

18 w 18

18 & 28 west 18th street
tucson, arizona 85701

haru

CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

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**EQUILIBRIUM**
REAL ESTATE INVESTMENTS





1. along 7th avenue



2. along 18th street, the fence in front of the historic home will be removed to so the home can be seen from the street



3. looking east at the existing structures on 28 w 18th st



4. looking north at the quonset hut garage structure



5. the front porch of the historic home at 18 w 18th street



6. the back of 18 w 18th street



1. 459 s. convent ave.



2. 86 w. kennedy st.



3. 326 s. rubio ave.

the typical row houses of barrio viejo and santa rosa tend to push right to the sidewalk to define the urban edge of the neighborhood. the scale of the homes vary as well as the colors and materials, but the massing is typically a rectilinear form with little to no articulation of the planar facade.



4. 115 w. 20th st.



5. 911 s. meyer ave.



6. 315 w. 18th st.

even with a sloping or hip roof the primary form of the home that is perceived from the sidewalk is rectilinear.



7. 762 s. 9th ave.



8. 324 w. 17th st.



9. 600 s. 9th ave.

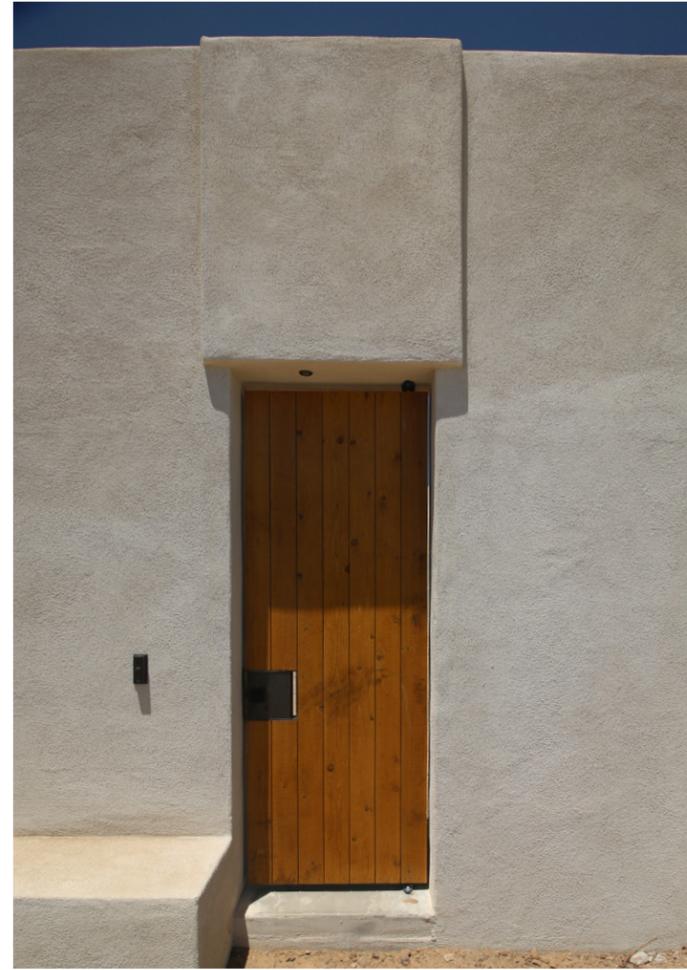
the white stucco walls become the best back drop to the color provided by the bright green jojoba, and flowering octotillo as well as the best canvas for the play of shadows that our desert sun paints as it passes through the palo verde branches.



10. 469 s. convent ave.



11. 424 w. 19th st.



12. 1016 s. russell ave.

sometimes the urban edge is held by a site wall that contains a semi-private courtyard beyond. the green tops of the mesquites spring out above the wall and we catch a glimpse of the life inside these courts through gates and protected windows in the site wall. there are moments when the wood gates offer no sight but only the sounds of whats happening on the other side, and rare moments when wall and gate are held down to reveal an inviting porch.



13. 350 s. convent ave.



14. 627 s. 9th ave.



15. 671 s. 9th ave.



16. 841 s. meyer ave.



17. 196 w. simpson st. st.



18. 413 s. convent ave.

traditionally the row houses of the barrio were built for working class families, and typically a masonry parapet cap was an expensive element that was not used. in building the wall without a cap the stucco wraps over the parapet and allows the wall to terminate as a simple line in the sky, and eliminates unnecessary decoration.



19. 1031 s. meyer ave.



20. 382 s.convent st.

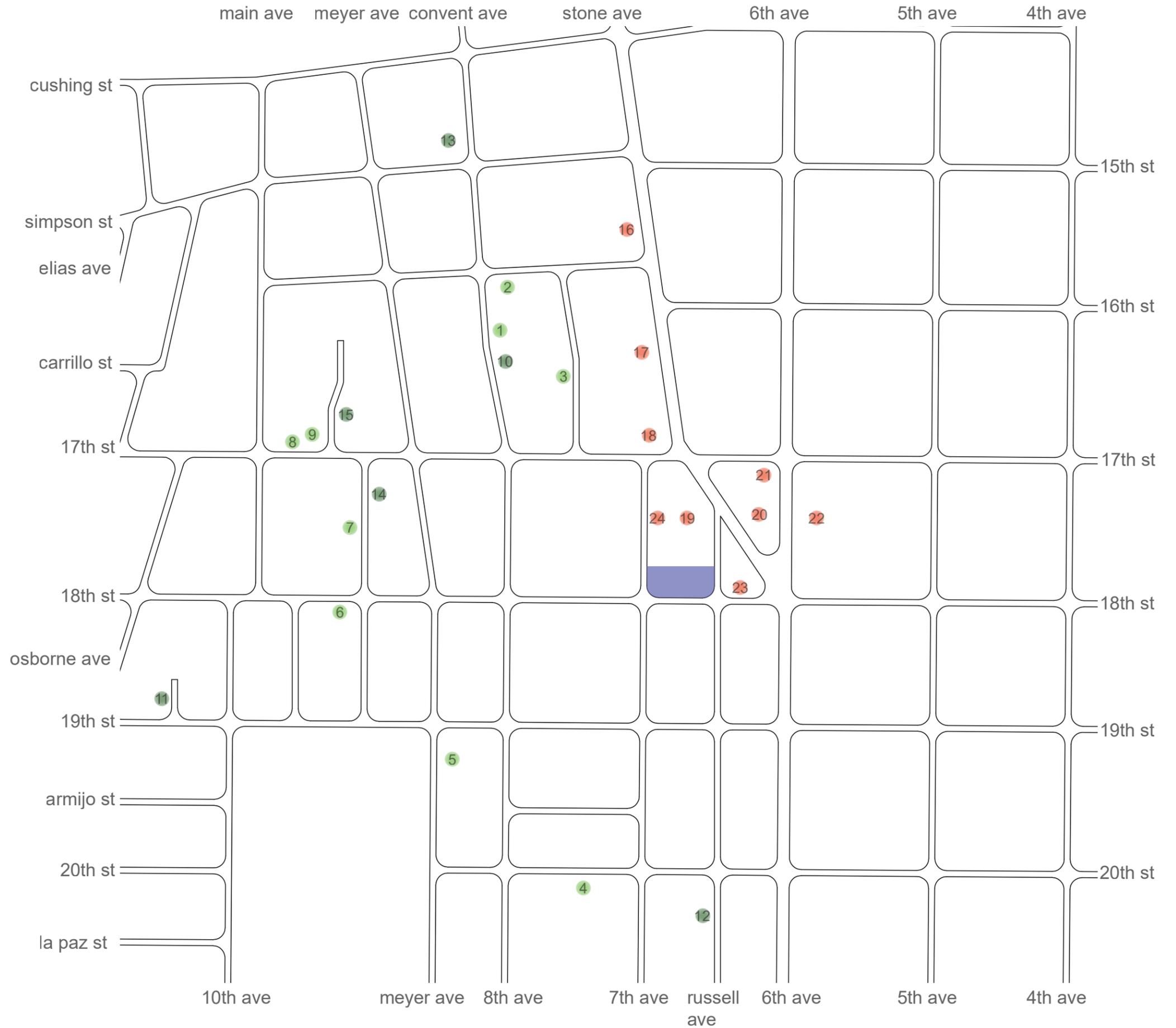


21. 573 s. 9th ave.

typically built from adobe the historic homes of the barrio have limited windows in the deep mass walls. again, because when originally built glass windows are expensive elements in a working class home, but also because placing several large openings in adobe is a costly and difficult thing to do structurally.

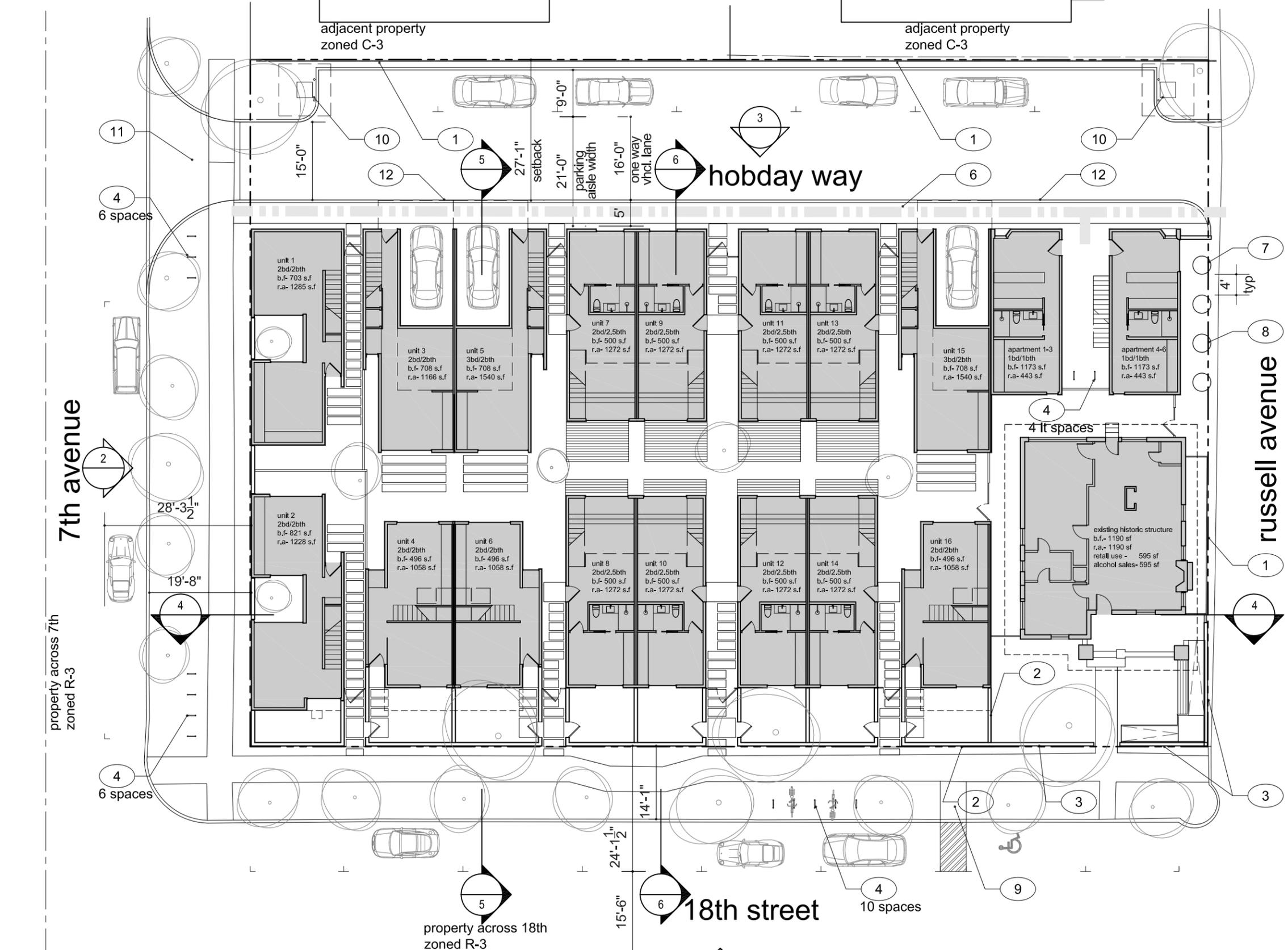
neighborhood map

this map locates each of the buildings from the photo examples earlier.



site plan





1 site plan
scale 1" = 20'-0"

general information

parcels: 117-07-206A & 117-07-207A
 existing zoning: C-3 (no change requested)
 site area: 25,704sf
 16 single family residences on individual lots
 one multi-family building with 6 studio apartments
 one retail/alcohol sales use in existing building

lot coverage:
 building foot print = 11,077sf
 vehicular use area = 5,335sf
 trash collection area = 175sf
 total site coverage = 16,587sf
 15,577 / 25,704 = 65%

per UDC 5.12.9.B allowable density may be increased (up to 90%)

parking load:
 motor vehicle and bicycle parking requirements will be per the proposed Individual Parking Plan not yet approved, but included in the appendix to this submittal.

waste stream calculation:
 TSM 8-01.8.0.A tbl 1 - Annual Waste Generated
 multi-family = 0.0057tons/sf
 food retail = 0.0057tons/sf
 small retail = 0.0013tons/sf
 residential heated area = 22,114sf x .0057 = 126tons/year
 food & alcohol service = 500sf x .0057 = 2.9tons/year
 small retail use = 930sf x .0013 = 1.2tons/year
 total waste per year = 130.1 tons

2.5 tons per week
 5000 lbs per week
 1668 gal per week

four 300gal APC will be provided. 2 for waste 2 for recycle
 collection will happen twice per week 4 x 300 x 2 = 2,400
 total waste capacity = 2,400 gal per week

access / parking aisle width:
 private street (hobday way), parking, sidewalk and curb design per the approved TSMR case number DS19-04, included in appendix to this submittal

general note

- concrete sidewalks in right of way are existing unless noted other wise. minimal repair to sidewalks will be performed as needed.
- landscape planting shown in right of way is new, and will be maintained by the HOA of the development.

keyed note

- 8' tall wood fence, see detail xx/xx
- 8' tall site wall
- 4' tall site wall
- bike racks
- concrete walk, see detail xx/xx
- pedestrian access route through site
- two 300 gal APC waste bins
- two 300 gal APC recycle bins
- 5' wide sidewalk from HC parking
- TEP transformer with 10'x10' easment
- curb cut at access aisle
- roll up curb between vehicular travel aisle and pedestrian sidewalk

city park
Jardin Cesar Chavez

adjacent property
zoned C-3

adjacent property
zoned C-3

material board



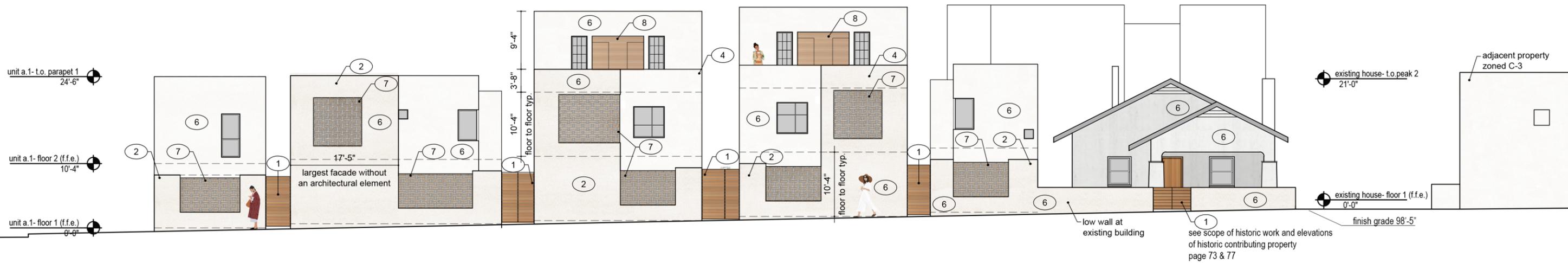
wood doors and gates



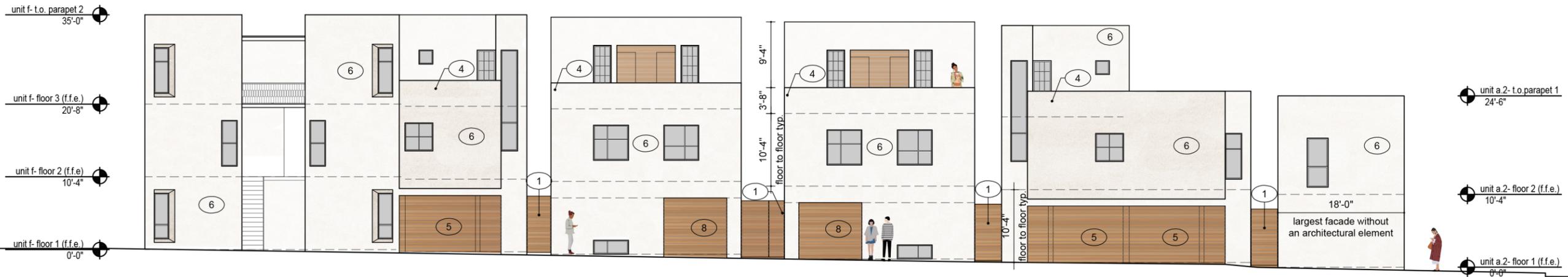
smooth light stucco



adobe screen walls



1 elevation along 18th street
scale 1/16" = 1'-0"



2 elevation along hobday way
scale 1/16" = 1'-0"

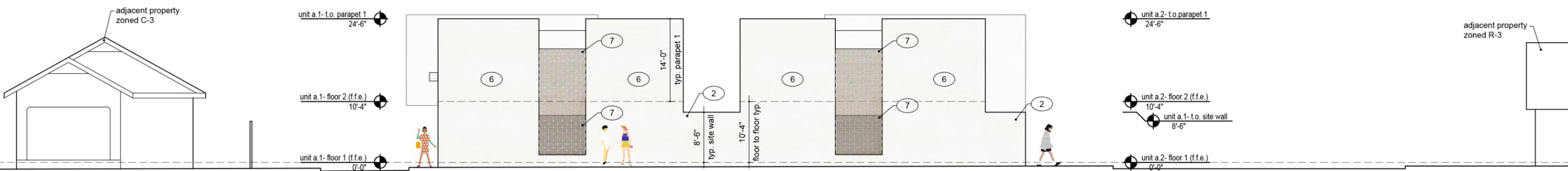
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- c. all elevations are measured from the adjacent grade

keyed note

XX

- 1. wood gate
- 2. site wall
- 3. low site wall
- 4. balcony for residents
- 5. carport garage door
- 6. smooth off-white stucco finish
- 7. light colored adobe block
- 8. wood clad



3 elevation along 7th avenue

scale 1/16" = 1'-0"

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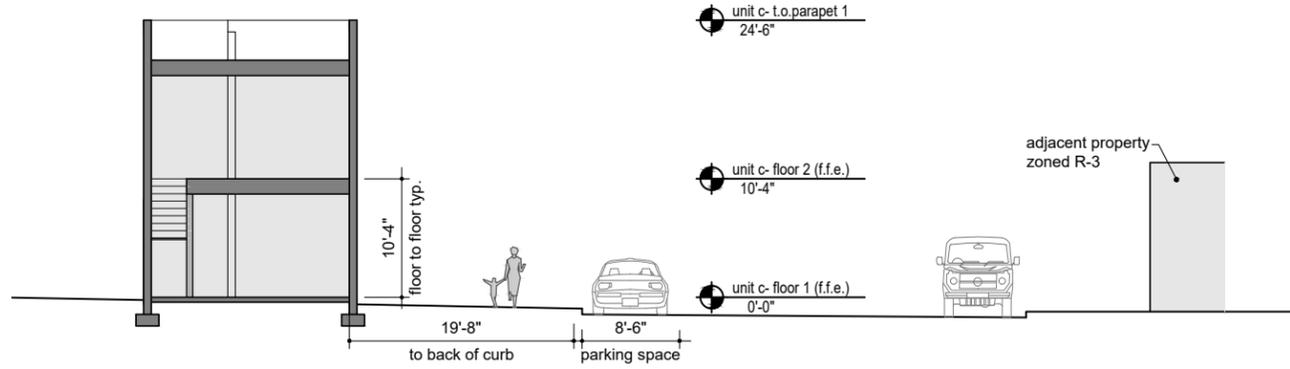
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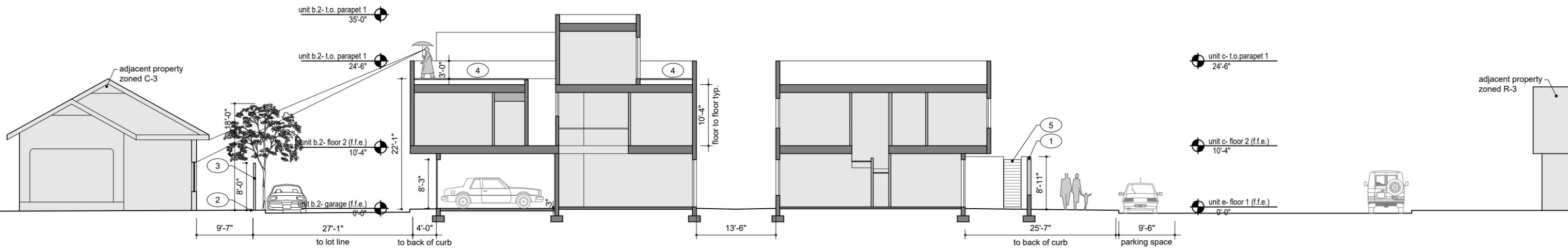
XX

- 1. site wall
- 2. lot line
- 3. wood fence
- 4. resident's balcony
- 5. wood gate



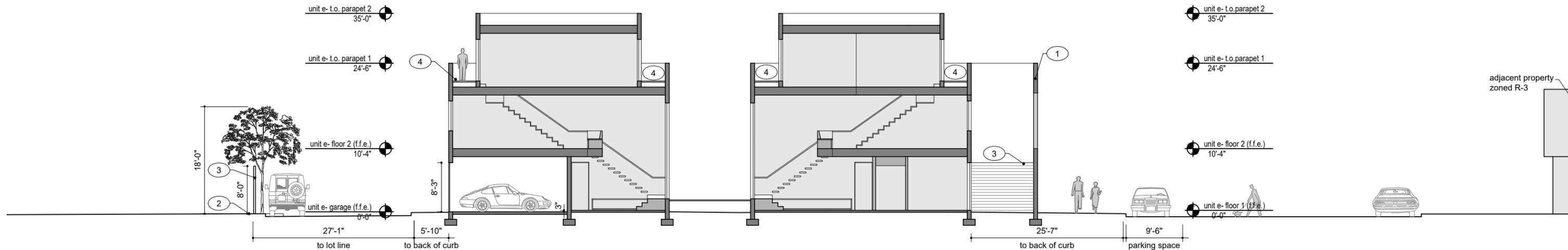
4 section

scale 1/16" = 1'-0"



5 section

scale 1/16" = 1'-0"



6 section

scale 1/16" = 1'-0"



18th street looking NE

the urban edge is defined by white stucco walls that are perforated by adobe screens allowing the pedestrian to catch a glimpse of the green courtyards beyond. trees peek over the top of the first story courtyard walls with the third story balconies set back away from the sidewalk and street. in keeping with inspiration from the original row house of the barrio the window counts and sizes are limited which also aids in the potential solar heat gain from the southern sun.



18th street looking NW

the street will be planted with native succulents and cactus, with the sidewalks shaded by ash trees.
the building masses step up and down along, and pull back from, the urban edge with a diversified
but restrained material palette reflective of the historic precedent in the barrio.



7th ave

western and southern facing fenestration is limited to prevent excessive solar heat gain, and a repetition in the massing of the building reflects the inspiration from the traditional row houses while also keeping the public facade from feeling like one very large blank wall.



looking east down lalo /hobday way

**18w18
scope of historic work**

Equilibrium understands that a new development in this area must preserve the historic character of the existing homes as well as find inspiration in the cultural significance of the community to inform the proposed design.

property overview

28 west 18th street was most recently an auto repair garage with a couple open air shade structures and a Quonset type garage/storage building. This property is zoned commercial (C-3), and none of the structures on this lot are historic or candidates for renovation.

18 west 18th street is a modest single story craftsman bungalow built in the '20's known as the Chambers House. It is a contributing property to the Barrio El Libre Expansion Historic Preservation District and as such the exterior will be rehabilitated and windows and doors repaired without affecting the historic character of the structure. The property is Zoned Commercial (C-3). The interior will be remodeled to allow for a retail/mercantile (with accessory alcohol sales) type use without adding square footage outside the existing footprint of the home. We want the space to still feel like a home, and the retail use that moves in will be something that is complimentary to the Five Points Market and fits the idea that this house on the corner can be like a living room to the residents of the new homes on the adjacent lot and to the current residents of Barrio Viejo and Santa Rosa and Armory Park.

proposed scope of work for historic structure

Equilibrium and the design team are proposing to rehabilitate the structure at 18 w18th street in accordance with the US Secretary of the Interior's Standards for Rehabilitation 36 CFR 67.

- The exterior footprint and enclosed space of the structural, as well as, the street and side property lines will not be altered so the height, setback, proportion, site utilization, building form and rhythm will not change. (UDC section 5.8.9.A, B, C, D, G, J, and K).
- The historic character and distinctive craftsmanship elements will be retained and preserved. Any deteriorated features like wood rafter ends, fascia, wood windows and trim will be repaired/patched properly and repainted. (UDC section 5.8.9.H and I).
- The stucco elements and raised or relief details will be preserved, the new finish texture will closely match the texture determined to be the traditional finish. Most likely a traditional hand troweled or sand floated finish, both of which are appropriate to the era and style of the home. (UDC section 5.8.9.F).
- The roof will be replaced throughout. The actual roofing material is not known yet as the budget and final user for the building will determine this decision, but a composite shingle roof or a standing seam metal roof in a grey or charcoal color is proposed. Per Eric Vondy, SHPO historic preservation planner, the roof material may be changed from the traditional wood shake and updated without effecting its contributing status. (UDC section 5.8.9.E).
- The stucco finish coat will be an integral color traditional lime/cement/sand stucco in a white or off-white color, with the door, window and roofing trim painted a dark grey, and all other architectural details painted a lighter grey color. In keeping with the craftsman style the front door will be a traditional wood plank door, stained and sealed. The yard enclosure along the front street (18th) entry will be a masonry wall with a matching stucco finish, 4' tall to allow pedestrians to see into the front yard and the onto the porch. This front site wall will also conceal a required accessible ramp which is tucked into the south east corner and accesses the porch on the east side as to not obscure the view of the front facade. The side yard enclosure along the alley (Russell) will be an 8' tall wood fence, stained and sealed similar to the front door. There will be no overhead utilities, the main service panels for the electric, telephone, and data will be at the north east corner of the structure with underground service from new distribution pedestals. (UDC section 5.8.9.L)
- As a final user for the structure has not been determined, and final design for the signage has not been decided upon yet. The Owner will require all future users to provide signage that meets the requirements of UDC section 5.8.9.M.



28 w 18th street

18 w 18th street

We envision this project becoming a vital part of the already vibrant community that Barrio Viejo and Barrio Santa Rosa have fostered, we are committed to rehabilitating this historic property in a responsible manner that also fits with the aesthetic context of the neighborhood and the new buildings proposed on the adjacent lots.

aerial showing contributing properties and HPZ



existing south elevation
18th street



existing north elevation

existing east elevation
russell avenue



existing west elevation



material board

the materials and colors of the historic building will compliment the palette of the new buildings while staying historically appropriate.



gray laminate architectural roof shingles

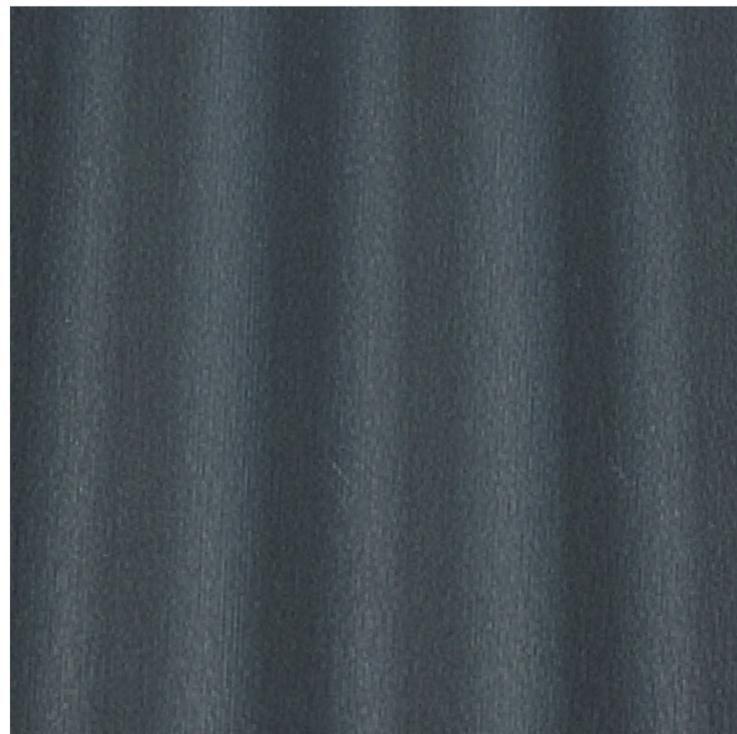


wood doors and gates

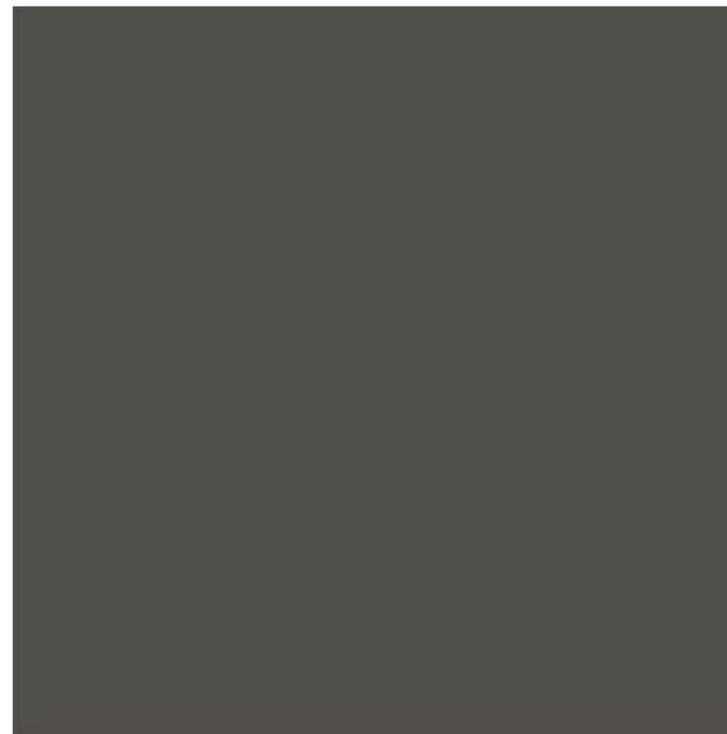


traditional hand troweled or floated sand finish stucco

black ore matte
7/8" corrugated steel
roof panels

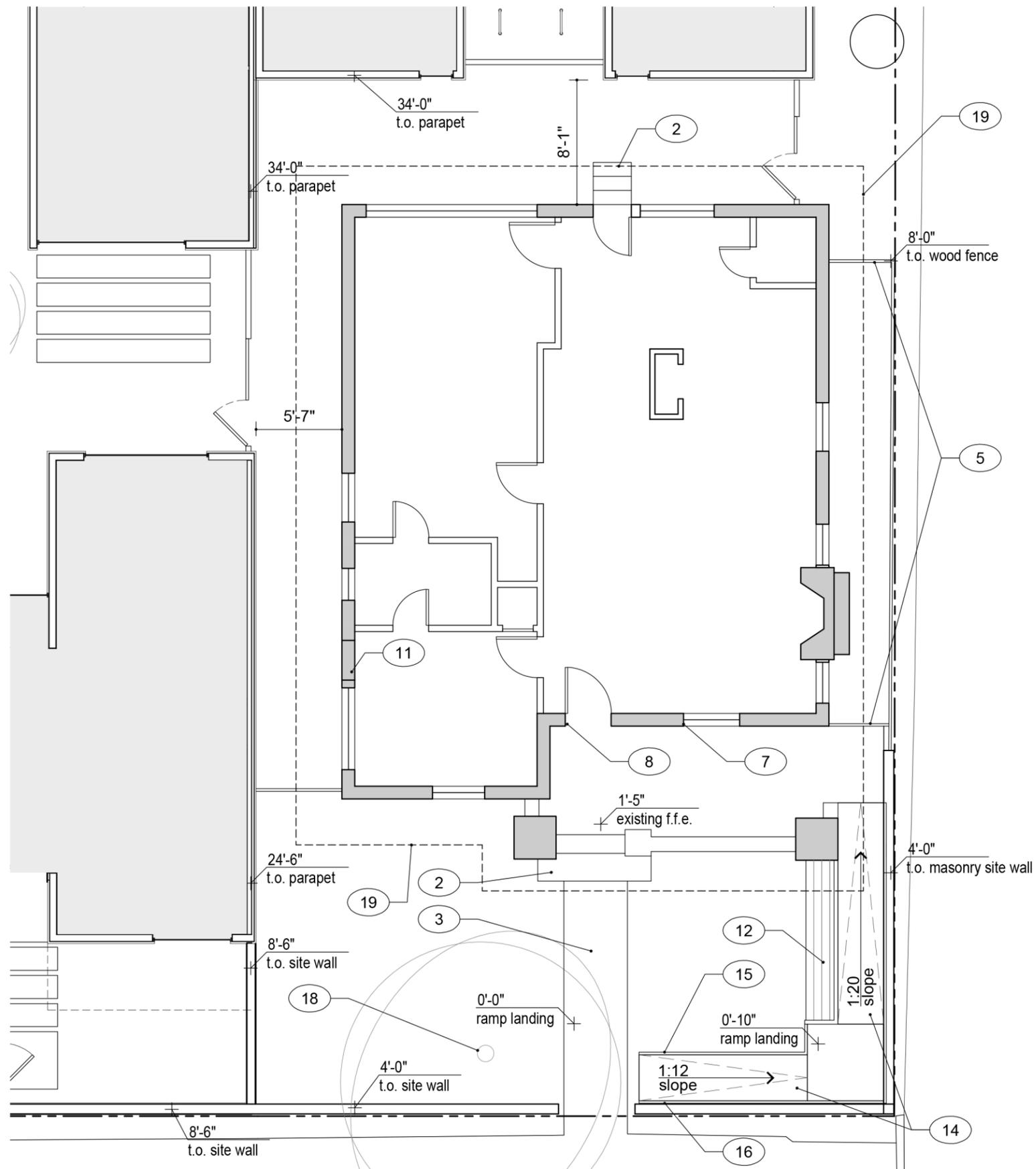


dark grey
dunn edwards 6371
window trim and rafters and fascia



grey
dunn edwards 6368
wood attic vent





1 site plan
 scale $\frac{1}{8}'' = 1'-0''$



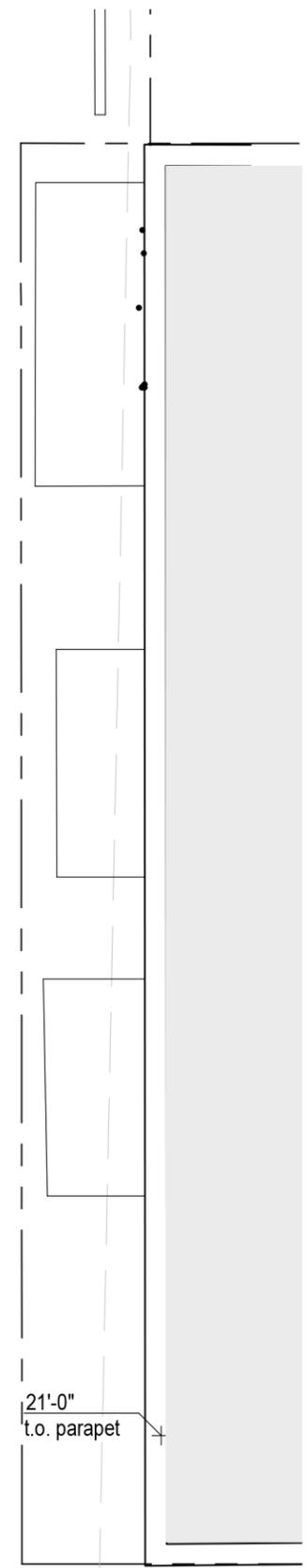
general note

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- Per Eric Vondy, SHPO historic preservation planner, the roof material may be changed without effecting its contributing status.
- all elevations are measured from the adjacent grade.

keyed note

XX

- existing building
- existing steps
- existing concrete walk way
- new grey shingle or metal roof
- wood fence, 8'-0"
- white stucco matching traditional historic finish
- existing window will be repaired in place. old glazing putty + glass removed. wood sash + frame repaired as needed. new sash cord provided to attach existing weights to existing sashes and new glass reinserted with new black glazing putty. frame + sash should be repaired with care to avoid painting glazing putty.
- front door frame will be repaired and a new craftsman style solid wood door with insert panel + glass tiles above the cross rail.
- wood fascia + rafter tail painted dark grey
- painted column cap, dark grey
- door opening not original. remove door and fill in opening with masonry and stucco to match
- wood bench along ramp
- wood attic vent painted grey
- concrete accessible ramp (hidden from street view by 4'-0" tall site wall)
- handrail, painted steel
- handrail, attached to site wall
- adobe screen wall
- new tree, see landscape drawings
- roof overhang above
- windows on north side of structure not original or historical. will replace existing windows with historically accurate wood windows as intended by the secretary of the interior's code 36CFR67
- low entry gate if needed



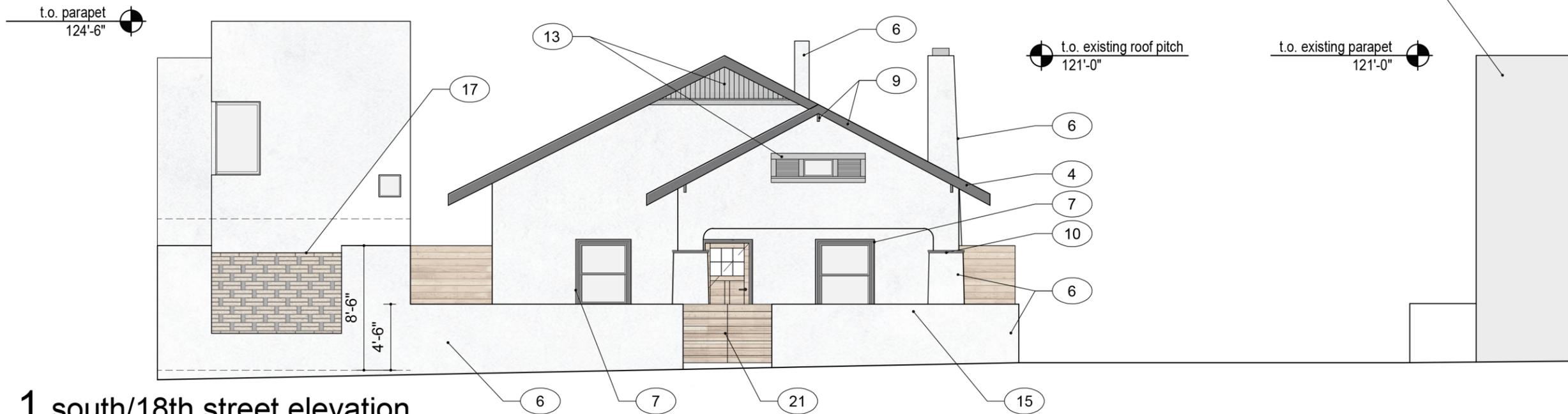
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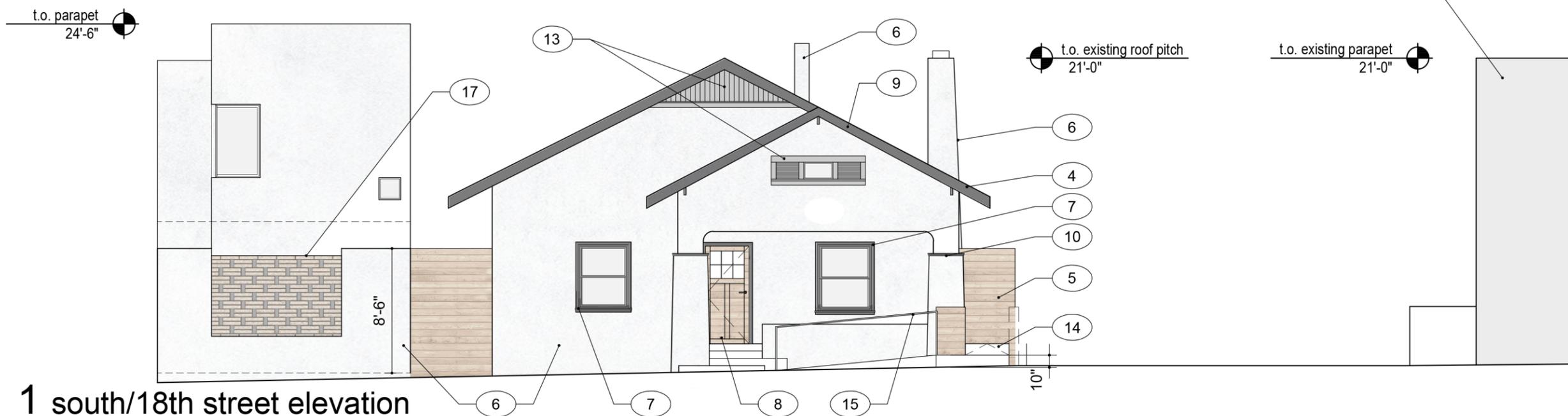
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1 south/18th street elevation

scale $\frac{1}{8}$ "=1'-0"



1 south/18th street elevation

scale $\frac{1}{8}$ "=1'-0"

site wall + fence not shown so full elevation of building is unobstructed

general note

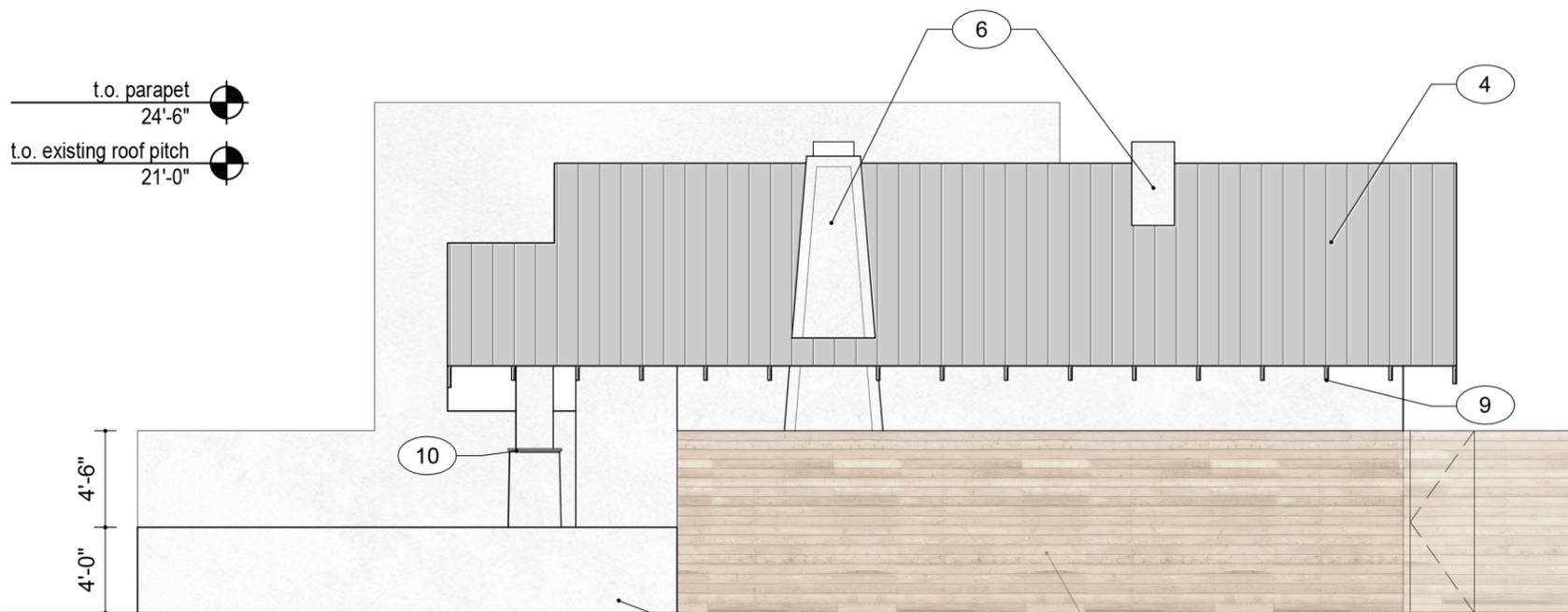
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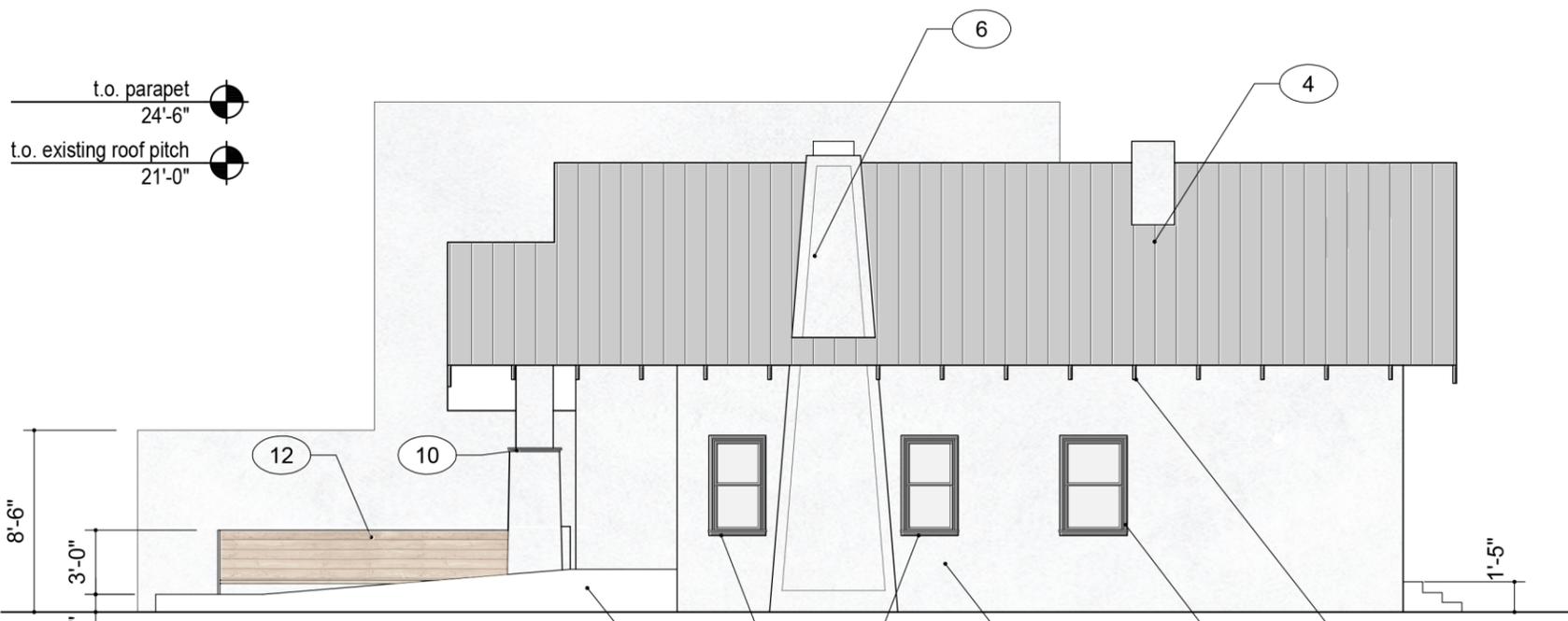
t.o. parapet 24'-6"
t.o. existing roof pitch 21'-0"



1 east/russell ave. elevation

scale 1/8"=1'-0"

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low site wall not shown so full elevation of building is unobstructed

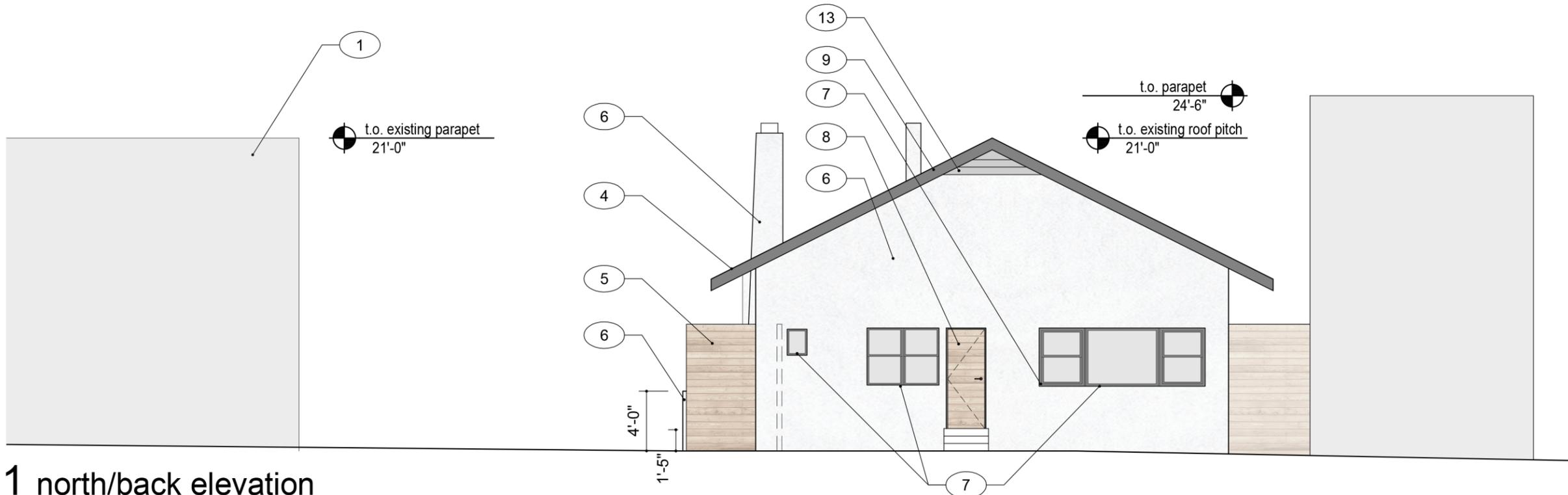
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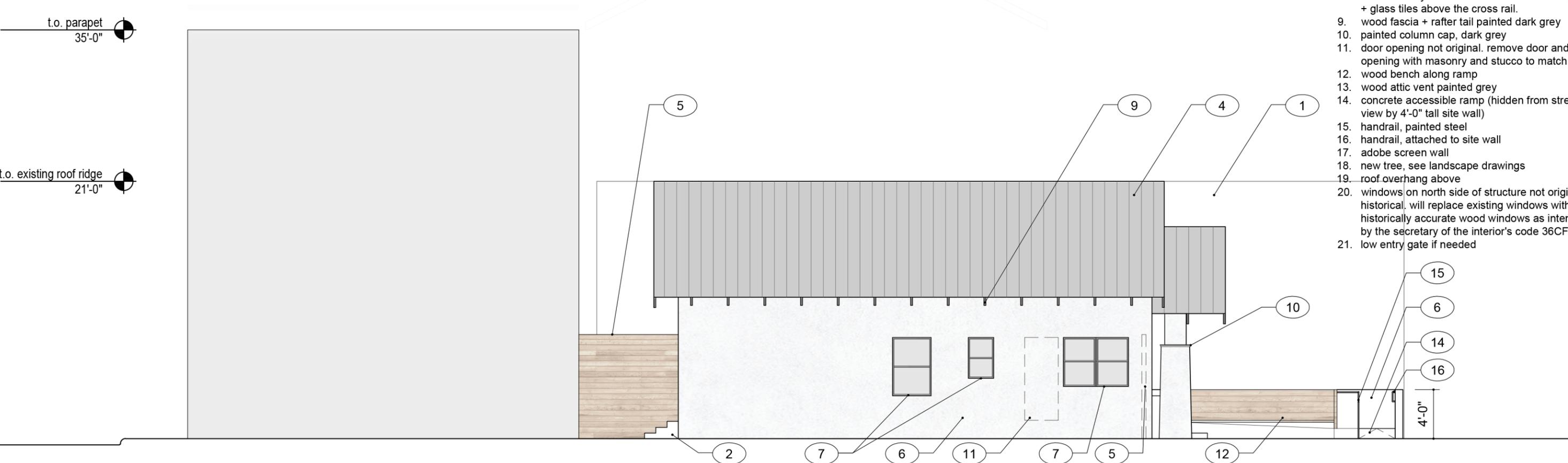
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1 north/back elevation

scale $\frac{1}{8}''=1'-0''$



1 west elevation

scale $\frac{1}{8}''=1'-0''$



If you have any questions or concerns about this project you can feel free to reach out to:

Dale Rush
hazlbaker rush architects
520.301.7273
dale@ha-ru.co

OR

Vanessa Lane
equilibrium investment
520.861.9712
vanessa@equilibriuminvest.com

You may submit comments concerning this project to the Tucson Planning and Development Services Department through:

Maria Gayosso
PDSD, Lead Planner
520.37.6972
Maria.Gayosso@tucsonaz.gov