance.

13) PowerPoint Slide 18

- a) Matt discussed the IID process and how it works and explained who is involved and their role in the process:
- b) **Pre-Application Conference** – Includes City staff
- c) **Hosting of a Neighborhood Meeting** – Neighborhood meeting is held with residents and owners within a 300 foot notification radius and Neighborhood Associations within 1 mile of the project site.
- d) **Summarization of the Neighborhood Meeting** – A summary of the neighborhood meeting will be provided as part of the submittal process.
- e) **Submittal of a Design Package** – Presented to City staff
- f) **Tucson/Pima County Historical Commission** – Review and Recommendation
- g) **Meet & Review Design Package** – with Design Professional
- h) **Design Review Committee** – Review & Recommendation
- i) **Planning & Development Services Director** – Reviews findings and issues a decision

14) PowerPoint Slide 19

- a) Mr. Stuart then introduced Jon Mirto of Poster Frost Mirto to review the site renderings of the proposed developments.
- b) Mr. Mirto provided a brief overview of the site context with the surrounding area.

15) PowerPoint Slide 20 - 26

- a) Mr. Mirto began displaying site specific renderings of the Mid-rise building to demonstrate its context with the site and the surrounding area/buildings – particularly the Historic Brown House.
- b) Mr. Mirto highlighted each side of the building and spoke to the desired design and its relationship to the area.

16) PowerPoint Slide 27- 30

- a) Mr. Mirto introduced some of the desirable material and finishes that the building is expected to contain – Stucco finish, metal paneling, tube steel deck awnings, and board formed concrete with ground face CMU.

17) PowerPoint Slide 31

- a) Mr. Mirto displayed a Birdseye view, looking from the northwest, of the rendered building, providing context to the relationship of the proposed building and its height relative to the surrounding area.

18) PowerPoint Slide 32

- a) Mr. Mirto displayed a Birdseye view, looking from the northwest, of the rendered building and a representation of the recently approved 1 West Broadway project to the east to provide context to the relationship of the proposed building in relation to other new projects.

19) PowerPoint Slide 33

- a) Mr. Mirto introduced the Marist College building and presented a historic photo of how the building looked prior to its vacancy and subsequent deterioration. Mr. Mirto explained the goal is to restore the structure per the Department of Interior standards, while providing necessary accessibility for its residents.

20) PowerPoint Slide 34-36

- a) Mr. Mirto displayed the general site and floor plans for the building and the addition of an external stair case and elevator to provide accessibility to each of the 3 floors.

21) PowerPoint Slide 37-38

- a) Mr. Mirto provided renderings of the Marist College and explained the explained the desire to open up the north entry and wall to provide a more welcoming and inviting entry point to the development.
- b) The renderings also highlighted the relationship between the Historic structure and what will be the newly constructed stair case and elevator.

22) PowerPoint Slide 39

- a) Mr. Mirto introduced some of the design techniques and materials that will be sought for the elevator and staircase. They would utilize a painted steel frame with a translucent wall system.

23) PowerPoint Slide 40

- a) Mr. Mirto then thanked the audience for their patience and opened the floor to any questions or comments they may have:
 1. **Comment** – Mr. Hastings mentioned the desire of FSL to be good neighbors and their excitement to be involved in this project, especially the restoration of Marist College. Mr. Hastings also noted that the project will serve households with incomes at 40, 50, and 60% of the area median income (adjusted for household size).
 2. **Question** – What is the proposed use? What type of housing option will be offered?
 - a. **Response** – It will be age restricted and be independent living. The idea is for individuals to age in place. There will ambulatory design and care available for every unit, but this will not be assisted living.
 3. **Question** – Have you met with SHPO regarding the Marist, and are they ok with the increased stairway opening along the north?
 - a. **Response** – Yes, we had an informal meeting with SHPO representatives about 3 weeks back to discuss the wall and the Marist College building. And yes, they

have stated that the proposed alterations along the north will not cause the property to be delisted.

4. **Comment** – I like the increased opening along the north, it really provides a more grand entry to the site and building.
5. **Question** – You mentioned that you will be rehabilitating to Department of Interior and State standards, will the interior be rehabilitated as well?
 - a. **Response** – The interior will be given an update to meet today’s standards. The floor plan has been design designed the bearing walls. But, we will more than likely need to construct an exoskeleton of sort around those walls and beams in order to provide each floor with adequate support and strength.
6. **Question** – Will you be keeping the lower level windows? The stained glass is a very nice feature.
 - a. **Response** – Yes, we plan on keeping the lower level windows.
7. **Question** – How are you mitigating the impacts on the neighboring historic Brown House? Will the building be setback to ensure maintenance access is adequate?
 - a. **Response** – Yes, we have taken into consideration the negotiation the developer of the 1 West Broadway project and have provided at a minimum at least a 4 foot separation from the Brown House.
8. **Question** – Are there any measures being taken to prevent the vibration and foundation of the new building from damaging the Brown House?
 - a. **Response** – At this time the structural components of the project are still in their preliminary stages, but since the project places the parking at the ground level, below grade ground disturbance is limited. As the project moves forward, and funding is secured, consideration will be paid to the structural components and its potential impacts.
9. **Question** – There is some nice tile work along the north side of the Diocese office building; is that going to be preserved? I think it will be nice to incorporate into the new project.
 - a. **Response** – We will take that into consideration, but at this point it has not been discussed.
10. **Question** – You mentioned the shade reduction request, why are you unable to plant more vegetation in the areas around the Marist College?
 - a. **Response** – There have been some concerns regarding sub surface plantings and the associated irrigation systems they will require, and the moisture component adversely affecting the adobe walls. We are still working to find a solution to meet the shade requirement. The other component is the visual impact of the building from the street, and we would not want to take some of that away, especially since it will be restored.
11. **Question** – You mentioned the open/plaza space requirement. Are you allowed to consider the improvements made within the Right-of-way toward that amount?
 - a. **Response** –Per our calculations tonight, we are not counting that area. We are showing improvements being made to meet the Interim Streetscape Standards

Policy but we will be working with City Staff to determine what extent we may count some of those improvements toward the calculation. Because of the immediate proximity to Viente de Agosto park, we don't feel this request will negatively impact the residents of the development or the general public.

12. **Question** – You mentioned there will be 75 units in the mid-rise building, but only 29 spaces. Where do you plan on rest of the people parking?
 - a. Response –FSL has done quite a bit of research and have actually found only about a third of their residents actually require a space to park a vehicle. This is also a downtown area, so the idea is there are plenty of alternative transportation offerings that can provide options to residents. It is on the Streetcar line, bus line, and is convenient for cycling and walking. Downtown projects are now moving toward the separation of living and parking. Meaning parking is an extra option from living space rent. This project also is in close proximity to the private La Placita Garage, which offers another private venue for future residents if parking is desired.
13. **Question** – Are you planning on applying for Federal Historic Grant funding?
 - a. Response – Not at this time. Due to the timing of the submittals, we are not exploring any federal funding options.
14. **Question** – Is there any way to soften up the stairwell and elevator to blend in with the existing Marist architecture? The glass and steel are very contrasting, especially with the remaining structure and complex as it's back drop.
 - a. Response – The State Historic Preservation office will ask us to have any new structures to be modern, to highlight Historic structure through the contrast. It is difficult to match the historic style with new elements and designs. We made an effort to try and meet in the middle, but judging from the reaction, we will see if there are other options we can implement to soften that external structure. I will say, that the State Historic office will ask us to make it more modern when we meet with them again.
15. **Comment** – I think we are all in agreement that this is a great project, and a long time coming, the Marist is very special and it will be great to have it restored.
16. **Question** – What about the condition of the Marist? Are any measures being taken to ensure that it does not get any worse between now and when you are able to actually break ground?
 - a. Response – At this time the Diocese is still in control of the site, and will be until the funding is approved and the construction documents are completed – which could be 12-14 months out. It is our understanding that the Diocese will continue to provide maintenance as it has in the past, but there will be no further major maintenance projects performed on the site to our knowledge.
17. **Question** – What if you are unable to receive funding, will the project die and FSL will go away?
 - a. Response – No. First, we think we have a very good shot to meet much of the criteria, and believe we will score high because of the location of these projects.

We will be securing the Diocese office building and taking control in January of 2016, so if we are unable to secure the financing this year, we will try again the following year.

24) **Closing** – Mr. Poster, Mr. Mirto, and Mr. Stuart thanked everyone for coming, encouraged those to sign the sign-in sheet if they had not already done so, and closed the neighborhood meeting.

DOWNTOWN STREETScape INTERIM POLICY



25 November 2015

City of Tucson Development Services
201 N Stone Avenue
Tucson, Arizona 85701

The following letter addresses the Downtown Streetscape Interim Policy for THE MARIST ON CATHEDRAL SQUARE – DIOCESE IID Design Package Application:

The 1 West Broadway project is located at the southeast corner of Church Avenue and Broadway Boulevard, within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. As a part of the DCS, it is the goal of this development to create a distinct project that not only provides a streetscape that is unique, but also finds balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Downtown Streetscape Interim Policy:

2. Trees;

Response: Trees will be, at time of installation, of 24" box minimum size. It is the goal of this development to provide a unique streetscape experience and, as such, will be providing the following plant species in addition to the existing species already located adjacent to the site: Nettleleaf hackberry (*Celtis reticulata*), Texas mountain laurel (*Sophora secundiflora*), Cleveland sage (*Salvia clevelandii*), Candelilla (*Euphorbia antisiphilitica*), Slipper Plant (*Pedicularis macrocarpa*), Brakelights yucca (*Hesperaloe parviflora*), Giant hesperaloe (*Hesperaloe funifera*), Totem pole cactus (*Lophocereus schottii*), and Purple heart (*Setcreasea pallida*). Encumbrances to Pedestrian, Streetcar, and Environmental Services movement will be monitored by building management, and a management plan will be put in place to ensure clear movement by all affected parties.

3. Pavers;

Response: Brick pavers in a herringbone pattern will be utilized on both the Church Avenue and Broadway Boulevard streetscapes. Brick pavers will be used in coordination with concrete headers and tree grates to create a varied pedestrian environment and ensure that at least 30% of the paved area is represented by pavers. Please note that a contractor and/or distributor has not yet been selected for this project as of the date of this letter. It is the goal of the development project to ensure that the bricks selected are consistent with the Sunset Red and HTH Taupe Stone colors outlined within the policy.

4. *Paving;*

Response: Grey concrete paving will be provided both on and off-site, and will serve as the predominate (less than 70% of the paved area) hardscape material for pedestrian zones and sidewalk areas. To maintain consistency with the surrounding areas, a mixture of smooth grey, medium broom, and other colored finishes per the architectural program will be utilized.

5. *Street furniture;*

Response: Street furniture currently exists at the Sun-Link Transportation stop along Broadway Boulevard. Additional bike racks, benches, and trash receptacles will be added to both the Broadway Boulevard and Church Avenue streetscapes. All additional furniture will be a neutral sage green-grey earth tone – RAL 7013.

6. *Planters and pots;*

Response: ADA compatible steel tree grates will be utilized along Broadway Boulevard and Church Avenue where trees are proposed to be planted. Raised planters will also be added to the streetscapes, and will be limited to a height of 12 to 20 inches. The raised planters will be of steel construction, and be of similar color to other street furniture elements.

7. *Pedestrian lighting;*

Response: Existing pedestrian and street lighting will remain within the public rights-of-way. Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture, without distracting from the elements of the façade, but be in full compliance with the City of Tucson Outdoor Lighting Code.

These responses are intended to supplement the Infill Incentive District and Rio Nuevo District Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

Cypress Civil Development



Matt Stuart

Project Manager

(520) 561-4983

mstuart@cypresscivil.com

DEVELOPMENT PLAN PACKAGE SUBMITTAL



GENERAL NOTES

- OWNER/DEVELOPER:
FOUNDATION FOR SENIOR LIVING
1201 EAST THOMAS ROAD
PHOENIX, ARIZONA 85014
ATTN: MR. STEVE HASTINGS
PH: (602) 285-1800 ext. 139
EMAIL: shastings@fsl.org
- EXISTING ZONING IS **OCR-2**, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS **OFFICE**. THE PROPOSED DEVELOPMENT IS MIXED USE: A COMBINATION OF **MULTI-FAMILY RESIDENTIAL AND PARKING**. NO USE-SPECIFIC STANDARDS ARE APPLICABLE TO THIS PROJECT.
- THERE WILL BE **75** PROPOSED RESIDENTIAL UNITS.
- USE AREA BREAKDOWN:
MULTI-FAMILY DWELLING = 78,200 SF
PARKING = 11,800 SF
- THE GROSS SITE AREA IS **18,676** SQUARE FEET, OR 0.43 ACRES.
- TOTAL BUILDING GFA IS **90,000** SF. TOTAL PAVED AREA IS **3,322** SF ±.
- TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **18,676** SF.
- THIS PROJECT IS SUBJECT TO THE INFILL INCENTIVE DISTRICT (IID) OVERLAY ZONE. THE PROJECT MEETS THE REQUIREMENTS OF THE IID AS APPROVED BY THE CITY OF TUCSON AS IID CASE # (IID-) ON , 201, SEE SHEET 2 FOR APPLICABLE IID NOTES.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS, EXCEPT PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY, WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- THE REQUIRED OFF-SITE PUBLIC SANITARY SEWER LINE WILL BE DESIGNED AND CONSTRUCTED TO PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT STANDARDS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7' ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

GENERAL NOTES (cont.)

- U.D.C. DIMENSIONAL STANDARDS: (NON-RESIDENTIAL USES OCR ZONE, MULTI-FAMILY IS CONSIDERED NON-RESIDENTIAL)

MAXIMUM BUILDING HEIGHT = 300'
ACTUAL BUILDING HEIGHT = 95'

BUILDING SETBACKS:
NORTH (STREET) - 0'* REQUIRED 14.6' PROVIDED
EAST (STREET) - 0'* 0.1' MIN.
SOUTH (STREET) - 0'* 13' MIN.
WEST (STREET) - 0'* 14.4' MIN.

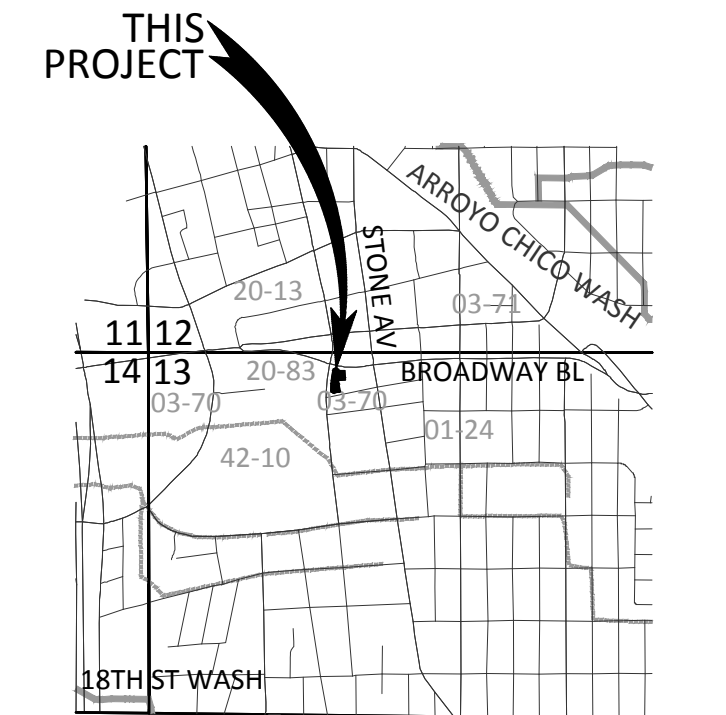
*ALL REQUIRED MINIMUM BUILDING SETBACKS ARE 0'. SEE IID GENERAL NOTES AND SHEET 2.
- PARKING REQUIREMENTS FOR MULTI-FAMILY DWELLING (OVER 70 UNITS) USE AND PARKING USE:

MOTOR VEHICLE PER SEC. 7.4.4.B: 1.25 SPACES PER DWELLING UNIT + 0 (NO MIN. FOR PARKING USE)
TOTAL REQUIRED = 1.25x75 = 94 SPACES
TOTAL PROVIDED = 0* SPACES
*PARKING REQUIREMENTS EXEMPT PER IID CASE # (SEE IID GENERAL NOTE , SHEET 2)
- ACCESSIBLE SPACES REQUIRED = 2 SPACES
ACCESSIBLE SPACES PROVIDED = 2 SPACES
- BICYCLE PARKING PER SEC. 7.4.8.B:
SHORT TERM: 0.1 SPACES PER BEDROOM
TOTAL REQUIRED = 87x0.1 = 9 SPACES
TOTAL PROVIDED = 10 SPACES
LONG TERM: 0.5 SPACES PER BEDROOM
TOTAL REQUIRED = 87x0.5 = 44 SPACES
TOTAL PROVIDED = 87 SPACES*
*NOTE: LONG-TERM SPACES ARE PROVIDED WITHIN EACH RESIDENTIAL UNIT, SEE DETAIL D, SHEET 6.
- LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 0 SPACES
- NO FREESTANDING MONUMENT SIGNS ARE PROPOSED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- A SINGLE PROPERTY OWNER, PROPERTY MANAGEMENT COMPANY, OR HOMEOWNER'S ASSOCIATION (HOA) WILL BE RESPONSIBLE FOR THE MANAGEMENT AND MAINTENANCE OF THE SOLID WASTE COLLECTION SERVICES AND STORAGE AREA(S) FOR ALL DEVELOPMENT/BUSINESS OCCUPANTS.

WASTE STREAM CALCULATION: PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 428 TONS OF SOLID WASTE PER YEAR (EQUATING TO 5,481 GALLONS PER WEEK). A MINIMUM OF 27 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.

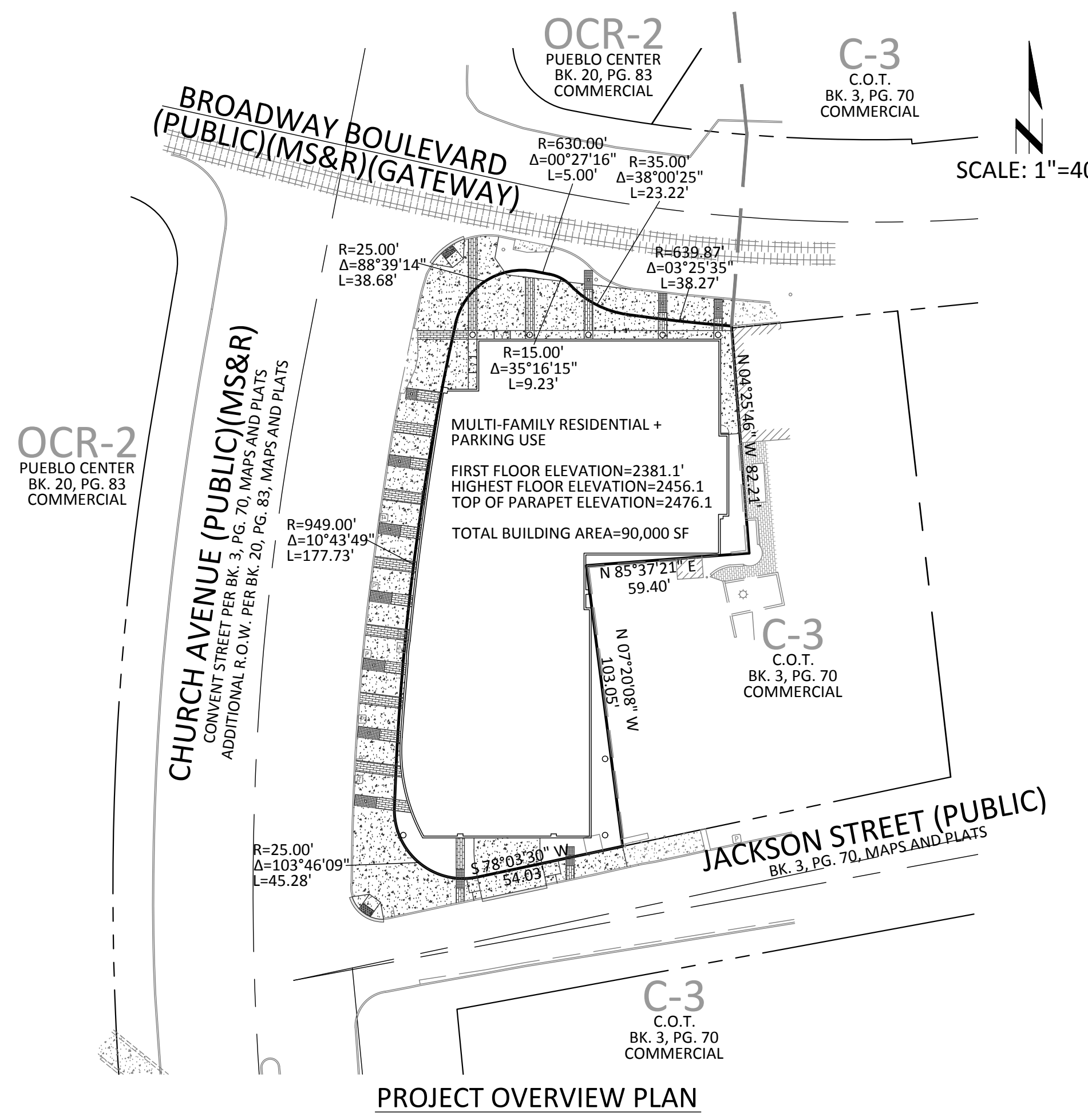
PER IID CASE # (IID-) TRASH PICK-UP REQUIREMENTS WILL BE MET BY PROVIDING A MINIMUM OF TWO 4-CUBIC-YARD TRASH BINS BEING PICKED UP **ONCE PER** .
- MINIMUM VERTICAL CLEARANCE FOR GARBAGE TRUCKS IS 25.0' PER TSM 8-01.5.3.B.
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR UDC SEC. 5.4, MAJOR STREETS AND ROUTES (MS&R) SETBACK ZONE; SEC. 5.5, GATEWAY CORRIDOR ZONE; SEC. 5.11, RIO NEUVO DISTRICT; SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID); AND SEC. 5.12.5, DOWNTOWN CORE SUBDISTRICT (DCS)
- ALL REQUIRED MINIMUM BUILDING SETBACKS ARE 0'. SEE IID GENERAL NOTES AND SHEET 2.
- PLAZAS AND OPEN SPACE REQUIRED:
5% OF GROSS FLOOR AREA = 0.05x90000 = 4,500 SF
PROVIDED = SF

SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - BROADWAY & CHURCH SITE



IN THE NE 1/4 OF THE NW 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP
NORTH
3" = 1 MILE



LEGEND

	PAINT STRIPE		EXISTING SEWER MANHOLE
	EXISTING CURB		EXISTING SEWER CLEANOUT
	EXISTING CONCRETE		EXISTING WATER METER
	NEW WALL		EXISTING BACKFLOW PREVENTER
	NEW CONCRETE		EXISTING FIRE CONNECTION
	NEW ASPHALT		EXISTING WATER VALVE
	NEW TREE WELL GRATE		EXISTING AIR RELEASE VALVE
	NEW BRICK PAVERS		EXISTING FIRE HYDRANT
	EXISTING EASEMENT		EXISTING ELECTRIC MANHOLE
	RIGHT-OF-WAY		EXISTING TRANSFORMER
	PROJECT BOUNDARY LINE		EXISTING COMMUNICATION PEDESTAL
	OTHER PARCEL LINE		EXISTING COMMUNICATION MANHOLE
	ROADWAY CENTERLINE		EXISTING TELEPHONE PEDESTAL
	ZONE BOUNDARY		EXISTING LIGHT PULLBOX
	EXISTING MAIL BOX		EXISTING POWER POLE
	EXISTING PARKING METER		EXISTING GAS METER
	EXISTING SIGN		SURVEY MONUMENTATION: 1/2" REBAR TAGGED "RLS 35543", UNLESS OTHERWISE NOTED
	EXISTING STORMDRAIN MANHOLE		PARKING SPACE COUNT
	EXISTING STORMDRAIN		ZONING DIVISION
	EXISTING SEWER		SIGHT VISIBILITY TRIANGLE
	EXISTING WATER		RADIUS
	EXISTING UNDERGROUND ELECTRIC		FINISHED FLOOR ELEVATION
	EXISTING OVERHEAD ELECTRIC		
	EXISTING GAS LINE		

SHEET INDEX

- COVER SHEET
- NOTES
- SITE PLAN
- UTILITIES & EASEMENTS PLAN
- DETAILS + PARKING PLAN
- LANDSCAPE PLAN
- IRRIGATION PLAN
- LANDSCAPE DETAILS
- IRRIGATION DETAILS

ARCHITECT

POSTER FROST MIRTO
317 NORTH COURT AVENUE
TUCSON, ARIZONA 85701
ATTN: JON MIRTO
PH: (520) 882-6310
E: jmirto@posterfrostmirto.com

LANDSCAPE ARCHITECT

ARC STUDIOS INC.
5781 NORTH PLACITA AMANECER
TUCSON, ARIZONA 85718
ATTN: ERIC BARRETT
PH: (520) 882-9655
E: erb@arcstudiosinc.com

OWNER/DEVELOPER

FOUNDATION FOR SENIOR LIVING
1201 EAST THOMAS ROAD
PHOENIX, ARIZONA 85014
ATTN: MR. STEVE HASTINGS
PH: (602) 285-1800 ext. 139
EMAIL: shastings@fsl.org

SITE ADDRESS

111 SOUTH CHURCH AVENUE
TUCSON, ARIZONA 85701

NO.	DATE	REVISION DESCRIPTION	BY

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PL/ME _____ Date _____
Revision # _____ per letter in SIRE



CYPRESS PROJECT NO: 15.087-D

CYPRESS CIVIL DEVELOPMENT
Strength + Sustainability

2102 north country club road
suite #9
tucson, arizona 85716
ph: 520.561.4983
e: kmhall@cypresscivil.com

A PORTION OF BLOCK 507 OF "PUEBLO CENTER BLOCKS 506 THROUGH 511", BK. 20 AT PG. 83 OF MAPS AND PLATS, LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - BROADWAY & CHURCH SITE

cover sheet



PAVING & GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA COUNTY/CITY OF TUCSON (PC/COT) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, AND THE PIMA COUNTY/CITY OF TUCSON STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-561-4983.
- AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 406, MIX #2.
- ALL CONCRETE SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, AND CLASS S, 3000 PSI AT 28 DAYS.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION (MUTCD). THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CONTACT PERMITS AND CODES AT 791-4259 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

EARTHWORK & MATERIALS TESTING + CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY [company]. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED ____, [company] PROJECT NO. ____.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS A STRAIGHT LINE BETWEEN TWO FOUND SURVEY MONUMENTS ON SCOTT AVENUE, AS SHOWN ON THE SURVEY MAP RECORDED IN BOOK 76 AT PAGE 70 OF SURVEYS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID LINE IS **S 02°45'57" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY/CITY OF TUCSON GEODETIC CONTROL POINT "DL23", DESCRIBED AS A 60d NAIL WITH AN ALUMINUM CAP STAMPED "CITY OF TUCSON RLS #20373", LOCATED IN THE CENTER OF 17TH STREET, APPROX. 103' EAST OF THE EAST CURB LINE OF STONE AVE., APPROX. 2,600' SOUTH AND 900' EAST OF THIS PROJECT. THE ELEVATION OF SAID BENCHMARK IS **2,401.79'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
POLARIS LAND SURVEYING, LLC
3528 NORTH FLOWING WELLS ROAD
TUCSON, ARIZONA 85705
ATTN: MR. TODD A. HOUT, AZ RLS #35543
PH: (520) 322-6400
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

INCENTIVE INFILL DISTRICT GENERAL NOTES
CASE # _____ (IID-_____)

-



CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FOUNDATION FOR SENIOR LIVING 1201 EAST THOMAS ROAD PHOENIX, ARIZONA 85014 ATTN:MR. STEVE HASTINGS PH: (602) 285-1800 ext. 139 EMAIL: shastings@fsl.org
				SITE ADDRESS 111 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701

CYPRESS PROJECT NO: 15.087-D

CYPRESS CIVIL DEVELOPMENT
Strength + sustainability

2102 north country club road suite #9
tucson, arizona 85716
ph: 520.561.4983
e: kmhall@cypresscivil.com

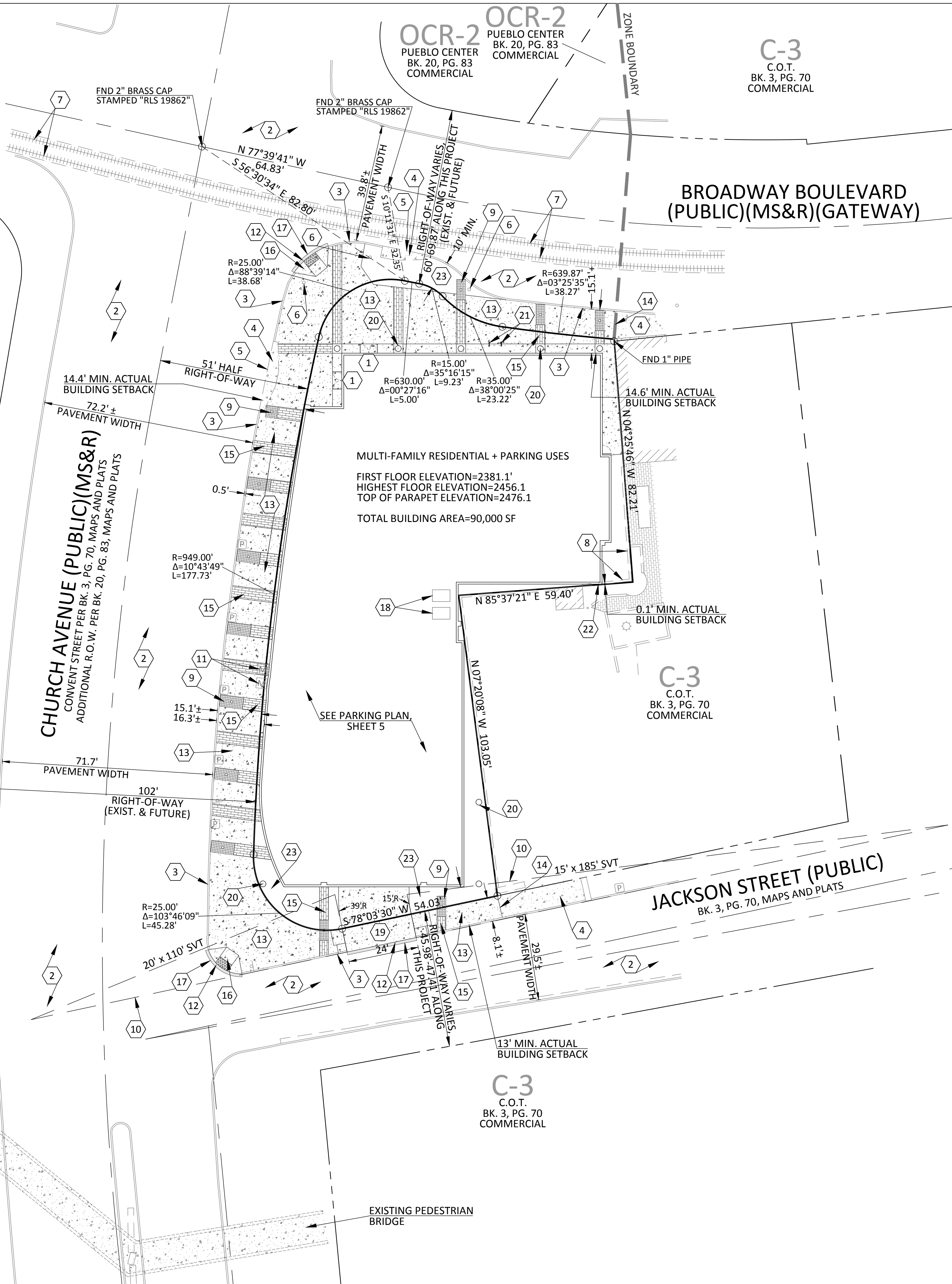
A PORTION OF BLOCK 507 OF "PUEBLO CENTER BLOCKS 506 THROUGH 511", BK. 20 AT PG. 83 OF MAPS AND PLATS, LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - BROADWAY & CHURCH SITE

notes

DP REF: 2 OF 9

OCR-2
PUEBLO CENTER
BK. 20, PG. 83
COMMERCIAL



SCALE: 1"=20'

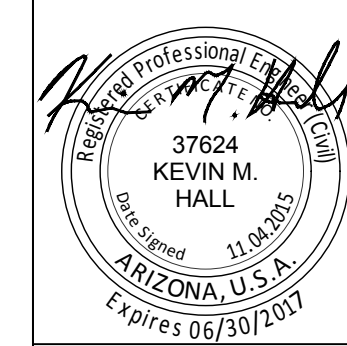
- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 5 EXISTING STORM DRAIN INLET TO REMAIN.
 - 6 EXISTING STREET-CAR POLE TO REMAIN.
 - 7 EXISTING STREET-CAR TRACKS TO REMAIN.
 - 8 EXISTING WALL TO REMAIN.
 - 9 NEW TREE GRATE (TYP.). SEE SHEET 6.
 - 10 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE LINE FOR DIMENSIONS.
 - 11 EXISTING MAIL BOX TO BE RELOCATED (TYP.). COORDINATE WITH POSTAL SERVICE.
 - 12 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL (A), SHEET 5.
 - 13 NEW CONCRETE SIDEWALK PER PC/COT STD DTL 200. SEE PLAN FOR DIMENSIONS.
 - 14 CONNECT TO EXISTING SIDEWALK PER PC/COT STD DTL 203.
 - 15 NEW 4"x8" ADOBE RED BRICK PAVERS. SEE SHEET 8.
 - 16 NEW CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PC/COT STD 207.
 - 17 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 18 INTERIOR LOCATION OF DUMPSTER.
 - 19 NEW CONCRETE DRIVEWAY APRON PER PC/COT STD DTL 206, EXCEPT AS MODIFIED HEREIN.
 - 20 NEW BUILDING COLUMN (TYP.).
 - 21 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL (B), SHEET 5. FOR RACK SPACING SEE DETAIL (C), SHEET 5.
 - 22 REMOVE EXISTING WALL PORTION IN CONFLICT.
 - 23 NEW DEPRESSED LANDSCAPE AREA. SEE SHEET 6.

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR _____ Date _____
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 PL/ME _____ Date _____
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NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FOUNDATION FOR SENIOR LIVING 1201 EAST THOMAS ROAD PHOENIX, ARIZONA 85014 ATTN: MR. STEVE HASTINGS PH: (602) 285-1800 ext. 139 EMAIL: shastings@fsl.org
				SITE ADDRESS 111 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701



CYPRESS PROJECT NO: 15.087-D

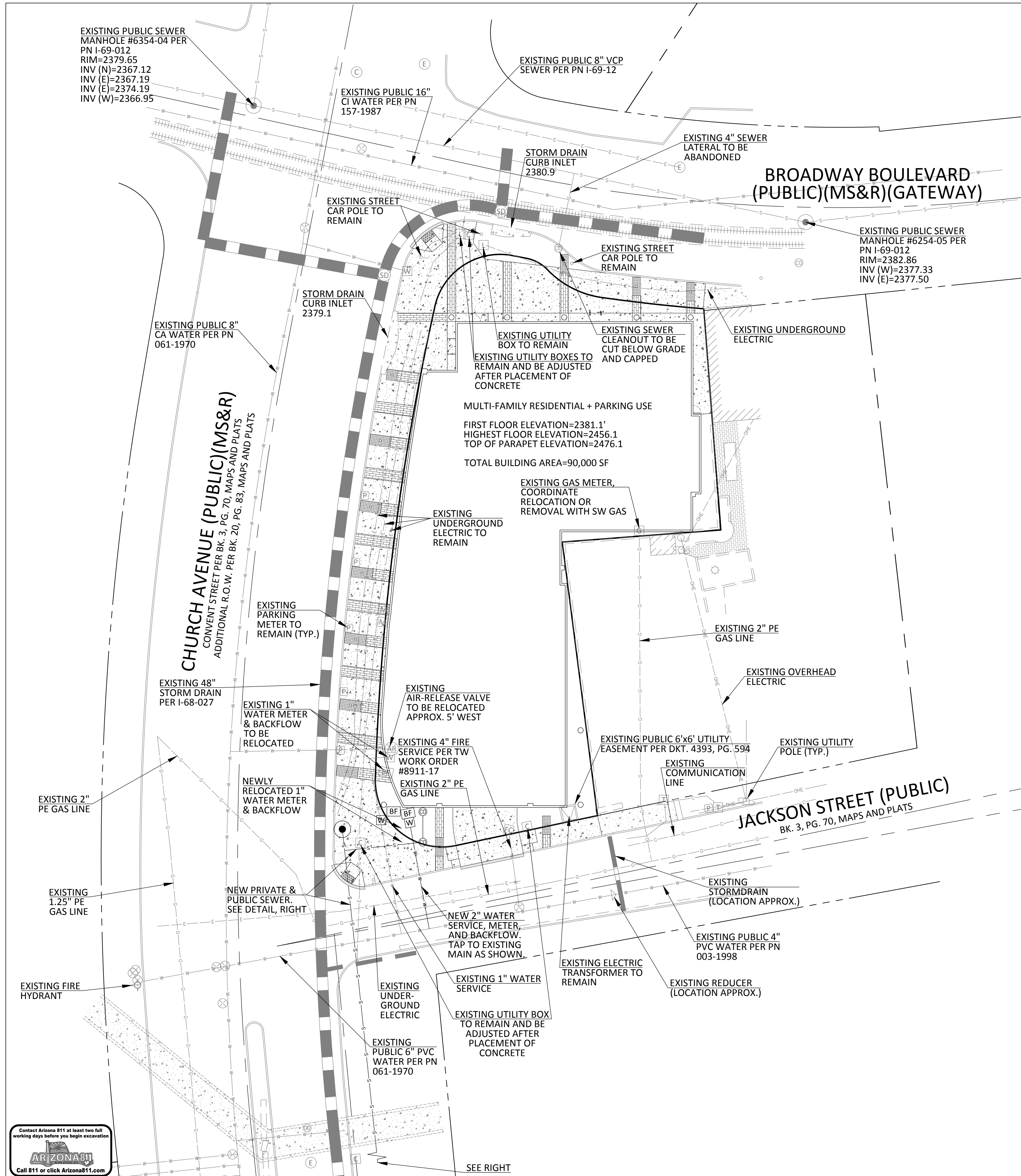
CYPRESS CIVIL DEVELOPMENT
Strength + sustainability

2102 north country club road
suite #9
tucson, arizona 85716
ph: 520.561.4983
e: kmhall@cypresscivil.com

A PORTION OF BLOCK 507 OF "PUEBLO CENTER BLOCKS 506 THROUGH 511", BK. 20 AT PG. 83 OF MAPS AND PLATS, LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - BROADWAY & CHURCH SITE

site plan

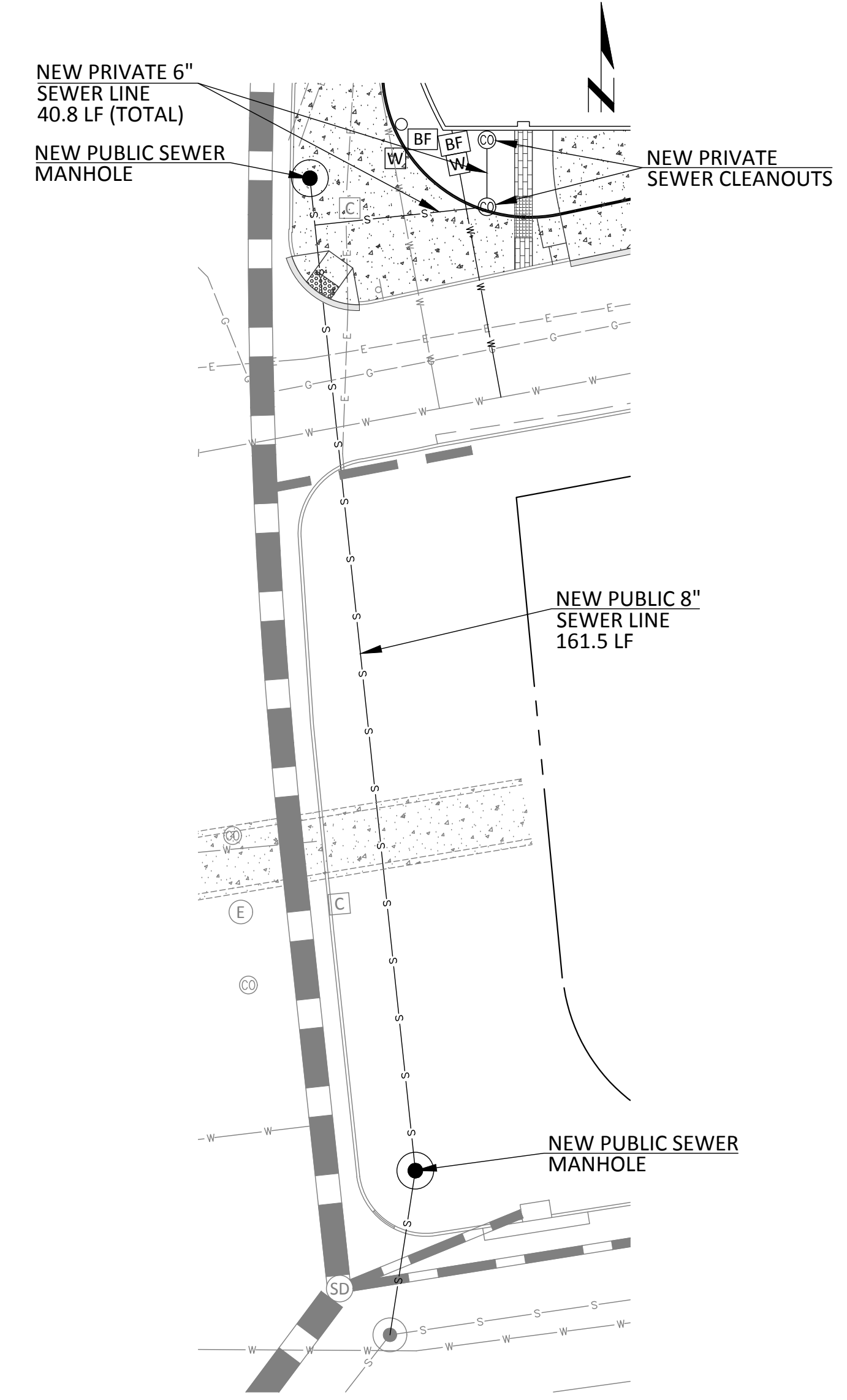


SCALE: 1"=20'
C.I. = 1 FOOT

UTILITY NOTE
 UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

- PRIVATE FIRE SUPPRESSION NOTES**
1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
 2. MINIMUM DEPTH OF BURY TO BE 30".
 3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
 4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
 5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.

- PRIVATE UTILITY NOTES**
1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
 2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
 3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

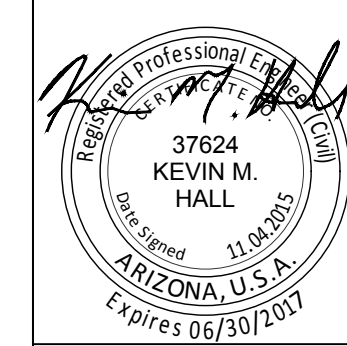


SEWER CONNECTION SCHEMATIC
SCALE: 1"=20'

Contact Arizona 811 at least two full working days before you begin excavation
 ARIZONA 811
 Call 811 or click Arizona811.com

CITY OF TUCSON	DEVELOPMENT PACKAGE PSDS APPROVAL
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<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____ Date _____	
Zoning _____ Date _____	
Engineering _____ Date _____	
H/C Site _____ Date _____	
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Landscape _____ Date _____	
PL/ME _____ Date _____	
Revision # _____	<input type="checkbox"/> per letter in SIRE

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				SITE ADDRESS 111 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701

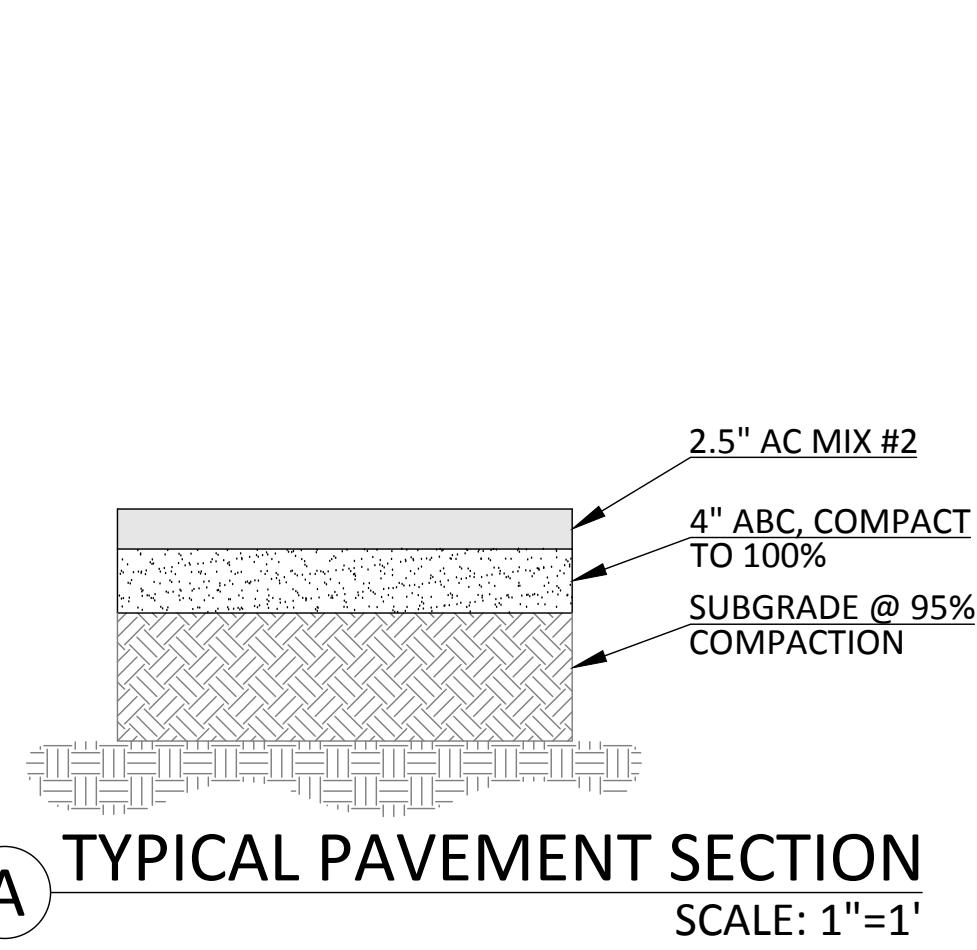


CYPRESS PROJECT NO: 15.087-D
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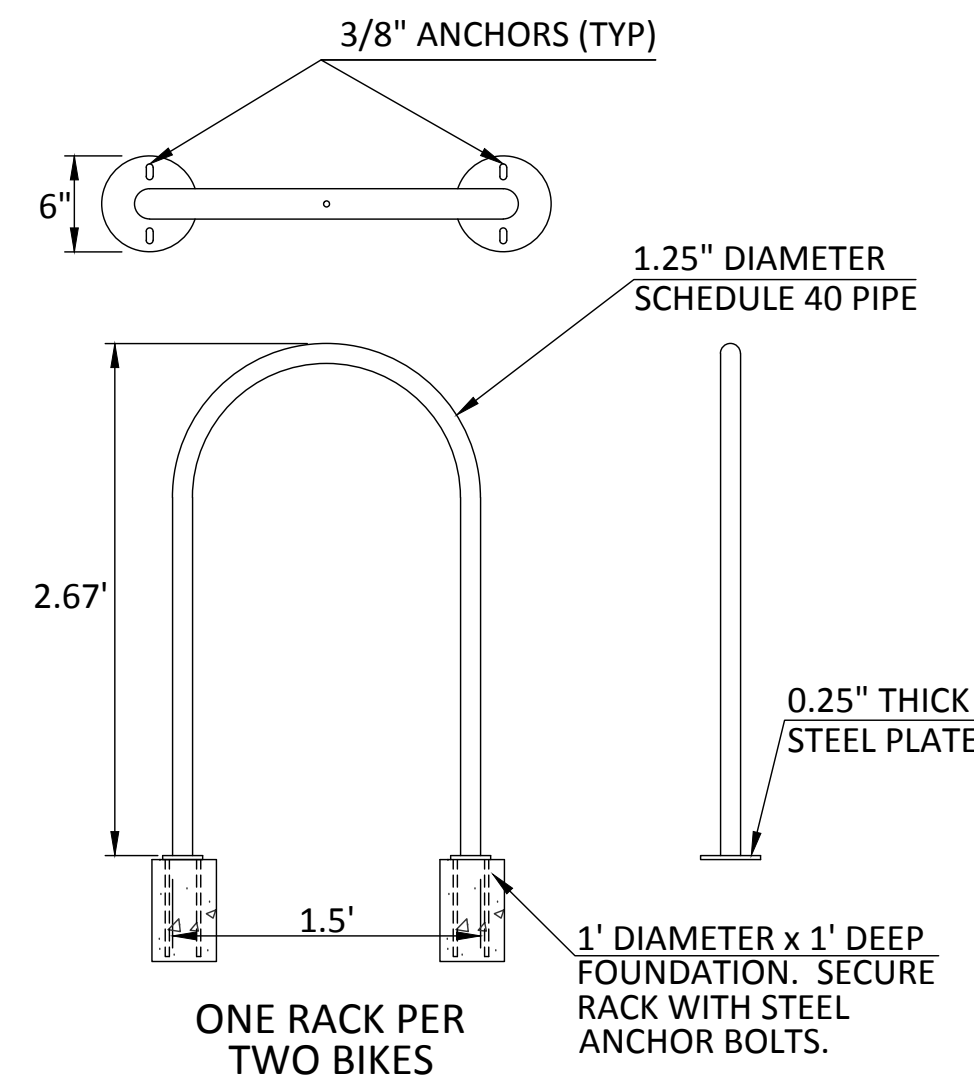
CYPRESS CIVIL DEVELOPMENT
 strength + sustainability

A PORTION OF BLOCK 507 OF "PUEBLO CENTER BLOCKS 506 THROUGH 511", BK. 20 AT PG. 83 OF MAPS AND PLATS, LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

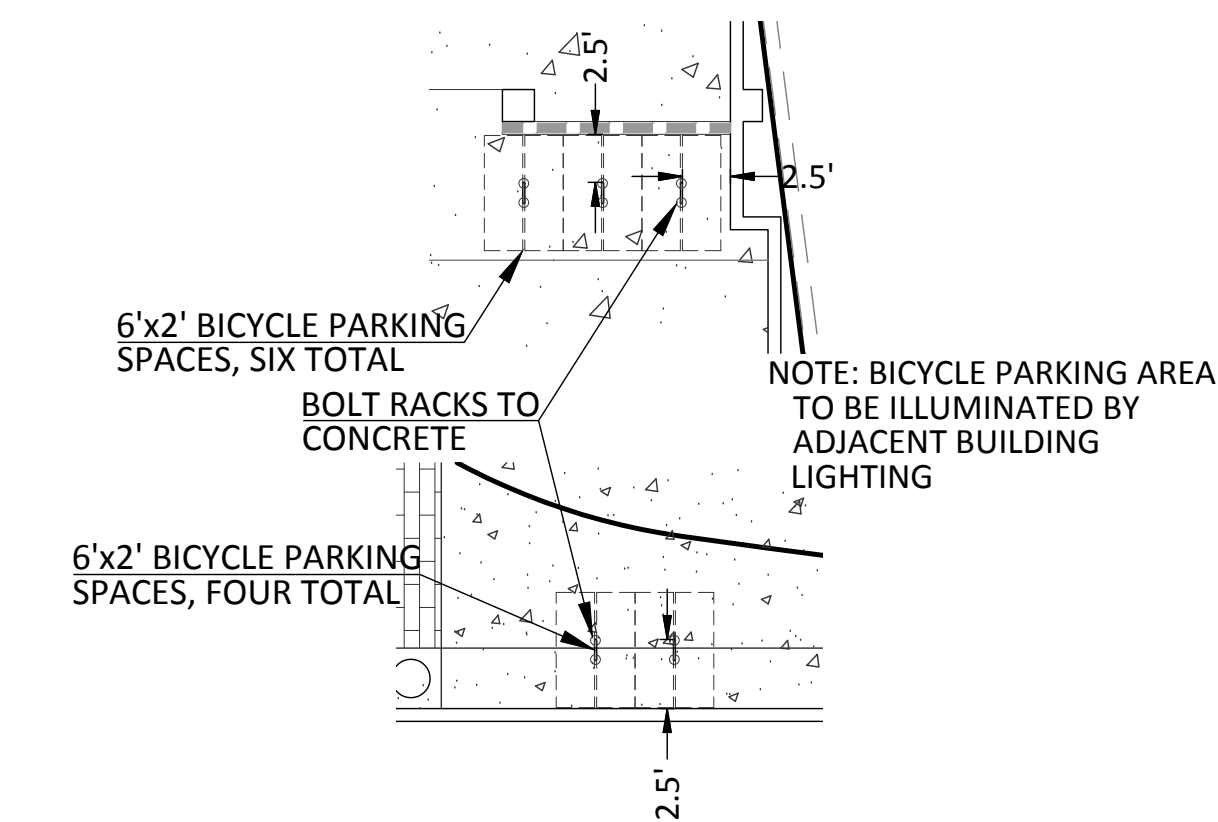
SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - BROADWAY & CHURCH SITE
 utilities & easements plan



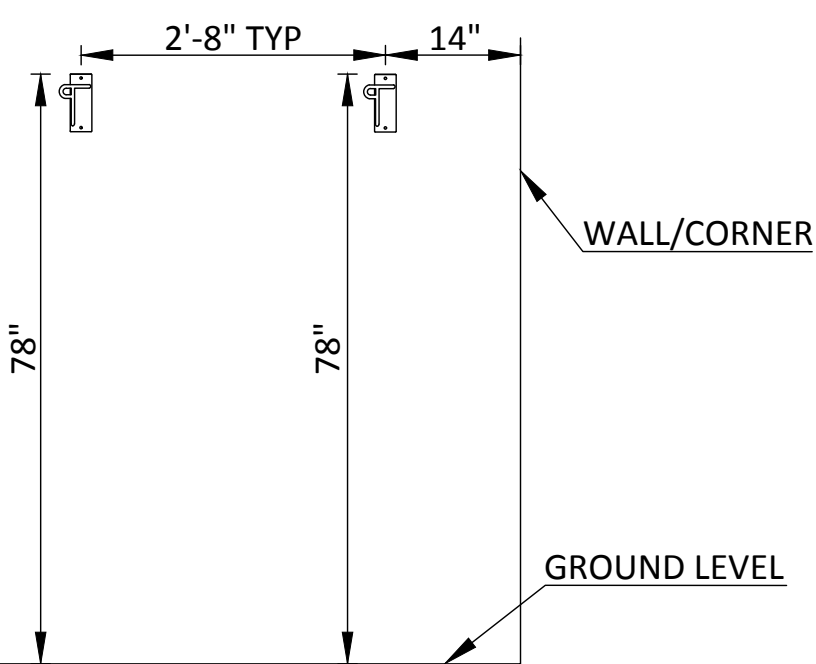
A TYPICAL PAVEMENT SECTION
SCALE: 1"=1'



B BICYCLE RACK (SHORT TERM) SURFACE MOUNT
N.T.S.

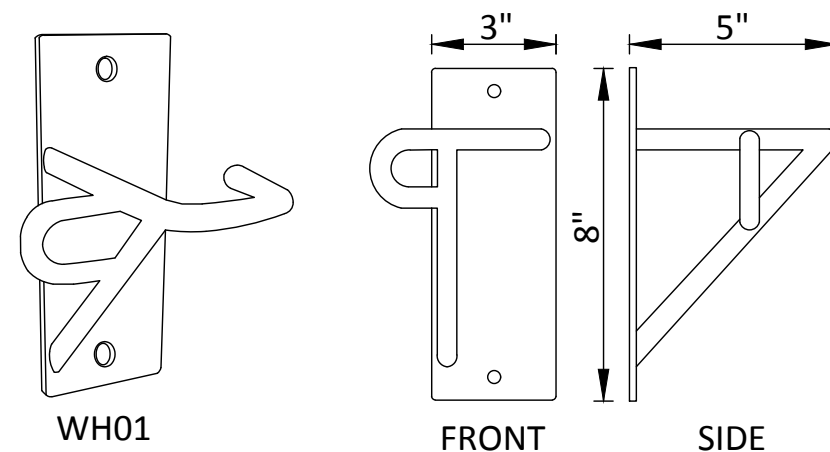


C BIKE RACK/LOCKER SPACING
SCALE: 1"=10'

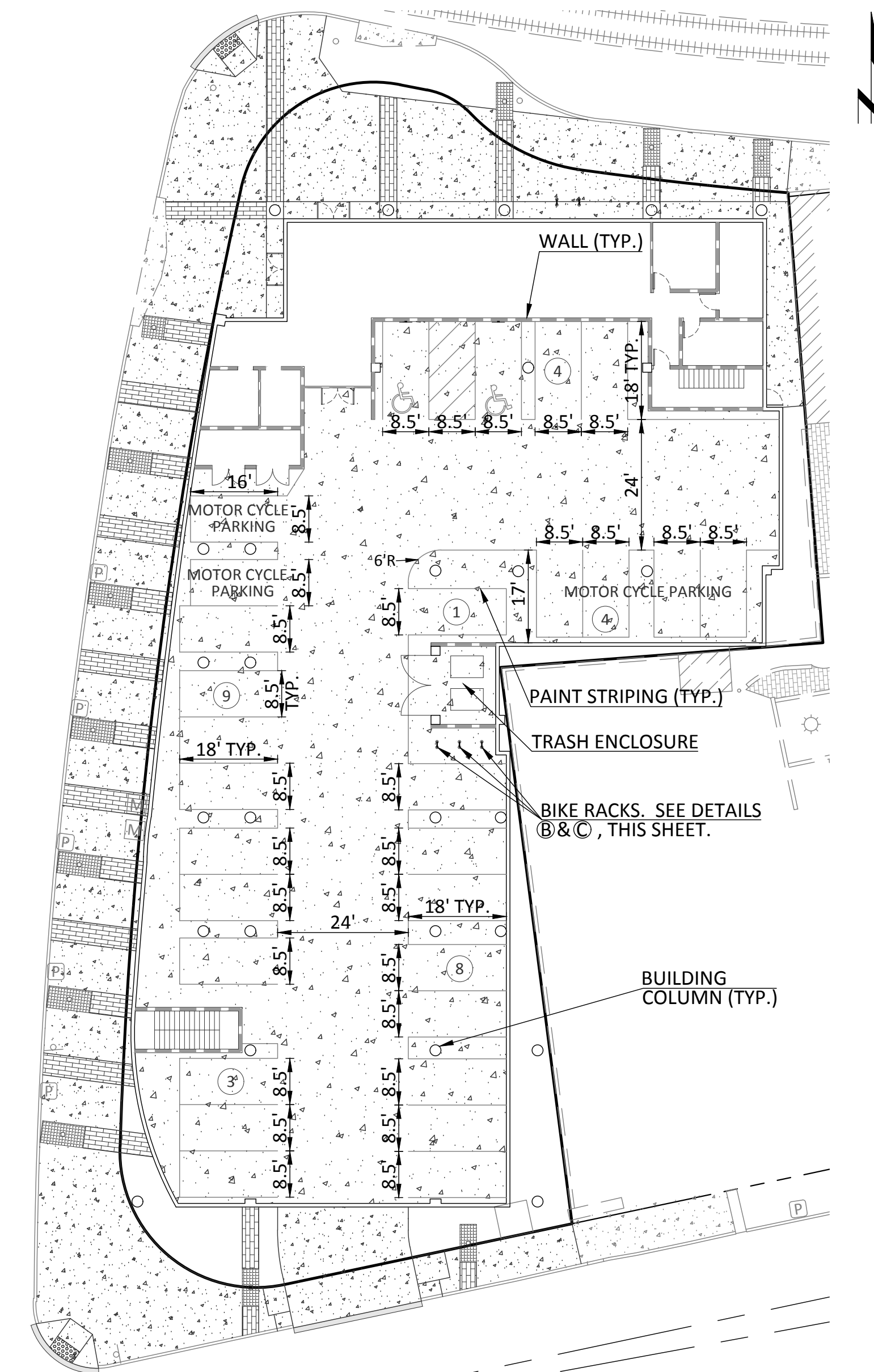


- SPECIFICATIONS:**
- 2 MOUNTING HOLES IDEALLY ACCEPT 3/8" FASTENERS
 - RECOMMENDED RACK SPACING 16" MIN. W/ VERTICAL SLAGGER
 - VERTICAL SLAGGER SHOULD BE 10"
 - GROUND TO TOP OF RACK SHOULD BE 68" FOR FIRST RACK
 - GROUND TO TOP OF SECOND RACK SHOULD BE 78"
 - ALLOW 1' BEFORE YOUR FIRST RACK AND BEYOND YOUR LAST RACK
 - USE PROPER EXPANSION BOLTS OR RAWL SPIKES FOR CONCRETE WALL
 - IF NOT ATTACHED TO STUDS, ADD 3/8" PLYWOOD BACKING
 - FINISH IS POWDER COAT BLACK
 - OVERALL DIMENSIONS: 8" X 3" X 5"
 - HOOK, BRACE, AND U-PIECE MADE OF 3/8" SOLID ROUND DOWEL
 - BASE PLATE CONSISTS OF 12 GAUGE SHEET METAL
 - 1 YEAR STANDARD MANUFACTURER'S WARRANTY

- OPTIONS:**
- AVAILABLE WITH ATTACHED 5' SECURITY CABLE, LOOPED END
 - AVAILABLE WITH ATTACHED 30" HEX CHAIN, 3/8" DIAMETER, HARDENED



D LONG TERM BICYCLE HANGER INTERIOR
N.T.S.

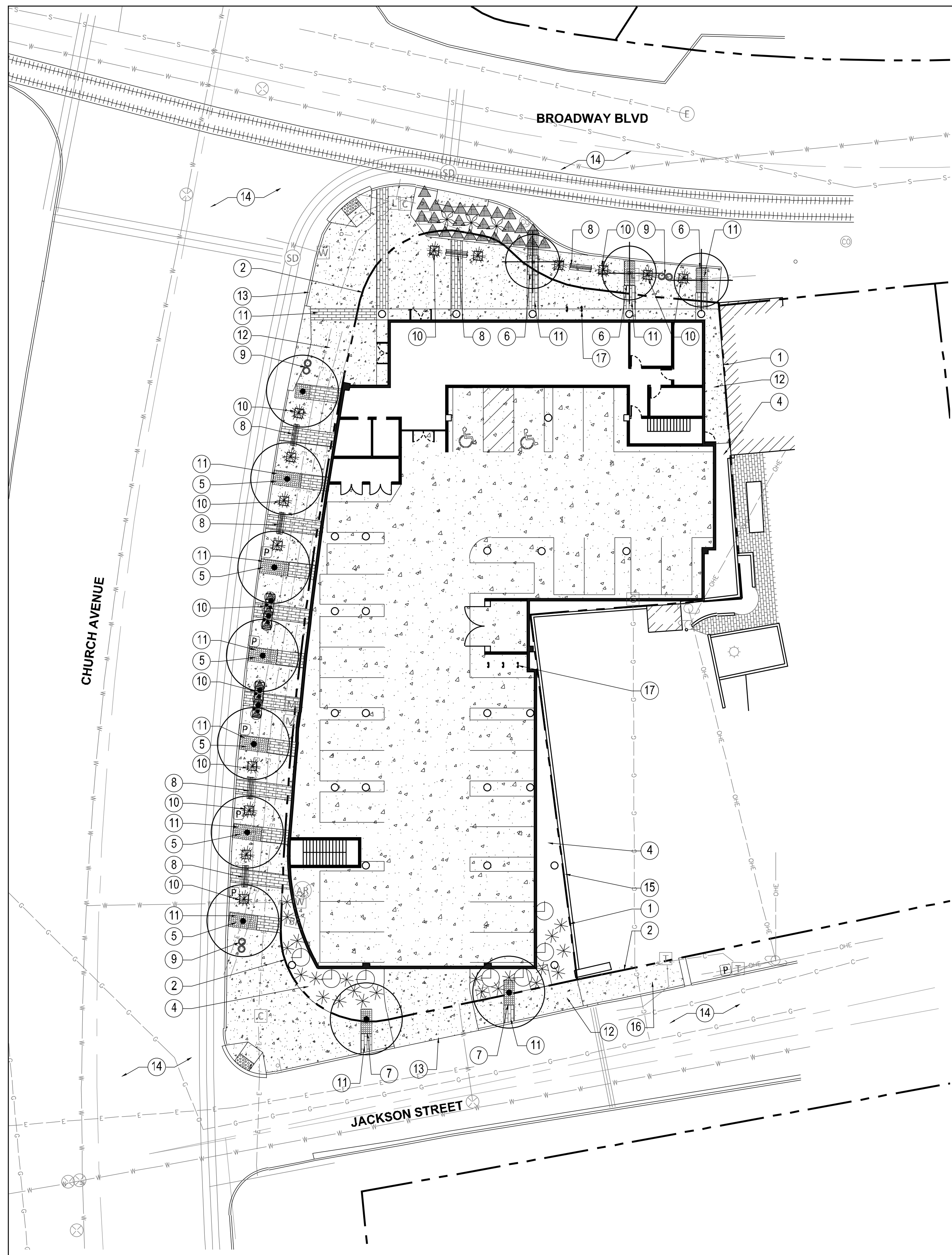


PARKING PLAN - GROUND FLOOR
SCALE: 1"=20'



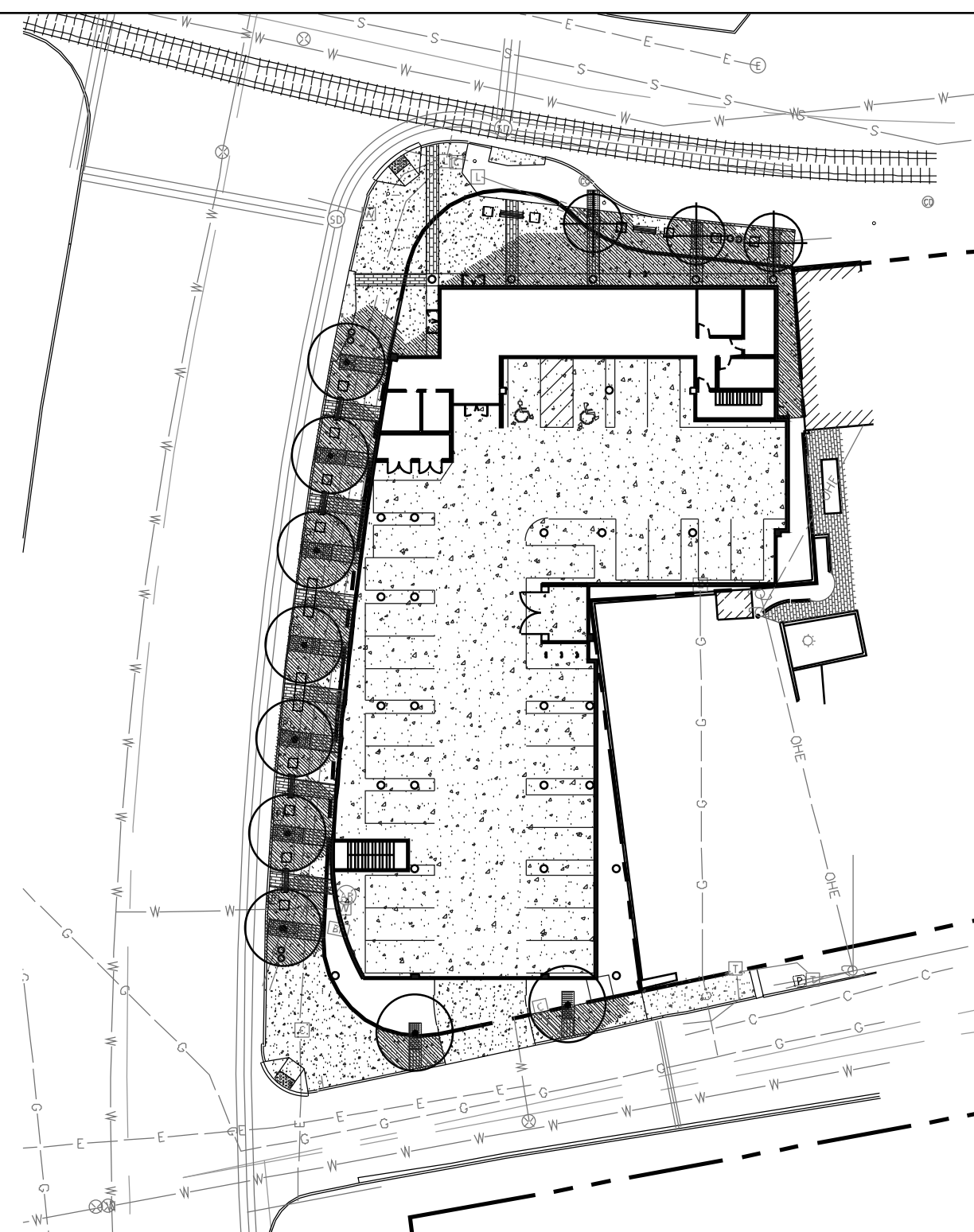
CITY OF TUCSON	DEVELOPMENT PACKAGE PSD APPROVAL
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DVPKG MGR _____ Date _____	
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SITE ADDRESS 111 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701				
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1 LANDSCAPE PLAN

Scale: 1" = 20'



2 SHADE STUDY

Scale: 1" = 40'

SHADE STUDY

public hardscape area 7,928 sf
 public hardscape shade required (50%) 3,964 sf
 public hardscape shade provided 4,486 sf

LANDSCAPE KEY NOTES

1. Property line
2. Right of way line
3. Sight visibility triangle
4. Decorative rock
5. Tree paver grate 48" x 96"
6. Tree paver grate 36" x 84"
7. Half paver grate
8. Bench
9. Waste and recycle receptacles
10. Raised steel planter
11. Pavers - refer to civil
12. Concrete sidewalk - refer to civil
13. Existing concrete curb
14. Existing pavement
15. Existing wall
16. Existing concrete sidewalk
17. Short term bicycle parking

GENERAL LANDSCAPING NOTES:

1. The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
2. For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
3. The Landscape Architect is to approve any and all substitutions.
4. Plant list provided for contractor's convenience only. Plans take precedence.
5. Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
6. Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
7. Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
8. Ground cover and/or decorative rock shall extend under shrubs unless noted.
9. After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
10. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
11. All earthwork is to be done so that all water drains away from all structures.
12. All underground conduits are to be located before digging. If doubt exists call blue stakes.
13. All plant material to be guaranteed for a period of one (1) year after final acceptance.
14. Landscape contractor is responsible for moving, rough grade, and final grading on all landscaped areas.
15. In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
16. All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree should die from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
17. Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
18. Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
19. All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
20. Final plant locations must be in compliance with all utility setback requirements.
21. Sleeve all pipes and wires under paved areas including streets and sidewalks.
22. Irrigation lines are shown schematically; locate all line in unpaved areas.
23. Locate all lines within the property line when possible.
24. The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
25. The landscape and irrigation shall be installed per the associated specifications.
26. All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
27. Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
28. Vegetation within the sight visibility triangle shall not interfere with the visibility plane described by one horizontal line located 30" above finished grade or roadway surface.
29. It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
30. The owner understands that if the city of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
31. The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
32. The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
33. The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
34. Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

LANDSCAPE LEGEND

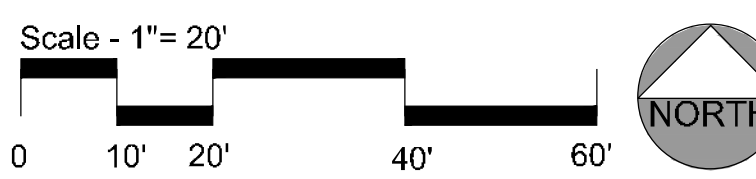
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance. Landscape Architect to hand select and tag all trees for project.

Trees	Size	Qty
<i>Celtis reticulata</i> <i>netleaf hackberry</i>	36" box	9
<i>Sophora secundiflora</i> <i>texas mountain laurel</i>	36" box	3
Shrubs / Succulents	Size	Qty
<i>Salvia clevelandii</i> <i>cleveland sage</i>	5 gallon	7
<i>Euphorbia antisiphilitica</i> <i>candellila</i>	5 gallon	26
<i>Pedilanthus macrocarpus</i> <i>slipper plant</i>	5 gallon	14
<i>Hesperaloe parviflora</i> <i>brakelights yucca</i>	5 gallon	22
<i>Hesperaloe funifera</i> <i>giant hesperaloe</i>	5 gallon	3
<i>Lophocereus schottii</i> <i>totem pole cactus</i>	15 gallon	4
Ground Covers / Vines	Size	Qty
<i>Setcreasea pallida</i> <i>purple heart</i>	1 gallon	6

HARDSCAPE/ GROUND COVER MATERIALS LEGEND

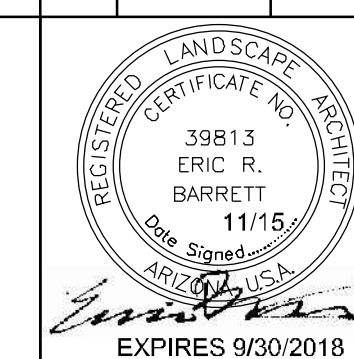
Furnish and install all material per plans, details, and specs.
 Concrete plaza and sidewalks
 concrete sidewalk - refer to civil

- Decorative rock
 1/2" screened rock - 2" depth - pioneer materials
 - santa fe brown
- Tree grate - 1
 ironsmith - paver-grate® w/ modified 8" tree opening, 48" x 96" grate
- Tree grate - 2
 ironsmith - paver-grate® w/ modified 8" tree opening, 36" x 84" grate
- Short term bicycle parking
 bicycle rack - dw windsor, arc bicycle rack, painted platinum grey
- Waste receptacle
 landscape forms - chase park litter receptacles, top-opening w/ logo band, olive color
- Benches
 landscape forms - towne square bench, olive color
- Raised planter
 steel plate planter - refer to detail



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
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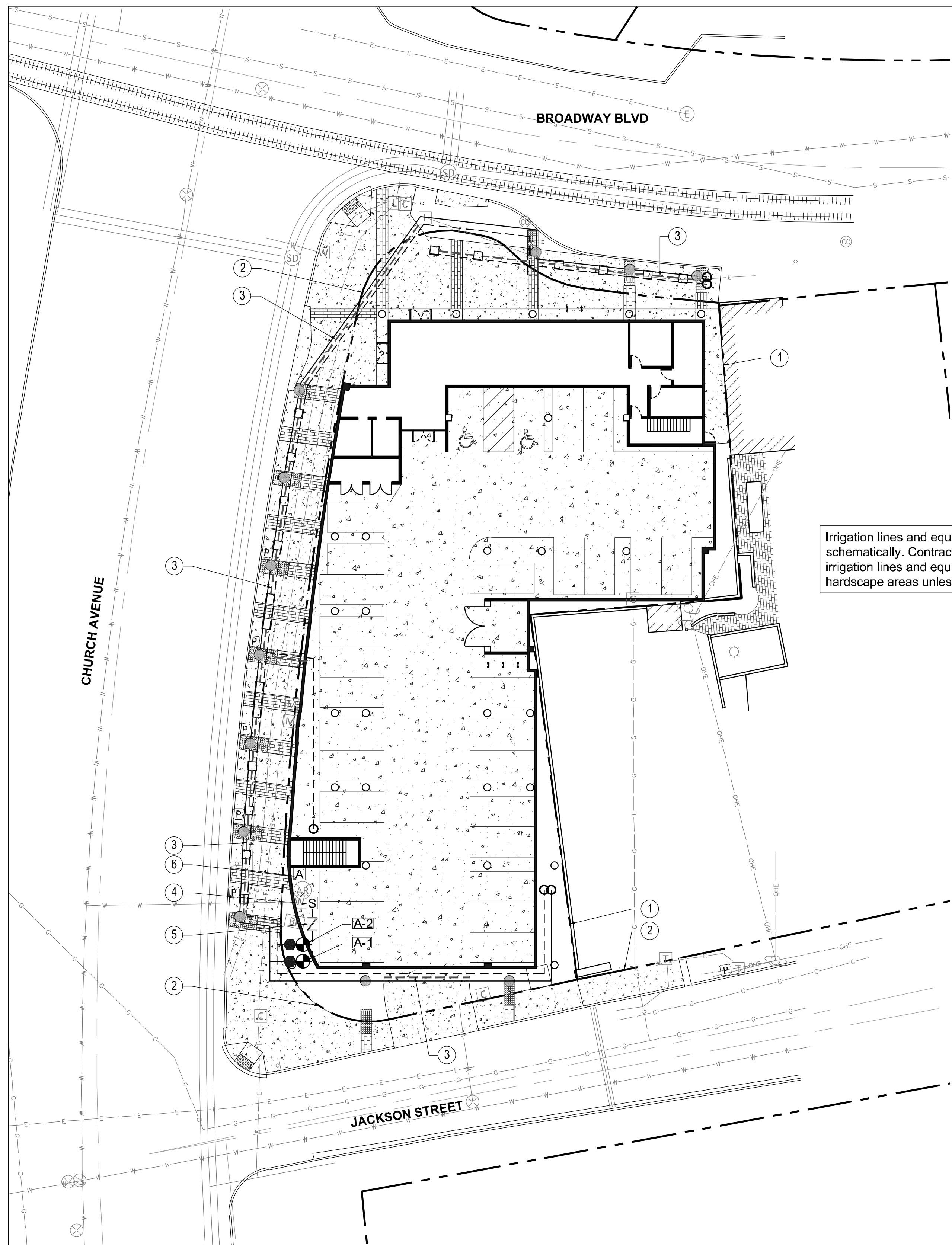


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 tucson, arizona 85716
 ph: 520.561.4983
 e: jphunt@cypresscivil.com

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LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

SITE DEVELOPMENT PLAN for DIOCESE TUCSON landscape plan



Irrigation lines and equipment are shown schematically. Contractor shall locate all irrigation lines and equipment outside of hardscape areas unless otherwise noted.

- IRRIGATION KEY NOTES**
- Property line
 - Right of way line
 - Irrigation sleeve
 - Irrigation source
 - Backflow preventer

EMITTER SCHEDULE

Type	Outlets	Gph outlet	Gph plant
Trees			
Celtis reticulata	m	6	2.0 12.0
nelleaf hackberry			
Sophora secundiflora	m	4	2.0 8.0
texas mountain laurel			
Shrubs / Succulents			
Salvia clevelandii	s/m	2	2.0 4.0
cleveland sage			
Euphorbia antisiphilitica	s/m	1	1.0 1.0
candellilla			
Pedilanthus macrocarpus	s/m	1	1.0 1.0
slipper plant			
Hesperaloe parviflora	s/m	1	1.0 1.0
brakelights yucca			
Hesperaloe funifera	s/m	1	1.0 1.0
giant hesperaloe			
Lophocereus schoti	s/m	1	0.5 0.5
totem pole cactus			
Ground Covers / Vines			
Setcreasea pallida	s/m	1	1.0 1.0
purple heart			

- IRRIGATION LEGEND**
- irrigation source / point of connection - irrigation meter - 5/8" (refer to civil water plans)
 - reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
 - irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
 - irrigation controller - toro evolution series 4 station w/ smart connect - evo-4-od-sc, evo-ws
 - remote control valve & filter - valve - iritrol 700 series, 700-1; filter - rain bird rby-100-150mx
 - irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
 - tree line - sch. 40 pvc - 3/4" unless otherwise shown
 - shrub line - sch. 40 pvc - 3/4" unless otherwise shown
 - hose end cap
 - pressure regulator - senniger - pmr-30-mf
 - multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
 - single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

- IRRIGATION NOTES:**
- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
 - Water harvesting collection is passive water harvesting integrated into the site with depressions.
 - The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
 - Contractor shall notify architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
 - Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
 - If contractor fails to take, provide report and pressure is below design pressure, contractor shall make irrigation adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
 - Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to notify architect of sleeving layout prior to installation.
 - Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
 - Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
 - Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with et operation at completion of project.
 - Contractor shall set additional programs on controller for deep root watering and plant growth from march thru June.
 - Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
 - Contractor shall have the irrigation functional, prior to start of planting.

IRRIGATION VALVE SCHEDULE

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-3	1"	not used
A-2	1"	shrub	A-4	1"	not used

- VALVE SCHEDULE NOTES:**
- Valve calculation is an estimate, contractor shall provide final valve flow in gallons per minute on as-built plans.
 - (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material. Only tree multi-port emitters shall be installed in emitter box per the project details.
 - Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

1 IRRIGATION PLAN

Scale: 1" = 20'



ARC STUDIOS
A TRUST COMPANY
5781 N. PISCATAWAY
Tucson, Arizona 85718
phone: 520.882.9655
www.arcstudioinc.com

landscape architecture . urban design .
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Scale - 1" = 20'

CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

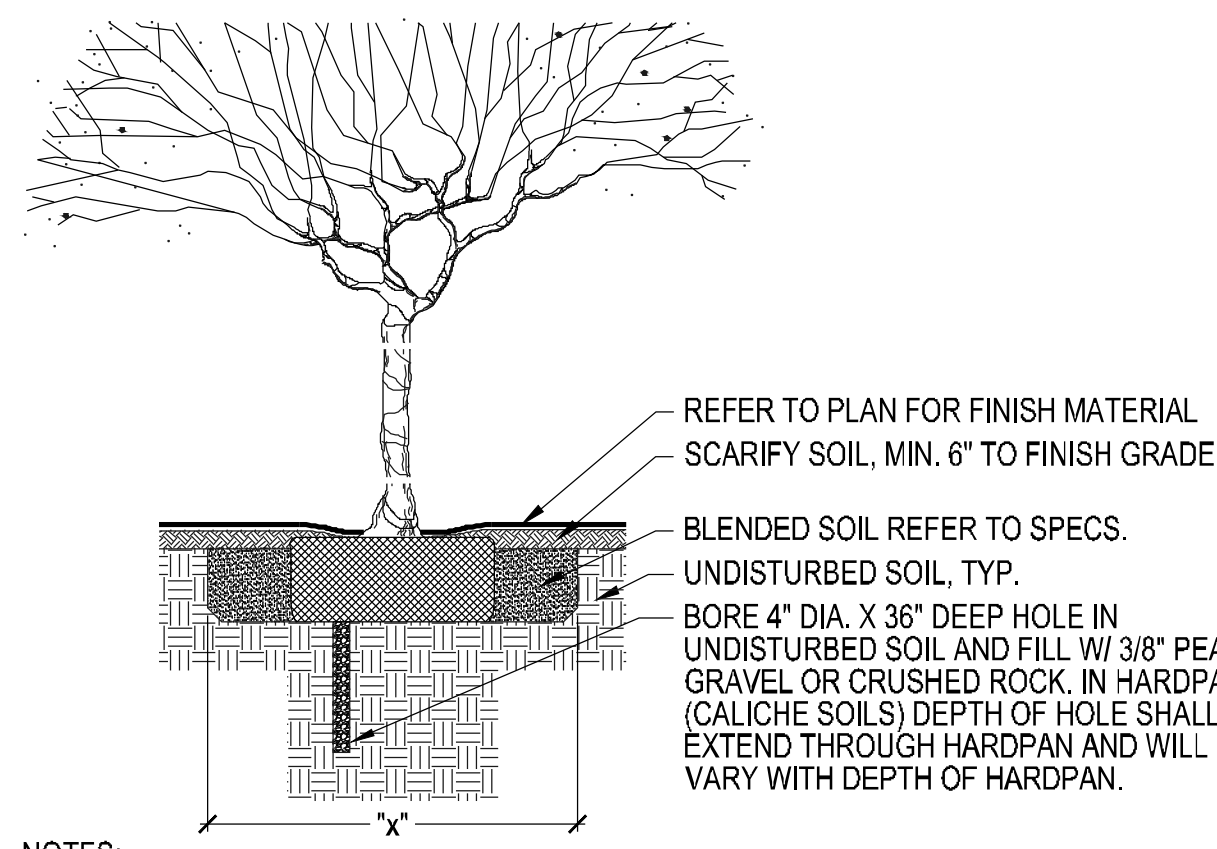
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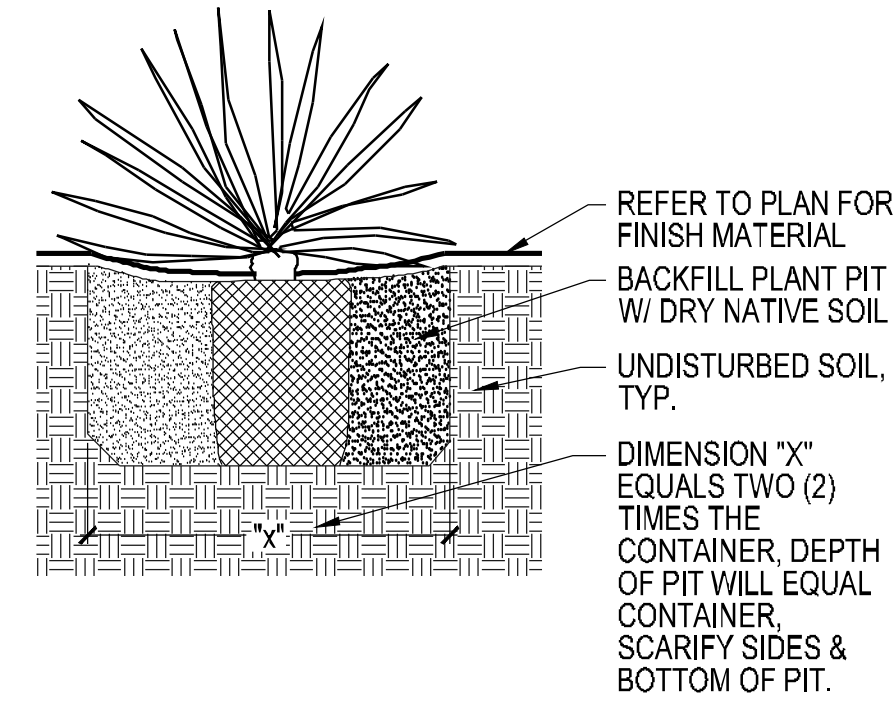
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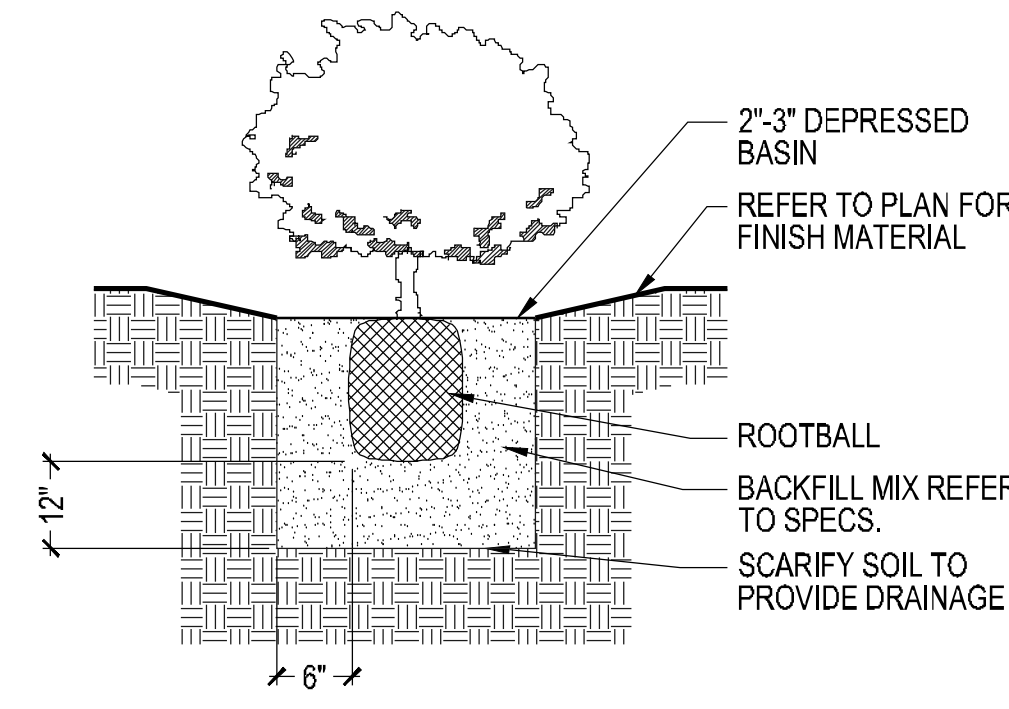
**SITE DEVELOPMENT PLAN for
DIOCESE TUCSON
irrigation plan**



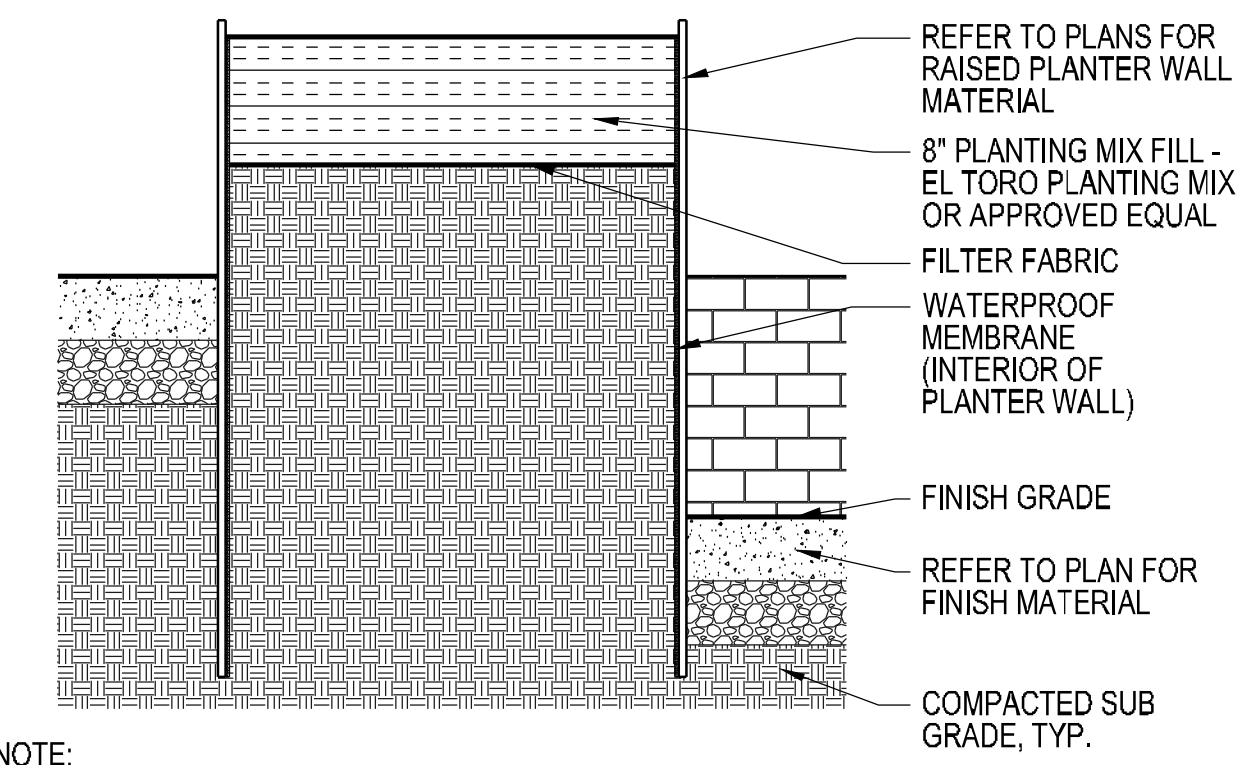
- NOTES:
1. DIMENSION "X" EQUALS FOUR (4) TIMES THE BOX WIDTH. DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
 2. SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
 3. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 4. DO NOT COVER CROWN WITH SOIL.



- NOTES:
1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 2. DO NOT COVER CROWN WITH SOIL.
 3. SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.



- NOTES:
1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 2. DO NOT COVER CROWN WITH SOIL.
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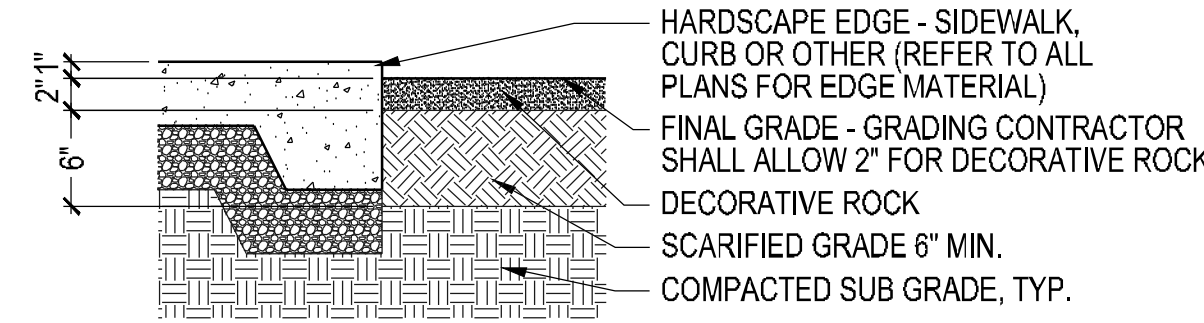
- NOTE:
1. EL TORO PLANT MIX, A BLEND OF COMPOSTED FINELY SCREENED EL TORO FOREST MULCH MIXED WITH FINELY SCREENED NATIVE TOPSOIL, WASHED MORTAR SAND, 90 % SOIL SULFUR AND 16-20-0 AMMONIUM PHOSPHATE FERTILIZER OR APPROVED EQUAL.
 2. CONTRACTOR SHALL REMOVE EXISTING SUBGRADE SOIL AND BACKFILL WITH PLANTING MIX.
 3. CONTRACTOR SHALL ENSURE SUBGRADE DRAINS WITHIN 4 HOUR PERIOD. CONTRACTOR SHALL PROVIDE DRAINAGE CHIMNEYS 6' ON CENTER TO AREAS WHERE SUBGRADE DOES NOT DRAIN.

1 36IN BOX OR LARGER - TREE PLANTING NTS

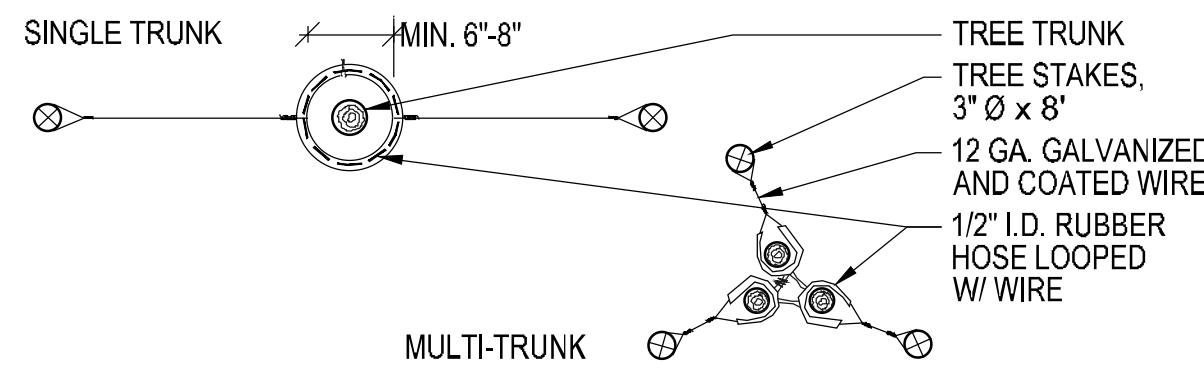
2 ACCENT PLANTING NTS

3 SHRUB PLANTING NTS

4 RAISED STEEL PLANTER NTS



5 FINAL GRADE HARDSCAPE TO DEC. ROCK NTS



6 TREE STAKING NTS

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 Tucson, Arizona 85718
 phone: 520.882.9655
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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan SCZ
 Tentative Plat FRZ
 Grading HDZ
 SWPPP WASH
 FUP Other

DVPKG MGR _____ Date _____
 Zoning _____ Date _____
 Engineering _____ Date _____
 H/C Site _____ Date _____
 Fire _____ Date _____
 Landscape _____ Date _____
 PL/ME _____ Date _____
 Revision # _____ per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FOUNDATION FOR SENIOR LIVING 1201 EAST THOMAS ROAD PHOENIX, ARIZONA 85014 ATTN: MR. STEVE HASTINGS PH: (602) 285-1800 ext. 139 EMAIL: shastings@fsl.org
				SITE ADDRESS 111 SOUTH CHURCH AVENUE TUCSON, ARIZONA 85701

CYPRESS PROJECT NO: 15.087-D

CYPRESS CIVIL DEVELOPMENT
 strength + sustainability

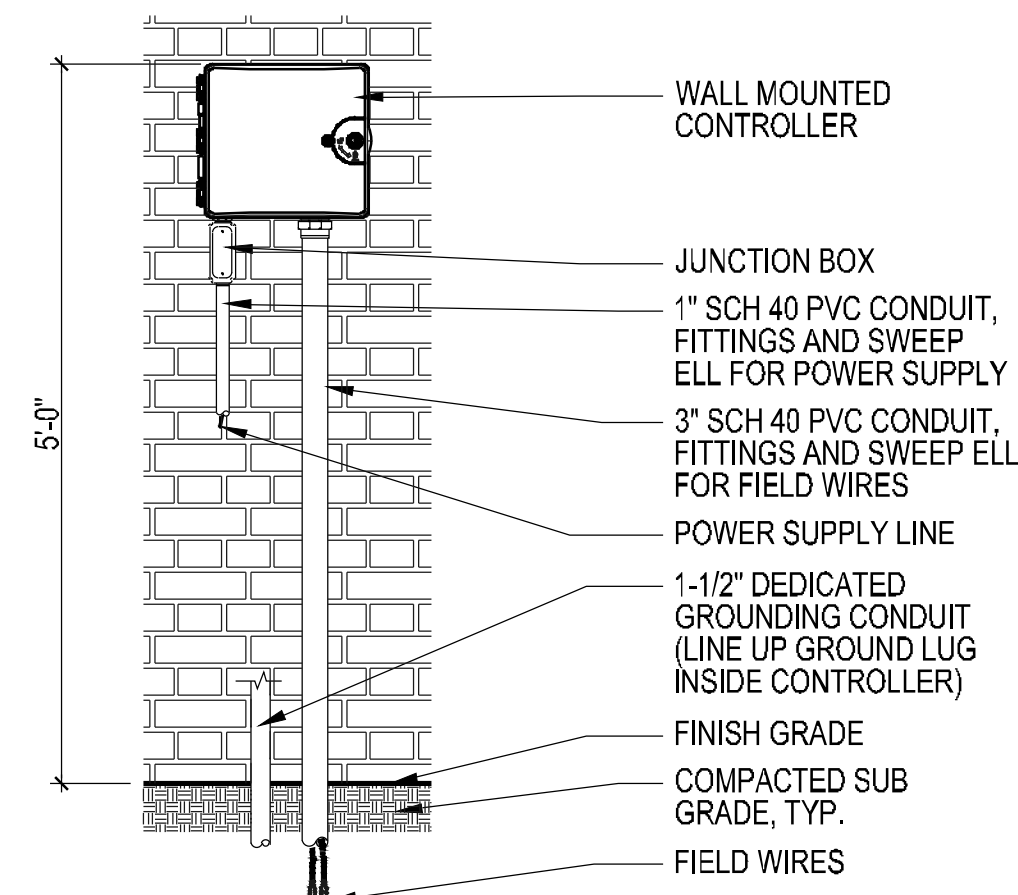
2102 north country club road
 suite #9
 tucson, arizona 85716
 ph: 520.561.4983
 e: jphunt@cypresscivil.com

REGISTERED LANDSCAPE ARCHITECT
 39813 ERIC R. BARRETT
 11/15
 EXPIRES 9/30/2018

LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

SITE DEVELOPMENT PLAN for DIOCESE TUCSON landscape details

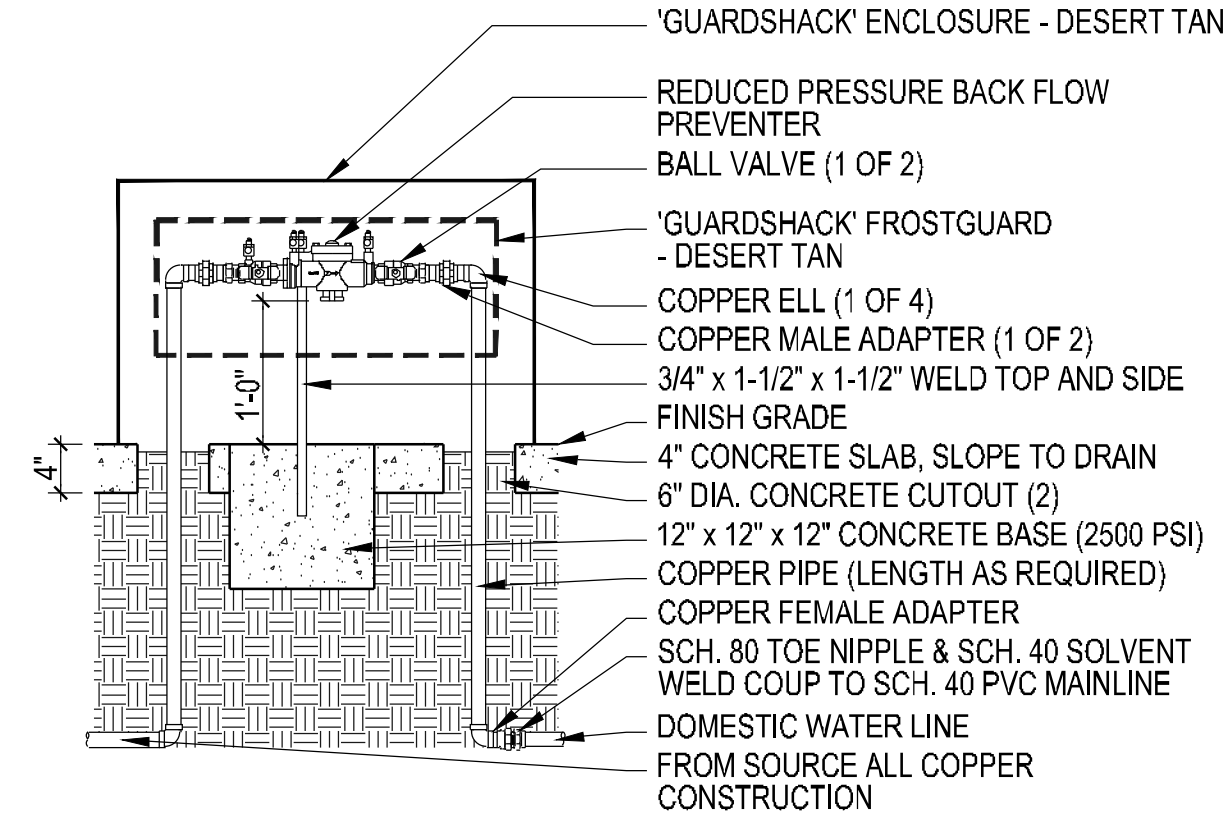




- NOTES:
1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

1 WALL MOUNTED CONTROLLER

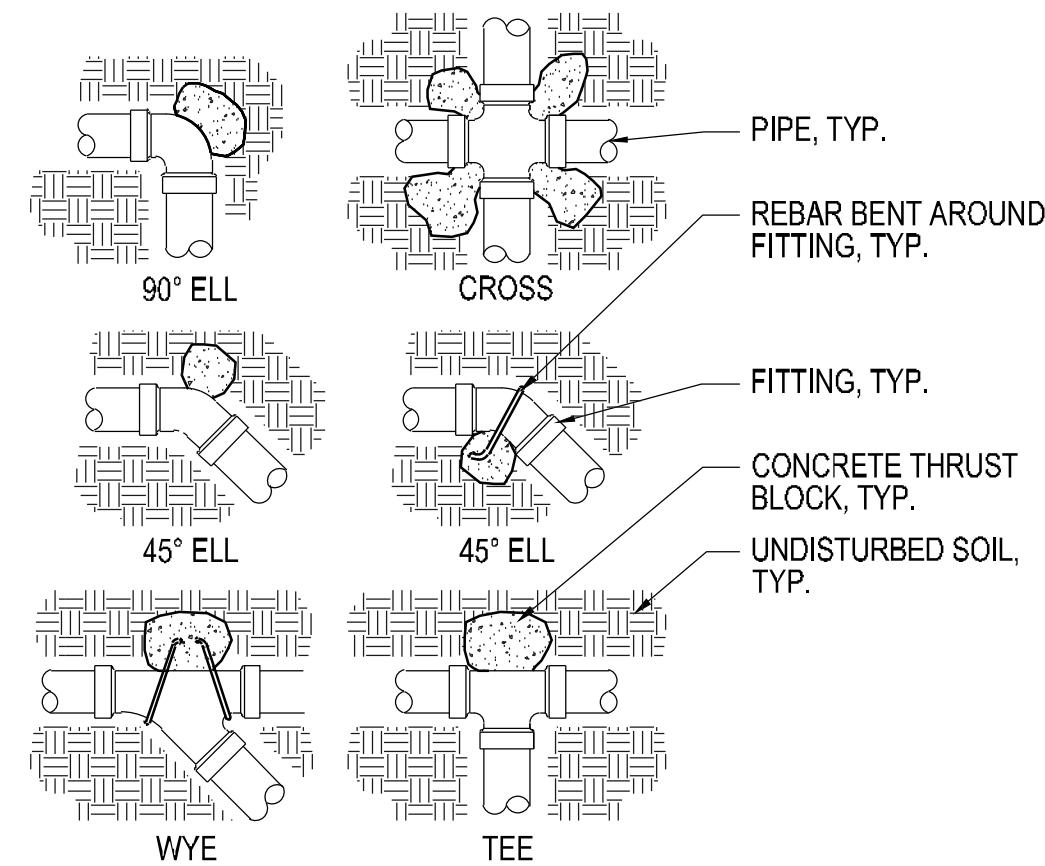
NTS



- NOTES:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
 2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)
 3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.

2 REDUCED PRESSURE BACKFLOW PREVENTER

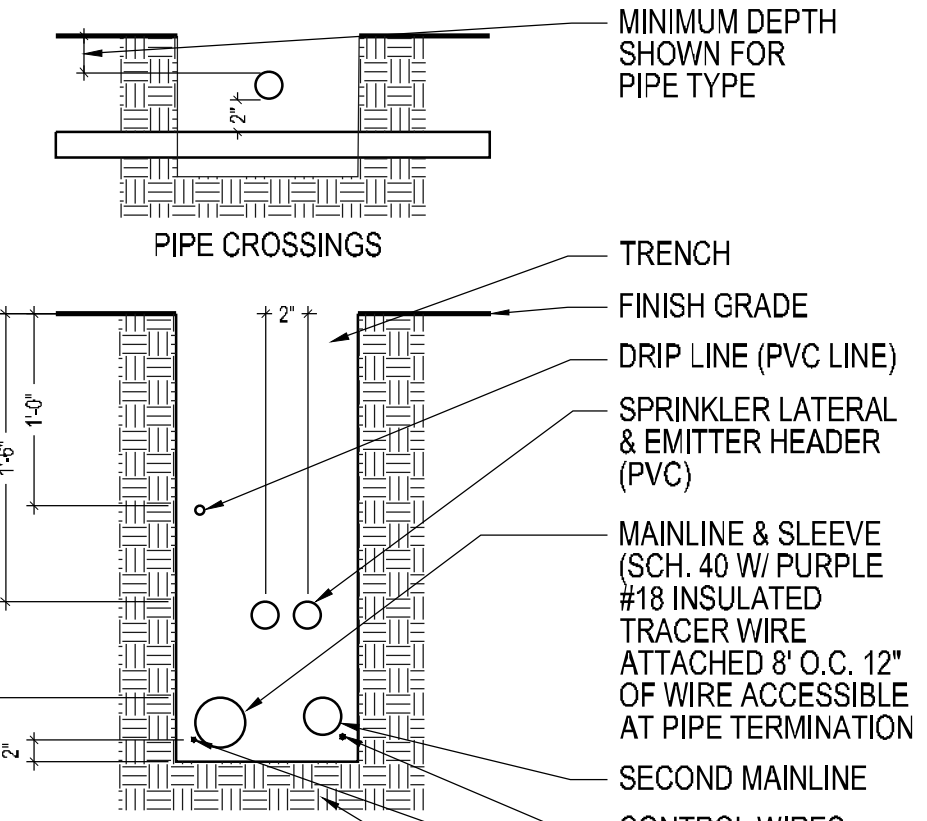
NTS



- NOTES:
1. SUPPLY LINES 2-INCHES IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.
 2. 1 CUBIC FOOT OF CONCRETE TO BE USED FOR THRUST BLOCK.
 3. WRAP PLASTIC SHEETING AROUND PIPE WHERE IT CONTACTS CONCRETE.

3 MAIN LINE THRUST BLOCK

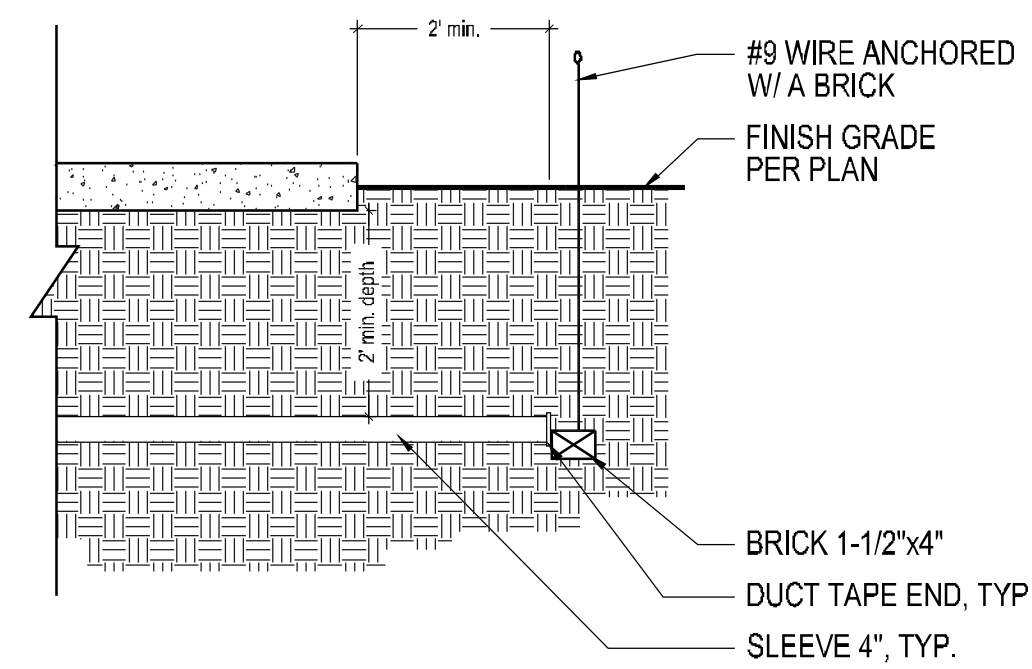
NTS



- NOTES:
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
 2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.
 3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.

4 IRRIGATION TRENCHING

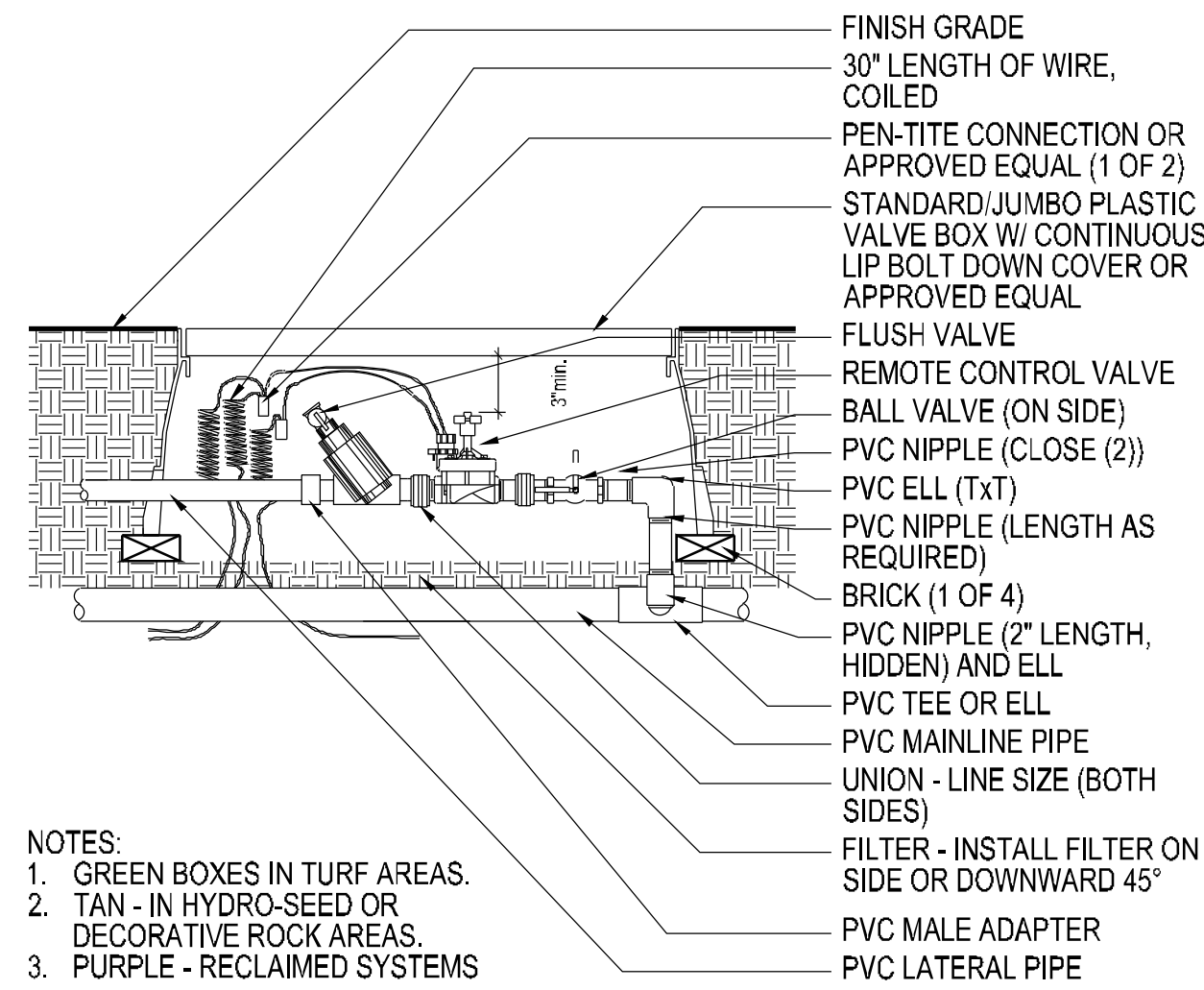
NTS



- NOTES:
1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 2" MINIMUM ABOVE FINISH GRADE.
 4. MECHANICALLY TAMP TO 95% PROCTOR.

5 SLEEVING

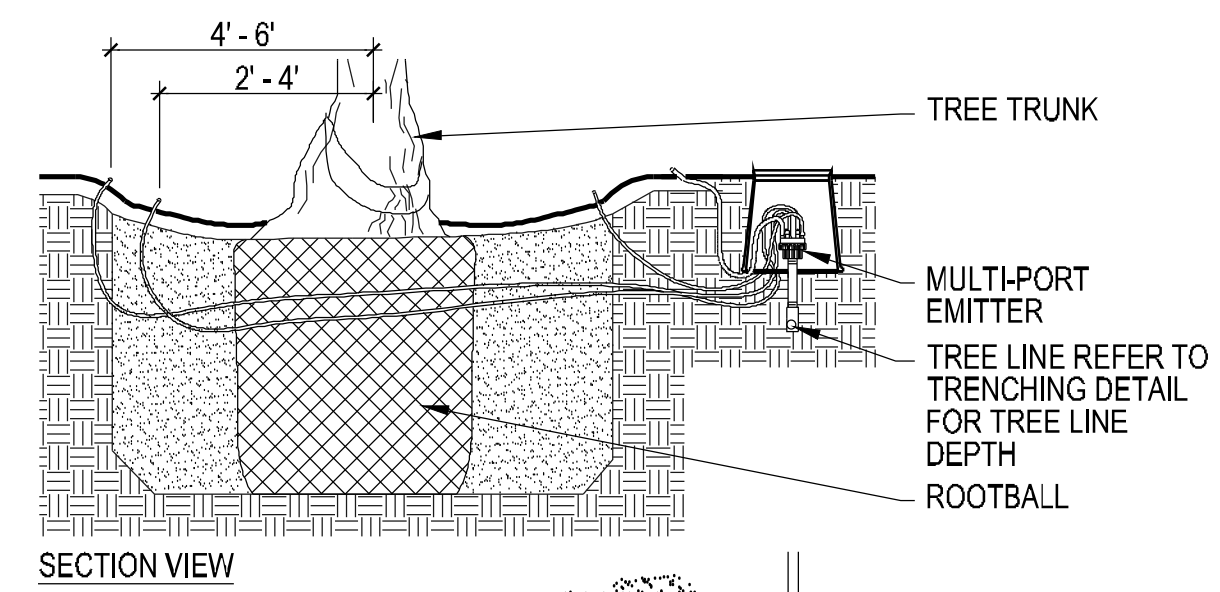
NTS



- NOTES:
1. GREEN BOXES IN TURF AREAS.
 2. TAN - IN HYDRO-SEED OR DECORATIVE ROCK AREAS.
 3. PURPLE - RECLAIMED SYSTEMS

6 REMOTE CONTROL VALVE - DRIP/BUBBLER

NTS



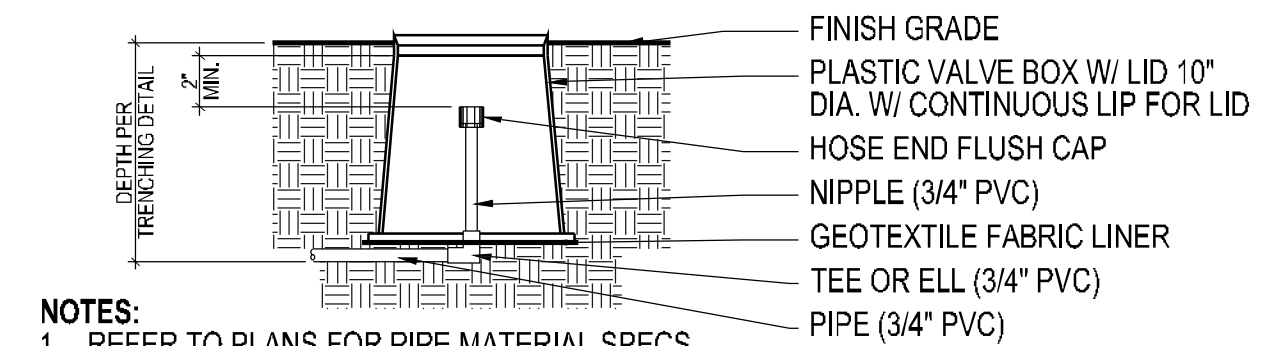
LOCATE DISTRIBUTION TUBING FROM TRUNK OF TREE:

- 2 @ 2'-4" FROM TRUNK
- 3 @ 4'-8" FROM TRUNK
- 3 @ 6'-8" FROM TRUNK

- NOTES:
1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

7 MULTI-PORT EMITTER DRIP TUBING @ TREE

NTS



- NOTES:
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

8 HOSE END CAP

NTS

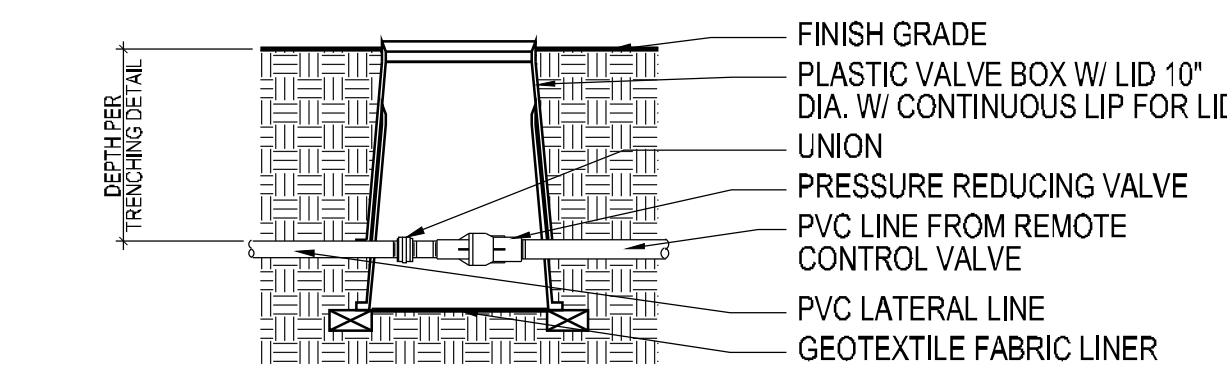
NOTES:

1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC.
2. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC.
3. PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
4. MAIN LINE - SCH. 80 FITTINGS.
5. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
6. PRESSURE TESTS, 4 HOURS:
 - MAIN LINE AT 150 PSI
 - LATERALS AND DRIP LINE AT 70 PSI

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

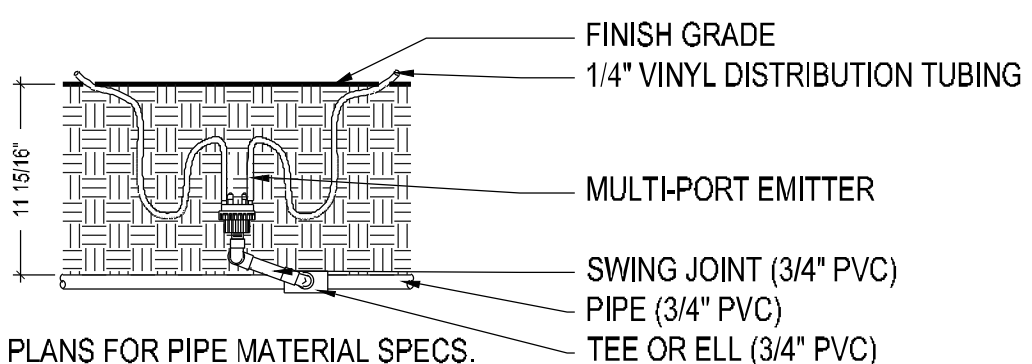
10 SINGLE OUTLET EMITTER

NTS



12 PRESSURE REDUCING VALVE

NTS



- NOTES:
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

11 MULTI-PORT EMITTER

NTS

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CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

Site/Dev Plan SCZ
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				SITE ADDRESS 2102 north country club road suite #9 tucson, arizona 85716 ph: 520.561.4983 e: jphunt@cyresscivil.com
				SITE DEVELOPMENT PLAN for DIOCESE TUCSON irrigation details

CYPRESS PROJECT NO: 15.087-D

CYPRESS CIVIL DEVELOPMENT
strength + sustainability

REGISTERED LANDSCAPE ARCHITECT
 39813 ERIC R. BARRETT
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LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA





PRE-APPLICATION INFORMATION

Zoning Administration Process Overview: A project may be subject to various reviews and criteria depending on the scope of work and the Unified Development Code (UDC). Please note that your projects may not be subject to review by all review authorities used in the table below. The Zoning Administration processes at Planning and Development Services Department (PDSD) include:

Review Process	Review Authorities	PDSD Planning Contact
Design Development Option (DDO) [UDC Section 3.11.1]	Design Review Board (DRB)	Michael Taku – (520) 837-4963 Russlyn Wells – (520) 837-4948
Flexible Lot Development (FLD) [UDC Section 8.7.3]	Design Professional	Frank Dillon – (520) 837-6957
Historic Preservation Zone (HPZ) [UDC Section 5.8]	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission (T-PCHC) Plans Review Subcommittee (PRS)	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
Infill Incentive District (IID) [UDC Section 5.12]	1. Neighborhood Liaison 2. Design Professional 3. T-PCHC PRS 4. Design Review Committee (IID-DRC)	Frank Dillon – (520) 837-6957 Carolyn Laurie – (520) 837-4953
Individual Parking Plan (IPP) [UDC Section 7.4.5.A]		Mark Castro – (520) 837-4979
Main Gate District (MGD) Design [MGD Policy]	1. Neighborhood Historic Advisory Board 2. T-PCHC PRS 3. Main Gate District Design Review Committee (MGD-DRC)	Frank Dillon – (520) 837-6957 Jim Mazzocco – (520) 837-6964
Neighborhood Preservation Zone (NPZ) [UDC Section 5.10]	Design Professional	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
Rio Nuevo Area (RNA) (formerly RND) [UDC Section 5.12.7]	1. T-PCHC PRS 2. Design Review Board (DRB)	Frank Dillon – (520) 837-6957 Michael Taku – (520) 837-4963
Variations [UDC Section 3.10.3]	Design Review Board (DRB) Board of Adjustment (B/A)	Mark Castro – (520) 837-4979 Russlyn Wells – (520) 837-4948

UDC Compliance Review: All projects must **FIRST** be submitted for compliance review at the PDSD 1st floor, 201 North Stone Avenue, (520) 791-5550. The UDC compliance comments for the project are generated by PDSD staff after completing their review of the detailed development package submitted for the project to ensure that all needed modifications are identified.

Pre-Application Meeting: Once you have completed the following Application Form (Page 2) and obtained the Submittal Requirements (Page 3). Applications for pre-submittal conferences must include a completed application form submitted by 4:30 PM, seven (7) working days prior to the requested conference date with the \$100 fee, payable to *The City of Tucson*. Staff will fill out the Case Information (Page 4) and advise applicants on any additional UDC requirements to complete the application package to initiate the review process.



APPLICATION

Case Number _____

Date Accepted: _____

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): **Mid-rise: Diocese Office Building**

Property Address: **111 S Church Avenue**

Applicable Area/Neighborhood/Overlay: **Downtown Core Subdistrict**

Zoning: **OCR-2**

Legal Description: **PUEBLO CENTER REDEVELOPMENT PROJECT ARIZONA R-8 BLK 507 EXC RD**

Pima County Tax Parcel Number/s: **117-20-015a**

Site and Building Area (sq ft): **18,700 SF and 90,000 SF**

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: **Matt Stuart**

ADDRESS: **2102 North Country Club Road # 9 Tucson, Arizona 85716**

PHONE: (520) 561-4983

FAX: (520) 798-3341

EMAIL: **mstuart@cypresscivil.com**

PROPERTY OWNER NAME (If ownership in escrow, please note): **Saint Augustine Cathedral Roman Catholic Parish Tucson**

PHONE: (520) 623-6351

FAX: ()

PROJECT TYPE (check all that apply):

() New building on vacant land

() Change of use to existing building

New building on developed land

() New addition to existing building

() Other

Related Permitted Activity Number(s): **DP15-0196**

DESCRIPTION OF USE: **Multi-family residential**

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

11/24/2015

SIGNATURE OF OWNER/APPLICANT

Date



SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

✓	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
✓	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
✓	3. Project statement outlining scope of work.
✗	4. UDC compliance review comments (obtained at the 1 st floor). In Review
✓	5. Pima county assessor's record parcel detail and record map.
✓	6. Color aerial photograph of subject property (if applicable).
✓	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
✓	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
✓	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
✓	10. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
✓	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
✓	12. PDF of all above listed items (number of hard copies may be required).
✓	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.



CASE INFORMATION

(To be completed by PDS staff at pre-application meeting)

CASE INFORMATION

Case Number (E.g. HPZ-14-11, IID-15-01): _____

Related Permitted Activity Number(s): _____

Review Process (E.g. HPZ, DDO, IID – Major/Minor): _____

Applicable Fees: _____

Pre-Application Accepted by: _____

Date

Pre-Application Meeting scheduled for: _____

Date

Additional Notes: _____

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.): _____



November 3, 2015

The City of Tucson
Planning and Engineering Department
201 North Stone Avenue
Tucson, Arizona 85701

RE: Diocese Building, 111 S. Church Avenue

Dear City of Tucson:

This shall serve as an authorization letter that will allow Cypress Civil Development to act as an authorized agent and submit the Development Plan and Infill Incentive District documents for the above referenced project.

Please feel free to contact me should you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to be 'J Barraclough', is written above a solid horizontal line.

John Barraclough
Foundation for Senior Living
602-285-1800, ext. 139
jbarraclough@fsl.org