

INFILL INCENTIVE DISTRICT DESIGN PACKAGE FOR 111-127 S 5TH AVENUE

July 2019

OWNER

Fifth Avenue Partner OF, LLC
6340 N Campbell Avenue, Suite 170
Tucson, AZ 85718

PREPARED BY

SBBL Architecture & Planning, LLC
100 N Stone, Suite 905
Tucson, AZ 85701



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**SECTION 1 – APPLICATION AND
AUTHORIZATION LETTER**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building



APPLICATION

T19SA00132

Case Number IID-19-06

Date Accepted: 8/6/2019

PROPERTY LOCATION INFORMATION

Property Development (Project) Name (IF APPLICABLE): 127 S 5th Ave

Property Address: 111-127 S 5th Avenue

Applicable Area/Neighborhood/Overlay: IID- Downtown Core Subdistrict

Zoning: C-3 Historic Status: Non-Contributing

Legal Description: Tucson Lots 6 & 7, Block 93

Pima County Tax Parcel Number/s: 117-06-2060 and 117-06-2070

Site and Building Area (sq ft): Site: 24,386 SF (.56 Acres) Proposed Building: +/-90,230 SF

APPLICANT INFORMATION (The person processing the application and designated to receive notices):

APPLICANT NAME: Thomas Saylor-Brown

EMAIL: tsb@sbbi.biz

PHONE: (520) 620-0255 FAX: (-) -

ADDRESS: 100 N Stone Ave, Suite 905, Tucson, AZ 85701

PROPERTY OWNER NAME (If ownership in escrow, please note): Fifth Avenue Partners of LLC

PHONE: (520) 850-9300 FAX: (-) -

PROJECT TYPE (check all that apply):
() Change of use to existing building
() New building on vacant land
() New addition to existing building
(X) New building on developed land
(X) Other Demolish Existing Bldg

Related Permitted Activity Number(s): T19SA00227, T19SA00132

DESCRIPTION OF USE: Multi-Family Residential

I hereby certify that all information contained in this application is complete and true to the best of my knowledge.

SIGNATURE OF OWNER/APPLICANT 7/25/19 Date





SUBMITTAL REQUIREMENTS

PLEASE PROVIDE THE FOLLOWING MATERIALS IN THIS ORDER:

X	1. Application form (signed by the Property Owner or Authorized Agent – include letter of authorization).
X	2. Written summary of neighborhood meeting with sign in sheet and agenda (if applicable).
X	3. Project statement outlining scope of work.
X	4. UDC compliance review comments (obtained at the 1 st floor).
X	5. Pima county assessor's record parcel detail and record map.
X	6. Color aerial photograph of subject property (if applicable).
X	7. Color, labeled photographs of project site existing conditions (north, south, east and west elevations of all structures on the property) and surrounding area (if applicable).
X	8. Color photographs of precedent examples in surrounding area, labeled with property addresses and keyed on the aerial photograph (if applicable).
X	9. Site Plan (and landscape plan and floor plans if applicable) drawn to scale at 11"x17", folded*, prepared in accordance to Section 2-06.0.0, in the Administrative Manual.
X	10. Elevations (and contextual elevations if applicable) drawn to scale at 11"x17", folded*, dimensions, proposed materials (if applicable) prepared in accordance to Section 2-06.0.0.
X	11. Samples , cut sheets and/or photographs of the type, color and texture of the proposed materials (if applicable).
X	12. PDF of all above listed items (number of hard copies may be required).
X	13. Applicable fees (payable to City of Tucson).
	14. (Other)

*For 11" X 17" format "z" fold as follows: With plan face up bring right side to left side (text to text), align edges and crease right edge. Bring top corner of open edge (top panel only) down to center of right folded edge (creates a diagonal edge on left), align and crease.

Additional application materials may be required at the time of your meeting with staff.

Refer to Supplemental Information per review process for material instructions, etc.

For Zoning and Subdivision review, the Unified Development Code (UDC) applies to this application. If you feel the Land Use Code (LUC) should apply, please consult with Zoning review staff. Applicable timeframes can be provided at your request or found in Administrative Manual Sec. 3-02 or found on our website at <http://cms3.tucsonaz.gov/pdsd>. For information about applications or applicable policies and ordinance, please contact us at (520) 791-5550.

By state law, we cannot initiate a discussion with you about your rights and options, but we are happy to answer any questions you might have.





PLANNING & DEVELOPMENT SERVICES
 201 N. Stone Avenue, 1st Floor Tucson, AZ 85701
 Phone: 791-5550 Fax: 791-4340

RECEIPT

ACTIVITY #: T19SA00132

FEES RECEIPT #: R1903955

Title: 127 S 5TH AVE NEW APARTMENT BLDG
 Date: 04/02/2019

Online Trans #:
 Time: 10:42 AM

Address: 127 S 5TH AV TUC
 Legal: TUCSON LOT 7 BLK 93 - 03070

Square Footage: 0
 Composition Type: LUCAPPS
 Activity Description:

Valuation: \$0.00
 Construction Type:

127 S 5TH AVE NEW APARTMENT BLDG

Applicant: SBBL ARCHITECTURE + PLANNING *C
 100 NORTH STONE AVE #905
 TUCSON AZ 85701
 520-620-0255

PAID BY:

Type	Method	Description	Amount
Payment	check	12704	100.00

Notation: IID-19-06 127 S 5TH AVE PRE SUB FEE

FEES PAID:

ACCOUNT CODE	DESCRIPTION	CURRENT PMTS
001-174-8602-65	PLAN - ZONING ADMIN.	100.00

Issued by: MKALTH01

TOTAL: 100.00

APA BALANCE:

City of Tucson
 791 4583
 Water Inquiries 791 3242
 Permit Inquiries 791 5550
 Customer Receipt

Reference Number: 2019091026-40
 Date/Time: 04/02/2019 10:48:51 AM

Planning Fees
 2019091026-40-1
 Permit #: T19SA00132
 Zoning Admin
 Total: \$100.00

1 ITEM TOTAL: \$100.00
 TOTAL: \$100.00

Check
 Check Num: 612704
 Total Received: \$100.00




Fifth Avenue Partners OF, LLC
6340 N Campbell Ave, Suite 170
Tucson, AZ 85718

March 27, 2019

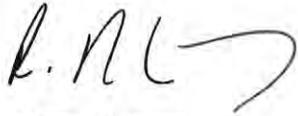
Re: 127 S 5th Avenue

Department of Planning and Development Services
201 N Stone, 3rd Floor
Tucson, AZ 85701

To Whom It May Concern:

I hereby authorize Thomas Saylor-Brown and other members of SBBL Architecture + Planning, LLC, to submit on my behalf on all matters relative to the IID, Development Package, and any other process related to our IID application for 127 S 5th Avenue.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Rulney", with a stylized flourish at the end.

Ross Rulney, Manager

**SECTION 2 – NEIGHBORHOOD MEETING
DOCUMENTATION**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

Neighborhood Meeting Agenda

May 1, 2019

Hexagon Conference Room
40 E Congress Street

Slide presentation:

1. Existing Site:
 - Existing aerial showing site location and adjacencies
 - Existing site photos
 - Views to the existing building
 - Variances for IID
2. Describe proposed site
 - Views to the new building (renderings)
 - Site plan of new building
 - Typical floor plan
 - Section through site for sight lines into adjacent properties
3. IPP discussion
 - Map of transit stops and parking garages
 - Presentation by Cypress

Questions and Answers



IID and IPP Neighborhood Meeting Summary for 127 S 5th Street, Tucson

**Date of Meeting: May 1, 2019
6:00 p.m. – 7:00 p.m.
at 40 E Congress Street Auditorium**

Attendance (not including applicant): 12 people

1. Meeting Invitation & Mailing: Property owners within the 300-foot notification area and registered neighborhood associations within one mile were mailed an invitation letter, which met the requirements of the City of Tucson (“City”) Unified Development Code § 3.2.2(C)(3). The invitation was mailed on April 19, 2019, using City-generated mailing labels.
2. Thomas Saylor-Brown began the meeting with a presentation of the IID request.
3. Thomas noted where the project is located and introduced the property owner, members of SBBL’s team, and Kevin Hall from Cypress Civil Development. He also described the purpose for the IID for the project.
4. The project was presented with a power point slide show. Location map and traffic diagram were presented first followed by context photos around the site on all sides, renderings of the proposed building, site plan, first floor plan, typical floor plan, and a section through the site showing site lines from the suites.
5. Thomas described the apartment building, which had eight floors proposed with 111 studio and one-bedroom units, amenities, proposed parking, and setback restrictions of the IID and how the project meets them.
6. Thomas also showed a slide of the proposed modifications requested: building height, building setback, trash receptacle pick-up, vehicular parking, perimeter yard standard, landscaping and screening standards, and native plan preservation. The project exceeds the UDC requirements for bicycle parking.
7. Kevin Hall presented the IPP request after Thomas completed his presentation.
8. Kevin noted that the UDC requires 139 vehicular parking spaces for the 111 apartment units, but that we show 51 spaces on the site. The IID allows a reduction of 25% spaces, and since we are providing additional bicycle parking than required, an additional reduction in parking requirements is allowed. We also can take advantage of an exemption for providing an electric charging station. The result is a modification request for 39 vehicular parking spaces. Kevin described existing conditions and modifications required and explained the process for the IPP.
9. He showed what options in the area are available to mitigate the need for vehicles including parking garages, street car stops, bus stops, bicycle parking, and walking distance. He also noted that a meter exemption program is available to use to the south of the site and described how that works.
10. Kevin offered the audience an opportunity to ask questions about the IPP and the IID.

11. One attendee expressed concern about not having enough parking because the neighborhood is already overwhelmed by parking for the Herbert House saying that no one would be willing to pay to park in a parking garage. The concern was expressed that the our design is “wonderful” but lacks practicality because we aren’t adequately parking the project.
12. The next attendee asked why we can’t meet the parking requirement with this project. Kevin responded that the site is too small to provide enough parking spaces. When asked about reducing the total units, Kevin noted that the economics wouldn’t allow for it. He stated that he is not an expert about the economics, so he didn’t want to speculate about the financial impacts.
13. An attendee asked if economics is the only reason for not meeting parking code requirements. Kevin noted that space is also an issue. The site is too small.
14. One attendee asked to re-review the list of modifications and expressed concern about the number of modifications requested and believed that this would be “another stick and stucco” building for student housing. The attendee believes that we are asking for too many exemptions and could size the project to be more in scale with the neighborhood and asked about the building review. Thomas and Kevin described the building and IID review process. The attendee wants us to clearly describe the scale of this project for city reviewers before getting into the permit process.
15. The next attendee suggested reducing the building by one floor to avoid requesting a height variance and thereby reducing the parking deficiency. Thomas said that we are exploring the options and that it is a work in progress.
16. An attendee said that the economic feasibility alone may have impacts on the neighborhood that should also be considered stating that we have an “overwhelming” modern building “that doesn’t fit in the surrounding area”, that the building is very high, many exemptions are requested, and there’s no place for the cars to go. The attendee said that people will not use the parking garages, and there is no adequate parking available.
17. John Burr spoke next as a member of the association board. He had reviewed the preliminary submittal and liked that some changes have been made since then. He noted that the downtown historic district is not shown on our map that would have included buildings that can’t be demolished. He was concerned about the height and noted that variances have not typically been awarded for height. He described the parking issues in the neighborhood and the garages that are available for parking. He was concerned that the parking garages we noted were not all available due to other IID project use. He wants to see a commitment with Park Wise to purchase spaces. He said that the neighborhood had an agreement with Ron Schwabe that has become a neighborhood policy of not putting in high rise balconies facing the neighborhood. While this project is partially screened by the Herbert House, he’d like us to mitigate potential noise that would affect the neighborhood. He’d also like us to consider adding a second floor of parking, if possible. Parking and height are the biggest issue for this project. Thomas said that we would look at everything he has discussed.
18. Thomas described the next steps for the project including submittal of the DP (the following week), IPP, and IID.
19. A request was made for copies of the minutes to be sent to everyone who attended. This has been done.
20. Seeing that no one had any more questions, the meeting was ended at approximately 7:00 p.m.

Note: See the follow-up to these minutes on the next page.



Follow-up to Neighborhood Comment for 127 S 5th Avenue, Tucson

Changes to the design have occurred since the May 1, 2019, neighborhood meeting based on feedback from people attending the meeting and due to typical architectural and construction coordination issues that continue to be addressed.

UPDATED DESIGN

- Our initial design called for an 8-story, 81-foot tall building, as presented at the neighborhood meeting on May 1. This would have required a modification request for a higher building, since the maximum building height in a C-3 zone is 75-feet to top of flat roof. We have removed a floor from the design. While we were originally advised that such a modification was possible, we later discovered that it couldn't be done. The current design is for a 7-story, 71'-8" high building, measured to the top of the flat roof with 96 apartments.
- Reducing the number of apartment units resulted in a reduction of required parking to 72 spaces. The current design provides for 50 offsite parking spaces. This was presented in an Individual Parking Plan, T19SA00227, and was approved on July 18, 2019. The deadline for notice of intent to appeal is July 25, 2019.
- There are seven short-term bicycle parking spaces required for this project; 12 are provided. Thirty-six long-term bicycle parking spaces are required; a secured parking area for 48 bicycles is being designed, and another 96 can be accommodated in the apartments themselves.
- One neighbor expressed concern about this being a "stick and stucco" building. The design has always called for a variety of materials, and the current design includes a post-tension concrete structure clad with a premium EIFS stucco system, metal panels, and masonry construction complementing nearby brick buildings. Building balconies have a variety of enclosures including glass panel, perforated metal, and premium-grade guard rail systems.

**111-127 S 5th Avenue Apartment Building
Presentation to Neighborhood**

Note: Slides were also presented at the neighborhood meeting for an Individual Parking Plan ("IPP") by Cypress Civil Development. The IPP has been approved by the City. The slides for that presentation are not included herein.





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127 S 5TH AVE

NEIGHBORHOOD MEETING

MAY 1, 2019



C CONTRIBUTING PROPERTIES

H HISTORICAL PROPERTIES

LOCATION





- LIGHT RAIL STOPS
- BUS STOPS
- — — BIKE PATHS
- ONE WAY ROAD
- PUBLIC PARKING

TRAFFIC DIAGRAM



EXISTING BUILDING ON SITE





BACKYARD OF BUILDING TO SOUTH







APARTMENT BUILDING TO SOUTH















BEFORE VIEW FROM NORTHWEST



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VIEW FROM NORTHWEST



BEFORE VIEW FROM NORTHEAST



VIEW FROM NORTHEAST



BEFORE VIEW FROM SOUTHEAST

Google





ARCHITECTURE
& PLANNING

VIEW FROM SOUTHEAST



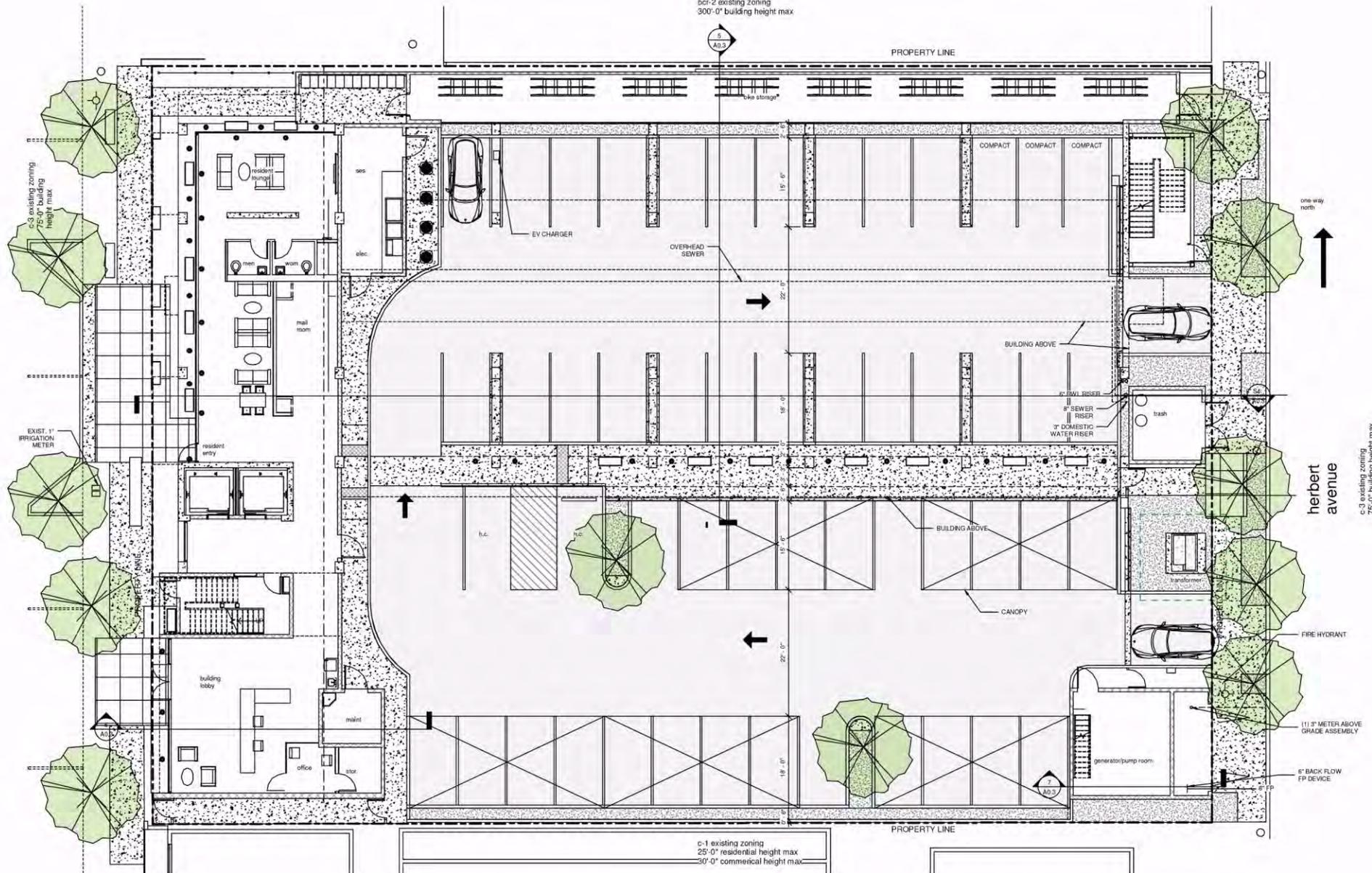
BEFORE VIEW FROM SOUTHWEST



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& PLANNING

VIEW FROM SOUTHWEST

5th avenue



c-3 existing zoning
75'-0" building height max

herbert avenue

one-way north

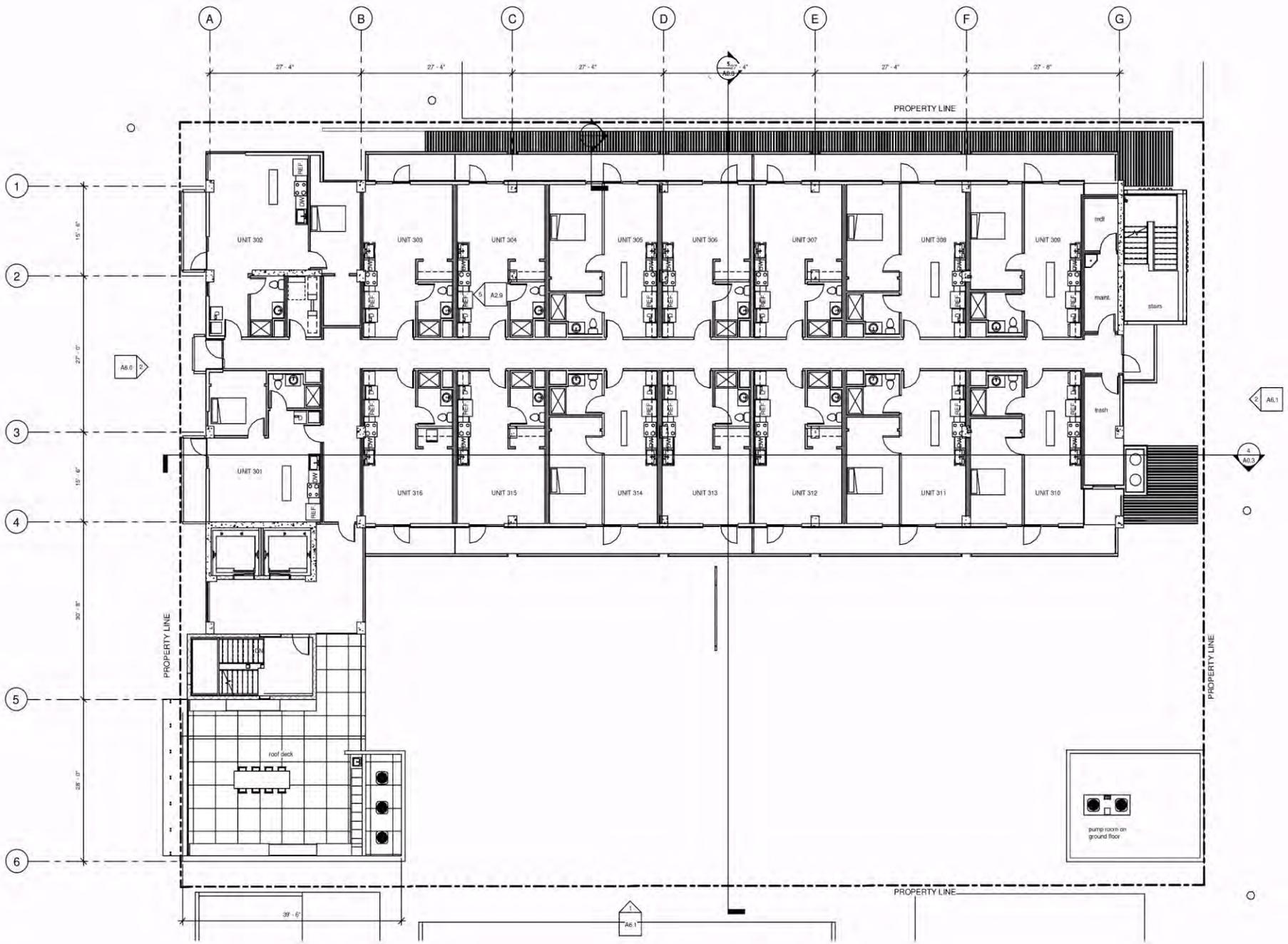
FIRE HYDRANT

(1) 3" METER ABOVE GRADE ASSEMBLY

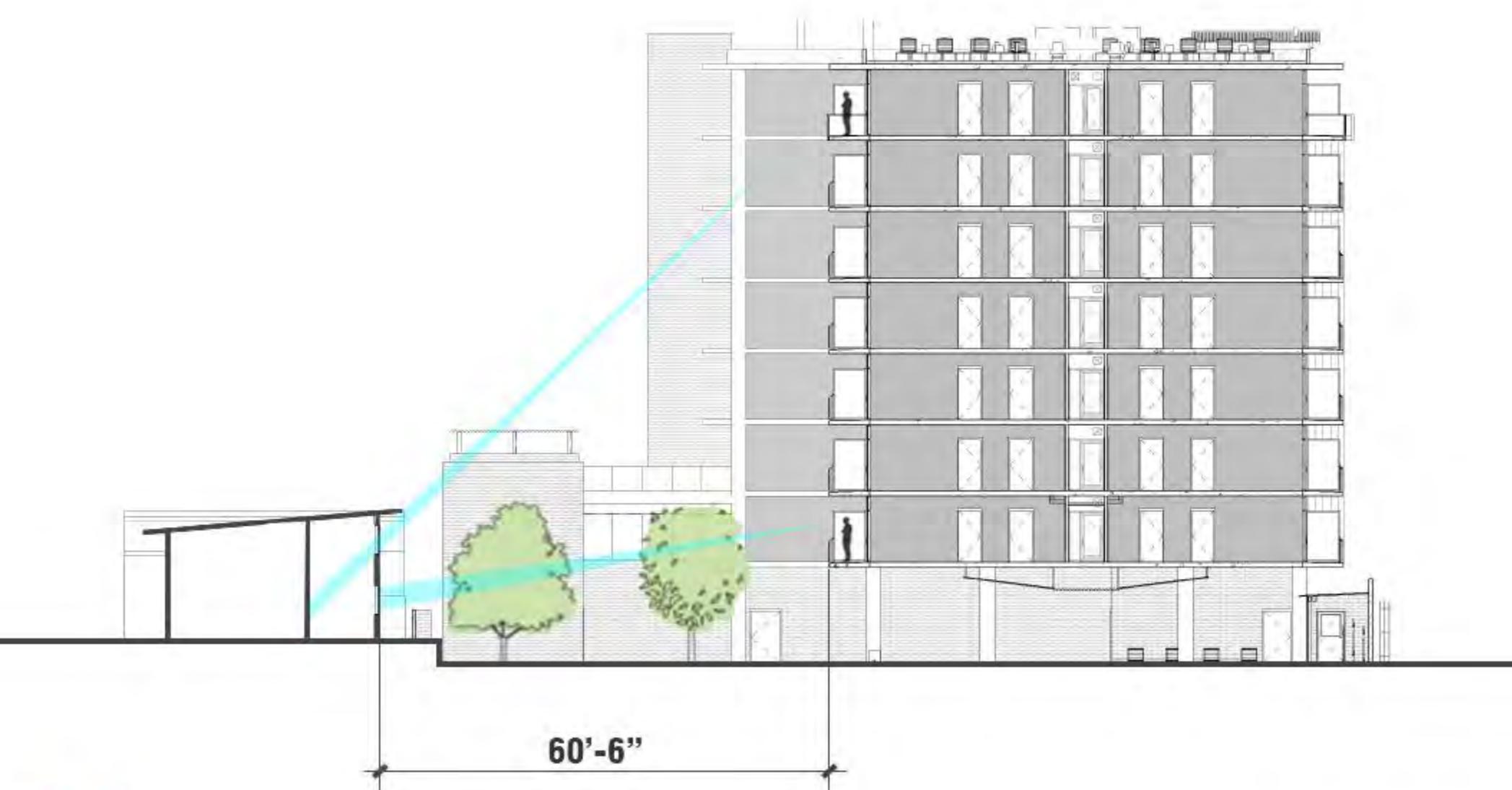
6" BACK FLOW FP DEVICE



SITE PLAN

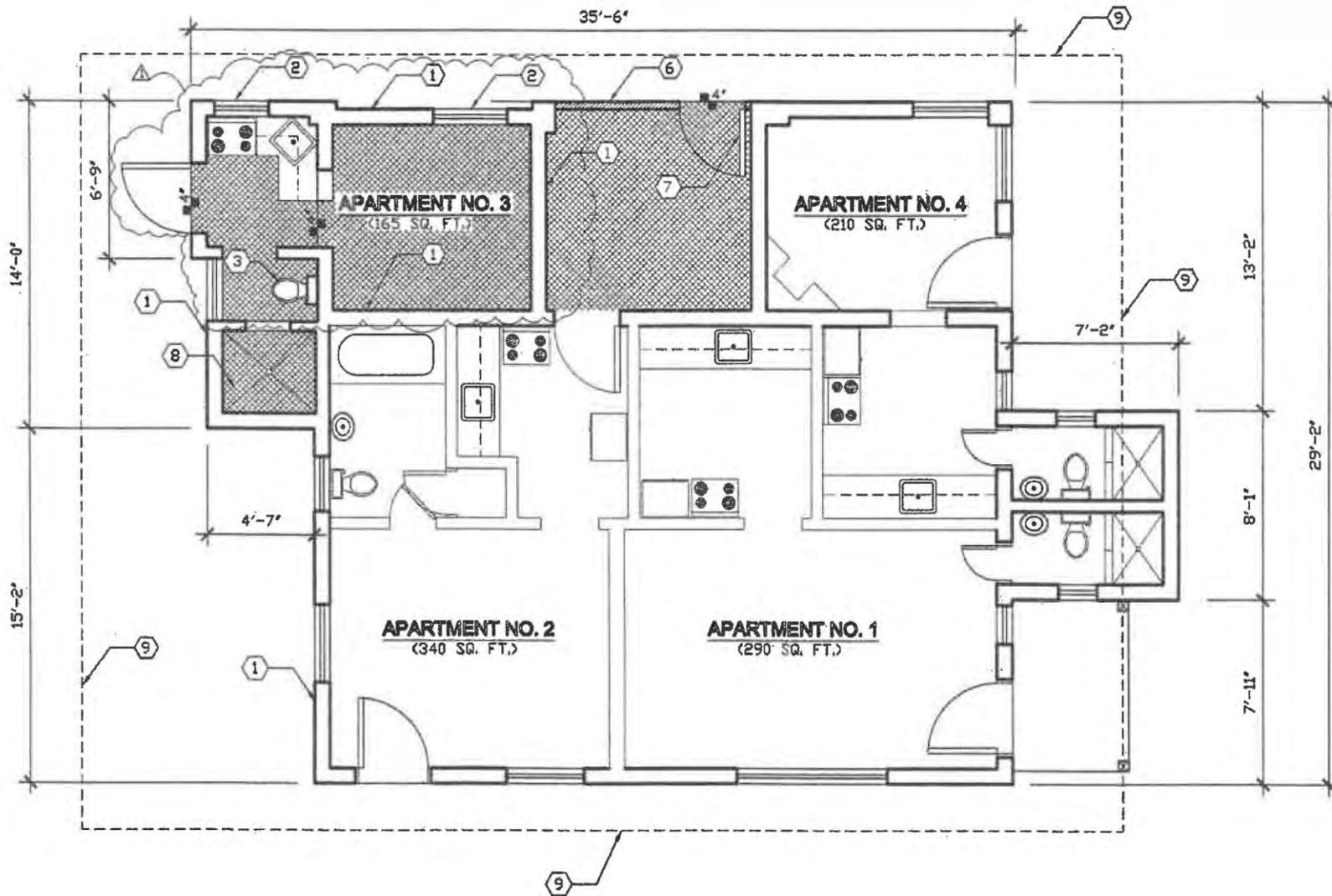


THIRD FLOOR PLAN



BUILDING SECTION





APARTMENT FLOOR PLAN

BUILDING HEIGHT
BUILDING SETBACK
TRASH RECEPTACLE PICK-UP
PARKING
PERIMETER YARD STANDARD
LANDSCAPING AND SCREENING STANDARDS
NATIVE PLANT PRESERVATION



IID MODIFICATION REQUESTS

PRESENTATION OUTLINE

- ◎ Individual Parking Plan
 - Required # of On-Site Spaces
 - Existing/Provided # of On-Site Spaces
 - Surrounding Off-Site Parking Spaces/Options
- ◎ Question & Answer

INDIVIDUAL PARKING PLAN

⦿ REQUIRED # OF SPACES (ON-SITE)

- UDC
 - 1.25 Spaces per Unit (111 units)
- Total Required = 139 Spaces

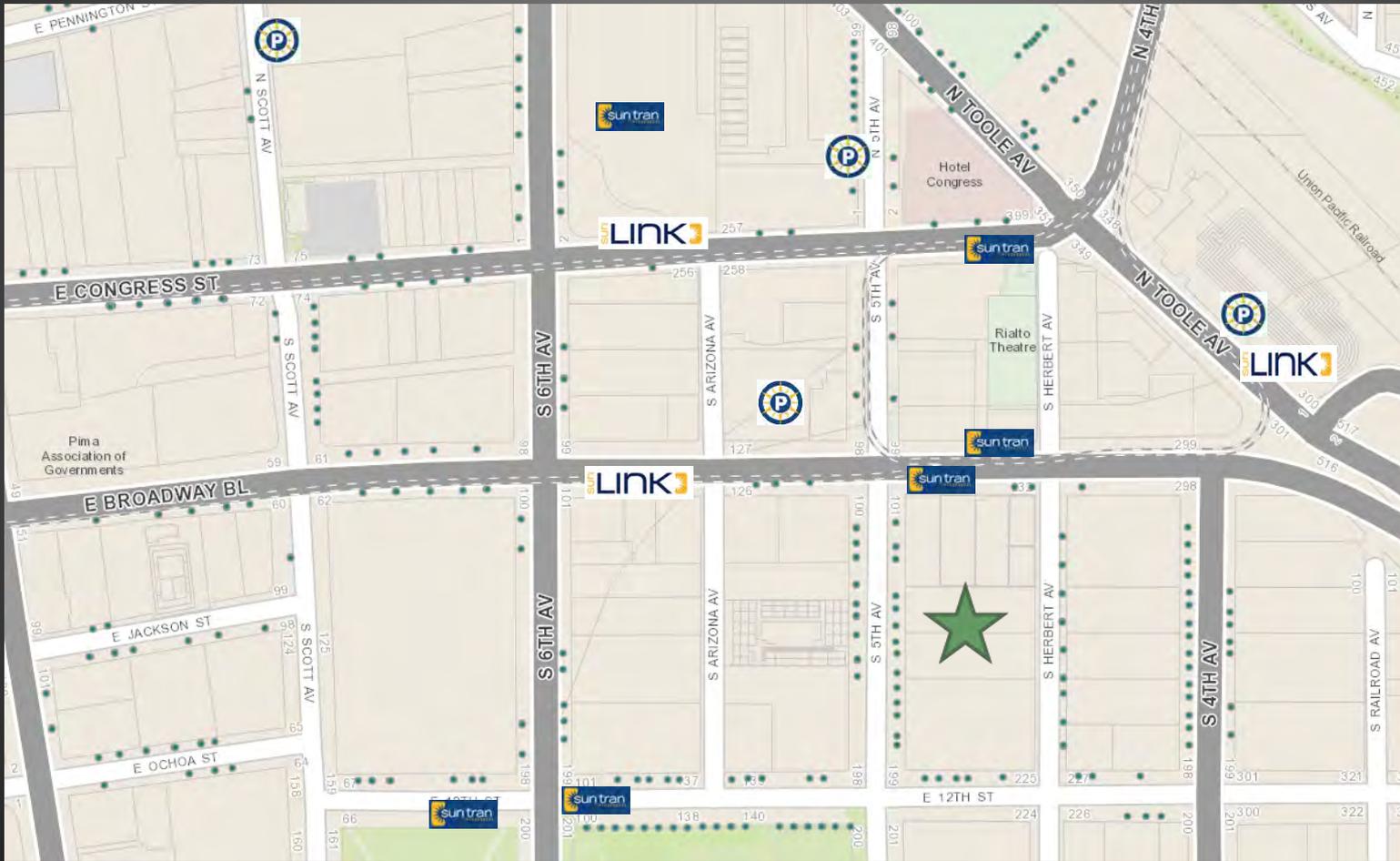
⦿ PROVIDED # OF SPACES (ON-SITE)

- Total Provided = 51 Spaces
 - 88 Spaces less than Required
 - 34 Spaces exempt by IID (25% Reduction Allowed)
 - 14 Spaces exempt by Additional Bike Parking
 - 1 Space for every 6 additional bike parking spaces provided = 96 Total Provided
 - 1 Space exempt by Electric Charging Station
- IPP Relief Request = 39 Spaces

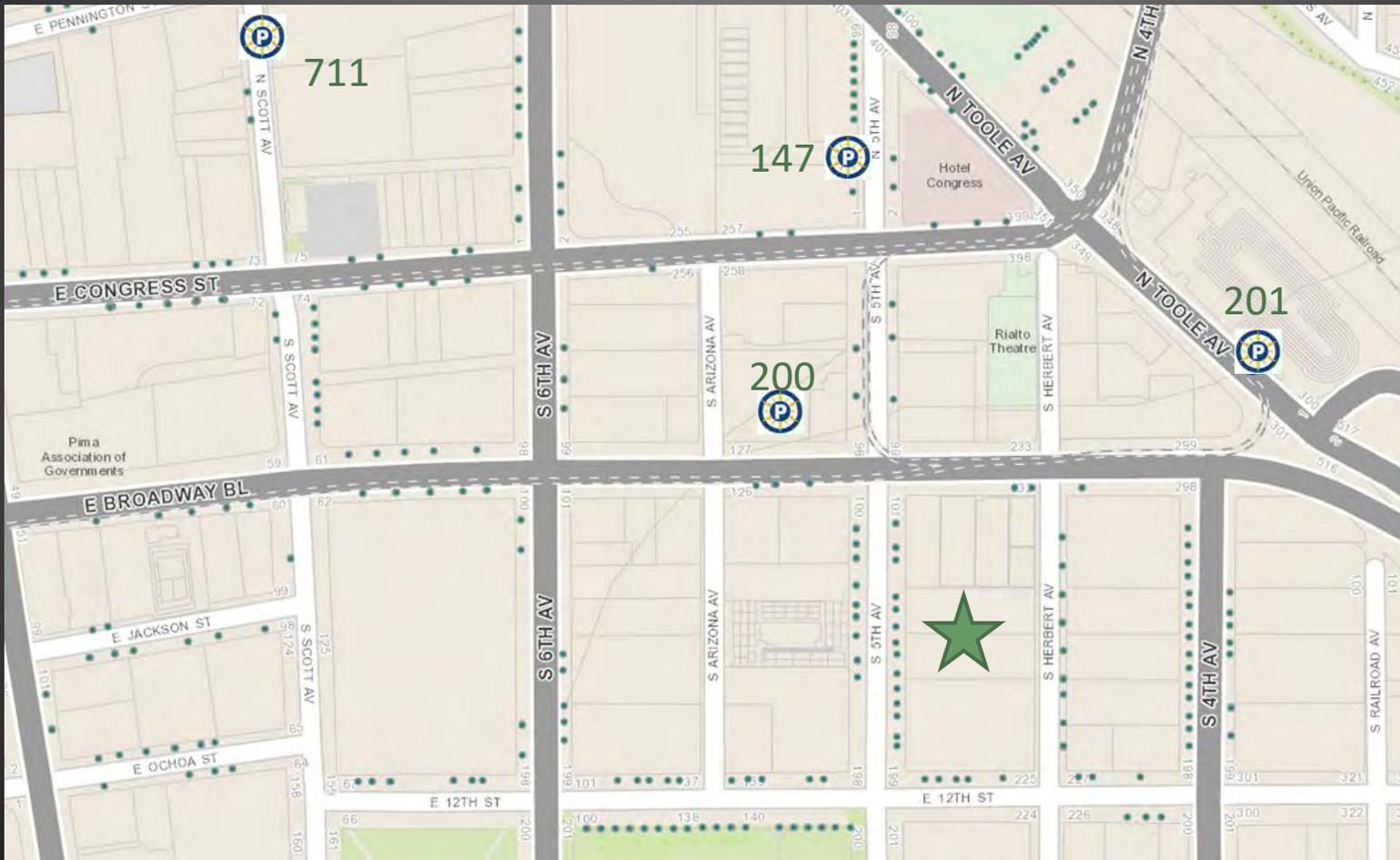
INDIVIDUAL PARKING PLAN

- ① 111 UNITS – All Studio and 1 Bedroom
- ① ADDITIONAL LONG/SHORT TERM BIKE PARKING
- ① PUBLIC TRANSIT/PUBLIC GARAGES
 - 4 Public Garages within a quarter mile
 - 3 Light Rail Stops within a quarter mile
 - 6 Bus Stops within a quarter mile
- ① METER EXEMPTION PROGRAM
 - Designated Meters on 5th Avenue and 12th Street south of project

INDIVIDUAL PARKING PLAN



INDIVIDUAL PARKING PLAN



QUESTIONS & ANSWERS

- Questions?

- Contact information:

- Samantha Thompson– Cypress Civil Development
sthompson@cypresscivil.com

THANK YOU FOR COMING!



ARCHITECTURE
& PLANNING

Mailing Certification

May 31, 2019

Koren Manning
City of Tucson Planning Department
201 N Stone Avenue
Tucson, AZ 85701

Dear Koren:

I hereby certify that we used the mailing labels provided by the City to invite neighbors, neighborhood associations, and jurisdictional personnel to our neighborhood meeting that was held May 1, 2019. The letters were all mailed out on April 19, 2019.

Sincerely,

A handwritten signature in black ink that reads "Sayler-Brown". The signature is written in a cursive, flowing style.

Thomas Sayler-Brown, AIA, NCARB
tsb@sbbl.biz



PLANNING & DEVELOPMENT SERVICES
 201 N. Stone Avenue, 1st Floor Tucson, AZ 85701
 Phone: 791-5550 Fax: 791-4340

RECEIPT

ACTIVITY #: T19PRE0049

FEES RECEIPT #: R1903393

Title: IID MAJOR
 Date: 03/19/2019

Online Trans #:
 Time: 03:37 PM

Address:
 127 S 5TH AV TUC
 Legal:
 TUCSON LOT 7 BLK 93 - 03070

Square Footage: 0
 Composition Type: PREAPPLY
 Activity Description:

Valuation: \$0.00
 Construction Type:

Applicant: SBBL ARCHITECTURE + PLANNING *C
 1001 N ALVERNON WAY SUI 105
 TUCSON AZ 85711-1019
 520-620-0255

PAID BY:

Type	Method	Description	Amount
Payment	Check	12702	220.00

Notation: IID MAJOR

FEES PAID:

ACCOUNT CODE	DESCRIPTION	CURRENT PMTS
001-174-8602-01	PLAN - PUB NOTIFICATION	220.00

Issued by: MKALTH01 TOTAL: 220.00

CI: 791 3242
 CI: 791 4583
 Water Inquiries
 Permit Inquiries
 Customer Receipt

Reference Number: 2019077025-61
 Date/Time: 03/19/2019 3:52:14 PM

Planning Fees
 2019077025-61-1
 Permit #: T19PRE0049
 Public Notification 1@ \$220.00
 Total: \$220.00

1 ITEM TOTAL: \$220.00
 TOTAL: \$220.00
 Check
 Check Nbr: 012702
 Total Received: \$220.00



APA BALANCE:



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Use of Infill Incentive District (IID) Optional Overlay and the Individual Parking Plan (IPP) 127 S 5th Avenue Apartments

Dear Neighbor:

We are architects for Fifth Avenue Partners OF, LLC. We invite you to a neighborhood meeting to discuss the requested use of the Infill Incentive District (IID) Optional Overlay and Individual Parking Plan (IPP) standards for a proposed market-rate apartment development located at 127 S 5th Avenue (formerly the site of Planned Parenthood). The goal of this project is to redevelop the property, which currently consists of an existing outdated office building and a paved parking lot. The new development will have 111 apartments on 8 floors with outdoor deck areas on upper floors. The similarly-sized Herbert House apartment tower is located to the southwest of this project at 5th Avenue and 12th Street. The new building will be a modern structure that is sensitive to the context of the adjacent buildings.

Date: Wednesday, May 1, 2019
Time: 6:00pm to 8:00pm
Location: Hexagon Office Building, 5th Floor auditorium
40 E Congress Street

We encourage public participation and, in addition to questions presented in person at the meeting, you may also direct questions or comments to Thomas Saylor-Brown at tsb@sbbl.biz or (520) 620-0255 prior to the public meeting.

The purpose of this meeting will be to present the proposed development, explain relative details, the use of the IID and IPP, and hear any constructive ideas that you may have relating to our proposal. We encourage you to attend the meeting, provide insight about the area and the surrounding neighborhoods, and ask any questions you may have regarding the potential project and/or the use of the IID at this location. Our goal with this process is to be able to respond to your ideas and make every effort to become a welcomed future neighbor. Our intention is to submit our IID proposal to the City by the beginning of June, 2019. The purpose of the Individual Parking Plan is to review the existing and potential parking impacts of the development on the surrounding parking facilities.

At the conclusion of the meeting, the Individual Parking Plan will be submitted to the City of Tucson for formal review. At such a time, those within the City-defined notification area will receive notice of the application / submittal with instructions on how to provide a formal comment to the City's Director of Planning and Development Services Department, if they so choose.

We look forward to meeting with you personally.

Thank you for your time and consideration.

Sincerely,

Thomas Saylor-Brown, AIA, NCARB
tsb@sbbl.biz

SBBL Architecture & Planning, LLC

100 N Stone, Suite 905 • Tucson, AZ 85701
Phone: 520.620.0255 • www.sbbl.biz



PROJECT: 127 S 5th Street IID Presentation

DATE: May 1, 2019

PROJECT NO.: 19005

LOCATION: 40 E Congress Street, 5th Floor

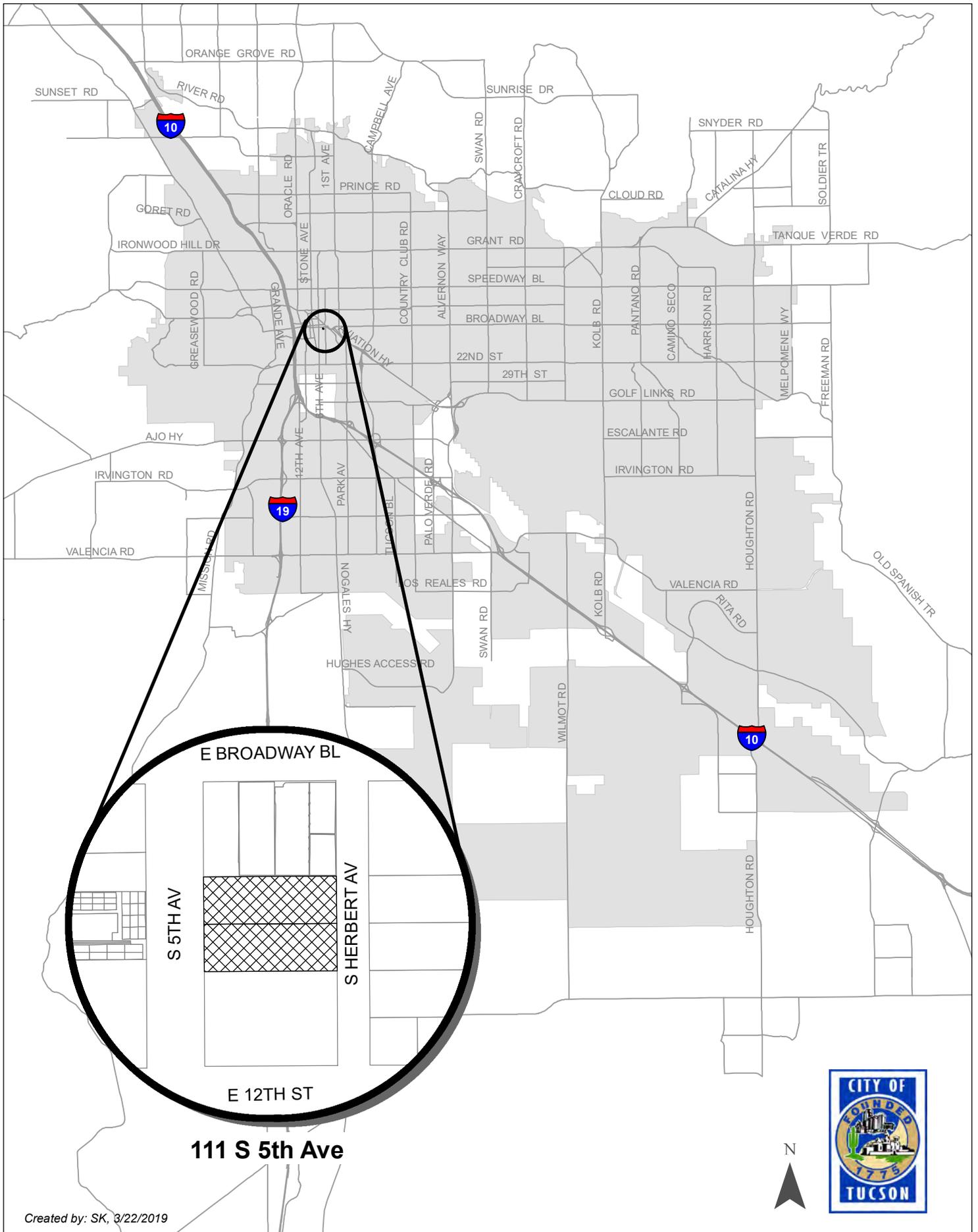
PURPOSE OF MEETING: Neighborhood Meeting

SIGN-IN SHEET

(please print)

Name	Address	Phone	E-mail
STUART WOLFA	140 E. 4 th ST	885-8590	STUART@NORTHSTAR
Samantha Thompson	Cy Cypress Civil	sthompson@	MGMT, PCT
Phyllis Factor	228 S. 3 RD AVE	520 990 8722	cypresscivil.com PEFNAZ@gmail.com
Rob Bess	100 N. Stone	-	RBESS@SBBL.BIZ
Hesley	40 E Broadway #606	480 3908574	s_hesley@angon.com
P. Zick	332 E 14 th ST		paulw.z@outlook.com
Ron + Patricia Schueh	210 E Bmg.	520 6036103	patnaeschueh@gmail.com
Marty Diamond	332 E 14 th ST		mdiamond@prologitech.com
JOHN BURR	PO Box 269	520 377 1625	jobabu@hotmail.com
Jan Mulder	425 S 3 RD AVE S	206-714-5577	janmulder@cox.net
MARINA McCLEMENTS	336 E. 16 th ST	520-820-6541	mmcclements@earthlink.net
NATHAN WELCH	202 E 12 TH ST	520-780-4099	NATHAN@SCOTTAGROUP.COM
MARK CRUM	115 E. 16 TH ST.	520-629-0896	MARK.CRUM115@GMAIL.COM
Todd Eastman	222 E 14 th ST	480-486-9909	toddkeestman@gnm.com

T19PRE0049



SECTION 3 – PROJECT STATEMENT

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

111-127 S 5th Avenue Apartment Building Project Statement

This new multi-family project (“127 S 5th”) will bring more downtown living opportunities for people with 96 luxury studio and one-bedroom urban apartments on seven floors. Located in the Rio Nuevo Area and Downtown Core Subdistrict, 127 S 5th is south of the intersection of Broadway Boulevard and 5th Avenue, approximately halfway down the block towards 12th Street. It is located close to Sun Link streetcar and Sun Tran bus stops on Broadway and within two blocks of the Ronstadt Transit Center on Congress Street. Much-needed pedestrian-oriented residential density will occur, as 127 S 5th is within easy walking distance of the downtown and Fourth Avenue commercial districts.



■ 127 S 5TH ● LIGHT RAIL STOPS ● BUS STOPS ● RONSTADT TRANSIT CENTER

This area already enjoys a mix of commercial and multi-family residential uses. 127 S 5th becomes another of the exciting changes happening in the downtown. Scaled right for its proximity to Broadway, 127 S 5th could become a catalyst for more new development in the vicinity.

The Property

127 S 5th will front 5th Avenue also with an east-west orientation that offers amazing views north to the Catalina Mountains, south toward the Santa Rita Mountains, and west over the city. Parking will be accessed on the east side of the site from Herbert Avenue. An existing single-story building and parking lot on the site are obsolete and will be demolished for 127 S 5th. To the east across Herbert Avenue is a large mostly vacant tract of land with a small, ineligible commercial building.



 127 S 5th

Historic Context

The existing building at 111-127 S 5th Avenue is ineligible for historic status, and the site is not in a Historic Preservation Zone. The project does, however, lie between two historic zones, Armory Park and Downtown Tucson (which is pending designation).

The brick commercial building abutting the northwest corner of 127 S 5th is eligible for historic designation. Two commercial buildings to the east of that building that are similar in age and design are ineligible. These three buildings are in the Downtown Tucson historic zone. The architectural features are discussed briefly in Section 9.

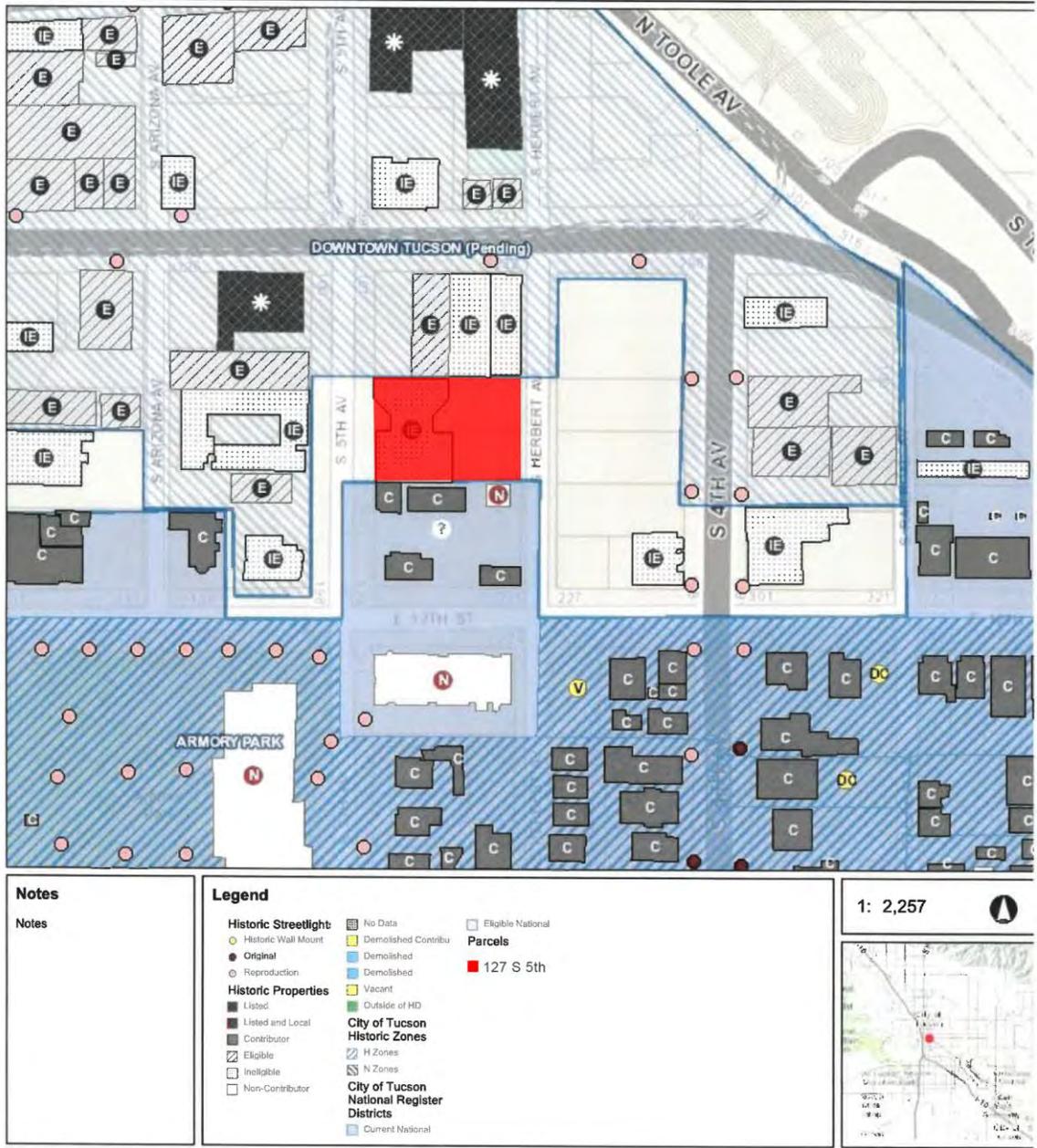
To the south of the site is an apartment complex with five small residential-scaled buildings housing 10 rental units. Four of the buildings are contributing structures and one is non-contributing. The contributing building at 133-135 N 5th Avenue is currently situated approximately two feet south of the existing office building at 111-1267 S 5th to be demolished. A second-floor addition on the east side of the building was permitted as a mechanical attic; however, apparent unpermitted changes have been made that include installation of windows facing north, west, and south. The window to the north would have to meet fire safety regulations to be that close to the property line. The southwest wing of 127 S 5th that will be located 4-feet to the north of the contributing apartment building will have a 4-hour solid masonry wall with no openings. The second-floor window and an existing glass block window at the first floor of the contributing building do not impact 127 S 5th.



Photo: Proximity of contributing building (to the right) at existing office building

Directly across 5th Avenue to the west is an ineligible three-story apartment building. To the north and south of this apartment building are eligible commercial buildings, and at the southwest corner of 5th and Broadway is the listed Julian Drew commercial building. The Downtown Historic zone includes the properties across 5th Avenue from 127 S 5th. The architectural attributes are briefly discussed in Section 9.

As the following map illustrates, there are no historic streetlights adjacent to 127 S 5th.



Zoning

Zoning on the site is C-3 (Commercial) which allows a building height of 75-feet to the top of the flat roof. This project will meet UDC (zoning) requirements for building height. Parking on the east side of the building at grade is covered by the seven-story structure on the north side and by parking structures on the south side. An Individual Parking Plan for 127 S 5th was approved by the City on July 18, 2019, providing for 50 vehicular parking spaces. There will be 12 short term bicycle parking spaces on 5th Avenue, 48 long-term bicycle parking spaces in a secure parking area on the first floor, and each apartment dweller will be able to keep a bike



in an apartment thus providing 156 bicycle parking spaces in total. Only 42 bicycle parking spaces are required by code. Trash pickup will occur from Herbert Avenue.

127 S 5th Overview

127 S 5th is a contemporary building that will be a significant new look for this section of 5th Avenue. The first-floor lobby, with its activity, high ceiling, interior finishes, and colors will be open to view from the sidewalk through a large storefront window area. The main public entrance is set back under a building overhang and small glass canopy and leads directly to the management office. A private entry for residents gives access to the elevators, social space, mailboxes.

Long-term bicycle storage space is accessible from 5th and from Herbert Avenue. A covered parking area for 50 cars is provided on the east side with gated access from Herbert Avenue. A business center for resident use will be located over the lobby and management office on the second floor at the south end of the building with a view into the lobby and out to 5th Avenue.

An 800 square foot roof deck will be located above the business center to provide a private outdoor social/plaza space for the residents and their guests. No commercial retail space will be provided in this project.

As discussed in Section 5, the two-story wing of the building meets the IID requirement for a 4-foot setback and 25-foot maximum building height adjacent to historic residential properties. While the buildings to the south comprise a 10-unit apartment complex on commercially-zone land, Staff requested the setback and height restriction to allow 127 S 5th to blend more into the scale of the neighborhood. The seven-story wing of the apartment building is located at the north end of the site and runs east-west between 5th and Herbert Avenues. It is set back from the south property line a minimum of 32-feet.

There will be a 50/50 mix of one-bedroom and studio apartments in the building with a variety of floor plan sizes to meet the diverse needs of residents. Each unit will be outfitted with a complete kitchen and a laundry facility. Balconies are provided at each apartment providing additional outdoor living space.

The target market for 127 S 5th is young professionals who want an urban lifestyle and who lead a more transit-oriented lifestyle. It is well-located for multiple modes of transportation from walking to biking to public transportation and, of course, private vehicles. 127 S 5th is conveniently located close to several public parking garages (see following public parking map). As experienced in other major cities with large centralized residential populations, urban living necessitates rented offsite vehicular parking and encourages more multi-modal transportation. Spaces for rideshare are provided on 5th Avenue.



■ 127 S 5th ■ PUBLIC PARKING GARAGE (INCLUDING UPCOMING STRUCTURES) ■ PUBLIC PARKING LOTS

Zoning Modifications Requested

Based on Staff responses to the first submittal of the Development Package (included in Section 6) and other requirements of the RNA and DCS, the following modifications from the zoning code are requested:

- **Environmental Services: A modification from waste enclosure and container pick-up requirements is requested.** Staff commented that the enclosure needs to be redesigned per Environmental Services guidelines. They also noted that the 6-cubic yard container shown was too large to roll out to the street. The design has been updated, yet a modification is still warranted.
- **Traffic: A modification from the requirement for new pavement on Herbert Avenue is requested.** Herbert Avenue is in poor condition; however, future development of the vacant land to the east of 127 S 5th will ruin any new pavement installed with this project. In a discussion with Traffic, a modification that will allow chip seal to be installed is an acceptable alternative.
- **Landscape: A modification from landscaping and screening requirements of Section 7.6 is requested.**

- **Zoning and Engineering: A modification from PAAL width requirements is requested.** Adjustments have been made to the PAAL widths to meet code requirements; however, design variations where access requires a vehicle to be backed in will warrant modification approval.
- **Zoning: A modification from UDC requirements for building and street setbacks is requested.**
- **Zoning: A modification for a walkway through the center parking stall areas is requested.** This walkway is eliminated in the updated Development Package (see Section 6). Another pathway meeting code clear width exists on the north side of the property.
- **RNA 5.12.7.D.3.A: A modification for a plaza or courtyard and open space is requested.** This is a multi-family residential building. No plaza or courtyard is warranted.
- **UDC Section 7.4.4: A modification is requested for parking.** An Individual Parking Plan was applied for separately and approved. The UDC requires 90 parking spaces; the approved IPP allows 50 spaces. The approval for the IPP is included in Section 13.

IID Scope of Work Questions

The IID application offers nine questions to define a project's scope of work. Following are answers to the questions for this project.

1. State the applicant's intention to use the IID zoning option in lieu of existing underlying zoning.

The applicant and property owners are choosing to develop 127 S 5th using the IID zoning option in lieu of the underlying zoning (C-3). Owner's authorization is included herein.

2. Describe how the project is consistent with the IID purpose to create sustainable infill development.

Vibrant and successful urban cores require people living, working, playing together and patronizing the many opportunities within easy reach. With the recent influx of new business in downtown and with easy access to Fourth Avenue and the University by foot or public transportation, 127 S 5th will attract new residents who will feed into the vitality that Tucson is enjoying and take advantage of the many amenities Tucson has to offer. The market-rate apartments will attract young professionals looking for an urban lifestyle. Easy access for walking, biking, bus and streetcar transit will serve to reduce dependence on private vehicles. In addition, two rideshare parking spaces are provided on 5th Avenue. Other large cities have also found that more people on the streets provides more eyes and a greater sense of security.

127 S 5th is located on a block with a mix of commercial and multi-family buildings and replaces an unattractive, vacant, and obsolete commercial building that offers little to the neighborhood fabric. The street will enjoy a resurgence of life with new year-round residents leaving and arriving the apartment building and utilizing services in the area.

An 8-story, 144-unit apartment tower built in the early 1970's, Herbert Residential ("the Herbert"), can be found half a block away at 12th Street. This building was formerly an apartment complex for low-income seniors who were relocated in 2012. The seven-story, 127 S 5th building will be located closer to Broadway and will complement the taller buildings popping up on that Gateway route. While compatible with its tall neighbor to the south, the Herbert effectively forms a sort of "bookend" for the Armory Park neighborhood from the south and will help screen our project from the neighbors. Large open spaces and well-located tall buildings can help define and identify a neighborhood, and with Armory Park and the Herbert, 127 S 5th will help accomplish that purpose.

3. Describe the benefits the project will bring to adjacent properties and the surrounding area.

A successful urban environment requires a concentration of residents. Over the years, people have abandoned Tucson's downtown in favor of more suburban lifestyles. That trend is turning around, and people are returning to the central core again. 127 S 5th offers much-needed market-rate apartments to meet the demands for urban living spaces that will also ensure a diversity of residents. That diversity will boost the vitality of the downtown. Increasing residential density will also encourage an increase in commercial services to meet new demands, improve pedestrian safety, and will reduce dependence on private vehicles. This reduction of dependence may take time to develop, since residents of the southwest are accustomed to having to drive "everywhere" for their services. But, in time, as more services are made available closer by, and more transit options are available, a reduction in vehicular traffic will result.

Existing adjacent businesses on Broadway that cater to the general public will benefit from the 96 or more residents living in the new apartments conveniently nearby. Economic benefits include fees paid to local consultants, construction costs for local subcontractors, impact fees, and sales taxes.

4. Describe any significant adverse effects, such as those involving noise levels, glare, odors, vibration, illumination, fumes and vapors, the project will have on adjacent property.

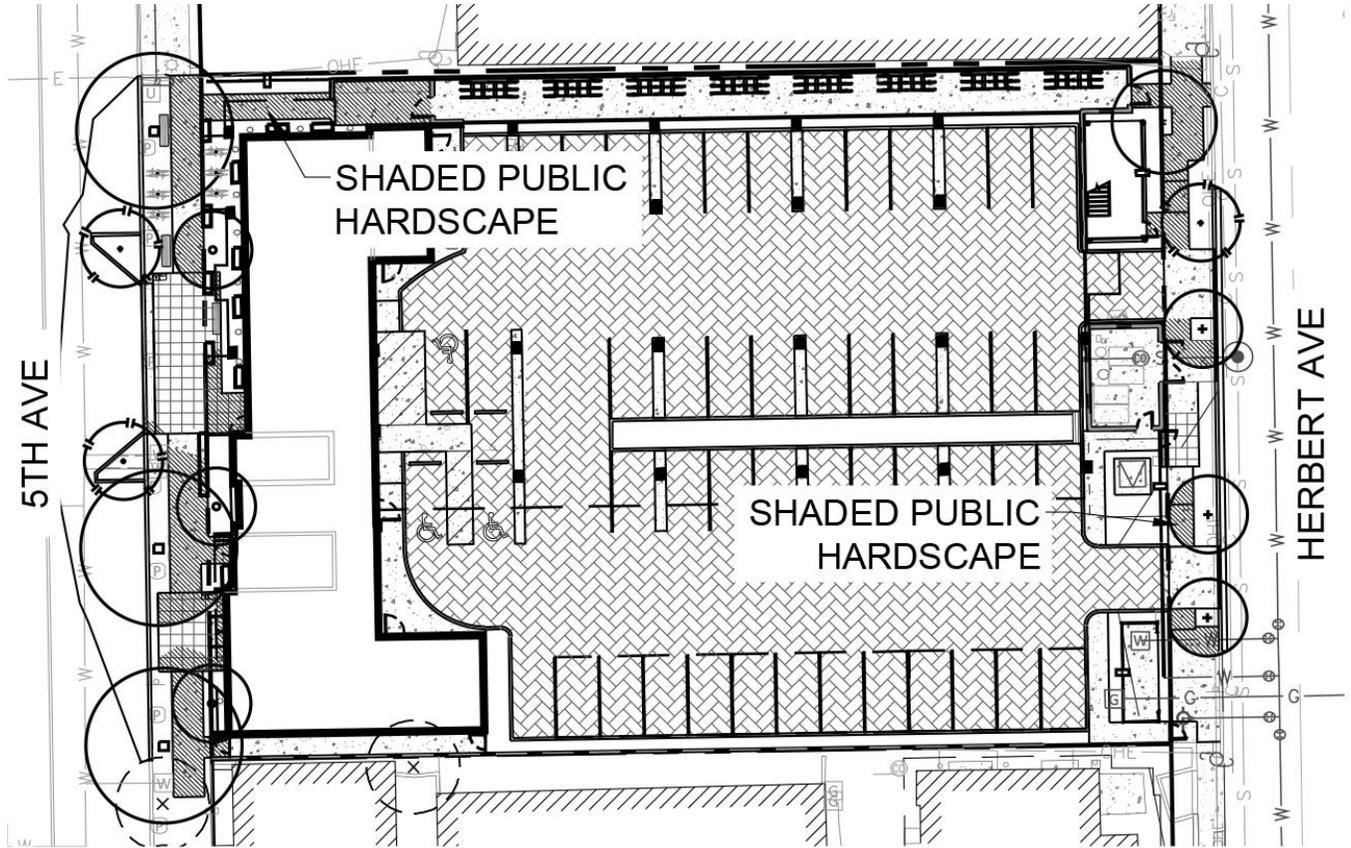
127 S 5th will not create significant adverse effects to adjacent properties. The apartments will be marketed to a professional clientele who are looking for a peaceful urban existence. While we can't guarantee that if the UofA wins a national championship, there won't be cheering from the balconies, regular inappropriate and

immature activities will be unlikely and will be addressed in the lease language. One level of covered parking will be provided off Herbert Avenue. Any other use of the lot that has the potential to create a nuisance, such as vehicle repair, will be prohibited. All apartments will be provided with balconies that provide outdoor space for the residents while also shading the building thus helping to reduce the possibility of glare from upper windows and glazed doors. 127 S 5th will not impact the natural light enjoyed by residential properties to the south as illustrated in shading diagrams included herein.

5. Describe how the project will create a pedestrian-oriented streetscape in compliance with the Streetscape Design Standards (UDC Sec. 5.12.8.A).

1. Architectural elements/details at first two floors: A contemporary design with a focus on residential living, 127 S 5th provides variety of architectural elements at the first two floors with different massing, glazing, colors, and a variety of solid materials including stucco, concrete, and metal. The glazing along 5th Avenue will provide open views into the lobby and office area that will expand the streetscape experience into the building. A pattern of small windows in the masonry stair tower will provide architectural interest both day and night and will help reduce the scale of the tower element itself. Balconies at the second level apartments will help provide a sense of pedestrian scale along the sidewalk and will add interesting shadow effects on the façade that will change with the sun. The façade is broken into a variety of forms, materials, and colors that elevate the pedestrian experience and preclude monotony. The IID standard will be easily met.
2. Glazing: While no more than 30% of the building is glazed, thus providing for a more sustainable building and reducing the potential for glare, the ground floor will be glazed for at least 50 percent of the frontage. This will allow the activities inside the lobby and office to be easily viewed from the sidewalk and expand the streetscape experience. It will meet the IID standard.
3. Façade: The primary façade plan along 5th Avenue has architectural elements spaced less than 50 feet apart meeting the IID standard.
4. Entrance Doors: The main entrance doors will be readily identifiable from the street to meet the IID standard. They will be lighted for visibility and safety, and lighted building signage or graphics will provide additional identification.
5. Commercial Services: There are no commercial services in 127 S 5th. The building is for residential use only.
6. Sidewalks: The sidewalks along 5th Avenue will meet City standards and will be accentuated with a variety of score patterns, colors, and concrete paver materials. A new sidewalk that meets City standards will be provided along Herbert Avenue.

7. Shade: Landscaping along both 5th and Herbert Avenues will provide shading for at least 50% of the sidewalk area as measured at 2:00 p.m. on June 21.



SHADE STUDY

Public hardscape total area	2,412 SF
Public hardscape shade required (50%)	1,206 SF
Public hardscape shade provided	1,530 SF

6. **Describe how the project will support a safe streetscape coordinated with adjoining properties.**

A combination of street trees and landscaping in raised planters and accessible sidewalk surfaces will provide for a separation of pedestrian from vehicular traffic. The sidewalks will tie into existing sidewalks at adjacent properties to maintain, or in the case of Herbert Avenue, create a continuous pedestrian connection. Herbert Avenue currently has no accessible sidewalk; this will change with the 127 S 5th project. Existing utility poles that impede pedestrian flow and impact the aesthetics of the area

on 5th and Herbert Avenues will be removed. Access to the parking lot off Herbert Avenue is gated. This will help slow down vehicular traffic to and from the lot, thus providing for safer pedestrian access.

7. Describe how the project will transition to adjacent existing residences and provide privacy mitigation in compliance with the Development Transition Standards (UDC Sec. 5.12.8.B).

The site abuts a lot with five small residential-scaled and used buildings. One of the buildings located at the northwest corner of that lot does not appear to be a residence because utilities appear to be cut off and meters removed; however, for the purpose of this discussion, it is considered residential. This building is built on the north property line. The existing approximately 20-foot high office building to be demolished for 127 S 5th is just two feet to the north of this property line. The only window in the north wall of the residential building appears to be infilled with glass block. The IID standard (UDC 5.12.8.B.2) requires that 127 S 5th be no more than 25 feet high within 30 feet of the property line. The setback of 127 S 5th from the north property line is 4 feet, and the building is 25 feet high to 30 feet from the property line. This portion of 127 S 5th houses the management office, a computer space for residents, and a roof deck. A new tree will be provided at the corner of the property for shade and to help with the transition from the residential building to 127 S 5th. A concrete slab at grade will facilitate drainage away from both buildings. The other residential buildings on the site to the south are not impacted by 127 S 5th. They are currently adjacent to a parking lot on the 127 S 5th property as they will be with the new project.

8. Indicate whether the project will significantly impede solar energy options to adjacent properties.

Solar energy options to a number of adjacent properties are not significantly impeded, and a review of available aerial views from 2018 show that there appear to be no solar devices on any buildings in the vicinity of 127 S 5th of concern. Reference the shade study enclosed. Located at the north end of the site, the buildings most impacted for solar energy options are the commercial buildings to the north of 127 S 5th. Properties immediately west and east of the new apartment building will experience shading in the early and late hours of the day only.

9. Describe the types of drought tolerant and native landscaping that will be used in the project and how it will be used to enhance the project.

The enclosed landscape plan illustrates the drought-tolerant and native landscaping planned for 127 S 5th. Landscaping is a significant design element that enhances both the site and building.

Historic Preservation Standards – UDC 5.8.9

While 127 S 5th is not located in an HPZ zone it is adjacent to contributing structures. These structures are part of a residential-scaled apartment complex consisting of 5 buildings and ten apartments. Staff requested that 127 S 5th comply with Section 5.8.9 regardless.

- A. Generally
 - 1. Alterations: Not applicable
 - 2. Contributing Property: Not applicable
 - 3. New Construction or Noncontributing Property within an HPZ: Not applicable. Site is not in an HPZ.
- B. Height
 - 1. Historic Landmark: Not applicable
 - 2. Contributing Property: Not applicable
 - 3. New Construction or Noncontributing Property: This site is subject to height restrictions of its C-3 zone, the maximum of which is 75-feet to the highest point of a flat roof.
- C. Setbacks
 - 1. Historic Landmark: Not applicable
 - 2. Contributing Property: Not applicable
 - 3. New Construction or Noncontributing Property: 127 S 5th meets the UDC requirements for building setbacks and maintains the prevailing setbacks within its development zone.
- D. Proportion
 - 1. Historic Landmark: Not applicable
 - 2. Contributing Property: Not applicable
 - 3. New Construction or Noncontributing Property: This site is subject to height restrictions of its C-3 zone, the maximum of which is 75-feet to the highest point of a flat roof. As discussed elsewhere, a setback is provided meeting the requirements of the IID from the contributing property to the south.
- E. Roof Types
 - 1. Historic Landmark: Not applicable
 - 2. Contributing property: Not applicable
 - 3. New Construction or Noncontributing Property: 127 S 5th will have a flat roof that is consistent with other buildings in the development zone.
- F. Surface Texture
 - 1. Historic Landmark: Not applicable
 - 2. Contributing property: Not applicable
 - 3. New Construction or Noncontributing Property: The primary surface materials of historic or eligible properties in the development zone are stucco and masonry, both of which can be found at 127 S 5th. The contributing buildings to the north are covered in a Perma-Stone-type material. Perma-Stone is the trademark for a

cement product that is applied over the building façade and manipulated to look like stone. Oftentimes, the original character of a building is covered or destroyed by the application of this product. First developed in 1937, it was created to cover poorly constructed or difficult-to-maintain exterior walls. It is unique to the contributing apartment buildings to the south of 127 S 5th. The product is not appropriate for and will not be used at 127 S 5th.

G. Site Utilization

1. Historic Landmark: Not applicable
2. Contributing property: Not applicable
3. New Construction or Noncontributing Property: While a larger building than adjacent properties, the 127 S 5th building is sited in an “L” shape on the north and west property lines. Parking is located at grade on the east side of 127 S 5th. Contributing buildings to the south of the site are also located on the property lines around the perimeter of the property, and open space on the property is similarly used for vehicular access and parking.

H. Projections and Recessions

1. Historic Landmark: Not applicable
2. Contributing property: Not applicable
3. New Construction or Noncontributing Property: 127 S 5th includes recessed areas and projections complementing other buildings in the development zone.

I. Details

1. Historic Landmark: Not applicable
2. Contributing property: Not applicable
3. New Construction or Noncontributing Property: The architecture in the development zone is diverse, and each property offers a unique look which defines the “historic” character of the development zone. Similarly, 127 S 5th will have contemporary architectural details, overhangs and effects that will be compatible with its neighbors.

J. Building Form

1. Historic Landmark: Not applicable
2. Contributing property: Not applicable
3. New Construction or Noncontributing Property: 127 S 5th is a 7-story apartment building that is taller than any other building in the development zone. It still employs massing and scale-reducing elements and features that will allow it to contribute to the character of the development zone.

K. Rhythm

1. Historic Landmark: Not applicable
2. Contributing property: Not applicable
3. New Construction or Noncontributing Property: A largely glazed first floor will allow passersby a look into 127 S 5th's first floor activities which is a new experience for the development zone. Above the first floor, windows will complement the rhythm of windows and openings in the area.

L. Additional Review Standards

1. Color: The red clay masonry material used at 127 S 5th will complement nearby masonry buildings. Natural concrete, rusted steel, dark bronze metal building panels, light blue-tinted windows in clear aluminum sash, natural galvanized-finished siding at the east stair tower, and EIFS in an integral-colored earth tone hue are the other colors that will be used.
2. Landscaping: Landscaping was selected to be compatible with the rest of the development zone. The landscape plan is included herein.
3. Enclosures: Rusted metal fencing is used on the east side of the building. Otherwise, no other fencing will be found on the property.
4. Utilities: As much as possible and allowed by the utility company, existing aboveground power and telephone lines will be located underground.

M. Signs

1. No off-site signs are planned.
2. The building will be an apartment building and will not have individual businesses. Signage will be limited to what is required to identify the building.
3. Any signage will meet COT requirements for size.
4. Signs will not extend above the top of the building or structure.
5. Any signage will meet COT requirements for lighting, materials, and colors.
6. Remote light sources within HPZ: Not applicable

N. Motor Vehicle and Bicycle Parking Areas: A screened parking area is provided on the east side of the site using parking structures and rusted-steel fencing.

SECTION 4 – STREETScape INTERIM POLICY

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

111-127 S 5th Avenue Apartment Building Downtown Streetscape Interim Policy

127 S 5th is in the Downtown Entertainment District Character Area and is impacted by the Downtown Streetscape Interim Policy. Following are our responses to the standards listed in the Interim Policy:

- **Street Trees**
New shade trees will be provided on 5th and Herbert Avenues in 24” and 36” minimum box sizes and will include Velvet Mesquite, Palo Blanco, Red Push Pistache, Silver Peso Texas Mountain Laurel, and Little Leaf Ash. Building management will monitor the trees as required to ensure clear pedestrian movement under the tree canopies.
- **Pavers**
Sidewalks on 5th Avenue will be accessible and constructed with a combination of standard scored gray concrete and brick pavers for an attractive and interesting walking experience. The sidewalks will meet PAG detail requirements, will be constructed with approximately 30% brick pavers, and will vary in width to provide a more meandering feel, accented with landscaping and raised planters. The sidewalk on Herbert Avenue will be concrete.
- **Paving**
The parking area on the east side of the building will consist of traffic-rated concrete integral color paver in lieu of asphalt. Sidewalks on 5th and Herbert Avenues will consist of concrete with a medium broom finish over approximately 70% of the hardscape area accented with brick pavers, landscaping, and raised planters on 5th Avenue.
- **Street Furniture**
Short-term bicycle racks along 5th Avenue will be joined by benches and trash receptacles. These will be powder-coated metal and will be an grey earth tone color. Herbert Avenue is for service and vehicular parking. No street furniture will be located on this street.
- **Planters and pots**
Rusted steel raised planters will be provided along 5th Avenue. These planters will be approximately 1-foot in height.
- **Pedestrian lighting**
Lighting for pedestrian areas will be provided by building mounted lighting that complies with the city’s Outdoor Lighting Code and that appropriate for the building architecture.

SECTION 5 – IID RESPONSE AND MODIFICATION REQUESTS

IID DESIGN PACKAGE

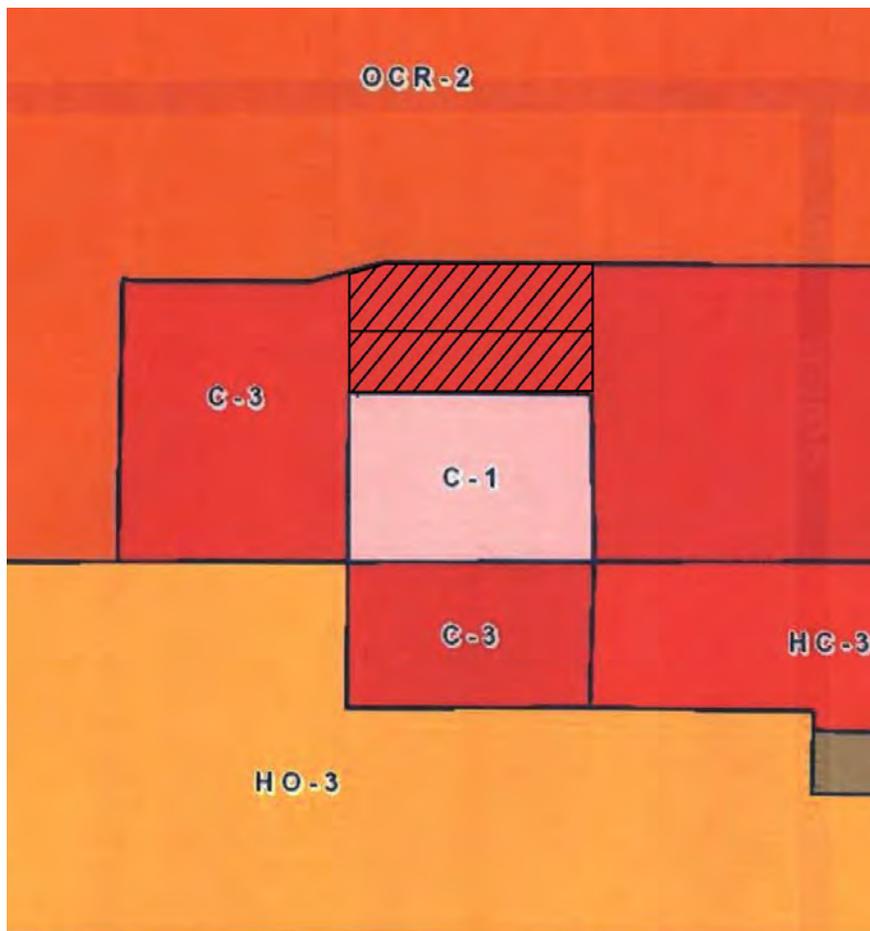
111-127 S 5th Avenue Apartment Building

Zoning

A part of the Downtown Core Subdistrict and the Rio Nuevo Area, 127 S 5th is a C-3 (Commercial) zone. As illustrated on the zoning map, it is surrounded by commercial zoning as noted below:

- North: OCR-2 Zoning (Office/Commercial/Residential)
- South: C-1 Zoning (Commercial)
- West: C-3 Zoning (Commercial)
- East: C-3 Zoning (Commercial)

Further to the south but not adjacent to the site is primarily HO-3 (Historic Office) zoning for the Armory Park neighborhood with an area of C-3 (Commercial Zoning) south of the C-1 zone referenced above and HC-3 (Historic Commercial) zoning to the east of that. No other overlay zones or subdistricts impact the site. Multi-family apartment buildings are permitted in a C-3 zone.



▨ 127 S 5th

The site is in a C-3 (Commercial) zone. It is also governed by the Rio Nuevo Area (“RNA”) and Downtown Core Subdistrict (“DCS”) zoning design standards. Except where noted otherwise in the RNA and DCS, regulations and standards of the underlying zoning apply. The following underlying zoning requirements apply to this zone:

- Permitted Land Use: UDC Table 4.8-4: Multi-family Development (no use-specific standards).
This project will be a multi-family development.
- Building Height: UDC Table 6.3-4.A: 75 feet to highest point of flat roof.
A maximum 75 feet is proposed to the top of the flat roof.

RIO NUEVO AREA

Following are standards of the Rio Nuevo Area, some of which require modification:

- Building Design Standards, UDC Section 5.12.7.C
 1. Respect the scale of buildings located in the development zone and provide an orderly transition to a different scale pursuant to Section 5.12.8.B.
 - a. Within the DCS, the maximum height of a proposed building is 25 feet within 30 feet of the property line adjacent to single family detached residential property. Buildings may be built to the maximum height allowed by the underlying zoning when the building is 30 feet or more from the residential property.
An apartment complex abuts the south property line with five small buildings housing approximately 10 rental units. The property is considered non-residential by the UDC. The three buildings immediately adjacent to 127 S 5th contain 8 apartment units; two apparently single-family buildings stand on the 12th Street portion of the site. Staff advised that the 30-foot setback would be required for 127 S 5th. To respect the residential scale of this site, the west wing of 127 S 5th is 25 feet high for a distance of approximately 32 feet from the residential property line and rises to under 75 feet beyond that distance.
 - b. A building façade facing a single-family detached or duplex residential property line may require bulk reduction.
The adjacent property to the south is an apartment complex and is considered non-residential by the UDC. The major east-west section of the proposed building is set back approximately 47 feet from the multi-family residential property line to the south measured to the line of the balconies. The wall of the building is another 5 feet to the north for a setback of approximately 52 feet. The balconies help break up the mass. The portion of

the building that is set back approximately 32 feet serves the apartment buildings as a stair tower.

- c. Windows at or above the second story shall be located or treated to reduce views into the rear or side yards of the affected residential property.
The adjacent property is an apartment complex and is considered non-residential by the UDC. The window wall is approximately 52 feet north of the apartment complex. Only 30% of the wall area is window area, and they all open out onto balconies. All windows will be provided with interior rolling shades.
- d. Balconies shall be oriented away from affected residential property or use a screening device to reduce views into the rear or side yards of the affected residential property.
The adjacent property is an apartment complex and is considered non-residential by the UDC. Balconies have cable rail guard rail up to the 4th floor. Floors 5 to 7 have glass guard rails.
- e. The developing site's buildings shall be oriented to reduce views onto an affected residential property.
The adjacent property is an apartment complex and is considered non-residential by the UDC. Views are possible into the narrow back yards of the single-story apartment buildings. The apartment building at 128 S Herbert Avenue is a single-story building with tall walls and clerestory windows. Views into the clerestory windows do not extend down to the floor.
- f. Buffers and/or screening consistent with the purpose of this section shall be provided between a developing site and affected residential properties and shall include features such as, but not limited to, landscaping, walls, and architecturally decorative features.
The adjacent property is an apartment complex and is considered non-residential by the UDC. The existing building at 133-135 N 5th and Herbert Avenues is built within two feet of the 127 S 5th property line. The 2-story west wing of 127 S 5th, a solid wall, will be constructed 4 feet north of this property line. There will be no screening. The middle apartment building and 128 S Herbert have narrow backyard areas with a 5-foot wood fence on the property line. These buildings will look out over the new parking lot, as they do now, which will have covered parking and concrete pavers in lieu of asphalt.

2. All new construction must be consistent with the prevailing setback existing within its development zone except as approved by the PDS Director.
The 127 S 5th site is zoned C-3 (Commercial) and is surrounded by commercial zoning. No setback is required.
3. All new construction shall provide scale-defining architectural elements or details at the first two floor levels, such as windows, spandrels, awnings, porticos, cornices, pilasters, columns, and balconies.
The first two floor levels at 127 S 5th have scale-defining architectural elements including balconies, colored unit masonry, windows, columns, interior colors, important stair and elevator elements, and varying space heights that can be experienced from the sidewalk.
4. Every commercial building frontage shall provide windows, window displays, or visible activity within and adjacent to the building at the ground floor level with a minimum of 50% of the building frontage providing such features.
The 127 S 5th building is not a commercial building; however, the first floor is glazed over more than 50% of the frontage providing excellent views into the activity of the first-floor lobby and office areas.
5. A single plane of a façade at the street level may not be longer than 50 feet without architectural relief or articulation by features such as windows, trellises, and arcades.
The façade at street level is well-articulated with windows, varying surface detail, solid areas, and massing.
6. Building façade design shall include pedestrian-scaled, down-shielded, and glare-controlled exterior building and window lighting.
Down-shielded and glare-controlled exterior building and window lighting will be provided.
7. Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare.
The 127 S 5th building will not impact adjacent properties and rights-of-way with reflected heat and glare. Building materials will be selected to minimize such impacts, and windows will be treated against glare.
8. Buildings shall be designed to shield adjacent buildings and public rights-of-way from reflected heat and glare.
The 127 S 5th building will not impact adjacent properties and rights-of-way with reflected heat and glare. Building materials will be selected to minimize such impacts, and windows will be treated against glare.

9. Safe and adequate vehicular parking areas designed to minimize conflicts with pedestrians and bicycles shall be provided.
Parking is provided on the east side of the property with vehicular access from Herbert Avenue. Bicycle access is primarily on and from 5th Avenue. An Individual Parking Plan was submitted and approved by the city for 50 parking spaces.
 10. Adequate shade shall be provided for sidewalks and pedestrian pathways, using shade structure or vegetation.
Sidewalks on 5th and Herbert Avenues are adequately shaded by trees.
 11. Colors may conform to the overall color palette and context of the Downtown area or may be used expressively to create visual interest, variety, and street rhythms.
Building colors will conform to the overall color palette and context of the Downtown area. Interior colors particularly at the first-floor lobby area will create visual interest for passersby.
 12. New buildings shall use materials, patterns, and elements that relate to the traditional context of the downtown area.
Predominant materials in the downtown area surrounding 127 S 5th include brick, concrete, painted stucco, and glass. The contributing buildings to the south of the property are faced with a Perma-Stone-type material. This material is used to provide a fake stone-like appearance for buildings and is often used to create more maintenance-free façades. The material is not consistent with the rest of the downtown area and is not used at 127 S 5th.
 13. Primary public entries shall be directly accessed from a sidewalk along a street rather than from a parking lot.
Primary access to the building is provided directly from the sidewalk on 5th Avenue.
- Site Design Standards
 1. Vehicular Circulation
 - a. All parking area access lanes (PAAL's) adjacent to buildings shall have pedestrian circulation paths between the PAAL and the building, with a minimum width of six feet.
An accessible parking area is provided off the PAAL on the east side of the building with a minimum 5-foot wide and up to 9' wide sidewalk between the spaces and the building. The sidewalk adjacent to the northmost parking spaces is 6 feet wide.

- b. The locations of all points of vehicular ingress and egress shall be perpendicular to the intersecting street and be designed to minimize vehicular/pedestrian or bicycle conflicts. Adequate storage for vehicular queuing at parking facilities shall be contained on site.

There are two points of ingress and egress from the parking lot. Both are gated to slow traffic entering and leaving the site. Herbert Avenue is a low intensity one-way street traveling north to Broadway.

2. Parking

- a. General Parking standards are listed in Section 7.4. Properties located in the Downtown Parking District may be allowed a reduction in the number of parking spaces.

An Individual Parking Plan was submitted and approved for 50 parking spaces.

- b. Screening of parking shall be designed so that vehicles are not visible from the adjoining street level.

The parking area off Herbert Avenue is screened from the street by building elements (stairs), an enclosed trash facility, and a utility enclosure. Parking spaces are covered by parking structures or by the building itself.

3. Plazas and Open Space

- a. Plazas and Pedestrian Nodes: Five percent of the gross floor area of new construction shall be provided in public plazas or courtyards.

*No public plaza or courtyard is provided with this project. A private observation deck is provided for resident use above the office/business center portion of the building at the southwest corner. **A modification for plazas and courtyards is requested.***

- b. Viewshed Corridors

Views of nearby historic properties are not impacted by 127 S 5th.

- c. Neighborhood Linkages: Neighborhood linkages shall be maintained.

Enhanced sidewalks replace existing to maintain neighborhood linkages on both 5th and Herbert Avenues.

- ## 4. Shade: Provide shade for at least 50 percent of all sidewalks and pedestrian pathways as measured at 2:00 p.m. on June 21.

Shade is provided on at least 50% of the sidewalks on 5th and Herbert Avenues by use of shade trees.

DOWNTOWN CORE SUBDISTRICT

Following are standards of the Downtown Core Subdistrict, some of which require modification:

1. Land Use Type: The use is permitted under Section 5.10.A. **No modification for land use is requested.**
2. Building Height: The maximum building height is governed by the C-3 zone. The maximum building height in a C-3 zone is 75 feet to top of a flat roof. In addition, a four-foot parapet is allowed. Stairway bulkheads, elevator shafts, and mechanical penthouses may rise 10-feet above the flat roof. Effectively, the height allowed for the building facade including its parapet is 79 feet. The roof height of 127 S 5th is under 75 feet, and functional elements and parapets will not exceed the height requirements even with adjustments that could be required during design. **No modification for height is requested.**
3. Perimeter Yard: Per UDC Section 6.3, the perimeter yard standard from UDC Section 6.3 is exempt. **No modification for perimeter yard is requested.**
4. Lot Coverage: Per UDC Section 6.3, no maximum lot coverage is specified. **No modification for lot coverage is requested.**
5. Landscaping: Landscaping and screening per Section 7.6 shall be in accordance with the City's drought-tolerant plant list. **A modification for landscaping and screening requirements of Section 7.6 is requested.**
6. Bicycle parking: The required number of bicycle parking spaces may be reduced pursuant to an IID Parking Plan; however, bicycle parking for 127 S 5th exceeds the requirements. Seven short term and 36 long term spaces are required. This project provides 12 short term and 144 long term parking spaces. **No modification for bicycle parking is required.**
7. Off-Street Parking: The IID requires 90 vehicular parking spaces for 127 S 5th. An Individual Parking Plan was submitted and approved for 50 vehicular parking spaces. **No additional modification for vehicular parking is requested.**
8. Native Plant Preservation: Where applicable, applicants are strongly encouraged to comply with Section 7.7, Native Plant Preservation. Compliance is assured for this project. **No modification for Native Plant Preservation is requested.**
9. Rio Nuevo: All applications shall be in accordance with Section 5.12.7.C.6, .9, .12, .13, and .14, and Section 5.12.7.D.3. Open space is defined in the DCS as stated in

Section 5.12.11.B.6, Downtown Links Subdistrict. 127 S 5th building façade design is pedestrian-scaled, and all exterior lighting will be shielded and/or directed downward. Reflected heat and glare will be mitigated with the design of the building and site. Building materials used are commonly found in the immediate neighborhood and downtown in general. This building is for residential purposes only; no commercial use will be in the building. Landscape open space is provided on both 5th and Herbert Avenues. In addition to 9,000 square feet of private open balconies at each suite, an open-air, 800 square foot roof/observation deck can be found above the office/business center at the second floor. While the UDC does not count the balconies and roof deck as contributing to open space, they serve the purpose of providing outdoor recreational space for the residents and their guests. Open space, as defined by the UDC, provided on the site is 3,030 square feet or approximately 3% of the gross building area. **A modification for open space is requested**

10. Solid Waste Collection: Per the Technical Standards Manual, UDC Section 8-01.5.0, enclosures are required with gates, leakproof containers stored within enclosures, and, if used, a stationary compactor unit shall be screened from adjacent properties and public right-of-way. At 127 S 5th, we plan to utilize a compactor trash enclosure located within the building footprint along Herbert Avenue and screened from the right-of-way. In addition, trash pickup will occur 3 days a week in order to ensure proper removal. It will also be the owner's/management's responsibility to ensure bins are rolled into Herbert Avenue at schedule pickup times as determined by City of Tucson Environmental Services and returned into the enclosure after collection. **A modification for solid waste collection is requested.**
11. Building Bulk Reduction: the project does not abut any single-family properties; however, Staff requested that bulk on the south side of the project be reduced for the residential-scaled apartment complex at that property line. The 7-story 127 S 5th building is positioned with views to the north, south, and west and is situated at the north end of the site. South-facing windows and balconies are located approximately 52 feet north of the adjacent commercial property lines. The backside of the residential-scaled apartment structures are approximately 10 feet from the property line behind a 5-foot high wood fence. The east-most 2-unit apartment building has one floor but has a nearly 2-story height with clerestory windows around the perimeter. The middle 4-unit apartment building is 1-story tall. The building at 133-135 N 5th Avenue is just 2-feet south of the existing office building has a 2-story addition with windows facing on three sides. The building also has a glass block window facing north. A building section is provided herein showing the relationship of 127 S 5th to the residential properties. **A modification for building bulk is not required because the project is not adjacent to single-family residential properties or zones.**

12. Lot Coverage: Lot coverage in a C-3 zone has no requirement for non-residential buildings per UDC Table 6.3-4.A. A multi-family building, such as 127 S 5th, is considered non-residential for planning purposes per UDC 6.3.3.C. **No modification for lot coverage is requested.**

**SECTION 6 – DEVELOPMENT PACKAGE –
DP19-0122 (INCLUDING REVIEW
COMMENTS)
IID DESIGN PACKAGE
111-127 S 5th Avenue Apartment Building**

GENERAL NOTES

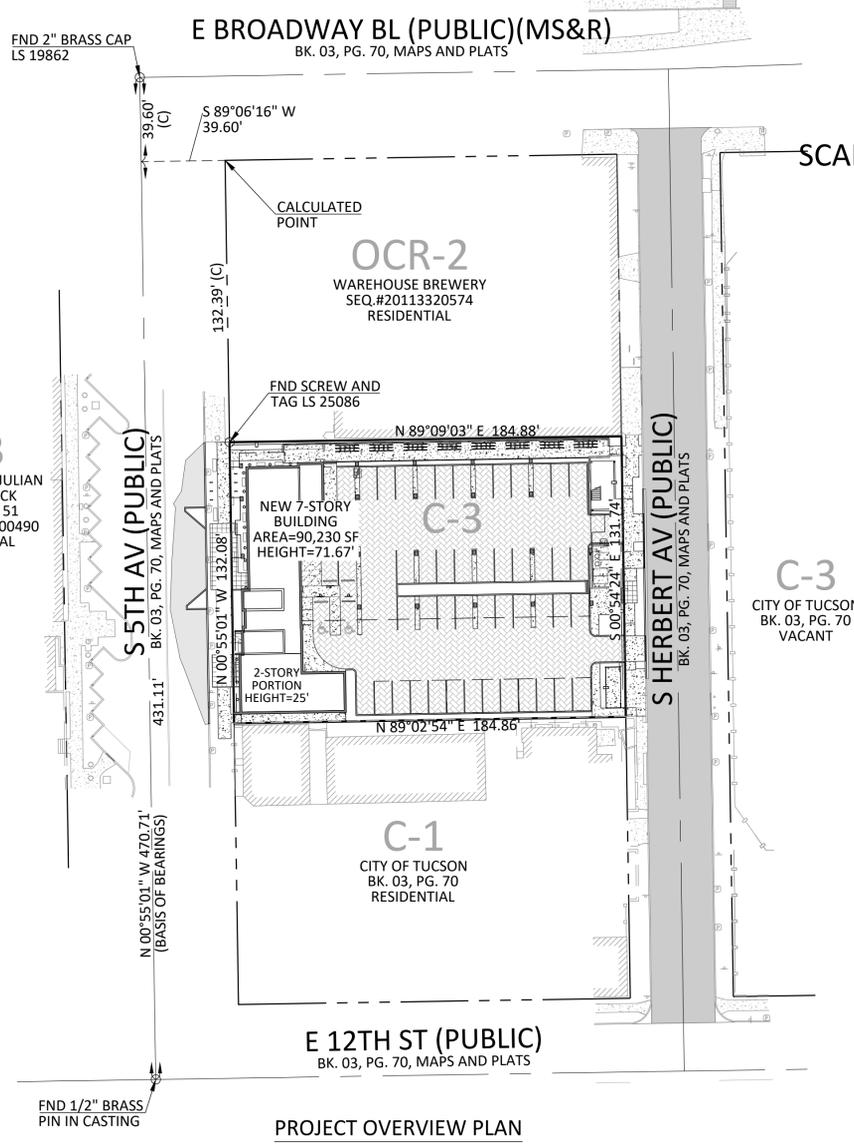
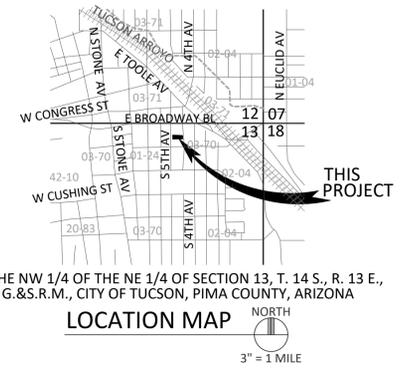
- OWNER/DEVELOPER:
FIFTH AVENUE PARTNERS OF, LLC
6340 NORTH CAMPBELL AVENUE, SUITE 170
TUCSON, ARIZONA 85718
- THE EXISTING ZONING IS C-3, NO ZONING CHANGE REQUESTED FOR THIS PROJECT.
- THE EXISTING USE IS COMMERCIAL. THE PROPOSED USE OF THE DEVELOPMENT IS **MULTIFAMILY RESIDENTIAL** AND IS NOT SUBJECT TO ANY USE-SPECIFIC STANDARDS.
- THE GROSS SITE AREA IS **24,386** SQUARE FEET, OR **0.56** ACRES.
- THE TOTAL BUILDING GFA IS **90,230** SF. THE TOTAL NUMBER OF UNITS IS 96.
- THE TOTAL ON-SITE DISTURBED AREA FOR THIS DEVELOPMENT IS APPROXIMATELY **24,386** SF. THE TOTAL OFF-SITE DISTURBED AREA IS APPROXIMATELY **4,500** SF.
- THE ASSESSOR'S PARCEL NUMBERS FOR THIS PROJECT ARE 117-06-2060 AND 117-06-2070.
- THE DEVELOPER, ANY SUCCESSORS AND ASSIGNS, WILL HOLD THE CITY OF TUCSON, ITS OFFICERS, EMPLOYEES, AND AGENTS HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES RELATED TO THE USE OF THIS SITE PLAN AS SHOWN HEREON, NOW AND IN THE FUTURE, BY REASON OF FLOODING, FLOWAGE, EROSION, OR DAMAGE CAUSED BY WATER, WHETHER SURFACE FLOOD OR RAINFALL.
- DRAINAGE WILL REMAIN IN ITS NATURAL STATE AND WILL NOT BE ALTERED, DISTURBED, OR OBSTRUCTED OTHER THAN AS SHOWN ON THIS SITE PLAN.
- NO STRUCTURE OR VEGETATION SHALL BE LOCATED OR MAINTAINED SO AS TO INTERFERE WITH THE SIGHT VISIBILITY TRIANGLES IN ACCORDANCE WITH SEC. 10-01.5.0, SIGHT VISIBILITY, OF THE TECHNICAL STANDARDS MANUAL.
- ANY RELOCATION, MODIFICATION, ETC., OF EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS NECESSITATED BY THE PROPOSED DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- ON-SITE SANITARY SEWERS WILL BE PRIVATE AND WILL BE CONSTRUCTED, OPERATED AND MAINTAINED ON A PRIVATE BASIS, AND IN ACCORDANCE WITH AN APPROVED OPERATION AND MAINTENANCE PLAN, IF REQUIRED. THE LOCATION AND METHOD OF CONNECTION TO AN EXISTING PUBLIC SANITARY SEWER IS SUBJECT TO REVIEW AND APPROVAL BY THE PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT AT THE TIME OF SUBMITTAL OF PLUMBING/BUILDING PLANS.
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE (PIMA COUNTY ORDINANCE NO. 1991-140, OR AS AMENDED).
- MAINTENANCE AND OPERATION OF THE PROPOSED PRIVATE SANITARY SEWER TO ITS POINT OF CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER IS THE RESPONSIBILITY OF EACH AND EVERY PROPERTY OWNER WITHIN THIS DEVELOPMENT.
- A PROJECT CONSTRUCTION PERMIT MUST BE SECURED FROM PIMA COUNTY REGIONAL WASTEWATER RECLAMATION DEPARTMENT BEFORE BEGINNING ANY WORK ON THIS PROJECT.
- ACCESSIBLE STANDARDS MUST BE MET PER 2012 IBC, CHAPTER 11, AND 2009 ICC A117.1.
- PROVIDE A PERMANENTLY POSTED METAL SIGN CONFORMING TO TUCSON CODE SECTION 20-222, THE INTERNATIONAL HANDICAP SYMBOL PAINTED IN THE SPACE, AND AN ACCESSIBLE AISLE AT 2% MAXIMUM SLOPE LEADING TO ADJACENT SIDEWALK AT EACH ACCESSIBLE PARKING SPACE. SAID METAL SIGN SHALL INCLUDE THE "INTERNATIONAL SYMBOL OF ACCESS" AND BOTTOM OF SIGN SHALL BE LOCATED 7" ABOVE THE PARKING SURFACE. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN MOUNTED BELOW THE "INTERNATIONAL SYMBOL OF ACCESS" IDENTIFYING THE SPACE AS "VAN ACCESSIBLE".
- THE MINIMUM WIDTH OF THE HANDICAP ACCESSIBLE ROUTE SHALL BE 36", THE MAXIMUM SLOPE SHALL BE 8.33% AT RAMPS (6" MAXIMUM RISE) AND 5% ELSEWHERE WITHOUT HANDRAILING AND WITH HANDRAILING WHERE GREATER THAN 5%. THE MAXIMUM CROSS SLOPE SHALL BE 2%. NO LEVEL CHANGES OR STEPS SHALL BE PERMITTED ALONG THIS ROUTE.

GENERAL NOTES (cont.)

- DIMENSIONAL STANDARDS PER U.D.C. SEC. 6.3 FOR C3 ZONING:
RESIDENTIAL DENSITY CALCULATION:
MAXIMUM = N/A
ACTUAL = 96/0.56 = 171 UNITS/ACRE
SITE COVERAGE CALCULATION: N/A
MAXIMUM BUILDING HEIGHT = 75'
ACTUAL BUILDING HEIGHT = 71.67' MAX.
BUILDING SETBACKS:
NORTH - 0'* = 10.1' MIN.
EAST (STREET) - 0'* = 3.2' MIN.
SOUTH - 0'* = 4.3' MIN.
WEST (STREET, FRONT) - 0'* = 0' MIN.
NOTE: FOR DIMENSIONAL STANDARDS PURPOSES, MULTIFAMILY DEVELOPMENT IS NOT CONSIDERED A RESIDENTIAL USE PER SECTION 6.3.3.C.
*NOTE: WITHIN THE DOWNTOWN CORE SUBDISTRICT (DCS), DIMENSIONAL STANDARDS MAY BE MODIFIED OR EXEMPT PER SECTION 5.12.10.C.
- PARKING REQUIREMENTS:
MOTOR VEHICLE PARKING:
UDC: 1.25 SPACES PER DWELLING UNIT FOR MULTI-FAMILY (OVER 70 UNITS/ACRE)
IID: PER THE INFILL INCENTIVE DISTRICT OVERLAY A 25% REDUCTION IN REQUIRED PARKING IS ALLOWED.
IPP: PER THE INDIVIDUAL PARKING PLAN, ACTIVITY #T19SA00227 APPROVED JULY 18, 2019, THE REQUIRED PARKING FOR THIS PROJECT IS 50 ON-SITE SPACES, WITH THE FOLLOWING CONDITION:
A. ANY PROPOSED DEDICATED RIDE-SHARE PARKING SPACE IN THE RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY TDOT.
UDC: SPACES REQUIRED = (1.25x96) = 120 SPACES
IID: SPACES REQUIRED @25% REDUCTION = 90 SPACES
IPP: TOTAL SPACES REQUIRED = 50 SPACES
TOTAL PROVIDED = 50 SPACES
ACCESSIBLE SPACES REQUIRED = 2 SPACES
ACCESSIBLE SPACES PROVIDED = 3 SPACES
BICYCLE PARKING:
SHORT TERM: 1 SPACE PER 10 BEDROOMS (2 MIN.)
TOTAL REQUIRED = (96/10)(.75) = 7 SPACES
TOTAL PROVIDED = 12 SPACES
LONG TERM: 1 SPACE PER 2 BEDROOMS (2 MIN.)
TOTAL REQUIRED = (96/2)(.75) = 36 SPACES
TOTAL PROVIDED (1 SPACE IN EACH DWELLING UNIT AND 48 IN SECURED BIKE PARKING AREA) = 144 SPACES
LOADING ZONES REQUIRED = 0 SPACES
LOADING ZONES PROVIDED = 0 SPACES
*NOTE: WITHIN DOWNTOWN CORE SUBDISTRICT (DCS), MOTOR VEHICLE PARKING, BICYCLE PARKING, AND LOADING ZONE REQUIREMENTS MAY BE MODIFIED OR EXEMPT PER 5.12.10.C.
*NOTE: PARKING REQUIREMENTS MAY BE MODIFIED PER IID PROCESS. SEE IID NOTES, SHEET 2.
- PARKING AREA LIGHTING IS PROVIDED WITHIN THIS DEVELOPMENT. NO FREE-STANDING MONUMENT SIGN WILL BE PROVIDED.
- MAIL SERVICE TO BE LOCATED INSIDE THE BUILDING.
- WASTE STREAM CALCULATION:
PER TUCSON CITY CODE 15-10.1(E) THIS SITE PRODUCES APPROXIMATELY 4995 GALLONS PER WEEK (24.7 CUBIC-YARDS).
THIS PROJECT SEEKS TO UTILIZE A COMPACTOR TRASH ENCLOSURE, LOCATED WITHIN THE BUILDING FOOTPRINT ALONG HERBERT AVENUE, AND SCREENED FROM THE RIGHT-OF-WAY. IN ADDITION, TRASH PICK-UP WILL OCCUR 3 DAYS A WEEK IN ORDER TO ENSURE PROPER REMOVAL. IT WILL ALSO BE THE OWNER'S/MANAGEMENT'S RESPONSIBILITY TO ENSURE BINS ARE ROLLED INTO HERBERT AVENUE AT SCHEDULED PICK-UP TIMES AS DETERMINED BY CITY OF TUCSON ENVIRONMENTAL SERVICES, AND RELOCATED WITHIN THE BUILDING UPON COLLECTION COMPLETION.
THE COMPACTOR WILL REDUCE THE VOLUME BY AT LEAST 50%, LEAVING NO MORE THAN 12.35 CUBIC-YARDS OF WASTE TO BE PICKED UP PER WEEK. ONE 2-CUBIC-YARD TRASH BIN AND ONE 2-CUBIC-YARD RECYCLING BIN WILL BE PROVIDED, PICKED UP 3 TIMES, TOTALING 12 CUBIC-YARDS OF CONTAINMENT PER WEEK. THERE WILL ALSO BE A SPARE 2-CUBIC-YARD TRASH BIN AND 2-CUBIC-YARD RECYCLE BIN PROVIDED FOR OVERFLOW TRASH.
- THE PROJECT IS DESIGNED TO MEET THE OVERLAY ZONE CRITERIA FOR: UDC SEC. 5.12, DOWNTOWN AREA INFILL INCENTIVE DISTRICT (IID).
- ANY WORK WITHIN CITY OF TUCSON RIGHT-OF-WAY WILL REQUIRE A RIGHT-OF-WAY PERMIT, OR A PRIVATE IMPROVEMENT AGREEMENT. CONTACT CITY OF TUCSON PERMITS AND CODES (791-4259) FOR ADDITIONAL INFORMATION.

DEVELOPMENT PACKAGE for 127 SOUTH 5TH AVENUE

AN INFILL INCENTIVE DISTRICT OVERLAY DEVELOPMENT



LEGEND	
	PROJECT BOUNDARY
	RIGHT-OF-WAY
	OTHER PARCEL LINE
	ROADWAY CENTERLINE
	EXISTING EASEMENT
	NEW EASEMENT
	EXISTING CONTOUR
	NEW CONTOUR
	SPOT ELEV. (NEW GRADE)
	SPOT ELEV. (EXIST. GRADE)
	EXISTING CURB
	EXISTING CONCRETE
	NEW CURB
	NEW PAINT STRIPE
	NEW ASPHALT
	NEW CONCRETE
	NEW BRICK/PAVERS
	NEW DECOMPOSED GRANITE
	NEW FENCE
	NEW WALL
	EXISTING PARKING METER
	EXISTING SIGN
	EXISTING STREET/TRAFFIC LIGHT
	NEW SIGN
	NEW STREET/SITE LIGHT
	EXISTING SEWER
	EXISTING WATER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING COMMUNICATION LINE
	EXISTING GAS LINE
	EXISTING SEWER MANHOLE
	EXISTING SEWER CLEANOUT
	EXISTING STORM DRAIN MANHOLE
	EXISTING WATER METER
	EXISTING BACKFLOW PREVENTER
	EXISTING WATER VALVE
	EXISTING JUNCTION BOX
	EXISTING COMMUNICATION PEDESTAL
	EXISTING POWER POLE
	EXISTING GAS METER
	EXISTING UNKNOWN UTILITY
	NEW SEWER
	NEW WATER
	NEW FIRE SERVICE
	NEW UNDERGROUND ELECTRIC
	NEW COMMUNICATION LINE
	NEW SEWER CLEANOUT
	NEW SEWER MANHOLE
	NEW WATER METER
	NEW KEYPAD
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW FIRE CONNECTION
	NEW TRANSFORMER
	SURVEY MONUMENTATION AS NOTED
	PARKING SPACE COUNT
	ZONING DIVISION
	SIGHT VISIBILITY TRIANGLE
	RIGHT-OF-WAY
	CENTERLINE
	RECORDED; CALCULATED DISTANCE
	RADIUS
	PAVEMENT (ASPHALT)
	CONCRETE
	FINISHED FLOOR ELEVATION

SHEET INDEX

1. COVER SHEET	8. LANDSCAPE PLAN
2. NOTES	9. IRRIGATION PLAN
3. SITE PLAN	10. LANDSCAPE DETAILS
4. GRADING + DRAINAGE PLAN	11. IRRIGATION DETAILS
5. UTILITIES + EASEMENTS PLAN	
6. DETAILS	
7. NATIVE PLANT PRESERVATION PLAN	

NO.	DATE	REVISION DESCRIPTION	BY

LOT 6 AND 7, BLOCK 93, "CITY OF TUCSON" PER BOOK 3, PAGE 70, MAPS AND PLATS, BEING A PORTION OF SECTION 13, T. 14 S., R. 13 E., GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
cover sheet



DP19-0122
 REF: IID-19-06; T19SA00227

GENERAL PAVING + GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL CONFORM TO THE PIMA ASSOCIATION OF GOVERNMENTS (PAG) STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, VOLUMES 1 AND 2, 2015 EDITION, EXCEPT AS MODIFIED HEREIN. (MEASUREMENT AND PAYMENT TERMS DO NOT APPLY).
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENT AGENCIES.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN AN ACCESSIBLE LOCATION ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF EXISTING IMPROVEMENTS AND VEGETATION IN THE WORK AREA. PAVEMENT, CURBS, AND ANY OTHER OBSTRUCTION DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S.-28-650.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR TO EXHIBIT EXTREME CAUTION WHEN EXCAVATING TO AVOID DAMAGING EXISTING UTILITY LINES IN AND AROUND THE AREA OF WORK. UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE AND NOT COMPLETE BUT ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME THIS PLAN WAS DESIGNED.
- CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLE AND CLEAN-OUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RING AND COVERS TO THE NEW FINISHED GRADE.
- PROJECT EARTHWORK (UNADJUSTED)(APPROXIMATE):

TOTAL CUT	TOTAL FILL	COMPOSITE
860 CY	60 CY	800 CY (C)

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID THEREON. EARTHWORK QUANTITIES SHOWN HEREON ARE ESTIMATED FOR PERMITTING PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING OR PAYMENT QUANTITIES.
- THE CONTRACTOR SHALL VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN CALCULATED QUANTITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER/DEVELOPER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES ON THE PLANS. ALL GRADE ADJUSTMENTS SHALL BE APPROVED IN WRITING BY THE OWNER PRIOR TO MAKING ANY CHANGES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND CYPRESS CIVIL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CYPRESS CIVIL.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING CYPRESS CIVIL AT 520-499-2456.
- CUT AND FILL SLOPES SHALL BE TRIMMED TO THE FINISH GRADE TO PRODUCE A SMOOTH SURFACE AND UNIFORM CROSS-SECTION. THE SLOPE OF THE EXCAVATIONS OR EMBANKMENTS SHALL BE SHAPED AND TRIMMED AS SHOWN ON THE PLANS AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS, OR OTHER WASTE MATTER EXPOSED ON EXCAVATION OR EMBANKMENT SLOPES SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM THE CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- THE GRADING CONTRACTOR SHALL EXCAVATE AND REMOVE THE SOIL BENEATH ALL DECOMPOSED GRANITE AREAS SO THAT THE FINISHED SURFACE OF THE DECOMPOSED GRANITE WILL MATCH THE FINISHED SURFACE ELEVATION AS CALLED OUT ON THESE PLANS. WATER HARVESTING AREAS SHALL BE KEPT LOW TO ACHIEVE FULL DEPTH OF WATER HARVESTING TO THE FINISHED SURFACE OF THE DECOMPOSED GRANITE. SEE LANDSCAPE PLANS FOR DECOMPOSED GRANITE AREAS.

GENERAL PAVING + GRADING NOTES (cont.)

- CYPRESS CIVIL HEREBY CERTIFIES THAT ALL FINISHED GRADED AND PAVED AREAS CONTAINED WITHIN THIS DEVELOPMENT ARE DESIGNED WITH SLOPES OF AT LEAST 0.5%. CYPRESS CIVIL FURTHER CERTIFIES THAT THE PROPOSED DESIGN PROVIDES POSITIVE DRAINAGE THROUGHOUT THE DEVELOPMENT EXCEPT WITHIN DETENTION/RETENTION AREAS OR WATER HARVESTING AREAS SPECIFIED WITHIN THE APPROVED DRAINAGE ANALYSIS FOR THIS PROJECT.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6", EXCEPT IN AREAS WITHIN 10' OF BUILDINGS, FOR STORM WATER HARVESTING. ALL LANDSCAPE AREAS SHOULD BE COMPACTED TO A MINIMUM OF 90%.
- ALL ELEVATIONS ARE AT FINISH SURFACE OF PROPOSED ASPHALT (P). ADD 0.5' FOR THE ADJACENT TOP OF CURB/CONCRETE (TC/C) ELEVATION UNLESS OTHERWISE SHOWN.
- CURB RADII ARE MEASURED TO FRONT FACE OF CURB.
- ALL DIMENSIONS FOR PARKING AREA ACCESS LANES AND PARKING SPACES AS SHOWN ON THE PLAN ARE MEASURED AT THE GUTTER LINE.
- AGGREGATE BASE COURSE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 406, MIX NO. 2.
- ALL CONCRETE SHALL CONFORM TO PAG STANDARD SPECIFICATION SECTION 1006, CLASS B, 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, OR CLASS S, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- PARKING AREA PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. THE PAINT SHALL BE WHITE UNLESS OTHERWISE INDICATED OR AS REQUIRED BY THE MUTCD.
- THE APPROVED GRADING PLAN/DEVELOPMENT PACKAGE IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON SITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, SUCH AS THE APPROVED TENTATIVE PLAT AND/OR DEVELOPMENT PLAN, FOR CONSTRUCTION PURPOSES. THE CONTRACTOR MAY ASK THE PLANNING AND DEVELOPMENT SERVICES INSPECTOR TO CONSULT WITH THE OTHER APPROVED PLANS FOR ADDITIONAL INFORMATION OR DETAILS THAT MIGHT NOT BE INCLUDED ON THE APPROVED GRADING PLAN BUT NEEDED FOR COMPLETION OF WORK.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON DEVELOPMENT SERVICES DEPARTMENT.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PDSO TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- THE PERMITTEE SHALL NOTIFY PDSO WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION. FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES/IMPROVEMENTS, UTILITY TRENCHES ARE BACKFILLED, PRIVATE PAVING AND CURB, PERMANENT PROTECTIVE DEVICES, ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED, ALL CONDITIONS OF PERMITS ARE COMPLETED, IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY OTHER REQUIRED REPORTS THAT HAVE BEEN SUBMITTED.
- ALL WORK SHALL CONFORM TO THE CITY OF TUCSON TECHNICAL STANDARDS MANUAL SEC.2-01.
- CALL FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF EARTHWORK. TO SCHEDULE A PDSO PRE-CONSTRUCTION MEETING, SWPPP INSPECTION OR GENERAL ENGINEERING INSPECTIONS, CALL THE INTERACTIVE VOICE RESPONSE (IVR) SYSTEM AT 791-3111, OR SCHEDULE WITH A CUSTOMER SERVICE REPRESENTATIVE AT THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT, OR CONTACT PDSO ENGINEERING AT 791-5550, OR SCHEDULE INSPECTIONS ONLINE AT: <https://www.velocityhall.com/accelela/velohall/index.cfm?city=tucson&state=arizona>
- ANY REVISION TO THE GRADING PLAN **MAY** REQUIRE A RE-SUBMITTAL OF A REVISED GRADING PLAN FOR REVIEW. CONTACT PDSO ENGINEERING AT 791-5550 TO DISCUSS CHANGES IN GRADING DESIGN.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.

EARTHWORK/MATERIALS TESTING + CERTIFICATION

- A GEOTECHNICAL ENGINEERING INVESTIGATION, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES HAS BEEN PREPARED BY [company]. ALL EARTHWORK OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN SAID REPORT, DATED ____, [company] PROJECT NO. ____.
- A PROJECT SPECIFIC GEOTECHNICAL ENGINEERING INVESTIGATION AND ANALYSIS WAS NOT PROVIDED TO CYPRESS CIVIL DEVELOPMENT FOR THIS PROJECT. CYPRESS CIVIL ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR THE SOILS INFORMATION SHOWN HEREON, TO INCLUDE PAVEMENT STRUCTURE SECTIONS. CYPRESS CIVIL WAS SPECIFICALLY DIRECTED BY THE PROJECT'S OWNER TO INDICATE THE PAVEMENT SECTIONS AS THEY ARE SHOWN ON THIS PLAN.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF, AND FACILITATE THE WORK OF, AN INDEPENDENT ENGINEERING TESTING LABORATORY ACCEPTABLE TO PROVIDE THE CONSTRUCTION TESTING OF THE PROJECT EARTHWORK, ASPHALT PAVEMENT AND CIVIL CONCRETE. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT INITIAL SITE CONDITIONS CONFORM WITH THE PLANS AND SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES OBSERVED SHOULD ANY SOIL CONDITION ON THE SITE BE SUSPECT OF DETRIMENTAL CHARACTERISTICS. THE CONTRACTOR SHALL BE NOTIFIED OF CONCERNS AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN ON THE AFFECTED AREA.
- DURING THE COURSE OF CONSTRUCTION, TEST RESULTS SHALL BE SUBMITTED TO THE CONTRACTOR WHICH INDICATE IF WORK IS BEING DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

TYPICAL SLOPE TREATMENT	
SLOPE GRADIENT	TREATMENT
3:1 OR FLATTER	REVEGETATED WITH NATIVE SPECIES OR PROVIDE OTHER GROUND COVERS SUCH AS NETTING OR CRUSHED ROCK
2:1 TO 3:1	HAND-PLACED RIPRAP OVER FILTER FABRIC
1:1 TO 2:1	GROUTED OR WIRE-TIED RIPRAP
1:1 OR STEEPER	STABILITY ANALYSIS OR RETAINING WALL DESIGNED BY STRUCTURAL ENGINEER

NOTES:
 - SLOPE GRADIENTS ARE HORIZONTAL OR VERTICAL
 - FINAL SLOPE TREATMENT SHALL BE AS PER THIS TABLE **UNLESS OTHERWISE NOTED** ON THIS PLAN OR WITHIN THE GEOTECHNICAL REPORT.
 - SEE RIPRAP NOTES FOR SPECIFICATIONS.

SWPPP NOTES

- SEE THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN AS A PART OF THIS GRADING PERMIT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COMPLY WITH THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT.
- ALL REMAINING DISTURBED AREAS NOT OTHERWISE ALREADY TREATED SHALL BE STABILIZED IN A FINAL MANNER IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT. A NOTICE OF TERMINATION TO CLOSE OUT THE SWPPP'S NOTICE OF INTENT CANNOT BE FILED WITH ADEQ UNTIL THESE FINAL STABILIZATION MEASURES ARE APPLIED.
- THE CONTRACTOR SHALL REMOVE THE FINE MATERIALS FROM THE BOTTOM OF THE DETENTION/RETENTION BASIN AND SCARIFY THE BASIN BOTTOM ONCE THE CONSTRUCTION ACTIVITIES ARE COMPLETED IN ORDER TO REMOVE ANY FINE MATERIAL BUILD UP CAUSED BY CONSTRUCTION AND TO RESTORE SOIL PERCOLATION. INSTALL BMP'S AT THE BASIN INLET(S) TO PREVENT THE FINES FROM ENTERING THE BASIN.

SURVEY NOTES

- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF 5TH AVENUE, BETWEEN BROADWAY BOULEVARD AND 12TH STREET, LYING WEST OF BLOCK 93, CITY OF TUCSON, BOOK 3, PAGE 70, MAPS AND PLATS, AS RECORDED IN SEQ. NO. 2013-2880003, RECORDS OF SURVEY. THE BEARING OF SAID LINE IS **N 00°55'01" W**.
- THE BASIS OF ELEVATIONS FOR THIS PROJECT IS THE PIMA COUNTY DEPARTMENT OF TRANSPORTATION (PCDOT) BENCHMARK "T145-R13E-K24", BEING A MAG NAIL IN A 1/2" BRASS TUBE IN THE CURB AT THE SOUTHEAST QUADRANT OF THE INTERSECTION OF 4TH AVENUE AND 15TH STREET. THE ELEVATION OF SAID BENCHMARK IS **2408.11'**, NAVD 88 DATUM PER PCDOT DATA SHEET FOR SAID BENCHMARK.
- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
 PUTT LAND SURVEYING, INC.
 4817 EAST FIFTH STREET
 TUCSON, ARIZONA 85711
 ATTN: MR. PAUL M. COTE, AZ RLS #50761
 PH: (520) 512-8373
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT. THE SURVEYOR SHALL VERIFY THE KNOWN BENCHMARK AND COMPARE THE SITE CONDITIONS WITH THE PLANS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES OBSERVED SHOULD ANY BENCHMARK, GRADE OR DESIGN INDICATED ON THE PLANS BE SUSPECT. THE OWNER SHALL BE NOTIFIED OF SAID BENCHMARK, GRADE OR DESIGN PROBLEM AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTION IS SCHEDULED TO BEGIN IN THE AFFECTED AREA.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR AND HIS SURVEYOR SHALL CERTIFY IN WRITING TO THE OWNER THAT THE PROJECT CIVIL ENGINEERING IMPROVEMENTS WERE STAKED AND BUILT IN SUBSTANTIAL CONFORMANCE TO THE LINES AND GRADES SHOWN, UNLESS NOTED OTHERWISE, SUBSTANTIAL CONFORMANCE SHALL MEAN THAT BUILDING SITES HAVE BEEN CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH BUILDING PAD ELEVATIONS AS DESIGNED BY THE ENGINEER. PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10± FEET OF FINISH GRADE AS DESIGNED BY THE ENGINEER. SITE FEATURES SHALL BE WITHIN 0.25 FEET OF SPECIFIED POSITION.

IID NOTES (CASE IID-19-06)

THIS PROJECT IS SUBJECT TO THE CONDITIONS STATED IN IID CASE #IID-19-06, APPROVED ____, LISTED BELOW:

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-

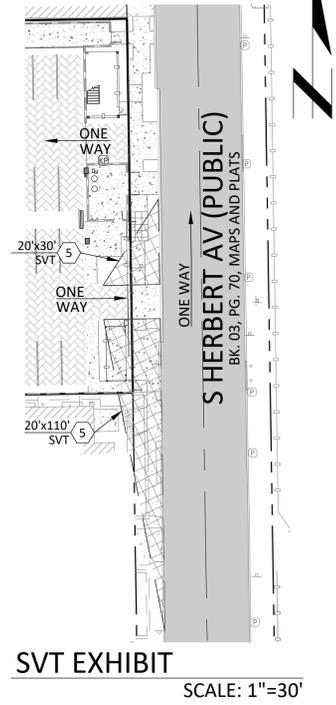
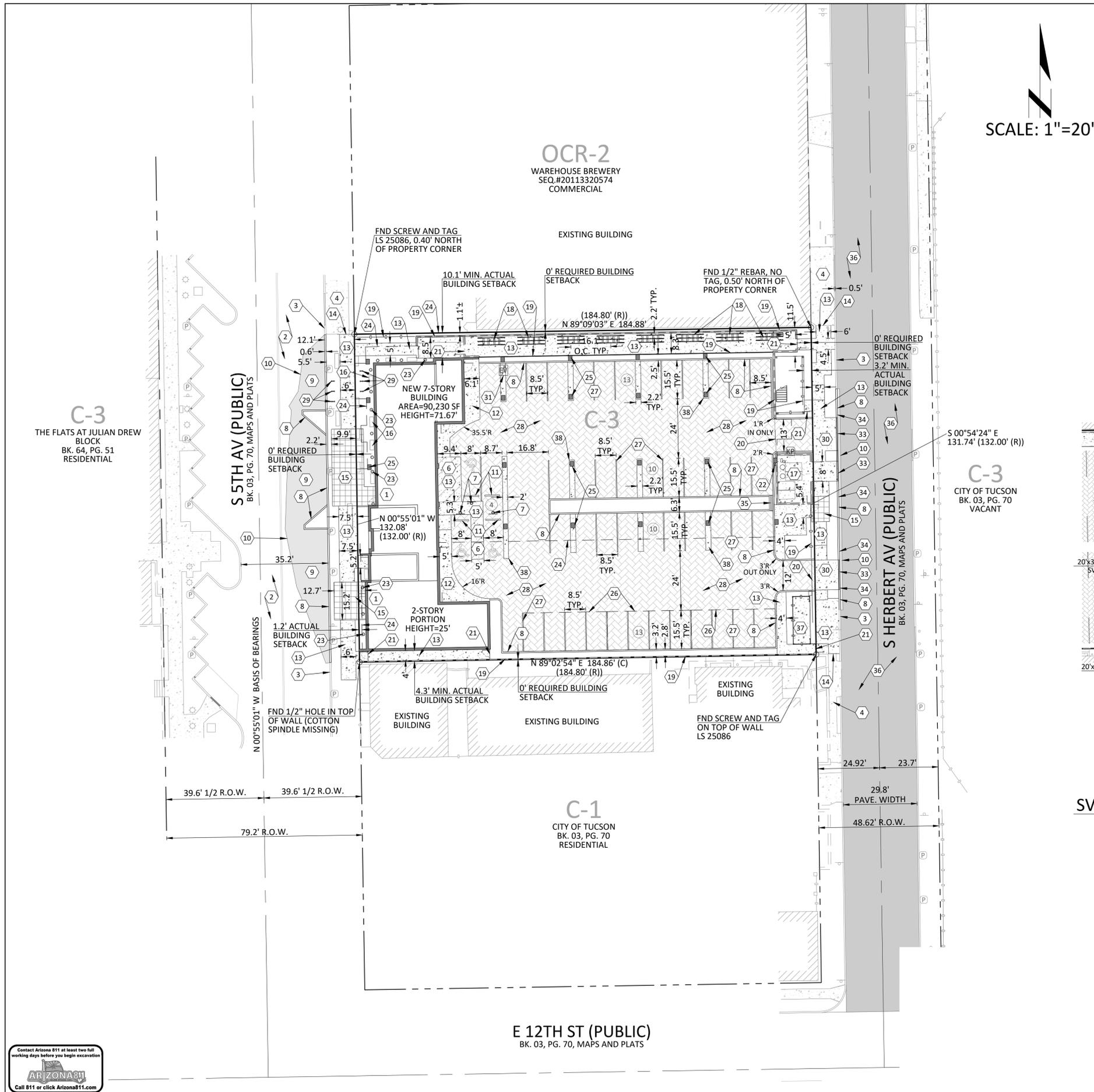


NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				FIFTH AVENUE PARTNERS OF, LLC 6340 NORTH CAMPBELL AVENUE, SUITE 170 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 622-1902 E: rossrulney@gmail.com
		CYPRESS PROJECT NO: 19.026 CYPRESS CIVIL DEVELOPMENT strength + sustainability 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com		SITE ADDRESS 127 SOUTH 5TH AVENUE TUCSON, ARIZONA 85701

LOT 6 AND 7, BLOCK 93, "CITY OF TUCSON" PER BOOK 3, PAGE 70, MAPS AND PLATS, BEING A PORTION OF SECTION 13, T. 14 S., R. 13 E., GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

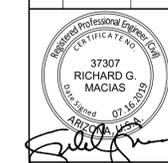
**DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
notes**

DP19-0122
 REF: IID-19-06; T19SA00227



- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 5 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 6 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 7 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL A, SHEET 6.
 - 8 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. SEE DETAIL B, SHEET 6. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 9 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL C, SHEET 6.
 - 10 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 11 NEW 6" WHEEL STOP (TYP.). SEE DETAIL D, SHEET 6.
 - 12 NEW MODIFIED CONCRETE SIDEWALK. SEE PLAN FOR WIDTHS. SEE DETAIL E, SHEET 6.
 - 13 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS.
 - 14 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203.
 - 15 NEW BRICK SIDEWALK PER PAG DETAIL 201. SEE PLAN FOR DIMENSIONS.
 - 16 PLANTER / SITE AMENITY PER LANDSCAPE PLANS, TYPICAL.
 - 17 NEW TRASH ENCLOSURE. SEE DETAIL F, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
 - 18 NEW LONG TERM BICYCLE RACKS. SEE MANUFACTURER'S DOCUMENTATION FOR DETAILS. SEE PLAN FOR RACK SPACING.
 - 19 NEW WALL/FENCE. OWNER/ARCHITECT TO PROVIDE DETAILS AND FINISHES.
 - 20 NEW VEHICULAR ACCESS GATE AND TRACK. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
 - 21 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE DETAILS/FINISHES.
 - 22 NEW ROOF DOWNSPOUT PER BUILDING PLAN.
 - 23 NEW SITE/PARKING LIGHT PER SEPARATE PLAN, TYPICAL. OWNER/ARCHITECT TO PROVIDE DETAILS.
 - 24 NEW BUILDING OVERHANG PER BUILDING PLANS.
 - 25 NEW BUILDING COLUMN PER BUILDING PLANS, TYP.
 - 26 NEW CANOPY. OWNER/ARCHITECT TO PROVIDE DETAILS.
 - 27 NEW 4" WIDE CONCRETE HEADER, TYP. SEE DETAIL G, SHEET 6.
 - 28 NEW TRAFFIC RATED PAVERS. OWNER/ARCHITECT/LANDSCAPE TO PROVIDE DETAILS.
 - 29 NEW SHORT TERM BICYCLE RACK PER LANDSCAPE PLANS.
 - 30 NEW CONCRETE DRIVEWAY APRON PER PAG DETAIL 206, EXCEPT MODIFIED AS SHOWN.
 - 31 NEW ELECTRIC VEHICLE CHARGING STATION BY OTHERS.
 - 32 [NOT USED]
 - 33 NEW CONCRETE HEADER PER PAG DETAIL 213.
 - 34 NEW CURB TRANSITION (VERTICAL TO HEADER) PER PAG DETAIL 212.
 - 35 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. SEE DETAIL J, SHEET 6.
 - 36 NEW PAVEMENT PER SEPARATE PLAN AND PERMIT.
 - 37 NEW UTILITY ENCLOSURE PER BUILDING PLAN.
 - 38 NEW 26" WIDE CONCRETE HEADER, TYP. SEE DETAIL J, SHEET 6.

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				SITE ADDRESS 127 SOUTH 5TH AVENUE TUCSON, ARIZONA 85701



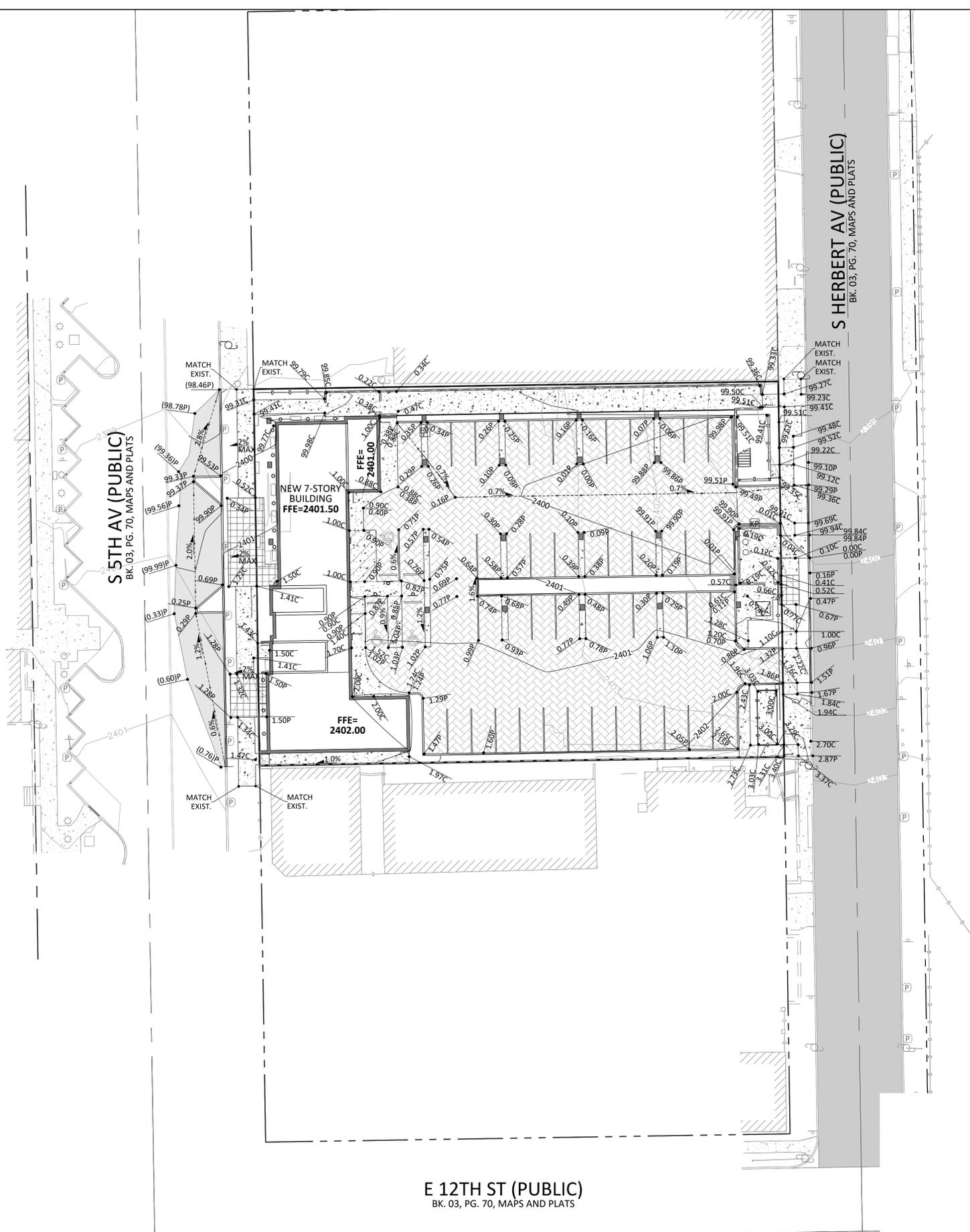
CYPRESS PROJECT NO: 19.026
CYPRESS CIVIL DEVELOPMENT
 strength + sustainability
 2030 east speedway boulevard suite #110
 tucson, arizona 85719
 ph: 520.499.2456
 e: info@cypresscivil.com

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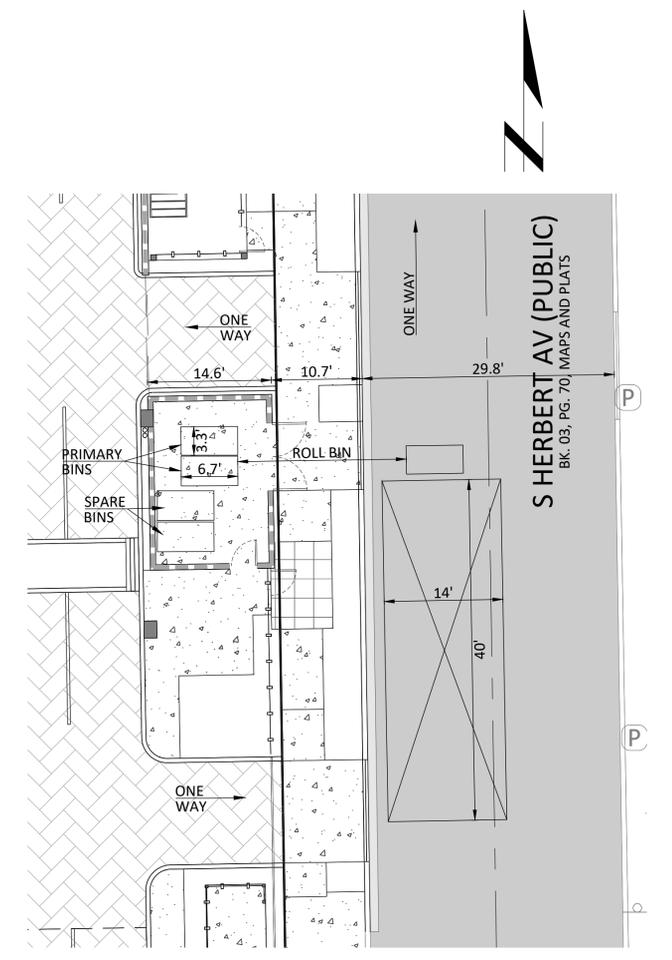
DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
 site plan



DP19-0122
 REF: IID-19-06; T19SA00227
 3 OF 11



SCALE: 1"=20'
C.I. = 1 FOOT

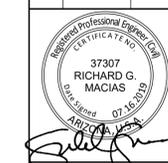


TRASH PICK-UP DETAIL
SCALE: 1"=10'



E 12TH ST (PUBLIC)
BK. 03, PG. 70, MAPS AND PLATS

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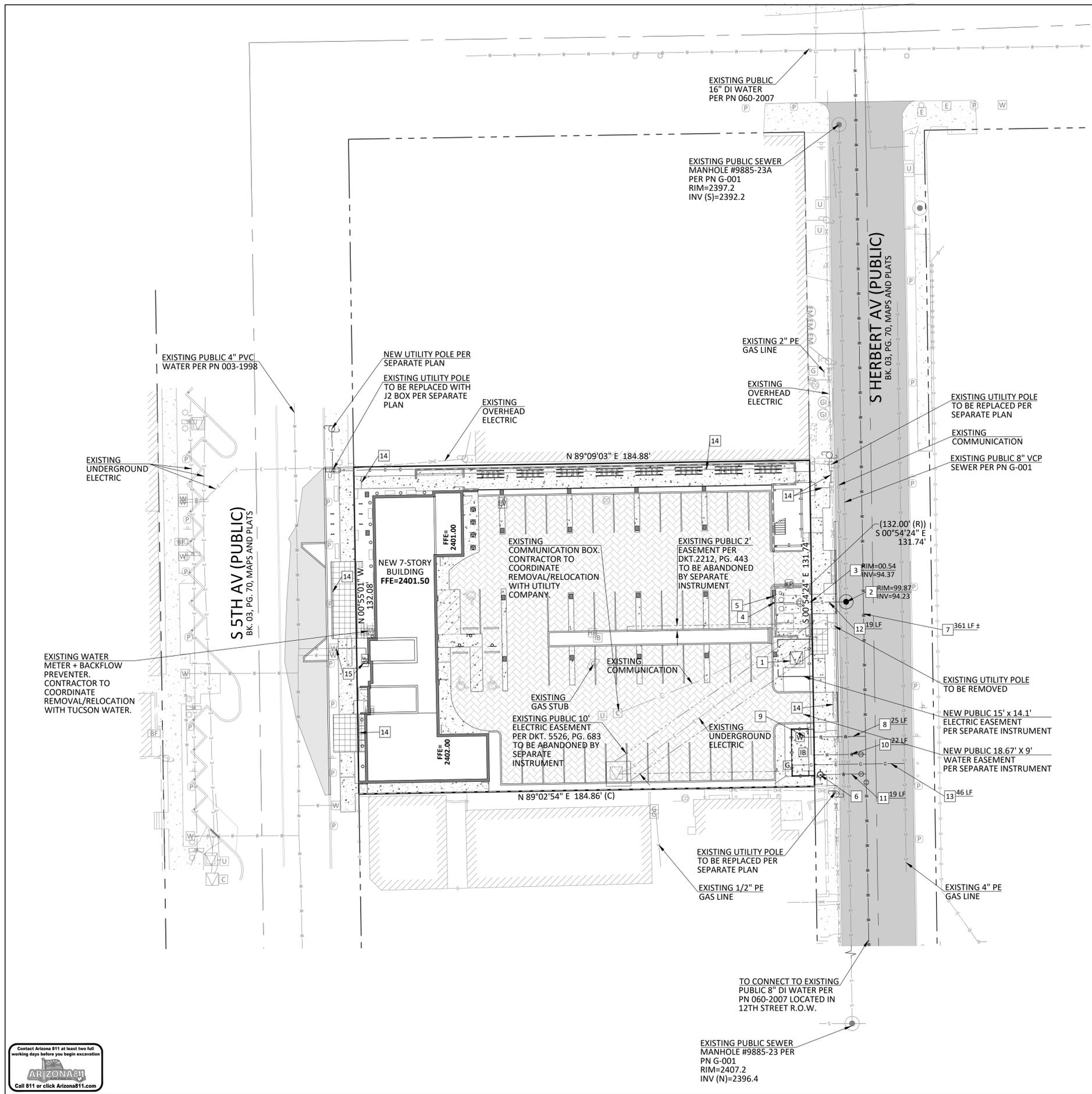
CYPRESS
CIVIL DEVELOPMENT
strength + sustainability

CYPRESS PROJECT NO: 19.026
2030 east speedway boulevard
suite #110
tucson, arizona 85719
ph: 520.499.2456
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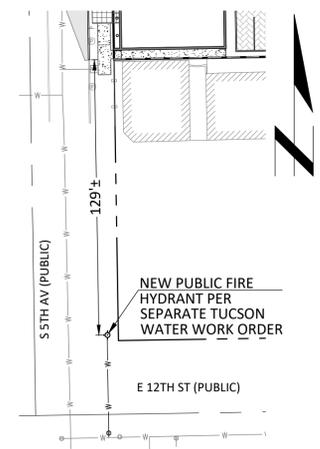
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DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
grading + drainage plan

DP19-0122
REF: IID-19-06; T19SA00227
4
OF
11



SCALE: 1"=20'



FIRE HYDRANT LOCATION
SCALE: 1"=40'

UTILITY NOTE

UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED AND ARE PRESENTED BASED UPON PRELIMINARY INFORMATION AVAILABLE TO CYPRESS CIVIL DEVELOPMENT. UTILITY LOCATIONS AS SHOWN ARE NOT INTENDED TO BE EXACT OR COMPLETE AND CYPRESS CIVIL DEVELOPMENT DOES NOT ACCEPT LIABILITY OR RESPONSIBILITY FOR ANY INACCURACIES IN THE UTILITY LOCATIONS OR ANY UTILITY RELOCATIONS THAT MAY BE NECESSARY. PRIOR TO EXCAVATION, ARIZONA STATUTES REQUIRE THAT ANYONE WHO INTENDS TO EXCAVATE MUST PROVIDE TWO FULL WORKING DAYS NOTICE TO THE OWNERS OF ALL UTILITIES WITHIN THE PROJECT AREA. EXCAVATORS SHOULD CONTACT "ARIZONA BLUE STAKE" @ 1-800-782-5348 TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS, SUNDAYS, AND STATE HOLIDAYS ARE NOT CONSIDERED WORKING DAYS. ALSO BE ADVISED THAT THERE MAY BE OTHER UTILITIES IN THE PROJECT AREA THAT ARE NOT MEMBERS OF "ARIZONA BLUE STAKE". THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS) MARKED BY BLUE STAKE PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

PRIVATE UTILITY NOTES

1. ALL ON-SITE BUILDING SEWER CONNECTION LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
2. ALL ON-SITE DOMESTIC WATER SUPPLY LINES ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, LATEST EDITION.
3. ALL ON-SITE FIRE SERVICE MAINS ARE PRIVATE. THE MATERIALS AND INSTALLATION SHALL BE PER THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE, LATEST EDITION AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION 24, LATEST EDITION.

PRIVATE FIRE SUPPRESSION NOTES

1. INSTALLATION OF FIRE SERVICE UNDERGROUND SHALL CONFORM TO NFPA 24.
2. MINIMUM DEPTH OF BURY TO BE 36".
3. SYSTEM TO BE TESTED AT 200 PSI (OR 50 PSI ABOVE STREET PRESSURE) FOR 2 HOURS.
4. SYSTEM TO BE FLUSHED. FLUSH TO BE WITNESSED BY TFD INSPECTOR.
5. RESTRAINT METHOD FOR NEW FIRE SERVICE INSTALLATION TO BE CONCRETE THRUST BLOCKS.
6. TRACER WIRE OR APPROVED EQUIVALENT SHALL BE INSTALLED WITH ALL UNDERGROUND PIPING.

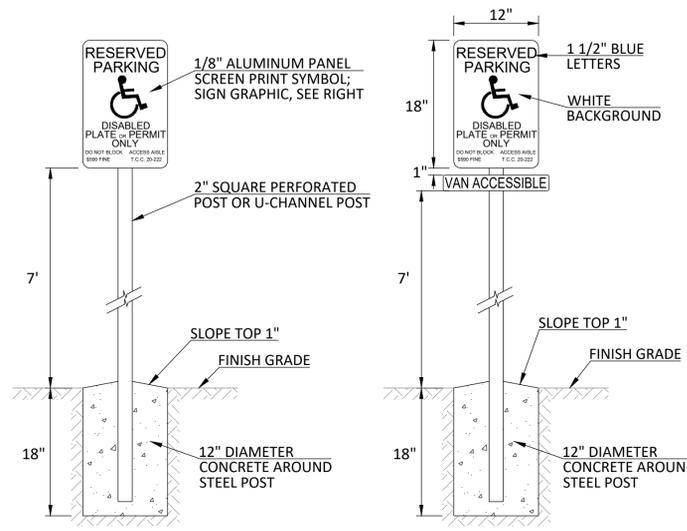
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
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				CYPRESS CIVIL DEVELOPMENT 2030 east speedway boulevard suite #110 tucson, arizona 85719 ph: 520.499.2456 e: info@cypresscivil.com
				SITE ADDRESS 127 SOUTH 5TH AVENUE TUCSON, ARIZONA 85701

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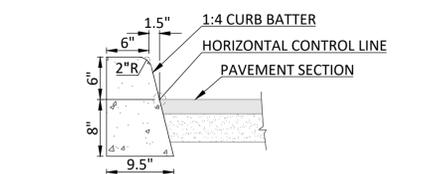
DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
utilities + easements plan



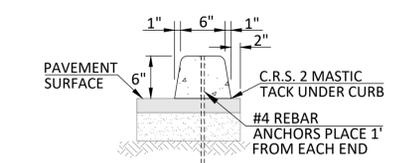
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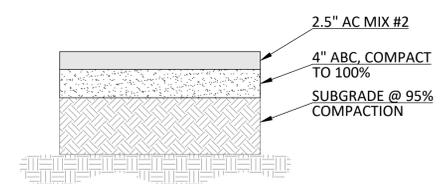
A ACCESSIBLE SIGN AND POST
SCALE: 1"=1'



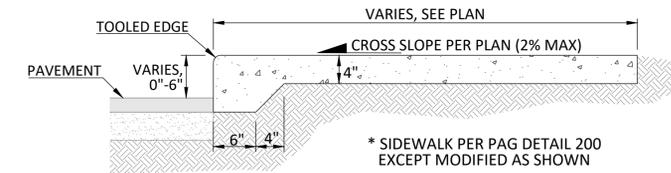
B CONCRETE VERTICAL CURB
TYPE 2, H=6"
PAG DETAIL 209 SCALE: 1"=1'



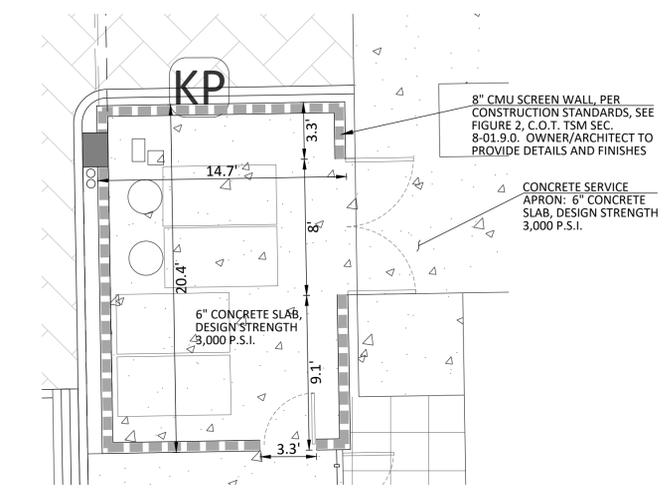
D CONCRETE WHEEL STOP
SCALE: 1"=1'



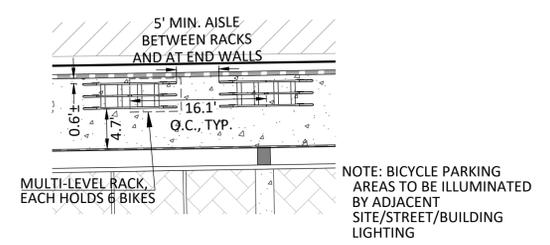
C TYPICAL PAVEMENT SECTION
SCALE: 1"=1'



E MODIFIED CONCRETE SIDEWALK
SCALE: 1"=1'

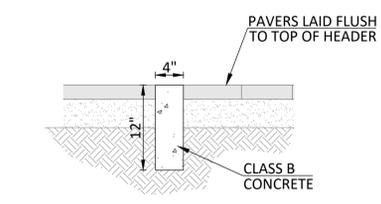


F TRASH ENCLOSURE DETAIL
SINGLE N.T.S.

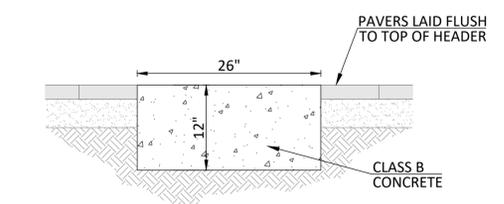


I BIKE RACK/LOCKER SPACING
SCALE: 1"=10'

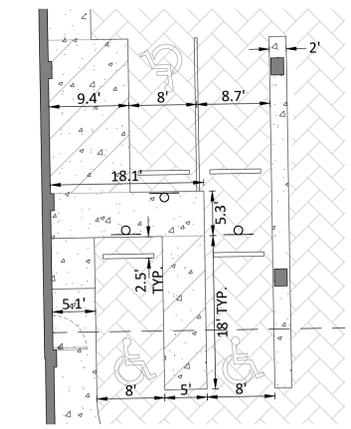
[NOT USED, SEE LANDSCAPE PLANS]



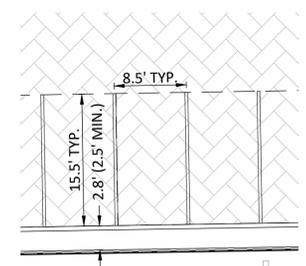
G CONCRETE HEADER
SCALE: 1"=1'



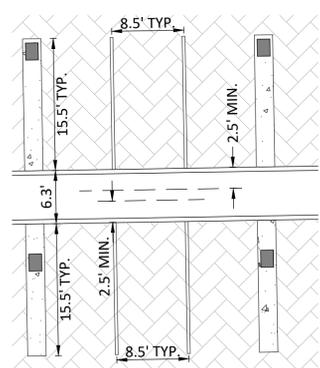
J CONCRETE HEADER
SCALE: 1"=1'



TYPICAL PARKING DETAIL
ACCESSIBLE SCALE: 1"=10'

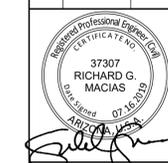


TYPICAL PARKING DETAIL
NORTH & SOUTH
CONDITION SCALE: 1"=10'



TYPICAL PARKING DETAIL
CENTER CONDITION SCALE: 1"=10'

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Strength + Sustainability

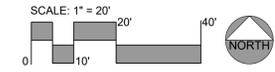
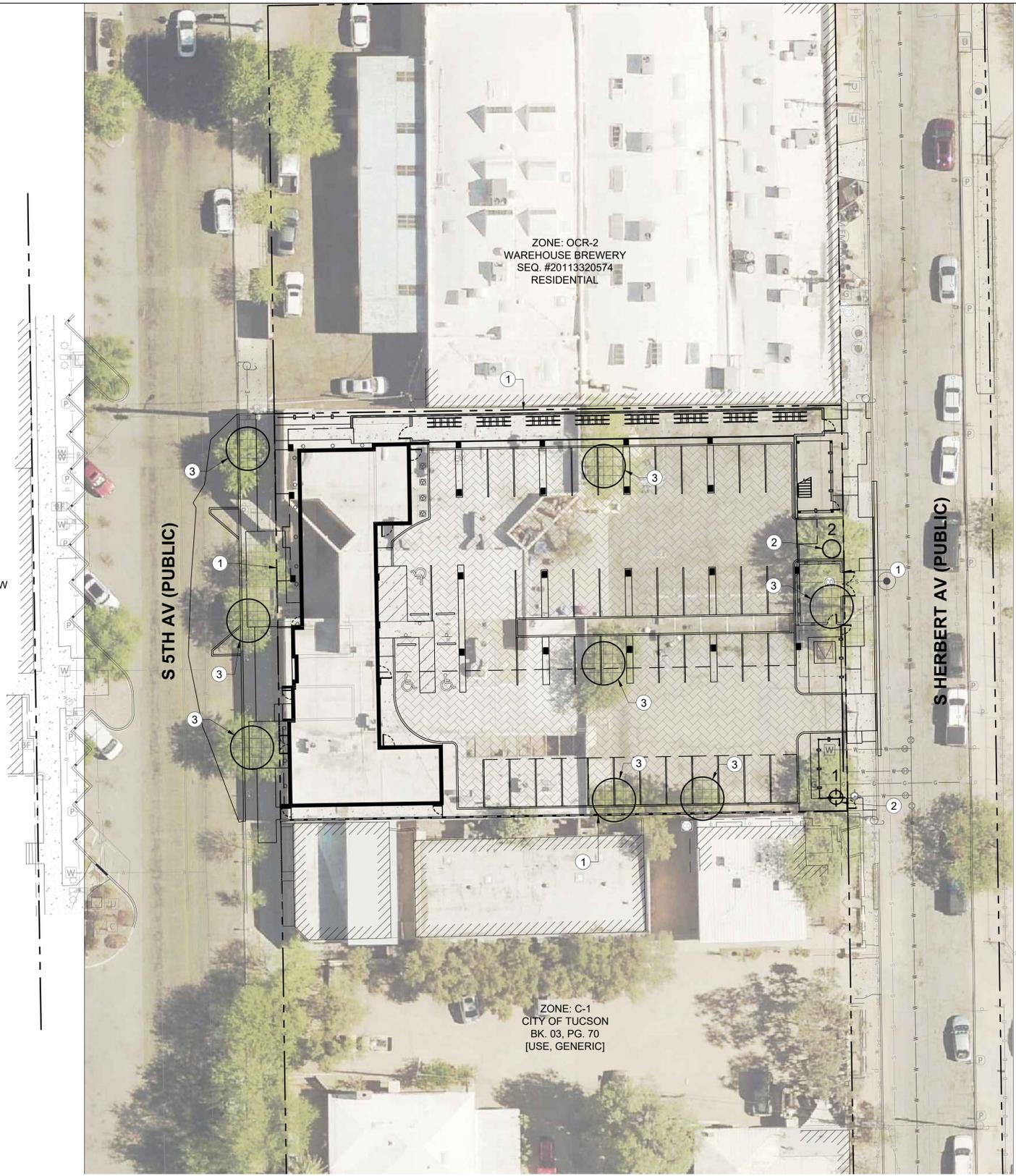
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DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
details



DP19-0122
REF: IID-19-06; T19SA00227



SITE CALCULATIONS

Total site area: 184,775 sf (4.2 acres)
Proposed graded area: 13,343 sf (0.3 acres)

NATIVE PLANT PRESERVATION PLAN OVERVIEW:

This site is located south of Broadway Blvd and west of 4th Ave within the downtown district. The site has been previously developed with no natural landscape areas remaining. Two native trees are present and are considered non viable due to site conditions and health conditions.

No noxious or invasive species are visually prominent within the clearing limits. No special status including federally listed threatened, endangered species or highly safeguarded species of plant life were identified on this site.

No mitigation shall be required for this site.

ABBREVIATIONS:

The following abbreviations were used in the comment column. Number in (#) refer to plant requirements for preserved in place or salvaged

- BL broken limbs - tree has significant broken branches
- PROX other vegetation in the vicinity will make salvage difficult
- TD trunk damage - trunk has excavated at the base of the tree
- BD/RD base of saguaro has suffered rodent damage
- MU multi-trunk, no single defined trunk
- LB low branch, unable of preserving low branch for salvage or relocate
- DW dead wood significant limb dieback
- IN infestation of insect, damage to main limbs
- OT old trunk
- ST stunted trunk
- PD prune damage
- MT mistletoe infection of main limbs
- PF poor form tree leaning or structure not supportive of vegetation
- LE leaning sign of decline and poor health
- SL slope - tree is on steep slope where salvage will not be possible
- SO soils are loose and rocky, salvage will be difficult
- SR surface roots are evident making excavation difficult
- SZ size of the tree, either spread, caliper or height is not conducive to salvage
- VAND vandalized - saguaro has been cut or chopped
- PIP preserved in place
- TOS transplant on site
- RFS remove from site
- SAL salvage - used during field inventory to identify trees that should be salvaged regardless of % requirements

SITE INVENTORY:

Number	Scientific Name	Common Name	Size	Viability	Transplantability	Comments	Disposition
1	Prosopis velutina	Velvet Mesquite	5	I	I	dw/pd/pf/prox	RFS
2	Parkinsonia florida	Blue Palo Verde	8	I	I	dwtd/pd/in	RFS

ZONE: C-3
THE FLATS AT JULIAN DREW
BLOCK
BK. 64, PG. 51
SEQ. #20090700490
RESIDENTIAL

ZONE: OCR-2
WAREHOUSE BREWERY
SEQ. #20113320574
RESIDENTIAL

ZONE: C-3
CITY OF TUCSON
BK. 03, PG. 70
VACANT

NPPO LEGEND
 Velvet Mesquite
 Blue Palo Verde

ZONE: C-1
CITY OF TUCSON
BK. 03, PG. 70
[USE, GENERIC]

- # NATIVE PLANT PRESERVATION KEY NOTES**
- Property line
 - Native tree to be removed from site
 - Non native tree to be removed from site

Refer to specifications for additional information on policies, performances, and products.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER HP FIFTH AVENUE, LLC 3573 EAST SUNRISE DRIVE, SUITE 225 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) [REDACTED] EMAIL: [REDACTED]
 ARC STUDIOS PROJECT NO: 01-19018 ARC STUDIOS 3117 E. Flower Street Tucson, Arizona 85718 phone: 520.882.9655 www.arcstudiosinc.com				SITE ADDRESS 127 SOUTH 5TH STREET TUCSON, ARIZONA 85701

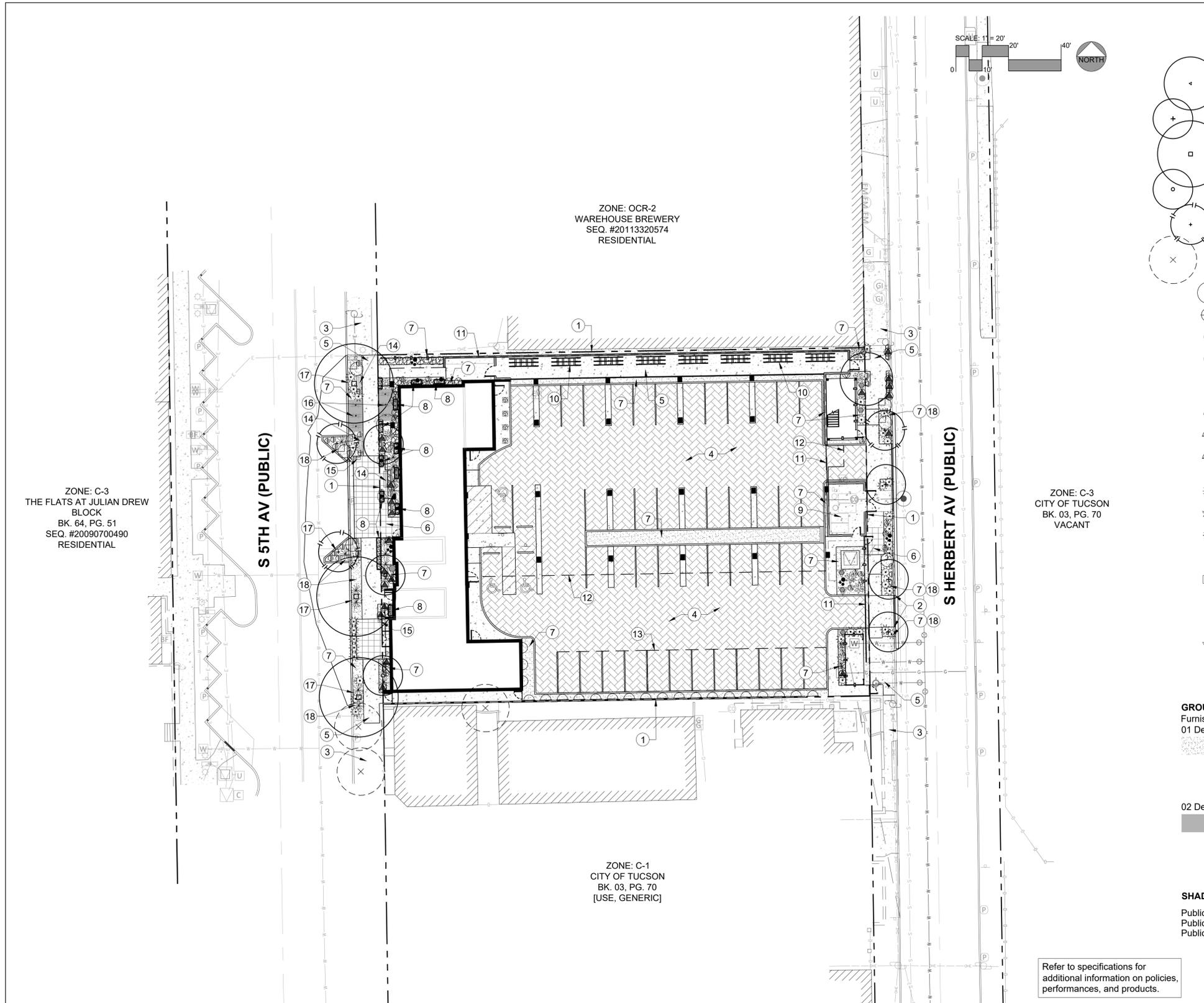
LOT 6 AND 7, BLOCK 93, "CITY OF TUCSON" PER BOOK 3 PAGE 70, MAPS AND PLATS, BEING A PORTION OF SECTION 13, T. 14 S., R. 13 E., GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

**DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
native plant preservation plan**

DP19-0122
REF: IID-19-06; T19SA00227

7
OF
11





LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees	Size	Qty
Prosopis velutina velvet mesquite	36" box 2.25" caliper	1
Acacia willardiana palo blanco	24" box 1.5" caliper	3
Pistacia x 'Red Push' red push pistache	36" box 2.25" caliper	3
Sophora secundiflora 'silver peso' silver peso texas mountain laurel	24" box 1.5" caliper	3
Fraxinus greggii little leaf ash	36" box 2.0" caliper	3

Shrubs / Ground Covers	Size	Qty
Caesalpinia x Sierra Sun sierra sun bird of paradise	15 gallon	1
Salvia clevelandii cleveland sage	5 gallon	7
Chrysactinia mexicana damanita daisy	1 gallon	20
Justicia spicigera mexican honeysuckle	5 gallon	16
Dalea capitata golden dalea	1 gallon	35

Vines	Size	Qty
Ficus pumila creeping fig	5 gallon	3
Parthenocissus 'Hacienda Creeper' hacienda creeper	5 gallon	21
Trachelospermum jasminoides star jasmine	5 gallon	2

Cacti / Succulents	Size	Qty
Nolina microcarpa beargrass	5 gallon	17
Agave attenuata fox tail agave	5 gallon	7
Euphorbia antisiphilitica candelilla	5 gallon	36
Setcreasea pallida purple heart	1 gallon	21
Aloe wickensii aloe wickensii	5 gallon	4
Aloe x 'Grassy lassie' grassy lassie aloe	5 gallon	21
Lophocereus schoti totem pole cactus	15 gallon	6
Aloe 'Hercules' hercules aloe	15 gallon	10

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.

01 Decorative rock	type: screened rock size: 1/2" color: coco brown - pioneer materials depth: 2" notes: install in all landscape planting areas as indicated on plans
02 Decorative rock - Bicycle Parking	type: stabilized decomposed granite size: 3/8" minus color: palomino gold depth: 3" notes: stabilizer solutions stabilizer@ w/ 15lbs of stabilizer@ per ton of aggregate

SHADE STUDY (refer to detail #11 sheet L3.0)

Public hardscape total area	2,533 SF
Public hardscape shade required (50%)	1,267 SF
Public hardscape shade provided	1,592 SF

GENERAL LANDSCAPING NOTES:

- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
- For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
- The Landscape Architect is to approve any and all substitutions.
- Plant list quantities are provided for contractor's convenience only. Plans take precedence.
- Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
- Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
- Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
- Ground cover and/or decorative rock shall extend under shrubs unless noted.
- After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
- Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
- All earthwork is to be done so that all water drains away from all structures.
- All underground utilities are to be located before digging.
- All plant material to be guaranteed for a period of one (1) year after final acceptance.
- Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
- In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
- All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
- Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
- Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
- All landscape areas shall be depressed 6 inches to maximize storm water harvesting.
- Final plant locations must be in compliance with all utility setback requirements.
- Sleeve all pipes and wires under paved areas including streets and sidewalks.
- Irrigation lines are shown schematically; locate all line in unpaved areas.
- Locate all lines within the property line when possible.
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
- The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.

LANDSCAPE KEY NOTES

- Property line
- Sight visibility triangle
- Existing sidewalk
- Pavement - refer to civil
- Concrete sidewalk - refer to site plan
- Brick sidewalk - refer to site plan
- Decorative rock typ. - all landscape areas
- Raised steel planter - refer to details 9 & 10 sheet L3.0
- Trash enclosure - refer to site plan
- Bicycle parking - refer to site plan
- Wall/fence - refer to site plan
- Building overhead per building plans
- Canopy - refer to site plan
- Bench - form+surfaces balance bench model# SBBAL-72BPC, sandstone finish, anchor mount in landscape, refer to detail 8 sheet L3.0
- Waste receptacle - form+surfaces knight litter receptacle model# SLKNI-30, slate texture finish, install per manufactures details and specifications
- Short term bicycle parking - form+surfaces capital bike rack model# SKCAP, standard aluminum texture finish, refer to details 12 & 13 sheet L3.0
- Root barrier - refer to detail 6 sheet L3.0
- 6" depressed landscape area for rainwater harvesting

LANDSCAPE BORDER REQUIREMENTS

North/East/South/West
no landscape border required per IID
refer to shade study

PARKING TREE REQUIREMENTS

Parking spaces provided	51
Parking spaces shaded	46
by building/canopy	
Trees required	2
Trees provided	2

Refer to specifications for additional information on policies, performances, and products.

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				SITE ADDRESS 127 SOUTH 5TH STREET TUCSON, ARIZONA 85701

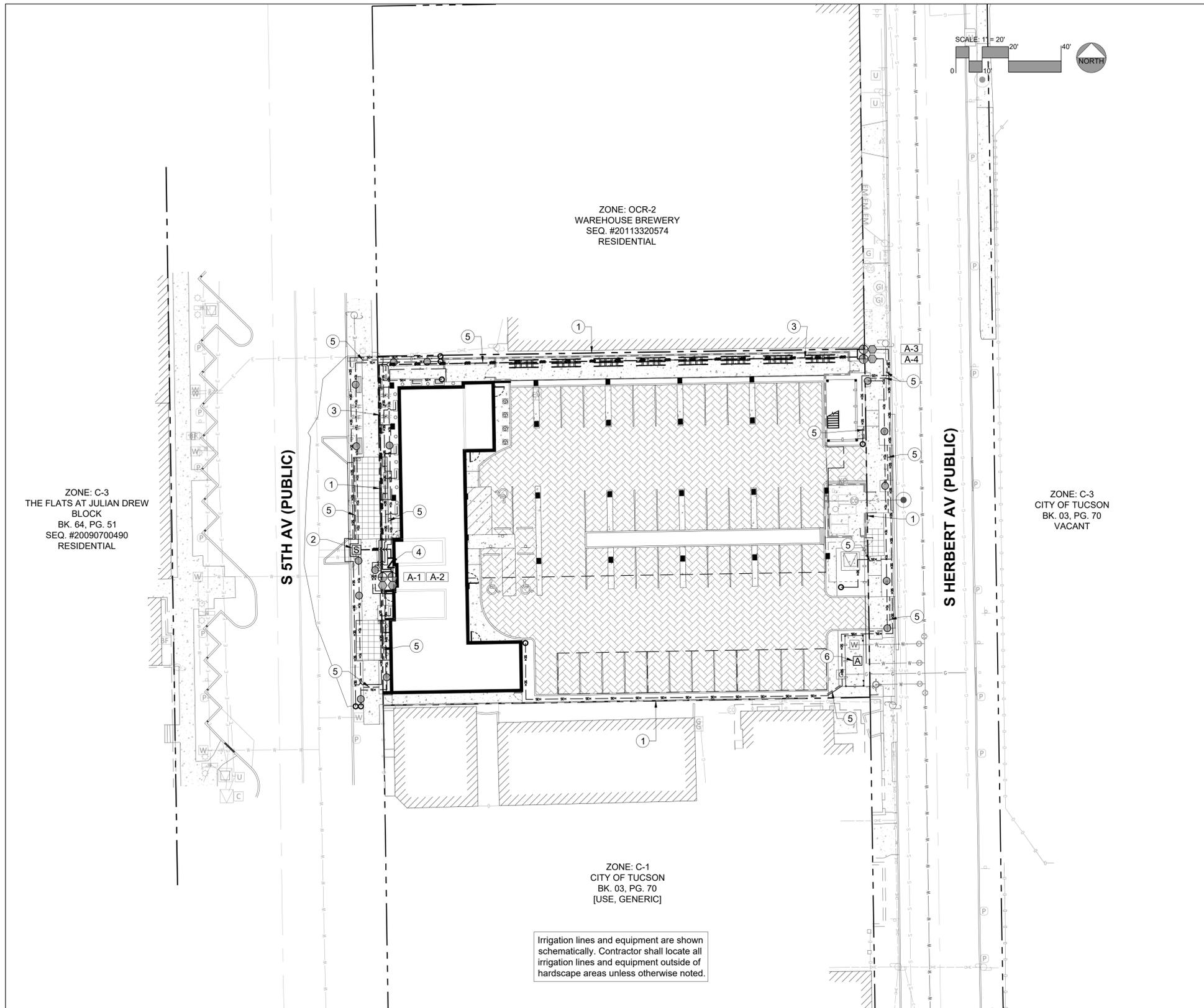
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DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
landscape plan



DP19-0122
REF: ID-19-06; T19SA00227

8 OF 11



IRRIGATION LEGEND

- furnish and install all material per plans, details, and specifications
- [S] irrigation source / point of connection - irrigation meter - 3/4" (refer to civil water plans)
 - [Z] reduced pressure backflow preventer - watts u009 - 1" w/ enclosure
 - [M] irrigation mainline - sch. 40 pvc 1-1/2" w/ sch. 80 fittings, 2hr pressure test at 150 psi
 - [A] irrigation controller - toro evolution series smart controller w/ smart connect, evo-od-08-sc, evo-ws
 - [⊕] remote control valve & filter - valve - irrtrol 700 series, 700-1
 - [---] irrigation sleeve - class 200 pvc - 4" mainlines and multiple lines 2" single line and controller wiring
 - [---] tree line - sch. 40 pvc - 3/4" unless otherwise shown
 - [---] shrub line - sch. 40 pvc - 3/4" unless otherwise shown
 - hose end cap
 - pressure regulating filter - rain bird - prb-qkchk-100-com
 - multi-outlet xeri-bug emitters rain bird - (6) 1gph and 2 gph ports - refer to emitter schedule
 - single-port emitters - install rain bird xeri-bug xbt-10 and xbt-20 - refer to emitter schedule

IRRIGATION VALVE SCHEDULE

Valve	Size	Type	Valve	Size	Type
A-1	1"	tree	A-5		not used
A-2	1"	shrub	A-6		not used
A-3	1"	shrub	A-7		not used
A-4	1"	tree	A-8		not used

VALVE SCHEDULE NOTES:

- (M) multi-port emitter, (s) single-port emitter. Contractor may select to provide multi-port emitters for shrub plant material.
- Contractor shall adjust controller for the proposed emitter schedule and provide watering to promote healthy growth of plant material for establishment.

IRRIGATION NOTES:

- The irrigation system shall utilize a potable water source. All lines shall be sch. 40 pvc unless otherwise noted on plans.
- The irrigation system is designed with an operating pressure of 60psi at connection. Contractor shall verify pressure at connection and confirm system design with collected test information prior to continuation of installation. Tested pressure shall be noted on the as-built plans.
- Contractor shall notify Landscape Architect if any discrepancies occur prior to installation of the irrigation system. If the pressure test is not within 5 lbs of noted design pressure, contractor shall cease installation until minimum pressure is obtained or revised design is provided.
- Contractor shall test pressure prior to start of construction, test pressure 30 days prior to start of irrigation work and submit pressure tests and readings to architect.
- If contractor fails to provide pressure test readings and pressure is below intended system design, contractor shall make adjustments necessary to obtain a fully function irrigation system with adequate pressure at heads at no additional cost to the owner.
- Sleeving for irrigation shall be under all paved areas including streets and sidewalks and other hardscape elements. Contractor to coordinate with general contractor for sleeve installation.
- Irrigation lines, valves, and associated equipment are shown schematically. Contractor shall locate all lines in unpaved areas.
- Maximum distance for distribution tubing shall not exceed 8' from emitter to plant.
- Irrigation controller shall be set to run per coordination of property manager. Controller shall be set to run with daily automatic adjustments to local live ET or historic ET data.
- Contractor shall set additional programs on controller for deep root watering and plant growth from March thru June.
- Contractor shall complete pressure test of main line and laterals with the observation of the landscape architect.
- Contractor shall have the irrigation functional, prior to start of planting.

EMITTER SCHEDULE

Trees	Type	Outlets	Gph outlet	Gph plant
Prosopis velutina velvet mesquite	m	5	2.0	10.0
Acacia willardiana palo blanco	m	4	2.0	8.0
Pistacia x 'Red Push' red push pistache	m	6	2.0	12.0
Sophora secundiflora 'silver peso' silver peso texas mountain laurel	m	4	2.0	8.0
Fraxinus greggii little leaf ash	m	4	2.0	8.0
Shrubs / Ground Covers	Type	Outlets	Gph outlet	Gph plant
Caesalpinia x Sierra Sun sierra sun bird of paradise	s/m	2	2.0	4.0
Salvia clevelandii cleveland sage	s/m	2	2.0	4.0
Chrysactinia mexicana damianita daisy	s/m	2	1.0	2.0
Justicia spicigera mexican honeysuckle	s/m	2	1.0	2.0
Dalea capitata golden dalea	s/m	2	1.0	2.0
Vines	Type	Outlets	Gph outlet	Gph plant
Ficus pumila creeping fig	s/m	2	2.0	4.0
Parthenocissus 'Hacienda Creeper' hacienda creeper	s/m	2	2.0	4.0
Trachelospermum jasminoides star jasmine	s/m	2	2.0	4.0
Cacti / Succulents	Type	Outlets	Gph outlet	Gph plant
Nolina microcarpa beargrass	s/m	1	1.0	1.0
Agave attenuata fox tail agave	s/m	1	0.5	0.5
Euphorbia antisyphilitica candelilla	s/m	1	1.0	1.0
Setcreasea pallida purple heart	s/m	1	1.0	1.0
Aloe wickensii aloe wickensii	s/m	1	0.5	0.5
Aloe x 'Grassy lassie' grassy lassie aloe	s/m	1	0.5	0.5
Lophocereus schotti totem pole cactus	s/m	1	0.5	0.5
Aloe 'Hercules' hercules aloe	s/m	1	0.5	0.5

Irrigation lines and equipment are shown schematically. Contractor shall locate all irrigation lines and equipment outside of hardscape areas unless otherwise noted.

Refer to specifications for additional information on policies, performances, and products.

IRRIGATION KEY NOTES

- Property line
- Irrigation source
- Irrigation mainline
- Backflow preventer
- Irrigation sleeve - refer to paving & grading plans
- Irrigation controller



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ARC STUDIOS PROJECT NO: 01-19018

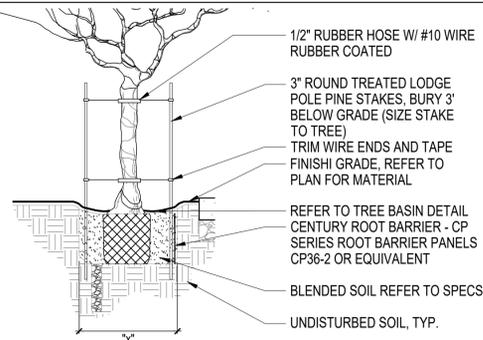
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phone: 520.882.9655
www.arcstudiosinc.com

landscape architecture · urban design
environmental services · irrigation design.

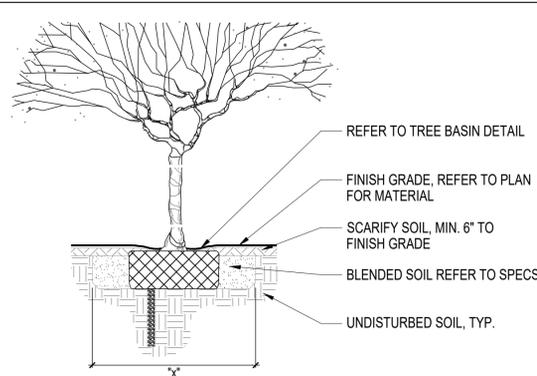
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DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
irrigation plan

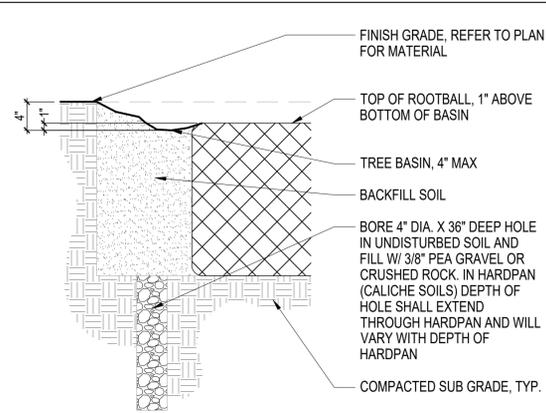
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REF: ID-19-06; T19SA00227



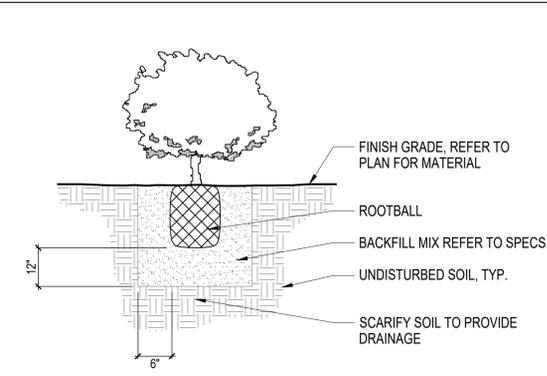
- NOTES:**
1. DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
 2. SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
 3. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 4. DO NOT COVER CROWN WITH SOIL.
 5. ROOT GUARDS SHALL BE PROVIDED ON ALL SIDES WHERE ADJACENT HARDSCAPE IS WITHIN 10' OF THE TREE/PLANT.
 6. REFER TO TREE STAKING DETAIL FOR ADDITIONAL INFORMATION.



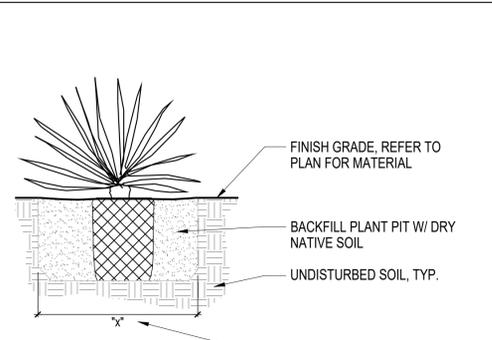
- NOTES:**
1. DIMENSION "X" EQUALS FOUR (4) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
 2. SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
 3. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 4. DO NOT COVER CROWN WITH SOIL.



- NOTES:**
1. TREE BASINS NOT TO EXCEED 4" DEPTH.
 2. TOP OF ROOTBALL TO BE EXPOSED TO SURFACE.
 3. BOTTOM OF PLANT PIT EQUAL TO DEPTH OF ROOTBALL.

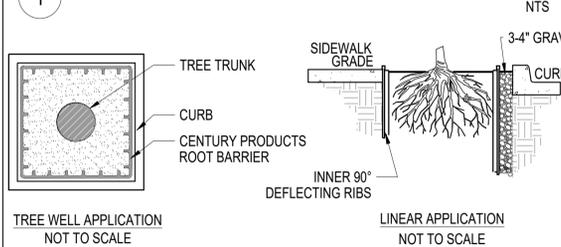


- NOTES:**
1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 2. DO NOT COVER CROWN WITH SOIL.
 3. SETTLE BACKFILL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.



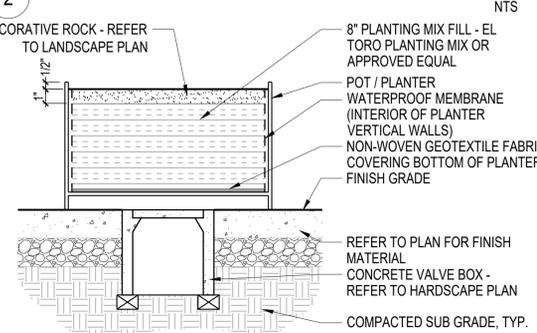
- NOTES:**
1. SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 2. DO NOT COVER CROWN WITH SOIL.
 3. SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.

1 15 GALLON & 24IN BOX - TREE PLANTING



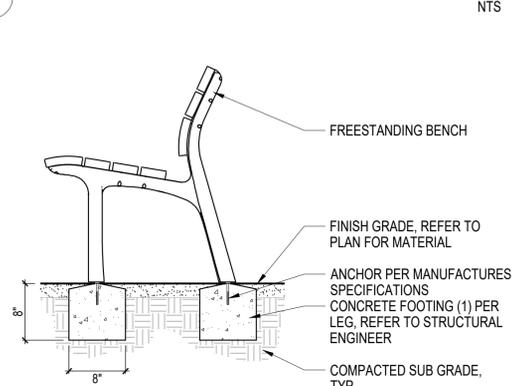
- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. TOLERANCES MAY VARY IN ORDER TO MAINTAIN THE INTEGRITY OF POST-CONSUMER MATERIALS, AND ASSURE THE MATERIAL STRUCTURE. WE MAKE NO OTHER WARRANTIES, EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIM THE WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 005-003A.

2 36IN BOX OR LARGER - TREE PLANTING



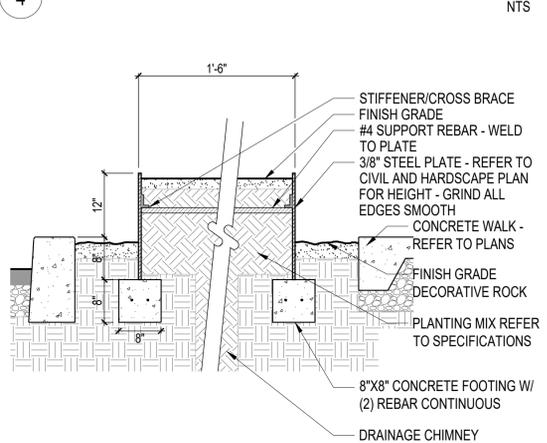
- NOTES:**
1. EL TORO PLANT MIX, A BLEND OF COMPOSTED FINELY SCREENED EL TORO FOREST MULCH MIXED WITH FINELY SCREENED NATIVE TOPSOIL, WASHED MORTAR SAND, 90% SOIL SULFUR AND 16-20-0 AMMONIUM PHOSPHATE FERTILIZER OR APPROVED EQUAL PLANTING MIX.
 2. CONTRACTOR SHALL REMOVE EXISTING SUBGRADE SOIL AND BACKFILL WITH PLANTING MIX.
 3. CONTRACTOR SHALL ENSURE SUBGRADE DRAINS WITHIN 4 HOUR PERIOD. CONTRACTOR SHALL PROVIDE DRAINAGE CHIMNEYS 6' ON CENTER TO AREAS WHERE SUBGRADE DOES NOT DRAIN.

3 TREE BASIN



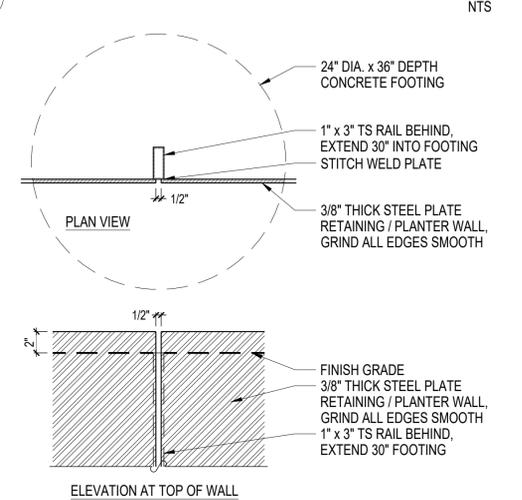
- NOTES:**
1. INSTALL BENCH PER MANUFACTURES SPECIFICATIONS.

4 SHRUB PLANTING

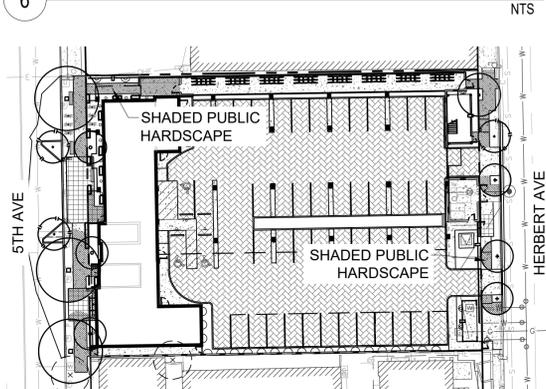


- NOTES:**
1. PROVIDE SLEEVES FOR IRRIGATION AND ELECTRICAL - REFER TO PLANS FOR SLEEVING SCHEDULE.
 2. APPLY FLUID WATERPROOFING TO ALL SURFACES TO 1" ABOVE FINISH GRADE.

5 ACCENT PLANTING



6 ROOT BARRIER

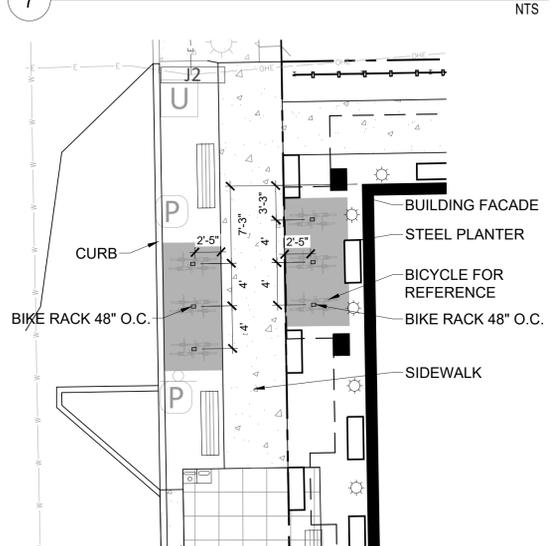


SHADE STUDY

Public hardscape total area	2,533 SF
Public hardscape shade required (50%)	1,267 SF
Public hardscape shade provided	1,592 SF

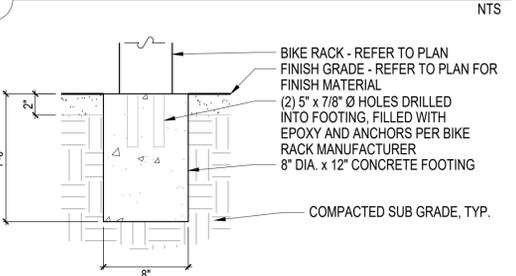
11 SHADE STUDY

7 POT/PLANTER - PLANTING MIX



12 BICYCLE RACK LAYOUT

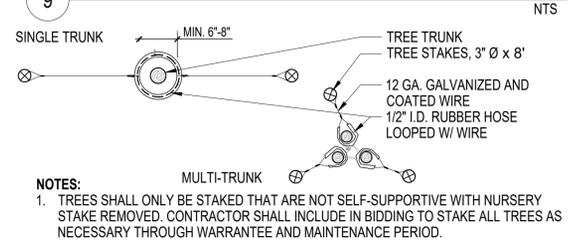
8 FREESTANDING BENCH



- NOTES:**
1. INSTALL BIKE RACK PER MANUFACTURE SPECIFICATIONS AND DETAILS.

13 BICYCLE RACK

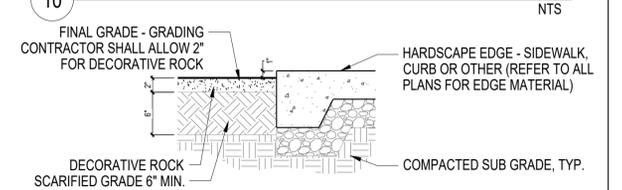
9 RAISED STEEL PLANTER



- NOTES:**
1. TREES SHALL ONLY BE STAKED THAT ARE NOT SELF-SUPPORTIVE WITH NURSERY STAKE REMOVED. CONTRACTOR SHALL INCLUDE IN BIDDING TO STAKE ALL TREES AS NECESSARY THROUGH WARRANTY AND MAINTENANCE PERIOD.

14 TREE STAKING

10 STEEL PLANTER JOINT



15 FINAL GRADE HARDSCAPE TO DEC. ROCK

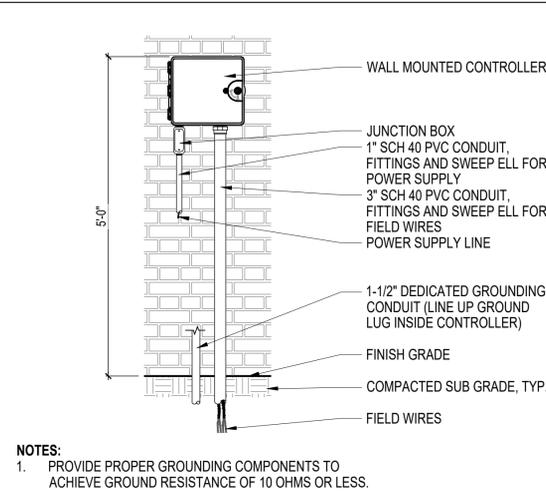
NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HP FIFTH AVENUE, LLC 3573 EAST SUNRISE DRIVE, SUITE 225 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) [REDACTED] EMAIL: [REDACTED]
				SITE ADDRESS 127 SOUTH 5TH STREET TUCSON, ARIZONA 85701
ARC STUDIOS PROJECT NO: 01-19018 3117 E. Flower Street Tucson, Arizona 85718 phone: 520.882.9655 www.arcstudiosinc.com				DEVELOPMENT PACKAGE for 127 SOUTH 5TH AVENUE landscape details

LOT 6 AND 7, BLOCK 93, "CITY OF TUCSON" PER BOOK 3 PAGE 70, MAPS AND PLATS, BEING A PORTION OF SECTION 13, T. 14 S., R. 13 E., GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

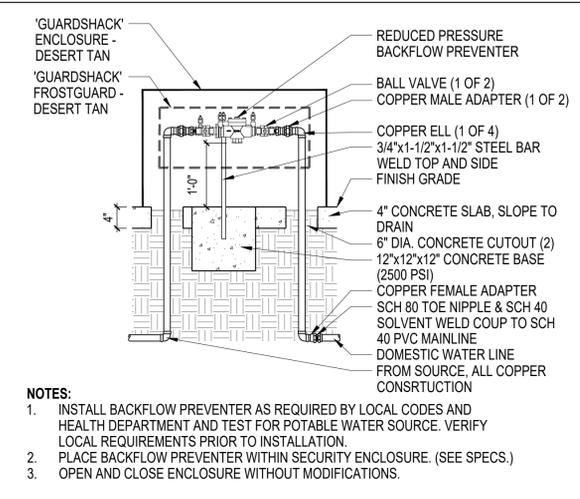
10
OF
11

DP19-0122
REF: ID-19-06; T19SA00227

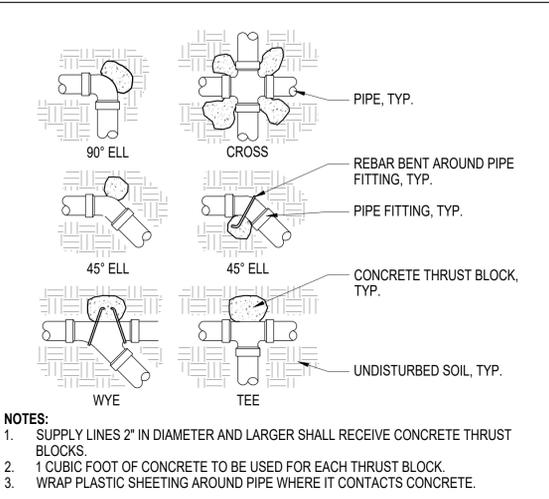




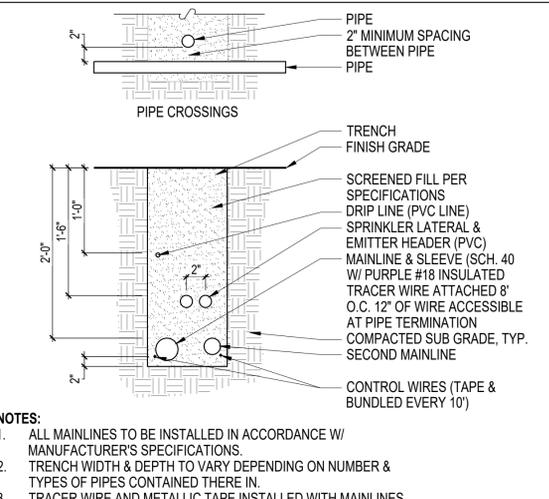
1 WALL MOUNTED CONTROLLER NTS



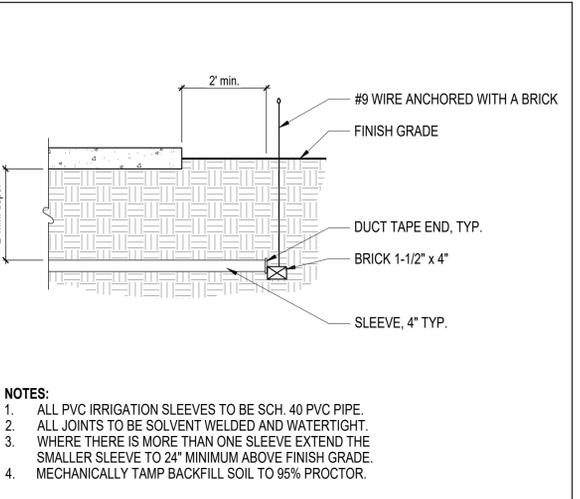
2 REDUCED PRESSURE BACKFLOW PREVENTER NTS



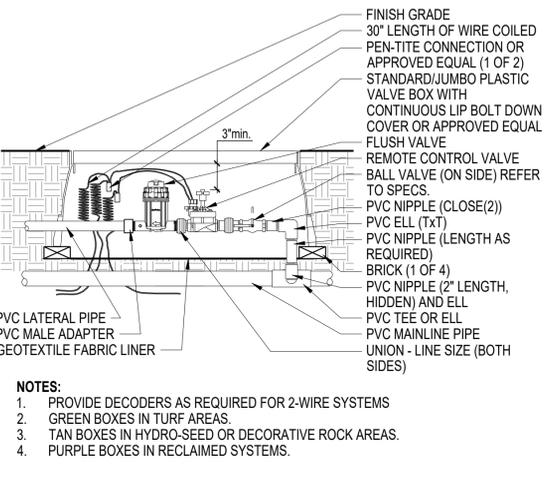
3 MAIN LINE THRUST BLOCK NTS



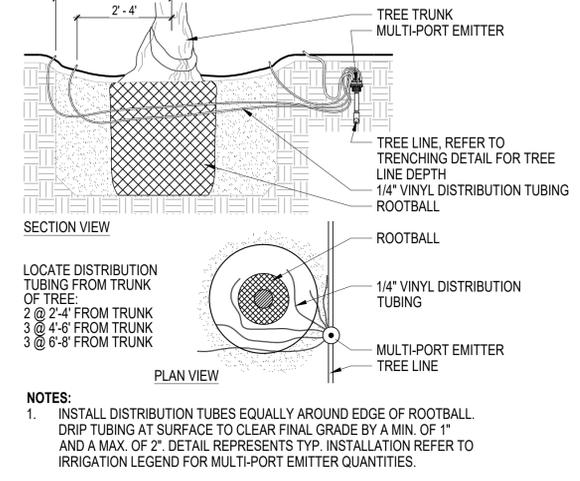
4 IRRIGATION TRENCHING NTS



5 SLEEVING NTS



6 REMOTE CONTROL VALVE - DRIP/BUBBLER NTS



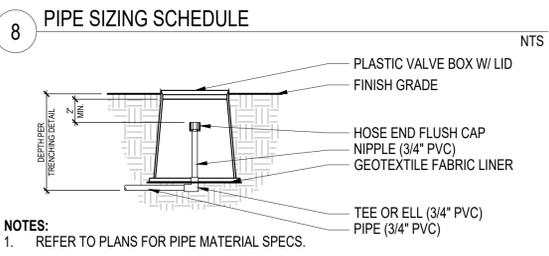
7 MULTI-PORT EMITTER DRIP TUBING @ TREE NTS

PIPE SIZING SCHEDULE

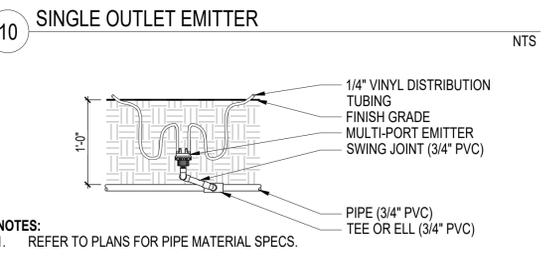
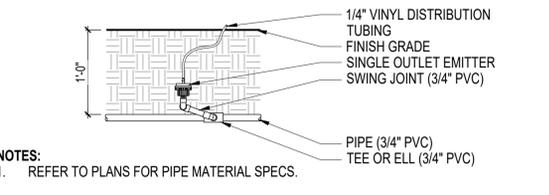
PIPE SIZE	FLOW (GPM)
1/2"	0 - 5
3/4"	5 - 10
1"	10 - 12
1-1/4"	12 - 20
1-1/2"	20 - 30
2"	30 - 46
2-1/2"	46 - 60
3"	60 - 110
4"	110 - 190
6"	190 - 340

NOTES:

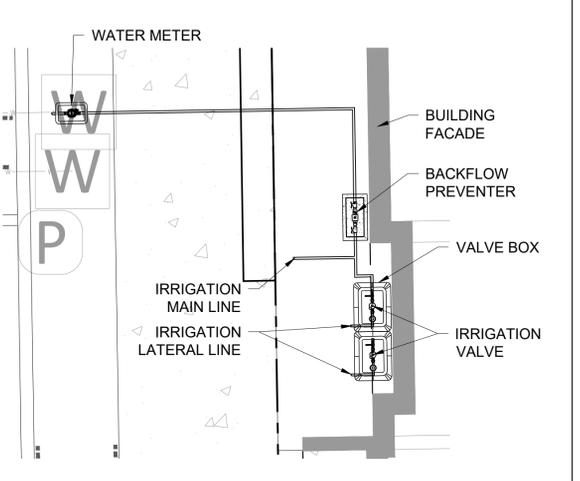
1. ALL 1/2" LATERAL PIPE TO BE CLASS 315 PVC. ALL PIPE 3/4" TO 2-1/2" TO BE SCH. 40 PVC. PIPE 3" AND LARGER TO BE CLASS 200 PVC OR AS NOTED ON IRRIGATION LEGEND.
2. MAIN LINE - SCH. 80 FITTINGS.
3. LATERAL AND DRIP LINES SCH. 40 FITTINGS.
4. PRESSURE TESTS, 4 HOURS:
 - MAIN LINE AT 150 PSI
 - LATERALS AND DRIP LINE AT 70 PSI



8 HOSE END CAP NTS



10 SINGLE OUTLET EMITTER NTS



12 IRRIGATION SOURCE ENLARGEMENT NTS

Refer to specifications for additional information on policies, performances, and products.

NO.	DATE	REVISION DESCRIPTION	BY	OWNER/DEVELOPER
				HP FIFTH AVENUE, LLC 3573 EAST SUNRISE DRIVE, SUITE 225 TUCSON, ARIZONA 85718 ATTN: ROSS RULNEY PH: (520) 882-9655 EMAIL:
				SITE ADDRESS 127 SOUTH 5TH STREET TUCSON, ARIZONA 85701



ARC STUDIOS PROJECT NO: 01-19018

ARC STUDIOS
3117 E. Flower Street
Tucson, Arizona 85716
phone: 520.882.9655
www.arcstudiosinc.com

landscape architecture · urban design · environmental services · irrigation design.

LOT 6 AND 7, BLOCK 93, "CITY OF TUCSON" PER BOOK 3 PAGE 70, MAPS AND PLATS, BEING A PORTION OF SECTION 13, T. 14 S., R. 13 E., GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

DEVELOPMENT PACKAGE for
127 SOUTH 5TH AVENUE
irrigation details

DP19-0122
REF: IID-19-06; T19SA00227

11 OF 11



Permit Review Details

Permit: DP19-0122
Parcel: 117062070

Review Details

Addresses:
127 S 5TH AV
111 S 5TH AV

Review Status: **Completed**

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
5/13/2019	SBEASLE1	START	PLANS SUBMITTED	Completed	None
5/13/2019	SBEASLE1	OTHER AGENCIES	PIMA ASSN OF GOVTS	Passed	Review not required. This agency was notified for their information only.
5/13/2019	SBEASLE1	OTHER AGENCIES	U. S. POST OFFICE	Passed	Review not required. This agency was notified for their information only.
5/13/2019	SBEASLE1	UTILITIES	SOUTHWEST GAS	Passed	Review not required. This agency was notified for their information only.
5/13/2019	CLAURIE1	DESIGN PROFESSIONAL	REVIEW	Denied	Project is opting into the IID and is subject to rezoning conditions. Design Professional folder will be denied until the Design Review is complete.
5/15/2019	GDAURIA1	COT NON-DSD	FIRE	Approv-Cond	TFD prefers not to have a backflow device on the fire service line. If used, must bge included in flow calcs. Contact Mark Titus w/ Tucson Water if any questions. GDAuria

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
5/16/2019	SBEASLE1	COT NON-DSD	ENVIRONMENTAL SERVICES	Reqs Change	<p>The Environmental & General Services Department has completed our review of the Development Package for Activity Number DP19-0122, an 8 story residential building to be located at 127 S. 5th Avenue in Tucson.</p> <p>The waste generation calculations were reviewed and found to be correct. The applicant is proposing to use one 6 cubic yard container for refuse and one 6 cubic yard container for recyclable materials. Each container will be serviced two times per week.</p> <p>The waste enclosure housing the containers will be located on the east-central portion of the property. Detail F on Sheet 6 of 11 depicts the proposed waste enclosure. The dimensions of the enclosure are 13.5 feet by 13.3 feet. These dimensions are for an enclosure containing one container only. Enclosures for two containers have dimensions of approximately 28 feet by 12 feet. See Figure 3A in Section 8 of the City of Tucson - Technical Standards Manual. Figure F also references Figure 3B of the City of Tucson - Technical Standards Manual, which is the design for a single container enclosure. The applicant shall redesign the enclosure to properly store two waste containers.</p> <p>A 6 cubic yard waste container filled with refuse weighs about 3,000 pounds. As such, it is too heavy to manually roll out from the enclosure to the adjacent street for servicing. The approach to the enclosure is 9.5 feet, as shown on the site plan on Sheet 2 of 11. In accordance with Section 8-01.5.2 of the Technical Standards Manual, a minimum unobstructed opening of 12 feet is required in front of the enclosure gates to allow access by the servicing vehicle. It also appears the refuse vehicle cannot make the 90 degree turn necessary from S. Herbert Avenue to access the enclosure. If access to the enclosure was possible, the refuse vehicle would be extending almost completely into S. Herbert Avenue (blocking off traffic) while servicing the containers. The orientation of the enclosure will have to be redesigned to allow for proper access by the servicing vehicle. The redesign of the enclosure should include a description of truck turning radii to demonstrate the accessibility of the enclosure for servicing.</p> <p>Please let me know if there are any questions concerning this review.</p> <p>Tom Ryan, P. E. City of Tucson Environmental & General Services Department email: Thomas.Ryan@TucsonAZ.gov</p>
5/28/2019	LIZA CASTILLO	UTILITIES	TUCSON ELECTRIC POWER	Approved	(The TEP Facilities Map and Utilities and Easement mentioned here can be viewed on PRO in the "Documents" section) WR#6273443

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>May 28, 2019 City of Tucson Attn: Sharon Beasley Planning and Development Services 201 N. Stone Avenue, First Floor Tucson, AZ 85701</p> <p>Dear Ms. Beasley: SUBJECT: 8-story residential building, 127 S 5th Avenue, DP19-0122</p> <p>Tucson Electric Power Company (TEP) has reviewed and approved the development plan submitted May 13, 2019. It appears that there are conflicts with existing the TEP facilities. However, I have been in touch with architect Victor Bolduc. Approval of the development plan is contingent on the below conflicts being resolved.</p> <p>There is an existing pad mounted transformer on the property that is currently in conflict, the transformer location will be relocated and new easement will be provided. Overhead lines on the East side will also be re-framed to add horizontal clearance from the new building. Pole #22 on the West side of the development may have to be relocated to maintain clearance from new building.</p> <p>Enclosed is a copy of a TEP facilities map showing the approximate location of the existing facilities. Any relocation costs will be billable to the customer.</p> <p>In order to apply for electric service, call the New Construction Department at (520) 918-8300. Submit a final set of plans including approved site, electrical load, paving off-site improvements and irrigation plans, if available include a CD with the AutoCAD version of the plans.</p> <p>If easements are required, they will be secured by separate instrument.</p> <p>Your final plans should be sent to: Tucson Electric Power Company Attn: Mr. Richard Harrington New Business Project Manager P. O. Box 711 (DB101) Tucson, AZ 85702 520-917-8726</p> <p>Should you have any technical questions, please contact the area Designer, Martin Rodriguez, at (520) 917-8787.</p> <p>Sincerely, Linda Metzger, Office Support Assistant Design/Build lm Enc. cc: DSD_CDRC@tucsonaz.gov, City of Tucson (email) M. Rodriguez, Tucson Electric Power</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/3/2019	SBEASLE1	COT NON-DSD	PARKS & RECREATION	Approved	No existing or proposed Tucson Parks and Recreation facilities are affected by this development. Howard B. Dutt, RLA Landscape Architect Tucson Parks & Recreation, (520) 837-8040 Howard.Dutt@tucsonaz.gov
6/3/2019	SBEASLE1	PIMA COUNTY	ADDRESSING	Reqs Change	(The attached PDF mentioned here can be viewed on PRO in the "Documents" section) The Addressing Review of DP19-0122 / 1st submittal review request / 127 S. 5th Avenue is being Returned for Corrections by Pima County Addressing. The attached pdf contains Addressing's comments. Please let me know if you have any questions. Thank you, Robin Freiman, Addressing Official Pima County Development Services Department 201 N Stone Ave, 4th Floor Tucson, AZ 85701 (520) 724-7570

Showing 1 to 10 of 21 entries

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Final Status

Show entriesSearch:

Task End Date	Reviewer's Name	Type of Review	Description
6/27/2019	SBEASLE1	OUT TO CUSTOMER	Completed
6/27/2019	SBEASLE1	OUT TO CUSTOMER	Completed

Showing 1 to 2 of 2 entries

Previous Next

Permit Review Details

Permit: DP19-0122
Parcel: 117062070

Review Details

Addresses:
127 S 5TH AV
111 S 5TH AV

Review Status: **Completed**

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/4/2019	ROBERT SHERRY	PLUMBING-COMMERCIAL	REVIEW	Completed	None
6/5/2019	SBEASLE1	COT NON-DSD	TDOT	Approved	TDOT Landscape has no comments on this plan submittal. David Marhefka da'-vid mär-hef'-ka Landscape Architect City of Tucson Department of Transportation (o) 520-837-6618, (m) 520-403-5074

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/7/2019	ZELIN CANCHOLA	COT NON- DSD	TRAFFIC	Reqs Change	<p>June 7, 2019 ACTIVITY NUMBER: DP19-0122 PROJECT NAME: Residential Building PROJECT ADDRESS: 127 S. 5th Ave PROJECT REVIEWER: Zelin Canchola TDOT</p> <p>Resubmittal Required: The following items must be revised and added to the Development package.</p> <ol style="list-style-type: none"> 1. Add new pavement on Hebert Avenue from 12th Street to Broadway Blvd. to accommodate site traffic from new development. Existing pavement has failed beyond repair. 2. A private improvement agreement will be required for the new pavement. <p>If you have any questions, I can be reached at 520 837 6659 or zelin.canchola@tucsonaz.gov</p>
6/10/2019	SBEASLE1	OTHER AGENCIES	TUCSON AIRPORT AUTHORITY	Reqs Change	<p>(Two TAA documents mentioned here can be viewed on PRO in the "Documents" section)</p> <p>June 10, 2019 Sharon Beasley Permit Technician City of Tucson Public Works Buildings - 201 North Stone Avenue Tucson, AZ. 85701 RE: DP19-0122 127 S. 5th Avenue, 8-story Residential Building / 1st Submittal, Received May 13, 2019 Dear Ms. Beasley, Thank you for the opportunity to comment on DP19-0122, 127 S. 5th Avenue, 8-story Residential Building; 1st Submittal, a development package application for an approximately 0.56 acre site, located northeast of the intersection of East 12th Street and South 5th Avenue. The property is zoned Commercial 3 (C-3), with the proposed development being an 8 story residential structure. This site is within the Tucson International Airport aviation easement requirements and public disclosure area, FAA traffic pattern airspace, FAA Part 77 airspace, The Tucson Airport Authority conditionally approves the subject request contingent upon the following conditions of approval, as noted below. These conditions shall be identified in the general notes of the revised development plan. Conditions of approval:</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>1. "According to the Federal Aviation Administration (FAA) Notice Criteria Tool, this project area is located in proximity to a navigation facility and could impact navigation signal reception. The project applicant shall file FAA Form 7460 with the FAA at least 45 days before construction activities begin unless FAA staff, with the Obstruction Evaluation / Airport Airspace Analysis (OE/AAA), provides the project applicant with written communication that filing FAA Form 7460 is not required. It is highly recommended that the applicant file earlier than 45 days to provide the applicant with sufficient time to respond to any concerns which are identified by the FAA. Any cranes which are used must also be identified with Form 7460. Please file Form 7460 at https://oeaaa.faa.gov/oeaaa/external/portal.jsp"</p> <p>Although this project does not propose a change in plan designation or zoning the Tucson Airport Authority highly recommends the applicant add the following two notes into the general notes of the revised development plan. This project is located approximately 6 miles northwest of Tucson International Airport and is within FAA traffic pattern airspace, an area which would be subject to aircraft overflight and noise due to being in close proximity to Tucson International Airport.</p> <p>The first proposed note would provide a means of assuring that future owners and tenants of the property are aware they are in proximity an airport and further assures the continued right of the City of Tucson, Tucson Airport Authority, and all persons lawfully utilizing the Tucson International Airport the right to utilize the airspace above or near the property. This would be accomplished through the property owner recording the Avigation Easement. The second proposed note is meant to be a second method of notification, but only for residential related uses, that future property owners and tenants are living near an airport. The Tucson Airport Authority believes the proposed notes help to support the City of Tucson Airport Environs Overlay Zone and supports Plan Tucson - Regional and Global Positioning policy 4 (RG-4).</p> <p>1. "That prior to the City's approval of any construction permit for a permanent building, the property owner shall record the Avigation Easement which discloses the existence, and operational characteristics of the Tucson International Airport to future owners or tenants of the property and further conveys the right to the public to lawfully use the airspace above the property. The Avigation Easement shall be recorded in a manner with the Pima County recorder which shall document it as having title liability. The content of such documents shall be according to the form and instructions provided."</p> <p>The current property owner or person authorized to sign on behalf of the current property owner shall complete, sign, and record the Avigation Easement. Please record the Avigation Easement with the Pima County Recorder's Office. Once the Avigation Easement is recorded please send a complete copy of the recorded easement document to Tucson Airport Authority by either email (send to srobidouxflytucson.com) or to the</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>mailing address provided below. Scott Robidoux, Senior Airport Planner Tucson Airport Authority 7250 South Tucson Boulevard, Suite 300 Tucson, AZ 85756</p> <p>2. "The developer shall provide the Airport Disclosure Statement form, at time of sale, to the new property owners with new unit purchases. In the event the development of any residential uses does not involve the sale of new units, but is instead offering rental residential units to the public, the new tenant of the rental unit shall be provided a copy of the Airport Disclosure Statement form. The intent of the Airport Disclosure Statement form is to educate and notify the new residents that they are living near an airport. The content of such documents shall be according to the form and instructions provided."</p> <p>The new property owner or new tenant shall forward a signed copy of the Airport Disclosure Statement form to the Tucson Airport Authority, using the mailing address provided below. Scott Robidoux, Senior Airport Planner Tucson Airport Authority 7250 South Tucson Boulevard, Suite 300 Tucson, AZ 85756</p> <p>Please do not hesitate to contact me if you have any questions or concerns regarding this comment letter. I can be reached by email at srobidoux@flytucson.com or by telephone at 520-573-4811. Respectfully, Scott Robidoux, Senior Airport Planner</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/12/2019	ANDREW CONNOR	LANDSCAPE	REVIEW	Reqs Change	<p>4.1 Identification and Descriptive Data</p> <p>A. All improvements and site information, such as adjacent rights-of-way and property lines, shown on the landscape plan will be identical in size and location to those shown on the base plan (site plan or tentative plat). Should amendments be required to the base plan through the review process, the same amendments will be made to the landscape plan which will then be resubmitted along with the base plan.</p> <p>B. The landscape plan will contain the following identification in the lower right corner of each sheet:</p> <p>Cross-reference to: Development Review Board (DRB) case; and/or, Any other relevant case number for reviews or modifications that affect the site.</p> <p>The site is within the following overlay zone: 5.12.10. DOWNTOWN CORE SUBDISTRICT (DCS)</p> <p>A complete or partial exception to the landscaping and screening requirements in Section 7.6 may be granted by the PDSO Director, if shade along sidewalks, pedestrian circulation paths or outdoor patios is provided for pedestrians and customers in accordance Section 5.12.6.A.2. Alternative pedestrian access that creates connectivity between public entrances to the project and abutting sidewalk is allowed if no safety hazard is created. All pedestrian access must conform to the accessibility standards of the City's Building Code.</p> <p>Provide IID approval information and any condition imposed. Landscape cannot approve plans until IID review is complete. Ensure that all Zoning and Engineering comments and concerns are addressed. Additional comments may apply.</p>
6/13/2019	DAVID RIVERA	ZONING	REVIEW	Reqs Change	<p>CDRC TRANSMITTAL</p> <p>TO: Development Services Department Plans Coordination Office</p> <p>FROM: David Rivera PDSO Zoning Review Section</p> <p>PROJECT: Multi-family - Residential Use Development Package (1st Review) - 127 S. 5th Avenue DP19-0122 - C-3 Zoning - IID application case no. not available as of this review</p> <p>TRANSMITTAL DATE: June 13, 2019 DUE DATE: June 11, 2019</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>COMMENTS: Please resubmit revised drawings and any redlined plans along with a detailed response letter, which states how all Zoning Review Section comments were addressed.</p> <p>Section 3.3.3.G.5.c UDC, An applicant has one year from the date of application to obtain approval of a site plan that complies with zoning and other development requirements in effect at the time of application, unless an ordinance adopted by Mayor and Council during this period states otherwise. A site plan application that has been in review for a period of one year and has not yet been approved is considered denied. To continue the review of a site plan for the property, a new site plan must be submitted that complies with regulations in effect at the time of re-submittal. The new submittal initiates a new one-year review period. One year Expiration date is May 9, 2020.</p> <p>SECTION 2-06.0.0: DEVELOPMENT PACKAGE (TENTATIVE PLATS AND SITE PLANS) Section</p> <p>2-06.3.0 FORMAT REQUIREMENTS</p> <p>CONTENT REQUIREMENTS</p> <p>2-06.4.3 - The administrative street address and relevant case numbers (development package document, subdivision, rezoning, board of adjustment, DDO, MDR, DSMR, overlay, etc.) shall be provided adjacent to the title block on each sheet.</p> <p>1. COMMENT: Provide the development package case number, DP19-0122, adjacent to the title block on each sheet.</p> <p>List the IID case number next to the title block of all plan sheets.</p> <p>2-06.4.7 - General Notes The following general notes are required. Additional notes specific to each plan are required where applicable.</p> <p>2-06.4.7.A - Zoning and Land Use Notes</p> <p>2-06.4.7.A.6 - If a plan or plat is prepared in conjunction with other applications or overlays or the parcel being developed is subject to conditions of an application processed previously, additional information must be added to the plan. Such applications and overlays include, but are not limited to: annexations; rezonings; special exceptions; Board of</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>Adjustment variances; Design Development Options; Technical Standard Modification Request; overlays (Airport Environs Zone, Environmental Resource Zone, Gateway Corridor Zone, Hillside Development Zone, Historic Preservation Zone, Major Streets and Routes, Rio Nuevo District, Scenic Corridor Zone, WASH); Modification of Development Regulations through the Downtown Area Infill Incentive District or Rio Nuevo District; Downtown Heritage Incentive Zone; or, Design Review Board. Provide the following information on the plan.</p> <p>2. COMMENT: It is acknowledged that an IID application has been submitted for review. List the IID case number next to the title block of all plan sheets. Once the IID process has been completed include on sheet 2 the case number, date of approval and conditions of approval.</p> <p>2-06.4.7.A.8 - For development package documents provide: 2-06.4.8 - Existing Site Conditions</p> <p>2-06.4.8.A - Provide site boundary/subdivision perimeter information, including bearing in degrees, minutes, and seconds, with basis for bearing noted, together with distances in feet, to hundredths of a foot, or other functional reference system.</p> <p>3. COMMENT: The project is proposed over two existing parcels. Prior to approval of the DP the parcels will have to be combined. Contact the Pima County Assessor's Office for the Tax Parcel Combo process.</p> <p>2-06.4.9 - Information on Proposed Development The following information on the proposed project shall be shown on the drawing or added as notes.</p> <p>2-06.4.9.H.3 - Indicate fire circulation, including accessibility and vehicle maneuverability.</p> <p>4. COMMENT: Label the width of the north driveway entrance. Indicate the direction of travel; is the north driveway "in only", "exit only"?</p> <p>2-06.4.9.H.5 - If utilizing parking area access lanes (PAALs), they shall be designed in accordance with Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.</p> <p>5. COMMENT: The PAALs do not meet the minimum width dimensions of 24</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>feet. An approved PDMR would be required to allow the 22 foot wide PAALs.</p> <p>2-06.4.9.H.5.a - Show all motor vehicle off-street parking spaces provided, fully dimensioned. As a note, provide calculations on the number of spaces required (include the ratio used) and the number provided, including the number of spaces required and provided for the physically disabled. The drawing should indicate parking space locations for the physically disabled. A typical parking space detail shall be provided for both standard parking spaces and those for the physically disabled. For information on parking requirements for the physically disabled, refer to adopted building and accessibility codes of the City of Tucson. Design criteria for parking spaces and access are located in Section 7.4.6, Motor Vehicle Use Area Design Criteria, of the UDC.</p> <p>6. COMMENT: Label the 2.5 foot overhang at all parking stall locations where applicable.</p> <p>Assure that there is sufficient walkway area through the center parking stall areas. A minimum 4 foot clear is required through the entire sidewalk area. Draw, label and dimension the 2.5 feet overhang in this area.</p> <p>The number of vehicle parking spaces will be reviewed on the next submittal to verify compliance with the IID conditions.</p> <p>2-06.4.9.H.5.d - Show bicycle parking facilities fully dimensioned. For specifics, refer to Section 7.4.9, Bicycle Parking Design Criteria, of the UDC. Provide, as a note, calculations for short and long term bicycle spaces required and provided.</p> <p>7. COMMENT: The number of bicycle parking spaces will be reviewed on the next submittal to verify compliance with the IID conditions.</p> <p>2-06.4.9.L - All proposed easements (utility, sewer, drainage, access, etc.) are to be dimensioned and labeled as to their purposes and whether they will be public or private. The easements may have to be recorded and the recordation information added to the development package prior to approval.</p> <p>8. COMMENT: Clarify if the Electric easement has been abandoned. If it has not yet been abandoned include a note that states the easement will be abandoned by separate instrument. The easement must be abandoned</p>

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
					<p>prior to approval of the DP.</p> <p>2-06.4.9.O - All applicable building setback lines, such as erosion hazard, floodplain detention/retention basins, and zoning, including sight visibility triangles, will be shown.</p> <p>9. COMMENT: Label the setback from the stairwell structure to the east and north property lines. Label the setback from the north property line to the covered parking structure. (It is acknowledged that the interior perimeter building setbacks may be 0'-0".) The street setback will be reviewed again on the next submittal of the DP to verify compliance with the IID conditions.</p> <p>2-06.4.9.Q - Provide the square footage and the height of each commercial, industrial, or business structure and the specific use proposed within the footprint of the building(s).</p> <p>10. COMMENT: There appears to be a conflict with the height of the building listed on the DP and the height of the building on the IID building elevation plans. The maximum height allowed within the C-3 Zone is 75 feet. The DP indicates a 71.67-foot height and on the building elevations included in the IID application package the building height is dimensioned as 81'-4". In addition the stairwell structure is taller than 90 feet. Consult with the architect to verify the exact heights and revise as required. Keep in mind that the maximum height allowed is 75 feet.</p> <p>If you have any questions about this transmittal, Contact David Rivera on Tuesday, or Wednesday at (520) 837-4957 or by email David.Rivera@tucsonaz.gov or contact Steve Shields any time during the week at (520) 837-4956 or email Steve.Shields@tucsonaz.gov</p> <p>RESUBMITTAL OF THE FOLLOWING IS REQUIRED: Revised development package</p>
6/13/2019	DAVID RIVERA	ZONING HC	REVIEW	Reqs Change	see zoning comments

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/18/2019	JOHN VAN WINKLE	ENGINEERING	REVIEW	Reqs Change	DP19-0122 1) Minimum width for a PAAL accessing 90 degree parking is 24'. Current proposal shows PAAL to only be 22' wide. UDC table 7.4.6-1 2) East-Wast running walkway, through parking area. It does not appear that with a 2.5' vehicle overhang on both the north and south side of the walkway that a minimum 4' wide sidewalk is maintained. Adjust if needed 3) Show on plans that any roof drains (downspouts) scupper underneath sidewalks or pedestrian walkways. Reference City of Tucson (COT) Technical Standard (TSM) 7-01.4.1.E 4) Show how the proposed plan is in compliance with City of Tucson (COT) Unified Development Code (UDC) section 7.6.6.C. Particularly Roof drains or downspouts and proposed sidewalks along S 5th Av and S Herbert Av should be directed into landscaped areas. Available landscape area to be depressed up to 6" to maximize water harvesting John Van Winkle, P.E. John.VanWinkle@tucsonaz.gov 520-837-5007
6/19/2019	TOM MARTINEZ	OTHER AGENCIES	AZ DEPT TRANSPORTATION	Approved	Regional Traffic Engineering has no comments on this submittal and supports its acceptance. The proposed location will have no impacts to any ADOT facilities. Thank you. Tom Martinez ADOT TMartinez@azdot.gov
6/27/2019	SBEASLE1	COT NON-DSD	REAL ESTATE	Needs Review	None

Showing 11 to 20 of 21 entries

Previous 1 **2** 3 Next

Final Status

Show **10** entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description
6/27/2019	SBEASLE1	OUT TO CUSTOMER	Completed

Task End Date	Reviewer's Name	Type of Review	Description
6/27/2019	SBEASLE1	OUT TO CUSTOMER	Completed

Showing 1 to 2 of 2 entries

Previous

1

Next

Permit Review Details

Permit: DP19-0122
Parcel: 117062070

Review Details

Addresses:
127 S 5TH AV
111 S 5TH AV

Review Status: **Completed**

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
---------------	-----------------	----------------	-------------	--------	---------

Task End Date	Reviewer's Name	Type of Review	Description	Status	Comment
6/27/2019	SBEASLE1	ZONING-DECISION LETTER	REVIEW	Reqs Change	<p>PLAN RETURNED FOR CORRECTIONS NOTICE</p> <p>The reviews have been completed and a resubmittal is required. Fee Balance: \$1,962.40 (see the Balance column in the image below). Prior to the completion of the next review, we require payment of the total fees (or the Review fees at a minimum). You may pay in person at the City of Tucson permit counter (Mon-Fri, 8:00 AM to 2:00 PM) or mail a check payable to the City of Tucson (see address below). Please write your Activity Number on the check. Activity Number: DP19-0122</p> <p>Project Description: SITE/GRADING/IID - 127 S. 5th Ave, 8-story residential building.</p> <p>For review comments, visit PRO at www.tucsonaz.gov/PRO, then search by Activity Number. (If information isn't shown yet, check back later as data flows to PRO periodically throughout the day.)</p> <p>After all corrections are made, please name your 2nd submittal documents accordingly, for example: 2_Plan_Set.</p> <p>Submit the following items to the PDS D Filedrop at https://www.tucsonaz.gov/file-upload-pdsd.</p> <p>In the Project Description field, please include the Activity Number.</p> <ol style="list-style-type: none"> 1) Comment Response Letter (states how all comments were addressed) 2) Complete Plan Set (all pages, full set) 3) Any other items requested by review staff <p>After resubmittal, the plans will re-enter the standard 20-working-day review cycle. The Project Manager can be contacted at: John.VanWinkle@TucsonAz.gov, (520) 837-5007.</p> <p>Thank you. Sharon Beasley, Permit Technician</p> <p>City of Tucson Planning and Development Services Attn: Permit Counter/Payments 201 N. Stone Avenue, First Floor Tucson, AZ 85701</p>

Showing 21 to 21 of 21 entries

Previous 1 2 **3** Next

Final Status

Show entries

Search:

Task End Date	Reviewer's Name	Type of Review	Description
6/27/2019	SBEASLE1	OUT TO CUSTOMER	Completed
6/27/2019	SBEASLE1	OUT TO CUSTOMER	Completed

Showing 1 to 2 of 2 entries

Previous 1 Next

**SECTION 7 – PIMA COUNTY ASSESSOR'S
RECORD PARCEL DETAIL AND RECORD
MAP**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

Parcel Number: 117-06-2060

Property Address			
Street Number	Street Direction	Street Name	Location
111	S	5TH AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
FIFTH AVENUE PARTNERS OF LLC 6340 N CAMPBELL AVE STE 170 TUCSON AZ 85718-3182	TUCSON LOT 6 BLK 93

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2019	COMMERCIAL (1)	18.0	\$171,222	\$550	\$171,772	\$171,772	\$30,919
2020	COMMERCIAL (1)	18.0	\$195,518	\$550	\$196,068	\$180,361	\$32,465

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map:	3	Plat:	70	Block:	093
Tract:		Land Measure:	12,197.00F	Lot:	00006
Census Tract:	100	File Id:	1	Group Code:	
Use Code:	2120 (MEDICAL CLINIC)			Date of Last Change:	9/28/2018

Sales Information (3)							
Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20190950754	2	4/2019	Commercial/Industrial	\$1,775,000	\$1,775,000	Y	
20133600426	2	12/2013	Commercial/Industrial	\$900,000	\$900,000	Y	X RJM
20031240975	2	6/2003	Commercial/Industrial	\$665,000	\$665,000	N	W5 SMS DEED: Special Warranty Deed

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	03070 DEL	30

Recording Information (4)

Sequence No.	Docket	Page	Date Recorded	Type
20190950754	0	0	4/5/2019	WTDEED
20133600426	0	0	12/26/2013	WTDEED
20031240975	12081	6011	6/27/2003	WTDEED
0	4765	7	5/13/1974	

Commercial Characteristics

Property Appraiser: Mark Baudendistel Phone: (520) 724-7458

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	0	\$550	\$0	\$550

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1978	211/3	0000000	0	\$26	\$10	MEDICAL/DENTAL CLINIC

Petition Information (2)

Tax Year	Owner's Estimate	Petition	Work Up
2018	\$102,850	pdf	pdf
2015	\$196,068		

Permits (1)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
CSPEC8949	SPEC ~	02/04/2010	03/16/2010	ASR							
Description: This has been on our records as vacant-per aerals, de nitely a building on property.											

Notes (5)

Created: 5/1/2015 Modi. ed: 5/1/2015	TRCNo 1404801: ST14-636 2014 HP Fifth Avenue LLC BJ BJ 3 percent interest with 117-06-2070
Created: 4/17/2015 Modified: 4/17/2015	Court Case Judgment: ST2014-000636 (TAX YEAR 2014). WITH PARCEL 117-06-2070 (FINANCE DECISION)
Created: 12/22/2014 Modified: 4/13/2015	Active Court Case: ST2014-000636 (TAX YEAR 2014). With Parcel 117-06-2070 (FINANCE MANAGING)
Created: 6/16/2014 Modified: 6/16/2014	PETITION 2015 A LEVEL RULE A ECON UNIT
Created: 4/15/2010 Modified: 4/15/2010	Change use code from 0021 to 2120. Change Land class from 2/0(Vacant/Ag) to 1/0(100%Comm). Add Imp class 1/0(100%Comm). Same owner as PCL 2070. All Imps are listed on 2070. Photos in Bookmap. Will Apex.

Parcel Number: 117-06-2070

Property Address			
Street Number	Street Direction	Street Name	Location
127	S	5TH AV	Tucson

Contact Information	
Property Owner Information:	Property Description:
FIFTH AVENUE PARTNERS OF LLC 6340 N CAMPBELL AVE STE 170 TUCSON AZ 85718-3182	TUCSON LOT 7 BLK 93

Valuation Data							
Valuation Year	Property Class	Assessment Ratio	Land FCV	Imp FCV	Total FCV	Limited Value	Limited Assessed
2019	COMMERCIAL (1)	18.0	\$195,518	\$342,510	\$538,028	\$538,028	\$96,845
2020	COMMERCIAL (1)	18.0	\$195,518	\$692,746	\$888,264	\$564,929	\$101,687

Property Information					
Township:	14.0	Section:	13	Range:	13.0E
Map:	3	Plat:	70	Block:	093
Tract:		Land Measure:	12,197.00F	Lot:	00007
Census Tract:	100	File Id:	1	Group Code:	
Use Code:	2120 (MEDICAL CLINIC)			Date of Last Change:	9/28/2018

Sales Information (3)							
Affidavit of Fee No.	Parcel Count	Sale Date	Property Type	Sale	Time Adjusted Sale	Cash	Validation
20190950754	2	4/2019	Commercial/Industrial	\$1,775,000	\$1,775,000	Y	
20133600426	2	12/2013	Commercial/Industrial	\$900,000	\$900,000	Y	X RJM
20031240975	2	6/2003	Commercial/Industrial	\$665,000	\$665,000	N	W5 SMS DEED: Special Warranty Deed

Valuation Area				
District Supervisor: RAMON VALADEZ District No: 2				
DOR Market	Land Subarea	Neighborhood	Sub ID	Economic District
31	1111044 DEL	01020201	03070 DEL	30

Recording Information (4)

Sequence No.	Docket	Page	Date Recorded	Type
20190950754	0	0	4/5/2019	WTDEED
20133600426	0	0	12/26/2013	WTDEED
20031240975	12081	6011	6/27/2003	WTDEED
0	2109	116	12/31/1752	

Commercial Characteristics

Property Appraiser: Mark Baudendistel Phone: (520) 724-7458

Commercial Summary

Interface	Total Sq Ft	Cost Value	CCS Override	Market Override
Y	10,140	\$565,810	\$0	\$692,746

Commercial Detail

SEQ-SECT	Const Year	Model / Grade	IPR	Sq Ft	RCN	RCNLD	Model Description
001-001	1978	211/3	0000000	10,140	\$1,283,819	\$555,123	MEDICAL/DENTAL CLINIC
002-001	1978	101/3	0000000	0	\$12,894	\$5,397	COMMERCIAL YARD IMPROVEMENTS
003-001	1978	290/3	0000000	0	\$14,532	\$5,290	PARKING LOT

Petition Information (2)

Tax Year	Owner's Estimate	Petition	Work Up
2018	\$322,150	pdf	pdf
2015	\$523,932		

Permits (3)

Permit	Status	Issued	Final	City	Value	SqFt	Sub	FirstInsp	LastInsp	Processed	% Complete
T04CM04633	CALT ~ FINAL	12/01/2004	03/07/2005	TUC	\$20,000	0	3/*	07/24/2007			0
	Description: TI:RAMP										
T03CM04350	CALT ~ FINAL	10/24/2003	12/17/2003	TUC	\$250,000	10,400	3/*	07/24/2007			0
	Description: TI:OFFICE										
T01PL01846	COTH ~ FINAL	09/20/2001	09/25/2001	TUC	\$0	0	3/*	07/24/2007			0
	Description: REPLACEMENT:WATER HEATER										

Notes (5)	
Created: 5/1/2015 Modi. ed: 5/1/2015	TRCNo 1404802: ST14-636 2014 HP Fifth Avenue LLC BJ BJ 3 percent interest with 117-06-2060
Created: 4/17/2015 Modified: 4/17/2015	Court Case Judgment: ST2014-000636 (TAX YEAR 2014). WITH PARCEL 117-06-2060 (FINANCE DECISION)
Created: 12/22/2014 Modified: 4/13/2015	Active Court Case: ST2014-000636 (TAX YEAR 2014). With Parcel 117-06-2060 (FINANCE MANAGING)
Created: 6/16/2014 Modified: 6/16/2014	PETITION 2015 A LEVEL RULE A ECON UNIT
Created: 4/15/2010 Modified: 4/15/2010	No change to use code at 2120. No change to Land/Imp class at 1/0(100%Comm). Add Imp class 1/0(100%Comm). Building and other Imps also sit on PCL 2060. Photos in Bookmap. Occupant is COPAC.

**SECTION 8 – AERIAL AND EXISTING
PHOTOS**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

**SECTION 7 – AERIAL AND
EXISTING PHOTOS AND
CONTEXT**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

**111-127 S 5th Avenue Apartment Building
Aerial**



 127 S 5th

**111-127 S 5th Avenue Apartment Building
Photo Index**



111-127 S 5th Avenue Apartment Building Existing Photographs and Context



1 Existing Office Building at 111-127 N 5th Avenue to be demolished



2 Existing 5th Avenue view from 12th Street



3 Existing 5th Avenue view from Broadway



4 Existing parking lot and east side of building and Herbert Avenue looking north



5 Abutting property looking north on Herbert Avenue



6 Vacant lot east of project on Herbert Avenue looking north



7 Vacant lot east of project on Herbert Avenue looking north



8 133-135 N 5th Avenue apartment building (2 units) – Perma Stone exterior material



9 Apartment building south of project (4 units) – Perma Stone exterior material



10 Apartment building southeast of project (2 units)



11 Residential unit at NWC 12th Street and Herbert Avenue (1 unit)



12 Residential unit at NEC 5th Avenue and 12th Street (1 unit)



13 Commercial building at NWC 5th Avenue and 12th Street



14 Eligible commercial building across 5th Avenue



15 Apartment building across 5th Avenue



16 Historic commercial property across 5th Avenue at Broadway



17 Eligible building and lot at NWC of 127 S 5th Property



18 Eligible building northwest of 127 N 5th



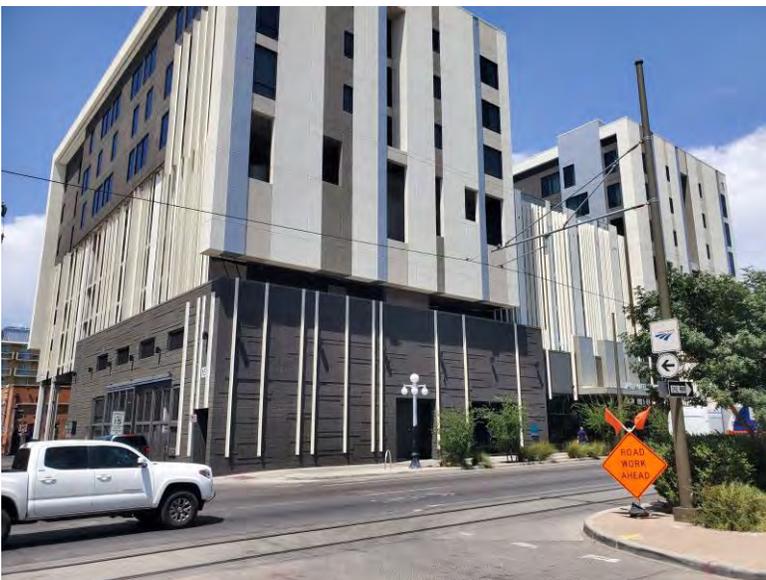
19 Ineligible commercial buildings north of 127 S 5th on Broadway



20 Eligible commercial property across Broadway looking northeast (Cadence Student Housing in background)



21 View looking west on Broadway from 5th Avenue



22 AC Hotel across Broadway (view to northeast from 6th Avenue)



23 Stillwell House on NEC 6th Avenue and 12th Street



24 The Herbert apartment building at 12th Street and 5th Avenue



25 Office building across 5th Avenue

SECTION 9 – ARCHITECTURAL CONTEXT

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

111-127 S 5th Avenue Apartment Building Architectural Context

The buildings surrounding 125 S 5th offer a variety of architectural details and styles. Some buildings date back 100 years or more, and others were constructed in the past five years. All contribute to a diversity of design that defines this area of the city. Predominant building materials include brick, stucco, steel, EIFS, wrought iron, and concrete with styles that vary from early 20th territorial to contemporary. No one material or style dominates the streetscape, and all have their place.



The Julian Drew building is located at the southwest corner of 5th Avenue and Broadway. Built in 1917, it is a commercial building that is typical of other Tucson buildings of the time. It is built in brick with an approximately 12-foot high glazed storefront on two sides with clerestories above wood-framed storefront windows divided into three sections. A soldier course of brick above the storefront and brick pilasters add subtle detail to the façade at the second floor. Punched double hung windows with single top and bottom lights in three different sizes define the character of the second floor, and a cornice wraps the building just below the brick parapet.



The Julian Drew Block apartment building just south of the historic Julian Drew building is a simple, contemporary stucco building painted dark gray. It has single light sliding aluminum windows with a rusted steel shading device above each window. The entry is set back from the façade and is covered by a metal steel corrugated roof with rusted steel structure.



The Stillwell House event building can be found just north of the Julian Drew Block apartments. Built in 1902, it is a territorial-style brick building with a asphalt shingle hip roof. A white-painted second floor balcony with a wood spindle balustrade is supported by painted wood posts.



On the northeast corner of 12th Street and Arizona Avenue is another building occupied by the Stillwell House event center. The building is white-painted stucco with an ornate wrought iron balcony with dental molding cornice on stout columns with Corinthian capitals. Large multi-light windows open onto the upper level porch. This architectural styling is unique to the area.



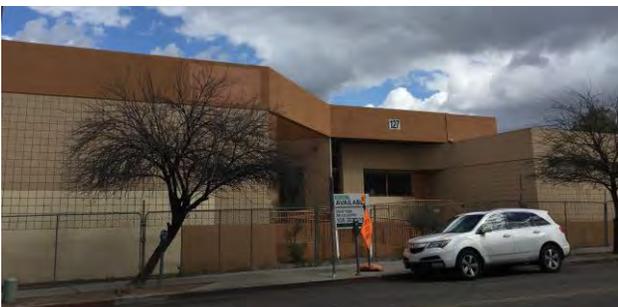
The 6-story Cadence Apartment building is located at the northeast corner of Broadway Boulevard and Herbert Avenue. The contemporary building is painted stucco or EIFS with a series of ribbon window areas with punched aluminum sliding windows. The building has a simple parapet and gray concrete masonry base. The building is white with two other earth tone colors.



The Armory Park facilities building is a large nondescript contemporary building of painted stucco on the southwest corner of 5th Avenue and 12th Street. It has a simple painted trim at the top of the parapet.



The Herbert is located at the southeast corner of 5th Avenue and 12th Street. The eight-story contemporary, unadorned apartment building is natural concrete with large inoperable floor to ceiling windows divided into three sections and a flat roof. The entrance is defined primarily by the concrete access ramp and short flight of concrete steps up from 12th street.



The existing 127 S 5th Avenue office building is a single-story, contemporary structure with small window area, a recessed angular entry, and large expanses of painted concrete masonry and stucco wall areas, some scored in a grid. A large painted stucco parapet wraps the top of the building.



The brick building at the southeast corner of 5th Avenue and Broadway Boulevard is an early 20th century industrial-feel commercial building with large areas of storefront that give good visibility to and from the building. The storefronts vary in treatment from being divided into four large fixed light windows to multiple divisions in metal frames. The east most building is painted stucco. A small parking area with metal roof is located at the west side of the building. The west building has interesting yet simple crenulation at the brick parapet and an extended brick “eyebrow” over the storefront.



Located at the northwest corner of 5th Avenue and Broadway Boulevard is the new, contemporary-styled AC Hotel, an approximately 7-story gray and white EIFS building with painted dark gray concrete masonry base. The first four floors house a parking garage. Fixed punched windows with aluminum frames set in large fields of gray painted EIFS join what appear to be sliding windows of similar height and width. Verticality is expressed.



The territorial residence at the northwest corner of 12th Street and Herbert Avenue is a contributing property with painted stucco walls, stucco base course, and a metal pyramid hip roof with a hip roof extension. Simple punched double-hung

window with single lights march around the building. The wood entry door is set back into the wall at the top of concrete steps and surrounded by sidelights and transom.



Three of the buildings on the commercial lot south of 127 S 5th are early to mid-20th century buildings clad with Perma-Stone, a cement application that was a popular way to give a building a stone-like, square-cut appearance but that also hid the building's original character. Large divided fixed window areas define the glazing areas. The parapets are ringed with Perma-Stone capping. The Perma-Stone material is unique to these buildings in this area.



The painted brick apartment building at the northwest corner of 12th Street and Herbert Avenue has contemporary styling with a unique recessed brick "eyebrow" over the ground level windows and a ribbon of wood-framed clerestory windows wrapping all sides under a flat corrugated metal roof and exposed rusted steel roof structure. The windows appear to be fixed and are divided in equal modules.

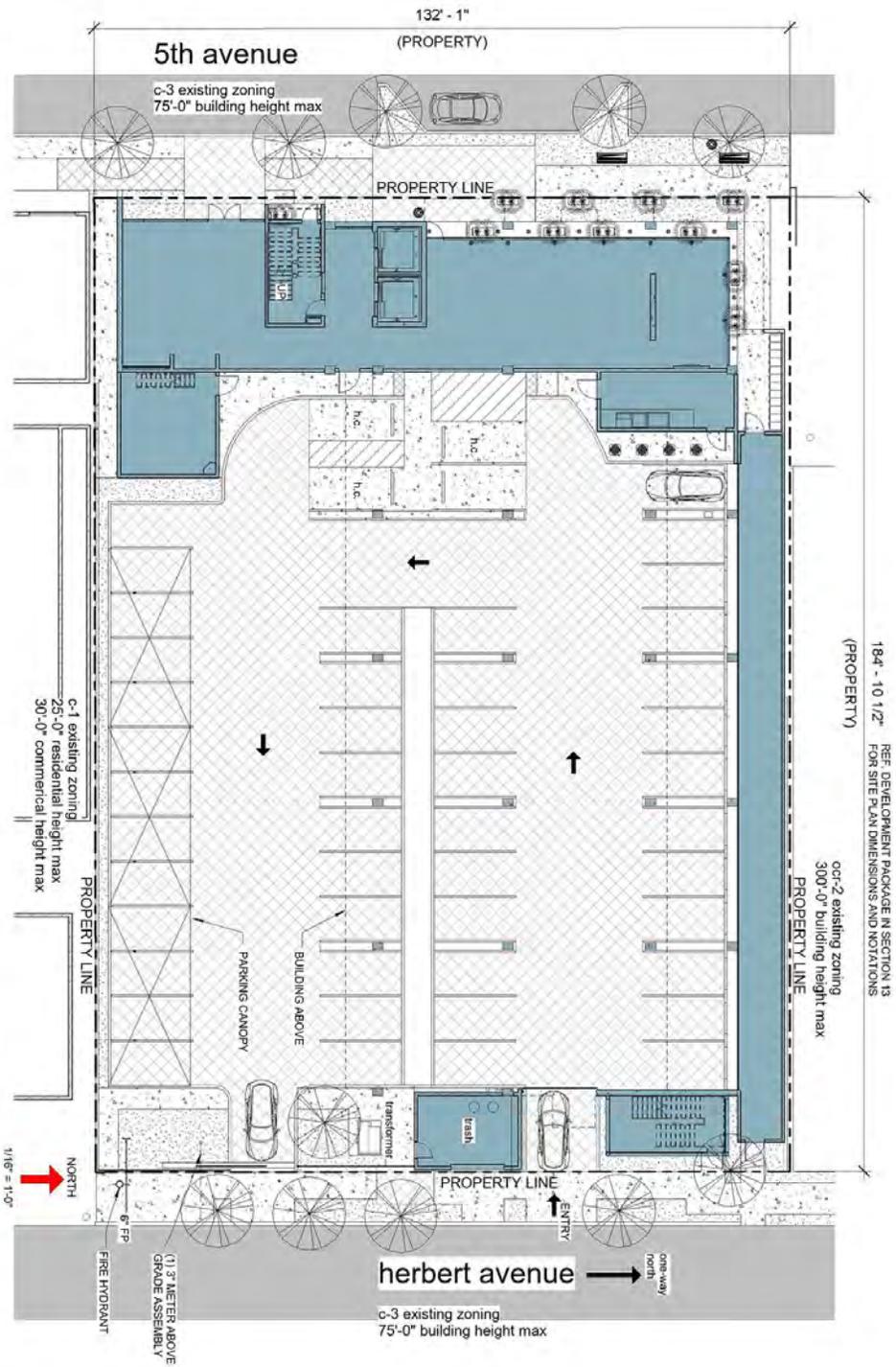


This eligible building at 118 S 5th Avenue is a stucco building with contemporary styling and flat roof. The building appears to be early to mid-20th century vintage. It has a crenulated parapet in stucco, a divided narrow storefront window, and a large rectangular storefront window with varying rectangular geometric divisions. The entry door is recessed.

SECTION 10 – SITE PLAN AND SHADE ANALYSIS

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building



SHADE STUDIES



JUNE 21ST @ 9:30 AM



JUNE 21ST @ 12:00 PM



JUNE 21ST @ 3:30 PM

SECTION 11 – ELEVATIONS AND SECTIONS

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

**111-127 S 5th Avenue Apartment Building
Elevations and Sections**



Perspective looking South on 5th



Perspective looking North on 5th



Perspective looking South on Herbert



Perspective looking North on Herbert

KEY NOTES:

1. ELEVATOR CORE
2. STAIR TOWER, STEEL STRUCTURE
3. PARKING STRUCTURE
4. CMU WALL, 'TRENDSSTONE, REDBRICK'
5. EIFS, 'DRYVIT, BEAN SPROUT'
6. TINTED GLAZING
7. METAL PANELS, 'DREXEL METALS, MEDIUM BRONZE'
8. COVERED BBQ
9. STREET FURNITURE
10. OBSERVATION DECK



① EAST ELEVATION
1/16" = 1'-0"

KEY NOTES:

1. ELEVATOR CORE
2. STAIR TOWER, STEEL STRUCTURE
3. PARKING STRUCTURE
4. CMU WALL, 'TRENDSSTONE, REDBRICK'
5. EIFS, 'DRYVIT, BEAN SPROUT'
6. TINTED GLAZING
7. METAL PANELS, 'DREXEL METALS, MEDIUM BRONZE'
8. COVERED BBQ
9. STREET FURNITURE
10. OBSERVATION DECK



① NORTH ELEVATION
1/16" = 1'-0"

KEY NOTES:

1. ELEVATOR CORE
2. STAIR TOWER, STEEL STRUCTURE
3. PARKING STRUCTURE
4. CMU WALL, 'TRENDSSTONE, REDBRICK'
5. EIFS, 'DRYVIT, BEAN SPROUT'
6. TINTED GLAZING
7. METAL PANELS, 'DREXEL METALS, MEDIUM BRONZE'
8. COVERED BBQ
9. STREET FURNITURE
10. OBSERVATION DECK



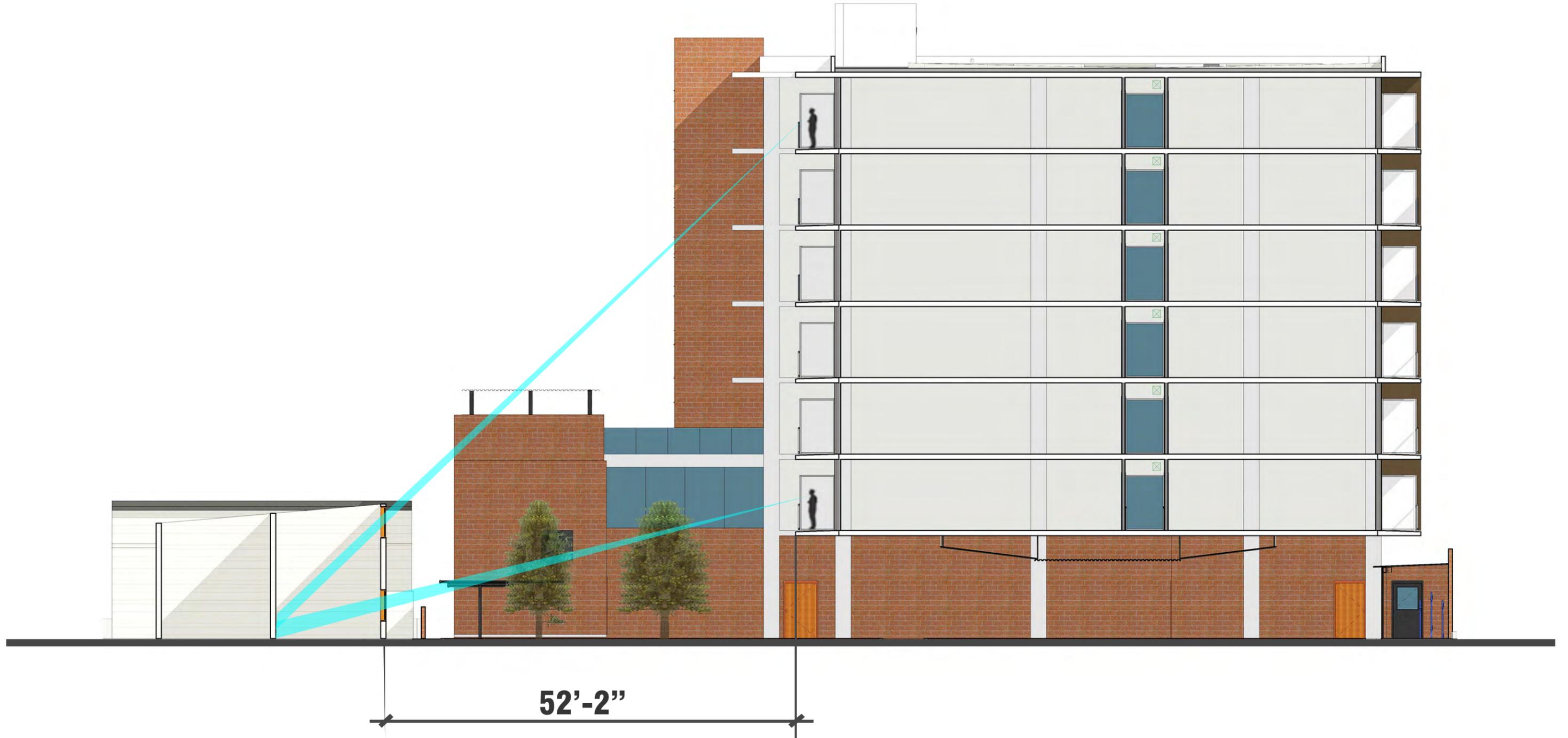
① SOUTH ELEVATION
1/16" = 1'-0"

KEY NOTES:

1. ELEVATOR CORE
2. STAIR TOWER, STEEL STRUCTURE
3. PARKING STRUCTURE
4. CMU WALL, 'TRENDSSTONE, REDBRICK'
5. EIFS, 'DRYVIT, BEAN SPROUT'
6. TINTED GLAZING
7. METAL PANELS, 'DREXEL METALS, MEDIUM BRONZE'
8. COVERED BBQ
9. STREET FURNITURE
10. OBSERVATION DECK



① WEST ELEVATION
1/16" = 1'-0"



BUILDING SECTION

site line diagram

**SECTION 12 – CUT SHEETS AND
PHOTOGRAPHS OF PROPOSED
MATERIALS**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

**111-127 S 5th Avenue Apartment Building
Cut Sheets and Photographs of Proposed Materials**



- 1. Cast-in-place concrete
- 2. Dryvit EIFS system 'Bean Sprout 475a'
- 3. Trendstone masonry unit 'Redbrick'
- 4. Drexel Metals 'Medium Bronze' Pre-fab metal panel
- 5. Belgard Cambridge Cobble 'Toscana' concrete paver
- 6. Rusted steel
- 7. Oldcastle '1/4" PPG Solarban 70XL on Azuria Low-E #2' glass

**SECTION 13 – INDIVIDUAL PARKING
PLAN APPROVAL**

IID DESIGN PACKAGE

111-127 S 5th Avenue Apartment Building

July 11, 2019

**NOTICE OF ZONING DECISION
INDIVIDUAL PARKING PLAN**

SUBJECT: 127 S. 5th Ave. / Fifth Avenue Partners LLC / 127 S. 5th Ave., C-3 Zone
ACTIVITY #: **T19SA00227**



**CITY OF
TUCSON**

PLANNING &
DEVELOPMENT
SERVICES
DEPARTMENT

ZONING
ADMINISTRATION
DIVISION

THE INDIVIDUAL PARKING PLAN (IPP) REQUEST:

The applicant, Cypress Civil Development, on behalf of Fifth Avenue Partners, LLC, is requesting approval for a reduction to the required number of parking spaces for a new 96-unit multi-family residential building to be located on the east side of 5th Avenue, south of Broadway Boulevard. The use of standard parking calculations under the IID zoning option and permitted reductions would result in a requirement of **72** on-site spaces. The applicant is requesting approval to allow **50** on-site vehicle parking spaces to satisfy the actual parking needs of the development, all as discussed in the IPP narrative and shown on the submitted plans.

DECISION:

The Individual Parking Plan Narrative and site plan have been found in compliance with UDC § 7.4.5.A.5 *Findings for Approval* and is hereby **APPROVED**, subject to the following condition:

- A. Any proposed dedicated ride-share parking space in the right-of-way is subject to approval by TDOT.

APPEALS:

The PDS Director's decision may be appealed to the Mayor and Council and is processed in accordance with UDC § 3.9.2, *Mayor and Council Appeal Procedure*. The notice of intent to appeal must be filed with the City Clerk no later than (14) days after the effective date of the decision. The complete appeal materials must be filed with the City Clerk within (30) days of the effective date of the decision. A copy of the appeal is to be provided to the PDS Director at the time it is filed.

EFFECTIVE DATE OF DECISION:

JULY 18, 2019

DEADLINE FOR NOTICE OF INTENT TO APPEAL:

JULY 25, 2019

Please contact Mark Castro at (520) 837-4979 for additional information.

Scott Clark, Director
Planning & Development Services Department