

# CYPRESS

## CIVIL DEVELOPMENT

TRANSMITTAL SHEET

**TO:** City of Tucson Development Services Dept. **DATE:** November 30<sup>th</sup>, 2015  
201 North Stone Avenue **JOB NO.:** 15.087  
Tucson, Arizona 85701 **RE:** Marist College  
Attn: Frank Dillon IID 1<sup>st</sup> Submittal

**We are sending you:**

COPIES	DATE	DESCRIPTION
1	11/30/2015	IID Application
1	11/30/2015	Signed Owner Authorization Letter
1	11/30/2015	Assessor Record Map
1	11/30/2015	Assessor Parcel Detail
20	11/30/2015	IID Design Package
1	11/30/2015	Draft Lease Option
1	11/30/2015	Credit card payment in the amount of \$506.00 for review fees

**THESE ARE TRANSMITTED AS CHECKED BELOW:**

For approval   
  As requested   
  For review and comment   
  For your use


**REMARKS:**

If you have any questions, please feel free to call.

Thank you,  
Jeff

SIGNED:  Jeff Hunt, Principal

COPY TO: File 15.087

RECEIVED BY:   
 DATE: 11/30/2015



**PRE-APPLICATION INFORMATION**

**Zoning Administration Process Overview:** A project may be subject to various reviews and criteria depending on the scope of work and the Unified Development Code (UDC). Please note that your projects may not be subject to review by all review authorities used in the table below. The Zoning Administration processes at Planning and Development Services Department (PDSD) include:

<b>Review Process</b>	<b>Review Authorities</b>	<b>PDSD Planning Contact</b>
<b>Design Development Option (DDO)</b> [UDC Section 3.11.1]	Design Review Board (DRB)	Michael Taku – (520) 837-4963 Russlyn Wells – (520) 837-4948
<b>Flexible Lot Development (FLD)</b> [UDC Section 8.7.3]	Design Professional	Frank Dillon – (520) 837-6957
<b>Historic Preservation Zone (HPZ)</b> [UDC Section 5.8]	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission (T-PCHC) Plans Review Subcommittee (PRS)	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
<b>Infill Incentive District (IID)</b> [UDC Section 5.12]	1. Neighborhood Liaison 2. Design Professional 3. T-PCHC PRS 4. Design Review Committee (IID-DRC)	Frank Dillon – (520) 837-6957 Carolyn Laurie – (520) 837-4953
<b>Individual Parking Plan (IPP)</b> [UDC Section 7.4.5.A]		Mark Castro – (520) 837-4979
<b>Main Gate District (MGD) Design</b> [MGD Policy]	1. Neighborhood Historic Advisory Board 2. T-PCHC PRS 3. Main Gate District Design Review Committee (MGD-DRC)	Frank Dillon – (520) 837-6957 Jim Mazzocco – (520) 837-6964
<b>Neighborhood Preservation Zone (NPZ)</b> [UDC Section 5.10]	Design Professional	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
<b>Rio Nuevo Area (RNA) (formerly RND)</b> [UDC Section 5.12.7]	1. T-PCHC PRS 2. Design Review Board (DRB)	Frank Dillon – (520) 837-6957 Michael Taku – (520) 837-4963
<b>Variances</b> [UDC Section 3.10.3]	Design Review Board (DRB) Board of Adjustment (B/A)	Mark Castro – (520) 837-4979 Russlyn Wells – (520) 837-4948

**UDC Compliance Review:** All projects must **FIRST** be submitted for compliance review at the PDSD 1<sup>st</sup> floor, 201 North Stone Avenue, (520) 791-5550. The UDC compliance comments for the project are generated by PDSD staff after completing their review of the detailed development package submitted for the project to ensure that all needed modifications are identified.

**Pre-Application Meeting:** Once you have completed the following Application Form (Page 2) and obtained the Submittal Requirements (Page 3). Applications for pre-submittal conferences must include a completed application form submitted by 4:30 PM, seven (7) working days prior to the requested conference date with the \$100 fee, payable to *The City of Tucson*. Staff will fill out the Case Information (Page 4) and advise applicants on any additional UDC requirements to complete the application package to initiate the review process.



APPLICATION

Case Number IID-15-11

Date Accepted: 12/8/2015

**PROPERTY LOCATION INFORMATION**

Property Development (Project) Name (IF APPLICABLE): Marist College

Property Address: 64 West Ochoa Street

Applicable Area/Neighborhood/Overlay: Downtown Core Subdistrict

Zoning: C-3

Legal Description: Tucson Nwly Ptn Lot 1 Blk 224

Pima County Tax Parcel Number/s: 117-13-157A

Site and Building Area (sq ft): 3,600 sf

**APPLICANT INFORMATION** (The person processing the application and designated to receive notices):

APPLICANT NAME: Matt Stuart

ADDRESS: 2102 North Country Club Road # 9 Tucson, Arizona 85716

PHONE: ( 520 ) 561-4983 FAX: ( 520 ) 798-3341

EMAIL: mstuart@cypresscivil.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Saint Augustine Cathedral Roman Catholic Parish Tucson

PHONE: ( 520 ) 623-6351 FAX: ( )

PROJECT TYPE (check all that apply):  
 New building on vacant land  
 New addition to existing building  
 Change of use to existing building  
 New building on developed land  
 Other

Related Permitted Activity Number(s): DP15-0198

DESCRIPTION OF USE: Multi-family residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

Matt Stuart

SIGNATURE OF OWNER/APPLICANT

11/24/2015

Date



## SUBMITTAL REQUIREMENTS

**PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

✓	1. <b>Application</b> form (signed by the Property Owner or Authorized Agent – include letter of authorization).
✓	2. Written <b>summary</b> of neighborhood meeting with sign in sheet and agenda (if applicable).
✓	3. Project <b>statement</b> outlining scope of work.
✗	4. UDC compliance review <b>comments</b> (obtained at the 1 <sup>st</sup> floor). In Review
✓	5. Pima county assessor's record parcel <b>detail</b> and record map.
✓	6. Color aerial <b>photograph</b> of subject property (if applicable).
✓	7. Color, labeled <b>photographs</b> of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
✓	8. Color <b>photographs</b> of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
✓	9. Site <b>Plan</b> (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
✓	10. <b>Elevations</b> (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
✓	11. <b>Samples</b> , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
✓	12. <b>PDF</b> of all above listed items (number of hard copies may be required).
✓	13. Applicable <b>fees</b> (payable to City of Tucson).
✓	14. (Other) Draft Ground Lease Agreement

\*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

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*For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.*

*By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.*



**CASE INFORMATION**

*(To be completed by PDS staff at pre-application meeting)*

**CASE INFORMATION**

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Case Number (E.g. HPZ-14-11, IID-15-01):

Related Permitted Activity Number(s):

Review Process (E.g. HPZ, DDO, IID – Major/Minor):

Applicable Fees:

Pre-Application Accepted by:

Date

Pre-Application Meeting scheduled for:

Date

Additional Notes:

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Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.):

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CERTIFICATION OF MAILING

I hereby certify that: (check the one that applies)

I mailed the meeting notices to everyone on the mailing list, or

I provided the meeting notices to \_\_\_\_\_

to be mailed to everyone on the mailing list on 11/2/2015,  
(date of mailing)

for the neighborhood meeting to be held on 11/16/2015.  
(date of neighborhood meeting)

[Signature]  
(signature of applicant/applicant's agent)

11/3/2015  
(date signed)

Documentation if available (such as receipt) - *see Design Package*



November 3, 2015

The City of Tucson  
Planning and Engineering Department  
201 North Stone Avenue  
Tucson, Arizona 85701

**RE: Marist College**

Dear City of Tucson:

This shall serve as an authorization letter that will allow Cypress Civil Development to act as an authorized agent and submit the Development Plan and Infill Incentive District documents for the above referenced project.

Please feel free to contact me should you have any questions.

Sincerely,

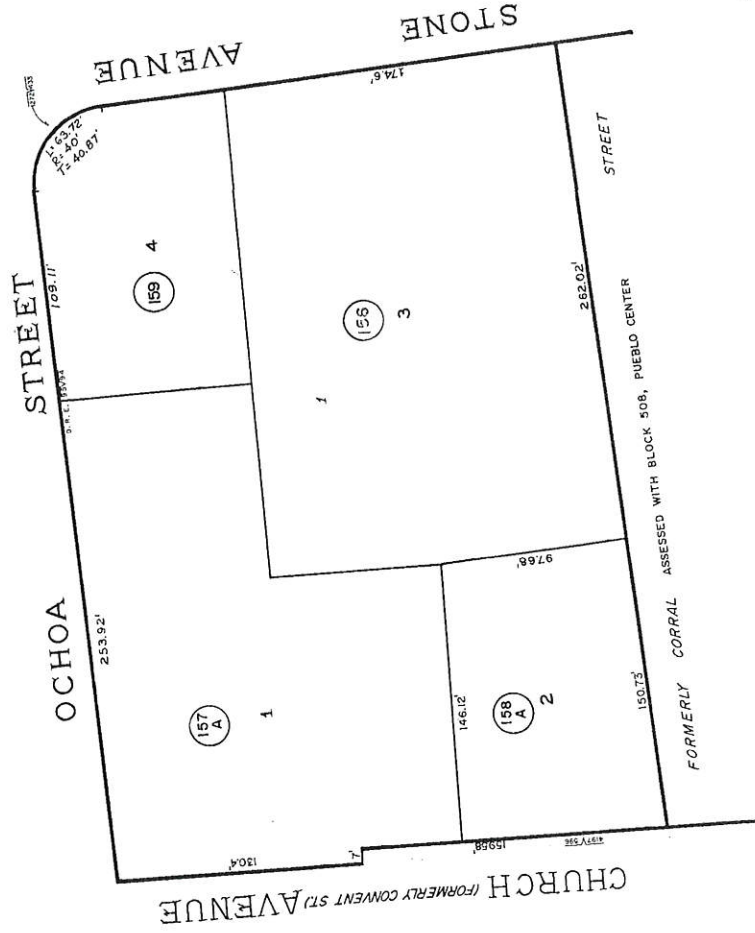
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John Barraclough  
Foundation for Senior Living  
602-285-1800, ext. 139  
jbarraclough@fsl.org

ASSESSOR'S RECORD MAP

Block 224, CITY OF TUCSON

117-13  
12/15



SCALE-1"=50'

SEE BOOK 3, PAGE 70, M & P.

1976

117-13

(5)



Book-Map-Parcel: 117-13-157A

Oblique Image

Tax Year:

Tax Area: 0163

Property Address:

Taxpayer Information:

SAINT AUGUSTINE CATHEDRAL ROMAN CATHOLIC PARISH-TUCSON  
ATTN: REAL PROPERTY DEPT  
PO BOX 31  
TUCSON AZ  
85702- 0031

Property Description:

TUCSON NWLY PTN LOT 1 BLK 224

Valuation Data:

	2015			2016				
	LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE	LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE
LAND FCV	COMMERCIAL (1)	\$667,561	18.5	\$123,499	COMMERCIAL (1)	\$667,561	18.0	\$120,161
IMPR FCV	COMMERCIAL (1)	\$613,424	18.5	\$113,483	COMMERCIAL (1)	\$628,311	18.0	\$113,096
TOTAL FCV	COMMERCIAL (1)	\$1,280,985	18.5	\$236,982	COMMERCIAL (1)	\$1,295,872	18.0	\$233,257
LIMITED VALUE	COMMERCIAL (1)	\$1,280,985	18.5	\$236,982	COMMERCIAL (1)	\$1,295,872	18.0	\$233,257

Property Information:

Section: 13  
Town: 14.0  
Range: 13.0E  
Map & Plat: 3/70  
Block: 224  
Tract:  
Rule B District: 1  
Land Measure: 37025.00F  
Group Code:  
Census Tract: 100  
Use Code: 1040 (MISC COMMERCIAL )  
File Id: 1  
Date of Last Change: 7/28/2010

Commercial Characteristics:

Property Appraiser: Donald B. Phone: (520)724-7426

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	15,306	\$628,311	\$0	\$0

Commercial Detail

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1920	903/3	0000000	11,503	\$1,204,792	\$453,002	CHURCH
002-001	1921	903/3	0000000	3,803	\$447,311	\$168,189	CHURCH
003-001	1990	290/3	0000000	0	\$17,010	\$7,120	PARKING LOT

Valuation Area:

Condo Market: 60  
DOR Market: 31  
MFR Neighborhood: CB\_DOWNTOWN  
SFR Neighborhood: 01020201  
SFR District: 30

Supervisor District:

(2) RAMON VALADEZ

Recording Information:

Sequence No.	Docket	Page	Date Recorded	Type
20060711678	12782	6036	4/13/2006	QUIT CLAIM DEED
0	4197	596	2/29/1972	
0	21	666	1/1/1753	

Parcel Note: Click to see/expand 3 note(s)

When recorded, return to:

FSL Real Estate Services  
1201 East Thomas Road  
Phoenix, Arizona 85014

## LEASE OPTION

### (MARIST COLLEGE PROPERTY)

THIS LEASE OPTION (MARIST COLLEGE PROPERTY) (the “**Agreement**”) is made as of \_\_\_\_\_, 2015 (the “**Agreement Date**”), by and between the Saint Augustine Cathedral Roman Catholic Parish-Tucson, an Arizona nonprofit corporation (“**Optionor**”), and FSL Real Estate Services, an Arizona nonprofit corporation (“**Optionee**”). Optionor and Optionee are hereinafter sometimes referred to collectively as the “**Parties**” or individually as a “**Party**”.

### RECITALS

A. The Catholic Foundation for the Diocese of Tucson, an Arizona nonprofit corporation (the “**Catholic Foundation**”), is the owner of the real property generally located at 111 S. Church Avenue (APN 117-20-015A), in Tucson, Arizona (the “**111 S. Church Property**”).

B. Optionor is the owner of the real property generally located at 72 West Ochoa Street (APN 117-13-157A), in Tucson, Arizona which is described on **Exhibit A**, upon which is located 3 structures which have been listed on the National Register of Historic Places, including the “Marist College Building” located at the northwest corner of Ochoa Street and S. Church Avenue (the “**Marist College Building**”).

C. Optionee or its affiliate desires to construct an 80-unit residential low income housing tax credit project targeting low income seniors (the “**Project**”) on the 111 S. Church Property and the Marist College Building and certain surrounding areas (the exact location of which is to be confirmed by an ALTA survey which is depicted on the attached **Exhibit B** (the “**Marist College Property**,” and together with the 111 S. Church Property, the “**Property**”)) using a combination of Low Income Housing Tax Credits (“**LIHTCs**”) and debt financing.

D. The improvements to the 111 S. Church Property will consist of the new construction of a single 4-story residential building with 72 residential units and community space, while the improvements to the Marist College Property will consist of the rehabilitation of the existing 3-story Marist College Building with 8 units on the top 2 floors and community space on the ground floor (the “**Marist College Improvements**”).

E. Optionee or its affiliate intends to acquire fee title to the 111 S. Church Property from the Catholic Foundation.

F. The Parties desire that Optionor grant to Optionee an option to lease the Marist College Property for the purpose of construction the Project upon the terms and conditions of this Agreement.

## AGREEMENTS

NOW, THEREFORE, in consideration of the foregoing, of the mutual promises of the parties hereto, and of other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. **Grant of Option.** Optionor hereby grants to Optionee an option to lease the Marist College Property on the terms and conditions set forth in this Agreement (the “**Option**”).
2. **Term of Option and Termination.** The Option shall commence on the date hereof and shall continue until the closing of the 111 S. Church Property (the “**Option Term**”).
3. **Exercise of Option.** At any time during the Option Term, Optionee may exercise the Option by: (a) giving written notice to Optionor of its intent to exercise the Option on or before **thirty (30)** days prior to the expiration of the Option Term, and (b) executing a lease of the Marist College Property on the terms described in **Paragraph 4** hereof.
4. **Lease.** As a condition to Optionee’s exercise of the Option, Optionee, or any affiliate of Optionee, as the “lessee” (“**Lessee**”) and Optionor or its nominee, as the “lessor” (“**Lessor**”) shall enter into a written lease for the Marist College Property substantially in the form of **Exhibit C** attached hereto (the “**Lease**”). The Lease will contain certain terms and conditions, including but not limited to the following:
  - a. Lease Term. The Lease will have a term of at least **fifty-five (55)** years from the date the Project is placed in service, or such longer time as may be required by any of Optionee’s lenders or limited partners, and will be subject to such renewals as may be agreed to by the Parties.
  - b. Lease Price. The Lease price shall be equal to One Dollar (**\$1.00**) year (the “**Lease Price**”) and shall be payable annually by Lessee to Lessor, as will be more fully described in the Lease.
  - c. Improvements. Upon satisfaction of all conditions to the exercise of the Option, the Lessee, at its sole cost and expense, shall rehabilitate the Marist College Property for the use of the Lessee’s Project tenants, guests, directors, officers, contractors and invitees. Optionor/Lessor shall have the right to approve the plans for the construction of the Marist College Improvements.
  - d. Taxes, Insurance, Maintenance and Closing Costs. The Lease will provide that the Lessee shall be solely responsible for the payment of all taxes, insurance and maintenance costs associated with the Marist College Property and the Marist

College Improvements as of the execution of and for the duration of the Lease. In addition, Optionee shall be solely responsible for the preparation of all Lease documents, title and survey documents, title and escrow charges and any another due diligence items required in connection with the exercise of the Option granted hereby. The Parties expressly acknowledge and agree that the costs and fees described in this paragraph shall be the sole responsibility of Optionor until the complete execution of the Lease.

- e. Compliance with the Requirements of ADOH. The Parties expressly acknowledge and agree that this Agreement and the Lease will conform to any conditions or requirements of the Arizona Department of Housing (“**ADOH**”), Arizona’s LIHTC allocating agency, in connection with a LIHTC award.

- 5. **Contingencies.** The Parties agree that Optionee shall have 120 days from the Agreement Date (the “**Title and Survey Feasibility Period**”) to terminate this Option due to Optionee’s dissatisfaction with any title or survey matter related to the Property. Optionee and its agents shall also have 30 days from the Agreement Date or such longer time as may be required for the City of Tucson to make its federally required environmental review, as described below (the “**Inspection Feasibility Period**”), in which to access the Property for purposes of investigating its physical and environmental condition and to conduct all tests that Optionee or the City of Tucson may deem necessary. Optionee shall provide Optionor with prior notice of its intent to access the Marist College Property. Within 5 days of the Agreement Date, Optionor agrees to provide Optionee with copies of any and all leases, rent rolls, agreements, property or service contracts related to the Property; building plans; specifications; soils and other reports; lead-based paint information, environmental reports including but not limited to any Phase I and/or Phase II Environmental Site Assessment; surveys; investigations; findings and studies of the Property; and copies of all third party warranties, guaranties and indemnifications related to the Property. Optionee shall have through the Inspection Feasibility Period to terminate this Option due to Optionee’s dissatisfaction with any physical or environmental condition of the Property.

Notwithstanding any other provisions of this Agreement, Buyer shall have no obligation to execute the Lease, unless and until the City of Tucson and/or ADOH has provided the Optionee and/or the Optionor with a written notification that: **(a)** it has completed a federally required environmental review and its request for release of funds has been approved and, subject to any other contingency contained herein, **(i)** the execution of the Lease may proceed, or **(ii)** the execution of the Lease may proceed only if certain conditions to address issues in the environmental review shall be satisfied before or after the purchase of the Property; or **(b)** it has determined that the Lease is exempt from federal environmental review and a request for release of funds is not requested. The City of Tucson and/or ADOH shall use its best efforts to conclude the environmental review of the Property expeditiously.

- 6. **Representations and Warranties of Optionor.**

- a. Optionor is not prohibited from consummating the transaction contemplated by this Agreement by any law, regulation, agreement, order, or judgment.
- b. Optionor is not party to any other current agreements for the sale, exchange, lease or transfer of all or any portion of the Marist College Property.
- c. During the period of time that Optionor has owned the Marist College Property, neither Optionor nor its agents have stored, dumped, or transported any hazardous substances on the Marist College Property. During the period of time that Optionor has owned the Marist College Property, Optionor has not received notice from any governmental agency requiring any environmental clean-up or remediation on or to the Marist College Property. Except as disclosed in writing to Optionee, Optionor has no knowledge of any litigation, assessment proceedings, investigations, condemnation, environmental, zoning or other land-use regulation proceedings either instituted or planned to be instituted, with respect to the Marist College Property.
- d. Optionor has received no notice and has no knowledge of any actual or threatened claim, demand, damage, action, cause of action, litigation or other proceedings affecting the Marist College Property.
- e. Optionor has no knowledge of, and has not received any notices by or from any person or entity claiming that Optionor is in default under any agreement related to the Marist College Property.
- f. During the Option Term, Optionor shall: (a) not enter into any lease agreements or lease amendments affecting the Marist College Property without the prior written approval of Optionee; (b) take any action that would encumber the Marist College Property; and (c) enter into any service, vendor or employment contract without the prior written approval of Optionee.
- g. During the Option Term, Optionor shall keep the Marist College Property insured, in an amount sufficient to satisfy any coinsurance requirement or stipulation, against fire and other hazards covered by extended coverage endorsement and comprehensive public liability insurance against claims for bodily injury, death and property damage occurring in, on or about the Marist College Property.
- h. Optionor shall provide to Optionee, immediately upon the receipt thereof, any and all written notices relating to the Marist College Property received by Optionor or its agents or representatives from any governmental or quasi-governmental instrumentality, insurance company, vendor or from any other entity or party, which notices are of a type not normally received in the ordinary course of Optionor's business, or which may have a material effect upon the Marist College Property or result in a material change in a representation or warranty made by Optionor hereunder.

- i. Optionor shall take all actions necessary to comply with all agreements, covenants, encumbrances and obligations affecting or relating to the Marist College Property and the ownership, operation and maintenance thereof. Optionor shall pay all utility bills, tax bills and other invoices and expenses relating to the Marist College Property, as and when the same become due.
- j. Neither the execution of this Agreement nor the consummation of the transactions contemplated hereby does now constitute or shall result in a breach of, or a default under, any agreement, document, instrument or other obligation to which Optionor is a party or by which Optionor may be bound.
- k. No petition in bankruptcy (voluntary or otherwise), assignment for the benefit of creditor, or petition seeking reorganization or arrangement or other action under federal or state bankruptcy laws is pending against or contemplated by Optionor.

7. **Miscellaneous.**

- a. Assignment. Optionee may assign its rights under this Agreement or under the Lease to an Affiliated Entity by providing notice of such assignment to Optionor/Lessor at least **2 days** prior to the effective date of such assignment. The prior written consent of Optionor to any such assignment shall be required, but shall not be unreasonably withheld. The term “**Affiliated Entity**” means any entity where Optionee is a member, a general partner or the sole member of a general partner. Any assignee of Optionee, by accepting an assignment, will be deemed to have assumed all of the obligations of Optionee under this Agreement and the Lease.
- b. Notices. All notices, requests, demand, and other communications required or permitted under this Agreement must be in writing and will be deemed to have been delivered, received, and effective: **(i)** on the date of service, if served by hand-delivery or by facsimile telecopy on the Party to whom notice is to be given; or **(ii)** on the date that is **one business day** after deposit of the notice properly addressed to the Party at the address shown on the cover page to this Agreement, if sent by national overnight delivery; or **(iii) 3 days** after deposit of the notice properly addressed, if sent by U.S. certified mail, return-receipt requested. The address for notices to a Party are:

If to Optionor:	Saint Augustine Cathedral Roman Catholic Parish-Tucson 192 South Stone Avenue Tucson, AZ 85701 Attention: John Shaheen, Director of Property and Insurance Office Telephone: 520-838-2570 Facsimile: 520-838-2582 Email: <a href="mailto:jshaheen@diocesetucson.org">jshaheen@diocesetucson.org</a>
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If to Optionee: FSL Real Estate Services, and its assignees  
1201 East Thomas Road  
Phoenix, Arizona 85014  
Attention: Steve Hastings  
Telephone: (602) 285-0505  
Facsimile: (602) 285-0225  
Email: [Shastings@fsl.org](mailto:Shastings@fsl.org)

Any Party may change the place or number for delivery of notice by notifying all other parties.

- c. Counsel. The Parties acknowledge that each of them has had the opportunity to be represented by counsel with respect to the preparation of this Agreement and has adequate experience to evaluate the ramifications of the provisions hereof.
- d. Further Acts. The Parties agree to execute such additional documents and to perform any reasonable tasks necessary or appropriate in connection with the Lease or this Agreement.
- e. Entire Agreement. This Agreement embodies the entire Agreement of the Parties as of the date hereof and supersedes any prior or contemporaneous Agreement or representations between them as to the subject matter hereof.
- f. Amendments in Writing. This Agreement may be amended only by an Agreement in writing signed by the Parties hereto.
- g. Counterparts. This Agreement may be executed in several counterparts, each of which shall be deemed to be an original copy and all of which together shall constitute one Agreement binding on all parties hereto.
- h. Governing Law. This Agreement shall be governed and construed in accordance with the internal laws of the State of Arizona.

**SIGNATURES APPEAR ON THE FOLLOWING PAGE**

This LEASE OPTION AGREEMENT is executed as of the date first above written.

**OPTIONOR:**

SAINT AUGUSTINE CATHEDRAL ROMAN  
CATHOLIC PARISH-TUCSON, an Arizona  
nonprofit corporation

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF ARIZONA                    )  
  ) SS  
COUNTY OF PIMA                    )

On \_\_\_\_\_, 2015 before me, \_\_\_\_\_, a Notary Public, personally  
appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be  
the person whose name is subscribed to the within instrument and acknowledged to me that he  
executed the same in his authorized capacity, and that by his signatures on the instrument the  
person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Arizona that the  
foregoing paragraph is true and correct.

Witness my hand and official seal.

\_\_\_\_\_ [Seal]  
(Signature)



**OPTIONEE:**

FSL REAL ESTATE SERVICES, an Arizona non-profit corporation

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF ARIZONA                    )  
  ) SS  
COUNTY OF MARICOPA            )

On \_\_\_\_\_, 2015 before me, \_\_\_\_\_, a Notary Public, personally appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signatures on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Arizona that the foregoing paragraph is true and correct.

Witness my hand and official seal.

\_\_\_\_\_ [Seal]  
(Signature)

**EXHIBIT A**

**(LEGAL DESCRIPTION of 72 West Ochoa Street, Tucson, Arizona (APN 117-13-157A))**

**EXHIBIT B**  
**(DEPICTION OF MARIST COLLEGE BUILDING)**

**EXHIBIT C**  
**(LEASE)**



3528 N. FLOWING WELLS RD  
TUCSON, ARIZONA 85705  
TEL: 520-322-6400  
FAX: 520-322-6401

**LEGAL DESCRIPTION – POLARIS JOB NO. 15183**

November 18, 2015

PROPOSED PARCEL:

That portion of Lot 1 and Lot 2 of Block 224 of "City of Tucson", according to the official survey map and field notes of said City, made and executed by S.W. Foreman, approved and adopted by Mayor and Common Council of said City (then Village), Pima County, Arizona on June 26th, 1872, in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, a copy of which is recorded in the Office of the County Recorder of Pima County, Arizona, recorded in Book 3 of Maps and Plats at Page 70 thereof, being more particularly described as follows:

**Beginning** at the Northwest corner of said Lot 1, said corner being a concrete nail tagged "RLS 25086", on the South right-of-way of Ochoa Street and the East right-of-way of Church Avenue;

Thence North  $81^{\circ}56'53''$  East 96.67 feet upon the North line of said Lot 1, upon said South right-of-way;

Thence South  $08^{\circ}03'07''$  East 19.75 feet;

Thence North  $81^{\circ}56'53''$  East 16.94 feet;

Thence South  $09^{\circ}19'11''$  East 209.81 feet;

Thence South  $84^{\circ}00'19''$  West 119.41 feet to the East right-of-way of Church Avenue per Docket 4197 at Page 596, Pima County Records;

Thence North  $05^{\circ}59'41''$  West 94.71 feet upon said East right-of-way;

Thence South  $84^{\circ}00'19''$  West 7.00 feet to the West line of said Lot 1, to the East right-of-way of Church Avenue;

Thence North  $05^{\circ}59'41''$  West of 130.41 feet upon said West line, upon said East right-of-way, to the **Point of Beginning**.

The area of said Parcel contains 26,221.6 square feet or 0.60 acres, more or less.



EXPIRES 12-31-15



EXPIRES 12-31-15

NOTE: THIS MAP IS INTENDED TO PORTRAY A PROPOSED PARCEL AND DOES NOT REPRESENT A BOUNDARY SURVEY.



GRAPHIC SCALE: 1 Inch = 50 Feet



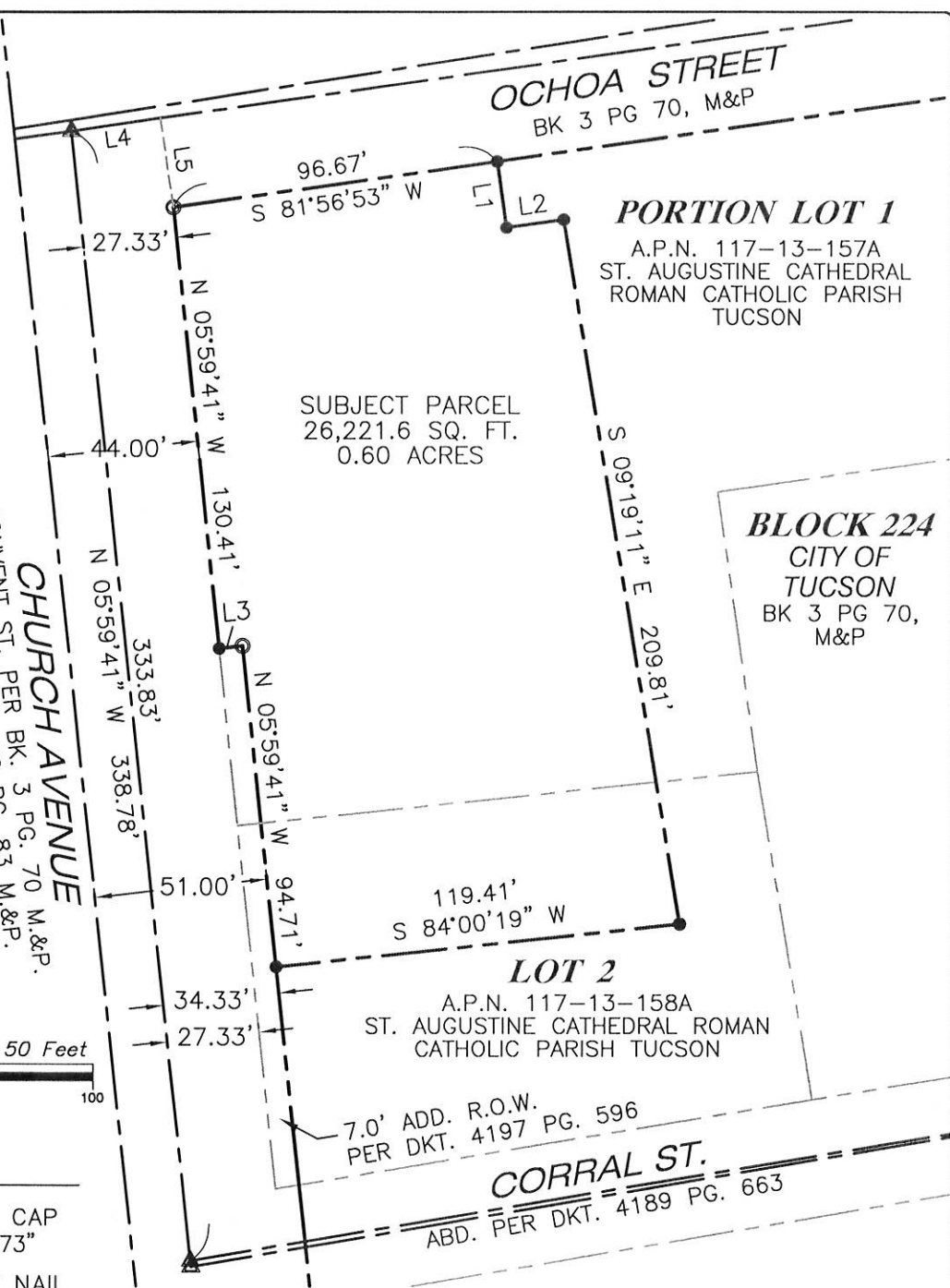
**LEGEND:**

- ▲ FOUND 2" BRASS CAP STAMPED "RLS 20373"
- FOUND CONCRETE NAIL TAGGED "RLS 25086"

LINE	BEARING	DISTANCE
L1	S 08°03'07" E	19.75'
L2	N 81°56'53" E	16.94'

L3	S 84°00'19" W	7.00'
L4	N 81°58'37" E	26.41'
L5	S 08°01'23" E	26.40'

CHURCH AVENUE  
 CONVENT ST. PER BK. 3 PG. 70 M.&P.  
 ADD. R.O.W. BK. 20 PG. 83 M.&P.



DATE: NOV. 18, 2015 POLARIS JOB NO. 15183

**A PORTION OF LOT 1 & LOT 2 OF BLOCK 224 OF "CITY OF TUCSON", BK., 3, PG. 70, MAPS & PLATS, PIMA COUNTY RECORD, IN THE N.W. 1/4 OF OF SECTION 13, T. 14 S., R. 13 E., G. & S. R. M., PIMA COUNTY, ARIZONA**



**POLARIS**  
**LAND**  
**SURVEYING, LLC**

3528 N. FLOWING WELLS RD.  
 TUCSON, ARIZONA 85705  
 TEL.: (520) 322-6400 FAX: (520) 322-6401

When recorded, return to:

FSL Real Estate Services  
1201 East Thomas Road  
Phoenix, Arizona 85014

## LEASE OPTION

### (MARIST COLLEGE PROPERTY)

THIS LEASE OPTION (MARIST COLLEGE PROPERTY) (the “**Agreement**”) is made as of \_\_\_\_\_, 2015 (the “**Agreement Date**”), by and between the Saint Augustine Cathedral Roman Catholic Parish-Tucson, an Arizona nonprofit corporation (“**Optionor**”), and FSL Real Estate Services, an Arizona nonprofit corporation (“**Optionee**”). Optionor and Optionee are hereinafter sometimes referred to collectively as the “**Parties**” or individually as a “**Party**”.

### RECITALS

A. The Catholic Foundation for the Diocese of Tucson, an Arizona nonprofit corporation (the “**Catholic Foundation**”), is the owner of the real property generally located at 111 S. Church Avenue (APN 117-20-015A), in Tucson, Arizona (the “**111 S. Church Property**”).

B. Optionor is the owner of the real property generally located at 72 West Ochoa Street (APN 117-13-157A), in Tucson, Arizona which is described on **Exhibit A**, upon which is located 3 structures which have been listed on the National Register of Historic Places, including the “Marist College Building” located at the northwest corner of Ochoa Street and S. Church Avenue (the “**Marist College Building**”).

C. Optionee or its affiliate desires to construct an 80-unit residential low income housing tax credit project targeting low income seniors (the “**Project**”) on the 111 S. Church Property and the Marist College Building and certain surrounding areas (the exact location of which is to be confirmed by an ALTA survey which is depicted on the attached **Exhibit B** (the “**Marist College Property**,” and together with the 111 S. Church Property, the “**Property**”)) using a combination of Low Income Housing Tax Credits (“**LIHTCs**”) and debt financing.

D. The improvements to the 111 S. Church Property will consist of the new construction of a single 4-story residential building with 72 residential units and community space, while the improvements to the Marist College Property will consist of the rehabilitation of the existing 3-story Marist College Building with 8 units on the top 2 floors and community space on the ground floor (the “**Marist College Improvements**”).

E. Optionee or its affiliate intends to acquire fee title to the 111 S. Church Property from the Catholic Foundation.

F. The Parties desire that Optionor grant to Optionee an option to lease the Marist College Property for the purpose of construction the Project upon the terms and conditions of this Agreement.

## AGREEMENTS

NOW, THEREFORE, in consideration of the foregoing, of the mutual promises of the parties hereto, and of other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. **Grant of Option.** Optionor hereby grants to Optionee an option to lease the Marist College Property on the terms and conditions set forth in this Agreement (the “**Option**”).
2. **Term of Option and Termination.** The Option shall commence on the date hereof and shall continue until the closing of the 111 S. Church Property (the “**Option Term**”).
3. **Exercise of Option.** At any time during the Option Term, Optionee may exercise the Option by: (a) giving written notice to Optionor of its intent to exercise the Option on or before **thirty (30)** days prior to the expiration of the Option Term, and (b) executing a lease of the Marist College Property on the terms described in **Paragraph 4** hereof.
4. **Lease.** As a condition to Optionee’s exercise of the Option, Optionee, or any affiliate of Optionee, as the “lessee” (“**Lessee**”) and Optionor or its nominee, as the “lessor” (“**Lessor**”) shall enter into a written lease for the Marist College Property substantially in the form of **Exhibit C** attached hereto (the “**Lease**”). The Lease will contain certain terms and conditions, including but not limited to the following:
  - a. Lease Term. The Lease will have a term of at least **fifty-five (55)** years from the date the Project is placed in service, or such longer time as may be required by any of Optionee’s lenders or limited partners, and will be subject to such renewals as may be agreed to by the Parties.
  - b. Lease Price. The Lease price shall be equal to One Dollar (**\$1.00**) year (the “**Lease Price**”) and shall be payable annually by Lessee to Lessor, as will be more fully described in the Lease.
  - c. Improvements. Upon satisfaction of all conditions to the exercise of the Option, the Lessee, at its sole cost and expense, shall rehabilitate the Marist College Property for the use of the Lessee’s Project tenants, guests, directors, officers, contractors and invitees. Optionor/Lessor shall have the right to approve the plans for the construction of the Marist College Improvements.
  - d. Taxes, Insurance, Maintenance and Closing Costs. The Lease will provide that the Lessee shall be solely responsible for the payment of all taxes, insurance and maintenance costs associated with the Marist College Property and the Marist



College Improvements as of the execution of and for the duration of the Lease. In addition, Optionee shall be solely responsible for the preparation of all Lease documents, title and survey documents, title and escrow charges and any another due diligence items required in connection with the exercise of the Option granted hereby. The Parties expressly acknowledge and agree that the costs and fees described in this paragraph shall be the sole responsibility of Optionor until the complete execution of the Lease.

- e. Compliance with the Requirements of ADOH. The Parties expressly acknowledge and agree that this Agreement and the Lease will conform to any conditions or requirements of the Arizona Department of Housing (“**ADOH**”), Arizona’s LIHTC allocating agency, in connection with a LIHTC award.

- 5. **Contingencies.** The Parties agree that Optionee shall have 120 days from the Agreement Date (the “**Title and Survey Feasibility Period**”) to terminate this Option due to Optionee’s dissatisfaction with any title or survey matter related to the Property. Optionee and its agents shall also have 30 days from the Agreement Date or such longer time as may be required for the City of Tucson to make its federally required environmental review, as described below (the “**Inspection Feasibility Period**”), in which to access the Property for purposes of investigating its physical and environmental condition and to conduct all tests that Optionee or the City of Tucson may deem necessary. Optionee shall provide Optionor with prior notice of its intent to access the Marist College Property. Within 5 days of the Agreement Date, Optionor agrees to provide Optionee with copies of any and all leases, rent rolls, agreements, property or service contracts related to the Property; building plans; specifications; soils and other reports; lead-based paint information, environmental reports including but not limited to any Phase I and/or Phase II Environmental Site Assessment; surveys; investigations; findings and studies of the Property; and copies of all third party warranties, guaranties and indemnifications related to the Property. Optionee shall have through the Inspection Feasibility Period to terminate this Option due to Optionee’s dissatisfaction with any physical or environmental condition of the Property.

Notwithstanding any other provisions of this Agreement, Buyer shall have no obligation to execute the Lease, unless and until the City of Tucson and/or ADOH has provided the Optionee and/or the Optionor with a written notification that: (a) it has completed a federally required environmental review and its request for release of funds has been approved and, subject to any other contingency contained herein, (i) the execution of the Lease may proceed, or (ii) the execution of the Lease may proceed only if certain conditions to address issues in the environmental review shall be satisfied before or after the purchase of the Property; or (b) it has determined that the Lease is exempt from federal environmental review and a request for release of funds is not requested. The City of Tucson and/or ADOH shall use its best efforts to conclude the environmental review of the Property expeditiously.

- 6. **Representations and Warranties of Optionor.**

- a. Optionor is not prohibited from consummating the transaction contemplated by this Agreement by any law, regulation, agreement, order, or judgment.
- b. Optionor is not party to any other current agreements for the sale, exchange, lease or transfer of all or any portion of the Marist College Property.
- c. During the period of time that Optionor has owned the Marist College Property, neither Optionor nor its agents have stored, dumped, or transported any hazardous substances on the Marist College Property. During the period of time that Optionor has owned the Marist College Property, Optionor has not received notice from any governmental agency requiring any environmental clean-up or remediation on or to the Marist College Property. Except as disclosed in writing to Optionee, Optionor has no knowledge of any litigation, assessment proceedings, investigations, condemnation, environmental, zoning or other land-use regulation proceedings either instituted or planned to be instituted, with respect to the Marist College Property.
- d. Optionor has received no notice and has no knowledge of any actual or threatened claim, demand, damage, action, cause of action, litigation or other proceedings affecting the Marist College Property.
- e. Optionor has no knowledge of, and has not received any notices by or from any person or entity claiming that Optionor is in default under any agreement related to the Marist College Property.
- f. During the Option Term, Optionor shall: (a) not enter into any lease agreements or lease amendments affecting the Marist College Property without the prior written approval of Optionee; (b) take any action that would encumber the Marist College Property; and (c) enter into any service, vendor or employment contract without the prior written approval of Optionee.
- g. During the Option Term, Optionor shall keep the Marist College Property insured, in an amount sufficient to satisfy any coinsurance requirement or stipulation, against fire and other hazards covered by extended coverage endorsement and comprehensive public liability insurance against claims for bodily injury, death and property damage occurring in, on or about the Marist College Property.
- h. Optionor shall provide to Optionee, immediately upon the receipt thereof, any and all written notices relating to the Marist College Property received by Optionor or its agents or representatives from any governmental or quasi-governmental instrumentality, insurance company, vendor or from any other entity or party, which notices are of a type not normally received in the ordinary course of Optionor's business, or which may have a material effect upon the Marist College Property or result in a material change in a representation or warranty made by Optionor hereunder.

- i. Optionor shall take all actions necessary to comply with all agreements, covenants, encumbrances and obligations affecting or relating to the Marist College Property and the ownership, operation and maintenance thereof. Optionor shall pay all utility bills, tax bills and other invoices and expenses relating to the Marist College Property, as and when the same become due.
- j. Neither the execution of this Agreement nor the consummation of the transactions contemplated hereby does now constitute or shall result in a breach of, or a default under, any agreement, document, instrument or other obligation to which Optionor is a party or by which Optionor may be bound.
- k. No petition in bankruptcy (voluntary or otherwise), assignment for the benefit of creditor, or petition seeking reorganization or arrangement or other action under federal or state bankruptcy laws is pending against or contemplated by Optionor.

7. **Miscellaneous.**

- a. Assignment. Optionee may assign its rights under this Agreement or under the Lease to an Affiliated Entity by providing notice of such assignment to Optionor/Lessor at least **2 days** prior to the effective date of such assignment. The prior written consent of Optionor to any such assignment shall be required, but shall not be unreasonably withheld. The term “**Affiliated Entity**” means any entity where Optionee is a member, a general partner or the sole member of a general partner. Any assignee of Optionee, by accepting an assignment, will be deemed to have assumed all of the obligations of Optionee under this Agreement and the Lease.
- b. Notices. All notices, requests, demand, and other communications required or permitted under this Agreement must be in writing and will be deemed to have been delivered, received, and effective: **(i)** on the date of service, if served by hand-delivery or by facsimile telecopy on the Party to whom notice is to be given; or **(ii)** on the date that is **one business day** after deposit of the notice properly addressed to the Party at the address shown on the cover page to this Agreement, if sent by national overnight delivery; or **(iii) 3 days** after deposit of the notice properly addressed, if sent by U.S. certified mail, return-receipt requested. The address for notices to a Party are:

If to Optionor:	Saint Augustine Cathedral Roman Catholic Parish-Tucson 192 South Stone Avenue Tucson, AZ 85701
Attention:	John Shaheen, Director of Property and Insurance Office
Telephone:	520-838-2570
Facsimile:	520-838-2582
Email:	<a href="mailto:jshaheen@diocesetucson.org">jshaheen@diocesetucson.org</a>

If to Optionee: FSL Real Estate Services, and its assignees  
1201 East Thomas Road  
Phoenix, Arizona 85014  
Attention: Steve Hastings  
Telephone: (602) 285-0505  
Facsimile: (602) 285-0225  
Email: [Shastings@fsl.org](mailto:Shastings@fsl.org)

Any Party may change the place or number for delivery of notice by notifying all other parties.

- c. Counsel. The Parties acknowledge that each of them has had the opportunity to be represented by counsel with respect to the preparation of this Agreement and has adequate experience to evaluate the ramifications of the provisions hereof.
- d. Further Acts. The Parties agree to execute such additional documents and to perform any reasonable tasks necessary or appropriate in connection with the Lease or this Agreement.
- e. Entire Agreement. This Agreement embodies the entire Agreement of the Parties as of the date hereof and supersedes any prior or contemporaneous Agreement or representations between them as to the subject matter hereof.
- f. Amendments in Writing. This Agreement may be amended only by an Agreement in writing signed by the Parties hereto.
- g. Counterparts. This Agreement may be executed in several counterparts, each of which shall be deemed to be an original copy and all of which together shall constitute one Agreement binding on all parties hereto.
- h. Governing Law. This Agreement shall be governed and construed in accordance with the internal laws of the State of Arizona.

**SIGNATURES APPEAR ON THE FOLLOWING PAGE**

This LEASE OPTION AGREEMENT is executed as of the date first above written.

**OPTIONOR:**

SAINT AUGUSTINE CATHEDRAL ROMAN  
CATHOLIC PARISH-TUCSON, an Arizona  
nonprofit corporation

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF ARIZONA                    )  
  ) SS  
COUNTY OF PIMA                    )

On \_\_\_\_\_, 2015 before me, \_\_\_\_\_, a Notary Public, personally  
appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be  
the person whose name is subscribed to the within instrument and acknowledged to me that he  
executed the same in his authorized capacity, and that by his signatures on the instrument the  
person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Arizona that the  
foregoing paragraph is true and correct.

Witness my hand and official seal.

\_\_\_\_\_ [Seal]  
(Signature)

**OPTIONEE:**

FSL REAL ESTATE SERVICES, an Arizona non-profit corporation

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

STATE OF ARIZONA                    )  
  ) SS  
COUNTY OF MARICOPA            )

On \_\_\_\_\_, 2015 before me, \_\_\_\_\_, a Notary Public, personally appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signatures on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

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Witness my hand and official seal.

\_\_\_\_\_ [Seal]  
(Signature)

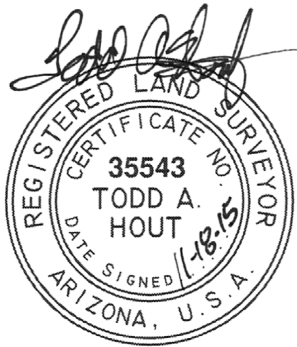
**EXHIBIT A**

**(LEGAL DESCRIPTION of 72 West Ochoa Street, Tucson, Arizona (APN 117-13-157A))**

**EXHIBIT B**  
**(DEPICTION OF MARIST COLLEGE BUILDING)**



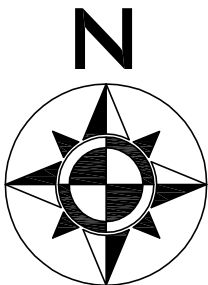
**EXHIBIT C**  
**(LEASE)**



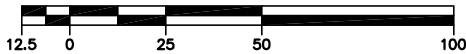
EXPIRES 12-31-15

NOTE: THIS MAP IS INTENDED TO PORTRAY A PROPOSED PARCEL AND DOES NOT REPRESENT A BOUNDARY SURVEY.

CHURCH AVENUE  
 CONVENT ST. PER BK. 3 PG. 70 M.&P.  
 ADD. R.O.W. BK. 20 PG. 83 M.&P.



GRAPHIC SCALE: 1 Inch = 50 Feet



**LEGEND:**

- ▲ FOUND 2" BRASS CAP STAMPED "RLS 20373"
- FOUND CONCRETE NAIL TAGGED "RLS 25086"

LINE	BEARING	DISTANCE
L1	S 08°03'07" E	19.75'
L2	N 81°56'53" E	16.94'

L3	S 84°00'19" W	7.00'
L4	N 81°58'37" E	26.41'
L5	S 08°01'23" E	26.40'

**OCHOA STREET**  
 BK 3 PG 70, M&P

**PORTION LOT 1**  
 A.P.N. 117-13-157A  
 ST. AUGUSTINE CATHEDRAL  
 ROMAN CATHOLIC PARISH  
 TUCSON

SUBJECT PARCEL  
 26,221.6 SQ. FT.  
 0.60 ACRES

**BLOCK 224**  
 CITY OF  
 TUCSON  
 BK 3 PG 70,  
 M&P

**LOT 2**  
 A.P.N. 117-13-158A  
 ST. AUGUSTINE CATHEDRAL ROMAN  
 CATHOLIC PARISH TUCSON

7.0' ADD. R.O.W.  
 PER DKT. 4197 PG. 596

**CORRAL ST.**  
 ABD. PER DKT. 4189 PG. 663

DATE: NOV. 18, 2015 POLARIS JOB NO. 15183

**A PORTION OF LOT 1 & LOT 2 OF BLOCK 224  
 OF "CITY OF TUCSON", BK., 3, PG. 70, MAPS &  
 PLATS, PIMA COUNTRY RECORD, IN THE N.W.  
 1/4 OF OF SECTION 13, T. 14 S., R. 13 E.,  
 G. & S. R. M., PIMA COUNTY, ARIZONA**



**POLARIS  
 LAND  
 SURVEYING, LLC**

3528 N. FLOWING WELLS RD.  
 TUCSON, ARIZONA 85705  
 TEL.: (520) 322-6400 FAX: (520) 322-6401



3528 N. FLOWING WELLS RD  
TUCSON, ARIZONA 85705  
TEL: 520-322-6400  
FAX: 520-322-6401

**LEGAL DESCRIPTION – POLARIS JOB NO. 15183**

November 18, 2015

PROPOSED PARCEL:

That portion of Lot 1 and Lot 2 of Block 224 of "City of Tucson", according to the official survey map and field notes of said City, made and executed by S.W. Foreman, approved and adopted by Mayor and Common Council of said City (then Village), Pima County, Arizona on June 26th, 1872, in Section 13, Township 14 South, Range 13 East, Gila and Salt River Meridian, a copy of which is recorded in the Office of the County Recorder of Pima County, Arizona, recorded in Book 3 of Maps and Plats at Page 70 thereof, being more particularly described as follows:

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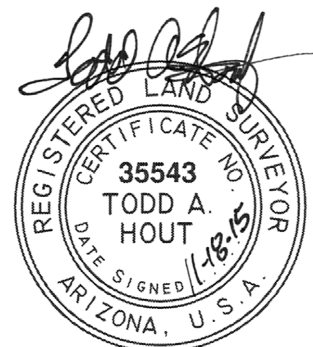
Thence South 84°00'19" West 119.41 feet to the East right-of-way of Church Avenue per Docket 4197 at Page 596, Pima County Records;

Thence North 05°59'41" West 94.71 feet upon said East right-of-way;

Thence South 84°00'19" West 7.00 feet to the West line of said Lot 1, to the East right-of-way of Church Avenue;

Thence North 05°59'41" West of 130.41 feet upon said West line, upon said East right-of-way, to the **Point of Beginning**.

The area of said Parcel contains 26,221.6 square feet or 0.60 acres, more or less.



EXPIRES 12-31-15

# INFILL INCENTIVE DISTRICT DESIGN PACKAGE for THE MARIST ON CATHEDRAL SQUARE— MARIST COLLEGE

25 NOVEMBER 2015

## OWNER

St. Augustine Cathedral Roman Catholic Parish  
P.O. Box 31  
Tucson, Arizona 85702  
Attn: John Shaheen

## PREPARED FOR

Foundation for Senior Living  
1201 E Thomas Road  
Phoenix, Arizona 85014  
Attn: Steve Hastings



CYPRESS  
CIVIL DEVELOPMENT

POSTER  
FROST  
MIRTO

FSL  
Helping those you love live independently.

THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE



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CYPRESS  
CIVIL DEVELOPMENT

POSTER  
FROST  
MIRTO

FSL  
Helping those you love live independently

THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE





**PRE-APPLICATION INFORMATION**

**Zoning Administration Process Overview:** A project may be subject to various reviews and criteria depending on the scope of work and the Unified Development Code (UDC). Please note that your projects may not be subject to review by all review authorities used in the table below. The Zoning Administration processes at Planning and Development Services Department (PDSD) include:

Review Process	Review Authorities	PDSD Planning Contact
<b>Design Development Option (DDO)</b> [UDC Section 3.11.1]	Design Review Board (DRB)	Michael Taku – (520) 837-4963 Russlyn Wells – (520) 837-4948
<b>Flexible Lot Development (FLD)</b> [UDC Section 8.7.3]	Design Professional	Frank Dillon – (520) 837-6957
<b>Historic Preservation Zone (HPZ)</b> [UDC Section 5.8]	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission (T-PCHC) Plans Review Subcommittee (PRS)	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
<b>Infill Incentive District (IID)</b> [UDC Section 5.12]	1. Neighborhood Liaison 2. Design Professional 3. T-PCHC PRS 4. Design Review Committee (IID-DRC)	Frank Dillon – (520) 837-6957 Carolyn Laurie – (520) 837-4953
<b>Individual Parking Plan (IPP)</b> [UDC Section 7.4.5.A]		Mark Castro – (520) 837-4979
<b>Main Gate District (MGD) Design</b> [MGD Policy]	1. Neighborhood Historic Advisory Board 2. T-PCHC PRS 3. Main Gate District Design Review Committee (MGD-DRC)	Frank Dillon – (520) 837-6957 Jim Mazzocco – (520) 837-6964
<b>Neighborhood Preservation Zone (NPZ)</b> [UDC Section 5.10]	Design Professional	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
<b>Rio Nuevo Area (RNA) (formerly RND)</b> [UDC Section 5.12.7]	1. T-PCHC PRS 2. Design Review Board (DRB)	Frank Dillon – (520) 837-6957 Michael Taku – (520) 837-4963
<b>Variations</b> [UDC Section 3.10.3]	Design Review Board (DRB) Board of Adjustment (B/A)	Mark Castro – (520) 837-4979 Russlyn Wells – (520) 837-4948

**UDC Compliance Review:** All projects must **FIRST** be submitted for compliance review at the PDSD 1<sup>st</sup> floor, 201 North Stone Avenue, (520) 791-5550. The UDC compliance comments for the project are generated by PDSD staff after completing their review of the detailed development package submitted for the project to ensure that all needed modifications are identified.

**Pre-Application Meeting:** Once you have completed the following Application Form (Page 2) and obtained the Submittal Requirements (Page 3). Applications for pre-submittal conferences must include a completed application form submitted by 4:30 PM, seven (7) working days prior to the requested conference date with the \$100 fee, payable to *The City of Tucson*. Staff will fill out the Case Information (Page 4) and advise applicants on any additional UDC requirements to complete the application package to initiate the review process.





**APPLICATION**

Case Number \_\_\_\_\_

Date Accepted: \_\_\_\_\_

**PROPERTY LOCATION INFORMATION**

Property Development (Project) Name (IF APPLICABLE): Marist College

Property Address: 64 West Ochoa Street

Applicable Area/Neighborhood/Overlay: Downtown Core Subdistrict

Zoning: C-3

Legal Description: Tucson Nwly Ptn Lot 1 Blk 224

Pima County Tax Parcel Number/s: 117-13-157A

Site and Building Area (sq ft): 3,600 sf

**APPLICANT INFORMATION** (The person processing the application and designated to receive notices):

APPLICANT NAME: Matt Stuart

ADDRESS: 2102 North Country Club Road # 9 Tucson, Arizona 85716

PHONE: ( 520 ) 561-4983 FAX: ( 520 ) 798-3341

EMAIL: mstuart@cypresscivil.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Saint Augustine Cathedral Roman Catholic Parish Tucson

PHONE: ( 520 ) 623-6351 FAX: ( ) \_\_\_\_\_

PROJECT TYPE (check all that apply):  
 New building on vacant land  
 Change of use to existing building  
 New building on developed land  
 New addition to existing building  
 Other

Related Permitted Activity Number(s): DP15-0198

DESCRIPTION OF USE: Multi-family residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

*Matt Stuart*  
SIGNATURE OF OWNER/APPLICANT

11/24/2015  
Date



### SUBMITTAL REQUIREMENTS

**PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

	1. <b>Application</b> form (signed by the Property Owner or Authorized Agent – include letter of authorization).
	2. Written <b>summary</b> of neighborhood meeting with sign in sheet and agenda (if applicable).
	3. Project <b>statement</b> outlining scope of work.
	4. UDC compliance review <b>comments</b> (obtained at the 1 <sup>st</sup> floor). <b>In Review</b>
	5. Pima county assessor’s record parcel <b>detail</b> and record map.
	6. Color aerial <b>photograph</b> of subject property (if applicable).
	7. Color, labeled <b>photographs</b> of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
	8. Color <b>photographs</b> of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
	9. Site <b>Plan</b> (and landscape plan and floor plans if applicable) drawn to scale at 11”x17”, folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
	10. <b>Elevations</b> (and contextual elevations if applicable) drawn to scale at 11”x17”, folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
	11. <b>Samples</b> , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
	12. <b>PDF</b> of all above listed items (number of hard copies may be required).
	13. Applicable <b>fees</b> (payable to City of Tucson).
	14. (Other) Draft Ground Lease Agreement

\*For 11” X 17” format “z” fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

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*For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.*

*By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.*



**CASE INFORMATION**

*(To be completed by PDS staff at pre-application meeting)*

**CASE INFORMATION**

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Case Number (E.g. HPZ-14-11, IID-15-01): \_\_\_\_\_

Related Permitted Activity Number(s): \_\_\_\_\_

Review Process (E.g. HPZ, DDO, IID – Major/Minor): \_\_\_\_\_

Applicable Fees: \_\_\_\_\_

Pre-Application Accepted by: \_\_\_\_\_

\_\_\_\_\_ Date

Pre-Application Meeting scheduled for: \_\_\_\_\_

\_\_\_\_\_ Date

Additional Notes: \_\_\_\_\_

\_\_\_\_\_

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Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

## Project Introduction

With a surge of investment in Tucson’s Downtown Core, long term housing has become important to the future fabric of the area. An increasing aging population and amenities being offered in the Downtown Core are resulting in increased demand for a variety of housing options and lifestyles that provide individuals the ability to age in place. The Marist on Cathedral Square—Marist College project seeks to fulfill that demand by renovating and rehabilitating the Marist College into a senior housing facility and preserving one of the iconic historic landmarks the City of Tucson has to offer.

The proposed Marist College development will offer residents a unique housing experience, while providing affordable options for those households with incomes ranging from 40-60% of the median income. The 8 senior residential units will be in the heart of Downtown Tucson, offering prospective tenants exceptional access to some of the finest establishments and opportunities Tucson has to offer. Bounded to the east by the St. Augustine Cathedral, and Church Avenue to the west, the project site is surrounded by amenities including, La Placita, Fox Tucson Theatre, the Municipal Complex, the Tucson Convention Center, and Congress Street to name a few. Conveniently located along the Sun-Link transportation system, the proposed development offers easy access to the entire Central Business District, 4<sup>th</sup> Avenue, and the University of Arizona.

Development in Tucson, especially the Downtown Core, must preserve the rich cultural history while seeking to obtain an architectural model focused on accommodating the future higher population densities within the Central Business District. This project understands the balance between progress and respect for previous developments and will rehabilitate with State Historic Preservation Standards in mind.

Being a part of the Infill Incentive District Overlay, comments and questions are welcomed as a part of the Design Review Committee process. This project is committed to bringing long-term value to Downtown Tucson, and looks forward to a positive review process. Please see the following pages representing a snapshot of the proposed Marist College development.

Sincerely,



Matt Stuart

Project Manager

Cypress Civil Development

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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE



# EXISTING PHOTO INDEX

The following pages show images taken from various locations adjacent to the Marist College development area. Please refer to this page to orient the following photos with the surrounding area.



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THE MARIST  
ON CATHEDRAL SQUARE  
- DIOCESE

# SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site—looking west. This photo displays the existing hardscape between the building and the parking area.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# SOUTHEAST

This picture displays the existing conditions at the southeast corner of the site—looking south. This photo displays the existing hardscape between the St. Augustine Cathedral and the parking area.



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- MARIST COLLEGE



# SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site—looking north. This photo displays the existing streetscape and historic wall.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# SOUTHWEST

This picture displays the existing conditions at the southwest corner of the site—looking east. This photo displays the existing hardscape between the building and the parking area.



CYPRESS  
CIVIL DEVELOPMENT

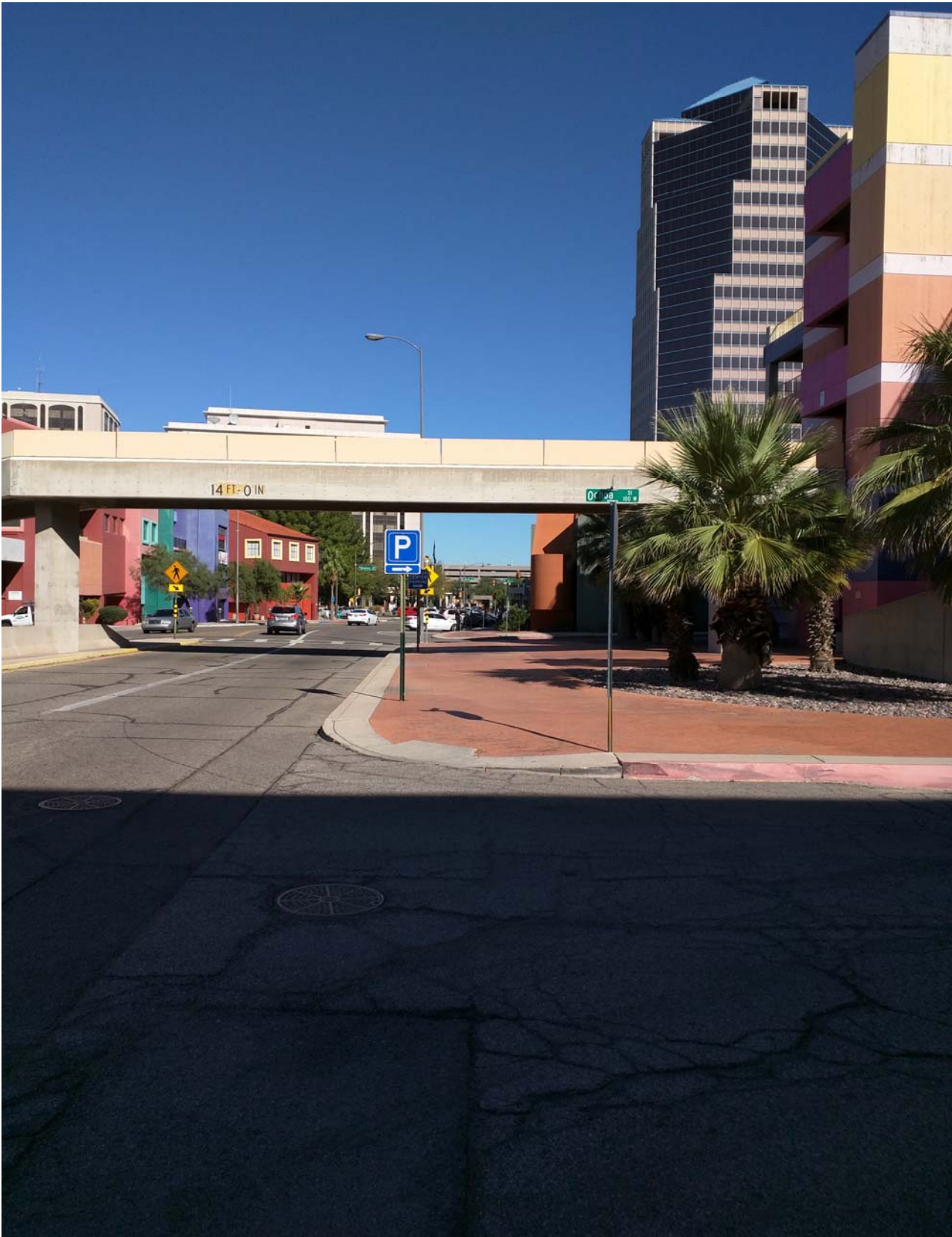
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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, at Church Ave and Ochoa St—looking north. This photo displays the existing streetscape and architecture of the adjacent properties of the Downtown Core.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, at Church Ave and Ochoa St—looking south. This photo displays the existing streetscape and historic wall.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# NORTHWEST

This picture displays the existing conditions at the northwest corner of the site, at Church Ave and Ochoa St—looking east. This photo displays the existing streetscape and historic wall.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Ochoa St—looking east. This photo displays the existing streetscape and historic wall.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# NORTHEAST

This picture displays the existing conditions at the northeast corner of the site, along Ochoa St—looking west. This photo displays the existing streetscape and historic wall.



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THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

25 November 2015

City of Tucson Development Services  
201 N Stone Avenue  
Tucson, Arizona 85701

**The following letter provides a description outlining the proposed scope of work for THE MARIST ON CATHEDRAL SQUARE – MARIST COLLEGE development as it relates to the Downtown Area Infill Incentive District (IID) overlay zone:**

**EXEMPTION REQUEST:**

The Marist on Cathedral Square – Marist College project is located at the southeast corner of Church Avenue and Ochoa Street, within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. This project is seeking to modify certain development requirements through the Infill Incentive District Design Package submittal process. As a part of the DCS, the Development will be required to comply with the following:

- 1) Permitted uses listed within Section 5.12.9.A;  
Multifamily Use – Multifamily Dwelling Residential Group
- 2) Maximum building height may be increased up to 60 feet unless the current zoning allows a greater height or where the IID's Development Transition Element requires less;  
Allowable height C-3 = 75'
- 3) Demolition and façade alteration standards and review requirements in accordance with UDC Section 5.8.10, Demolition of Historic Properties, Landmarks, and Structures of the Rio Nuevo Area and Infill Incentive District;  
Renovation and Rehabilitation of the Historic Marist College Building
- 4) When provided, landscaping shall be in accordance with the City's drought-tolerant plant list;  
Plants have been selected from approved list
- 5) Bicycle parking shall be provided when motor vehicle parking is provided; The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan, Section 5.12.8.E;  
New bike parking provided per UDC requirements
- 6) Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation;  
Native Plant Preservation compliant



**INFILL INCENTIVE DISTRICT (IID) NARRATIVE:**

*1. STATE THE APPLICANT'S INTENTION TO USE THE IID ZONING OPTION IN LIEU OF EXISTING UNDERLYING ZONING;*

**Response:** It is the intent of the proposed development to use the IID zoning option in lieu of the underlying zoning in order to maximize the site's location and existing historic structure as it pertains to creating a sustainable, transit-oriented infill development project that provides an affordable senior housing option within the Downtown Core. The project seeks the following modifications permitted through the use of the IID overlay zone:

Major Streets and Routes Setback Zone – Per UDC Section 5.12.5.B.1 – relief from the MS&R setbacks is allowed for projects within the DCS. The proposed project is located within the DCS, and as such, the proposed development seeks relief from the requirements of the Major MS&R setbacks. Doing so allows for the existing Historic Marist College Structure and Walls to remain in their current location, congruent with adjacent parcels. Without the requested relief, the Historic Marist College Structure and Walls would be subject to UDC Section 9 – Nonconforming uses, building and structures, which could create unnecessary challenges and barriers to the renovation and rehabilitation of this iconic Tucson landmark.

Minimum Perimeter Yard – Per UDC Section 5.12.10.C.2 – relief from the minimum perimeter yard standard is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain an existing building footprint that is congruent with the surrounding buildings within this development zone. Doing so allows for the existing Historic Marist College Structure and Walls to remain in their current location. Without the requested relief, the Historic Marist College Structure and Walls would be subject to UDC Section 9 – Nonconforming uses, building and structures, which could create unnecessary challenges and barriers to the renovation and rehabilitation of this iconic Tucson landmark

Landscaping/Screening – Per UDC Section 5.12.10.C.7 – relief from landscaping and screening standards is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief to maintain an existing building footprint that is congruent with the surrounding buildings within this development zone. Without the requested relief, the Historic Marist College Structure and Walls would be subject to UDC Section 9 – Nonconforming uses, building and structures, which could create unnecessary challenges and barriers to the renovation and rehabilitation of this iconic Tucson landmark. Where available and applicable, drought tolerant trees and plants will be installed or left in place.

Motor Vehicle Parking – Per UDC Section 5.12.10.C.5 – relief from minimum vehicular and bicycle parking standards is allowed for projects within the DCS. The proposed project is located within the DCS and, as such, the proposed development seeks relief from the requirements of the Motor Vehicle Parking requirement. Bicycle parking will continue to be

provided per UDC Section 7.4 requirements. Urban environment parking alternatives are available, including metered on-street spaces along Ochoa Street and Church Avenue, as well as spaces within the La Placita garage - located immediately to the north of the proposed project.

Shade – Per UDC Section 5.12.8.A.2.b – relief from the 50% shade requirement may be reduced by the Development Services Director if it is not feasible due to a project site's location and building orientation, and the application has made a reasonable attempt to comply. The project seeks to renovate and rehabilitate the existing Historic Marist College Structure and Walls along Ochoa Street and Church Avenue. Due to the adobe construction, there is grave concern regarding the installation of an underground irrigation system within the areas between the Marist College Structure and the Walls. The deterioration of the structures and walls can be directly related to their exposure to water, and by limiting the plantings along the north and west side of the structure we are able to reduce the rehabilitated structure and walls exposure and ensure future deterioration is limited. Also, the Marist College Structure and Wall serve as an iconic Tucson Landmark, by reducing the planting along the north and west side of the structure, we are able to highlight the historic monument from right-of-way.

*2. DESCRIBE HOW THE PROJECT IS CONSISTENT WITH THE IID PURPOSE TO CREATE SUSTAINABLE INFILL DEVELOPMENT;*

**Response:** This project creates 8 senior multi-family residential units within the Downtown Core Subdistrict while preserving and repurposing a Historic Landmark. This development supports the existing commercial and retail development within the Downtown Core by providing a unique and affordable downtown housing opportunity for seniors to age in place. Ideally positioned near the Tucson Sun-Link transportation system, the proposed project will be able to provide easy accessibility to, and from, the Tucson Central Business District, the vibrant 4<sup>th</sup> Avenue, and the University of Arizona. The project site is surrounded by amenities and employment opportunities, including La Placita, Fox Tucson Theatre, St. Augustine Cathedral, the City/County Municipal Complex, the Tucson Convention Center, and Congress Street to name a few.

*3. DESCRIBE THE BENEFITS THE PROJECT WILL BRING TO THE ADJACENT PROPERTIES AND THE SURROUNDING AREA;*

**Response:** This project will increase consumer traffic within an area lush with restaurant, retail, and office employment centers, both new and old, within Tucson's Downtown Core Subdistrict. This project renovates, rehabilitates, and repurposes a dilapidated Historic Landmark that has remained vacant for years with an affordable senior housing opportunity, meeting the increasing demand of a growing senior population to relocate to an urban environment and experience the various amenities offered. The result is an improved built environment that provides accessibility to alternative modes of transportation, and the opportunity to reside in an iconic Tucson landmark.

4. *DESCRIBE ANY SIGNIFICANT ADVERSE EFFECTS, SUCH AS NOISE LEVELS, GLARE, ODORS, VIBRATION, ILLUMINATION, FUMES AND VAPORS, THE PROJECT WILL HAVE ON ADJACENT PROPERTY;*

**Response:** Noise levels, illumination, vibration, fumes and vapors, and odors associated with this project would be no different, if not less than, those associated with the existing surrounding businesses. The proposed use – residential, are all relatively low intensity uses, and comparable to those being implemented by adjacent properties. It is not only in the best interest of building management, but also their goal, to create a space that is considerate and appealing to the peaceful nature of the residences.

5. *DESCRIBE HOW THE PROJECT WILL CREATE A PEDESTRIAN-ORIENTED STREETScape IN COMPLIANCE WITH THE STREET STANDARDS (UDC SEC. 5.12.8.A);*

**Response:** The project aims to preserve and rehabilitate the existing Historic wall that borders the property along Ochoa Street and Church Avenue. There is a significant grade difference between the sidewalk along both Ochoa Street and Church Avenue, and the main entry of the Marist College. The proposed design aims to create an inviting pedestrian space adjacent to the south façade of the Marist College building, accessible from Church Avenue, which provides access to the elevated open/ plaza space between the Historic Wall and the Marist College Structure and the surrounding areas. The proposed design also increases the existing opening within the historic wall along Ochoa Street, providing increased visual appeal when approaching from the rights-of-way and creates permeability between the right-of-way sidewalk and the development site.

The restored historic wall will provide an important architectural element and detail along the right-of-way pedestrian areas, while also providing shaded opportunities due to its height

6. *DESCRIBE HOW THE PROJECT WILL SUPPORT A SAFE STREETScape COORDINATED WITH ADJOINING PROPERTIES;*

**Response:** Vehicular traffic into the property will be limited to a single ingress and egress location along Church Avenue. The single entry/exit for vehicles focuses travel to a predictable location for pedestrian travelers, all but eliminating pedestrian/vehicle conflict. This design improves the ability for pedestrian users to anticipate vehicle movements and increases caution at the conflict point, while offering a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized.

7. *DESCRIBE HOW THE PROJECT WILL TRANSITION TO ADJACENT EXISTING RESIDENCES AND PROVIDE MITIGATION IN COMPLIANCE WITH THE DEVELOPMENT TRANSITION STANDARDS (UDC SEC. 5.12.8.B);*

**Response:** The Development Transition standards do not apply to this project as this development does not abut any residences lying outside of the Downtown Core Subdistrict.

8. *INDICATE WHETHER THE PROJECT WILL SIGNIFICANTLY IMPEDE SOLAR ENERGY OPTIONS TO ADJACENT PROPERTIES;*

**Response:** The development project proposes to rehabilitate an existing historic structure in the Downtown Core Subdistrict. The project will not create any additional impedences to adjacent properties and their pursuit of solar energy options.

8. *DESCRIBE THE TYPES OF DROUGHT TOLERANT AND NATIVE LANDSCAPING THAT WILL BE USED IN THE PROJECT AND HOW IT WILL BE USED TO ENHANCE THE PROJECT;*

**Response:** This project is within the Downtown Core Subdistrict and will be proposing the use of drought tolerant trees/shrubs per the approved City of Tucson Plant List, as well as those species recommended within the Downtown Streetscape Interim Policy. As a result, the potable water demand ratio for this project per square foot of usable space will be drastically lower than the typical City of Tucson lodging project ratio.

**THIS PROJECT REQUESTS REDUCTIONS IN PARKING AND THEREFORE MUST RESPOND TO THE FOLLOWING:**

1. *DEMONSTRATE HOW THE PROPOSED REDUCED OFF-STREET MOTOR VEHICLE PARKING WILL NOT HAVE AN ADVERSE IMPACT ON ADJACENT PROPERTIES;*

**Response:** This project lies within the Downtown Core Subdistrict and is surrounded by arterial and collector streets. Urban parking options are available, including metered on-street spaces and spaces within the adjacent La Placita garage.

2. *DEMONSTRATE HOW TRAFFIC GENERATED BY THE OFF-STREET MOTOR VEHICLE PARKING PROPOSED IN THE MDR APPLICATION DOES NOT BURDEN NEIGHBORING RESIDENTIAL STREETS;*

**Response:** (SAME AS RESPONSE #1) This project lies within the Downtown Core Subdistrict and is surrounded by arterial and collector streets. Urban parking options are available, including metered on-street spaces and spaces within the adjacent La Placita garage.

**RIO NUEVO DISTRICT (RND) NARRATIVE:**

**Building Design Standards – UDC section 5.11.14**

1. *THE PROPOSED BUILDINGS SHALL RESPECT THE SCALE OF THOSE BUILDINGS LOCATED IN THE DEVELOPMENT ZONE AND SERVE AS AN ORDERLY TRANSITION TO A DIFFERENT SCALE. BUILDING HEIGHTS WITH VASTLY DIFFERENT SCALE THAN THOSE ON ADJACENT PROPERTIES SHOULD HAVE A TRANSITION IN SCALE TO REDUCE AND MITIGATE POTENTIAL IMPACTS. IN AREAS UNDERGOING CHANGE, LONG-RANGE PLANS SHOULD BE CONSULTED FOR GUIDANCE AS TO APPROPRIATE HEIGHTS;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area, therefore maintaining the congruency and scale that currently exists with adjacent properties.

2. *ALL NEW CONSTRUCTION SHALL MAINTAIN THE PREVAILING SETBACK EXISTING WITHIN ITS DEVELOPMENT ZONE;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area, therefore maintaining the congruency and prevailing setback that is currently established with the adjacent properties.

3. *ALL NEW CONSTRUCTION SHALL PROVIDE SCALE-DEFINING ARCHITECTURAL ELEMENTS OR DETAILS AT THE FIRST TWO FLOOR LEVELS, SUCH AS WINDOWS, SPANDRELS, AWNINGS, PORTICOS, CORNICES, PILASTERS, COLUMNS AND BALCONIES;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area, therefore maintaining the congruency and scale-defining architectural elements that are representative of its historic nature.

4. *EVERY COMMERCIAL BUILDING FRONTAGE SHALL PROVIDE WINDOWS, WINDOW DISPLAYS, OR VISIBLE ACTIVITY WITHIN THE ADJACENT BUILDING AT THE GROUND FLOOR LEVEL, WITH A MINIMUM OF 50 PERCENT OF THE BUILDING FRONTAGE PROVIDING SUCH FEATURES;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area for the purposes of a multi-family residential use.

5. *A SINGLE PLANE OF FAÇADE AT THE STREET LEVEL MAY NOT BE LONGER THAN 50 WITHOUT ARCHITECTURAL RELIEF OR ARTICULATION BY FEATURES SUCH AS WINDOWS, TRELLISES AND ARCADES;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area, therefore maintaining the congruency and scale-defining architectural elements that are representative of its historic nature.

6. *BUILDING FAÇADE DESIGN SHALL INCLUDE PEDESTRIAN-SCALED, DOWN-SHIELDED, GLARE CONTROLLED EXTERIOR BUILDING AND WINDOW LIGHTING;*

**Response:** Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture without distracting from the elements of the façade, but also be in full compliance with the Dark Sky Ordinance. The architectural details are representative of the sites historic nature, and will be rehabilitated per the State Historic Preservation Standards.

7. *THE FRONT DOORS OF ALL COMMERCIAL AND GOVERNMENT BUILDING SHALL BE VISIBLE FROM THE STREET AND VISUALLY HIGHLIGHTED BY GRAPHICS, LIGHTING, MARQUEES, OR CANOPIES;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area for the purposes of a multi-family residential use.

8. *MODIFICATIONS TO THE EXTERIOR OF HISTORIC BUILDINGS SHALL COMPLIMENT THE OVERALL HISTORIC CONTEXT OF THE DOWNTOWN AND RESPECT THE ARCHITECTURAL INTEGRITY OF THE HISTORIC FAÇADE;*

**Response:** The development project proposes to renovate and rehabilitate the Historic Marist College and the surrounding Historic Wall. The proposed alterations consist of the addition of an external stairwell and elevator to the east façade to meet the requirements of the American with Disabilities Act. The proposed alteration is placed away from the main access points of the development, ensuring the architectural integrity of the Historic Façade remains is respected and remains intact.

9. *BUILDINGS SHALL BE DESIGNED TO SHIELD ADJACENT BUILDINGS AND PUBLIC RIGHTS-OF-WAY FROM REFLECTED HEAT AND GLARE;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing structure in the Rio Nueva Area per the State Historic Preservation Standards.

10. *SAFE AND ADEQUATE VEHICULAR PARKING AREAS DESIGNED TO MINIMIZE CONFLICTS WITH PEDESTRIANS AND BICYCLES SHALL BE PROVIDED;*

**Response:** Vehicular traffic into the property will be limited to a single ingress and egress location along Church Avenue. The single entry/exit for vehicles focuses travel to a

predictable location for pedestrian travelers, all but eliminating pedestrian/vehicle conflict. This design improves the ability for pedestrian users to anticipate vehicle movements and increases caution at the conflict point, while offering a friendly and safe pedestrian streetscape environment where alternative transportation options may be maximized.

11. *ADEQUATE SHADE SHALL BE PROVIDED FOR SIDEWALKS AND PEDESTRIAN PATHWAYS, USING SHADE STRUCTURES OR VEGETATION, WHERE PERMITTED BY THE CITY OF TUCSON;*

**Response:** The project seeks to renovate and rehabilitate the existing Historic Marist College Structure and Walls along Ochoa Street and Church Avenue. Due to the adobe construction, there is grave concern regarding the installation of an underground irrigation system within the areas between the Marist College Structure and the Walls. The deterioration of the structures and walls can be directly related to their exposure to water, and by limiting the plantings along the north and west side of the structure we are able to reduce the rehabilitated structure and walls exposure to moisture and ensure future deterioration is limited. Also, the Marist College Structure and Wall serve as an iconic Tucson Landmark, by reducing the planting along the north and west side of the structure, we are able to highlight the historic monument from right-of-way.

12. *COLORS MAY CONFORM TO THE OVERALL COLOR PALLETTE AND CONTEXT OF THE DOWNTOWN AREA OR SUBAREA OR MAY BE USED EXPRESSLY TO CREATE VISUAL INTEREST, VARIETY, AND STREET RYTHMS. THE RATIONALE FOR AN EXPRESSIVE OR IDIOSYNCRATIC USE OF COLOR SHALL BE DESCRIBED IN THE SITE PLAN SUBMITTAL;*

**Response:** The development project proposes to rehabilitate an existing structure in the Rio Nueva Area per the State Historic Preservation Standards. The color palette for this project will adhere to the existing color scheme representative of the sites historic nature and adjacent properties.

13. *NEW BUILDINGS SHALL USE MATERIALS, PATTERNS, AND ELEMENTS THAT RELATE TO THE TRADITIONAL CONTEXT OF THE DOWNTOWN AREA OR SUBAREA;*

**Response:** There are no new buildings being proposed on the site. The development project proposes to rehabilitate an existing structure in the Rio Nueva Area per the State Historic Preservation Standards. Concrete, glass, stucco, and steel are all materials prevalent throughout the Downtown area, and will be utilized for the proposed alterations.

14. *TWENTY-FOUR HOUR, STREET LEVEL ACTIVITY IS ENCOURAGED BY PROVIDING A MIXTURE OF RETAIL, OFFICE AND RESIDENTIAL USES WITHIN EACH BUILDING;*

**Response:** The development project proposes to rehabilitate an existing historic structure in the Rio Nuevo Area for the purposes of a multi-family residential use. 24 hour activity will be limited to residents only.

15. *PRIMARY PUBLIC ENTRIES SHALL BE DIRECTLY ACCESSED FROM A SIDEWALK ALONG A STREET RATHER THAN FROM A PARKING LOT. PUBLIC ACCESS TO COMMERCIAL AND GOVERNMENTAL BUILDINGS SHALL BE PROVIDED AT SIDEWALK GRADE. THE PRIMARY FLOOR OR, AND ACCESS TO, RESIDENTIAL STRUCTURES MAY BE ELEVATED. SECONDARY ACCESS MAY BE PROVIDED FROM OFF-STREET PARKING AREAS;*

**Response:** The primary public pedestrian entry for the building will be along Ochoa Avenue; it will be highlighted by an increased opening within the Historic Wall. ADA accessibility is provided along Church Avenue. The primary floor of the building is elevated, and accessible via entrances at the north, south, and east façade.

#### **Site Design Standards – UDC section 5.11.5**

1. *VEHICULAR CIRCULATION;*

**Response:** See Development Plan DP15-0198.

2. *PARKING;*

**Response:** See Development Plan DP15-0198.

3. *PLAZAS AND OPEN SPACE;*

**Response:** See Development Plan DP15-0198.

4. *STREETSCAPE;*

**Response:** See Development Plan DP15-0198, Color Building Elevations, and Downtown Streetscape Interim Policy response.

#### **General Restrictions – UDC Section 5.12.7**

1. *NEW DRIVE-IN OR DRIVE-THROUGH FACILITIES ARE NOT PERMITTED, EXCEPT FOR BUSINESSES LOCATED ADJACENT TO THE FREEWAY, OR AS APPROVED THROUGH THE DEVELOPMENT REVIEW PROCESS;*

**Response:** This project will not have any drive-in or drive-through facilities.

2. *USES SHALL BE ACCOMODATED WITHOUT ALTERING THE HISTORIC CHARACTER-DEFINING FEATURES OF STRUCTURES ON OR ELIGIBLE FOR DESIGNATION ON THE NATIONAL REGISTER;*

**Response:** This project will not alter the character-defining features of the Historic Structure and Wall, and in no way cause it to become delisted from the National Register.



These responses are intended to supplement the Infill Incentive District Design Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

**Cypress Civil Development**

A handwritten signature in black ink that reads "Matt Stuart". The signature is written in a cursive style with a long horizontal line extending to the right.

Matt Stuart

Project Manager

(520) 561-4983

[mstuart@cypresscivil.com](mailto:mstuart@cypresscivil.com)

# ELEVATIONS



CYPRESS  
CIVIL DEVELOPMENT



POSTER  
FROST  
MIRTO

FSL  
Helping those you love live independently

THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE



# ARCHITECTURAL PRECEDENT



CYPRESS  
CIVIL DEVELOPMENT

POSTER  
FROST  
MIRTO

FSL  
Helping those you love live independently

THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

# ARCHITECTURAL PRECEDENT



CYPRESS  
CIVIL DEVELOPMENT



POSTER  
FROST  
MIRTO

FSL  
Helping those you love live independently

THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE

## APPENDICES

CYPRESS  
CIVIL DEVELOPMENT

POSTER  
FROST  
MIRTO



THE MARIST  
ON CATHEDRAL SQUARE  
- MARIST COLLEGE



NEIGHBORHOOD MEETING DOCUMENTATION







# REQUEST FOR MAILING LABELS

Project Address NWC South Church Avenue & West Ochoa Street, Tucson, AZ 85701  
(Note: if this is a new address, please provide verification from Pima County Addressing)

Applicant/Agent Name Matt Stuart - Cypress Civil Development

Mailing Address 2102 N Country Club Road #9, Tucson, AZ 85716

Phone (520) 561-4983

Matt Stuart 10/19/2015  
Applicant/Agent Signature Date

**Please attach the following.** Printouts and maps must be generated from the Pima County Assessor's Database. Department of Transportation information **will not** be accepted.

- Assessor's Property Inquiry Printout (APIQ) (one printout for each lot comprising the project site)  Assessor's Block & Lot Map

## THE FOLLOWING SECTIONS TO BE COMPLETED BY STAFF

**LABELS ARE REQUESTED FOR THE FOLLOWING PROCESS:**

- |   |  |
|---|--|
| <input type="checkbox"/> Environment Resource Zone                        | <input type="checkbox"/> WASH Ordinance  |
| <input type="checkbox"/> Hillside Development Zone                        | <input type="checkbox"/> Scenic Corridor Zone  |
| <input type="checkbox"/> Design Development Option                        | <input type="checkbox"/> Board of Adjustment   |
| <input type="checkbox"/> Design Development Option ( <b>Full Notice</b> ) | <input checked="" type="checkbox"/> Other: <u>Infill Incentive District - Major Review</u> |
| <input type="checkbox"/> Rezoning/SE                                      |  |

## PROCESSING FEE

- \$220.00  Check Number: \_\_\_\_\_  Cash  
 Charge Account: \_\_\_\_\_

Date Received: \_\_\_\_\_ Date Due: \_\_\_\_\_

Requested By: \_\_\_\_\_ Due To: \_\_\_\_\_

Request to: JR \_\_\_\_\_ SM \_\_\_\_\_ Other \_\_\_\_\_

Comments/Special Notes: \_\_\_\_\_

ACTIVITY NUMBER: \_\_\_\_\_

Book-Map-Parcel: 117-13-157A

[Oblique Image](#)

Tax Year:

Tax Area: 0163

**Property Address:**

**Taxpayer Information:**

SAINT AUGUSTINE CATHEDRAL ROMAN  
CATHOLIC PARISH-TUCSON  
ATTN: REAL PROPERTY DEPT  
PO BOX 31  
TUCSON AZ  
85702-0031

**Property Description:**

TUCSON NWLY PTN LOT 1 BLK 224

**Valuation Data:**

2015				2016			
LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE	LEGAL CLASS	VALUE	ASMT RATIO	ASSESSED VALUE
LAND FCV COMMERCIAL (1)	\$667,561	18.5	\$123,499	COMMERCIAL (1)	\$667,561	18.0	\$120,161
IMPR FCV COMMERCIAL (1)	\$613,424	18.5	\$113,483	COMMERCIAL (1)	\$628,311	18.0	\$113,096
TOTAL FCV COMMERCIAL (1)	\$1,280,985	18.5	\$236,982	COMMERCIAL (1)	\$1,295,872	18.0	\$233,257
LIMITED VALUE COMMERCIAL (1)	\$1,280,985	18.5	\$236,982	COMMERCIAL (1)	\$1,295,872	18.0	\$233,257

**Property Information:**

Section: 13  
Town: 14.0  
Range: 13.0E  
Map & Plat: 3/70  
Block: 224  
Tract:  
Rule B District: 1  
Land Measure: 37025.00F  
Group Code:  
Census Tract: 100  
[Use Code:](#) 1040 (MISC COMMERCIAL )  
File Id: 1  
Date of Last Change: 7/28/2010

**Commercial Characteristics:**

Property Appraiser: Donald B. Phone: (520)724-7426

**Commercial Summary**

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	15,306	\$628,311	\$0	\$0

**Commercial Detail**

SEQ-SECT	Construct Year	Model/Grd	IPR	Sq Ft	RCN	RCNLD	Model Description
<a href="#">001-001</a>	1920	903/3	0000000	11,503	\$1,204,792	\$453,002	CHURCH
<a href="#">002-001</a>	1921	903/3	0000000	3,803	\$447,311	\$168,189	CHURCH
<a href="#">003-001</a>	1990	290/3	0000000	0	\$17,010	\$7,120	PARKING LOT

**Valuation Area:**

Condo Market: 60  
DOR Market: 31  
MFR Neighborhood: CB\_DOWNTOWN  
SFR Neighborhood: 01020201  
SFR District: 30

**Supervisor District:**

(2) RAMON VALADEZ

**Recording Information:**

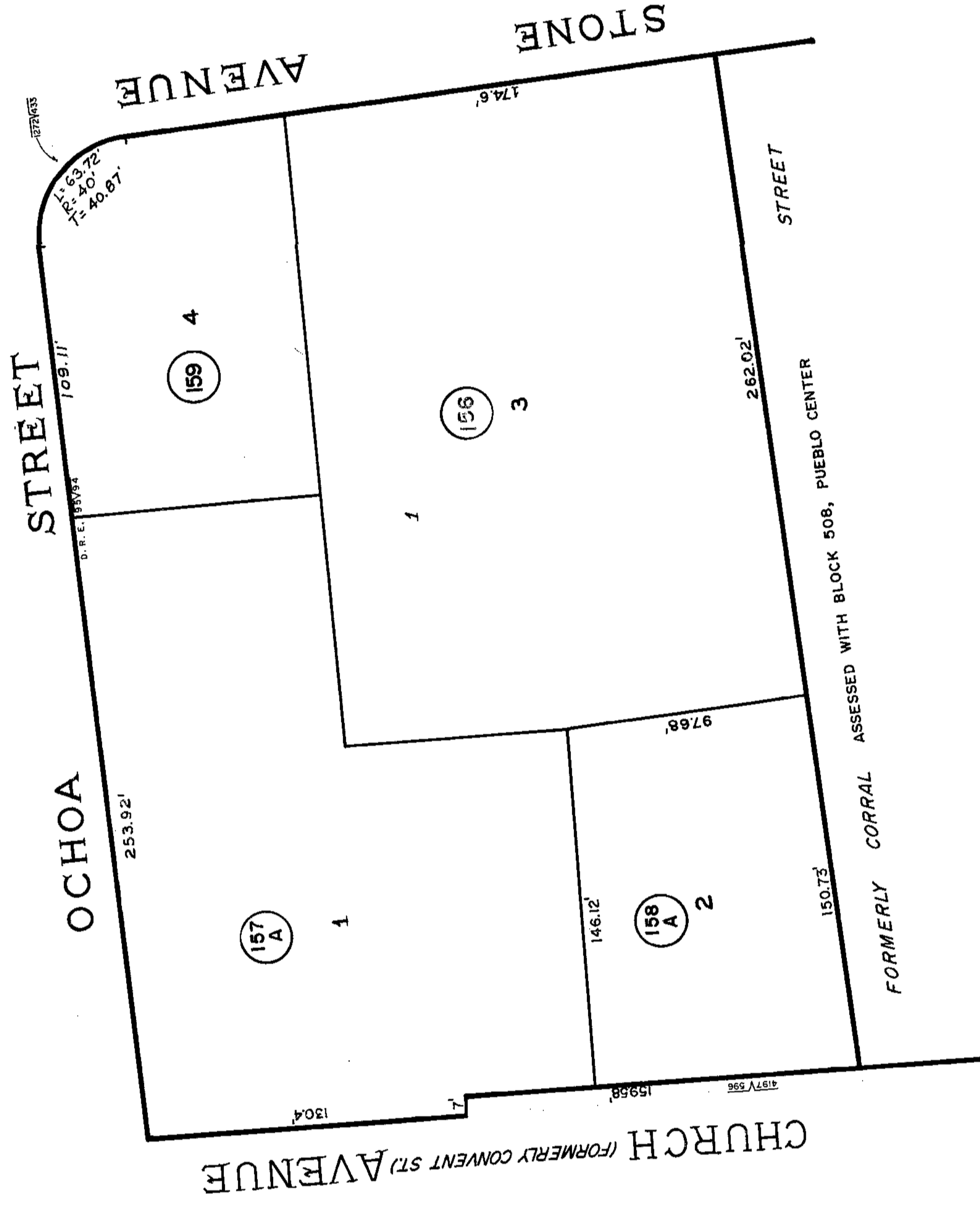
Sequence No.	Docket	Page	Date Recorded	Type
20060711678	12782	6036	4/13/2006	QUIT CLAIM DEED
0	4197	596	2/29/1972	
0	21	666	1/1/1753	

Parcel Note: Click to see/expand 3 note(s)

# ASSESSOR'S RECORD MAP

## Block 224, City of Tucson

117-13  
12/15



SCALE - 1" = 50'

SEE BOOK 3, PAGE 70, M & P.  
1976

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Matt Stuart  
Applicant/Agent Signature

10/19/2015

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 Hillside Development Zone  Scenic Corridor Zone  
 Design Development Option  Board of Adjustment  
 Design Development Option (Full Notice)  Other: Infill Incentive District - Major Review  
 Rezoning/SE

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 Charge Account: \_\_\_\_\_

Date Received: \_\_\_\_\_ Date Due: 10/21

Requested By: \_\_\_\_\_ Due To: \_\_\_\_\_

Request to: JR \_\_\_\_\_ SM \_\_\_\_\_ Other \_\_\_\_\_

Comments/Special Notes: \_\_\_\_\_

ACTIVITY NUMBER: T15PRE0088

Book-Map-Parcel: 117-13-157A

Oblique Image

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Tax Area: 0163

Property Address:

Taxpayer Information:

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TUCSON AZ  
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Supervisor District:

(2) RAMON VALADEZ

Recording Information:

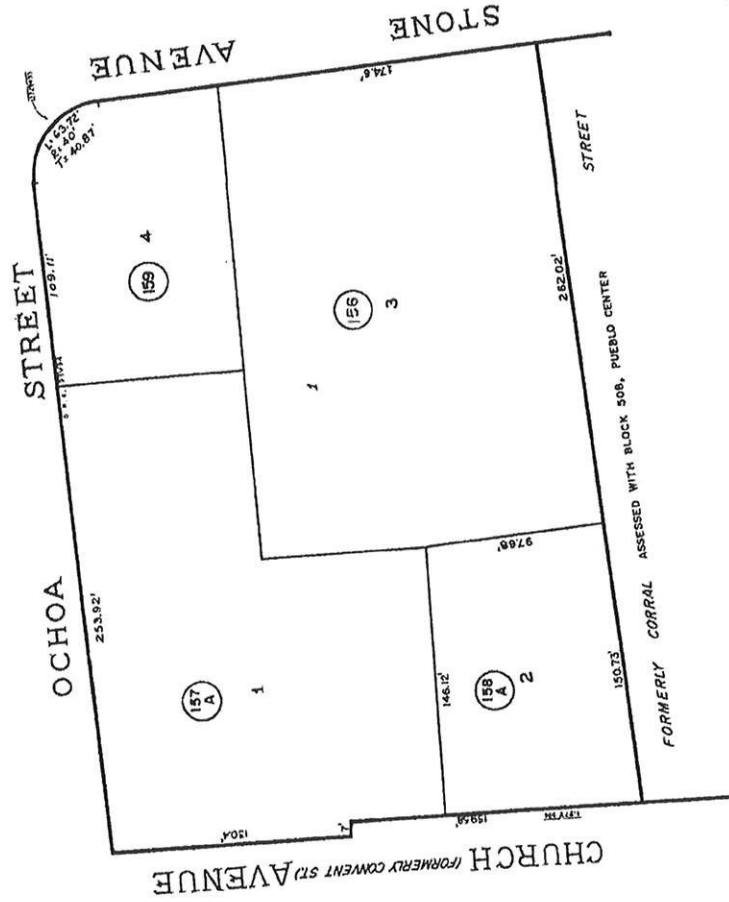
Sequence No.	Docket	Page	Date Recorded	Type
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0	4197	596	2/29/1972	
0	21	666	1/1/1753	

Parcel Note: Click to see/expand 3 note(s)

ASSESSOR'S RECORD MAP

Block 224, CITY OF TUCSON

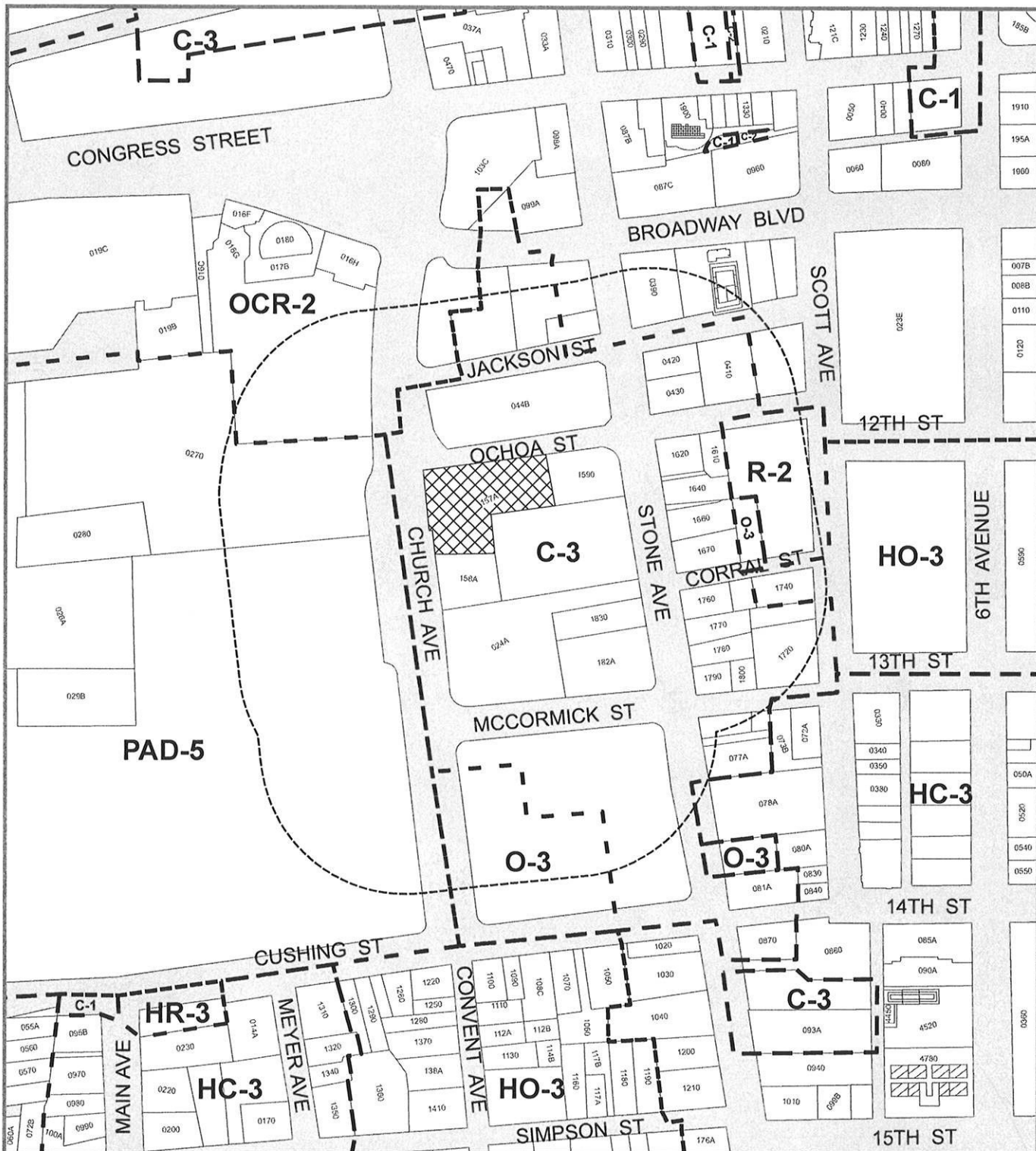
117-13  
12/15



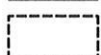
SCALE-1"=50'

SEE BOOK 3, PAGE 70, M & P.  
1976

6-84 (5)



Site



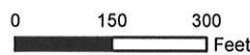
300' Notification Area



Zone Boundaries



Address: SEC Church Ave & Ochoa St  
 Base Maps: Sec.13 T.14 R.13  
 Ward: 6



1 inch = 300 feet





11720016G  
HSL LA PLACITA LLC  
ATTN: OMAR MIRELES  
3901 E BROADWAY BLVD  
TUCSON AZ 85711

11720015A  
CATHOLIC FOUNDATION FOR THE DIOCESE  
OF TUCSON  
111 S CHURCH AVE  
TUCSON AZ 85701

11713223A  
DAVILA SUZANA REVOC LIVING TR  
ATTN: CAFE POCO COSA  
110 E PENNINGTON ST # 100  
TUCSON AZ 85701

11713027A  
COPE PROPERTIES LLC  
82 S STONE AVE  
TUCSON AZ 85701

117200270  
CITY OF TUCSON  
.  
00000

117131600  
MASONIC-SCOTTISH RITE CATHEDRAL ASSN  
PO BOX 391  
TUCSON AZ 85702

117131560  
SAINT AUGUSTINE CATHEDRAL ROMAN  
CATHOLIC PARISH-TUCSON  
PO BOX 31  
TUCSON AZ 85702

117131740  
JENNINGS JON LIVING TR  
ATTN: ERIC & BARBARA  
204 S SCOTT AVE  
TUCSON AZ 85701

117131760  
STONE AVENUE HOMES LLC  
75-5706 HANAMA PL STE 104  
KAILUA KONA HI 96740

117140740  
FIMBRES FAMILY LLC  
ATTN: NORMA FIMBRES DANYO  
1515 GLEN OAKS BLVD  
PASADENA CA 91105

117132270  
PROVIDENCE SERVICE CORP  
64 E BROADWAY BLVD  
TUCSON AZ 85701

11713029A  
7740 ORACLE LLC 44% & ELCARO XTRA LLC 36%  
& VISTOSO LLC 20%  
ATTN: ROB CAYLOR  
6422 E SPEEDWAY BLVD STE 130  
TUCSON AZ 85710

117132260  
UNIVERSITY OF AZ FOUNDATION  
1111 N CHERRY AVE  
TUCSON AZ 85721

117130400  
130 SOUTH SCOTT LLC  
ATTN: DON SEMRO  
70 W CUSHING ST  
TUCSON AZ 85701

11713044B  
LA PLACITA INVESTORS LP  
ATTN: BP LA PLACITA VILLAGE INVESTORS  
3915 E BROADWAY BLVD STE 400  
TUCSON AZ 85711

117131610  
DE LA WARR INVESTMENT CORP  
33 N STONE AVE STE 850  
TUCSON AZ 85701

11720029A  
RIO NUEVO MULTIPURPOSE FACILITIES DISTRICT  
ATTN: PROPERTY MANAGEMENT  
PO BOX 27210  
TUCSON AZ 85726

117131750  
SCHWABE RON & PATRICIA CP/RS  
44 E BROADWAY BLVD STE 300  
TUCSON AZ 85701

117131830  
CARRILLO REALTY INVESTMENTS LLC  
ATTN: LOIS CARRILLO  
410 N JOESLER CT  
TUCSON AZ 85716

117140750  
MORENO FAMILY & ARTURO & ELIAS ALBERT &  
MARIA & ALBERTO M & VIOLA B  
748 S 4TH AVE  
TUCSON AZ 85701

117130390  
CURRY MELINDA ELIZABETH 1/2 ET AL  
ATTN: SUSAN C ONG-WESTERNER OFFICE BLDG  
10 E BROADWAY BLVD STE 400  
TUCSON AZ 85701

117130320  
ARIZONA PIONEERS HISTORICAL SOCIETY  
949 E 2ND ST  
TUCSON AZ 85719

117132250  
CAMPECHE LLC  
3849 E BROADWAY BLVD # 175  
TUCSON AZ 85716

117130420  
RALLY POINT APARTMENTS LP  
504 W 29TH ST  
TUCSON AZ 85713

117130430  
GREAT WESTERN ASSOC LP  
520 W LAWRENCE RD  
PHOENIX AZ 85013

117131590  
SAINT AUGUSTINE CATHEDRAL  
ATTN: REAL PROPERTY DEPT  
PO BOX 31  
TUCSON AZ 85702

11713158A  
SAINT AUGUSTINE CATHEDRAL  
ATTN: REAL PROPERTY DEPT  
PO BOX 31  
TUCSON AZ 85702

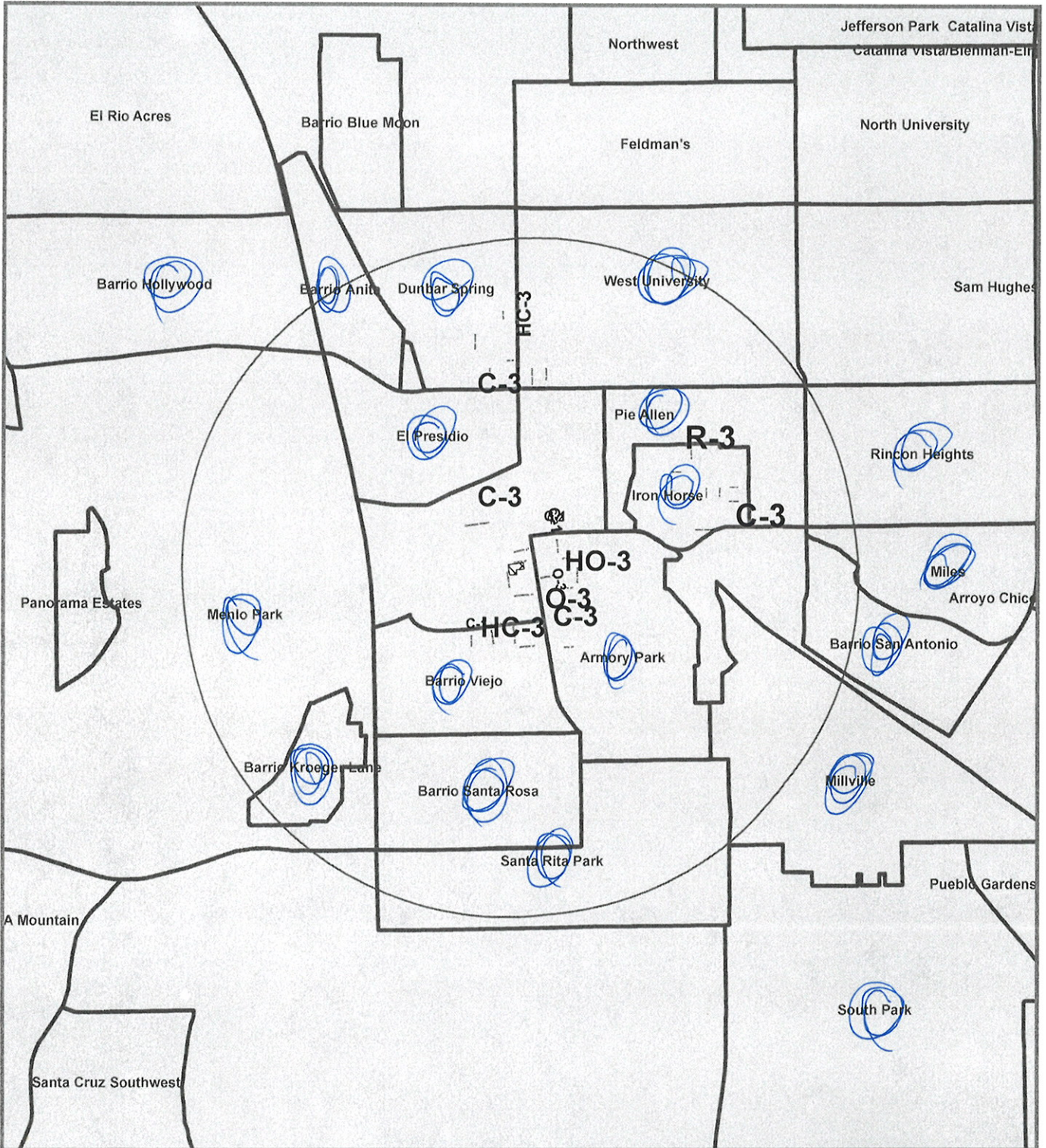
11720024A  
SAINT AUGUSTINE CATHEDRAL ROMAN  
CATHOLIC PARISH TUCSON  
PO BOX 31  
TUCSON AZ 85702

117131720  
236 S SCOTT LLC  
44 E BROADWAY BLVD STE 300  
TUCSON AZ 85701

117140760  
MORENO FAMILY & ARTURO & ELIAS ALBERT &  
MARIA & ALBER M & VIOLA B  
748 S 4TH AVE  
TUCSON AZ 85701

11714077A  
PETERSON THOMAS & CHACHITA FAMILY TR  
135 S PALOMAR DR  
TUCSON AZ 85711

T15PRE0088 created 10/23/2015  
Expires 12/23/2015  
2 pages



Address: SEC Church Ave & Ochoa St  
 Base Maps: Sec.13 T.14 R.13  
 Ward: 6



Site



0500  
 Feet

1 inch = 2,416.583333 feet

N



Jonathan Rothschild  
Mayor  
255 W. Alameda ST  
Tucson, AZ 85701

Nathan Wade  
N.A.-Armory Park  
514 S. 6th Ave  
Tucson, AZ 85701

David Bachman-Williams  
N.A.-Armory Park  
350 E. 15th St.  
Tucson, AZ 85701

Gracie N. Soto  
N.A.-Barrio Anita  
809 N. Anita Ave.  
Tucson, AZ 85705

Tina Gonzales  
N.A.-Barrio Anita  
855 N. Contzen  
Tucson, AZ 85705

Feliciano Leon  
N.A.-Barrio Anita  
772 N. Anita Ave  
Tucson, AZ 85705

Kacey Carleton  
N.A.-Barrio Hollywood  
701 N Seminole Ave  
Tucson, AZ 85745

Warren McElyea  
N.A.-Barrio Hollywood  
905 N Grande Ave  
Tucson, AZ 85745

Margaret McKenna  
N.A.-Barrio Hollywood  
1212 W Ontario St.  
Tucson, AZ 85745

Josefina Cardenas (Chair)  
N.A.-Barrio Kroeger Lane  
902 W. 21st St.  
Tucson, AZ 85745

Margaret Ward  
N.A.-Barrio Kroeger Lane  
870 W 19th St  
Tucson, AZ 85745

David Madril Sr.  
N.A.-Barrio Kroeger Lane  
945 W. Ochoa Ln  
Tucson, AZ 85745

Ana Acuna  
N.A.-Barrio San Antonio  
Tucson, AZ 85719

Ted Warmbrand  
N.A.-Barrio San Antonio  
402 S Star Ave  
Tucson, AZ 85719

Mike Mason  
N.A.-Barrio San Antonio  
Tucson, AZ 85719

Art Munoz  
N.A.-Barrio Santa Rosa  
Tucson, AZ

Yolanda Gonzales  
N.A.-Barrio Santa Rosa  
826 S. Rubio  
Tucson, AZ 85701

Nicole Gonzales  
N.A.-Barrio Santa Rosa  
323 W. 19th Street  
Tucson, AZ 85701

Pedro M Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Letitia A Gonzales  
N.A.-Barrio Viejo  
423 S Elias  
Tucson, AZ 85701

Sky Jacobs  
N.A.-Dunbar Spring  
P.O. Box 508  
Tucson, AZ 85702

Karen Greene  
N.A.-Dunbar Spring  
Tucson, AZ

Thaddeus Pace (Co-Pres)  
N.A.-El Presidio  
425 N Main Ave  
Tucson, AZ 85701

Mary Jo Curtin  
N.A.-El Presidio  
233 N Main Ave  
Tucson, AZ 85701

Mike Rebro (Co-Pres)  
N.A.-El Presidio  
426 N Court  
Tucson, AZ 85701

Jeff DiGregorio  
N.A.-Iron Horse  
-  
Tucson, AZ -

Mary Lynn Miners  
N.A.-Iron Horse  
528 E. 8th St.  
Tucson, AZ 85705

John Daniel Twelker  
N.A.-Iron Horse  
229 N 1st Ave  
Tucson, AZ 85719

Gene Einfrank  
N.A.-Menlo Park  
212 S. Avenida del Sembrador  
Tucson, AZ 85745

Suzanne Cervantes Sheard  
N.A.-Menlo Park  
184 S Avenida del Sembrador  
Tucson, AZ 85745

David Walker  
N.A.-Menlo Park  
123 N Melrose Ave  
Tucson, AZ 85745

Andrew Hayes  
N.A.-Miles  
Tucson, AZ

Peter Norback  
N.A.-Miles  
1428 E Miles  
Tucson, AZ 85719

George Kalil  
N.A.-Millville  
931 S Highland  
Tucson, AZ 85719

Roger Becksted  
N.A.-Millville  
1070 E 20th St  
Tucson, AZ 85719

Brett DuMont  
N.A.-Millville  
1015 S Park Ave  
Tucson, AZ 85719

Nancy Robins  
N.A.-Pie Allen  
801 E 7th St  
Tucson, AZ 85719

Pat Homan  
N.A.-Pie Allen  
850 E. 7th St  
Tucson, AZ 85719

Evren Sonmez  
N.A.-Rincon Heights  
1735 E 8th St  
Tucson, AZ 85719

Mark S. Homan  
N.A.-Rincon Heights  
1619 E 8th St  
Tucson, AZ 85719

Timothy A. Olcott  
N.A.-Rincon Heights  
1141 E. 9th St.  
Tucson, AZ 85719

Brian Flagg  
N.A.-Santa Rita Park-West Ochoa  
352 E 25th St  
Tucson, AZ 85713

Ernie Lujan  
N.A.-Santa Rita Park-West Ochoa  
1445 S 4th Ave  
Tucson, AZ 85713

Glenn Davis (Co-Chair)  
N.A.-South Park  
P.O. Box 26302  
Tucson, AZ 85726

Walter Hopkins (Co-Chair)  
N.A.-South Park  
Tucson, AZ

Chris Gans  
N.A.-West University  
P.O. Box 42825  
Tucson, AZ 85733

Angela Storey  
N.A.-West University  
P.O. Box 42825  
Tucson, AZ 85733

Richard Mayers  
N.A.-West University  
PO Box 42825  
Tucson, AZ 85733

Regina Romero  
Ward 1  
940 W. Alameda St  
Tucson, AZ 85745

Richard Fimbres  
Ward 5  
4300 S. Park Av  
Tucson, AZ 85714

Steve Kozachik  
Ward 6  
3202 E. 1st St  
Tucson, AZ 85716

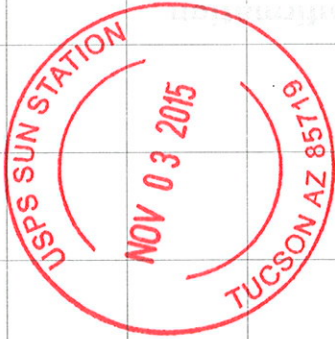
Name and Address of Sender

Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5025	HSL: La Placita LLC Attn: Omar Mireles 3901 E. Broadway Blvd Tucson, AZ 85711											
2. 7015 1520 0003 2361 5032	Catholic Foundation for the Diocese of Tucson 111 S. Church Ave Tucson, AZ 85701											
3. 7015 1520 0003 2361 5049	Davila Suzana Revoc Living Tr Attn: Café Poco Cosa 110 E. Pennington St. # 100 Tucson, AZ 85701											
4. 7015 1520 0003 2361 5056	Cope Properties LLC 82 S. Stone Ave Tucson, AZ 85701											
5. 7015 1520 0003 2361 5063	La Placita Investors LP Attn: BP La Placita Village Investors 3915 E. Broadway Blvd, Ste. 400 Tucson, AZ 85711											
6. 7015 1520 0003 2361 5070	De La Warr Investment Corp 33 N. Stone Ave, Ste. 850 Tucson, AZ 85701											
7. 7015 1520 0003 2361 5067	Jennings Jon Living TR Attn: Eric & Barbara 204 S. Scott Ave Tucson, AZ 85701											
8. 7015 1520 0003 2361 5094	Carrillo Realty Investments LLC Attn: Lois Carrillo 410 N. Joesler Ct Tucson, AZ 85716											
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster, Per (Name of receiving employee)								



See Privacy Act Statement on Reverse

Complete by Typewriter, Ink, or Ball Point Pen

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Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **HSL: La Placita** TUCSON, AZ 85719

Street and Apt. No.: Attn: Omar Mirreles  
3901 E. Broadway Blvd

City, State, Zip: Tucson, AZ 85711

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2015 1520 0003 025T 5T02

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Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **Catholic Foundation for the Diocese of Tucson** TUCSON, AZ 85719

Street and Apt. No.: 111 S. Church Ave

City, State, Zip: Tucson, AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **Davila Suzana Revoc Living Tr** TUCSON, AZ 85719

Street and Apt. No.: Attn: Café Poco Cosá UCSSON A  
110 E. Pennington St. #100

City, State, Zip+4: Tucson, AZ 85701

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Adult Signature Restricted Delivery \$ \_\_\_\_\_

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Sent To **Cope Properties** TUCSON, AZ 85701

Street and Apt. No.: 82 S. Stone Ave

City, State, Zip+4: Tucson, AZ 85701

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Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **La Placita Investors** TUCSON, AZ 85719

Street and Apt. No.: Attn: BP La Placita Village Investors  
3915 E. Broadway Blvd, Ste. 400

City, State, Zip+4: Tucson, AZ 85711

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Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **De La Warr Investment Corp** TUCSON, AZ 85719

Street and Apt. No.: 33 N. Stone Ave, Ste. 850

City, State, Zip+4: Tucson, AZ 85701

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Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **De La Warr Investment Corp** TUCSON, AZ 85719

Street and Apt. No.: 33 N. Stone Ave, Ste. 850

City, State, Zip+4: Tucson, AZ 85701

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Sent To **Jennings Jon Living TR**  
 Attn: Eric & Barbara  
 204 S. Scott Ave  
 Tucson, AZ 85701

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Sent To **Carrillo Realty Investments LLC**  
 Attn: Lois Carrillo  
 410 N. Joeslex Ct  
 Tucson, AZ 85716

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Adult Signature Required \$ \_\_\_\_\_

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Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To **Carrillo Realty Investments LLC**  
 Attn: Lois Carrillo  
 410 N. Joeslex Ct  
 Tucson, AZ 85716

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7015 1520 025T 0000 19E2 5072



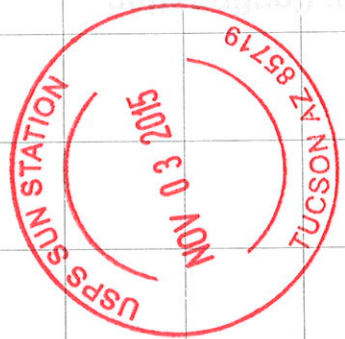
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1. 7015 1520 0003 2361 5100	Moreno Family & Arturo & Elias Albert & Maria & Alberto M & Viola B 748 S. 4 <sup>th</sup> Ave Tucson, AZ 85701											
2. 7015 1520 0003 2361 5117	Providence Service Corp. 64 E. Broadway Blvd. Tucson, AZ 85701											
3. 7015 1520 0003 2361 5124	7740 Oracle LLC 44% & Elcaro Xtra LLC 36% & Vistoso LLC 20% Attn: Rob Caylor 6422 E. Speedway Blvd., Ste. 130 Tucson, AZ 85710											
4. 7015 1520 0003 2361 5131	University of AZ Foundation 1111 N. Cherry Ave. Tucson, AZ 85721											
5. 7015 1520 0003 2361 5148	130 South Scott LLC Attn: Don Semro 70 W. Cushing St Tucson, AZ 85701											
6. 7015 1520 0003 2361 5155	Great Western Associates LP 520 W. Lawrence Rd Phoenix, AZ 85013											
7. 7015 1520 0003 2361 5162	Saint Augustine Cathedral Attn: Real Property Dept PO Box 31 Tucson, AZ 85702											
8. 7015 1520 0003 2361 5179	Schwabe Ron & Patricia CP/RS 44 E. Broadway Blvd., Ste 300 Tucson, AZ 85701											



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Sent To Moreno Family & Arturo & Elias Albert & Maria & Alberto M & Viola B

Street and Apt. No., or P.O. Box 748 S. 4<sup>th</sup> Ave

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Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To 7740 Oracle LLC 44% & Elg@Xtra LLC 36% & Vistoso LLC 20%

Street and Apt. No., or P.O. Box Attn: Rob Caylor

City, State, Zip+4® 6422 E. Speedway Blvd., Ste. 130 Tucson, AZ 85710

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Adult Signature Restricted Delivery \$

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Sent To University of Arizona

Street and Apt. No., or P.O. Box 1111 N. Cherry Ave.

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Sent To 130 South Scott

Street and Apt. No., or Attn: Don Semro

City, State, Zip+4® 70 W. Cushing St Tucson, AZ 85701

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Adult Signature Restricted Delivery \$

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Sent To Great Western Associates LP

Street and Apt. No., 520 W. Lawrence Rd

City, State, Zip+4® Phoenix, AZ 85013

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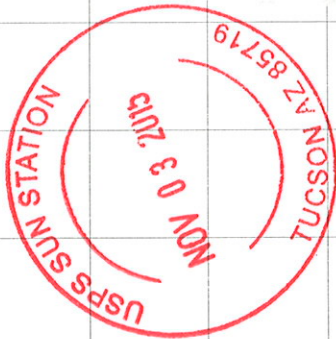
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1. 7015 1520 0003 2361 5186	236 S. Scott LLC 44 E. Broadway Blvd., Ste. 300 Tucson, AZ 85701											
2. 7015 1520 0003 2361 5193	Peterson Thomas & Chachita Family TR 135 S. Palomar Dr. Tucson, AZ 85711											
3. 7015 1520 0003 2361 5209	Curry Melinda Elizabeth 1/4 Et Al Attn: Susan C Ong-Westerner Office Bldg 10 E. Broadway Blvd, Ste. 400 Tucson, AZ 85701											
4. 7015 1520 0003 2361 5216	Arizona Pioneers Historical Society 949 E. 2 <sup>nd</sup> St. Tucson, AZ 85719											
5. 7015 1520 0003 2361 5223	Campeche LLC 3849 E. Broadway Blvd. # 175 Tucson, AZ 85716											
6. 7015 1520 0003 2361 5230	Rally Point Apartments LP 504 W. 29 <sup>th</sup> St Tucson, AZ 85713											
7. 7015 1520 0003 2361 5247	Masonic-Scottish Rite Cathedral Assn PO Box 391 Tucson, AZ 85702											
8. 7015 1520 0003 2361 5254	Rio Nuevo Multi-Purpose Facilities Dist. Attn: Property Management PO Box 27210 Tucson, AZ 85726											



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Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To

Peterson Thomas & Chachita Fa

Street and Apt. No., 135 S. Palomar Dr.

Tucson, AZ 85711

City, State, Zip+4® Tucson, AZ 85711

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Certified Mail Restricted Delivery \$

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Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To

Curry Melinda Elizabeth 1/2 Et Al

Street and Apt. No., Attn: Susan C Ong - Westmer Office Bldg

10 E. Broadway Blvd, Ste. 400

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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

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Total Postage and Fees \$

Sent To

Arizona Pioneers-Historical Society

Street and Apt. 949 E. 2<sup>nd</sup> St.

City, State, Zip Tucson, AZ 85719

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Adult Signature Restricted Delivery \$

Postage \$

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Campeche LLC

Street and Apt. 3849 E. Broadway Blvd. # 175

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Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To

Rally Point Apartments LP

Street and Apt. 504 W. 29<sup>th</sup> St

City, State, Zip Tucson, AZ 85713

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City, State, Zi \_\_\_\_\_

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PO Box 391  
Tucson, AZ 85702

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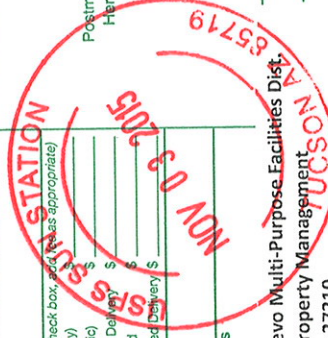
Sent To \_\_\_\_\_

Street and Ap \_\_\_\_\_

City, State, Zi \_\_\_\_\_

Rio Nuevo Multi-Purpose Facilities Dist.  
Attn: Property Management  
PO Box 27210  
Tucson, AZ 85726

Postmark Here \_\_\_\_\_



7025 1520 1962 0000 0257 5702

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

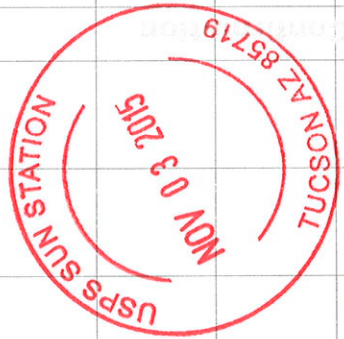
Name and Address of Sender

Check type of mail or service:

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- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5261	Stone Avenue Homes, LLC 75-5706 Hanama Pl., Ste. 104 Kailua Kona, HI 96740											
2. 7015 1520 0003 2361 5278	Fimbres Family LLC Attn: Norma Fimbres Danyo 1515 Glen Oaks Blvd Pasadena, CA 91105											
3. 7015 1520 0003 2361 5285	Jonathan Rothschild Mayor 255 W. Alameda St Tucson, AZ 85701											
4. 7015 1520 0003 2361 5292	Gracie N. Soto N.A. - Barrio Anita 809 N. Anita Ave. Tucson, AZ 85705											
5. 7015 1520 0003 2361 5308	Kacey Carleton N.A. - Barrio Hollywood 701 N. Seminole Ave. Tucson, AZ 85745											
6. 7015 1520 0003 2361 5315	Josefina Cardenas (Chair) N.A. - Barrio Kroeger Lane 902 W. 21 <sup>st</sup> St. Tucson, AZ 85745											
7. 7015 1520 0003 2361 5322	Ted Warmbrand N.A. - Barrio San Antonio 402 S. Star Ave. Tucson, AZ 85719											
8. 7015 1520 0003 2361 5339	Pedro M. Gonzales N.A. - Barrio Viejo 423 S. Elias Tucson, AZ 85701											



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 Postage \$  
 Total Postage and Fees \$

Sent To Jonathan Rothschild  
 Street and Apt. No., Mayor  
 255 W. Alameda St  
 City, State, Zip+4® Tucson, AZ 85701

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7015 2510 0257 0000 3612 2925 5825



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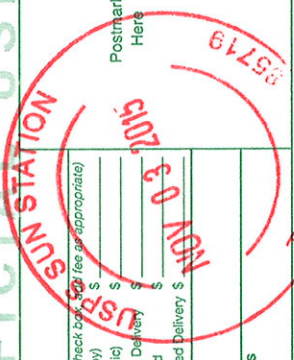
**OFFICIAL USE**

Certified Mail Fee \$  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Fimbres Family LLC  
 Street and Apt. No., Attn: Norma Fimbres Danyo  
 1515 Glen Oaks Blvd  
 City, State, Zip+4® Pasadena, CA 91105

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7015 2510 0257 0000 3612 2925 8225



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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Stone Avenue-Homes, LLC  
 Street and Apt. No., 75-5706 Hapama Pl., Ste. 104  
 Kailua Kona, HI 96740  
 City, State, Zip Tucson, AZ

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7015 2510 0257 0000 3612 2925 1925



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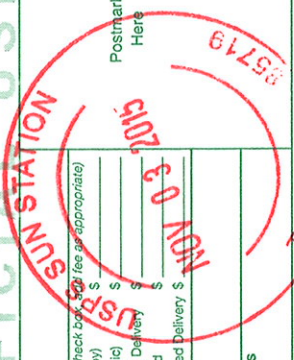
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Certified Mail Fee \$  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Kacey Carleton  
 Street and Apt. No., N.A. - Barrio Hollywood  
 701 N. Seminole Ave.  
 City, State, Zip+4® Tucson, AZ 85745

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7015 2510 0257 0000 3612 2925 8025



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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Gracie N. Soto  
 Street and Apt. No., N.A. - Barrio Anita  
 809 N. Anita Ave.  
 City, State, Zip+4® Tucson, AZ 85705

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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Josefine Cardenas (Chair)  
 Street and Apt. No., N.A. - Barrio Kroeger Lane  
 902 W. 21<sup>st</sup> St.  
 City, State, Zip+4® Tucson, AZ 85745

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7015 2510 0257 0000 3612 2925 5702



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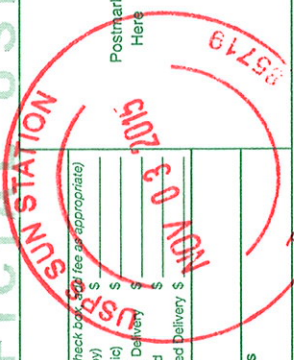
**OFFICIAL USE**

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 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Josefine Cardenas (Chair)  
 Street and Apt. No., N.A. - Barrio Kroeger Lane  
 902 W. 21<sup>st</sup> St.  
 City, State, Zip+4® Tucson, AZ 85745

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7015 2510 0257 0000 3612 2925 5702





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Return Receipt (hardcopy) \$ \_\_\_\_\_

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Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Ted Warmbrand

Street and Apt. No. N.A. - Barrio San Antonio

City, State, ZIP+4 402 S. Star Ave. Tucson, AZ 85719

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Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Pedro M. Gonzales

Street and Apt. No. N.A. - Barrio Viej

City, State, ZIP+4 423 S. Elias Tucson, AZ 85701

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2225 1922 0000 0257 5102

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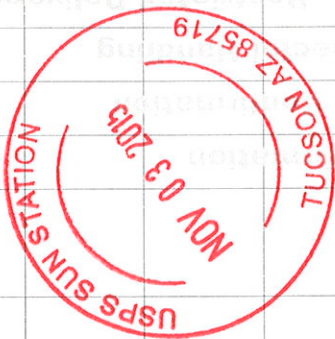
Name and Address of Sender

Check type of mail or service:

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- Recorded Delivery (International)
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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5346	Thaddeus Pace (Co-Pres) N.A. - El Presidio 425 N. Main Ave. Tucson, AZ 85701											
2. 7015 1520 0003 2361 5353	Mary Lynn Miners N.A. - Iron Horse 528 E. 8 <sup>th</sup> St. Tucson, AZ 85705											
3. 7015 1520 0003 2361 5360	Suzanne Cervantes Sheard N.A. - Menlo Park 184 S. Avenida del Sembrador Tucson, AZ 85745											
4. 7015 1520 0003 2361 5377	George Kalil N.A. - Millville 931 S. Highland Tucson, AZ 85719											
5. 7015 1520 0003 2361 5384	Nathan Wade N.A. - Armory Park 514 S. 6 <sup>th</sup> Ave Tucson, AZ 85701											
6. 7015 1520 0003 2361 5391	Tina Gonzales N.A. - Barrio Anita 855 N. Contzen Tucson, AZ 85705											
7. 7015 1520 0003 2361 5407	Warren McElyea N.A. - Barrio Hollywood 905 N. Grande Ave Tucson, AZ 85745											
8. 7015 1520 0003 2361 5414	Margaret Ward N.A. - Barrio Kroeger Lane 870 W. 19 <sup>th</sup> St. Tucson, AZ 85745											
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 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Suzanne Cervantes Sheard  
 Street and Apt. No. N.A. - Menlo Park  
 City, State, ZIP+4® Tucson, AZ 85745

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Mary Lynn Miners  
 Street and Apt. No. N.A. - Iron Horse  
 City, State, ZIP+4® Tucson, AZ 85705

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Thaddeus Pace (Co-Pres)  
 Street and Apt. No. N.A. - El Presidio  
 City, State, ZIP+4® Tucson, AZ 85701

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
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Sent To Tina Gonzales  
 Street and Apt. No. N.A. - Barrio Anita  
 City, State, ZIP+4® Tucson, AZ 85705

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Nathan Wade  
 Street and Apt. No. N.A. - Army Park  
 City, State, ZIP+4® Tucson, AZ 85701

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 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To George Kalil  
 Street and Apt. No. N.A. - Millville  
 City, State, ZIP+4® Tucson, AZ 85719

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Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To  
Margaret Ward  
Street and Apt. No., or P.O. Box No. — Barrio Kroeger Lane  
N.A. — Tucson, AZ 85719  
City, State, ZIP+4®  
Tucson, AZ 85745

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Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To  
Warren McElyea  
Street and Apt. No., or P.O. Box No. — Barrio Hollywood  
N.A. — Tucson, AZ 85745  
City, State, ZIP+4®  
Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2015 1520 0003 2961 5474



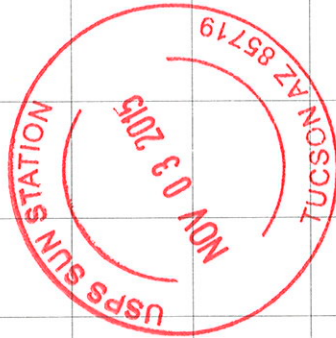
Name and Address of Sender

Check type of mail or service:

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- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5421	Yolanda Gonzales N.A. - Barrio Santa Rosa 826 S. Rubio Tucson, AZ 85701											
2. 7015 1520 0003 2361 5438	Letitia A. Gonzales N.A. - Barrio Viejo 423 S. Elias Tucson, AZ 85701											
3. 7015 1520 0003 2361 5445	Mary Jo Curtin N.A. - El Presidio 233 N. Main Ave. Tucson, AZ 85701											
4. 7015 1520 0003 2361 5452	John Daniel Tweiker N.A. - Iron Horse 229 N. 1 <sup>st</sup> Ave. Tucson, AZ 85719											
5. 7015 1520 0003 2361 5469	David Walker N.A. - Menlo Park 123 N. Melrose Ave Tucson, AZ 85745											
6. 7015 1520 0003 2361 5476	Roger Becksted N.A. - Millville 1070 E. 20 <sup>th</sup> St. Tucson, AZ 85719											
7. 7015 1520 0003 2361 5483	David Bachman-Williams N.A. - Armory Park 350 E. 15 <sup>th</sup> St Tucson, AZ 85701											
8. 7015 1520 0003 2361 5490	Feliciano Leon N.A. - Barrio Anita 772 N. Anita Ave. Tucson, AZ 85705											



Total Number of Pieces Listed by Sender: \_\_\_\_\_  
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Postmaster, Per (Name of receiving employee)

*[Signature]*

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To  
 Mary Jo Curtin  
 Street and Apt. No., N.A. - El Presidio  
 233 N. Main Ave.  
 City, State, ZIP+4® Tucson, AZ 85701

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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To  
 Letitia A. Gonzales  
 Street and Apt. No., N.A. - Barrio Viejo  
 423 S. Elias  
 City, State, ZIP+4® Tucson, AZ 85701

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Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To  
 Yolanda Gonzales  
 Street and Apt. No., N.A. - Barrio Santa Rosa  
 826 S. Rubio  
 City, State, ZIP+4® Tucson, AZ 85701

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TUCSON AZ 85719

Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To  
 Roger Becksted  
 Street and Apt. No., or PO, N.A. - Millville  
 1070 E. 20<sup>th</sup> St.  
 City, State, ZIP+4® Tucson, AZ 85719

Postmark Here

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Certified Mail Fee \$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To  
 David Walker  
 Street and Apt. No., or PO, N.A. - Menlo Park  
 123 N. Melrose Ave  
 City, State, ZIP+4® Tucson, AZ 85745

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To  
 John Daniel Twelker  
 Street and Apt. No., N.A. - Iron Horse  
 229 N. 1<sup>st</sup> Ave.  
 City, State, ZIP+4® Tucson, AZ 85719

Postmark Here

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 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Feliciano Leon  
 Street and Apt. No. N.A. - Barrio Anita  
 City, State, ZIP+4® Tucson, AZ 85705



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0003 2361 5490

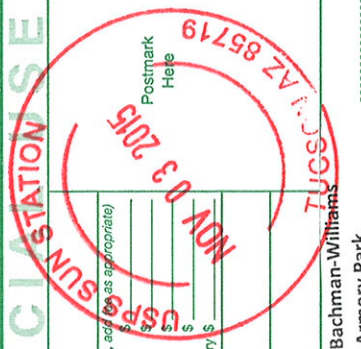
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Certified Mail Fee \$  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To David Bachman-Williams  
 Street and Apt. No., or N.A. - Armory Park  
 350 E. 15<sup>th</sup> St  
 City, State, ZIP+4® Tucson, AZ 85701



PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 1520 0003 2361 5490

Name and Address of Sender

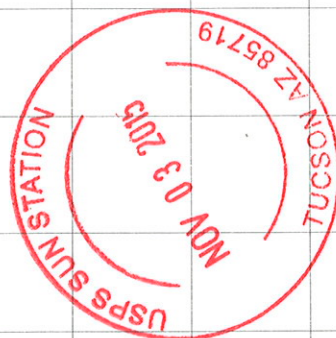
Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured

- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5506	Margaret McKenna N.A. - Barrio Hollywood 1212 W. Ontario St. Tucson, AZ 85745											
2. 7015 1520 0003 2361 5513	David Madril Sr. N.A. - Barrio Kroeger Lane 945 W. Ochoa Ln. Tucson, AZ 85745											
3. 7015 1520 0003 2361 5520	Nicole Gonzales N.A. - Barrio Santa Rosa 323 W. 19 <sup>th</sup> St. Tucson, AZ 85701											
4. 7015 1520 0003 2361 5537	Sky Jacobs N.A. - Dunbar Spring PO Box 508 Tucson, AZ 85702											
5. 7015 1520 0003 2361 5544	Mike Rebro (Co-Pres) N.A. - El Presidio 426 N. Court Tucson, AZ 85701											
6. 7015 1520 0003 2361 5551	Gene Einfrank N.A. - Menlo Park 2121 S. Avenida del Sembrador Tucson, AZ 85745											
7. 7015 1520 0003 2361 5568	Peter Norback N.A. - Miles 1428 E. Miles Tucson, AZ 85719											
8. 7015 1520 0003 2361 5575	Brett DuMont N.A. - Millville 1015 S. Park Ave. Tucson, AZ 85719											



Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

*[Signature]*

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Complete by Typewriter, Ink, or Ball Point Pen



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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Margaret McKenna  
N.A. - Barrio Hollywood  
1212 W. Ontario St.  
Tucson, AZ 85745

City, State, ZIP+4® Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

9055 7962 0003 0257 5702

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Certified Mail Fee \$

Extra Services & Fees (check box, add fees as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To David Madril Sr.  
N.A. - Barrio Kroeger Lane  
945 W. Ochoa Ln.  
Tucson, AZ 85745

City, State, ZIP+4® Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

0255 7962 0000 0257 5702

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Nicole Gonzales  
N.A. - Barrio Santa Rosa  
323 W. 19<sup>th</sup> St.  
Tucson, AZ 85701

City, State, ZIP+4 Tucson, AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

0255 7962 0000 0257 5702

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Sky Jacobs  
N.A. - Dunbar Spring  
PO Box 508  
Tucson, AZ 85702

City, State, ZIP+4 Tucson, AZ 85702

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2255 7962 0003 0257 5702

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**OFFICIAL USE**

Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Mike Rebro (Co-Pres)  
N.A. - El Presidio  
426 N. Court  
Tucson, AZ 85701

City, State, ZIP+4® Tucson, AZ 85701

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1555 7962 0000 0257 5702

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Certified Mail Fee \$

Extra Services & Fees (check box, add fees as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Gene Einfrank  
N.A. - Menlo Park  
2121 S. Avenida del Sombrador  
Tucson, AZ 85745

City, State, ZIP+4 Tucson, AZ 85745

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

1555 7962 0000 0257 5702

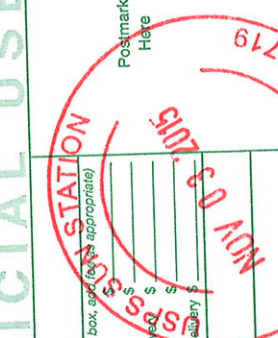
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 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Peter Norback  
 Street and Apt. No. N.A. - Miles  
 City, State, ZIP+4 Tucson, AZ 85719



7015 1520 025T 5T02  
 2015 1520 025T 5T02

PS Form 3800, April 2015 PSN 7530-02-000-5047 See Reverse for Instructions

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Certified Mail Fee \$  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$  
 Return Receipt (electronic) \$  
 Certified Mail Restricted Delivery \$  
 Adult Signature Required \$  
 Adult Signature Restricted Delivery \$  
 Postage \$  
 Total Postage and Fees \$

Sent To Brett DuMont  
 Street and Apt. No. N.A. - Millville  
 City, State, ZIP+4 Tucson, AZ 85719



7015 1520 025T 5T02  
 2015 1520 025T 5T02

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

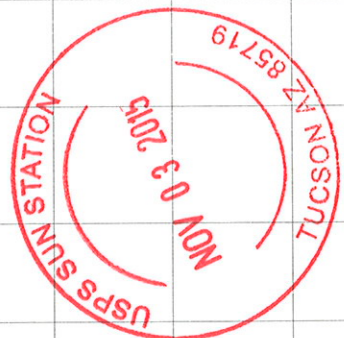
Name and Address of Sender

Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5582	Nancy Robins N.A. - Pie Allen 801 E. 7 <sup>th</sup> St. Tucson, AZ 85719											
2. 7015 1520 0003 2361 5599	Mark S. Homan N.A. - Rincon Heights 1619 E. 8 <sup>th</sup> St. Tucson, AZ 85719											
3. 7015 1520 0003 2361 5605	Ernie Lujan N.A. - Santa Rita Park - West Ochoa 1445 S. 4 <sup>th</sup> Ave. Tucson, AZ 85713											
4. 7015 1520 0003 2361 5612	Angela Storey N.A. - West University PO Box 42825 Tucson, AZ 85733											
5. 7015 1520 0003 2361 5629	Richard Fimbres Ward 5 4300 S. Park Ave. Tucson, AZ 85714											
6. 7015 1520 0003 2361 5636	Pat Homan N.A. - Pie Allen 850 E. 7 <sup>th</sup> St. Tucson, AZ 85719											
7. 7015 1520 0003 2361 5643	Timothy A. Olcott N.A. - Rincon Heights 1141 E. 9 <sup>th</sup> St. Tucson, AZ 85719											
8. 7015 1520 0003 2361 5650	Glenn Davis (Co-Chair) N.A. - South Park PO Box 26302 Tucson, AZ 85726											



Total Number of Pieces Listed by Sender: \_\_\_\_\_ Total Number of Pieces Received at Post Office: \_\_\_\_\_  
 Postmaster, Print (Name of receiving employee): *[Signature]*

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Certified Mail Fee \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ **NOV 03 2015**

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Nancy Robins

Street and Apt. No. N.A. - Pie Allen

City, State, ZIP+4® 801 E. 7<sup>th</sup> St. Tucson, AZ 85719

Postmark Here TUCSON AZ 85719

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2855 1962 000 025T 5T02

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Certified Mail Fee \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Mark S. Homan

Street and Apt. No. TUCSON AZ 85719

City, State, ZIP N.A. - Rincon Heights

City, State, Zip 1619 E. 8<sup>th</sup> St. Tucson, AZ 85719

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6655 1962 000 025T 5T02

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Ernie Lujan

Street and Apt. No. N.A. - Santa Rita Park

City, State, ZIP+4® West Ochoa 1445 S. 4<sup>th</sup> Ave. Tucson, AZ 85713

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5095 1962 000 025T 5T02

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Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Angela Storey

Street and Apt. No. N.A. - West University

City, State, ZIP+4® PO Box 42825 Tucson, AZ 85733

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2195 1962 000 025T 5T02

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Certified Mail Fee \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Richard Fimbres

Street and Apt. No. Ward 5

City, State, Zip 4300 S. Park Ave. Tucson, AZ 85714

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6295 1962 000 025T 5T02

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Certified Mail Fee \$ \_\_\_\_\_

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$ \_\_\_\_\_

Return Receipt (electronic) \$ \_\_\_\_\_

Certified Mail Restricted Delivery \$ \_\_\_\_\_

Adult Signature Required \$ \_\_\_\_\_

Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage \$ \_\_\_\_\_

Total Postage and Fees \$ \_\_\_\_\_

Sent To Pat Homan

Street and Apt. No. N.A. - Pie Allen

City, State, ZIP+4® 850 E. 7<sup>th</sup> St. Tucson, AZ 85719

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5635 1962 000 025T 5T02

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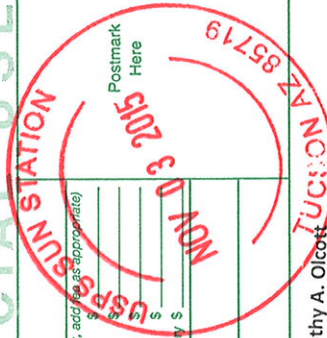
For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**OFFICIAL USE**

Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)	\$	
<input type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
<b>Total Postage and Fees</b>	\$	
<b>Sent To</b>	Timothy A. Olcott	
Street and Apt. No., or P.O. No.	N.A. - Rincon Heights	
City, State, Zip+4®	1141 E. 9 <sup>th</sup> St. Tucson, AZ 85719	

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7025 1520 0257 5702  
E495 19E2 E000 0257 5702



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Certified Mail Fee	\$	
Extra Services & Fees (check box, add fee as appropriate)	\$	
<input type="checkbox"/> Return Receipt (hardcopy)	\$	
<input type="checkbox"/> Return Receipt (electronic)	\$	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$	
<input type="checkbox"/> Adult Signature Required	\$	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$	
Postage	\$	
<b>Total Postage and Fees</b>	\$	
<b>Sent To</b>	Glenn Davis (Co-Staff)	
Street and Apt. No., or P.O. No.	N.A. - South Park	
City, State, Zip+4®	PO Box 26302 Tucson, AZ 85726	

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7025 1520 0257 5702  
0595 19E2 E000 0257 5702



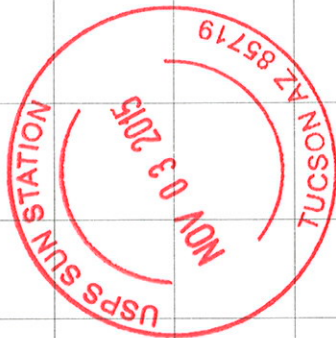
Name and Address of Sender

Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1. 7015 1520 0003 2361 5667	Richard Mayers N.A. - West University PO Box 42825 Tucson, AZ 85733											
2. 7015 1520 0003 2361 5674	Steve Kozachik Ward 6 3202 E. 1 <sup>st</sup> St. Tucson, AZ 85716											
3. 7015 1520 0003 2361 5681	Evren Sonmez N.A. - Rincon Heights 1735 E. 8 <sup>th</sup> St. Tucson, AZ 85719											
4. 7015 1520 0003 2361 5698	Brian Flagg N.A. - Santa Rita Park - West Ochoa 352 E. 25 <sup>th</sup> St. Tucson, AZ 85713											
5. 7015 1520 0003 2361 5704	Chris Gans N.A. - West University PO Box 42825 Tucson, AZ 85733											
6. 7015 1520 0003 2361 5711	Regina Romero Ward 1 940 W. Alameda St. Tucson, AZ 85745											
7.												
8.												



Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

*[Signature]*

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Certified Mail Fee \$

Extra Services & Fees (check box, add fee as appropriate)

Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

Postage \$

Total Postage and Fees \$

Sent To Evren Sommez TUCSON, AZ 85719

Street and Apt. No. N.A. - Rincon Heights

City, State, ZIP+4 1735 E. 8<sup>th</sup> St. Tucson, AZ 85719

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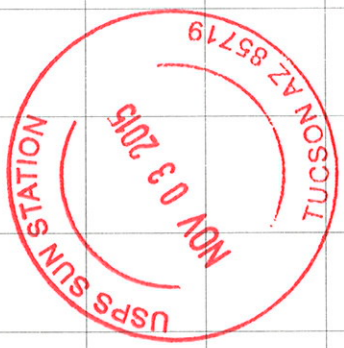
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3. 7015 1520 0003 2361 5742	Saint Augustine Cathedral Roman Catholic Parish Tucson PO Box 31 Tucson, AZ 85702											
4. 7015 1520 0003 2361 5759	Moreno Family & Arturo & Elias Albert & Maria & Alber M & Viola B 748 S. 4 <sup>th</sup> Ave Tucson, AZ 85701											
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2 November 2015

**RE: Use of the Downtown Area Infill Incentive District (IID) Overlay Zone – 111 S. Church Avenue & Marist College.**

Dear Neighbor:

We will be holding a neighborhood meeting to discuss the requested use of the Downtown Area Infill Incentive District (IID) Overlay zone for the parcel located at 111 South Church Avenue and the Marist College - northwest corner of N Church Avenue & W Ochoa Street. The goal of the project is to develop approximately 83, 1 and 2 Bedroom units, available as senior housing, on both the site of the existing Roman Catholic Diocese Office Building and the Marist College. We would like to invite you to attend, hear our proposal, and ask any questions you may have regarding the potential project and/or the use of the IID at these locations. While the two components of the senior housing project will each have their own IID application, for everyone's convenience, and to better understand the relationship between the two components, both will be addressed together.

We will be holding the meeting at the **Roman Catholic Diocese Office Building** located at **111 South Church Avenue**, at the southeast corner of W Broadway Boulevard and N Church Avenue, in the **Conference meeting room**. The meeting will be held at **5:00 PM on Monday, November 16<sup>th</sup>**.

We encourage public participation, and in addition to questions presented in person at the meeting, you may also direct written comments to Matt Stuart at [mstuart@cypresscivil.com](mailto:mstuart@cypresscivil.com) prior to, or following the public hearing. If you have any questions about location or the scheduling of the neighborhood meeting, please feel free to contact Theresa Fanter at [tfanter@cypresscivil.com](mailto:tfanter@cypresscivil.com) or by phone at (520) 561-4983.

The purpose of this meeting will be to present the proposed development projects, explain the specific details and its use of the IID, and hear any constructive ideas that you may have relating to our proposal. Our goal is to be able to respond to your ideas as part of this overlay zone process in an effort to be a welcomed future neighbor. We look forward to meeting with you personally.

If you have any questions, please do not hesitate to contact. Additional contact information is contained directly below. Thank you for your time and consideration.

Sincerely,

**Cypress Civil Development**

Matt Stuart

Project Manager

(520) 561-4983

[mstuart@cypresscivil.com](mailto:mstuart@cypresscivil.com)



NOVEMBER 16, 2015  
NEIGHBORHOOD MEETING

FOUNDATION FOR SENIOR LIVING  
POSTER FROST MIRTO  
CYPRESS CIVIL DEVELOPMENT

# THE MARISTON CATHEDRAL SQUARE

# FOUNDATION FOR SENIOR LIVING



Helping those you love live independently.

# FOUNDATION FOR SENIOR LIVING — HIGHLAND SQUARE



# FOUNDATION FOR SENIOR LIVING - FLAGSTAFF



# FOUNDATION FOR SENIOR LIVING - FLAGSTAFF





# FOUNDATION FOR SENIOR LIVING

## - YUMA



# FOUNDATION FOR SENIOR LIVING - YUMA



Yuma Senior Terraces  
3159 DC KW

# DEVELOPMENT TEAM



Helping those you love live independently.



POSTER  
FOROST  
MIRTO



# PRESENTATION OUTLINE

- Introduction
  - Foundation for Senior Living
  - Development Team
- Project Overview
  - Location
  - Project Goals
  - Proposed Site Layout
    - Diocese Building
    - Marist College
- Infill Incentive District
  - IID & DCS
  - Marist – IID 15.10 Requested Modifications
- Diocese – IID 15.11 Requested Modifications
  - IID Design Package Process
- Site Renderings
  - Marist – IID 15.10
  - Diocese – IID 15.11
- Question & Answer

# PROJECT OVERVIEW



You are here

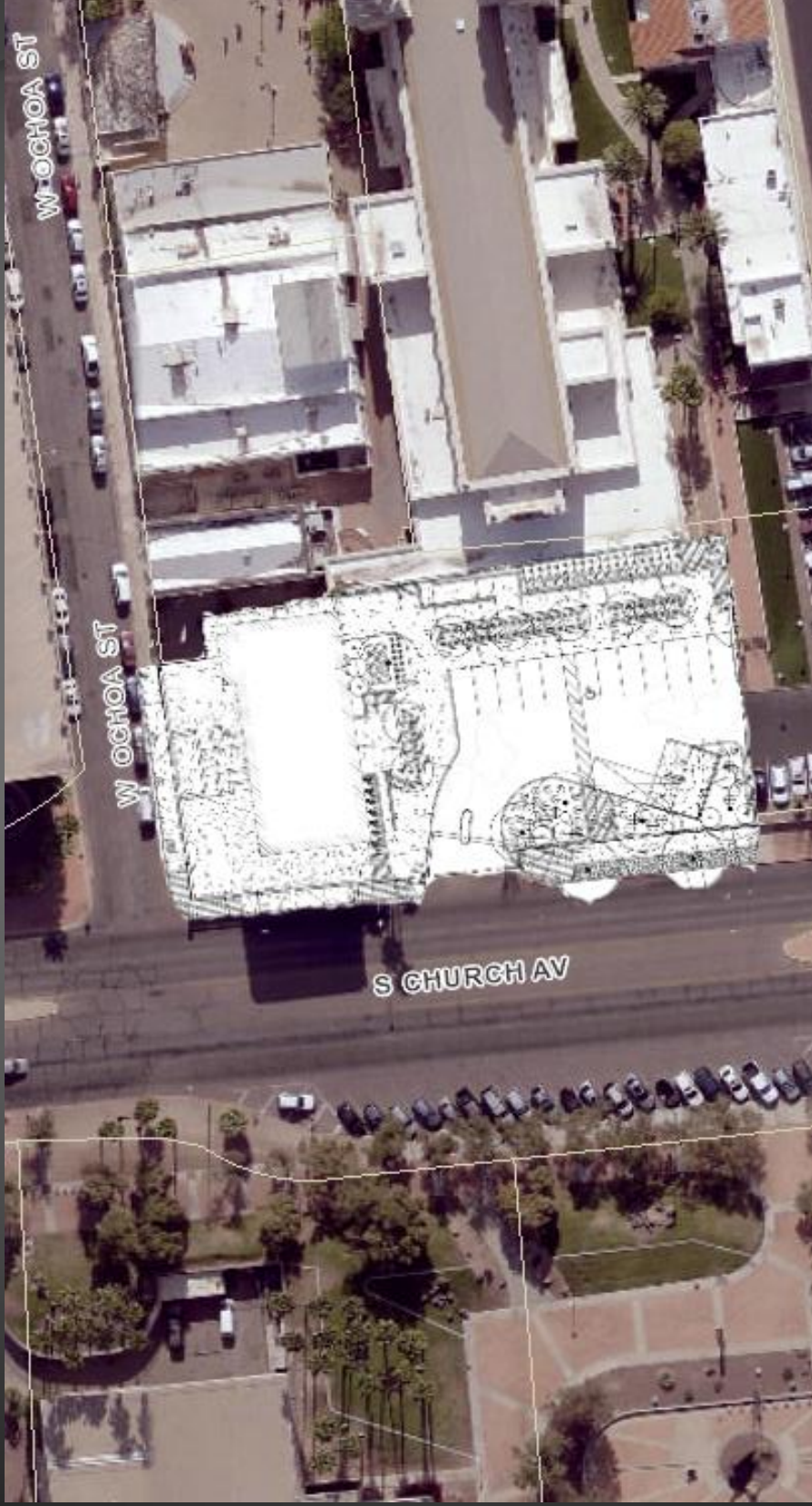
# PROJECT OVERVIEW

- Goals:
  - Provide affordable senior living housing options within the Downtown Core;
  - Activate the southeast corner of Broadway & Church by adding additional residents, and;
  - Renovate and Rehabilitate the Marist College per State Historic Preservation standards.

# PROJECT OVERVIEW – MID-RISE



# PROJECT OVERVIEW – MARIST





# INFILL INCENTIVE DISTRICT

- **INFILL INCENTIVE DISTRICT (IID)**
  - An optional overlay zone that allows certain development regulations to be modified in exchange for creating/designing a pedestrian and transit-oriented development.
- **DOWNTOWN CORE SUBDISTRICT (DCS)**
  - Development is intended to take advantage of the Modern Street Car project, and promote high-density infill transit-oriented development.
  - Development incentives for this zone include greater developable footprint and zero parking requirements.

# INFILL INCENTIVE DISTRICT

- Allowable modifications:
  - Major Streets & Routes setbacks
  - Street perimeter yards
  - Maximum Lot Coverage
  - Minimum Lot Size
  - Bicycle & Vehicle parking
  - Off-street loading
  - Landscaping & Screening
  - Pedestrian Access
  - Solid waste collection

# INFILL INCENTIVE DISTRICT

- Requested modifications (MARIST – IID 15.10):
  - Major Streets & Routes setbacks
  - Street perimeter yards
  - Maximum Lot Coverage
  - Minimum Lot Size
  - Bicycle & Vehicle parking
  - Off-street loading
  - Landscaping & Screening
  - Pedestrian Access
  - Solid waste collection
  - \*Shade – less 50%

# INFILL INCENTIVE DISTRICT

- Requested modifications (MID-RISE – IID 15.11):
  - Major Streets & Routes setbacks
  - Street perimeter yards
  - Maximum Lot Coverage
  - Minimum Lot Size
  - Bicycle & Vehicle parking
  - Off-street loading
  - Landscaping & Screening
  - Pedestrian Access
  - Solid waste collection
  - \*Open/Plaza Space – less than 5%

# INFILL INCENTIVE DISTRICT

- Process (Major Design Review)
  - Pre-application conference w/ City Staff and Design Professional
  - ★ Host a Neighborhood Meeting (300 foot notification radius, Neighborhood Associations within 1 mile)
  - Summarize Neighborhood Meeting
  - Submit Design Package to City Staff
  - Tucson/Pima County Historical Commission Review & Recommendation
  - Meet & review Design Package with Design Professional
  - Design Review Committee Review & Recommendation
  - Planning & Development Services Director – Review findings and issues DECISION

# DESIGN OVERVIEW

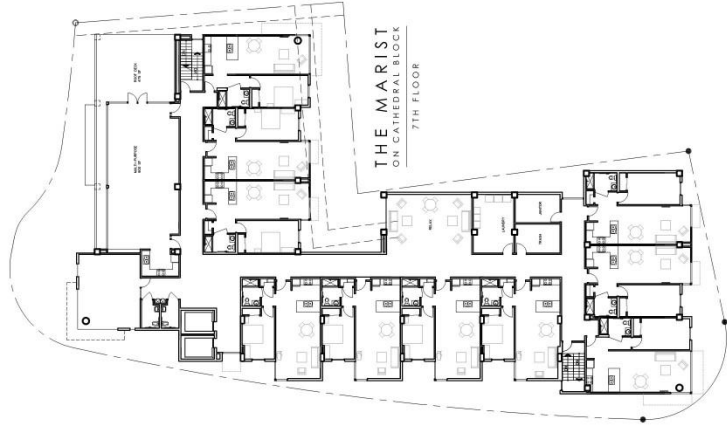
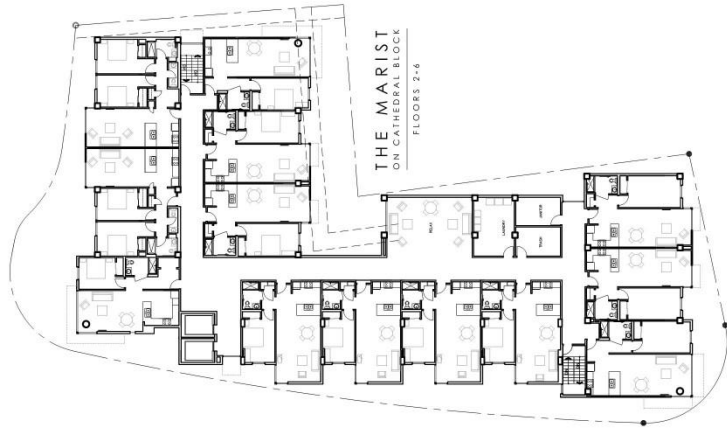
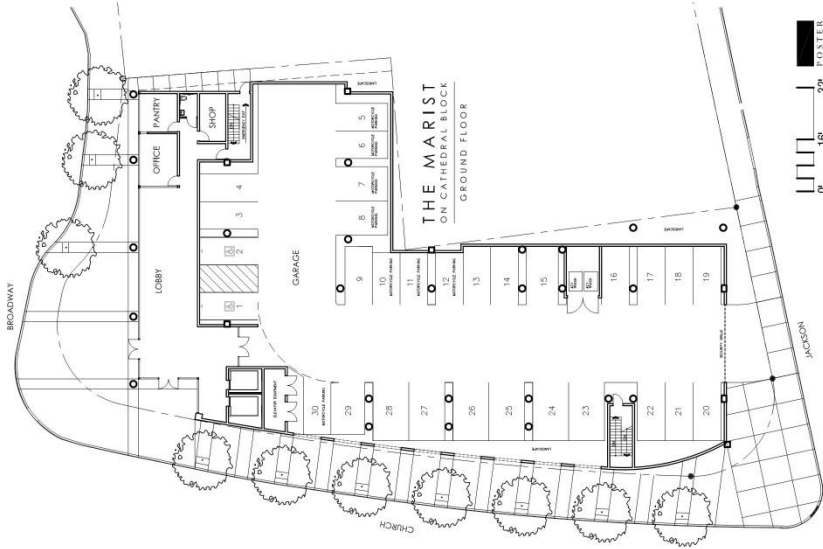


MID-RISE SITE

MARIST COLLEGE



# MIDRISE (75 UNITS)



## SITE AND FLOOR PLANS

# MIDRISE (75 UNITS)



VIEW FROM BROADWAY AND CHURCH



# MIDRISE (75 UNITS)

88'-0"



NORTH ELEVATION

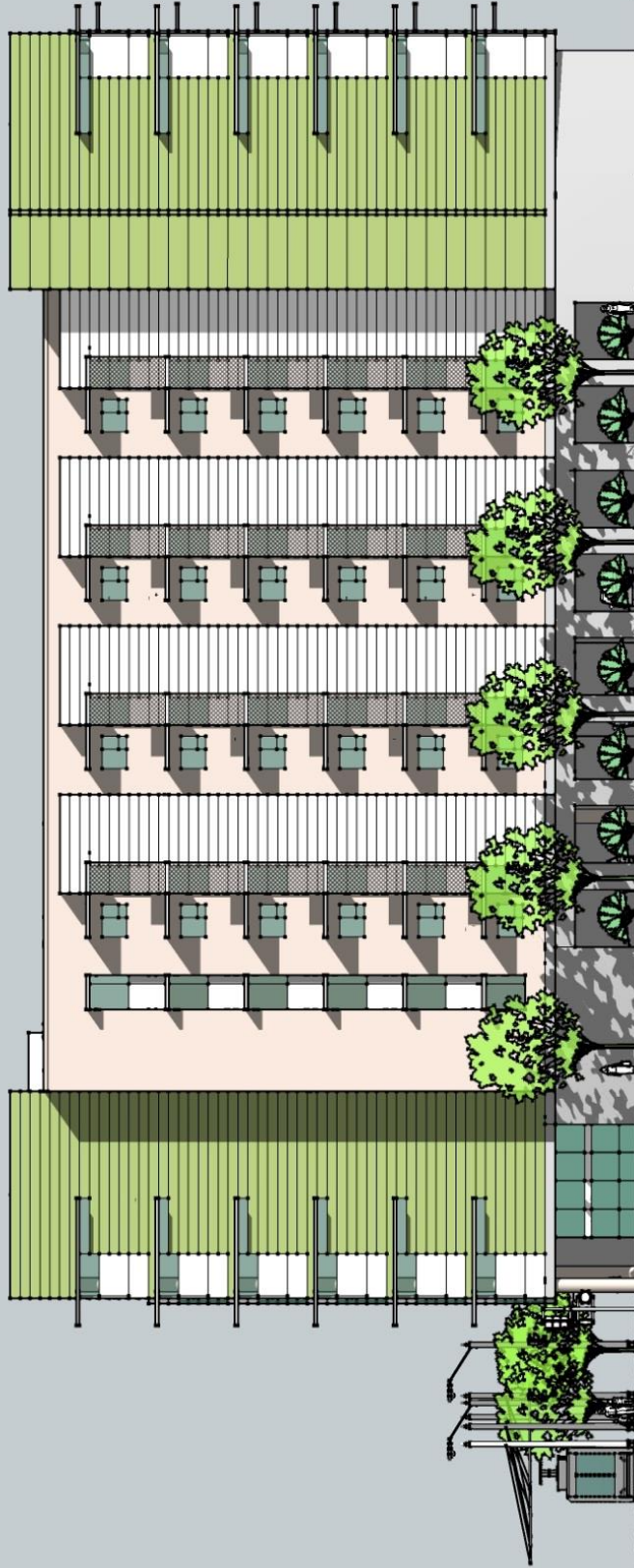
# MIDRISE (75 UNITS)

88'-0"



SOUTH ELEVATION

# MIDRISE (75 UNITS)



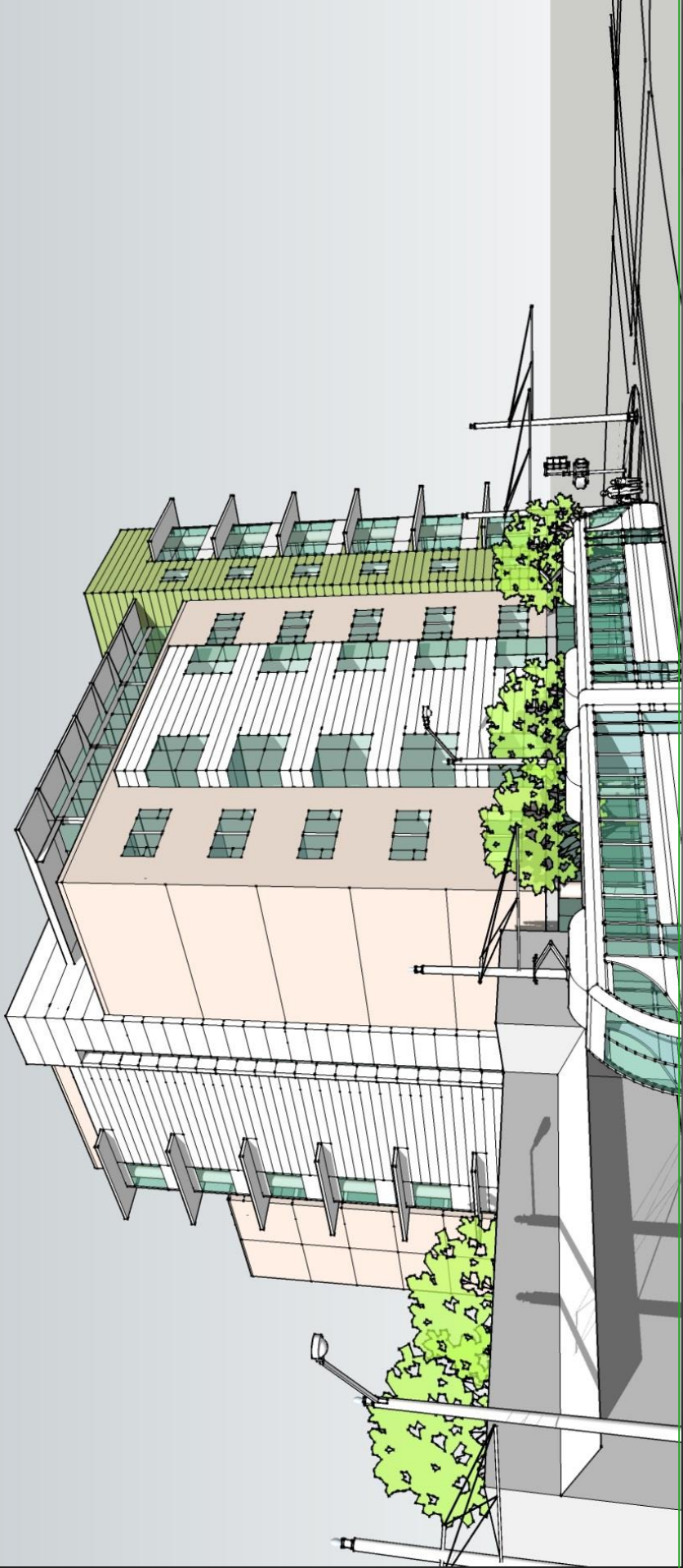
WEST ELEVATION

# MIDRISE (75 UNITS)



EAST ELEVATION

# MIDRISE (75 UNITS)



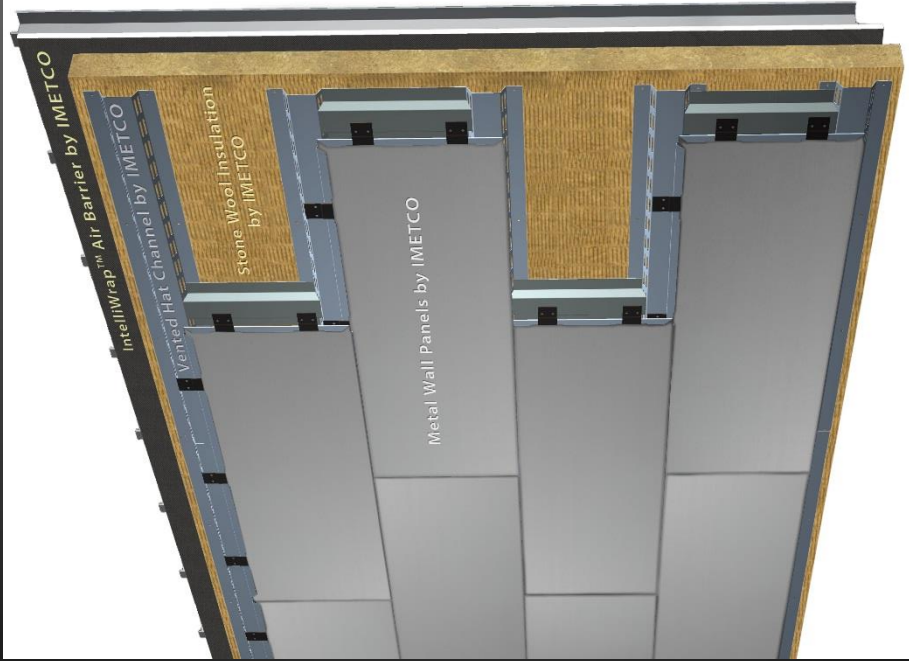
VIEW FROM BROADWAY LOOKING WEST

# MIDRISE (75 UNITS)



STUCCO OR EIFS (FINE SAND FINISH)

# MIDRISE (75 UNITS)



CONCEALED FASTENER METAL PANELS

# MIDRISE (75 UNITS)



TUBE STEEL AND METAL DECK AWNINGS



# MIDRISE (75 UNITS)



BOARD FORMED CONCRETE OR GROUND FACE CMU

# MIDRISE (75 UNITS)



BIRD'S EYE VIEW

# MIDRISE (75 UNITS)



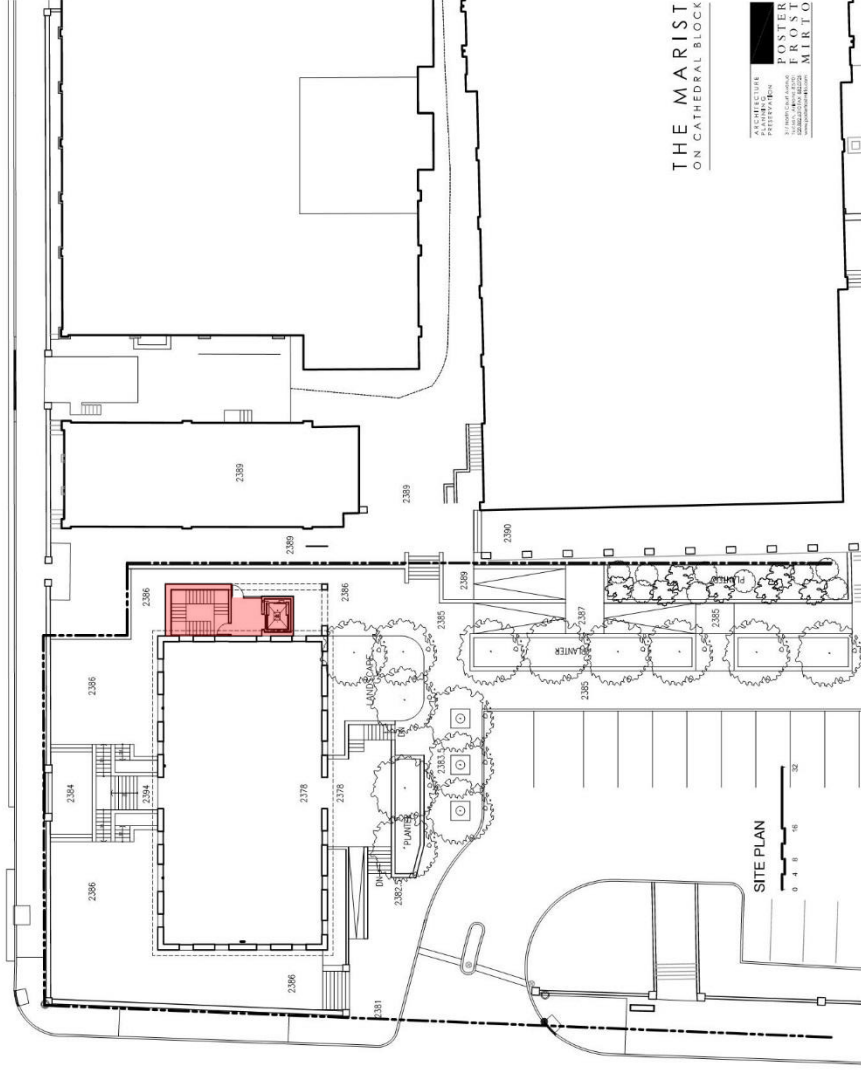
BIRD'S EYE VIEW

# MARIST COLLEGE REHAB



HISTORIC ERA IMAGE

# MARIST COLLEGE REHAB



THE MARIST  
ON CATHEDRAL BLOCK

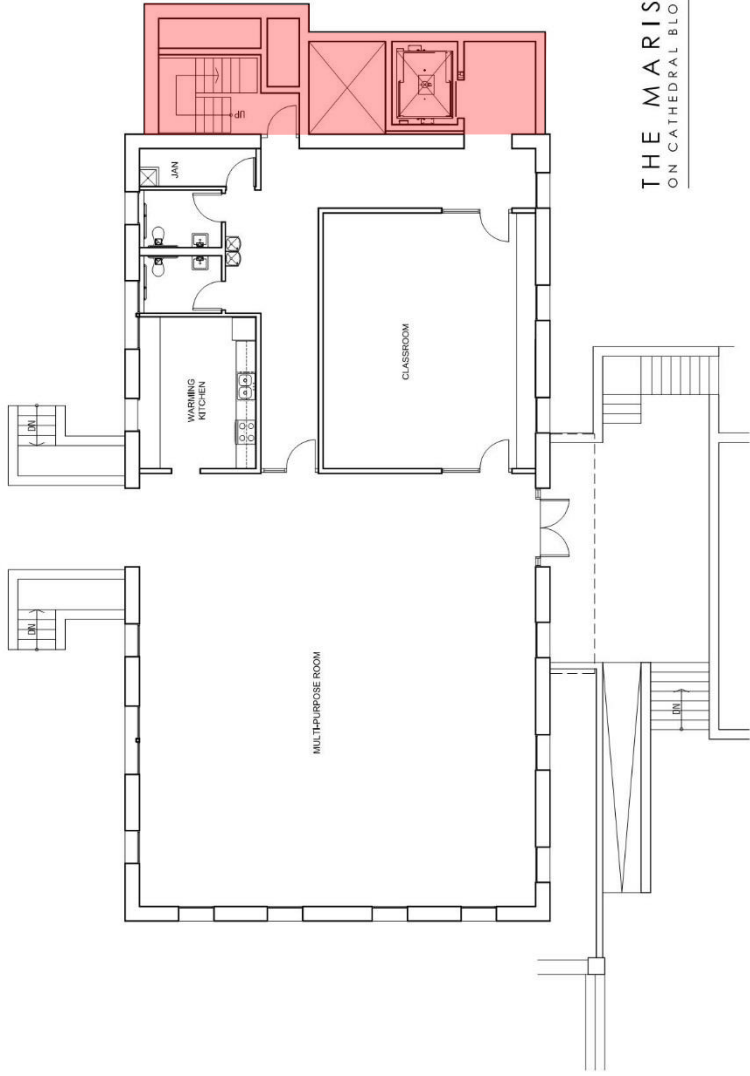
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POSTER  
FROST  
MIRTO

SITE PLAN



POSTER  
FROST  
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# MARIST COLLEGE REHAB



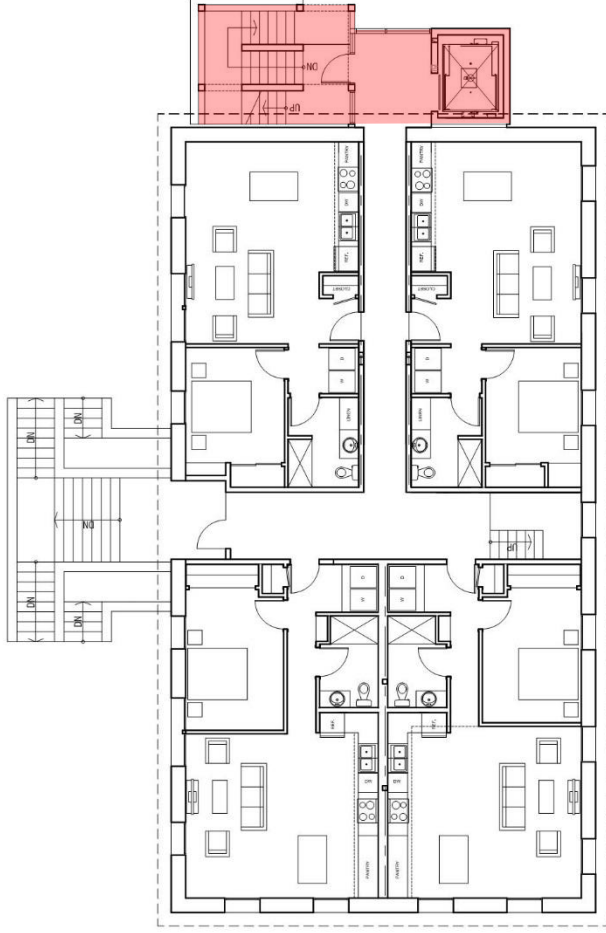
THE MARIST  
ON CATHEDRAL BLOCK

BASEMENT LEVEL PLAN  
0 2 4 8 16

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LOWER LEVEL

# MARIST COLLEGE REHAB



FIRST FLOOR PLAN  
0 2 4 8 16

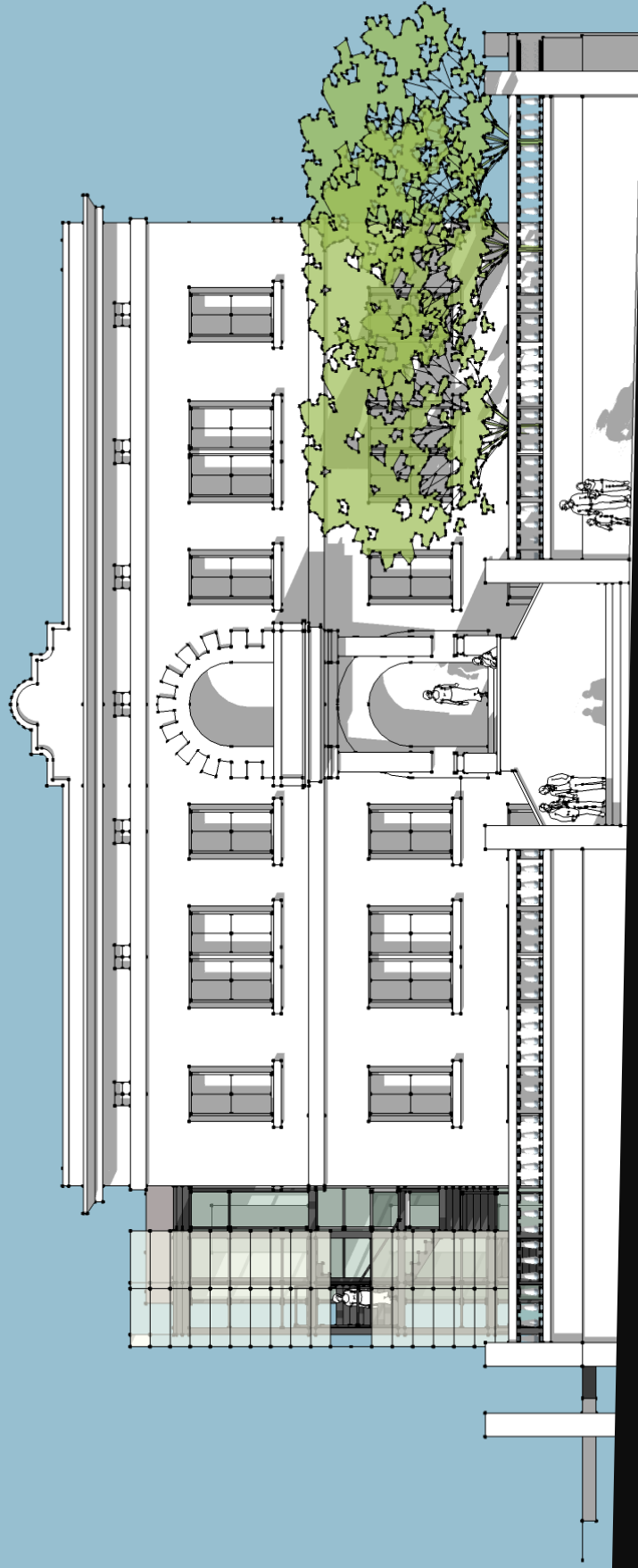
THE MARIST  
ON CATHEDRAL BLOCK

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# MARIST COLLEGE REHAB



NORTH ELEVATION



# MARIST COLLEGE REHAB



EAST ELEVATION

# MARIST COLLEGE REHAB



TRANSLUCENT WALL SYSTEM WITH PAINTED STEEL FRAME

POSTER  
FROST  
MIRTO

# QUESTIONS & ANSWERS

- Questions?
- Contact information:
  - Matt Stuart – Cypress Civil Development  
[mstuart@cypresscivil.com](mailto:mstuart@cypresscivil.com)

THANK YOU FOR COMING!

## The Marist on Cathedral Square – IID 15.10 & 15.11

### Neighborhood Meeting Notes

November 16<sup>th</sup>, 2015

#### Foundation for Senior Living Attendees:

Steve Hastings, Chief of Real Estate Services  
Chris Fournillier, Community Development Solutions LLC

#### Poster Frost Mirto Attendees:

Corky Poster, Architect/Planner/Principal  
Jon Mirto, Architect/Principal

#### Cypress Civil Development Attendees:

Matt Stuart, Project Manager

**Start Time: 5:08 p.m.**

**Finish Time: 6:21 p.m.**

#### 1) PowerPoint Slide 1

- a) Steve Hastings opened the meeting, introducing himself and Foundation for Senior Living (FSL).
- b) Mr. Hastings proceeded to provide some background on the services both offered and provided by FSL to the community. Specifically they cater to individuals 65 and older, and the concept of aging in place.
- c) Mr. Hastings introduced Corky Poster with Poster Frost Mirto.

#### 2) PowerPoint Slide 2

- a) Mr. Poster introduced himself and his firm to the audience, began to provide further background on the specifics of the project and the relationship between FSL as the developer and the Low Income Housing Tax Credit Application process.
- b) Mr. Poster mentioned that the approval process and subsequent planning phases would mean that ground breaking would not occur until the first quarter of 2017, at the earliest.

#### 3) PowerPoint Slide 3, 4, 5, 6, 7

- a) Mr. Poster then highlighted some of the other recent projects in and around Arizona that FSL has developed, noting that this is FSL's first venture into the Tucson Market and

their desire to not only make a good impression but to be great neighbors to the surrounding area.

- b) Mr. Poster highlighted the Highland Square project currently under development in Cottonwood, and recent community developments in Flagstaff and Yuma.
- c) Mr. Poster showed multiple images to convey the quality FSL will bring to the two development projects.

4) **PowerPoint Slide 8**

- a) Mr. Poster introduced the remaining members and individuals of the Development Team.

5) **PowerPoint Slide 9**

- a) Mr. Poster provided an overview of the PowerPoint Presentation and the flow of the neighborhood meeting(s), explaining that although these projects will be developed together, they are in fact two separate applications to the City of Tucson.
- b) Mr. Poster stated after the presentation the floor will be open for questions.

6) **PowerPoint Slide 10**

- a) A map overview of the sites was provided, showing the specific location in relation to streets and to the Historic Brown House and St. Augustine Cathedral.

7) **PowerPoint Slide 11**

- a) Goals specific to the proposed project were provided, outlining the inspiration and desired outcome that will influence the design. This included providing affordable senior living housing options within the Downtown Core; activating the southeast corner of Broadway & Church; and rehabilitating the Marist College building.
- b) Mr. Poster then introduced Matt Stuart with Cypress Civil Development to review the IID application process.

8) **PowerPoint Slide 12, 13**

- a) Mr. Stuart provided a project overview of each site and briefly explained some of the proposed changes/alterations that were being made and how it might look in a two dimensional context.

9) **PowerPoint Slide 14**

- a) Mr. Stuart provided an explanation of the optional overlay called the Infill Incentive District (IID), and the ownerships desire to “opt-in” and develop the two projects under the provisions outlined in the Infill Incentive District ordinance language.

10) **PowerPoint Slide 15**

- a) Mr. Stuart then outlined the allowable modifications a development may consider within the Downtown Core Subdistrict (DCS) of the IID.

11) **PowerPoint Slide 16**

- a) **Mr. Stuart introduced each of the allowable modifications being utilized by the Marist College rehabilitation project, and explained why:**
- b) **Major Streets & Routes** – To maintain the existing development footprint, relief from the setback requirement is required.
- c) **Street Perimeter yards** – To maintain the existing development footprint, relief from the setback requirement is required.

- d) **Bicycle and Vehicular Parking** – Under the DCS, zero parking requirements for multi-family housing projects are permitted. This project will be taking advantage of the Street Car ridership, and both pedestrians and bicyclists that frequent Broadway and Church on a daily basis. Matt also noted that ample bicycle parking will be provided in the form of racks and long term bicycle within each of the units. Additional vehicular parking is provided on-street as well as within the private La Placita Parking Garage across the street.
- e) **Off-Street Loading** – While not required for Multi-family, the site does offer on-street loading zones that can be utilized.
- f) **Landscaping & Screening** – Due to the existing development and the need to emphasize building accessibility, we are seeking relief from the screening standards. Also due to the historic nature of the site and the desire to highlight the structure from a street view, additional landscape screenings will only inhibit.
- g) **Shade** – This project is seeking specific relief from the 50% shade requirement for all pedestrian access areas. Due to the historic nature and adobe construction, there are concerns regarding plantings and irrigation in and around the wall and building itself. The concern is additional moisture being present in the ground on a regular basis could cause damage to the adobe material, setting back the efforts made through the rehabilitation.

#### 12) PowerPoint Slide 17

- a) Mr. Stuart introduced each of the allowable modifications being utilized by the Mid-rise project, and explained why:
- b) **Major Streets & Routes** – To maintain congruency with surrounding downtown development, and promote the desired streetscape, relief from the setback requirement is required.
- c) **Street Perimeter yards** – To maintain congruency with surrounding downtown development, and promote the desired streetscape, relief from the setback requirement is required.
- d) **Maximum Lot Coverage** – To maintain congruency with the building footprints representative of the downtown district, relief is sought.
- e) **Bicycle and Vehicular Parking** – Under the DCS, zero parking requirements for multi-family housing projects are permitted. This project will be taking advantage of the Street Car ridership, and both pedestrians and bicyclists that frequent Broadway and Church on a daily basis. Mr. Stuart also noted that ample bicycle parking will be provided in the form of racks and long term bicycle within each of the units. Additional vehicular parking is provided on-street as well as within the private La Placita Parking Garage across the street.
- f) **Off-Street Loading** – While not required for Multi-family, the site does offer an on-street loading zone along Broadway Boulevard that can be utilized for the development.
- g) **Landscaping & Screening** – To maintain congruency with the building footprints representative of the downtown district, relief is sought.

- h) **Solid Waste Collection** – Due to the nature of the sight and limited accessibility/maneuverability within the buildable footprint, an alternative solid waste collection system and agreement will need to be worked out with Environmental Services. This may include building management being responsible for locating the dumpsters from inside the building to the loading area for collection.
- i) **Open/Plaza Space** – To maintain congruency with the building footprints representative of the downtown district, relief is sought from the 5% of the gross floor area requirement. The site design goes to great lengths to create an active, permeable corner at Broadway & Church, and is adjacent (kitty corner) to Veinte de Agosto Park, which grants residences access to a large open space area within a very short walking distance.

**13) PowerPoint Slide 18**

- a) Matt discussed the IID process and how it works and explained who is involved and their role in the process:
- b) **Pre-Application Conference** – Includes City staff
- c) **Hosting of a Neighborhood Meeting** – Neighborhood meeting is held with residents and owners within a 300 foot notification radius and Neighborhood Associations within 1 mile of the project site.
- d) **Summarization of the Neighborhood Meeting** – A summary of the neighborhood meeting will be provided as part of the submittal process.
- e) **Submittal of a Design Package** – Presented to City staff
- f) **Tucson/Pima County Historical Commission** – Review and Recommendation
- g) **Meet & Review Design Package** – with Design Professional
- h) **Design Review Committee** – Review & Recommendation
- i) **Planning & Development Services Director** – Reviews findings and issues a decision

**14) PowerPoint Slide 19**

- a) Mr. Stuart then introduced Jon Mirto of Poster Frost Mirto to review the site renderings of the proposed developments.
- b) Mr. Mirto provided a brief overview of the site context with the surrounding area.

**15) PowerPoint Slide 20 - 26**

- a) Mr. Mirto began displaying site specific renderings of the Mid-rise building to demonstrate its context with the site and the surrounding area/buildings – particularly the Historic Brown House.
- b) Mr. Mirto highlighted each side of the building and spoke to the desired design and its relationship to the area.

**16) PowerPoint Slide 27- 30**

- a) Mr. Mirto introduced some of the desirable material and finishes that the building is expected to contain – Stucco finish, metal paneling, tube steel deck awnings, and board formed concrete with ground face CMU.

**17) PowerPoint Slide 31**

- a) Mr. Mirto displayed a Birdseye view, looking from the northwest, of the rendered building, providing context to the relationship of the proposed building and its height relative to the surrounding area.

**18) PowerPoint Slide 32**

- a) Mr. Mirto displayed a Birdseye view, looking from the northwest, of the rendered building and a representation of the recently approved 1 West Broadway project to the east to provide context to the relationship of the proposed building in relation to other new projects.

**19) PowerPoint Slide 33**

- a) Mr. Mirto introduced the Marist College building and presented a historic photo of how the building looked prior to its vacancy and subsequent deterioration. Mr. Mirto explained the goal is to restore the structure per the Department of Interior standards, while providing necessary accessibility for its residents.

**20) PowerPoint Slide 34-36**

- a) Mr. Mirto displayed the general site and floor plans for the building and the addition of an external stair case and elevator to provide accessibility to each of the 3 floors.

**21) PowerPoint Slide 37-38**

- a) Mr. Mirto provided renderings of the Marist College and explained the explained the desire to open up the north entry and wall to provide a more welcoming and inviting entry point to the development.
- b) The renderings also highlighted the relationship between the Historic structure and what will be the newly constructed stair case and elevator.

**22) PowerPoint Slide 39**

- a) Mr. Mirto introduced some of the design techniques and materials that will be sought for the elevator and staircase. They would utilize a painted steel frame with a translucent wall system.

**23) PowerPoint Slide 40**

- a) Mr. Mirto then thanked the audience for their patience and opened the floor to any questions or comments they may have:
  1. **Comment** – Mr. Hastings mentioned the desire of FSL to be good neighbors and their excitement to be involved in this project, especially the restoration of Marist College. Mr. Hastings also noted that the project will serve households with incomes at 40, 50, and 60% of the area median income (adjusted for household size).
  2. **Question** – What is the proposed use? What type of housing option will be offered?
    - a. **Response** – It will be age restricted and be independent living. The idea is for individuals to age in place. There will ambulatory design and care available for every unit, but this will not be assisted living.
  3. **Question** – Have you met with SHPO regarding the Marist, and are they ok with the increased stairway opening along the north?
    - a. **Response** – Yes, we had an informal meeting with SHPO representatives about 3 weeks back to discuss the wall and the Marist College building. And yes, they



have stated that the proposed alterations along the north will not cause the property to be delisted.

4. **Comment** – I like the increased opening along the north, it really provides a more grand entry to the site and building.
5. **Question** – You mentioned that you will be rehabilitating to Department of Interior and State standards, will the interior be rehabilitated as well?
  - a. **Response** – The interior will be given an update to meet today’s standards. The floor plan has been design designed the bearing walls. But, we will more than likely need to construct an exoskeleton of sort around those walls and beams in order to provide each floor with adequate support and strength.
6. **Question** – Will you be keeping the lower level windows? The stained glass is a very nice feature.
  - a. **Response** – Yes, we plan on keeping the lower level windows.
7. **Question** – How are you mitigating the impacts on the neighboring historic Brown House? Will the building be setback to ensure maintenance access is adequate?
  - a. **Response** – Yes, we have taken into consideration the negotiation the developer of the 1 West Broadway project and have provided at a minimum at least a 4 foot separation from the Brown House.
8. **Question** – Are there any measures being taken to prevent the vibration and foundation of the new building from damaging the Brown House?
  - a. **Response** – At this time the structural components of the project are still in their preliminary stages, but since the project places the parking at the ground level, below grade ground disturbance is limited. As the project moves forward, and funding is secured, consideration will be paid to the structural components and its potential impacts.
9. **Question** – There is some nice tile work along the north side of the Diocese office building; is that going to be preserved? I think it will be nice to incorporate into the new project.
  - a. **Response** – We will take that into consideration, but at this point it has not been discussed.
10. **Question** – You mentioned the shade reduction request, why are you unable to plant more vegetation in the areas around the Marist College?
  - a. **Response** – There have been some concerns regarding sub surface plantings and the associated irrigation systems they will require, and the moisture component adversely affecting the adobe walls. We are still working to find a solution to meet the shade requirement. The other component is the visual impact of the building from the street, and we would not want to take some of that away, especially since it will be restored.
11. **Question** – You mentioned the open/plaza space requirement. Are you allowed to consider the improvements made within the Right-of-way toward that amount?
  - a. **Response** –Per our calculations tonight, we are not counting that area. We are showing improvements being made to meet the Interim Streetscape Standards

Policy but we will be working with City Staff to determine what extent we may count some of those improvements toward the calculation. Because of the immediate proximity to Viente de Agosto park, we don't feel this request will negatively impact the residents of the development or the general public.

12. **Question** – You mentioned there will be 75 units in the mid-rise building, but only 29 spaces. Where do you plan on rest of the people parking?
  - a. Response –FSL has done quite a bit of research and have actually found only about a third of their residents actually require a space to park a vehicle. This is also a downtown area, so the idea is there are plenty of alternative transportation offerings that can provide options to residents. It is on the Streetcar line, bus line, and is convenient for cycling and walking. Downtown projects are now moving toward the separation of living and parking. Meaning parking is an extra option from living space rent. This project also is in close proximity to the private La Placita Garage, which offers another private venue for future residents if parking is desired.
13. **Question** – Are you planning on applying for Federal Historic Grant funding?
  - a. Response – Not at this time. Due to the timing of the submittals, we are not exploring any federal funding options.
14. **Question** – Is there any way to soften up the stairwell and elevator to blend in with the existing Marist architecture? The glass and steel are very contrasting, especially with the remaining structure and complex as it's back drop.
  - a. Response – The State Historic Preservation office will ask us to have any new structures to be modern, to highlight Historic structure through the contrast. It is difficult to match the historic style with new elements and designs. We made an effort to try and meet in the middle, but judging from the reaction, we will see if there are other options we can implement to soften that external structure. I will say, that the State Historic office will ask us to make it more modern when we meet with them again.
15. **Comment** – I think we are all in agreement that this is a great project, and a long time coming, the Marist is very special and it will be great to have it restored.
16. **Question** – What about the condition of the Marist? Are any measures being taken to ensure that it does not get any worse between now and when you are able to actually break ground?
  - a. Response – At this time the Diocese is still in control of the site, and will be until the funding is approved and the construction documents are completed – which could be 12-14 months out. It is our understanding that the Diocese will continue to provide maintenance as it has in the past, but there will be no further major maintenance projects performed on the site to our knowledge.
17. **Question** – What if you are unable to receive funding, will the project die and FSL will go away?
  - a. Response – No. First, we think we have a very good shot to meet much of the criteria, and believe we will score high because of the location of these projects.

We will be securing the Diocese office building and taking control in January of 2016, so if we are unable to secure the financing this year, we will try again the following year.

24) **Closing** – Mr. Poster, Mr. Mirto, and Mr. Stuart thanked everyone for coming, encouraged those to sign the sign-in sheet if they had not already done so, and closed the neighborhood meeting.

**DOWNTOWN STREETScape INTERIM POLICY**





25 November 2015

City of Tucson Development Services  
201 N Stone Avenue  
Tucson, Arizona 85701

**The following letter addresses the Downtown Streetscape Interim Policy for THE MARIST ON CATHEDRAL SQUARE – MARIST COLLEGE IID Design Package Application:**

The Marist on Cathedral Square – Marist College project is located at the southwest corner of Church Avenue and Ochoa Street, within the Downtown Core Subdistrict (DCS) and Rio Nuevo Area (RNA) of the Downtown Area Infill Incentive District overlay zone. As a part of the DCS, it is the goal of this development to restore the unique character of the Historic structure and wall, while also finding a balance and uniformity within the neighboring area. To accomplish this, we offer the following statements as they relate to the City of Tucson's Downtown Streetscape Interim Policy:

*2. Trees;*

**Response:** Trees will be, at time of installation, of 24" box minimum size. It is the goal of this development to provide a unique streetscape experience and, as such, will be providing the following plant species within the right-of-way, in addition to the existing species already located adjacent to the site: Nettleleaf hackberry (*Celtis reticulata*), and Brakelights yucca (*Hesperaloe parviflora*). Encumbrances to pedestrian, vehicular, and Environmental Services movement will be monitored by building management, and a management plan will be put in place to ensure clear movement by all affected parties.

*3. Pavers;*

**Response:** Brick pavers currently exist along both the Church Avenue and Ochoa Street streetscapes, and occupy at least 30% of the paved area.

*4. Paving;*

**Response:** Grey concrete paving will be provided both on and off-site, and will serve as the predominate (less than 70% of the paved area) hardscape material for pedestrian zones and sidewalk areas. To maintain consistency with the surrounding areas, a mixture of smooth grey, medium broom, and other colored finishes per the architectural program will be utilized.

*5. Street furniture;*

**Response:** Due to the site's constraints and existing Historic Wall, street furniture is not available within the public right-of-way. Short term bicycle racks are located on-site and adjacent to the building access points.

6. *Planters and pots;*

**Response:** Due to the site's constraints and existing Historic Wall, planters and pots are not available within the public right-of-way. In-ground plantings along Church Avenue are proposed. A series of raised planters are proposed on-site.

7. *Pedestrian lighting;*

**Response:** Existing pedestrian and street lighting will remain within the public rights-of-way. Building lighting will balance the need for way-finding, ambiance, and safety, and will rely on lighting that not only compliments the building architecture, without distracting from the elements of the façade, but be in full compliance with the City of Tucson Outdoor Lighting Code.

These responses are intended to supplement the Infill Incentive District and Rio Nuevo District Package submittal to the City of Tucson. Other items have been submitted, as required, and the package should be considered as a whole. If there are any questions, please feel free to contact the undersigned.

Sincerely,

**Cypress Civil Development**



Matt Stuart

Project Manager

(520) 561-4983

[mstuart@cypresscivil.com](mailto:mstuart@cypresscivil.com)

DEVELOPMENT PLAN PACKAGE SUBMITTAL







**GENERAL NOTES**

- OWNER/DEVELOPER:  
FOUNDATION FOR SENIOR LIVING  
1201 EAST THOMAS ROAD  
PHOENIX, ARIZONA 85014  
ATTN: MR. STEVE HASTINGS  
PH: (602) 285-1800 ext. 139  
EMAIL: shastings@fsl.org
- EXISTING ZONING IS **C-3**, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE PROPOSED USE OF THE DEVELOPMENT IS **MULTI-FAMILY DWELLING**.
- THERE WILL BE **8** PROPOSED RESIDENTIAL UNITS.
- USE AREA BREAKDOWN:  
MULTI-FAMILY DWELLING = 10,800 SF
- THE GROSS SITE AREA IS **26,222** SQUARE FEET, OR 0.60 ACRES.
- TOTAL BUILDING GFA IS **10,800** SF. TOTAL PAVED AREA IS **16,000** SF ±.
- TOTAL DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **15,800** SF.
- THIS PROJECT IS SUBJECT TO THE INFILL INCENTIVE DISTRICT (IID) OVERLAY ZONE. THE PROJECT MEETS THE REQUIREMENTS OF THE IID AS APPROVED BY THE CITY OF TUCSON AS IID CASE # \_\_\_\_\_ (IID-\_\_\_\_) ON \_\_\_, 201\_. SEE SHEET 2 FOR APPLICABLE IID NOTES.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS, EXCEPT WHERE PUBLIC SEWERS WITHIN PUBLIC SEWER EASEMENTS OR RIGHTS-OF-WAY.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF ANY PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.  
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".  
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.
- U.D.C. DIMENSIONAL STANDARDS:  
(NON-RESIDENTIAL USES C-3 ZONE, MULTI-FAMILY IS CONSIDERED NON-RESIDENTIAL)  
  
MAXIMUM BUILDING HEIGHT = 75'  
ACTUAL BUILDING HEIGHT = 52'  
  
BUILDING SETBACKS:  

	REQUIRED	PROVIDED
NORTH (STREET)	0*	32.3' MIN.
EAST	0*	5.2' MIN.
SOUTH	0*	151.9' MIN.
WEST (STREET)	0*	22.9' MIN.

\*ALL REQUIRED MINIMUM BUILDING SETBACKS ARE 0'. SEE IID GENERAL NOTE \_\_, SHEET 2.

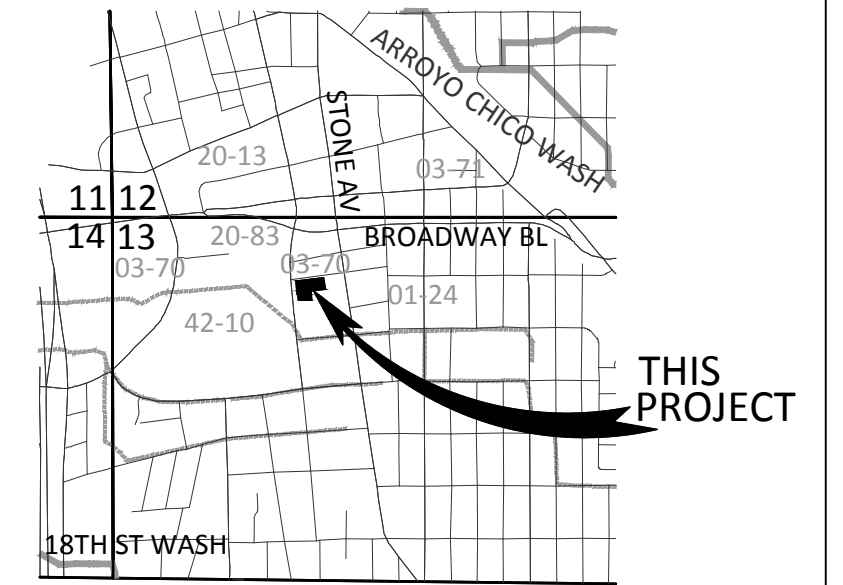
**GENERAL NOTES (cont.)**

- PARKING REQUIREMENTS FOR MULTI-FAMILY DWELLINGS (0-70 UNITS/ACRE):  
  
MOTOR VEHICLE: 1.5 SPACES PER ONE-BEDROOM UNIT  
TOTAL REQUIRED = 1.5x8 = 12 SPACES  
TOTAL PROVIDED = 0\* SPACES  
\*PARKING REQUIREMENTS EXEMPT PER IID CASE # \_\_\_\_\_ (SEE IID GENERAL NOTE \_\_, SHEET 2).  
  
ACCESSIBLE SPACES REQUIRED = 1 SPACE  
ACCESSIBLE SPACES PROVIDED = 1 SPACE  
  
BICYCLE PARKING:  
SHORT TERM: 0.1 SPACES PER BEDROOM (2 MIN.)  
TOTAL REQUIRED = 0.1x8 = 2 SPACES  
TOTAL PROVIDED = 2 SPACES  
LONG TERM: 0.5 SPACES PER BEDROOM (2 MIN.)  
TOTAL REQUIRED = 0.5x8 = 4 SPACES  
TOTAL PROVIDED = 8 SPACES  
\*NOTE: LONG-TERM SPACES ARE PROVIDED WITHIN EACH RESIDENTIAL UNIT. SEE DETAIL(J), SHEET 5.  
  
LOADING ZONES REQUIRED = 0 SPACES  
LOADING ZONES PROVIDED = 0 SPACES
- NO FREESTANDING MONUMENT SIGNS OR PARKING AREA LIGHTING ARE PROPOSED WITHIN THIS DEVELOPMENT.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- WASTE STREAM CALCULATION:  
  
PER TSM 8-01.8.0 THIS SITE PRODUCES APPROXIMATELY 62 TONS OF SOLID WASTE PER YEAR (EQUATING TO 789 GALLONS PER WEEK). A MINIMUM OF 4 CUBIC-YARDS (TOTAL) OF TRASH WILL BE REQUIRED TO BE REMOVED FROM THE SITE EACH WEEK.  
  
THIS WILL BE ACCOMPLISHED BY PROVIDING ONE 2-CUBIC-YARD TRASH BIN AND ONE 2-CUBIC YARD RECYCLE BIN, TO BE PICKED UP ONCE PER WEEK.  
  
MINIMUM VERTICAL CLEARANCE FOR GARBAGE TRUCKS IS 25.0' PER TSM 8-01.5.3.B.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORMWATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR UDC SEC. 5.4, MAJOR STREETS AND ROUTES (MS&R) SETBACK ZONE; SEC. 5.11, RIO NEUVO DISTRICT; SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID); AND SEC. 5.12.5, DOWNTOWN CORE SUBDISTRICT (DCS).
- PLAZAS AND OPEN SPACE REQUIRED:  
5% OF GROSS FLOOR AREA = 0.05x10,800 = 540 SF  
PROVIDED = 10,900 SF
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.

**SURVEY NOTES**

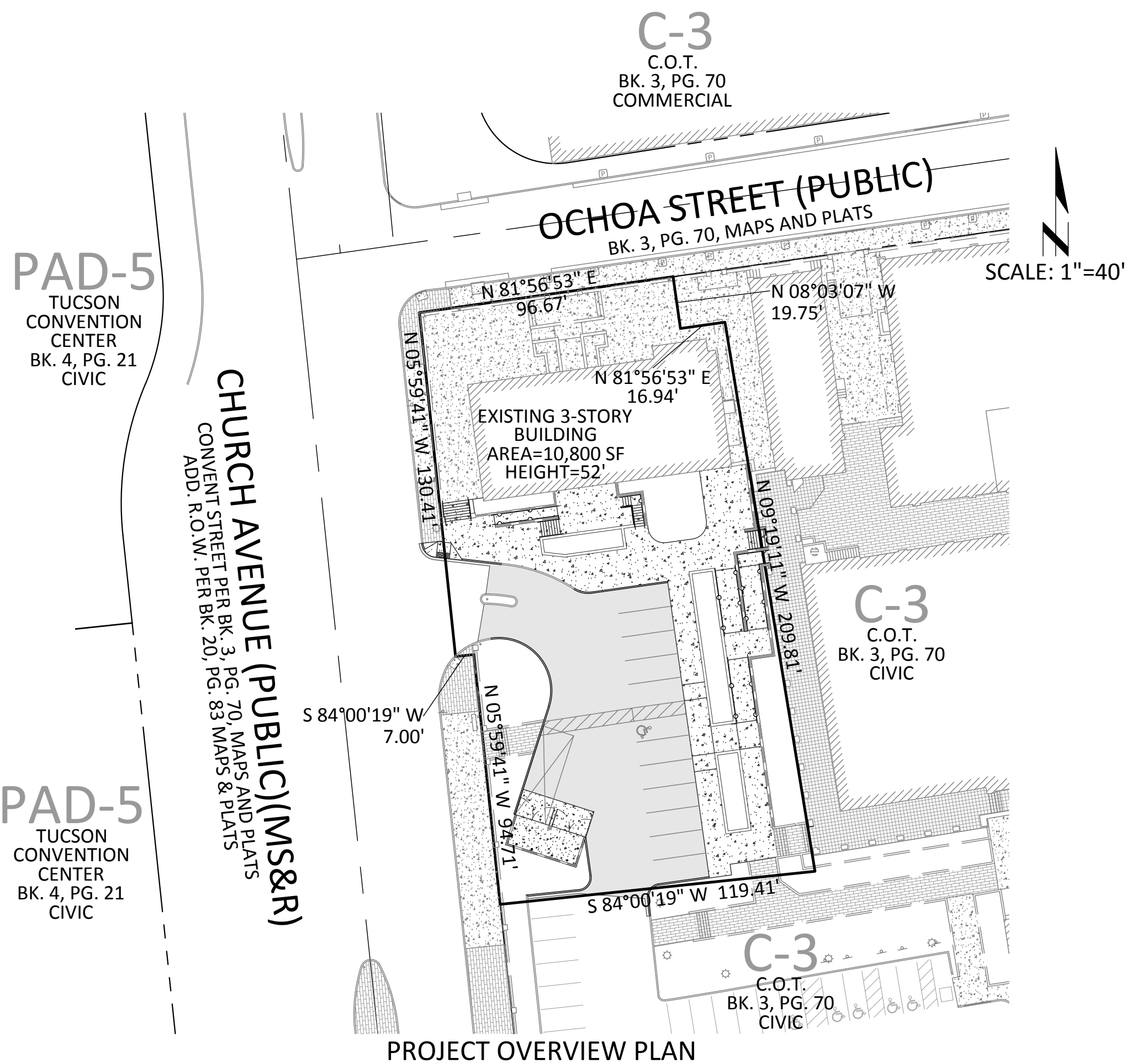
- THE BASIS OF BEARINGS FOR THIS PROJECT IS A STRAIGHT LINE BETWEEN TWO FOUND SURVEY MONUMENTS ON SCOTT AVENUE AS SHOWN ON THE SURVEY MAP RECORDED IN BOOK 76 AT PAGE 70 OF SURVEYS, RECORDS OF PIMA COUNTY, ARIZONA. THE BEARING OF SAID LINE IS **S 02°45'57" E**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS PIMA COUNTY/CITY OF TUCSON GEODETIC CONTROL POINT "DL23", DESCRIBED AS A 60D NAIL WITH AN ALUMINUM CAP STAMPED "CITY OF TUCSON RLS #20373", LOCATED IN THE CENTER OF 17TH STREET APPROX. 103' EAST OF THE EAST CURB LINE OF STONE AVE., APPROX. 2,150' SOUTH AND 475' EAST OF THIS PROJECT. THE ELEVATION OF SAID BENCHMARK IS **2,401.79'**, NAVD 88 DATUM.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:  
POLARIS LAND SURVEYING, LLC  
3528 NORTH FLOWING WELLS ROAD  
TUCSON, ARIZONA 85705  
ATTN: MR. TODD A. HOUT, AZ RLS #35543  
PH: (520) 322-6400
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN. UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

# SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - MARIST COLLEGE



IN THE NE ¼ OF THE NW ¼ OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

LOCATION MAP  
3" = 1 MILE



**LEGEND**

PAINT STRIPE	---OHE---OHE---	EXISTING OVERHEAD ELECTRIC
EXISTING CURB	---G---G---G---	EXISTING GAS LINE
EXISTING CONCRETE	[U]	EXISTING UNKNOWN UTILITY
NEW CURB	[●]	EXISTING SEWER MANHOLE
NEW WALL	[⊗]	EXISTING SEWER CLEANOUT
NEW CONCRETE	[W]	EXISTING WATER METER
NEW ASPHALT	[⊗]	EXISTING WATER VALVE
NEW FENCE/RAILING	[⊕]	EXISTING FIRE HYDRANT
RIGHT-OF-WAY	[E]	EXISTING ELECTRIC MANHOLE
PROJECT BOUNDARY LINE	[C]	EXISTING COMMUNICATION MANHOLE
OTHER PARCEL LINE	[C]	EXISTING COMMUNICATION PEDESTAL
ROADWAY CENTERLINE	[L]	EXISTING POWER POLE
EXISTING SIGN	[L]	EXISTING LIGHT PULLBOX
EXISTING STREET/TRAFFIC LIGHT	[G]	EXISTING GAS METER
EXISTING PARKING METER	[P]	NEW SIGN
EXISTING FLOOR DRAIN	[SD]	SURVEY MONUMENTATION AS NOTED
EXISTING STORMDRAIN MANHOLE	[SD]	PARKING SPACE COUNT
EXISTING STORMDRAIN	[SD]	ZONING DIVISION
EXISTING SEWER	[SVT]	SIGHT VISIBILITY TRIANGLE
EXISTING WATER	[R]	RADIUS
EXISTING COMMUNICATION LINE	[FFE]	FINISHED FLOOR ELEVATION

**SHEET INDEX**

- COVER SHEET
- NOTES
- SITE PLAN
- UTILITIES & EASEMENTS PLAN
- DETAILS
- NATIVE PLANT PRESERVATION PLAN
- LANDSCAPE PLAN
- IRRIGATION PLAN
- LANDSCAPE DETAILS
- IRRIGATION DETAILS

**ARCHITECT**

POSTER FROST MIRTO  
317 NORTH COURT AVENUE  
TUCSON, ARIZONA 85701  
ATTN: JON MIRTO  
PH: (520) 882-6310  
E: jmirto@posterrfrostmirto.com

**LANDSCAPE ARCHITECT**  
ARC STUDIOS INC.  
5781 NORTH PLACITA AMANECER  
TUCSON, ARIZONA 85718  
ATTN: MR. ERIC BARRETT  
PH: (520) 838-2500  
E: erb@arcstudiosinc.com

NO.	DATE	REVISION DESCRIPTION	BY

**OWNER/DEVELOPER**

FOUNDATION FOR SENIOR LIVING  
1201 EAST THOMAS ROAD  
PHOENIX, ARIZONA 85014  
ATTN: MR. STEVE HASTINGS  
PH: (602) 285-1800 ext. 139  
EMAIL: shastings@fsl.org

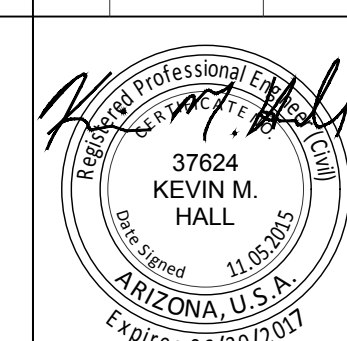
**SITE ADDRESS**

64 WEST OCHOA STREET  
TUCSON, ARIZONA 85701

**CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL**

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other

DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
Zoning \_\_\_\_\_ Date \_\_\_\_\_  
Engineering \_\_\_\_\_ Date \_\_\_\_\_  
H/C Site \_\_\_\_\_ Date \_\_\_\_\_  
Fire \_\_\_\_\_ Date \_\_\_\_\_  
Landscape \_\_\_\_\_ Date \_\_\_\_\_  
PL/ME \_\_\_\_\_ Date \_\_\_\_\_  
Revision # \_\_\_\_\_  per letter in SIRE



CYPRESS PROJECT NO: 15.087-M

**CYPRESS CIVIL DEVELOPMENT**  
Strength + Sustainability

2102 north country club road suite #9  
tucson, arizona 85716  
ph: 520.561.4983  
e: kmhall@cypresscivil.com

A PORTION OF BLOCK 224 OF "CITY OF TUCSON", BK. 3 AT PG. 70, OF MAPS & PLATS, LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

**SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - MARIST COLLEGE**  
cover sheet

DP REF: 1 OF 10



**PAVING & GRADING NOTES**

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA COUNTY/CITY OF TUCSON (PC/COT) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, AND THE PIMA COUNTY/CITY OF TUCSON STANDARD DETAILS FOR PUBLIC IMPROVEMENTS, 2003 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-561-4983.
- AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 406, MIX #2.
- ALL CONCRETE SHALL CONFORM TO PC/COT STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, AND CLASS S, 3000 PSI AT 28 DAYS.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION (MUTCD). THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CONTACT PERMITS AND CODES AT 791-4259 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

**EARTHWORK & MATERIALS TESTING + CERTIFICATION**

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY [company]. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED \_\_\_\_, [company] PROJECT NO. \_\_\_\_.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

**UTILITY NOTE**

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

**PRIVATE UTILITY NOTES**

- ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
- ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

**INCENTIVE INFILL DISTRICT GENERAL NOTES**  
CASE # \_\_\_\_\_ (IID-\_\_\_\_)

- 

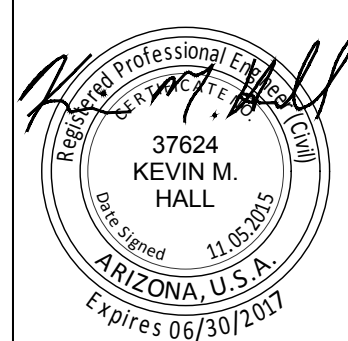


**CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL**

Site/Dev Plan     SCZ  
 Tentative Plat     FRZ  
 Grading     HDZ  
 SWPPP     WASH  
 FUP     Other

DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
 Zoning \_\_\_\_\_ Date \_\_\_\_\_  
 Engineering \_\_\_\_\_ Date \_\_\_\_\_  
 H/C Site \_\_\_\_\_ Date \_\_\_\_\_  
 Fire \_\_\_\_\_ Date \_\_\_\_\_  
 Landscape \_\_\_\_\_ Date \_\_\_\_\_  
 PL/ME \_\_\_\_\_ Date \_\_\_\_\_  
 Revision # \_\_\_\_\_  per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FOUNDATION FOR SENIOR LIVING 1201 EAST THOMAS ROAD PHOENIX, ARIZONA 85014 ATTN: MR. STEVE HASTINGS PH: (602) 285-1800 ext. 139 EMAIL: shastings@fsl.org
				<b>SITE ADDRESS</b> 64 WEST OCHOA STREET TUCSON, ARIZONA 85701



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**SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - MARIST COLLEGE**

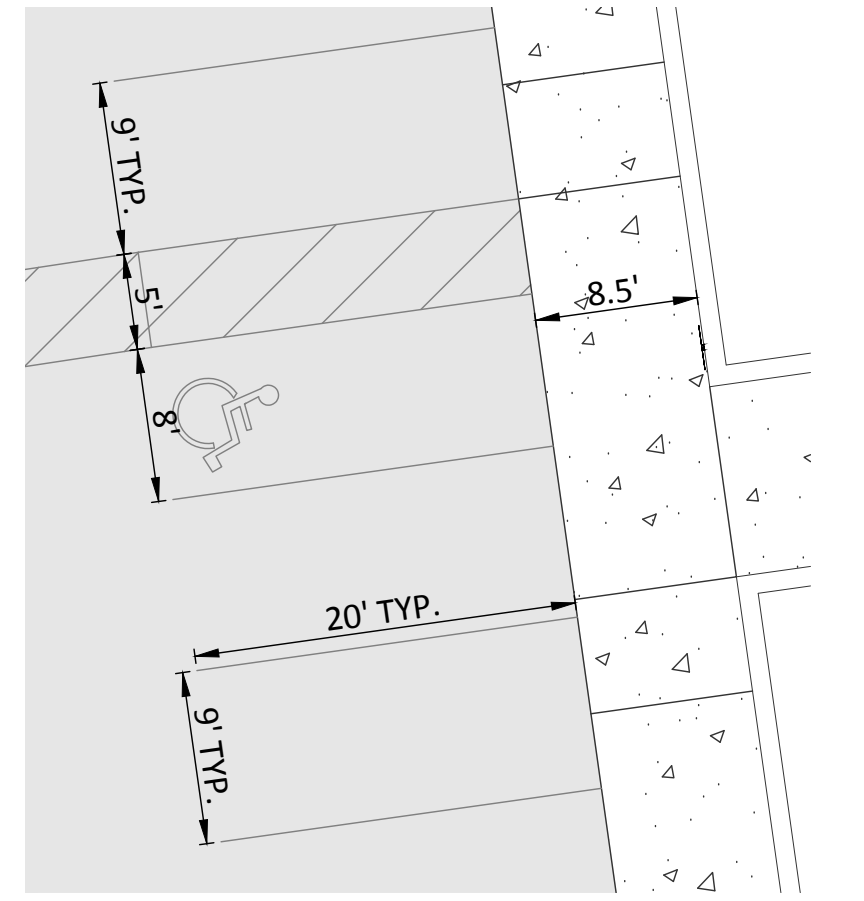
notes



SCALE: 1"=20'

**KEYNOTES**

- 1 PRIMARY BUILDING ENTRANCE.
- 2 PROPOSED PROPERTY LINE. NEW MONUMENTATION TO BE SET AND RECORDING PROCESS TO BE COMPLETED BEFORE THE APPROVAL OF THIS DEVELOPMENT PLAN.
- 3 EXISTING ASPHALT TO REMAIN.
- 4 EXISTING CURB TO REMAIN.
- 5 EXISTING CURB RAMP TO REMAIN.
- 6 EXISTING CONCRETE/SIDEWALK TO REMAIN.
- 7 EXISTING BRICK PAVERS/TILE TO REMAIN.
- 8 EXISTING STRIPING TO REMAIN.
- 9 EXISTING WALL TO REMAIN.
- 10 EXISTING WALL OPENING.
- 11 EXISTING LIGHT TO REMAIN.
- 12 EXISTING COLUMN TO REMAIN (TYP.).
- 13 EXISTING STEEL BARRIER TO BE REMOVED.
- 14 EXISTING SIGN TO BE REMOVED.
- 15 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
- 16 NEW WALL-MOUNTED ACCESSIBLE SIGN. SEE DETAIL (A), SHEET 5.
- 17 NEW 6" VERTICAL CURB, TYPE 2, PER PC/COT STD DTL 209. SEE DETAIL (B), SHEET 5.
- 18 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL (C) SHEET 5.
- 19 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
- 20 NEW MODIFIED CONCRETE SIDEWALK. SEE DETAIL (D), SHEET 5. SEE PLAN FOR WIDTHS.
- 21 NEW CONCRETE SIDEWALK PER PC/COT STD DTL 200. SEE PLAN FOR DIMENSIONS.
- 22 CONNECT TO EXISTING SIDEWALK PER PC/COT STD DTL 203.
- 23 NEW CONCRETE CURB ACCESS RAMP WITH 2' WIDE DETECTABLE WARNING STRIP PER PC/COT STD 207.
- 24 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS.
- 25 NEW TRASH ENCLOSURE. SEE DETAIL (E), SHEET 5. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
- 26 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL (F), SHEET 5. FOR RACK SPACING SEE DETAIL (G), SHEET 5.
- 27 NEW LANDSCAPE PLANTER. SEE SHEET 7 FOR DETAILS.
- 28 NEW WALL. OWNER/ARCHITECT TO PROVIDE MATERIALS & FINISHES.
- 29 NEW 12'x35' LOADING ZONE.
- 30 NEW ICC A117.1 SECTIONS 405 & 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL (H), SHEET 5. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES.
- 31 NEW ICC A117.1 SECTIONS 504 & 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL (I), SHEET 5. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES.
- 32 NEW BARRICADE RAILING PER PC/COT STD DTL 105.
- 33 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE LINE FOR DIMENSIONS.



TYPICAL PARKING DETAIL  
SCALE: 1"=10'

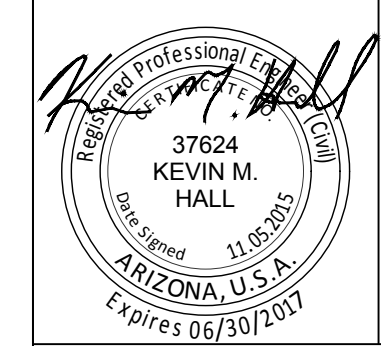
PAD-5  
TUCSON CONVENTION CENTER  
BK. 4, PG. 21  
CIVIC

PAD-5  
TUCSON CONVENTION CENTER  
BK. 4, PG. 21  
CIVIC

CHURCH AVENUE (PUBLIC)(MS&R)  
CONVENT STREET PER BK. 3, PG. 70 MAPS AND PLATS  
ADD. R.O.W. PER BK. 20, PG. 83 MAPS & PLATS

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				<b>SITE ADDRESS</b> 64 WEST OCHOA STREET TUCSON, ARIZONA 85701

CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
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DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
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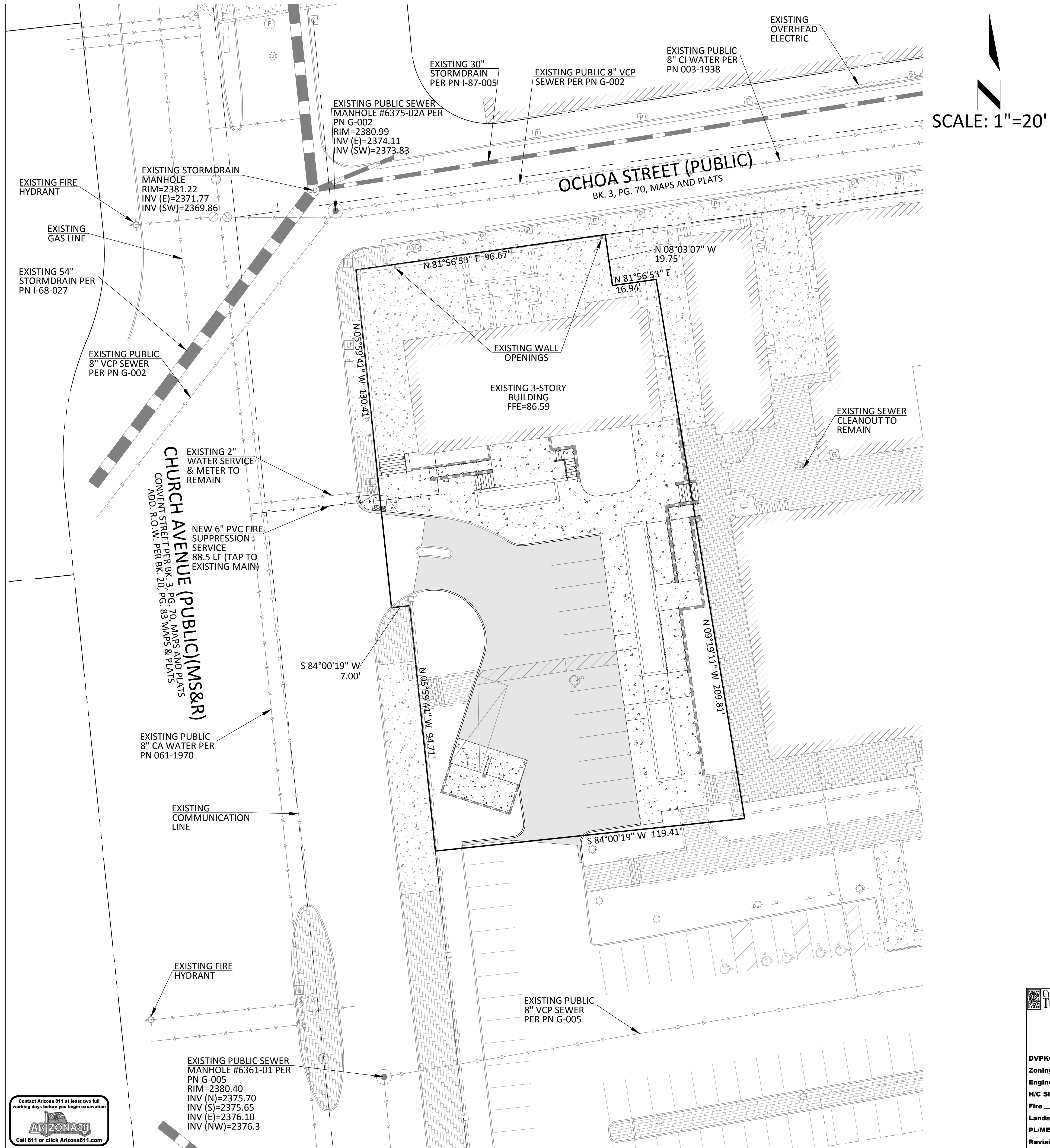


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SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - MARIST COLLEGE site plan





SCALE: 1"=20'

**PRIVATE FIRE SUPPRESSION NOTES**

1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 13.
2. MINIMUM DEPTH OF BURY TO BE 30".
3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.

**PRIVATE UTILITY NOTES**

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**UTILITY NOTE**

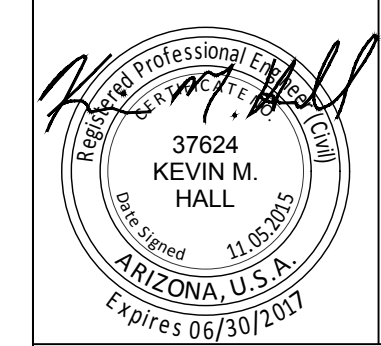
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**CHURCH AVENUE (PUBLIC)(MS&R)**  
 CONVENT STREET PER BK. 3, PG. 70, MAPS AND PLATS  
 ADD. R.O.W. PER BK. 20, PG. 83 MAPS & PLATS



<b>CITY OF TUCSON</b>	<b>DEVELOPMENT PACKAGE</b>
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
<b>DVPMGR</b> _____	<b>Date</b> _____
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<b>Landscape</b> _____	<b>Date</b> _____
<b>PL/ME</b> _____	<b>Date</b> _____
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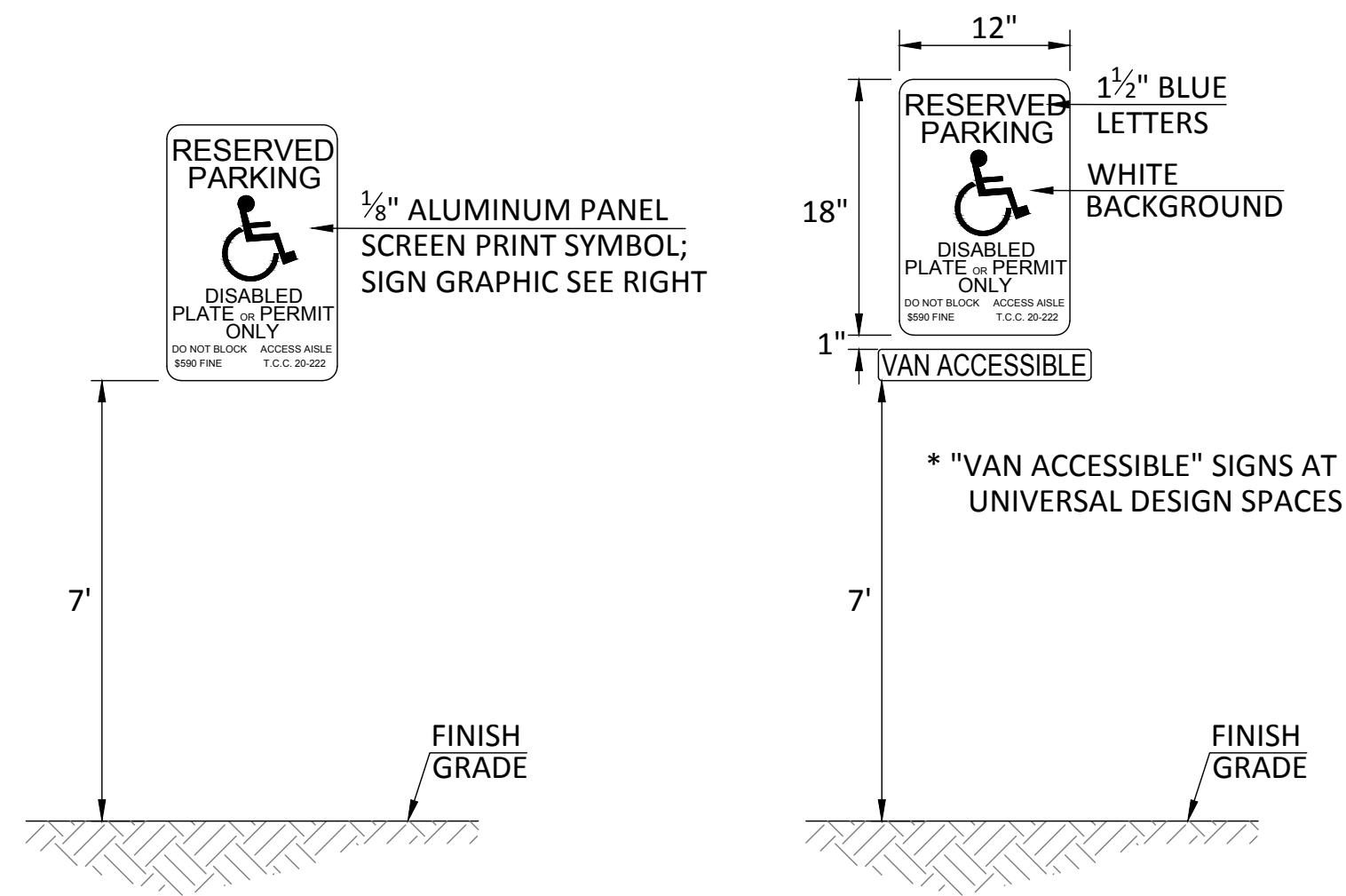
CYPRESS PROJECT NO: 15.087-M

**CYPRESS CIVIL DEVELOPMENT**  
 strength + sustainability

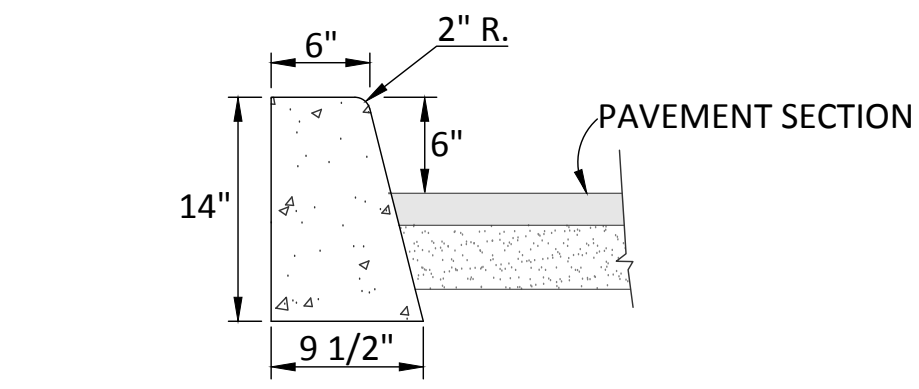
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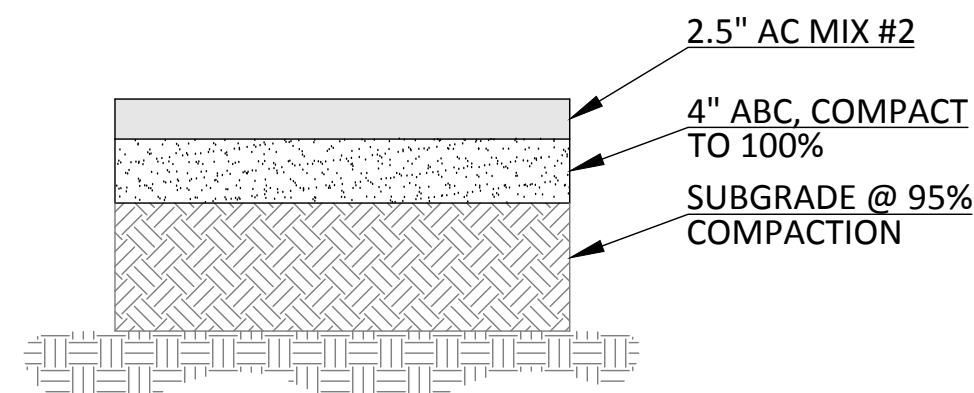
**SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - MARIST COLLEGE**  
 utilities & easements plan



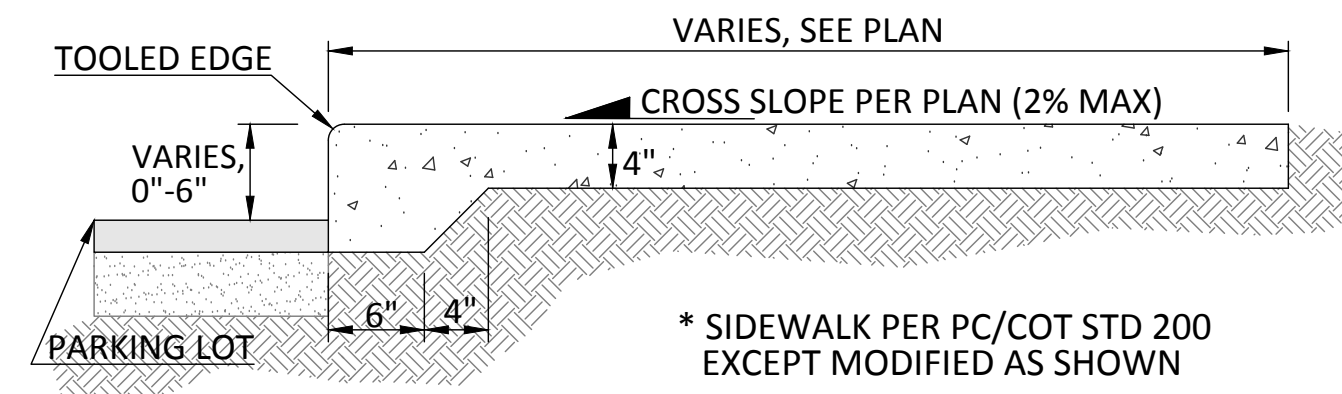
**A ACCESSIBLE SIGN - WALL MOUNTED**  
SCALE: 1"=1'



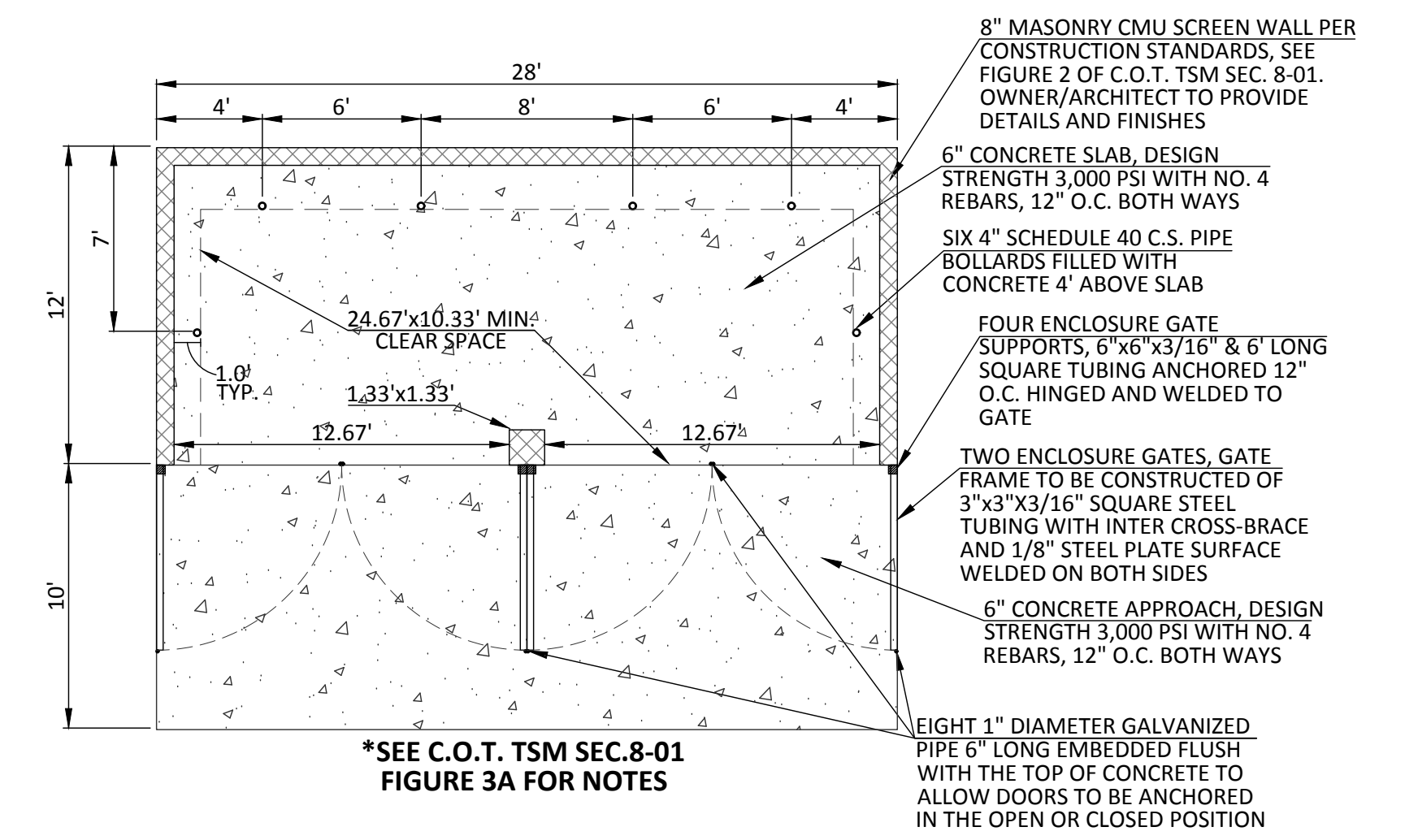
**B CONCRETE VERTICAL CURB**  
TYPE 2, H=6"  
PC/COT STD DTL 209  
SCALE: 1"=1'



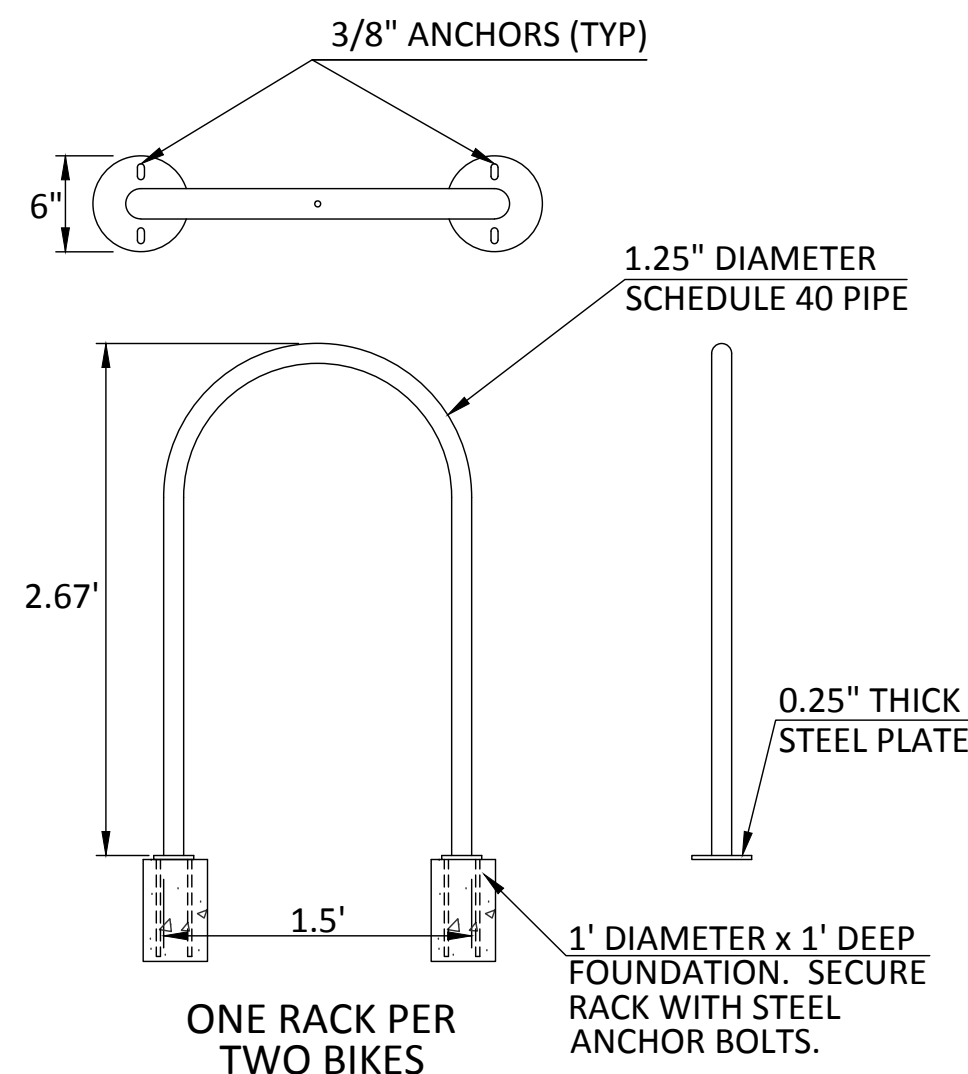
**C TYPICAL PAVEMENT SECTION**  
SCALE: 1"=1'



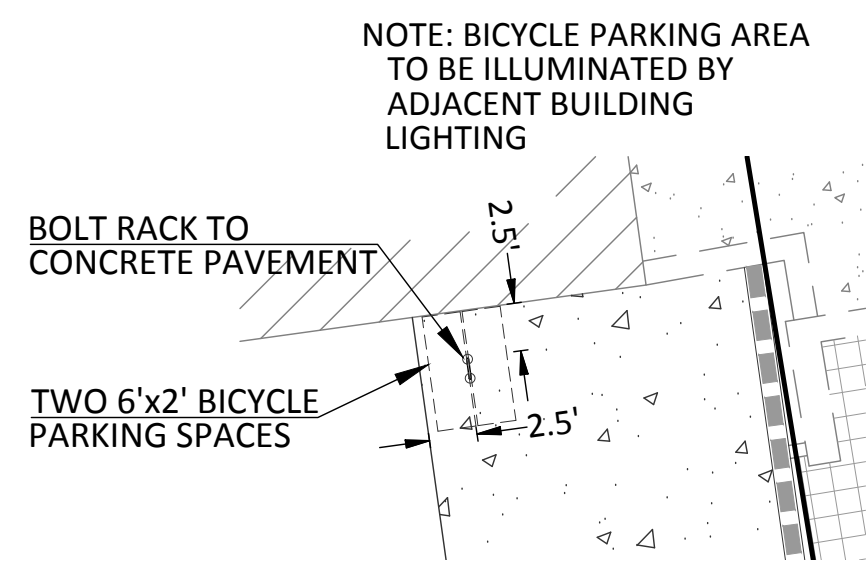
**D MODIFIED CONCRETE SIDEWALK**  
SCALE: 1"=1'



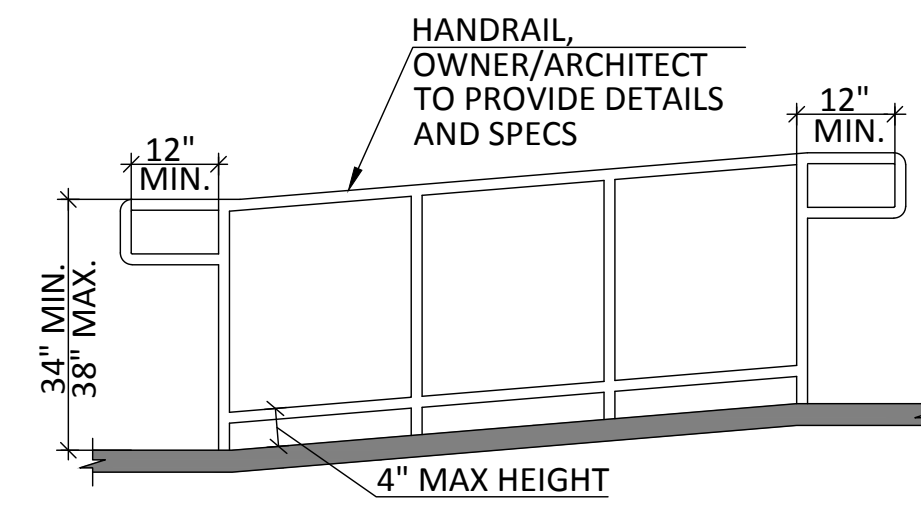
**E TRASH ENCLOSURE DETAIL**  
DOUBLE  
N.T.S.



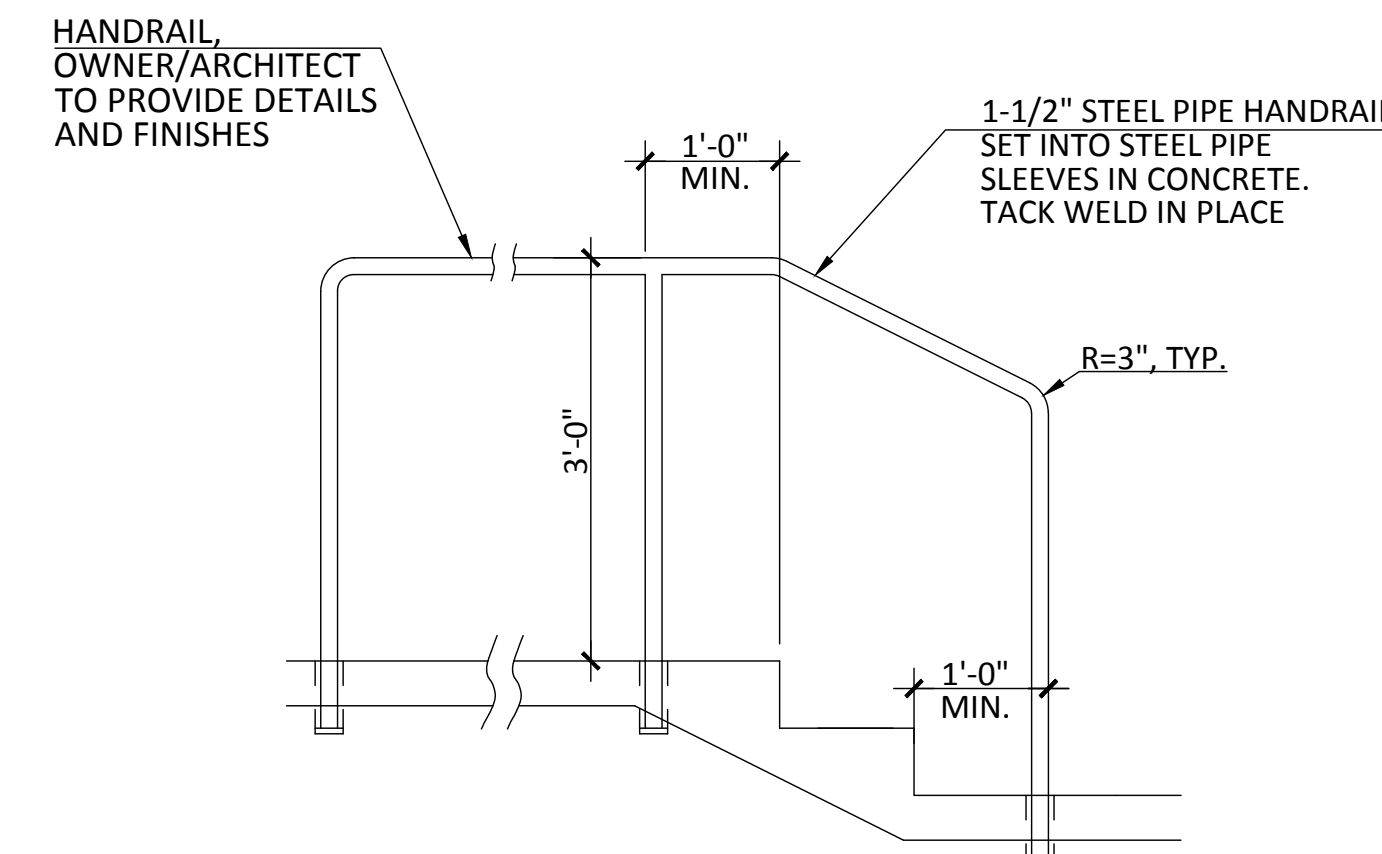
**F BICYCLE RACK (SHORT TERM)**  
SURFACE MOUNT  
N.T.S.



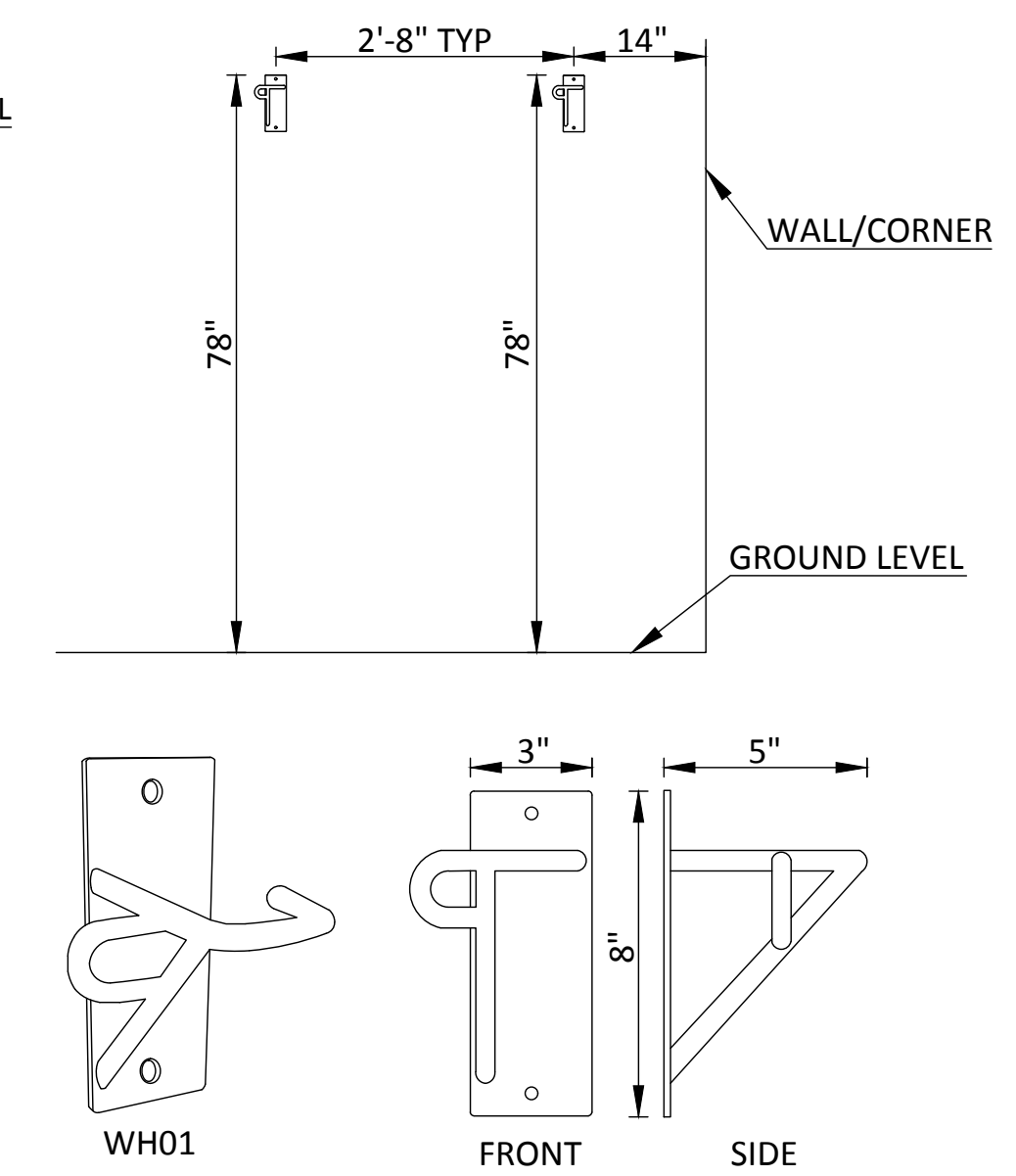
**G BIKE RACK/LOCKER SPACING**  
SCALE: 1"=10'



**H HANDRAIL AT RAMPS**  
N.T.S.



**I HANDRAIL AT STAIRS**  
N.T.S.



**J ALTERNATE LONG TERM BIKE HANGER**  
INTERIOR  
N.T.S.

- SPECIFICATIONS:**
- 2 MOUNTING HOLES IDEALLY ACCEPT 3/8" FASTENERS
  - RECOMMENDED RACK SPACING 16" MIN. W/ VERTICAL SLAGGER
  - VERTICAL SLAGGER SHOULD BE 10" GROUND TO TOP OF RACK SHOULD BE 68" FOR FIRST RACK
  - GROUND TO TOP OF SECOND RACK SHOULD BE 78"
  - ALLOW 1' BEFORE YOUR FIRST RACK AND BEYOND YOUR LAST RACK
  - USE PROPER EXPANSION BOLTS OR RAWL SPIKES FOR CONCRETE WALL
  - IF NOT ATTACHED TO STUDS, ADD 5/8" PLYWOOD BACKING
  - FINISH IS POWDER COAT BLACK
  - OVERALL DIMENSIONS: 8" X 3" X 5"
  - HOOK, BRACE, AND U-PIECE MADE OF 3/8" SOLID ROUND DOWEL
  - BASE PLATE CONSISTS OF 12 GAUGE SHEET METAL
  - 1 YEAR STANDARD MANUFACTURER'S WARRANTY
- OPTIONS:**
- AVAILABLE WITH ATTACHED 5' SECURITY CABLE, LOOPED END
  - AVAILABLE WITH ATTACHED 30" HEX CHAIN, 3/8" DIAMETER, HARDENED



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
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<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FOUNDATION FOR SENIOR LIVING 1201 EAST THOMAS ROAD PHOENIX, ARIZONA 85014 ATTN: MR. STEVE HASTINGS PH: (602) 285-1800 ext. 139 EMAIL: shastings@fsl.org
				<b>SITE ADDRESS</b> 64 WEST OCHOA STREET TUCSON, ARIZONA 85701
CYPRESS PROJECT NO: 15.087-M 2102 north country club road suite #9 tucson, arizona 85716 ph: 520.561.4983 e: kmhall@cypresscivil.com				
A PORTION OF BLOCK 224 OF "CITY OF TUCSON", BK. 3 AT PG. 70, OF MAPS & PLATS, LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA				
<b>SITE DEVELOPMENT PLAN for THE MARIST ON CATHEDRAL SQUARE - MARIST COLLEGE</b>				
<b>details</b>				



Number	Scientific Name	Common Name	Size	Viability	Transplantability	Comments	Disposition	Arms
1	Fouquieria splendens	Ocotillo	18	H	H	TP (TRANSPLANT)	TOS	
2	Fouquieria splendens	Ocotillo	16	H	H	TP	TOS	
3	Fouquieria splendens	Ocotillo	12	H	H	TP	TOS	
4	Fouquieria splendens	Ocotillo	18	H	H	TP	TOS	
5	Yucca elata	Soap tree yucca	10	H	H	TP	TOS	
6	Carnegiea gigantea	Saguaro	14	M	L	TP, BD	TOS	4@10'
7	Carnegiea gigantea	Saguaro	20	L	L	TP, BD, HOLES, TD	RFS	1@6'
8	Ferocactus wislizenii	Barrel Cactus	2	H	H	TP, LE	TOS	
9	Carnegiea gigantea	Saguaro	24	L	L	TP, DB, LE, HOLES	RFS	7@20'
10	Yucca elata	Soap tree yucca	4	H	H	TP	TOS	
11	Yucca elata	Soap tree yucca	8	H	H	TP	TOS	
12	Fouquieria splendens	Ocotillo	14	H	H	TP	TOS	
13	Yucca elata	Soap tree yucca	8	H	H	TP	TOS	
14	Fouquieria splendens	Ocotillo	14	H	H	OFF SITE	PIP	
15	Yucca elata	Soap tree yucca	6	H	H	OFF SITE	PIP	
16	Fouquieria splendens	Ocotillo	14	H	H	OFF SITE	PIP	
17	Fouquieria splendens	Ocotillo	12	H	H	OFF SITE	PIP	
18	Yucca elata	Soap tree yucca	6	H	H	OFF SITE	PIP	
19	Yucca elata	Soap tree yucca	8	H	H	OFF SITE	PIP	
20	Fouquieria splendens	Ocotillo	12	H	H	OFF SITE	PIP	
21	Carnegiea gigantea	Saguaro	20	L	L	OFF SITE, TP, BD, LE	PIP	7@20'
22	Carnegiea gigantea	Saguaro	20	L	L	OFF SITE, TP, BD, TD, HOLES	PIP	3@24'

**ABBREVIATIONS:**

The following abbreviations were used in the comment column. Number in (#) refer to plant requirements for preserved in place or salvaged

- BL broken limbs - tree has significant broken branches
- PROX other vegetation in the vicinity will make salvage difficult
- TD trunk damage - trunk has excavated at the base of the tree
- BD/RD base of saguaro has suffered rodent damage
- MU multi-trunk, no single defined trunk
- LB low branch, unable of preserving low branch for salvage or relocate
- DW dead wood significant limb dieback
- IN infestation of insect, damage to main limbs
- OT old trunk
- ST stunted trunk
- PD prune damage
- MT mistletoe infection of main limbs
- PF poor form tree leaning or structure not supportive of vegetation
- LE leaning sign of decline and poor health
- SL slope - tree is on steep slope where salvage will not be possible
- SO soils are loose and rocky, salvage will be difficult
- SR surface roots are evident making excavation difficult
- SZ size of the tree, either spread, caliper or height is not conducive to salvage
- VAND vandalized - saguaro has been cut or chopped
- PIP preserved in place
- TOS transplant on site
- RFS remove from site
- SAL salvage - used during field inventory to identify trees that should be salvaged regardless of % requirements

**NATIVE PLANT PRESERVATION PLAN OVERVIEW:**

This site is located downtown Tucson, south of Broadway Blvd and east of Church Ave near the Tucson Convention Center. The plant material on this site is in fair condition. The vegetation within the project area is representative of the Arizona upland subdivision of Sonoran desert scrub. Specifically, this site is characterized by sporadic occurrences of yuccas, ocotillos, and saguaros. Understory vegetation is primarily barrel cacti, and agave.

We have identified all inventoried plant material to be salvaged and transplanted on site if possible. The condition of the saguaros is fair and they will need to be moved before construction begins to prevent any further damage.

No noxious or invasive species are visually prominent within the clearing limits. No special status including federally listed threatened, endangered species or highly safeguarded species of plant life were identified on this site.

**SALVAGE SCHEDULE:**

The salvage work will be accomplished by a licensed landscape contractor who has experience in the salvage of native desert material. This work will be performed at a time of year when successful salvage is likely. Additionally, the salvage contract will contain language requiring the replacement of any salvaged material which does not survive the transplant.

The material will be moved to a holding yard during the grading operation and then planted in conformance with the landscape plan. Water will be provided from the residential water meter and an automatic timer will regulate the irrigation water applied. Water will be applied through a drip irrigation system. The native plant monitor will track the condition and watering of all salvaged material.

**SALVAGE/PRESERVATION REQUIREMENTS:**

1. The developer must fence off the vegetation to be preserved in place as required by section 2-15.6.0 of the city of Tucson development standards.
2. The developer must provide signage in three locations indicating the flagging key used on the vegetation. This signage is for construction personnel and the general public.
3. The developer must provide language within his construction contracts providing for the protection of the vegetation and adherence to the preservation plan.
4. Plants have been tagged in accordance with section 2-15.5.0. This includes metal tags. Color coding shall be provided by contractor prior to request for City of Tucson inspection:  
white - preserve in place  
yellow - remove from site  
blue - transplant on site
5. On-site monitoring of all aspects of site clearing, grading, plant protection, preservation, salvage and mitigation shall be provided during project construction at the expense of the developer. The monitoring shall be performed by an individual who is qualified in arid lands native plant resource identification and protection as specified in sec. 3.8.4. general provisions and requirements. The monitor shall provide periodic progress reports to the developer outlining the status or work accomplished and any problems encountered. Development services department shall receive a copy of these reports for the project file. The monitor shall be responsible for an assessment of the condition of the site's plants one (1) year after the final inspection as been performed on the site. The monitor shall visit the site and prepare a report on plant status, including general plant condition, the identification of plants under stress and the appropriate method to relieve the stress, and recommendations for replacement of plants that are dead or dying. Dead or dying plants shall be replaced with the same size plant at a one-to-one (1:1) ratio of like genus and species. Copies of the report shall be submitted to the site owner/developer and to the development services department - landscape section luc.3.8.6.7.D. The owner shall respond to the plant needs as outlined in the status report within six (6) months of report submittal or within a shorter period if required to improve the health of stressed plants and prevent plant loss.
6. A pre-permit npp inspection will be required prior to any site disturbance. Call 520-791-3111.

**NATIVE PLANT PRESERVATION WORKSHEET**

	Carnegiea gigantea	Ferocactus wislizenii	Fouquieria splendens	Yucca elata
1. Viable Plants	1	1	5	4
2. PIP/TOS required	1	0	2	1
3. Proposed PIP	0	0	0	0
4. Required TOS	1	0	2	1
5. Proposed TOS	1	1	5	4
6. Excess TOS	0	1	3	3
7. Total On Site	1	1	5	4
8. Total plants RFS	0	0	0	0
9. PIP credits	0	0	0	0
10. TOS Mitigation	1	0	2	1
11. RFS Mitigation	0	0	0	0
12. Total Mitigation	1	0	2	1
13. TOS Mitigation Reduction	1	-1	-1	-3
14. PIP Mitigation Reduction	1	-1	-1	-3
15. Required to be Provided	1	0	0	0
16. Total Required On-site	2	1	5	4

**NATIVE PLANT PRESERVATION KEY NOTES (#)**

1. Property line
2. Right of way line
3. Inventoried plant off site to remain in place
4. Suggested mitigation area

**NPPO LEGEND**

- Transplanted on Site (TOS)
- Preserve in Place (PIP)
- ⊙ Saguaro
- ◆ Barrel Cactus
- \* Ocotillo
- \* Yucca

**MITIGATION LEGEND**

- Shrubs / Succulents
- Fouquieria splendens  
ocotillo
- Ferocactus wislizenii  
fishhook barrel cactus
- Yucca elata  
soap tree yucca
- Carnegiea gigantea  
saguaro

Size	Qty
salvage	5
salvage	1
salvage	4
6' spear	1
salvage	1

**1 NATIVE PLANT PRESERVATION PLAN**

Scale: 1" = 30'



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**CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL**

Site/Dev Plan     SCZ  
 Tentative Plat     FRZ  
 Grading     HDZ  
 SWPPP     WASH  
 FUP     Other

DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
Zoning \_\_\_\_\_ Date \_\_\_\_\_  
Engineering \_\_\_\_\_ Date \_\_\_\_\_  
H/C Site \_\_\_\_\_ Date \_\_\_\_\_  
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Landscape \_\_\_\_\_ Date \_\_\_\_\_  
PL/ME \_\_\_\_\_ Date \_\_\_\_\_  
Revision # \_\_\_\_\_  per letter in SIRE

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CYPRESS PROJECT NO: 15.087-M

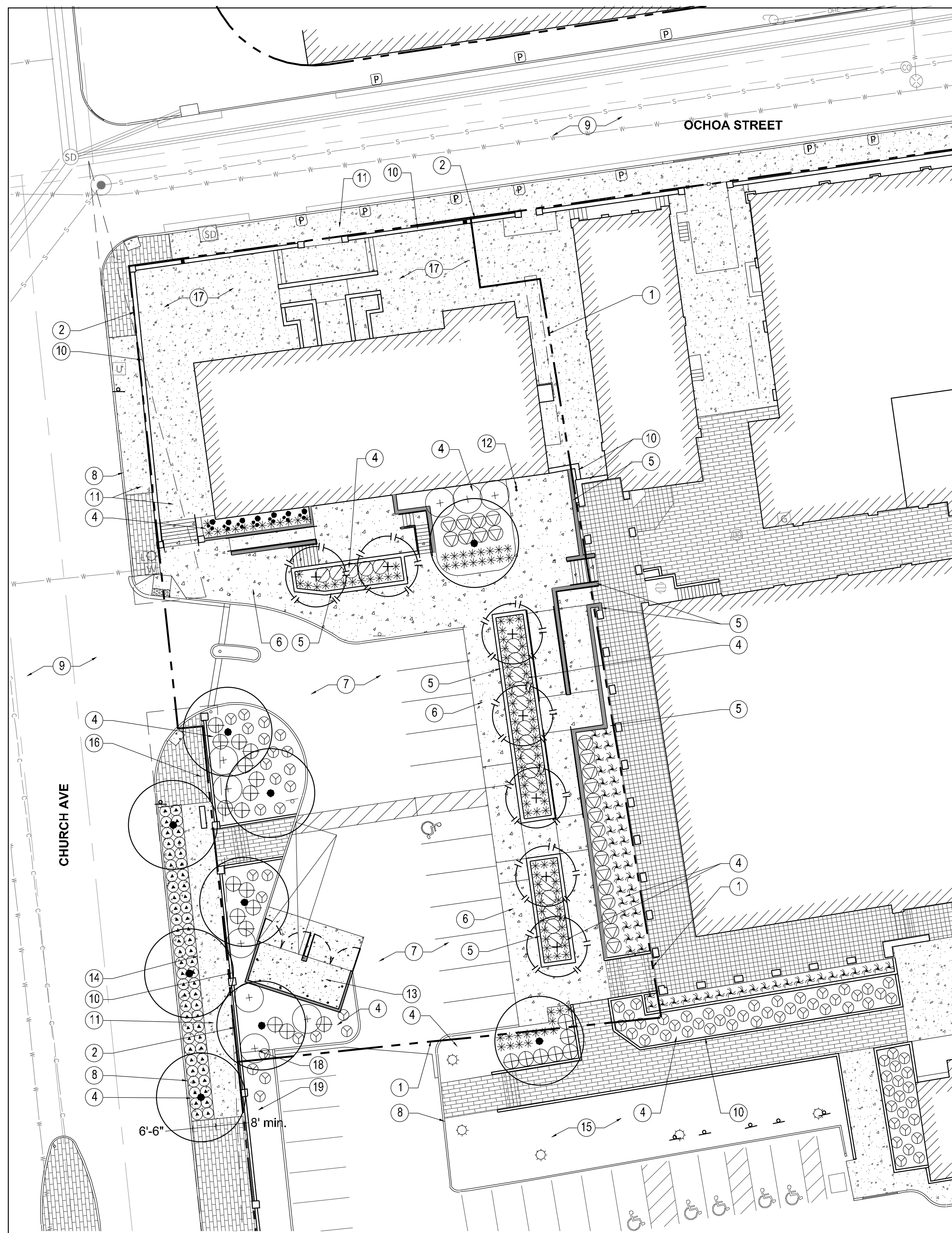
**CYPRESS CIVIL DEVELOPMENT**  
strength + sustainability

2102 north country club road  
suite #9  
tucson, arizona 85716  
ph: 520.561.4983  
e: jphunt@cypresscivil.com

**SITE ADDRESS**  
192 SOUTH STONE AVENUE  
TUCSON, ARIZONA 85701

LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

**SITE DEVELOPMENT PLAN for THE MARIST COLLEGE native plant preservation plan**



1 LANDSCAPE PLAN

Scale: 1" = 20'



2 SHADE STUDY

Scale: 1" = 40'

**SHADE STUDY**  
 public hardscape area 11,702 sf  
 public hardscape shade required (50%) 5,851 sf  
 public hardscape shade provided 3,329 sf

**PARKING TREE REQUIREMENTS** Sec. 7.6.4.B

Parking spaces provided 12  
 Trees required 3  
 Trees provided 3+

**LANDSCAPE KEY NOTES**

1. Property line
2. Right of way line
3. Sight visibility triangle
4. Decorative rock
5. Wall - refer to civil
6. Concrete sidewalk - refer to civil
7. Paving - refer to civil
8. Existing concrete curb
9. Existing pavement
10. Existing wall
11. Existing concrete sidewalk
12. Short term bicycle parking
13. Trash enclosure - refer to civil
14. Saw cut and remove concrete to provide new 6' wide planter.
15. Existing artificial turf
16. Exist bench - adjust and relocate as shown
17. Remove weeds within enclosed area
18. Limit of decorative rock
19. Existing rock to remain

**GENERAL LANDSCAPING NOTES:**

1. The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
2. For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
3. The Landscape Architect is to approve any and all substitutions.
4. Plant list provided for contractor's convenience only. Plans take precedence.
5. Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
6. Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
7. Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
8. Ground cover and/or decorative rock shall extend under shrubs unless noted.
9. After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
10. Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
11. All earthwork is to be done so that all water drains away from all structures.
12. All underground conduits are to be located before digging. If doubt exists call blue stakes.
13. All plant material to be guaranteed for a period of one (1) year after final acceptance.
14. Landscape contractor is responsible for moving, rough grade, and final grading on all landscaped areas.
15. In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
16. All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree should die from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
17. Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
18. Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
19. All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
20. Final plant locations must be in compliance with all utility setback requirements.
21. Sleeve all pipes and wires under paved areas including streets and sidewalks.
22. Irrigation lines are shown schematically; locate all line in unpaved areas.
23. Locate all lines within the property line when possible.
24. The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
25. The landscape and irrigation shall be installed per the associated specifications.
26. All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
27. Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
28. Vegetation within the sight visibility triangle shall not interfere with the visibility plane described by one horizontal line located 30" above finished grade or roadway surface.
29. It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
30. The owner understands that if the city of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
31. The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
32. The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
33. The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
34. Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

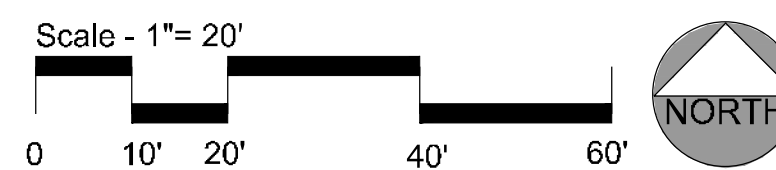
**LANDSCAPE LEGEND**

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance. Landscape Architect to hand select and tag all trees for project.

Trees	Size	Qty
Celtis reticulata <i>netleaf hackberry</i>	36" box	9
Cercis canadensis <i>texas redbud</i>	24" box	7
Existing tree		
Shrubs / Succulents	Size	Qty
Dodonea viscosa <i>hop seed</i>	5 gallon	9
Justicia californica <i>chuparosa</i>	5 gallon	24
Viguiera parishii (Deltoidea) <i>goldeneye</i>	5 gallon	20
Hesperaloe parviflora <i>brakelights yucca</i>	5 gallon	58
Calliandra californica <i>baja fairy duster</i>	5 gallon	23
Yucca rupicola <i>twisted leaf yucca</i>	5 gallon	128
Cacti mixed species <i>agave, barrel, extra</i>	salvage	86
Bouteloua gracilis <i>blue grama</i>	1 gallon	61
Lophocereus schoti <i>totem pole cactus</i>	15 gallon	7

**HARDSCAPE/ GROUND COVER MATERIALS LEGEND**

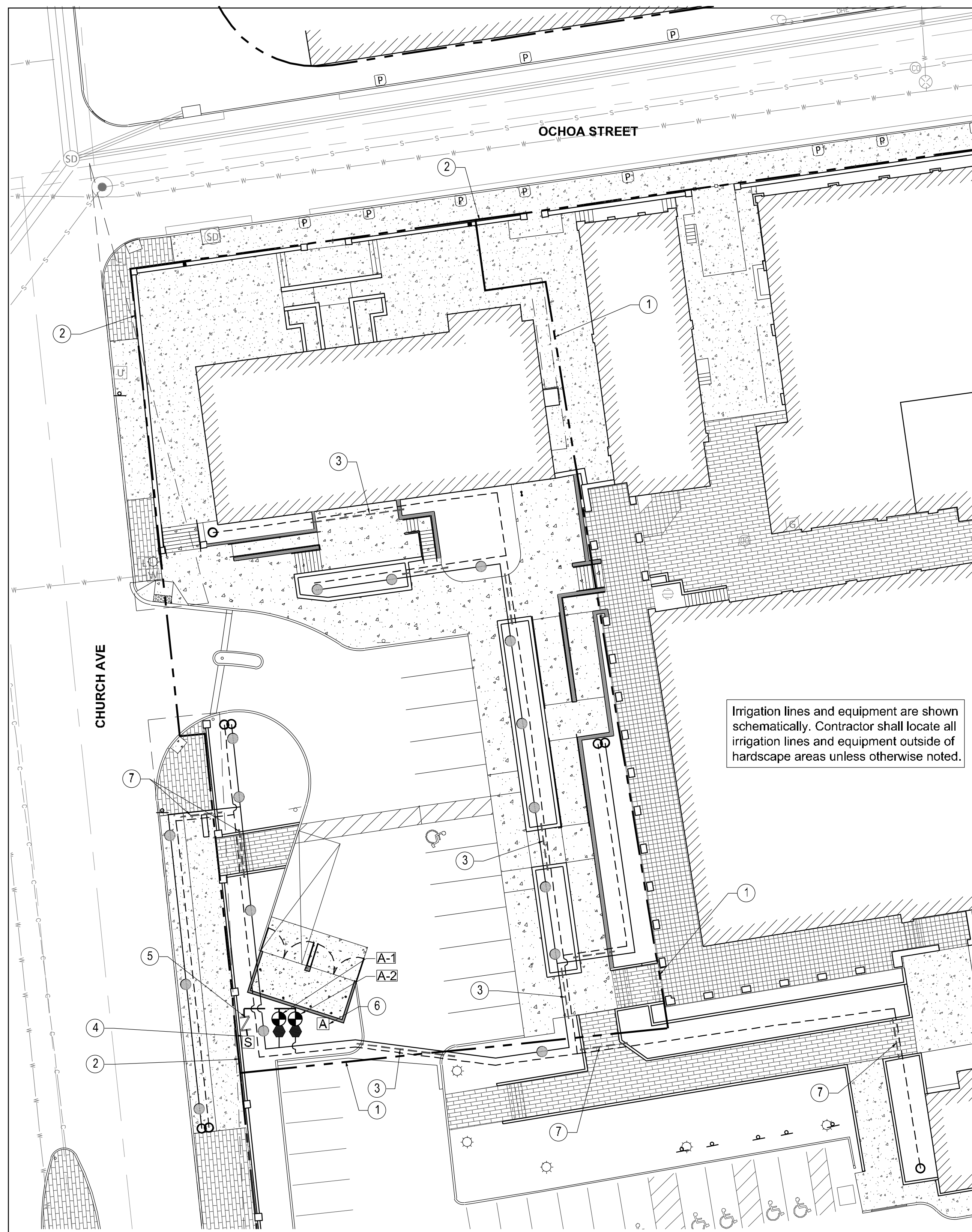
Furnish and install all material per plans, details, and specs.  
 Concrete plaza and sidewalks  
 concrete sidewalk - refer to civil  
 Decorative rock  
 1/2" screened rock - 2" depth - pioneer materials  
 - coco brown



CITY OF TUCSON DEVELOPMENT PACKAGE PSDS APPROVAL	
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plan	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR _____	Date _____
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				<b>CYPRESS CIVIL DEVELOPMENT</b> strength + sustainability 2102 north country club road suite #9 tucson, arizona 85716 ph: 520.561.4983 e: jphunt@cypresscivil.com
				LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA
				<b>SITE DEVELOPMENT PLAN for THE MARIST COLLEGE landscape plan</b>





Irrigation lines and equipment are shown schematically. Contractor shall locate all irrigation lines and equipment outside of hardscape areas unless otherwise noted.

**IRRIGATION KEY NOTES**

1. Property line
2. Right of way line
3. Irrigation sleeve
4. Irrigation source
5. Backflow preventer
6. Irrigation controller
7. Bore under existing sidewalk and add irrigation sleeve

**EMITTER SCHEDULE**

Trees	Type	Outlets	Gph outlet	Gph plant
<i>Celtis reticulata</i>	m	6	2.0	12.0
<i>netleaf hackberry</i>				
<i>Cercis canadensis</i>	m	5	2.0	10.0
<i>texas redbud</i>				
Shrubs / Succulents	Type	Outlets	Gph outlet	Gph plant
<i>Dodonaea viscosa</i>	s/m	2	2.0	4.0
<i>hop seed</i>				
<i>Justicia californica</i>	s/m	2	2.0	4.0
<i>chuparosa</i>				
<i>Viguiera parishii (Deltoidea)</i>	s/m	1	2.0	2.0
<i>goldeneye</i>				
<i>Hesperaloe parviflora</i>	s/m	1	1.0	1.0
<i>brakeights yucca</i>				
<i>Calliandra californica</i>	s/m	1	2.0	2.0
<i>baja fairy duster</i>				
<i>Yucca rupicola</i>	s/m	1	0.5	0.5
<i>twisted leaf yucca</i>				
<i>Cacti mixed species</i>	s/m	1	0.5	0.5
<i>agave, barrel, extra</i>				
<i>Bouteloua gracilis</i>	s/m	1	1.0	1.0
<i>blue grama</i>				
<i>Lophocereus schoti</i>	s/m	1	0.5	0.5
<i>totem pole cactus</i>				

**IRRIGATION VALVE SCHEDULE**

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-3		not used
A-2	1"	shrub	A-4		not used

**VALVE SCHEDULE NOTES:**

1. Valve calculation is an estimate, contractor shall provide final valve flow in gallons per minute on as-built plans.
2. (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material. Only tree multi-port emitters shall be installed in emitter box per the project details.
3. Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

**IRRIGATION LEGEND**

- furnish and install all material per plans, details, and specifications
- irrigation source / point of connection - irrigation meter - 5/8" (refer to civil water plans)
  - reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
  - irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
  - irrigation controller - toro evolution series controller w/ smart connect - 4 station evo-4-od-sc, evo-ws
  - remote control valve & filter - valve - irrigrol 700 series, 700-1; filter - rain bird rby-100-150mx
  - irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
  - tree line - sch. 40 pvc - 3/4" unless otherwise shown
  - shrub line - sch. 40 pvc - 3/4" unless otherwise shown
  - hose end cap
  - pressure regulator - senniger - pmr-30-mf
  - multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
  - single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

**IRRIGATION NOTES:**

1. The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
2. Water harvesting collection is passive water harvesting integrated into the site with depressions.
3. The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
4. Contractor shall notify architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
5. Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
6. If contractor fails to take, provide report and pressure is below design pressure, contractor shall make irrigation adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
7. Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to notify architect of sleeving layout prior to installation.
8. Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
9. Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
10. Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with et operation at completion of project.
11. Contractor shall set additional programs on controller for deep root watering and plant growth from march thru June.
12. Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
13. Contractor shall have the irrigation functional, prior to start of planting.

**1 IRRIGATION PLAN**

Scale: 1" = 20'



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environmental services . irrigation design.

Scale - 1" = 20'

**CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL**

<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
Zoning \_\_\_\_\_ Date \_\_\_\_\_  
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H/C Site \_\_\_\_\_ Date \_\_\_\_\_  
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Landscape \_\_\_\_\_ Date \_\_\_\_\_  
PL/ME \_\_\_\_\_ Date \_\_\_\_\_  
Revision # \_\_\_\_\_  per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY

OWNER/DEVELOPER  
FOUNDATION FOR SENIOR LIVING  
1201 EAST THOMAS ROAD  
PHOENIX, ARIZONA 85014  
ATTN: MR. STEVE HASTINGS  
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e: jphunt@cypresscivil.com

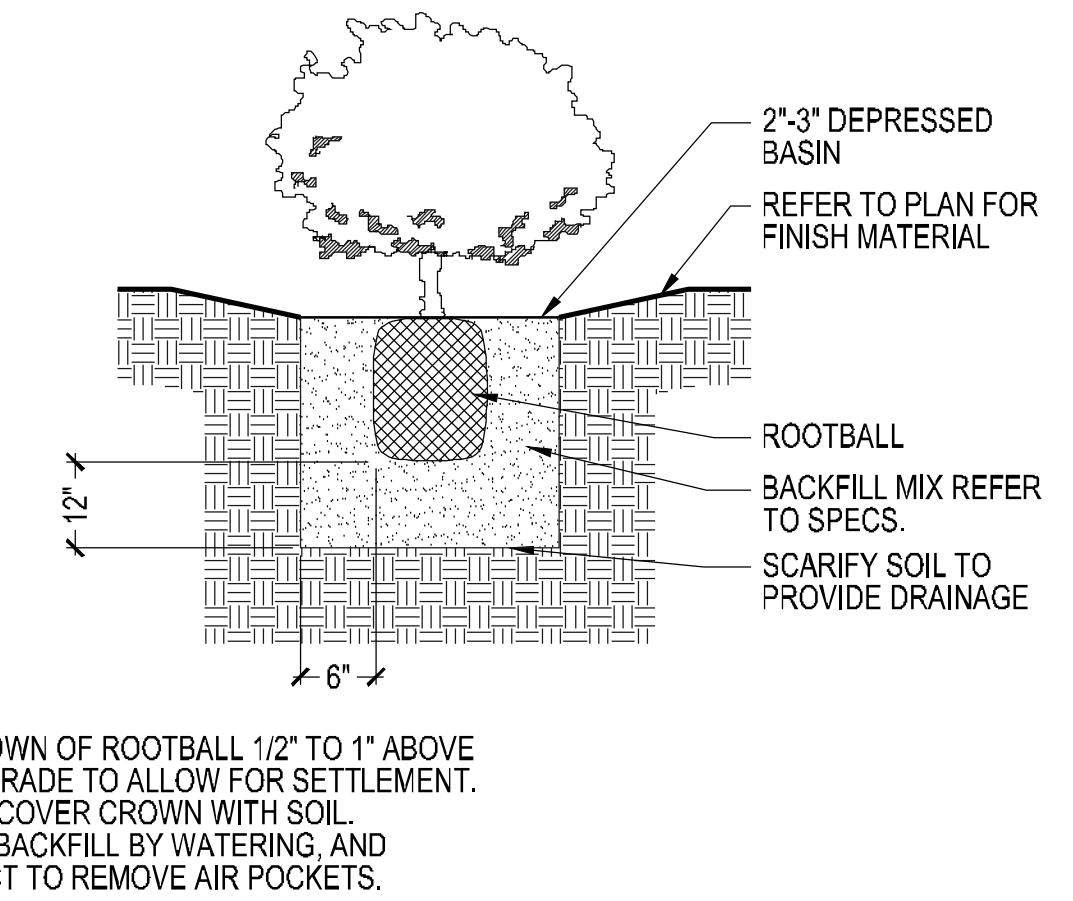
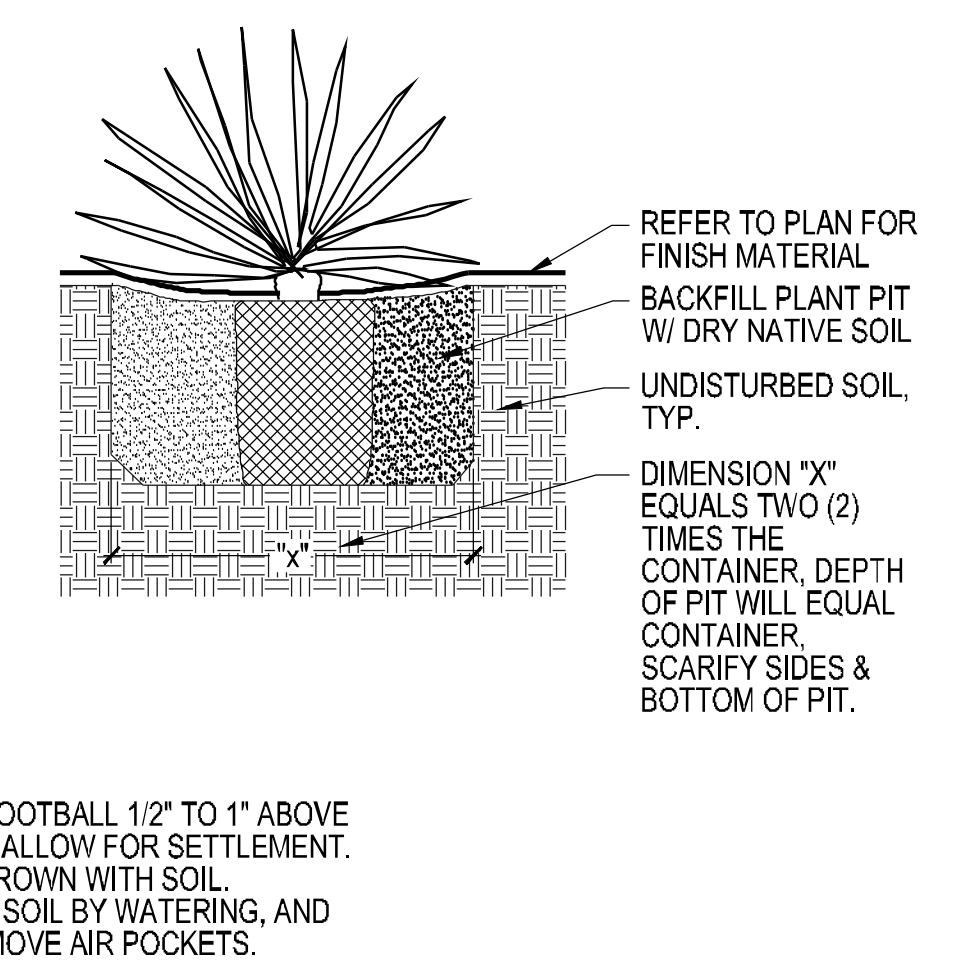
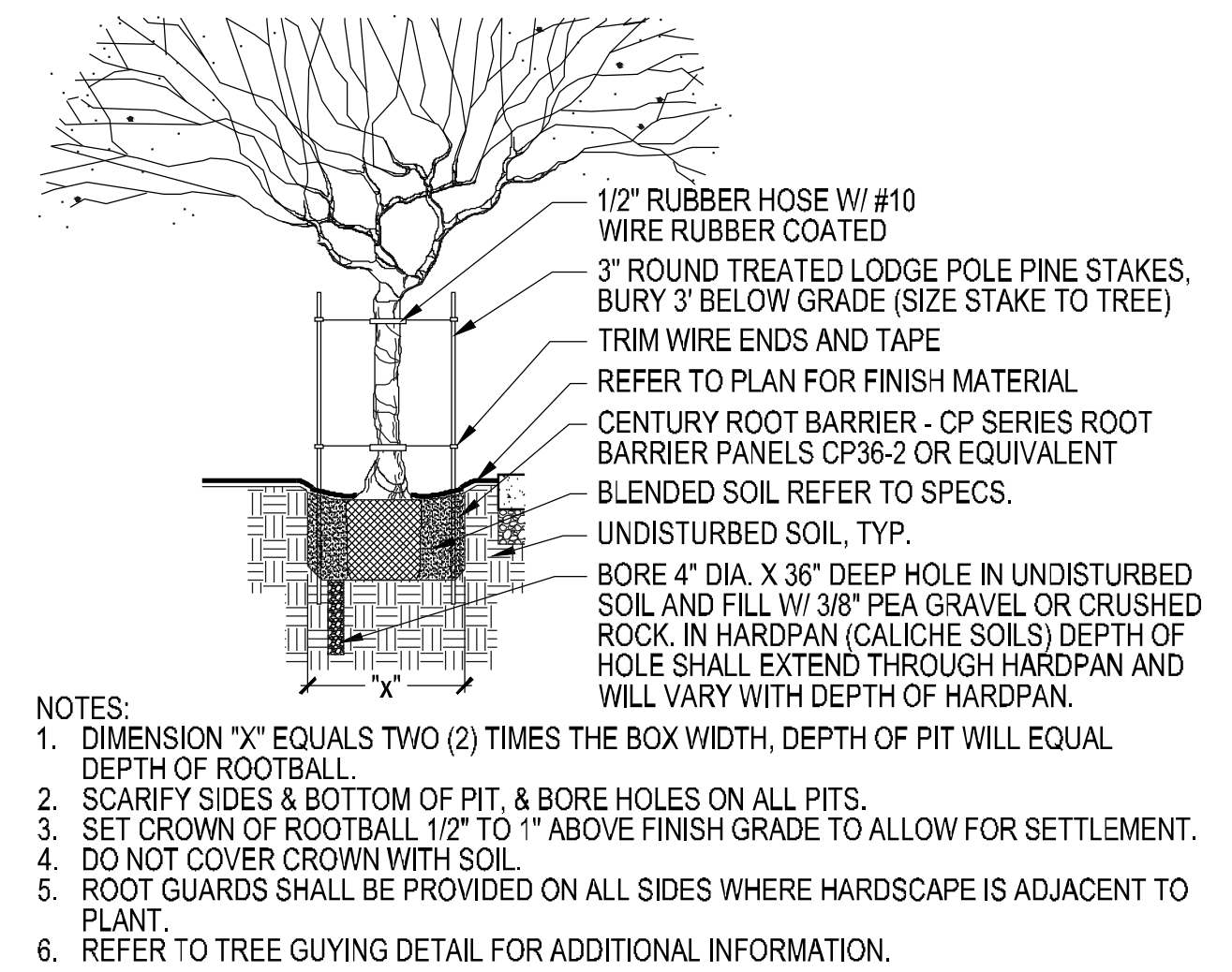
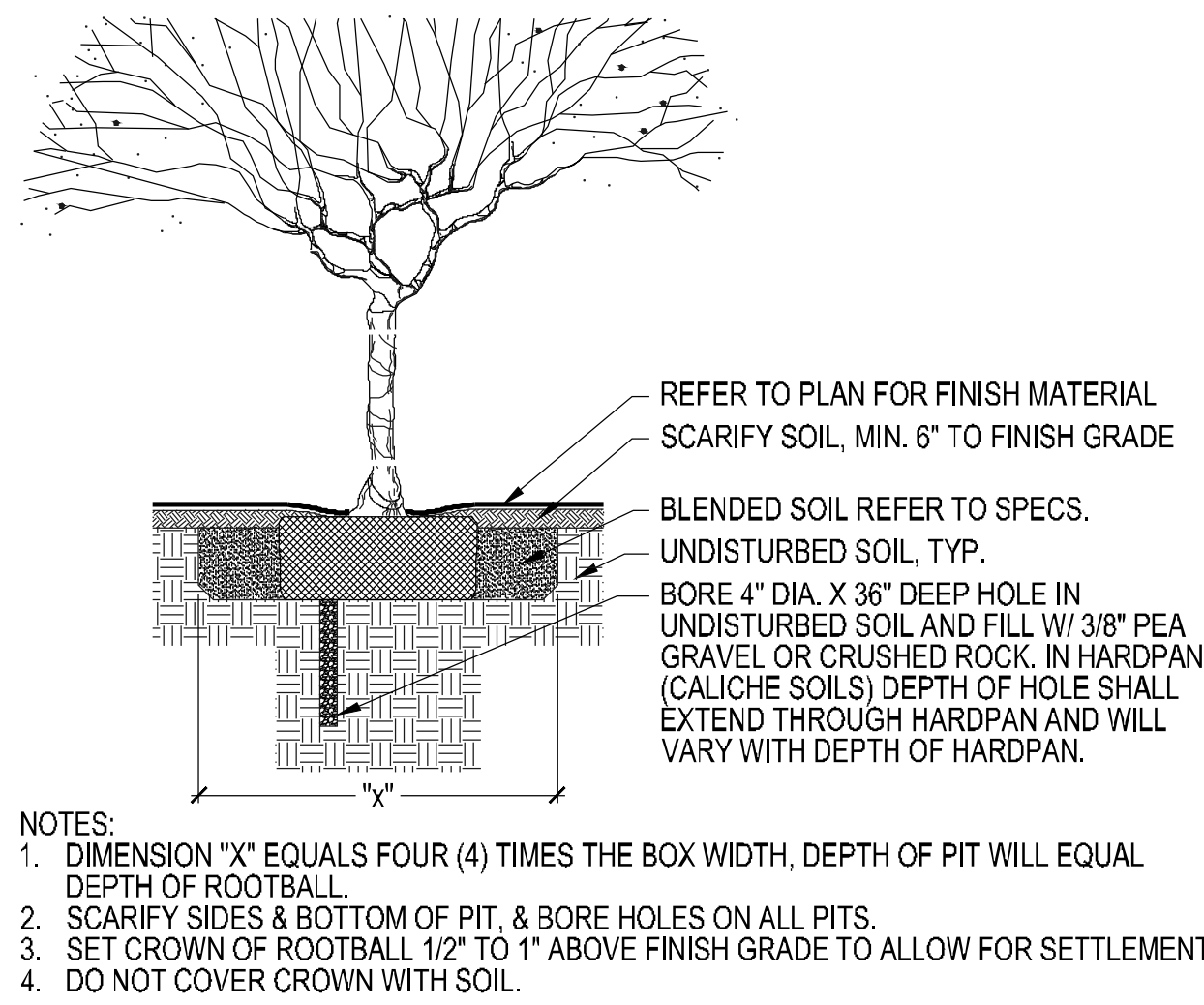
**CYPRESS CIVIL DEVELOPMENT**  
strength + sustainability

REGISTERED LANDSCAPE ARCHITECT  
39813 ERIC R. BARRETT  
11/15  
Date Signed  
EXPIRES 9/30/2018

**SITE ADDRESS**  
192 SOUTH STONE AVENUE  
TUCSON, ARIZONA 85701

LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4 OF SECTION 13, T. 14 S., R. 13 E., G.&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

**SITE DEVELOPMENT PLAN for THE MARIST COLLEGE irrigation plan**

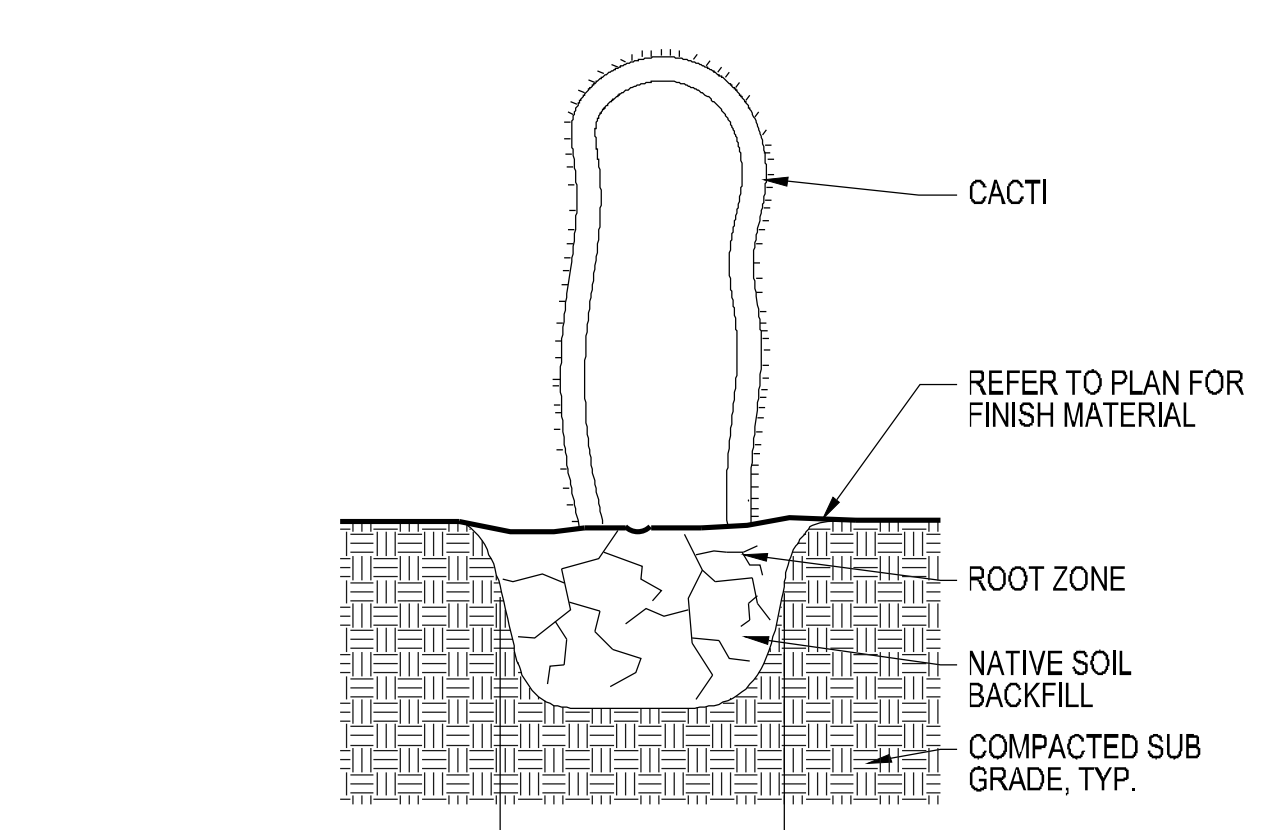
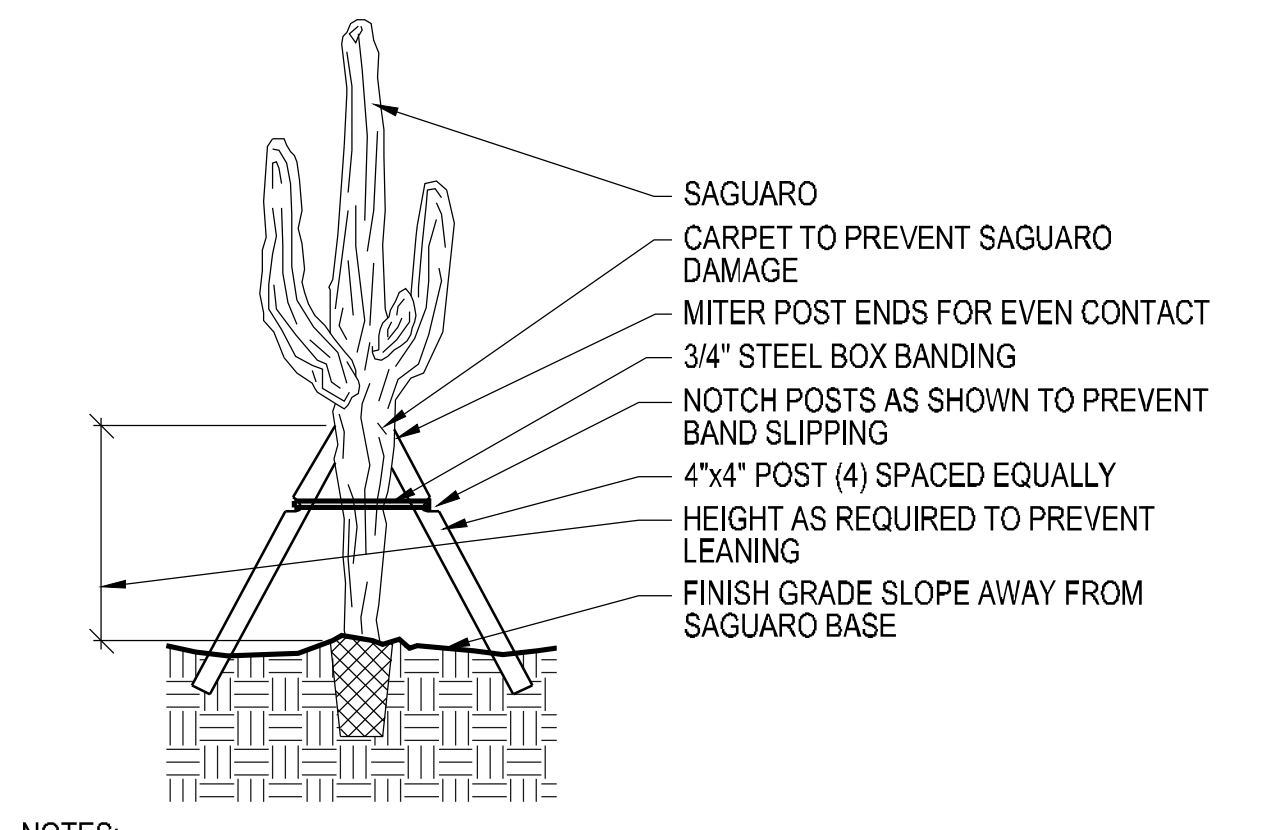
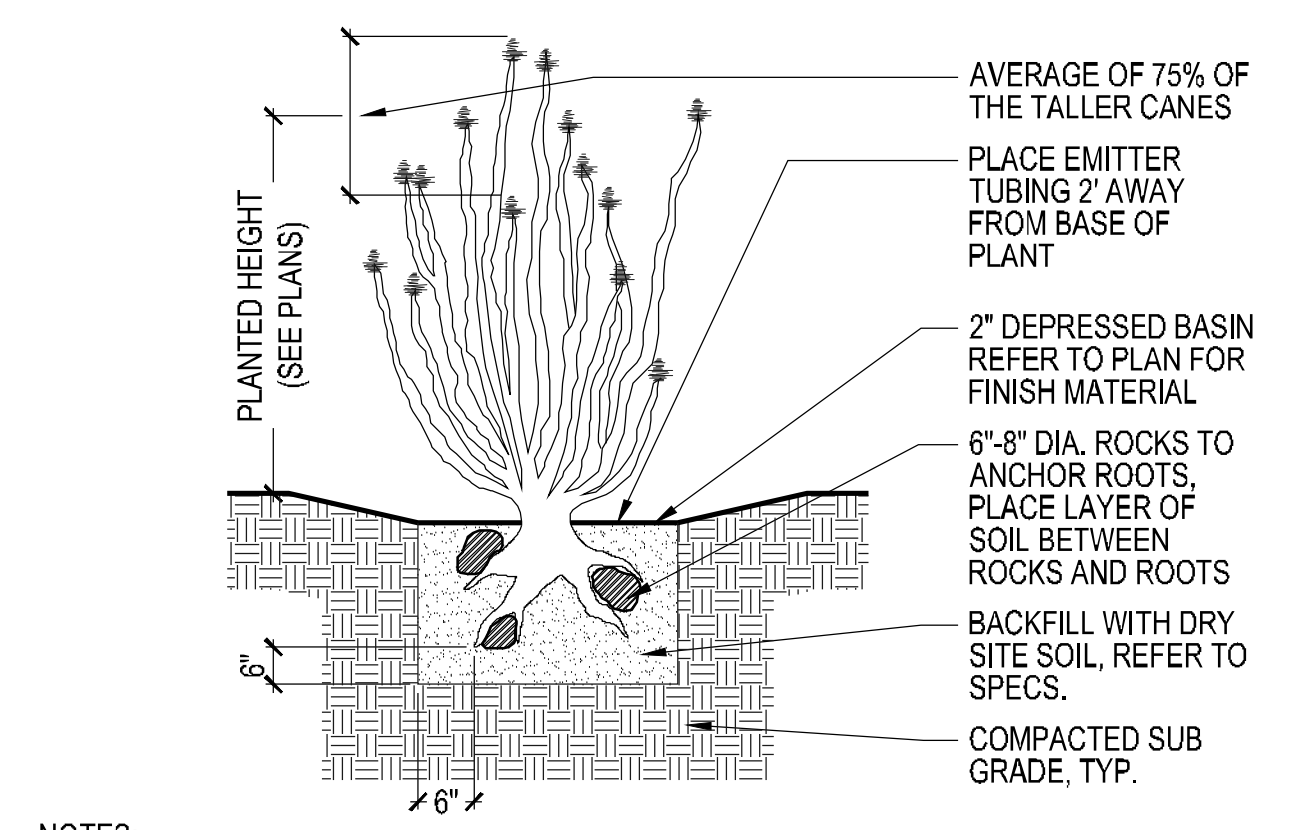
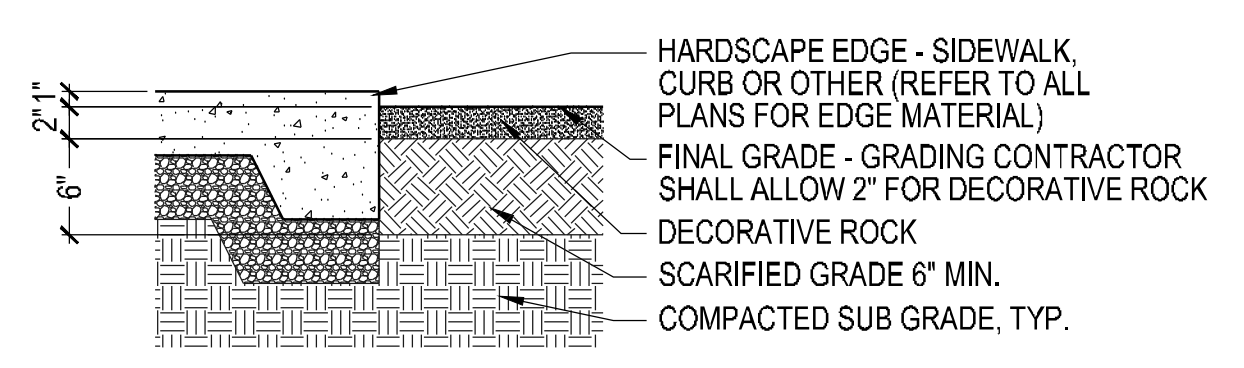


1 36IN BOX OR LARGER - TREE PLANTING NTS

2 15 GALLON & 24IN BOX - TREE PLANTING NTS

3 ACCENT PLANTING NTS

4 SHRUB PLANTING NTS

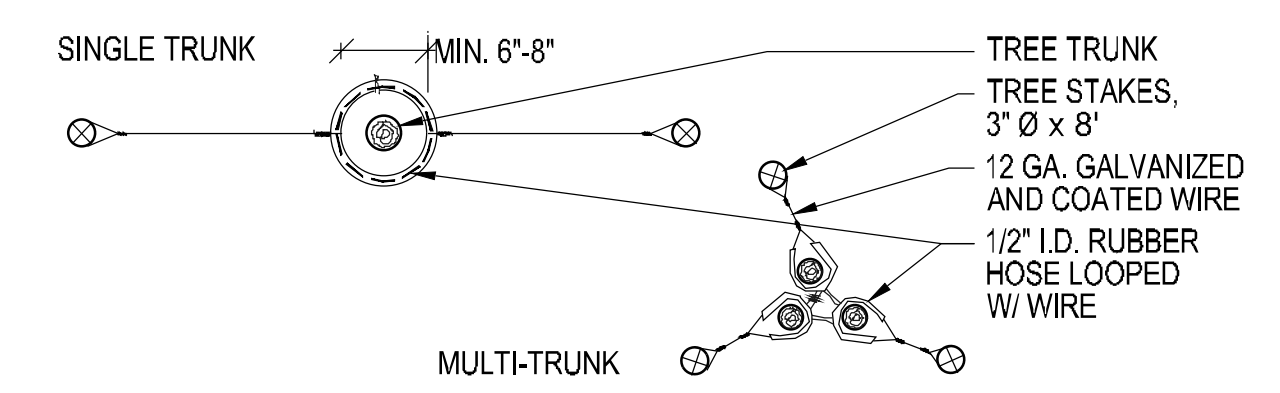


5 FINAL GRADE HARDSCAPE TO DEC. ROCK NTS

7 OCOTILLO PLANTING NTS

8 SAGUARO PLANTING NTS

9 CACTUS PLANTING NTS



6 TREE STAKING NTS

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Tucson, Arizona 85718  
phone: 520.882.9655  
www.arcstudiosinc.com

landscape architecture . urban design .  
environmental services . irrigation design.

Scale - 1" = 20'

0 10' 20' 40' 60'

NORTH

**CITY OF TUCSON**

**DEVELOPMENT PACKAGE  
PBSD APPROVAL**

Site/Dev Plan  SCZ  
 Tentative Plat  FRZ  
 Grading  HDZ  
 SWPPP  WASH  
 FUP  Other

DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
Zoning \_\_\_\_\_ Date \_\_\_\_\_  
Engineering \_\_\_\_\_ Date \_\_\_\_\_  
H/C Site \_\_\_\_\_ Date \_\_\_\_\_  
Fire \_\_\_\_\_ Date \_\_\_\_\_  
Landscape \_\_\_\_\_ Date \_\_\_\_\_  
PL/ME \_\_\_\_\_ Date \_\_\_\_\_  
Revision # \_\_\_\_\_  per letter in SIRE

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FOUNDATION FOR SENIOR LIVING 1201 EAST THOMAS ROAD PHOENIX, ARIZONA 85014 ATTN: MR. STEVE HASTINGS PH: (602) 285-1800 ext. 139 EMAIL: shastings@fsl.org
				<b>SITE ADDRESS</b> 192 SOUTH STONE AVENUE TUCSON, ARIZONA 85701

CYPRESS PROJECT NO: 15.087-M

2102 north country club road  
suite #9  
tucson, arizona 85716  
ph: 520.561.4983  
e: jphunt@cypresscivil.com

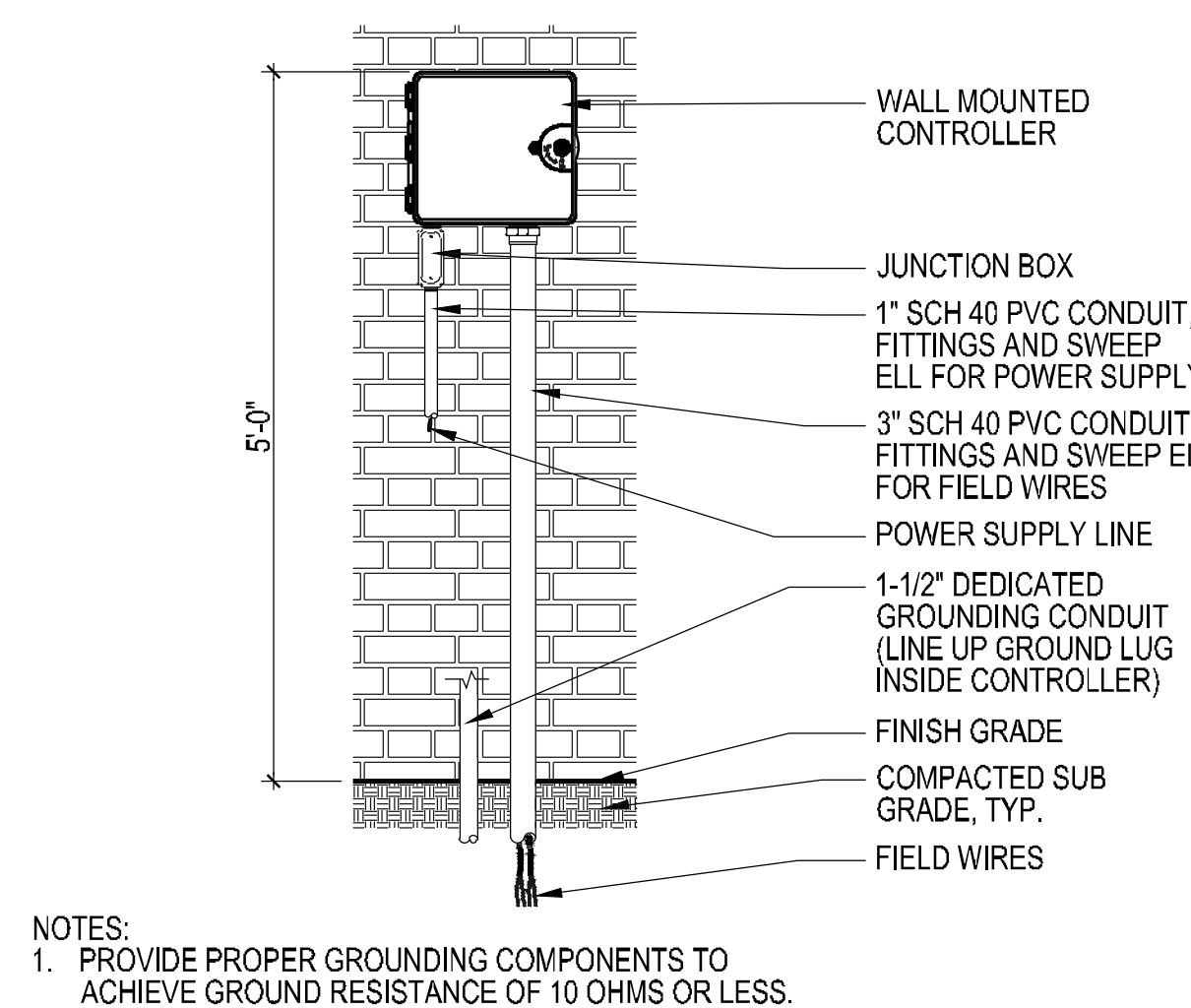
**CYPRESS CIVIL DEVELOPMENT**  
strength + sustainability

REGISTERED LANDSCAPE ARCHITECT  
39813  
ERIC R.  
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LOCATED IN THE N.E. 1/4 OF THE N.W. 1/4  
OF SECTION 13, T. 14 S., R. 13 E.,  
G.&S.R.M., CITY OF TUCSON, PIMA  
COUNTY, ARIZONA

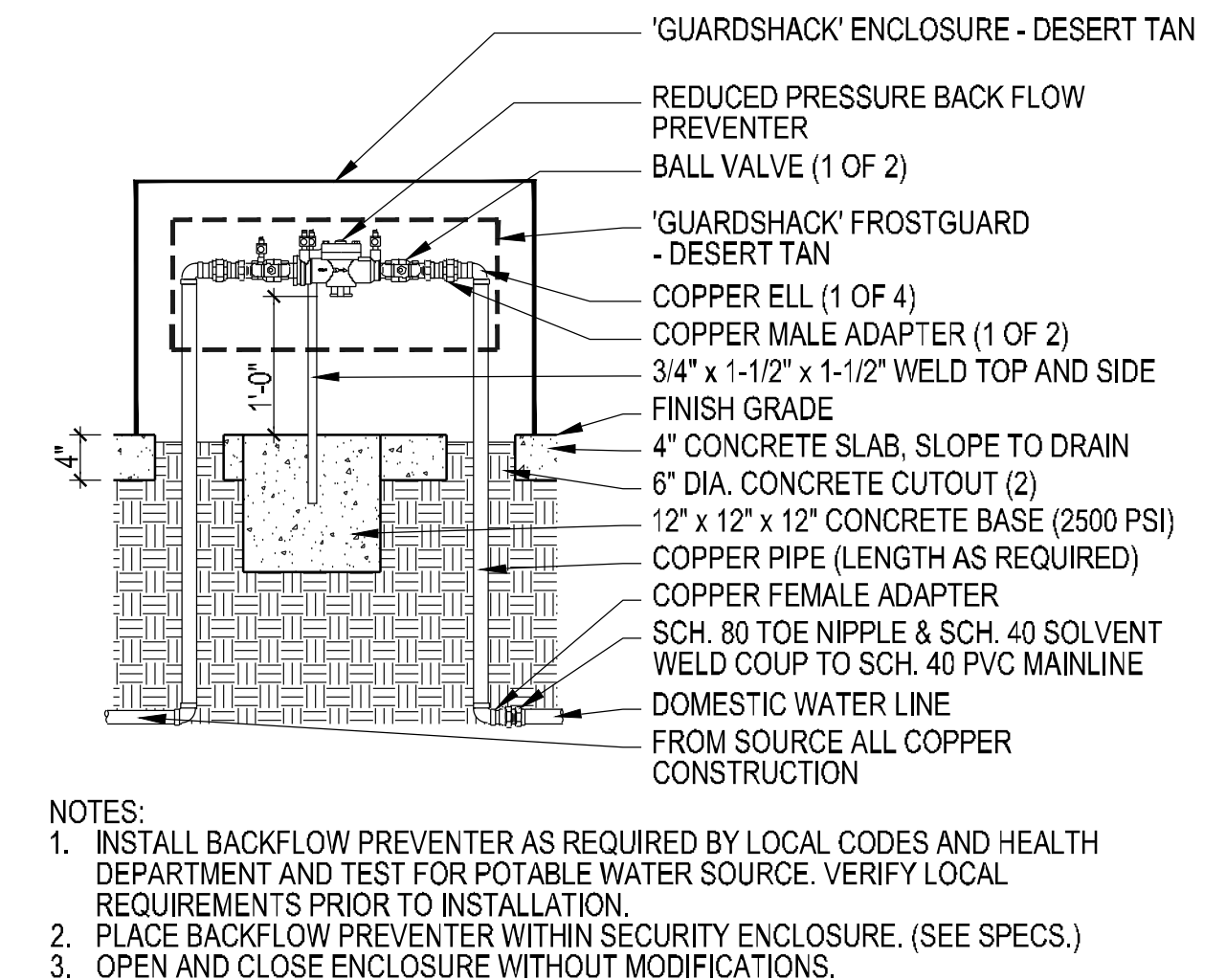
**SITE DEVELOPMENT PLAN for  
THE MARIST COLLEGE  
landscape details**





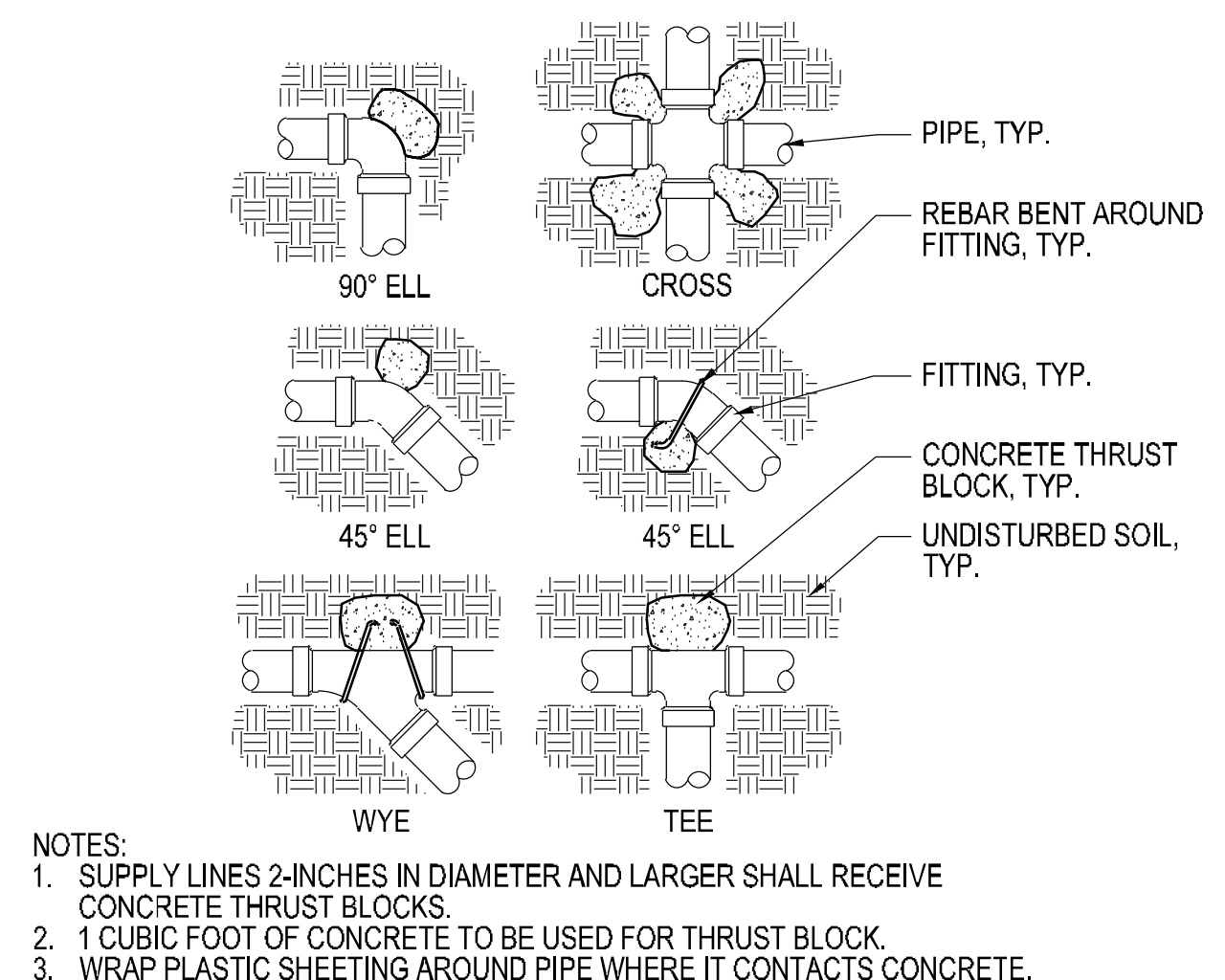
NOTES:  
1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

1 WALL MOUNTED CONTROLLER NTS



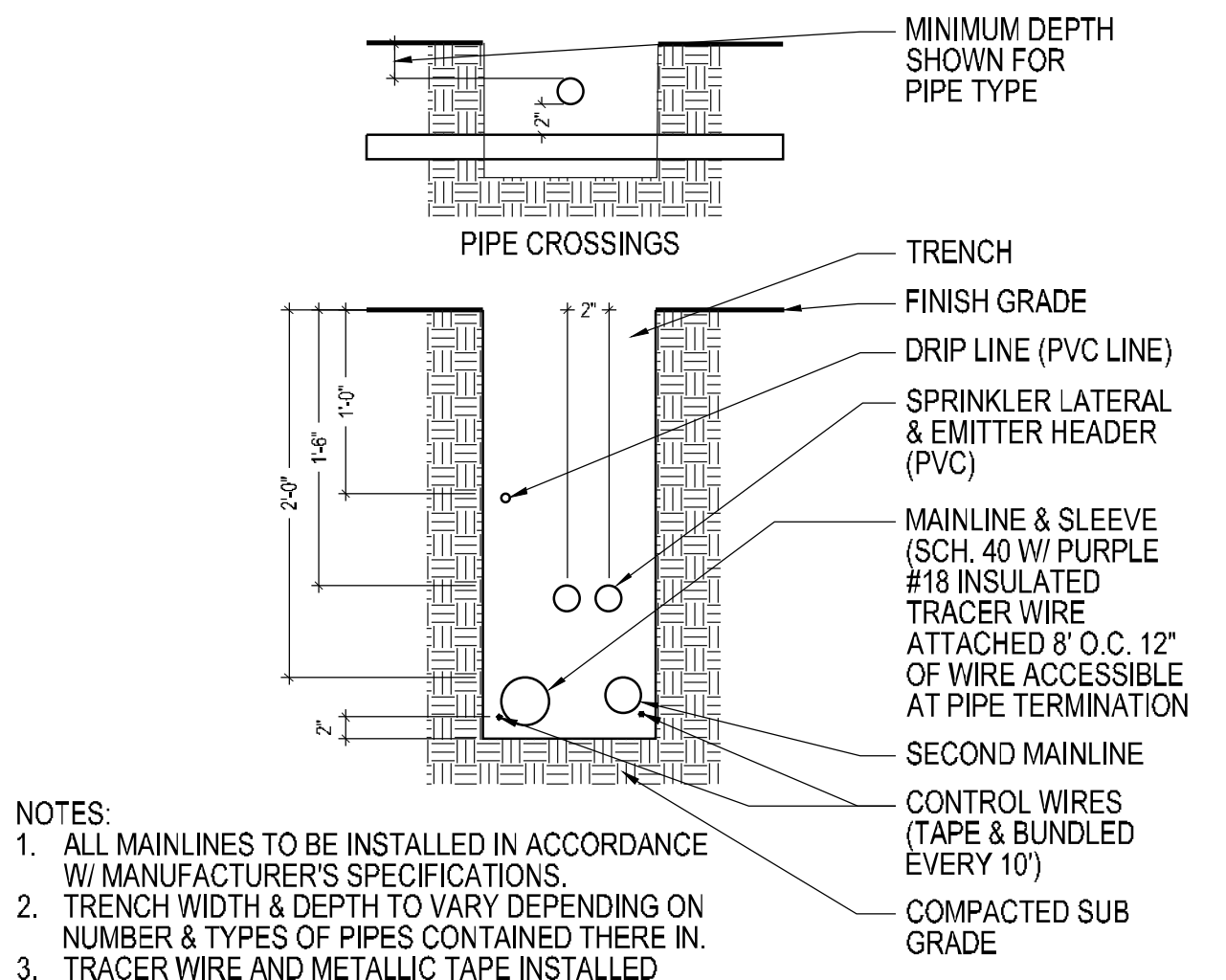
NOTES:  
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT AND TEST FOR POTABLE WATER SOURCE. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.  
2. PLACE BACKFLOW PREVENTER WITHIN SECURITY ENCLOSURE. (SEE SPECS.)  
3. OPEN AND CLOSE ENCLOSURE WITHOUT MODIFICATIONS.

2 REDUCED PRESSURE BACKFLOW PREVENTER NTS



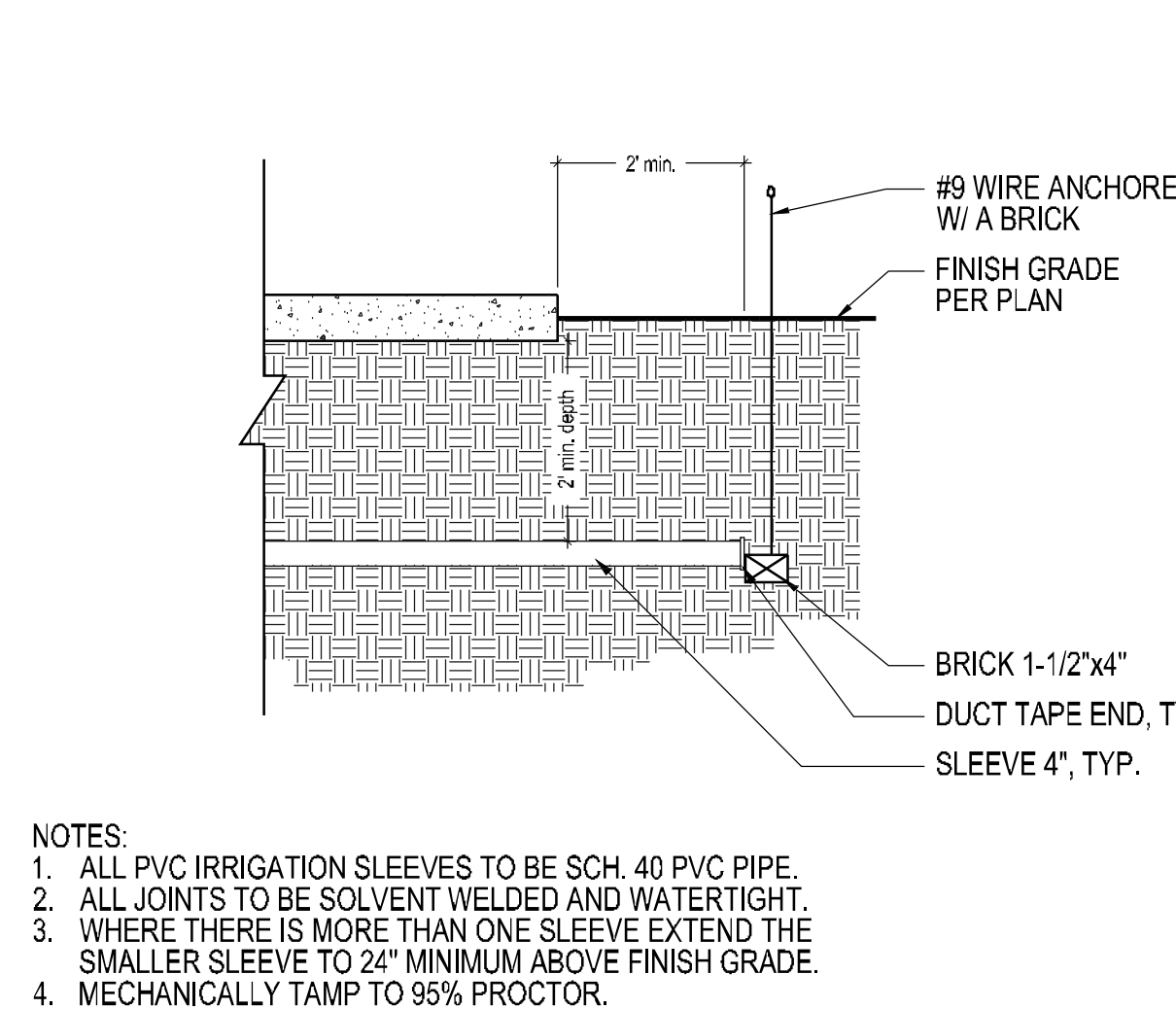
NOTES:  
1. SUPPLY LINES 2-INCHES IN DIAMETER AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.  
2. 1 CUBIC FOOT OF CONCRETE TO BE USED FOR THRUST BLOCK.  
3. WRAP PLASTIC SHEETING AROUND PIPE WHERE IT CONTACTS CONCRETE.

3 MAIN LINE THRUST BLOCK NTS



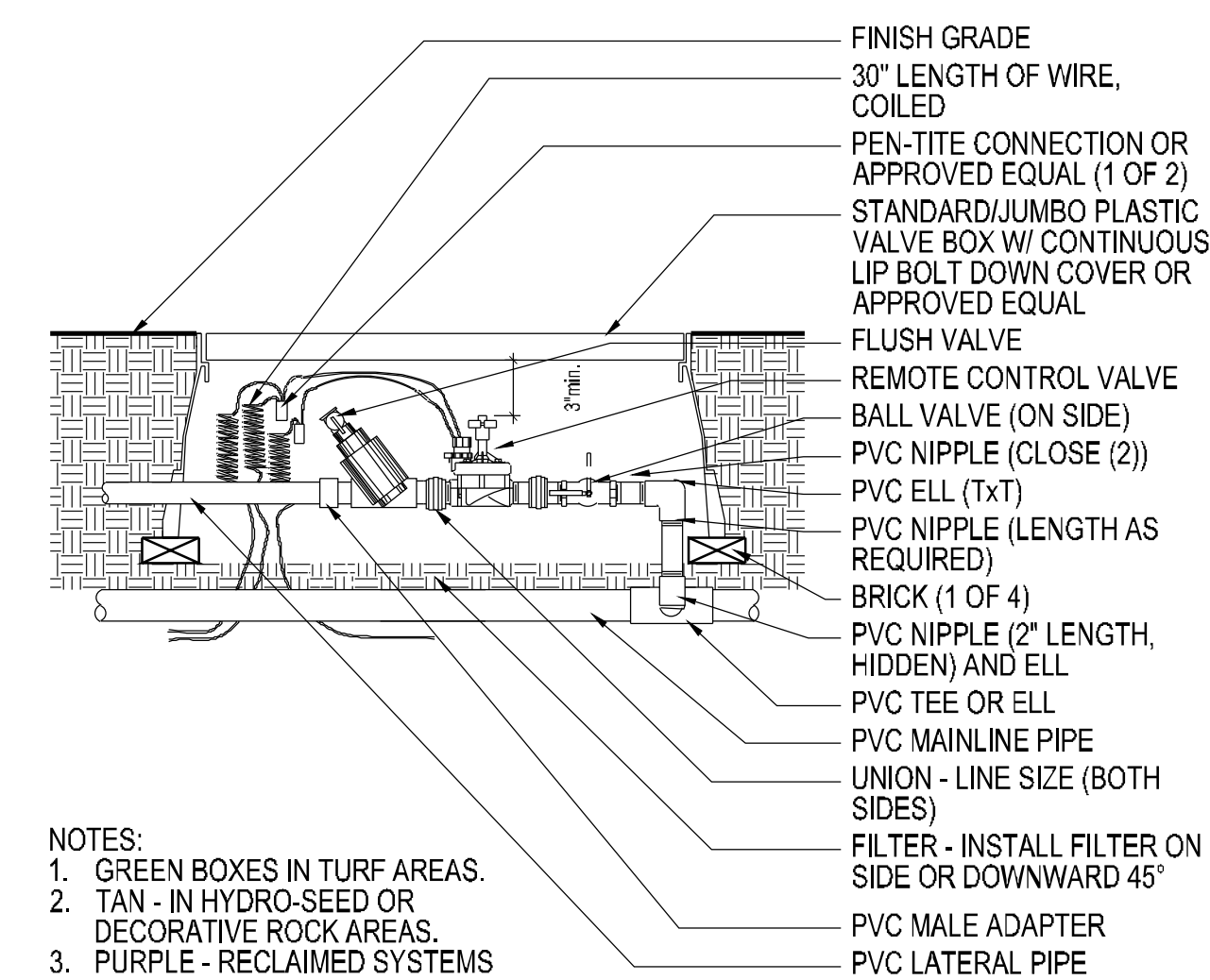
NOTES:  
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. TRENCH WIDTH & DEPTH TO VARY DEPENDING ON NUMBER & TYPES OF PIPES CONTAINED THERE IN.  
3. TRACER WIRE AND METALLIC TAPE INSTALLED WITH MAINLINES.

4 IRRIGATION TRENCHING NTS



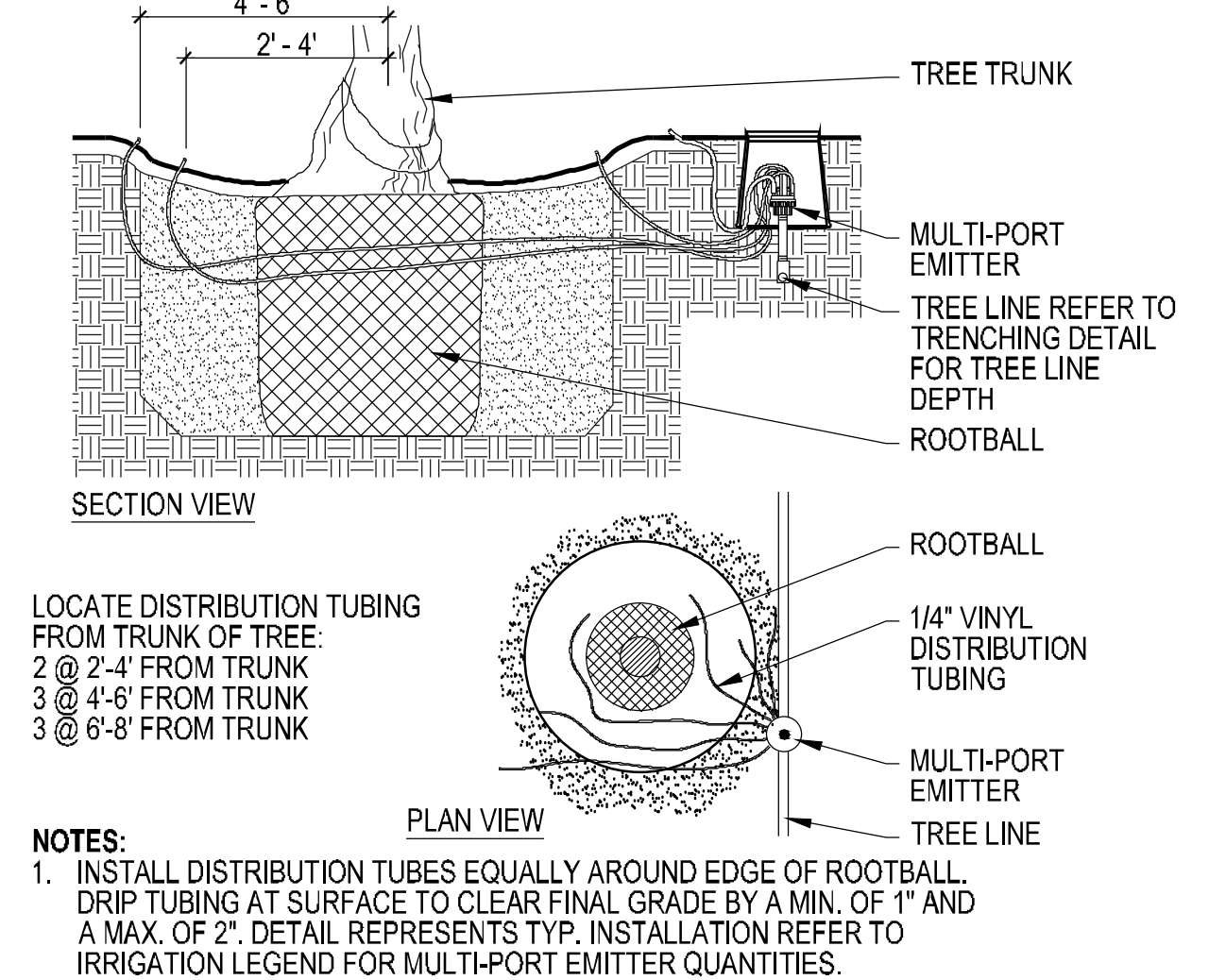
NOTES:  
1. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.  
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.  
3. WHERE THERE IS MORE THAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO 2" MINIMUM ABOVE FINISH GRADE.  
4. MECHANICALLY TAMP TO 95% PROCTOR.

5 SLEEVING NTS



NOTES:  
1. GREEN BOXES IN TURF AREAS.  
2. TAN - IN HYDRO-SEED OR DECORATIVE ROCK AREAS.  
3. PURPLE - RECLAIMED SYSTEMS

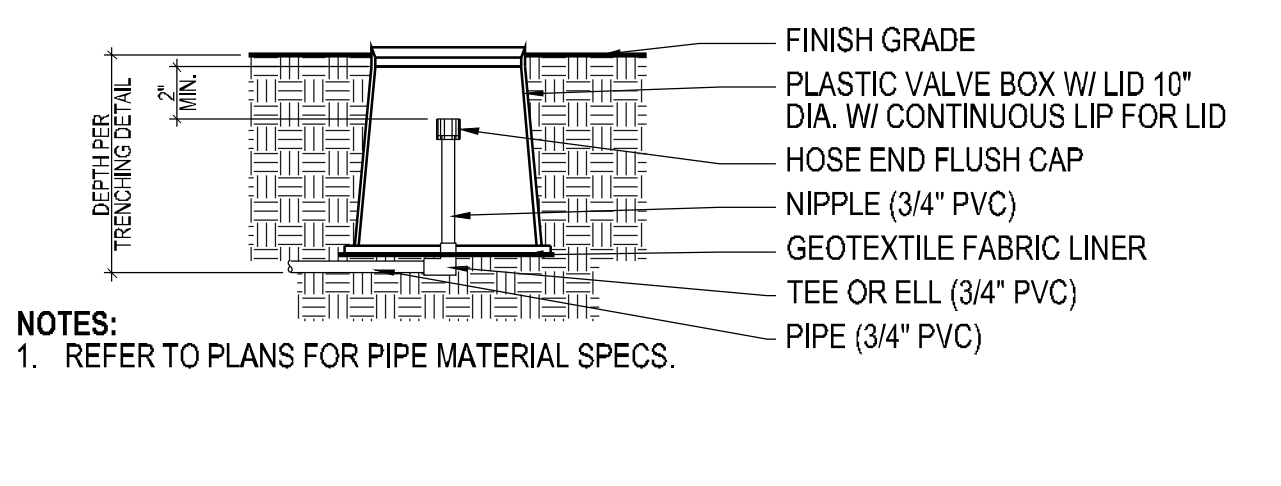
6 REMOTE CONTROL VALVE - DRIP/BUBBLER NTS



LOCATE DISTRIBUTION TUBING FROM TRUNK OF TREE:  
2 @ 2'-4" FROM TRUNK  
3 @ 4'-6" FROM TRUNK  
3 @ 6'-8" FROM TRUNK

NOTES:  
1. INSTALL DISTRIBUTION TUBES EQUALLY AROUND EDGE OF ROOTBALL. DRIP TUBING AT SURFACE TO CLEAR FINAL GRADE BY A MIN. OF 1" AND A MAX. OF 2". DETAIL REPRESENTS TYP. INSTALLATION REFER TO IRRIGATION LEGEND FOR MULTI-PORT EMITTER QUANTITIES.

7 MULTI-PORT EMITTER DRIP TUBING @ TREE NTS



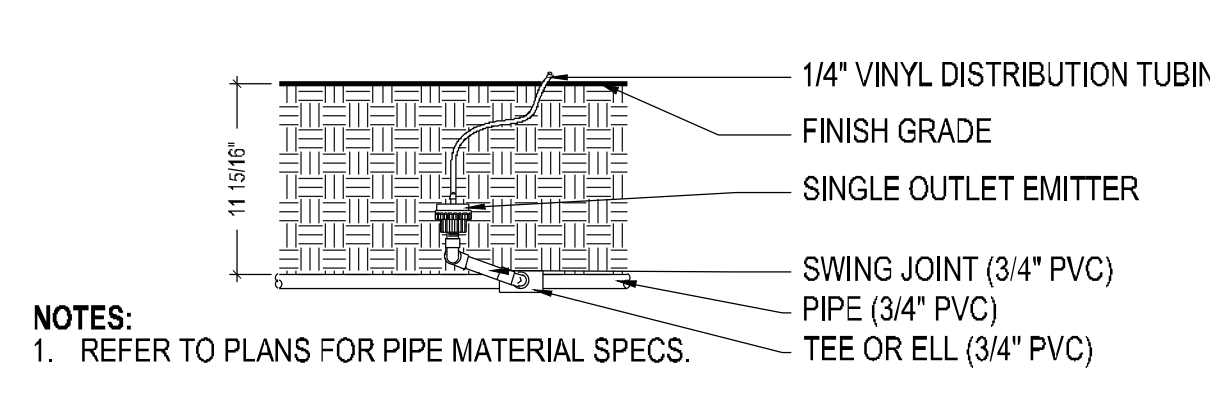
NOTES:  
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

8 HOSE END CAP NTS

PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

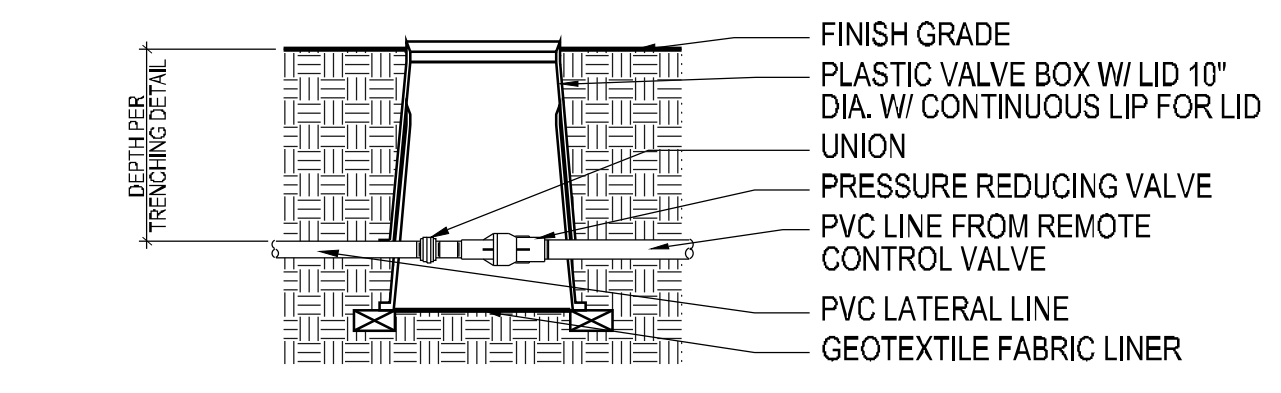
NOTES:  
1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC.  
2. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC.  
3. PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.  
4. MAIN LINE - SCH. 80 FITTINGS.  
5. LATERAL AND DRIP LINES SCH. 40 FITTINGS.  
6. PRESSURE TESTS, 4 HOURS:  
• MAIN LINE AT 150 PSI  
• LATERALS AND DRIP LINE AT 70 PSI

9 PIPE SIZING SCHEDULE NTS

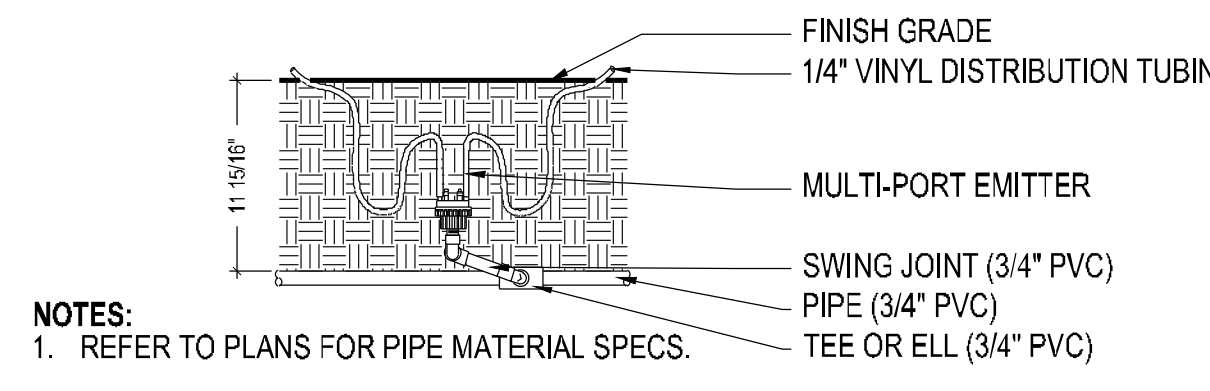


NOTES:  
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

10 SINGLE OUTLET EMITTER NTS



12 PRESSURE REDUCING VALVE NTS



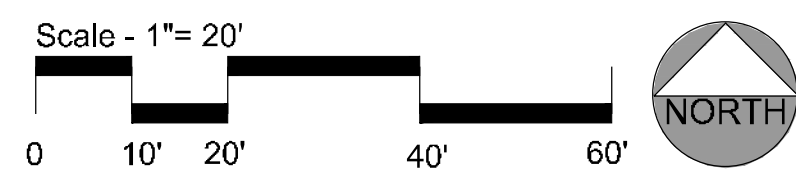
NOTES:  
1. REFER TO PLANS FOR PIPE MATERIAL SPECS.

11 MULTI-PORT EMITTER NTS



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**CITY OF TUCSON DEVELOPMENT PACKAGE PBSD APPROVAL**

Site/Dev Plan     SCZ  
 Tentative Plat     FRZ  
 Grading     HDZ  
 SWPPP     WASH  
 FUP     Other

DVPKG MGR \_\_\_\_\_ Date \_\_\_\_\_  
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				<b>SITE ADDRESS</b> 2102 NORTH COUNTRY CLUB ROAD SUITE #9 TUCSON, ARIZONA 85716 PH: 520.561.4983 E: jphunt@cyresscivil.com

CYPRESS PROJECT NO: 15.087-M

**CYPRESS CIVIL DEVELOPMENT**  
strength + sustainability

REGISTERED LANDSCAPE ARCHITECT  
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**SITE DEVELOPMENT PLAN for THE MARIST COLLEGE irrigation details**



**PRE-APPLICATION INFORMATION**

**Zoning Administration Process Overview:** A project may be subject to various reviews and criteria depending on the scope of work and the Unified Development Code (UDC). Please note that your projects may not be subject to review by all review authorities used in the table below. The Zoning Administration processes at Planning and Development Services Department (PDSD) include:

Review Process	Review Authorities	PDSD Planning Contact
<b>Design Development Option (DDO)</b> [UDC Section 3.11.1]	Design Review Board (DRB)	Michael Taku – (520) 837-4963 Russlyn Wells – (520) 837-4948
<b>Flexible Lot Development (FLD)</b> [UDC Section 8.7.3]	Design Professional	Frank Dillon – (520) 837-6957
<b>Historic Preservation Zone (HPZ)</b> [UDC Section 5.8]	1. Neighborhood Historic Advisory Board 2. Tucson-Pima County Historical Commission (T-PCHC) Plans Review Subcommittee (PRS)	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
<b>Infill Incentive District (IID)</b> [UDC Section 5.12]	1. Neighborhood Liaison 2. Design Professional 3. T-PCHC PRS 4. Design Review Committee (IID-DRC)	Frank Dillon – (520) 837-6957 Carolyn Laurie – (520) 837-4953
<b>Individual Parking Plan (IPP)</b> [UDC Section 7.4.5.A]		Mark Castro – (520) 837-4979
<b>Main Gate District (MGD) Design</b> [MGD Policy]	1. Neighborhood Historic Advisory Board 2. T-PCHC PRS 3. Main Gate District Design Review Committee (MGD-DRC)	Frank Dillon – (520) 837-6957 Jim Mazzocco – (520) 837-6964
<b>Neighborhood Preservation Zone (NPZ)</b> [UDC Section 5.10]	Design Professional	Michael Taku – (520) 837-4963 Frank Dillon – (520) 837-6957
<b>Rio Nuevo Area (RNA) (formerly RND)</b> [UDC Section 5.12.7]	1. T-PCHC PRS 2. Design Review Board (DRB)	Frank Dillon – (520) 837-6957 Michael Taku – (520) 837-4963
<b>Variations</b> [UDC Section 3.10.3]	Design Review Board (DRB) Board of Adjustment (B/A)	Mark Castro – (520) 837-4979 Russlyn Wells – (520) 837-4948

**UDC Compliance Review:** All projects must **FIRST** be submitted for compliance review at the PDSD 1<sup>st</sup> floor, 201 North Stone Avenue, (520) 791-5550. The UDC compliance comments for the project are generated by PDSD staff after completing their review of the detailed development package submitted for the project to ensure that all needed modifications are identified.

**Pre-Application Meeting:** Once you have completed the following Application Form (Page 2) and obtained the Submittal Requirements (Page 3). Applications for pre-submittal conferences must include a completed application form submitted by 4:30 PM, seven (7) working days prior to the requested conference date with the \$100 fee, payable to *The City of Tucson*. Staff will fill out the Case Information (Page 4) and advise applicants on any additional UDC requirements to complete the application package to initiate the review process.



### APPLICATION

Case Number \_\_\_\_\_

Date Accepted: \_\_\_\_\_

#### **PROPERTY LOCATION INFORMATION**

Property Development (Project) Name (IF APPLICABLE): Marist College

Property Address: 64 West Ochoa Street

Applicable Area/Neighborhood/Overlay: Downtown Core Subdistrict

Zoning: C-3

Legal Description: Tucson Nwly Ptn Lot 1 Blk 224

Pima County Tax Parcel Number/s: 117-13-157A

Site and Building Area (sq ft): 3,600 sf

#### **APPLICANT INFORMATION** (The person processing the application and designated to receive notices):

APPLICANT NAME: Matt Stuart

ADDRESS: 2102 North Country Club Road # 9 Tucson, Arizona 85716

PHONE: ( 520 ) 561-4983 FAX: ( 520 ) 798-3341

EMAIL: mstuart@cypresscivil.com

PROPERTY OWNER NAME (If ownership in escrow, please note): Saint Augustine Cathedral Roman Catholic Parish Tucson

PHONE: ( 520 ) 623-6351 FAX: ( ) \_\_\_\_\_

PROJECT TYPE (check all that apply):  
 New building on vacant land  
 New addition to existing building  
 Change of use to existing building  
 New building on developed land  
 Other

Related Permitted Activity Number(s): DP15-0198

DESCRIPTION OF USE: Multi-family residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

*Matt Stuart*  
SIGNATURE OF OWNER/APPLICANT

11/24/2015  
Date



## SUBMITTAL REQUIREMENTS

**PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:**

✓	1. <b>Application</b> form (signed by the Property Owner or Authorized Agent – include letter of authorization).
✓	2. Written <b>summary</b> of neighborhood meeting with sign in sheet and agenda (if applicable).
✓	3. Project <b>statement</b> outlining scope of work.
✗	4. UDC compliance review <b>comments</b> (obtained at the 1 <sup>st</sup> floor). <b>In Review</b>
✓	5. Pima county assessor's record parcel <b>detail</b> and record map.
✓	6. Color aerial <b>photograph</b> of subject property (if applicable).
✓	7. Color, labeled <b>photographs</b> of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
✓	8. Color <b>photographs</b> of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
✓	9. Site <b>Plan</b> (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
✓	10. <b>Elevations</b> (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
✓	11. <b>Samples</b> , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
✓	12. <b>PDF</b> of all above listed items (number of hard copies may be required).
✓	13. Applicable <b>fees</b> (payable to City of Tucson).
✓	14. (Other) Draft Ground Lease Agreement

\*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

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*For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.*

*By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.*



**CASE INFORMATION**

*(To be completed by PDS staff at pre-application meeting)*

**CASE INFORMATION**

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Case Number (E.g. HPZ-14-11, IID-15-01): \_\_\_\_\_

Related Permitted Activity Number(s): \_\_\_\_\_

Review Process (E.g. HPZ, DDO, IID – Major/Minor): \_\_\_\_\_

Applicable Fees: \_\_\_\_\_

Pre-Application Accepted by: \_\_\_\_\_

Date

Pre-Application Meeting scheduled for: \_\_\_\_\_

Date

Additional Notes: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Next Steps (E.g neighborhood meeting, recommendation from T-PCHC PRS, Design Professional, etc.): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_





## The Marist on Cathedral Square – IID 15.10 & 15.11

### Neighborhood Meeting Notes

November 16<sup>th</sup>, 2015

#### Foundation for Senior Living Attendees:

Steve Hastings, Chief of Real Estate Services  
Chris Fournillier, Community Development Solutions LLC

#### Poster Frost Mirto Attendees:

Corky Poster, Architect/Planner/Principal  
Jon Mirto, Architect/Principal

#### Cypress Civil Development Attendees:

Matt Stuart, Project Manager

**Start Time: 5:08 p.m.**

**Finish Time: 6:21 p.m.**

#### 1) PowerPoint Slide 1

- a) Steve Hastings opened the meeting, introducing himself and Foundation for Senior Living (FSL).
- b) Mr. Hastings proceeded to provide some background on the services both offered and provided by FSL to the community. Specifically they cater to individuals 65 and older, and the concept of aging in place.
- c) Mr. Hastings introduced Corky Poster with Poster Frost Mirto.

#### 2) PowerPoint Slide 2

- a) Mr. Poster introduced himself and his firm to the audience, began to provide further background on the specifics of the project and the relationship between FSL as the developer and the Low Income Housing Tax Credit Application process.
- b) Mr. Poster mentioned that the approval process and subsequent planning phases would mean that ground breaking would not occur until the first quarter of 2017, at the earliest.

#### 3) PowerPoint Slide 3, 4, 5, 6, 7

- a) Mr. Poster then highlighted some of the other recent projects in and around Arizona that FSL has developed, noting that this is FSL's first venture into the Tucson Market and

their desire to not only make a good impression but to be great neighbors to the surrounding area.

- b) Mr. Poster highlighted the Highland Square project currently under development in Cottonwood, and recent community developments in Flagstaff and Yuma.
- c) Mr. Poster showed multiple images to convey the quality FSL will bring to the two development projects.

4) **PowerPoint Slide 8**

- a) Mr. Poster introduced the remaining members and individuals of the Development Team.

5) **PowerPoint Slide 9**

- a) Mr. Poster provided an overview of the PowerPoint Presentation and the flow of the neighborhood meeting(s), explaining that although these projects will be developed together, they are in fact two separate applications to the City of Tucson.
- b) Mr. Poster stated after the presentation the floor will be open for questions.

6) **PowerPoint Slide 10**

- a) A map overview of the sites was provided, showing the specific location in relation to streets and to the Historic Brown House and St. Augustine Cathedral.

7) **PowerPoint Slide 11**

- a) Goals specific to the proposed project were provided, outlining the inspiration and desired outcome that will influence the design. This included providing affordable senior living housing options within the Downtown Core; activating the southeast corner of Broadway & Church; and rehabilitating the Marist College building.
- b) Mr. Poster then introduced Matt Stuart with Cypress Civil Development to review the IID application process.

8) **PowerPoint Slide 12, 13**

- a) Mr. Stuart provided a project overview of each site and briefly explained some of the proposed changes/alterations that were being made and how it might look in a two dimensional context.

9) **PowerPoint Slide 14**

- a) Mr. Stuart provided an explanation of the optional overlay called the Infill Incentive District (IID), and the ownerships desire to “opt-in” and develop the two projects under the provisions outlined in the Infill Incentive District ordinance language.

10) **PowerPoint Slide 15**

- a) Mr. Stuart then outlined the allowable modifications a development may consider within the Downtown Core Subdistrict (DCS) of the IID.

11) **PowerPoint Slide 16**

- a) **Mr. Stuart introduced each of the allowable modifications being utilized by the Marist College rehabilitation project, and explained why:**
- b) **Major Streets & Routes** – To maintain the existing development footprint, relief from the setback requirement is required.
- c) **Street Perimeter yards** – To maintain the existing development footprint, relief from the setback requirement is required.

- d) **Bicycle and Vehicular Parking** – Under the DCS, zero parking requirements for multi-family housing projects are permitted. This project will be taking advantage of the Street Car ridership, and both pedestrians and bicyclists that frequent Broadway and Church on a daily basis. Matt also noted that ample bicycle parking will be provided in the form of racks and long term bicycle within each of the units. Additional vehicular parking is provided on-street as well as within the private La Placita Parking Garage across the street.
- e) **Off-Street Loading** – While not required for Multi-family, the site does offer on-street loading zones that can be utilized.
- f) **Landscaping & Screening** – Due to the existing development and the need to emphasize building accessibility, we are seeking relief from the screening standards. Also due to the historic nature of the site and the desire to highlight the structure from a street view, additional landscape screenings will only inhibit.
- g) **Shade** – This project is seeking specific relief from the 50% shade requirement for all pedestrian access areas. Due to the historic nature and adobe construction, there are concerns regarding plantings and irrigation in and around the wall and building itself. The concern is additional moisture being present in the ground on a regular basis could cause damage to the adobe material, setting back the efforts made through the rehabilitation.

#### 12) PowerPoint Slide 17

- a) Mr. Stuart introduced each of the allowable modifications being utilized by the Mid-rise project, and explained why:
- b) **Major Streets & Routes** – To maintain congruency with surrounding downtown development, and promote the desired streetscape, relief from the setback requirement is required.
- c) **Street Perimeter yards** – To maintain congruency with surrounding downtown development, and promote the desired streetscape, relief from the setback requirement is required.
- d) **Maximum Lot Coverage** – To maintain congruency with the building footprints representative of the downtown district, relief is sought.
- e) **Bicycle and Vehicular Parking** – Under the DCS, zero parking requirements for multi-family housing projects are permitted. This project will be taking advantage of the Street Car ridership, and both pedestrians and bicyclists that frequent Broadway and Church on a daily basis. Mr. Stuart also noted that ample bicycle parking will be provided in the form of racks and long term bicycle within each of the units. Additional vehicular parking is provided on-street as well as within the private La Placita Parking Garage across the street.
- f) **Off-Street Loading** – While not required for Multi-family, the site does offer an on-street loading zone along Broadway Boulevard that can be utilized for the development.
- g) **Landscaping & Screening** – To maintain congruency with the building footprints representative of the downtown district, relief is sought.

- h) **Solid Waste Collection** – Due to the nature of the sight and limited accessibility/maneuverability within the buildable footprint, an alternative solid waste collection system and agreement will need to be worked out with Environmental Services. This may include building management being responsible for locating the dumpsters from inside the building to the loading area for collection.
- i) **Open/Plaza Space** – To maintain congruency with the building footprints representative of the downtown district, relief is sought from the 5% of the gross floor area requirement. The site design goes to great lengths to create an active, permeable corner at Broadway & Church, and is adjacent (kitty corner) to Veinte de Agosto Park, which grants residences access to a large open space area within a very short walking distance.

**13) PowerPoint Slide 18**

- a) Matt discussed the IID process and how it works and explained who is involved and their role in the process:
- b) **Pre-Application Conference** – Includes City staff
- c) **Hosting of a Neighborhood Meeting** – Neighborhood meeting is held with residents and owners within a 300 foot notification radius and Neighborhood Associations within 1 mile of the project site.
- d) **Summarization of the Neighborhood Meeting** – A summary of the neighborhood meeting will be provided as part of the submittal process.
- e) **Submittal of a Design Package** – Presented to City staff
- f) **Tucson/Pima County Historical Commission** – Review and Recommendation
- g) **Meet & Review Design Package** – with Design Professional
- h) **Design Review Committee** – Review & Recommendation
- i) **Planning & Development Services Director** – Reviews findings and issues a decision

**14) PowerPoint Slide 19**

- a) Mr. Stuart then introduced Jon Mirto of Poster Frost Mirto to review the site renderings of the proposed developments.
- b) Mr. Mirto provided a brief overview of the site context with the surrounding area.

**15) PowerPoint Slide 20 - 26**

- a) Mr. Mirto began displaying site specific renderings of the Mid-rise building to demonstrate its context with the site and the surrounding area/buildings – particularly the Historic Brown House.
- b) Mr. Mirto highlighted each side of the building and spoke to the desired design and its relationship to the area.

**16) PowerPoint Slide 27- 30**

- a) Mr. Mirto introduced some of the desirable material and finishes that the building is expected to contain – Stucco finish, metal paneling, tube steel deck awnings, and board formed concrete with ground face CMU.

**17) PowerPoint Slide 31**

- a) Mr. Mirto displayed a Birdseye view, looking from the northwest, of the rendered building, providing context to the relationship of the proposed building and its height relative to the surrounding area.

**18) PowerPoint Slide 32**

- a) Mr. Mirto displayed a Birdseye view, looking from the northwest, of the rendered building and a representation of the recently approved 1 West Broadway project to the east to provide context to the relationship of the proposed building in relation to other new projects.

**19) PowerPoint Slide 33**

- a) Mr. Mirto introduced the Marist College building and presented a historic photo of how the building looked prior to its vacancy and subsequent deterioration. Mr. Mirto explained the goal is to restore the structure per the Department of Interior standards, while providing necessary accessibility for its residents.

**20) PowerPoint Slide 34-36**

- a) Mr. Mirto displayed the general site and floor plans for the building and the addition of an external stair case and elevator to provide accessibility to each of the 3 floors.

**21) PowerPoint Slide 37-38**

- a) Mr. Mirto provided renderings of the Marist College and explained the explained the desire to open up the north entry and wall to provide a more welcoming and inviting entry point to the development.
- b) The renderings also highlighted the relationship between the Historic structure and what will be the newly constructed stair case and elevator.

**22) PowerPoint Slide 39**

- a) Mr. Mirto introduced some of the design techniques and materials that will be sought for the elevator and staircase. They would utilize a painted steel frame with a translucent wall system.

**23) PowerPoint Slide 40**

- a) Mr. Mirto then thanked the audience for their patience and opened the floor to any questions or comments they may have:
  1. **Comment** – Mr. Hastings mentioned the desire of FSL to be good neighbors and their excitement to be involved in this project, especially the restoration of Marist College. Mr. Hastings also noted that the project will serve households with incomes at 40, 50, and 60% of the area median income (adjusted for household size).
  2. **Question** – What is the proposed use? What type of housing option will be offered?
    - a. **Response** – It will be age restricted and be independent living. The idea is for individuals to age in place. There will ambulatory design and care available for every unit, but this will not be assisted living.
  3. **Question** – Have you met with SHPO regarding the Marist, and are they ok with the increased stairway opening along the north?
    - a. **Response** – Yes, we had an informal meeting with SHPO representatives about 3 weeks back to discuss the wall and the Marist College building. And yes, they

have stated that the proposed alterations along the north will not cause the property to be delisted.

4. **Comment** – I like the increased opening along the north, it really provides a more grand entry to the site and building.
5. **Question** – You mentioned that you will be rehabilitating to Department of Interior and State standards, will the interior be rehabilitated as well?
  - a. **Response** – The interior will be given an update to meet today’s standards. The floor plan has been design designed the bearing walls. But, we will more than likely need to construct an exoskeleton of sort around those walls and beams in order to provide each floor with adequate support and strength.
6. **Question** – Will you be keeping the lower level windows? The stained glass is a very nice feature.
  - a. **Response** – Yes, we plan on keeping the lower level windows.
7. **Question** – How are you mitigating the impacts on the neighboring historic Brown House? Will the building be setback to ensure maintenance access is adequate?
  - a. **Response** – Yes, we have taken into consideration the negotiation the developer of the 1 West Broadway project and have provided at a minimum at least a 4 foot separation from the Brown House.
8. **Question** – Are there any measures being taken to prevent the vibration and foundation of the new building from damaging the Brown House?
  - a. **Response** – At this time the structural components of the project are still in their preliminary stages, but since the project places the parking at the ground level, below grade ground disturbance is limited. As the project moves forward, and funding is secured, consideration will be paid to the structural components and its potential impacts.
9. **Question** – There is some nice tile work along the north side of the Diocese office building; is that going to be preserved? I think it will be nice to incorporate into the new project.
  - a. **Response** – We will take that into consideration, but at this point it has not been discussed.
10. **Question** – You mentioned the shade reduction request, why are you unable to plant more vegetation in the areas around the Marist College?
  - a. **Response** – There have been some concerns regarding sub surface plantings and the associated irrigation systems they will require, and the moisture component adversely affecting the adobe walls. We are still working to find a solution to meet the shade requirement. The other component is the visual impact of the building from the street, and we would not want to take some of that away, especially since it will be restored.
11. **Question** – You mentioned the open/plaza space requirement. Are you allowed to consider the improvements made within the Right-of-way toward that amount?
  - a. **Response** –Per our calculations tonight, we are not counting that area. We are showing improvements being made to meet the Interim Streetscape Standards

Policy but we will be working with City Staff to determine what extent we may count some of those improvements toward the calculation. Because of the immediate proximity to Viente de Agosto park, we don't feel this request will negatively impact the residents of the development or the general public.

12. **Question** – You mentioned there will be 75 units in the mid-rise building, but only 29 spaces. Where do you plan on rest of the people parking?
  - a. Response –FSL has done quite a bit of research and have actually found only about a third of their residents actually require a space to park a vehicle. This is also a downtown area, so the idea is there are plenty of alternative transportation offerings that can provide options to residents. It is on the Streetcar line, bus line, and is convenient for cycling and walking. Downtown projects are now moving toward the separation of living and parking. Meaning parking is an extra option from living space rent. This project also is in close proximity to the private La Placita Garage, which offers another private venue for future residents if parking is desired.
13. **Question** – Are you planning on applying for Federal Historic Grant funding?
  - a. Response – Not at this time. Due to the timing of the submittals, we are not exploring any federal funding options.
14. **Question** – Is there any way to soften up the stairwell and elevator to blend in with the existing Marist architecture? The glass and steel are very contrasting, especially with the remaining structure and complex as it's back drop.
  - a. Response – The State Historic Preservation office will ask us to have any new structures to be modern, to highlight Historic structure through the contrast. It is difficult to match the historic style with new elements and designs. We made an effort to try and meet in the middle, but judging from the reaction, we will see if there are other options we can implement to soften that external structure. I will say, that the State Historic office will ask us to make it more modern when we meet with them again.
15. **Comment** – I think we are all in agreement that this is a great project, and a long time coming, the Marist is very special and it will be great to have it restored.
16. **Question** – What about the condition of the Marist? Are any measures being taken to ensure that it does not get any worse between now and when you are able to actually break ground?
  - a. Response – At this time the Diocese is still in control of the site, and will be until the funding is approved and the construction documents are completed – which could be 12-14 months out. It is our understanding that the Diocese will continue to provide maintenance as it has in the past, but there will be no further major maintenance projects performed on the site to our knowledge.
17. **Question** – What if you are unable to receive funding, will the project die and FSL will go away?
  - a. Response – No. First, we think we have a very good shot to meet much of the criteria, and believe we will score high because of the location of these projects.

We will be securing the Diocese office building and taking control in January of 2016, so if we are unable to secure the financing this year, we will try again the following year.

24) **Closing** – Mr. Poster, Mr. Mirto, and Mr. Stuart thanked everyone for coming, encouraged those to sign the sign-in sheet if they had not already done so, and closed the neighborhood meeting.





November 3, 2015

The City of Tucson  
Planning and Engineering Department  
201 North Stone Avenue  
Tucson, Arizona 85701

**RE: Marist College**

Dear City of Tucson:

This shall serve as an authorization letter that will allow Cypress Civil Development to act as an authorized agent and submit the Development Plan and Infill Incentive District documents for the above referenced project.

Please feel free to contact me should you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'J Barraclough', is written over a horizontal line.

John Barraclough  
Foundation for Senior Living  
602-285-1800, ext. 139  
jbarraclough@fsl.org